

AGENDA
KENOSHA COMMON COUNCIL
KENOSHA, WISCONSIN
Kenosha Municipal Building, 625-52nd Street
Council Chambers – Room 200
Monday, February 1, 2016
7:00 PM

CALL TO ORDER
ROLL CALL
INVOCATION
PLEDGE OF ALLEGIANCE

Approval of the minutes of the meetings held January 4 and January 20, 2016. **Pg. 1-8**
Matters referred to the Committees by the Mayor.

Presentation, Commendations and Awards by Mayor.

Awards and Commendations from Boards, Commissions, Authorities and Committees.

CITIZENS' COMMENTS

A. REFERRALS

TO THE COMMITTEE ON FINANCE

- A.1. Resolution by the Finance Committee - Resolution to Levy a Special Assessment (under Authority of Charter Ordinance No. 26, as Amended) upon Certain Parcels of Land Within the City of Kenosha, Wisconsin in the Amount of \$2,100.99 for Trash and Debris Removal.
- A.2. Resolution by the Mayor - Resolution Authorizing the Issuance of a General Obligation Refunding Bond to Kenosha County to Provide for Payment of The City's Share of the Cost of The County Public Safety Building Project.

TO THE PUBLIC WORKS COMMITTEE

TO THE PUBLIC SAFETY AND WELFARE COMMITTEE

TO THE CITY PLAN COMMISSION

- A.3. Conditional Use Permit for a tattoo parlor to be located at 619 58th Street (Gold Standard Social Club Tattoo). (District 2)

B. COMMUNICATIONS, PETITIONS, REPORTS OF DEPARTMENTS

- B.1. Approval of the following applications (per list on file in the Office of the City Clerk):
 - a. 16 Operator's (Bartender's) licenses.
 - b. 1 Transfer of Agent Status of Beer and/or Liquor license.
 - c. 2 Temporary Class "B" Beer and/or "Class B" Wine licenses.
 - d. 0 Taxi Driver Licenses. **Pg. 9**
- B.2. Conditional Use Permit for a 3,000 seat stadium to be located at 8730 22nd Avenue (KUSD/Ameche Field). (District 9) (CP - Ayes 8, Noes 1; Park Comm. - Ayes 4, Noes 0) **PUBLIC HEARING Pgs. 10-34**

- B.3. Conditional Use Permit for a 3,000 seat stadium to be located at 3700 Washington Road (KUSD/Bradford High School). (District 6) (CP - Ayes 8, Noes 1) **PUBLIC HEARING Pgs. 35-58**

C. RECOMMENDATIONS FROM THE COMMITTEE ON LICENSING/PERMITS

NOTE: All licenses and permits are subject to withholding of issuance by the City Clerk as specified in Section 1.045 of the Code of General Ordinances.

- C.1. Approve applications for new Operator's (Bartender's) Licenses, subject to:
- 0 demerit points:
a. Stephanie Woyach
- 10 demerit points:
b. Amanda M. Rauguth
c. Debra E. Lewis
- 20 demerit points:
d. Stephanie McLaren
- 80 demerit points:
e. Rachel Margetson
(L/P - Ayes 4, Noes 0) **HEARING Pgs. 59-63**
- C.2. Deny application of Mustafa Mustafa for a new Operator's (Bartender's) License, based on material police record. (L/P - Ayes 4, Noes 0) **HEARING Pgs. 64-66**
- C.3. Deny application of Red Iguana By Rosie's, LLC, for a Yearly Cabaret License located at 4814 Sheridan Road (Red Iguana By Rosie's), based on public safety and welfare: 1.) substantial negative impact around surrounding properties and neighborhood, 2.) existing plan character of neighborhood, 3.) applicant's compliance and performance of licensing laws, 4.) false application. (District 2) (Deferred January 4, 2016). (L/P - Ayes 4, Noes 0) **HEARING Pgs. 67-70**
- C.4. Approve application of Apollo's Doggy Day Care, Inc., for a Kennel & Pet Shop License located at 7600 75th Street (Central Bark Doggy Day Care), with no adverse recommendations. (District 16) (L/P - Ayes 4, Noes 0) **HEARING Pg. 71**

D. REPORTS AND RECOMMENDATIONS OF BOARDS AND COMMISSIONS

E. ORDINANCES 1st READING

- E.1. Ordinance by Committee on Public Safety and Welfare - To Amend Section 7.12 B of the Code of General Ordinances to Include an All Way Stop at the Intersection of 56th Street and 7th Avenue. (District 2) (PSW – Ayes 4, Noes 0) **Pgs. 72-74**
- E.2. Ordinance by Committee on Public Safety and Welfare - To Amend Section 7.125 of the Code of General Ordinances Entitled, "Streets Controlled by Yield Signs" to Include a North Bound Yield Sign on 38th Avenue Before Entering the Intersection with 67th Street. (District 8) (PSW – Ayes 4, Noes 0) **Pg. 75**
- E.3. Ordinance by Committee on Public Safety and Welfare - To Amend Section 7.12 B of the Code of General Ordinances to Include an All Way Stop at the Intersection of Harrison Road and 45th Avenue. (District 15) (PSW – Ayes 4, Noes) **Pgs. 76-77**

- E.4. Ordinance by Committee on Public Safety and Welfare - To Amend Section 7.125 of the Code of General Ordinances Entitled, "Streets Controlled by Yield Signs" to Include a North Bound Yield Sign on 93rd Avenue Before Entering the Intersection with 63rd Street. (District 17) (PSW – Ayes 4, Noes) **Pgs. 78-79**
- E.5. Ordinance By Alderperson Rhonda Jenkins - To Renumber Section 11.145 to 11.143; To Create Section 11.145 (of the Code of General Ordinances for the City Of Kenosha) Entitled "Drug Paraphernalia". (PSW – Ayes 4, Noes 0) **Pgs. 80-81**

F. ZONING ORDINANCES 1st READING

G. ORDINANCES 2nd READING

- G.1. Ordinance by the Mayor – To Annex 1.62 acres of land, more or less, located at 3712 120th Avenue and 12008 38th Street from the Town of Paris to the City of Kenosha (Route 142, LLC/#3/State of Wisconsin). (District 16) (CP - Ayes 10, Noes 0; PW - recommendation pending) **PUBLIC HEARING**
Note: approval will require 2/3 vote of full Council (12 votes). Pgs. 82-89

H. ZONING ORDINANCES 2nd READING

- H.1. Zoning Ordinance by the Mayor - To Rezone property located at the Northwest Corner of 38th Street and Interstate 94 from A-2 Agricultural Land Holding District to M-2 Heavy Manufacturing District (in Conformance with Section 10.02 of the Zoning Ordinance) (Route 142, LLC/#3). (District 16) (CP - Ayes 10, Noes 0) **PUBLIC HEARING Pgs. 90-97**

I. RESOLUTIONS

- I.1. Resolution by Finance Committee – Resolution to Correct Resolution 69-15. (District 12) (PW & Fin. - recommendations pending) **Pg. 98**
- I.2. Resolution by Finance Committee – Resolution to Levy Special Assessments Against Benefited Property Based Upon Final Construction Costs Respecting Improvements in the Right-Of-Way (Sidewalks and/or Driveway Approaches) for Project 13-1025 56th Street Resurfacing. (District 2) (PW & Fin. - recommendations pending) **Pgs. 99-105**
- I.3. Resolution by Finance Committee – Resolution to Levy Special Assessments Against Benefited Property Based Upon Final Construction Costs Respecting Improvements in the Right-Of-Way (Sidewalks and/or Driveway Approaches) for Project 14-1026 56th Street Sidewalk. (District 2) (PW & Fin. - recommendations pending) **Pgs. 106-108**
- I.4. Resolution by Finance Committee – Resolution to Levy Special Assessments Against Benefited Property Based Upon Final Construction Costs Respecting Improvements in the Right-Of-Way (Sidewalks and/or Driveway Approaches) for Project 15-1015 85th Street Resurfacing. (Districts 9 & 13) (PW & Fin. - recommendations pending) **Pgs. 109-116**

- I.5. Resolution by Finance Committee – Resolution to Levy Special Assessments Against Benefited Property Based Upon Final Construction Costs Respecting Improvements in the Right-Of-Way (Sidewalks and/or Driveway Approaches) for Project 15-1018 7th Avenue Resurfacing. (District 3) (PW & Fin. - recommendations pending) **Pgs. 117-121**
- I.6. Resolution by the Finance Committee - Resolution to Levy a Special Assessment (under Authority of Charter Ordinance No. 26, as Amended) upon Certain Parcels of Land (Within the City of Kenosha, Wisconsin) in the Amount of \$4,247.45 for Trash and Debris Removal. (Fin. - recommendation pending) **Pgs. 122-126**
- I.7. Resolution by Principal Sponsor: Alderman David F. Bogdala, Lead Co-Sponsor: Alderman G. John Ruffolo; Co-Sponsors: Alderman Steve Bostrom, Alderman Rhonda Jenkins; Alderman Curt Wilson, Alderman Rocco LaMacchia, Alderman Daniel L. Prozanski, Alderman Scott Gordon - Resolution To Update The City Of Kenosha Snow-Removal Guidelines Including Providing For Snow Fleet Equipment Upgrades And Updating The City's Overtime Policy For City Employees. (PW & Fin. - recommendations pending) **Pgs. 127-129**
- I.8. Resolution by the Mayor – Resolution Requesting Bicycle and Pedestrian Accommodations be Added to WisDOT Projects #3220-09-00 and 3220-10-00. (PW - recommendation pending) **Pgs. 130-133**
- I.9. Resolution by the Mayor - Resolution to Amend the Official Map (for the City of Kenosha, Wisconsin) to include the annexation of Parcels #45-4-221-251-0420, #45-4-221-251-0416 and State owned right-of-way on the West Frontage Road (in the Town of Paris, Kenosha County, Wisconsin) (Route 142, LLC/#3). (District 16) (CP - Ayes 10, Noes 0; PW - recommendation pending) **PUBLIC HEARING Pgs. 134-137**

J. APPOINTMENTS/REAPPOINTMENTS BY THE MAYOR

- J.1. Appointment of Charles Wolbers (4900 240th Ave Salem) to the Hometown Heroes Commission, for a term to expire September 1, 2017. **Pg. 138**

K. PUBLIC CONSTRUCTION AND IMPROVEMENT CONTRACTS

L. OTHER CONTRACTS AND AGREEMENTS

- L.1. To amend the term of the Ready For Reuse Program Loan Agreement (RRL-015) between the City of Kenosha and the State of Wisconsin Department of Natural Resources Regarding the Former Chrysler Kenosha Plant. (Fin. - recommendation pending) **Pgs. 139-144**
- L.2. Release of All claims Between R & C Investors, LLP, Charles A. Schmitz, and Woodchuck, LLC. (Fin. - recommendation pending) **Pgs. 145-153**

M. RECOMMENDATIONS FROM THE COMMITTEE ON FINANCE

- M.1. KABA 2015 Q4 Loan Reports. (Fin. - recommendation pending) **Pgs. 154-166**

- M.2. Disbursement Record #1 - \$43,787,714.45. (Fin. - recommendation pending)
Pgs. 167-203

N. RECOMMENDATIONS FROM THE COMMITTEE ON PUBLIC WORKS

**O. RECOMMENDATIONS FROM THE COMMITTEE ON
PUBLIC SAFETY & WELFARE**

P. AND SUCH MATTERS AS ARE AUTHORIZED BY LAW OR REGULAR BUSINESS

- a. LEGISLATIVE REPORT
- b. MAYOR'S COMMENTS
- c. ALDERPERSON COMMENTS

IF YOU ARE DISABLED AND IN NEED OF ASSISTANCE,
PLEASE CALL 653-4020 BEFORE THIS MEETING
KENOSHA.ORG

**COMMON COUNCIL
OFFICIAL PROCEEDINGS
January 4, 2016**

Keith G. Bosman, Mayor

Debra L. Salas, City Clerk

**KENOSHA MUNICIPAL BUILDING
COUNCIL CHAMBERS ROOM 200**

At a meeting of the Common Council held this evening, His Honor, Mayor Keith G. Bosman presided. The meeting was called to order at 7:09 pm.

On roll call, the following members of the Common Council were present: Alderpersons Haugaard, Jenkins, Michalski, Ruffolo, LaMacchia, Paff, Juliana, Wicklund, Rosenberg, Kennedy, Gordon, Bostrom, Wilson, Prozanski, Rose, Johnson and Bogdala.

A moment of silence was observed in lieu of the invocation

Mayor Bosman led the Council in the Pledge of Allegiance to the American Flag. He then read an oral referral to the Public Works and Finance Committees regarding snow removal operations.

Mayor Bosman called Alderperson Bogdala to the podium to recognize the Mahone Middle School Mustangs 8th grade girls' basketball team's City championship. Head coach Rob Van Dyke came to the podium and introduced the players. Mayor Bosman presented a plaque.

At 7:18 pm, it was moved by Alderperson Kennedy, seconded by Alderperson Jenkins, to take a five minute recess. On a voice vote, motion carried.

Five citizens spoke during Citizen's Comments: Diana Kanecki, Gregg Kishline, Virginia Hoekstra, Amber Bergman and Louis Rugani.

A. REFERRALS

TO THE COMMITTEE ON FINANCE

A.1. Resolution by the Mayor - To Adopt a Project Plan Amendment for Tax Incremental District #18 (City of Kenosha, Wisconsin, Under Section 66.11.05(4)(h)1). (District 2) (Also refer to City Plan Commission)

TO THE PUBLIC WORKS COMMITTEE

A.2. Ordinance by the Mayor - To Annex 1.62 acres of land, more or less, located at 3712 120th Avenue and 12008 38th Street from the Town of Paris to the City of Kenosha. (Route 142, LLC/#3/State of Wisconsin) (District 16) (Also refer to City Plan)

A.3. Resolution by the Mayor - To Amend the Official Map for the City of Kenosha, Wisconsin, to include the annexation of Parcels #45-4-221-251-0420, #45-4-221-251-0416 and State owned right-of-way on the West Frontage Road (in the Town of Paris, Kenosha County, Wisconsin) (Route 142, LLC/#3/State of Wisconsin). (District 16) (Also refer to City Plan)

TO THE CITY PLAN COMMISSION

A.4. Zoning Ordinance by the Mayor - To Rezone property located at the Northwest Corner of 38th Street and Interstate 94 from A-2 Agricultural Land Holding District to M-2 Heavy Manufacturing District (in Conformance with Section 10.02 of the Zoning Ordinance) (Route 142, LLC/#3/State of Wisconsin). (District 16)

B. COMMUNICATIONS, PETITIONS, REPORTS OF DEPARTMENTS

B.1. It was moved by Alderperson Wilson, seconded by Alderperson LaMacchia, to approve:

- a. 5 applications for an Operator's (Bartenders) license, per list on file in the office of the City Clerk.
 - b. There were no applications for a transfer of agent status of Beer and/or Liquor licenses.
 - c. 2 applications for a Temporary Class "B" Beer and/or "Class B" Wine license per list on file in the office of the City Clerk.
 - d. There were no applications for a Taxi Driver's license.
- On a voice vote, motion carried.

C. RECOMMENDATIONS FROM THE COMMITTEE ON LICENSING/PERMITS

C.1. It was moved by Alderperson LaMacchia, seconded by Alderperson Juliana, to deny applications for new Operator's (Bartender's) licenses:

Based on material police record:

- a. Amber Bergman
- b. Bradley Mays
- c. Cheri Sinkovec

Based on material police record and false application:

- d. Chauncey Body, Sr.

A hearing was held. Applicants a., c. and d. appeared.

C.1.1. It was moved by Alderperson Kennedy, seconded by Alderperson Gordon, to separate a., b., c. and d. On a voice vote, motion carried.

C.1.2. It was moved by Alderperson Kennedy, seconded by Alderperson LaMacchia, to send a. back to the Licensing/Permit Committee. On a voice vote, motion carried.

C.1.3. It was moved by Alderperson Kennedy, seconded by Alderperson Ruffolo to concur with the Licensing/Permit Committee recommendation to deny b. On a voice vote, motion carried.

C.1.4. It was moved by Alderperson Kennedy, seconded by Alderperson Juliana, to send c. back to the Licensing/Permit Committee. On a voice vote, motion carried.

C.1.5. It was moved by Alderperson Kennedy, seconded by Alderperson Michalski, to send d. back to the Licensing/Permit Committee. On a voice vote, motion carried.

C.2. It was moved by Alderperson Wilson, seconded by Alderperson Juliana, to concur with the recommendation of the Licensing/Permit Committee to defer application of Ashley Roe for a new

**COMMON COUNCIL
OFFICIAL PROCEEDINGS
January 4, 2016**

Keith G. Bosman, Mayor

Debra L. Salas, City Clerk

Operator's (Bartender's) License. A public hearing was held. The applicant did not appear. On a voice vote, motion carried.

C.3. It was moved by Alderperson Wilson, seconded by Alderperson Juliana, to concur with the recommendation of the Licensing/Permit Committee to defer application of Cast, LLC (Paul Campagna, Agent), for an Outdoor Dining Area With Outdoor Extension located at 5623 & 5621 6th Avenue (Sazzy B & The Buzz), with a Request to Waive the Fencing Requirement and a Request to Change the Closing Hours to 1:30 am. A public hearing was held. The applicant did not appear. On a voice vote, motion carried.

C.4. It was moved by Alderperson Wilson, seconded by Alderperson Kennedy, to concur with the recommendation of the Licensing/Permit Committee to approve a., c., and d. and to defer b. of the following applications for Yearly Cabaret Licenses:

a. Mutley-Ren, LLC (Bourbon Legends, Gordon Peterson, Agent, 2200 60th Street, effective 1/4/16 through 6/30/16, District 2).

b. Red Iguana By Rosie's, LLC (Red Iguana By Rosie's, Alfonso Arroyo, Agent, 1408 Sheridan Road, effective 1/5/16 through 6/30/16, District 2).

c. Frankie D's Vino & Pizzeria, LLC (Frankie D's Vino & Pizzeria, Anthony DeBartolo, Agent, 6316 52nd Street, Ste. A, effective 1/8/16 through 6/30/16, District 16).

d. Kenosha Legends, Inc. (Crystal's, Crystal Monday, Agent, 1402 52nd Street, effective 1/8/16 through 6/30/16, District 7).

A hearing was held. Applicant b. appeared.

C.4.1. It was moved by Alderperson Bostrom, seconded by Alderperson Juliana, to separate b. and c. from a. and d. On a voice vote, motion carried.

C.4.2. It was moved by Alderperson Wilson, seconded by Alderperson Rose, to defer b. and approve c. On a voice vote, motion carried, with Alderperson Bostrom abstaining on c. due to a conflict of interest.

At this time Alderperson Haugaard left the meeting.

D. REPORTS AND RECOMMENDATIONS OF BOARDS AND COMMISSIONS

E. ORDINANCES 1ST READING

F. ZONING ORDINANCES 1ST READING

It was moved by Alderperson Kennedy, seconded by Alderperson Juliana, to send the following ordinances on their way:

F.1. Zoning Ordinance by the Mayor - To Rezone property located at 11597 38th Street from A-2 Agricultural Land Holding District to M-2 Heavy Manufacturing District (in Conformance with Section 10.02 of the Zoning Ordinance) (Chicagoland DC 2014, LLC).

F.2. Zoning Ordinance by the City Plan Commission - To Create Subsection 18.02tt. (of the Zoning Ordinance) to Amend the St. Peter's Neighborhood Plan as Referenced in the Comprehensive Plan for the City of Kenosha: 2035 (St. Peter's Neighborhood Plan).

F.3. Zoning Ordinance by the City Plan Commission - To Create Subsection 18.02 uu. (of the Zoning Ordinance) to Adopt the ULI Advisory Services Panel Report A Former Chrysler Engine Plant Site Redevelopment, Kenosha, Wisconsin (Chrysler).

On a voice vote, motion carried.

G. ORDINANCES 2ND READING

Full text of ordinances are on file in the office of the City Clerk.

G.1. It was moved by Alderperson Kennedy, seconded by Alderperson Rose, to adopt Ordinance 1-16. A public hearing was held. No one spoke for or against said ordinance. On roll call vote, motion carried unanimously and said ordinance was thereupon adopted:

Ordinance 1-16

By Alderperson Jack Rose; Co-Sponsors: Alderperson Rocco J. LaMacchia Sr, Alderperson Curt Wilson, Alderperson Dave Paff, Alderperson Bob Johnson, Alderperson Patrick Juliana, Alderperson Keith W. Rosenberg, Alderperson Scott N. Gordon, Alderperson Jan Michalski and Alderperson Kurt Wicklund - To Repeal And Recreate Subsection 1.06 Y. (of the Code of General Ordinances for the City of Kenosha) Entitled Kenosha Hometown Heroes Commission.

Approved: Keith G. Bosman, Mayor

Attest: Debra L. Salas, City Clerk-Treasurer

Passed: January 4, 2016

Published: January 8, 2016

H. ZONING ORDINANCES 2ND READING

H.1. Zoning Ordinance by the Mayor - To Repeal and Recreate Subparagraph 4.06 B. 22. A. (of the Zoning Ordinance) Regarding Large Scale Commercial Development in the B-2, B-3 and B-4 Districts To Enable Additional Such Developments With Limitations. **This item was pulled from the agenda.**

H.2. It was moved by Alderperson LaMacchia, seconded by Alderperson Juliana, to adopt Zoning Ordinance 2-16. A public hearing was held. Jeff Gross, 10407 38th Street, Somers, spoke. On roll call vote, motion carried (15-0-1) with Alderperson Bostrom abstaining due a conflict of interest and said ordinance was thereupon adopted:

Zoning Ordinance 2-16

**COMMON COUNCIL
OFFICIAL PROCEEDINGS**

January 4, 2016

Keith G. Bosman, Mayor

Debra L. Salas, City Clerk

By the Mayor - To Rezone property at 9407 38th Street from A-2 Agricultural Land Holding District to IP Institutional Park District (in conformance with Section 10.02 of the Zoning Ordinance) (Harpe).

**Approved: Keith G. Bosman, Mayor
Attest: Debra L. Salas, City Clerk-Treasurer
Passed: January 4, 2016
Published: January 8, 2016**

I. RESOLUTIONS

Full text of resolutions are on file in the office of the City Clerk.

I.1. It was moved by Alderperson Kennedy, seconded by Alderperson LaMacchia, to approve Resolution 1-16. On roll call vote, motion carried unanimously and said resolution was thereupon approved:

Resolution 1-16

Resolution by the Finance Committee - To Amend the City of Kenosha Capital Improvement Program for 2012 By Decreasing PK11-001 "Outdoor Rec Plan-Poerio Park" in the Amount of \$3,000, Increasing PK11-001 "Outdoor Rec Plan-Sunrise Park" in the Amount of \$13,000 With Outside Funding from Greenfields Outdoor Fitness in the Amount of \$10,000 for a Net Change of \$0.

Adopted: January 4, 2016

I.2. It was moved by Alderperson Michalski, seconded by Alderperson LaMacchia, to approve Resolution 2-16. On roll call vote, motion carried (15-0-1) with Alderperson Bostrom abstaining due to a conflict of interest and said resolution was thereupon approved:

Resolution 2-16

Resolution by the Mayor - To Amend the Official Map for the City of Kenosha, Wisconsin, To include the Attachment of property 9407 38th Street in the Town of Somers, Kenosha County, Wisconsin (in accordance with the approved City of Kenosha/Town of Somers Cooperative Plan under Section 66.0307 of the Wisconsin Statutes) (Harpe).

Adopted: January 4, 2016

J. APPOINTMENTS/REAPPOINTMENTS BY THE MAYOR

It was moved by Alderperson Kennedy, seconded by Alderperson LaMacchia, to approve:

J.1. Appointment of Donald S. Miller (320 55th Street B, Kenosha) to the Lakeshore BID Board of Directors, for a term to expire November 18, 2018.

J.2. Appointment of Tanya McLean (6020 18th Avenue, Kenosha) to the Hometown Heroes Commission, for a term to expire September 1, 2017.

On roll call vote, motion carried unanimously.

K. PUBLIC CONSTRUCTION AND IMPROVEMENT CONTRACTS

L. OTHER CONTRACTS AND AGREEMENTS

M. RECOMMENDATIONS FROM THE COMMITTEE ON FINANCE

M.1. It was moved by Alderperson Kennedy, seconded by Alderperson LaMacchia, to approve: Disbursement Record #23 - \$4,729,301.22.

On roll call vote, motion carried unanimously.

N. RECOMMENDATIONS FROM THE COMMITTEE ON PUBLIC WORKS

It was moved by Alderperson Kennedy, seconded by Alderperson LaMacchia, to approve:

N.1. Acceptance of Project 14-1013 2014 CDBG Resurfacing (57th Street – 19th Avenue to 13th Court, 17th Avenue – Dead End South of 57th Street and 5700 19th Avenue Ramp) which has been satisfactorily completed by Cicchini Asphalt, LLC (Kenosha, Wisconsin). The final amount of the contract is \$478,933.81.

N.2. Acceptance of Project 15-1013 2015 CDBG 26th Avenue Resurfacing (26th Avenue - 75th Street to 69th Street) which has been satisfactorily completed by Cicchini Asphalt, LLC (Kenosha, Wisconsin). The final amount of the contract is \$325,218.07.

N.3. Acceptance of Project 15-1018 7th Avenue Resurfacing (7th Avenue – 68th Street to 70th Street) which has been satisfactorily completed by Cicchini Asphalt, LLC (Kenosha, Wisconsin).

N.4. Acceptance of Project 15-1027 Epoxy Pavement Markings (Citywide Locations) which has been satisfactorily completed by Bricking, Inc. (Madison, Wisconsin). The final amount of the project is \$56,992.65.

On roll call vote, motion carried unanimously.

It was moved by Alderperson LaMacchia, seconded by Alderperson Kennedy, to approve:

N.5. Acceptance of Project 15-1219 Parks West Garage Roof Replacement (3801 65th Street) which has been satisfactorily completed by Carlson Racine Roofing & Sheet Metal, Inc. (Racine, Wisconsin). The final amount of the contract is \$81,392. On roll call vote, motion carried unanimously.

O. RECOMMENDATIONS FROM THE COMMITTEE ON PUBLIC SAFETY & WELFARE

P. AND SUCH MATTERS ARE AUTHORIZED BY LAW OR REGULAR BUSINESS

**COMMON COUNCIL
OFFICIAL PROCEEDINGS
January 4, 2016**

Keith G. Bosman, Mayor

Debra L. Salas, City Clerk

ADJOURNMENT

There being no further business to come before the Common Council, at 8:21 pm it was moved by Alderperson Wilson, seconded by Alderperson Rose, to adjourn. On a voice vote, motion carried.

Approved:

**KEITH G. BOSMAN
MAYOR**

Attest:

**DEBRA L. SALAS
CITY CLERK-TREASURER
January 4, 2016**

**COMMON COUNCIL
OFFICIAL PROCEEDINGS
January 20, 2016**

Keith G. Bosman, Mayor

Debra L. Salas, City Clerk

**KENOSHA MUNICIPAL BUILDING
COUNCIL CHAMBERS ROOM 200**

At a meeting of the Common Council held this evening, His Honor, Mayor Keith G. Bosman presided. The meeting was called to order at 7:03 pm.

On roll call, the following members of the Common Council were present: Alderpersons Haugaard, Michalski, Ruffolo, LaMacchia, Paff, Juliana, Wicklund, Rosenberg, Kennedy, Gordon, Bostrom, Prozanski, Rose, and Johnson.

Alderpersons Jenkins, Wilson, and Bogdala were previously excused.

A moment of silence was observed in lieu of the invocation.

Mayor Bosman then led the Council in the Pledge of Allegiance to the American Flag.

It was moved by Alderperson Gordon, seconded by Alderperson LaMacchia, to approve the minutes of the meeting held December 21, 2015. Motion carried unanimously.

Mayor Bosman then read a proclamation pertaining to National Mentoring Month. Rebecca Stevens of Kenosha Unified spoke.

No citizens signed up to speak during Citizen's Comments.

**A. REFERRALS
TO THE COMMITTEE ON FINANCE**

TO THE PUBLIC WORKS COMMITTEE

TO THE PUBLIC SAFETY & WELFARE COMMITTEE

B. COMMUNICATIONS, PETITIONS, REPORTS OF DEPARTMENTS

B.1. It was moved by Alderperson Gordon, seconded by Alderperson LaMacchia, to approve:

a. 15 applications for an Operator's (Bartender's) license, per list on file in the office of the City Clerk.

b. There were no applications for a transfer of agent status of Beer and/or Liquor licenses.

c. 2 applications for a Temporary Class "B" Beer and/or "Class B" Wine license per list on file in the office of the City Clerk.

d. There were no applications for a Taxi Driver's license.

On a voice vote, motion carried.

B.2. It was moved by Alderperson Kennedy, seconded by Alderperson Michalski to receive and file communication from the City Attorney's Office regarding Daniel Wilson v. City of Kenosha. On a voice vote, motion carried.

C. RECOMMENDATIONS FROM THE COMMITTEE ON LICENSING/PERMITS

C.1. It was moved by Alderperson Michalski, seconded by Alderperson Juliana, to approve applications for new Operator's (Bartender's) Licenses, subject to:

- 35 demerit points:

a. Joanna Lopez

- 40 demerit points:

b. Lakesha Thomas

A hearing was held. The applicants did not appear. On a voice vote, motion carried.

C.2. It was moved by Alderperson Kennedy, seconded by Alderperson Juliana to approve application of Amber Bergman for a new Operator's (Bartender's) License, subject to 90 demerit points. A hearing was held. Amber Bergman spoke. On a voice vote, motion carried.

C.3. It was moved by Alderperson Juliana, seconded by Alderperson LaMacchia to approve application of Cheri Sinkovec for a new Operator's (Bartender's) License, subject to 80 demerit points. A hearing was held. The applicant did not appear. On a voice vote, motion carried.

C.4. It was moved by Alderperson Juliana, seconded by Alderperson Rose to deny application of Kim Rose for a new Operator's (Bartender's) License, based on material police record. A hearing was held. The applicant did not appear. On a voice vote, motion carried.

C.5. It was moved by Alderperson Juliana, seconded by Alderperson Wicklund to deny application of Chauncey Body, Sr. for a new Operator's (Bartender's) License, based on material police record and false application. A hearing was held. The applicant did not appear. On a voice vote, motion carried.

C.6. It was moved by Alderperson Juliana, seconded by Alderperson LaMacchia to approve application of Joseph Myhre for a new Taxi Driver's License, subject to 45 demerit points. A hearing was held. Joseph Myhre spoke. On a voice vote, motion carried.

C.7. It was moved by Alderperson Juliana, seconded by Alderperson Kennedy to approve application of Cast, LLC, (Paul Campagna, Agent), for an Outdoor Dining Area With Outdoor Extension located at 5623 and 5621 6th Avenue (Sazzy B & The Buzz), with a Request to Waive the Fencing Requirement and a Request to Change the Closing Hours to 1:30 am, with no adverse recommendations. A hearing was held. Paul Campagna spoke. On a voice vote, motion carried.

C.8. It was moved by Alderperson Juliana, seconded by Alderperson LaMacchia to approve application for Successor of Agent status of the Class "B" Beer/"Class B" Liquor License located at 4327 17th Avenue (Hill's Hotrod Hangout), from Marilyn LaMere to Hillard Wozniel, subject to 40 demerit points. A hearing was held. The applicant did not appear. On a voice vote, motion carried.

C.9. It was moved by Alderperson Juliana, seconded by Alderperson LaMacchia to approve renewal application of Flat Iron Vintage, LLC, for a Secondhand Article Dealer's License located at 2022 56th

**COMMON COUNCIL
OFFICIAL PROCEEDINGS
January 20, 2016**

Keith G. Bosman, Mayor

Debra L. Salas, City Clerk

Street (Flat Iron Vintage), with no adverse recommendations. A hearing was held. Michelle Markiewicz spoke. On a voice vote, motion carried.

D. REPORTS AND RECOMMENDATIONS OF BOARDS AND COMMISSIONS

E. ORDINANCES 1ST READING

It was moved by Alderperson Kennedy, seconded by Alderperson Michalski, to send the following ordinances on their way:

E.1. Ordinance by the Mayor – To Annex 1.62 acres of land, more or less, located at 3712 120th Avenue and 12008 38th Street from the Town of Paris to the City of Kenosha (Route 142, LLC/#3/State of Wisconsin). On a voice vote, motion carried.

F. ZONING ORDINANCES 1ST READING

It was moved by Alderperson Kennedy, seconded by Alderperson Michalski, to send the following ordinances on their way:

F.1. Zoning Ordinance by the Mayor - To Rezone property located at the Northwest Corner of 38th Street and Interstate 94 from A-2 Agricultural Land Holding District to M-2 Heavy Manufacturing District (in Conformance with Section 10.02 of the Zoning Ordinance). On a voice vote, motion carried.

G. ORDINANCES 2ND READING

H. ZONING ORDINANCES 2ND READING

H.1. It was moved by Alderperson Paff, seconded by Alderperson Juliana to defer for two weeks Zoning Ordinance by the Mayor - To Rezone property located at 11597 38th Street from A-2 Agricultural Land Holding District to M-2 Heavy Manufacturing District in Conformance with Section 10.02 of the Zoning Ordinance. (Chicagoland DC 2014, LLC). A public hearing was held. Dennis Mitchell, James Hollenbeck, Michael Stonich, and Victor Londre spoke. There was much discussion. On roll call vote, motion to defer failed (6-8) with Alderpersons Haugaard, Kennedy, Bostrom, Michalski, Paff, and Juliana voting aye.

H.1.1. It was then moved by Alderperson Ruffolo, seconded by Alderperson Gordon to approve. On roll call vote, motion to carry (13-1) with Alderperson Kennedy voting nay and said ordinance was thereupon adopted:

Zoning Ordinance 3-16

By the Mayor - To Rezone property located at 11597 38th Street from A-2 Agricultural Land Holding District to M-2 Heavy Manufacturing District in Conformance with Section 10.02 of the Zoning Ordinance (Chicagoland DC 2014, LLC).

**Approved: Keith G. Bosman, Mayor
Attest: Debra L. Salas, City Clerk-Treasurer
Passed: January 20, 2016
Published: January 29, 2016**

At this time Alderperson Juliana briefly left the meeting.

H.2. It was moved by Alderperson Michalski, seconded by Alderperson LaMacchia to approve Zoning Ordinance 4-16. A public hearing was held. No one spoke for or against said ordinance. On roll call vote, motion carried unanimously with Alderperson Juliana not present for the vote and said ordinance was thereupon adopted:

Zoning Ordinance 4-16

By the City Plan Commission - To Create Subsection 18.02t. (of the Zoning Ordinances) to Amend the St. Peter's Neighborhood Plan as Referenced in the Comprehensive Plan for the City of Kenosha: 2035 (St. Peter's Neighborhood Plan).

**Approved: Keith G. Bosman, Mayor
Attest: Debra L. Salas, City Clerk-Treasurer
Passed: January 20, 2016
Published: January 29, 2016**

At this time Alderperson Juliana returned to the meeting. Alderperson Johnson left for the remainder of the evening.

H.3. It was moved by Alderperson Juliana, seconded by Alderperson LaMacchia to approve Zoning Ordinance 5-16. A public hearing was held. No one spoke for or against said ordinance. On roll call vote, motion carried unanimously and said ordinance was thereupon adopted:

Zoning Ordinance 5-16

By the City Plan Commission - To Create Subsection 18.02 uu. (of the Zoning Ordinance) to Adopt the ULI Advisory Services Panel Report A Former Chrysler Engine Plant Site Redevelopment, Kenosha, Wisconsin.

**Approved: Keith G. Bosman, Mayor
Attest: Debra L. Salas, City Clerk-Treasurer
Passed: January 20, 2016
Published: January 29, 2016**

At this time Alderperson Kennedy stepped away from the meeting.

I. RESOLUTIONS

Full text of resolutions are on file in the office of the City Clerk.

**COMMON COUNCIL
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Keith G. Bosman, Mayor

Debra L. Salas, City Clerk

I.1. It was moved by Alderperson LaMacchia, seconded by Alderperson Rose, to approve Resolution 3-16. On roll call vote, motion carried unanimously with Alderperson Kennedy not present for the vote and said resolution was thereupon approved:

Resolution 3-16

By the Finance Committee – Resolution to Levy a Special Charge Upon Certain Parcels of Land Within the City of Kenosha Pursuant to §5.11F. (of the Code of General Ordinances) Entitled “Sidewalks and Alleys to be Kept Clean by Responsible Party – Emergency Enforcement” (Snow Removal from Sidewalks) – If Invoices Therefor Are Not Paid Within Thirty (30) Days of Issuance.
Adopted: January 20, 2016

I.2. It was moved by Alderperson LaMacchia, seconded by Alderperson Juliana to approved Resolutions 4-16 through 9-16. A hearing was held. No one spoke. On roll call vote motion carried unanimously with Alderperson Kennedy not present for the vote and said resolutions were thereupon approved:

Resolution 4-16

Boarding and Securing - \$9,776.49

Adopted: January 20, 2016

Resolution 5-16

Graffiti Removal - \$600.00

Adopted: January 20, 2016

Resolution 6-16

Grass and Weed Cutting - \$28,746.29

Adopted: January 20, 2016

Resolution 7-16

Property Maintenance Reinspection Fees - \$35,584.00

Adopted: January 20, 2016

Resolution 8-16

Razes (City-Ordered) - \$57,877.24

Adopted: January 20, 2016

Resolution 9-16

Trash and Debris Removal - \$1,140.00

Adopted: January 20, 2016

I.3. It was moved by Alderperson LaMacchia, seconded by Alderperson Juliana to approve Resolution 10-16. A public hearing was held. No one spoke for or against said resolution. On roll call vote, motion carried unanimously with Alderperson Kennedy not present for the vote and said resolution was thereupon approved:

Resolution 10-16

By the Mayor – Resolution to Amend the Official Map (for the City of Kenosha, Wisconsin) to relocate designation of 23rd Street between 39th and 47th Avenues as a future street (pursuant to Section 62.23(6)(c), Wisconsin Statutes) (St. Peter’s Neighborhood Plan).

Adopted: January 20, 2016

I.4. It was moved by Alderperson Gordon, seconded by Alderperson Juliana to approve Resolution 11-16. A public hearing was held. No one spoke for or against said resolution. On roll call vote, motion carried unanimously with Alderperson Kennedy not present for the vote and said resolution was thereupon approved:

Resolution 11-16

By the Mayor – Resolution to Amend the Official Map (for the City of Kenosha, Wisconsin) To Designate 56th Street between 23rd and 30th Avenues as a future street and To Designate 28th Avenue between 52nd and 60th Streets as a future street (pursuant to Section 62.23 (6)(c) Wisconsin Statutes) (Chrysler).

Adopted: January 20, 2016

At this time Alderperson Kennedy returned to the meeting.

I.5. It was moved by Alderperson Gordon, seconded by Alderperson Juliana to approve Resolution 12-16. On roll call vote, motion carried unanimously and said resolution was thereupon approved:

Resolution 12-16

by the Mayor - Resolution to Adopt a Project Plan Amendment for Tax Incremental District #18 (City of Kenosha, Wisconsin, Under Section 66.11.05(4)(h)1).

Adopted: January 20, 2016

J. APPOINTMENTS/REAPPOINTMENTS BY THE MAYOR

It was moved by Alderperson Gordon, seconded by Alderperson Juliana, to approve:

J.1. Appointment of Patricia Gasser (7955 23rd Avenue, Kenosha) to the Redevelopment Authority, for a term to expire November 15, 2020.

On roll call vote, motion carried unanimously.

J.2. Appointment of Jeffery Zastoupil (6826 54th Avenue, Kenosha) to the Board of Review, for a term to expire April 15, 2021.

On roll call vote motion carried unanimously with Alderperson Kennedy not present for the vote.

K. PUBLIC CONSTRUCTION AND IMPROVEMENT CONTRACTS

L. OTHER CONTRACTS AND AGREEMENTS

**COMMON COUNCIL
OFFICIAL PROCEEDINGS
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Keith G. Bosman, Mayor

Debra L. Salas, City Clerk

It was moved by Alderperson Gordon, seconded by Alderperson Juliana, to approve:

L.1. Professional Services Agreement between the City of Kenosha, Wisconsin and SAFEbuilt Wisconsin, LLC for fill-in building inspection services.

L.2. Grant Agreement between the City of Kenosha and Associated Bank for home repair grants and fair lending training.

On roll call vote, motion carried unanimously with Alderperson Kennedy not present for the vote.

At this time Alderperson Kennedy returned to the meeting.

It was moved by Alderperson LaMacchia, seconded by Alderperson Hugaard to approve:

L.3. Agreement by and between Kenosha Newco Capital, LLC f/k/a UBC Kenosha, LLC and the City of Kenosha, Wisconsin and the Redevelopment Authority of the City of Kenosha, Wisconsin.

L.4. Termination Agreement by and between Kenosha Newco Capital, LLC f/k/a UBC Kenosha, LLC and the City of Kenosha, Wisconsin and the Redevelopment Authority of the City of Kenosha, Wisconsin.

On roll call vote, motion carried unanimously.

At this time Alderperson Bostrom stepped away from the meeting.

M. RECOMMENDATIONS FROM THE COMMITTEE ON FINANCE

It was moved by Alderperson Kennedy, seconded by Alderperson Juliana, to approve:

M.1. Change Order for Project 15-1014 Concrete Street Repairs (Citywide Locations).

M.2. Disbursement Record #24 - \$6,187,714.95.

On roll call vote, motion carried unanimously with Alderperson Bostrom not present for the vote.

N. RECOMMENDATIONS FROM THE COMMITTEE ON PUBLIC WORKS

It was moved by Alderperson Kennedy, seconded by Alderperson Juliana, to approve:

N.1. Acceptance of Project 15-1423 Anderson Park Paths (8730 22nd Avenue) which has been satisfactorily completed by Genesis Excavators, Inc. (Kenosha, Wisconsin). The final amount of the contract is \$58,522 (Park Funds Only). On roll call vote, motion carried unanimously with Alderperson Bostrom not present for the vote.

O. RECOMMENDATIONS FROM THE COMMITTEE ON PUBLIC SAFETY & WELFARE

P. AND SUCH MATTERS ARE AUTHORIZED BY LAW OR REGULAR BUSINESS

ADJOURNMENT

There being no further business to come before the Common Council, it was moved by Alderperson LaMacchia, seconded by Alderperson Rose, to adjourn at 8:56 pm. On a voice vote, motion carried unanimously.

Approved:

**KEITH G. BOSMAN
MAYOR**

Attest:

**DEBRA L. SALAS
CITY CLERK-TREASURER
January 20, 2016**

B.1.	February 1, 2016			NO ADVERSE
a.	BARTENDERS			
	First Name	Last Name	Address	Business Name
1	Melissa	Chalekian	2602 33 rd St	Club Benes
2	Kathleen	Enzenbacher	41849 N Lotus - Antioch, IL	Applebee's
3	Lauren	Fliess	12910 Burlington Rd	Rival's
4	Jessica	Gornik	1400 Fulten Ave - Winthrop Harbor, IL	Mike's Chicken & Donuts
5	Marissa	Greathouse	4214 30 th Ave	Speedway
6	Sheila	Hall	4519 33 rd Ave	
7	Alaa	Issa	8739 S. Oak Park Dr #4 - Oak Creek, WI	Moe Moe's Midnight
8	Bhavna	Masani	5912 50 th Ave #7	
9	Allison	McMaster	3710 10 th Ave	Circa on Seventh
10	Tabitha	Morin	7408 10 th Ave	PDQ
11	Casey	Niles	11825 213 th Ave	Rival's
12	Nadia	Rios	1609 15 th Ave #16	Lotus
13	Sandra	Rodriquez	4215 114 th Ave	Festival Foods
14	Shawwna	Smith	7947 17 th Ave	
15	Stephanie	Thush	2125 22 nd St	Walgreens
16	Paul	Ward	3306 S. 9 th Pl	Ashling on the Lough
	TOTAL =	16		
b.	TRANSFER OF AGENT			
	First Name	Last Name	Address	Business Name
1	Daniel	Madrigano	1627 216 th Avenue, Union Grove	Madrigano Marina Shores
	TOTAL =	1		
c.	TEMPORARY CLASS "B" BEER			
	Event Date	Organization Name	Location of Event	Event
1	2/26/16, 3/11/16, 3/18/16	Holy Rosary - Holy Name Society	4400 22 nd Ave	Holy Rosary Fish Fry
	TEMPORARY CLASS "CLASS B" WINE			
	Event Date	Organization Name	Location of Event	Event
2	7/15-17/16	St. Therese Parish	2020 91 st St	Parish Festival
	TEMPORARY CLASS "B" BEER & "CLASS B" WINE			
	Event Date	Organization Name	Location of Event	Event
	TOTAL =	2		
d.	TAXI DRIVERS			
	First Name	Last Name	Address	Business Name
	TOTAL =	0		

Conditional Use Permit for a 3,000 seat stadium to be located at 8730 22nd Avenue. (KUSD/Ameche Field) (District 9) PUBLIC HEARING

NOTIFICATIONS AND APPROVAL REQUIREMENTS:

Aldersperson Rosenberg, District 9, has been notified. The Parks Commission will review this item prior to final approval by the Common Council.

LOCATION AND ANALYSIS:

Site: 8730 22nd Avenue (Anderson Park) **Zoned:** IP Institutional Park

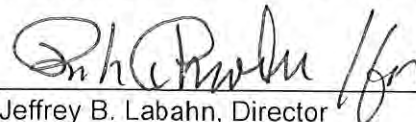
1. Kenosha Unified School District (KUSD) is proposing to renovate the existing Ameche Field, located in Anderson Park. They propose to remove the existing bleachers and press box on both the home and visitors side of the field.
2. The new construction will include:
 - a. New bleachers and press box on the home side of the field;
 - b. New bleachers on the visitors side of the field;
 - c. A new team locker room, concessions and restroom building at the south end of the field;
 - d. New bleachers and press box building for the varsity softball field.
3. The materials and uses are as follows:
 - a. Exterior materials of the bleacher/press box and the team locker room/concession stand is ground face concrete masonry units.
 - b. The underside of the home bleachers will be enclosed with an architectural metal panel and the area will be used for storage.
 - c. The underside of the visitors bleachers will be open.
 - d. The bleacher and press box for the varsity softball field is proposed to have identical materials as the team locker room building.
4. Other than the area around the football field and the infield of the softball diamond, no other site improvements are proposed. The parking lots and other park areas will remain as they are.
5. The plans were sent to City Departments for their review. Their comments are included in the attached Conditions of Approval.
6. The plans generally comply with Sections 4 and 14 of the Zoning Ordinance.

RECOMMENDATION:

A recommendation is made to approve the Conditional Use Permit, subject to the attached Conditions of Approval.



Brian Wilke, Development Coordinator



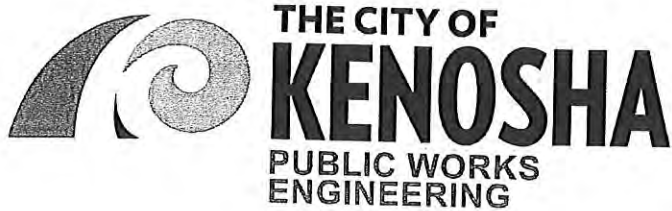
Jeffrey B. Labahn, Director

1. The following Conditions of Approval will run with the land and shall be included in a document recorded with the Kenosha County Register of Deeds:
 - a. The applicant shall obtain all required construction permits from the Department of Community Development & Inspections. This includes, but is not limited to Erosion Control, Building, Plumbing, Electrical and Occupancy permits.
 - b. The applicant shall obtain Sidewalk and Stormwater Management permits from the Department of Public Works.
 - c. All signs shall comply with Chapter 15 of the Code of General Ordinances and the applicant shall obtain sign permits for all new signs. A Separate submission and permit is required for all signs. Sign information provided under the Conditional Use Permit is for reference only and does not constitute sign permit approval.
 - d. The development shall be constructed per the approved plans on file with the Department of Community Development & Inspections, Room 308, 625 52nd Street, Kenosha, WI 53140. Any changes to the approved plans shall require an Amendment to the Conditional Use Permit. All changes shall be submitted to the Department of Community Development & Inspections for review and approval.
 - e. Prior to the issuance of any Occupancy permits, all parking areas, drives and designated paved areas shall have the initial lift of asphalt installed. The building exterior shall be completed per the approved plans, the exterior lighting shall be installed and the Conditional Use Permit shall be recorded with the Kenosha County Register of Deeds. All improvements indicated on the plans, including landscaping, shall be installed prior to the issuance of a final Occupancy permit. The recording fees for the Conditional Use Permit shall be submitted by the applicant.
 - f. Compliance with City and State and/or Federal Codes and Ordinances. The buildings shall comply with the current Code standards in effect upon application for a building permit.
 - g. All roof top mechanicals shall be properly screened per Section 14.07 B.10 of the Zoning Ordinance.
 - h. All trash containers shall be stored within the enclosure or building. The applicant/owner shall be responsible for waste collection and removal for the development. The City of Kenosha shall not provide waste collection or removal services or incur any cost in this regard.
 - i. Applicant shall meet all applicable Conditions of Approval and obtain a Building permit within twelve (12) months of the Common Council approval. Building permits for all other buildings shall be obtained within two (2) years of the Common Council approval or the Conditional Use Permit shall be null and void.
 - j. All vehicles shall be parked within the designated paved areas.
 - k. All improvements, including landscaping, shall be maintained per the approved plans. Any damaged fencing, landscaping or building shall be replaced/reconstructed per the approved plans.

- I. Prior to final Occupancy of the building, the applicant shall provide an electronic copy of the following information to the Fire Prevention Bureau:
 - i. Site Plan as-built.
 - ii. Floor Plan as-built
 - iii. Site Utilities
 - iv. Sprinkler Plans
 - v. Fire Alarm Plans

2. The following Conditions of Approval shall be satisfied with City Staff prior to the issuance of any construction permits:
 - a. The Drainage Plan shall be revised and resubmitted for review and approval addressing comments listed in the Public Works memo dated November 10, 2015.
 - b. The Utility Plan shall be revised and resubmitted for review and approval addressing the comments listed in the Kenosha Water Utility memo dated November 6, 2015.
 - c. The team locker room building and the storage area under the bleachers must be fully sprinklered. All buildings to include Knox Box[®] Rapid Entry System.
 - d. An Operational Plan shall be provided per Section 4.06 D.3(f) of the Zoning Ordinance.

/u2/acct/ep/ckays/1CPC/2015/NOV19/5conditions-KUSDameche.doc



TO: Brian Wilke, Development Coordinator

FROM: Shelly Billingsley, P.E.
City Engineer

Shelly Billingsley
CWA
11-10-15

Date: November 10, 2015
Subject: Plan Review Comments
Project Description: Ameche Field Renovations
Location: 8730 22nd Avenue

Our staff has reviewed the plans for this project. The following comments are provided:

Parking Lot Ordinance Compliance	Sufficient	Deficient	Not Applicable
Parking Lot Paved			X
Standard Stall Width			X
Parking Lot Layout			X
Parking Lot Lighting Shown			X
Parking Lot Lighting Adequate			X
Handicapped Parking			X
Driveway Locations			X
Driveway Width			X
Passing Blister or Accel/Decel Lanes			X
Sidewalks Adequate			X
Drive Thru Lane Design			X

Public Streets	Sufficient	Deficient	Not Applicable
Geometric Design			X
Pavement Width			X
Pavement Thickness Design			X
Established Grades			X
Plan Details			X
Sidewalks			X
Street Lights			X

Site Grading/Drainage	Sufficient	Deficient	Not Applicable
Drainage Plan		X	
Storm Sewer	X		
Storm Water Detention		X	
Drainage Calculations		X	

Project Approval/Permits Needed	Yes	No	Not Applicable
Project Approved for Permitting		X	
Withhold Permits: See Comments	X		
Approve Footing/ Foundation Only (per condition)			
Parking Lot Permit Required		X	
Driveway Permits Required		X	
Sidewalk Permit Required	X		
Street Opening Permit Required		X	
Stormwater Management Permit Required	X		
Erosion Control Permit Required	X		

Grading & Drainage Comments:

1. Page C-3, On the Removal Sheet should show a table of the total disturbed area as well as the total existing and proposed impervious surface area. Also should show the limits of the existing ground disturbed area with the use of a pattern
2. Page C-4, the west concrete pavement appears to be draining towards the existing parking lot and not sure where it drains from there? Need to show several more grades in the parking lot, labeled as existing and place a note where lot is draining to.
3. Page C-4, Missing Elevation at the northwest sidewalk as it connects to the existing parking lot.
4. Page C-4, Need more elevations along the proposed path along the east side of track.
5. Page C-5, I think it would be much clearer if the Track was similar to the Ball Field shown on page C-6 which is a blowup. Show all of the elevations on all of the storm sewer/drain tile junctions.
6. Page C-5, details for the call-outs are not labeled and the detail sheet is not included in the plan set.
7. Page C-6, need to call out the second water quality system and what the size is. Also verify the size of both chambers on the south system shown on page C-8. The cross section on the detail has the same size circles, but labels them as two different sizes.
8. Page C-6, Show the pipe elevations on the storm sewer and drain tile.
9. Please show proposed site grade elevations on storm sewer plan to help correlate rim elevations to site drainage.
10. SWMP, It appears that a portion of the Contech system is being considered the Water Quality Structure (72" pipe), and there is also piping being used for peak reduction (36" pipe). Please clarify and/or confirm the methodology of modeling while at a minimum, answering the following questions:
 - a. Please provide discussion on the 36" pipe system and how it relates to the overall stormwater management plan of the site. Specifically, is there outlet control on the segments of 36" pipe? Please clearly denote where the proposed system connects into an existing system and how that travels off the site.
 - b. Please clarify the intent of the "Composite Discharge" table in the SWMP and whether it relates to the discharge on the site PRIOR to any detention/controlled release.
 - c. Please check the acreage shown for Undetained East basin in the WinSLAMM model – it's shown as 0.96 Ac when the SWMP states 0.64 Acres.

11. Stormwater Maintenance Agreement will be required for the detention basin per City of Kenosha Code of General Ordinance. This is a signed and recorded document. Frequency of maintenance on the underground water quality system is imperative for continued operation and must be stated accordingly.
12. An access easement will be required for the underground detention facilities. This needs to be in a recordable easement document.
13. Erosion Control plans are not reviewed as a part of the CUP process. They will be reviewed when an erosion control permit application is submitted to the City.

Traffic Comments:

1. Provide a proposed sheet which denotes proposed pavement with dimensions throughout the site.
2. There appears to be a lot of changes to the existing fence throughout the site which needs to be called out.
3. Show north arrow on the lighting plan sheets.

cc: Cathy Austin; Greg Holverson; Kile Kuhlmeier; Gerard Koehler, Kevin Risch (Clark-Dietz)

Engineering Services

4401 Green Bay Road
Kenosha WI 53144

Phone (262) 653-4315
Fax (262) 653-4303



"Providing and Protecting Kenosha's Greatest Natural Resource"

MEMO

To: Brian Wilke, Development Coordinator

From: Ian C. Bagley, P.E., Water Engineer

Date: November 6, 2015

Subject: Ameche Field Renovation

Location: 8730 22nd Avenue

The Kenosha Water Utility (KWU) has reviewed the submittal for the above referenced project. Further information from the Developer is required before the Utility can complete this review. Please withhold all permits until the following information is submitted.

1. Show the water meter size and location, including a detail or diagram, on the construction plans, not with the MEP submittal. The water meter shall have unobstructed access, twelve inches (12") from the inside wall, twelve to twenty-four inches (12"-24") above the floor. The meter shall have a valve, preferably ball style, on the inlet and outlet pipe.
2. All water meters one and one half inches (1-1/2") or greater shall have a bypass with a two way ball valve with locking handle as manufactured by RuB, or approved equal.
3. A 3C18 gauge cable by Belden-M, or approved equal, shall be installed in a one half inch (1/2") conduit through the exterior wall for the remote meter reader. Remote reader to be field located by KWU meter division.
4. The eight inch (8") water main relay shall be flushed and bacteria tested in accordance with KWU Chapter XXXII Rules & Regulations, Rule 06-35.
5. There are no specifications for water or sanitary sewer service materials or installation shown on the plans.
6. The two inch (2") water service is being connected to a main which is owned by the City of Kenosha Parks Department, but is maintained by KWU. Because of this, the connection will need to be made by KWU. The tapping sleeve, corporation stop, curb stop and valve box will be provided and installed by KWU with excavation and restoration by the contractor. A tapping fee of \$1,200 will be required prior to connecting to this main.
7. The eight inch (8") water main relay will need to be inspected by KWU. Notify KWU 48 hours in advance of starting the relay.

THE CITY OF
KENOSHA

8. Water services shall have a blue 12 gauge locator wire installed along the entire length. Locator wire shall be brought to the surface in the curb box and at the edge of the building and enclosed in a locator box with "water" on the cover.
9. The manhole frame and cover for SAN 5 is badly offset and the lid has an open pickhole. This frame and cover must be replaced with a concealed pickhole cover and frame as part of this project. Additionally, there is significant infiltration at the east invert of the manhole which must be addressed and the sanitary sewer stub west of the manhole shall be cut and capped within 5' of the manhole. This manhole will also need an Internal / External seal installed which will be provided by KWU.
10. The existing sanitary sewer is six inches (6") in diameter at Junction 20.0, not eight inches (8") as the plans show. The connection shall be made using a "cut-in-wye" and installed by core drilling a hole in the main and attaching a flexible rubber tee or wye saddle with stainless steel clamps. This connection may also be made using an Inserta Tee, installed according to the manufacturer's recommendations. The sanitary sewer connection will need to be inspected by KWU. Notify KWU 48 hours in advance of connecting to the sewer.
11. Sanitary sewer laterals shall have a green 12 gauge locator wire installed along the entire length. Locator wire shall be brought to the surface at the edge of the building and enclosed in a locator box with "sewer" on the cover.

CC: Mr. Robert Carlson, P.E., Director of Engineering Services



Partners in Design
ARCHITECTS

**Partners in Design
Architects, Inc.**

W I S C O N S I N
600 Fifty Second Street
Suite 220
Kenosha, WI 53140
voice: 262.652.2800
fax: 262.652.2812

I L L I N O I S
2610 Lake Cook Road
Suite 280
Riverwoods, IL 60015
voice: 847.940.0300
fax: 847.940.1045

October 19, 2015

Kenosha Fire Department
City of Kenosha

Re: KUSD Athletic Facilities Improvements

To whom it may concern:

This document serves as the letter of intent for fire suppression systems, sprinklers, smoke and heat detection, fire alarms, fire extinguishers, etc. relative to the Kenosha Unified School District athletic facility improvements project.

The improvements contemplated at each site are all un-heated, seasonally occupied buildings and bleacher structures that will be shut down and unoccupied each winter. The bleacher structures will have a full enclosure below them but will also be unoccupied storage space that will not be conditioned in any way. The site improvements include the following:

Tremper - Press Box/Storage Building (942 sf), tennis courts, baseball fields and soccer fields

Ameche Field - Press Box 500 sf), Bleacher seating with enclosed unoccupied storage below (12,025 sf), team/concessions building with public restrooms (4,456 sf), and a press box/storage building for the softball field (288 sf)

Bradford - Press Box (500 sf), Bleacher seating with enclosed unoccupied storage below (11,525 sf) and team/concessions building with public restrooms (4,316 sf)

Bullen - Press box/storage building (1,113 sf), tennis courts, baseball fields and soccer fields

Since all of the structures, with the exception of the bleacher seating, are below the minimum threshold under the city ordinance for requiring an automatic fire sprinkler system, we do not intend to install automatic sprinklers. Additionally, the bleacher enclosure is an unoccupied storage area and thus will not be sprinkled. All other code required smoke, heat, alarm and extinguisher requirements will be met.

Sincerely,

Mark A. Molinaro Jr., AIA

**Development Review Application
City of Kenosha, Wisconsin**

MAILING INFORMATION

NAME OF PROJECT: AMECHE FIELD RENOVATION

Check one (1) of the following boxes to indicate the recipient of all correspondence:

<input type="radio"/>	Name and Address of Applicant (Please print): <u>KENOSHA UNIFIED SCHOOL DISTRICT</u> <u>PAT FINNEMORE</u> <u>3600 52 STREET</u> <u>KENOSHA, WI 53144</u>	Phone: <u>(262) 359-6331</u> Fax: <u>(262) 359-7500</u> E-Mail: <u>pfinnemo@kuso.edu</u>
<input checked="" type="radio"/>	Name and Address of Architect/Engineer (Please print): <u>PARTNERS IN DESIGN ARCHITECTS INC</u> <u>MARK MOLINARO JR</u> <u>600 52 STREET SUITE 220</u> <u>KENOSHA, WI 53140</u>	Phone: <u>(262) 652-2800</u> Fax: _____ E-Mail: <u>markm@pidarchitects.com</u>
<input type="radio"/>	Name and Address of Property Owner (if other than applicant) (Please print): <u>CITY OF KENOSHA</u> _____ _____	Phone: _____ Fax: _____ E-Mail: _____

PROJECT LOCATION

Location of Development (street address and / or parcel number): 8730 22 AVENUE

TYPE OF LAND DEVELOPMENT

Check all that apply. Note: Additional information may be required within individual Sections.

<input type="checkbox"/>	Certified Survey Map	Section 1	Page 3
<input type="checkbox"/>	Concept Review (<i>Land Division</i>)	Section 2	Page 4
<input type="checkbox"/>	Concept Review (Multi-Family Residential or Non-Residential)	Section 3	Page 5
<input checked="" type="checkbox"/>	Conditional Use Permit	Section 4	Pages 6 & 7
<input type="checkbox"/>	Developer's Agreement	Section 5	Page 8
<input type="checkbox"/>	Final Plat	Section 6	Pages 9 & 10
<input type="checkbox"/>	Lot Line Adjustment Survey	Section 7	Page 11
<input type="checkbox"/>	Preliminary Plat	Section 8	Pages 12 & 13
<input type="checkbox"/>	Rezoning	Section 9	Pages 14 & 15
<input type="checkbox"/>	Site Plan Review	Section 10	Pages 16 & 17

**PRIOR TO SUBMITTING THIS APPLICATION TO THE DEPARTMENT OF CITY DEVELOPMENT,
PLEASE REVIEW THE APPROPRIATE SECTION(S) FOR FEES, REQUIREMENTS AND APPROPRIATE APPENDICES.**

*Submit this cover page, completed application, applicable section(s) and appendices
along with ALL required plans, information and fees to:*

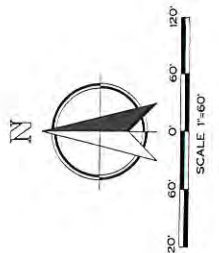
Department of Community Development & Inspections
Planning Division
625 52nd Street, Room 308
Kenosha, WI 53140

Phone: 262.653.4030
Fax: 262.653.4045

Office Hours:
M - F 8:00 am - 4:30 pm

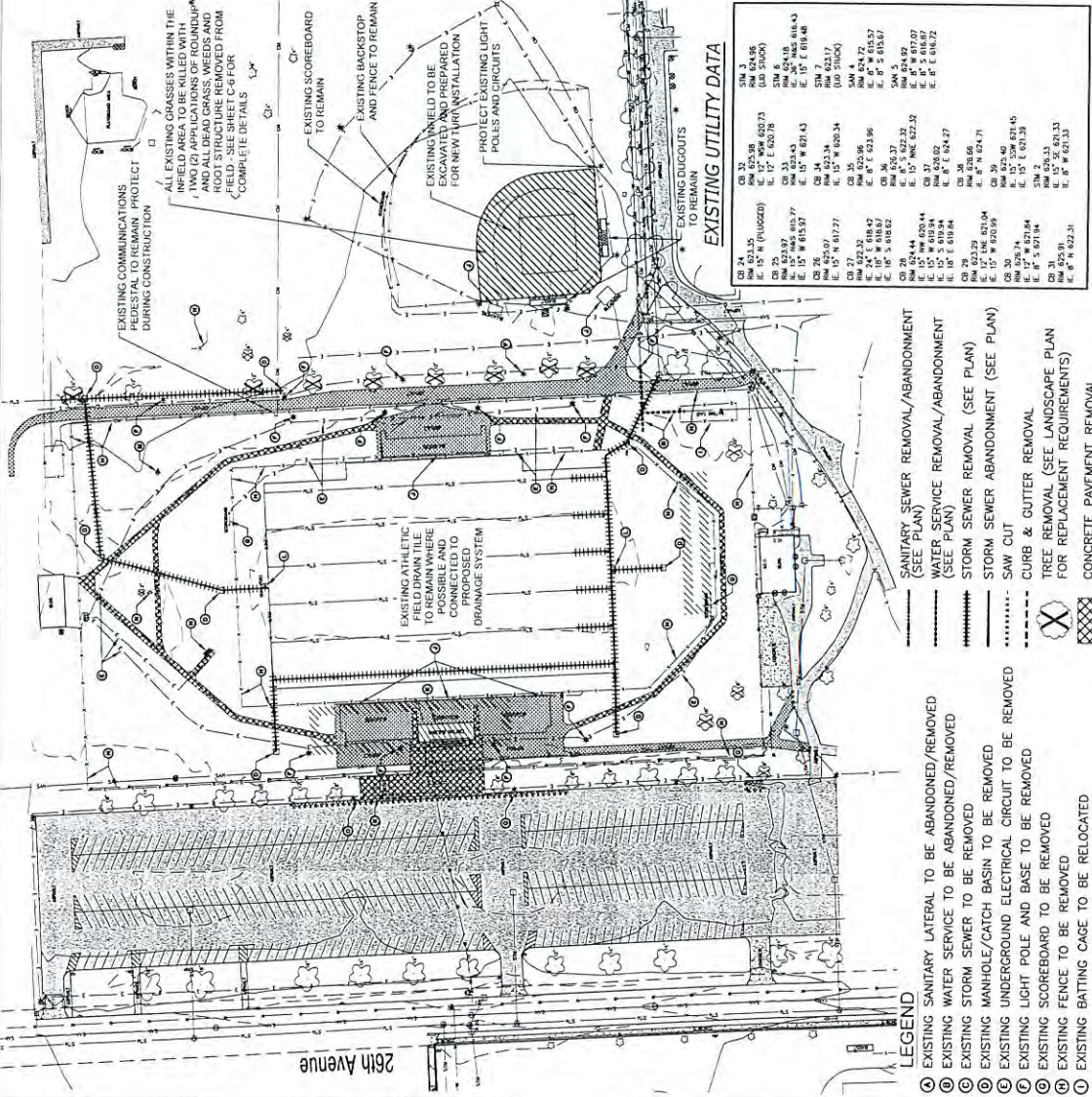
**SECTION 4
CONDITIONAL USE PERMIT**

Additional Information Required:	Building or Addition Square Footage: <u>16,769 S.F. - SEE ATTACHED</u> Existing Building Size: _____ <u>First INTEREST LETTER</u> Site Size: <u>8.74 Acres</u> Current # of Employees _____ Anticipated # of New Employees _____ Anticipated Value of Improvements _____																						
Submittal Requirements:	<ul style="list-style-type: none"> ➤ Ten (10) full size scaled copies of Specified Plans indicated below drawn at a standard engineering scale ➤ Developer Site Plan/Conditional Use Permit Checklist (Appendix A) 																						
If Item to be Reviewed by Plan Commission/Common Council must Submit:	<ul style="list-style-type: none"> ➤ One (1) 8 1/2" x 11" reduction <i>or</i> twenty (20) 11" x 17" reductions of the Site/Landscape Plan, Floor Plan and Colored Building Elevations (all sides) ➤ Sample Board containing colored samples of all exterior building materials 																						
Fees:	<table border="1"> <thead> <tr> <th></th> <th><u>Building or Addition Size</u></th> <th><u>Site size</u></th> <th><u>Review Fee</u></th> </tr> </thead> <tbody> <tr> <td>Level 1</td> <td><= 10,000 sq. ft.</td> <td><= 1 acre</td> <td>\$900 = City Plan Dept. <i>or</i> \$1,025 = CPC/CC</td> </tr> <tr> <td>Level 2</td> <td>10,001 - 50,000 sq. ft.</td> <td>1.01 - 10 acres</td> <td>\$1,175 = City Plan Dept. <i>or</i> \$1,300 = CPC/CC</td> </tr> <tr> <td>Level 3</td> <td>50,001 - 100,000 sq. ft.</td> <td>10.01 - 25 acres</td> <td>\$1,600 = City Plan Dept. <i>or</i> \$1,725 = CPC/CC</td> </tr> <tr> <td>Level 4</td> <td>> 100,001 sq. ft.</td> <td>> 25.01 acres</td> <td>\$2,000 = City Plan Dept. <i>or</i> \$2,125 = CPC/CC</td> </tr> </tbody> </table>		<u>Building or Addition Size</u>	<u>Site size</u>	<u>Review Fee</u>	Level 1	<= 10,000 sq. ft.	<= 1 acre	\$900 = City Plan Dept. <i>or</i> \$1,025 = CPC/CC	Level 2	10,001 - 50,000 sq. ft.	1.01 - 10 acres	\$1,175 = City Plan Dept. <i>or</i> \$1,300 = CPC/CC	Level 3	50,001 - 100,000 sq. ft.	10.01 - 25 acres	\$1,600 = City Plan Dept. <i>or</i> \$1,725 = CPC/CC	Level 4	> 100,001 sq. ft.	> 25.01 acres	\$2,000 = City Plan Dept. <i>or</i> \$2,125 = CPC/CC	<ul style="list-style-type: none"> ➤ If building size or addition and gross acreage of the site determine two (2) different fees, the greater of the two fees will be assessed. ➤ Application fee entitles applicant to an initial review and one re-submittal. ➤ Re-submittal fee = \$425 per re-submittal after two (2) permitted reviews. ➤ CUP Amendment = 50% of the applicable fee as determined above. 	
		<u>Building or Addition Size</u>	<u>Site size</u>	<u>Review Fee</u>																			
Level 1	<= 10,000 sq. ft.	<= 1 acre	\$900 = City Plan Dept. <i>or</i> \$1,025 = CPC/CC																				
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Level 4	> 100,001 sq. ft.	> 25.01 acres	\$2,000 = City Plan Dept. <i>or</i> \$2,125 = CPC/CC																				
Appendices to Review:	<ul style="list-style-type: none"> ➤ All 																						
Approximate Review Time:	<ul style="list-style-type: none"> ➤ 30 days for Staff Review ➤ 45-60 days for City Plan Commission/Common Council Review 																						
The conditional use permit plans, <i>prepared to a standard engineering scale</i> , shall be submitted with this application & shall include the following information:																							
Building Plan:	<ul style="list-style-type: none"> ➤ Layout of building(s) including size and layout of rooms ➤ Design and architecture ➤ Plans and details on fire suppression and/or standpipe ➤ Plans and details on fire detection, fire alarm and other safety devices 																						
Site Plan (based on a plat of survey)	<ul style="list-style-type: none"> ➤ Legal description of property ➤ Location and footprint of building(s) and structure(s) ➤ Locations of existing and proposed streets, drives, alleys, easements, rights-of-way, parking as required, vehicular and pedestrian access points, and sidewalks ➤ Outline of any development stages ➤ Location and details on any required emergency access roads ➤ A calculation of square footage devoted to building, paving and sidewalks, and landscaped/open space 																						
Drainage Plan	<ul style="list-style-type: none"> ➤ Existing topography, including spot elevations of existing buildings, structures, high points, and wet areas, with any previous flood elevations ➤ Floodplain boundaries, if applicable ➤ Soil characteristics, where applicable ➤ Proposed topography of the site denoting elevations and natural drainage after construction and any proposed stormwater retention areas 																						



DEMOLITION NOTES

- BEFORE ANY DEMOLITION, THE CONTRACTOR SHALL REFER TO ALL ENVIRONMENTAL ASSESSMENT AND/OR GEOTECHNICAL SURFACE REPORTS. THE CONTRACTOR SHALL LAID OUT ALL NECESSARY PERMITS PRIOR TO DEMOLITION OF ANY EXISTING STRUCTURES.
- BEFORE ANY DEMOLITION, THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO DEMOLITION OF ANY EXISTING STRUCTURES.
- ON THE REMAINING PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL UTILITIES TO BE UNDERCUT TO STABLE MATERIAL AND BROUGHT TO GRADE. UNDESIRABLE COMPACTED FILL MATERIAL FOR THE SPECIFICATIONS.
- RESPONSIBLE FOR OBTAINING ALL PERMITS NECESSARY TO REMOVE ALL UTILITIES FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES TO REMAIN ON THE SITE, INCLUDING BUT NOT LIMITED TO, WATER, GAS, AND ELECTRICITY.
- THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES CONCERNING THE LOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE RESPONSIBLE FOR PAYING ALL FEES AND CHARGES WHICH MAY BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES WHICH MAY BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION AND DISCONNECTION OF UTILITY SERVICES TO THE EXISTING BUILDINGS PRIOR TO DEMOLITION OF SUCH PORTIONS OF THE BUILDINGS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UTILITIES TO BE DEMOLISHED PRIOR TO THE START OF ANY DEMOLITION ACTIVITY. THE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR THE LOCATION OF UTILITIES TO BE DEMOLISHED PRIOR TO THE START OF ANY DEMOLITION ACTIVITY.
- ALL EXISTING SERVICES, PIPING, AND UTILITIES SHOWN ARE NOT TO BE INTERFERED AS THE EXACT LOCATION OF THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VISIT EXISTING CONDITIONS AND PROCEED WITH CAUTION REGARDING UNANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES OF ALL EXISTING UTILITIES AND SERVICES TO BE REMOVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES TO BE DEMOLISHED PRIOR TO THE START OF ANY DEMOLITION ACTIVITY.
- ELECTRICAL, TELEPHONE AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK.
- NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE.
- THE CONTRACTOR SHALL MAINTAIN ALL UTILITY SERVICES TO THE ADJACENT BUSINESSES. UTILITY SERVICES SHALL NOT BE INTERRUPTED WITHOUT APPROVAL.
- IT SHALL BE THE RESPONSIBILITY OF ANY INDIVIDUAL, CONTRACTOR, UTILITY COMPANY, OR MUNICIPAL AGENCY TO CALL THE DIGGERS HOTLINE AT (800) 485-5111 A MINIMUM OF 3 WORKING DAYS PRIOR TO EXCAVATION ACTIVITIES.
- THE CONTRACTOR SHALL CONTACT THE PUBLIC AT ALL TIMES WITH SIGNS, FENCING, BARRIERS, ENCLOSURES, ETC. AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES TO PROTECT THE PUBLIC FROM THE EXCAVATION WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES TO BE DEMOLISHED PRIOR TO THE START OF ANY DEMOLITION ACTIVITY.
- CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING THE COURSE OF WORK.
- PRIOR TO DEMOLITION OCCURRING, ALL EXISTING CONTROL DEVICES ARE TO BE INSTALLED.
- EXISTING SIGNS TO REMAIN INCLUDING, BUT NOT LIMITED TO, SIGNAGE, UTILITIES, BUILDINGS, TRUCKS, TRAILERS, AND LIGHT POLES SHALL BE CAREFULLY PROTECTED DURING THE DEMOLITION PROCESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES TO BE DEMOLISHED PRIOR TO THE START OF ANY DEMOLITION ACTIVITY.
- PROPERTY CORNERS AND BENCHMARKS SHALL BE CAREFULLY PROTECTED UNTIL THEY HAVE BEEN REINFORCED BY A PROFESSIONAL LAND SURVEYOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES TO BE DEMOLISHED PRIOR TO THE START OF ANY DEMOLITION ACTIVITY.
- CONTRACTOR SHALL MAKE SURE TO REMOVE ALL EXISTING SIGNS WITHIN PROPERTY LIMITS EXCEPT FOR THOSE CALLED TO BE SALVAGED AND RELOCATED.
- PREVIOUSLY UNIDENTIFIED HAZARDOUS CONTAMINATED MATERIALS, OR OTHER ENVIRONMENTAL RELATED CONDITIONS ARE DISCOVERED, STOP WORK. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT CONSTRUCTION MANAGER FOR ACTION TO BE TAKEN. DO NOT RESUME WORK UNTIL SPECIFICALLY AUTHORIZED BY THE CONTRACTOR MANAGER.
- STORM DRAINAGE DESIGNATED TO BE ABANDONED SHALL BE BULKHEADS AT BOTH ENDS PER SECTION 94.13.300 OF THE STATE SPECIFICATIONS AND FILLED WITH SLURRY.



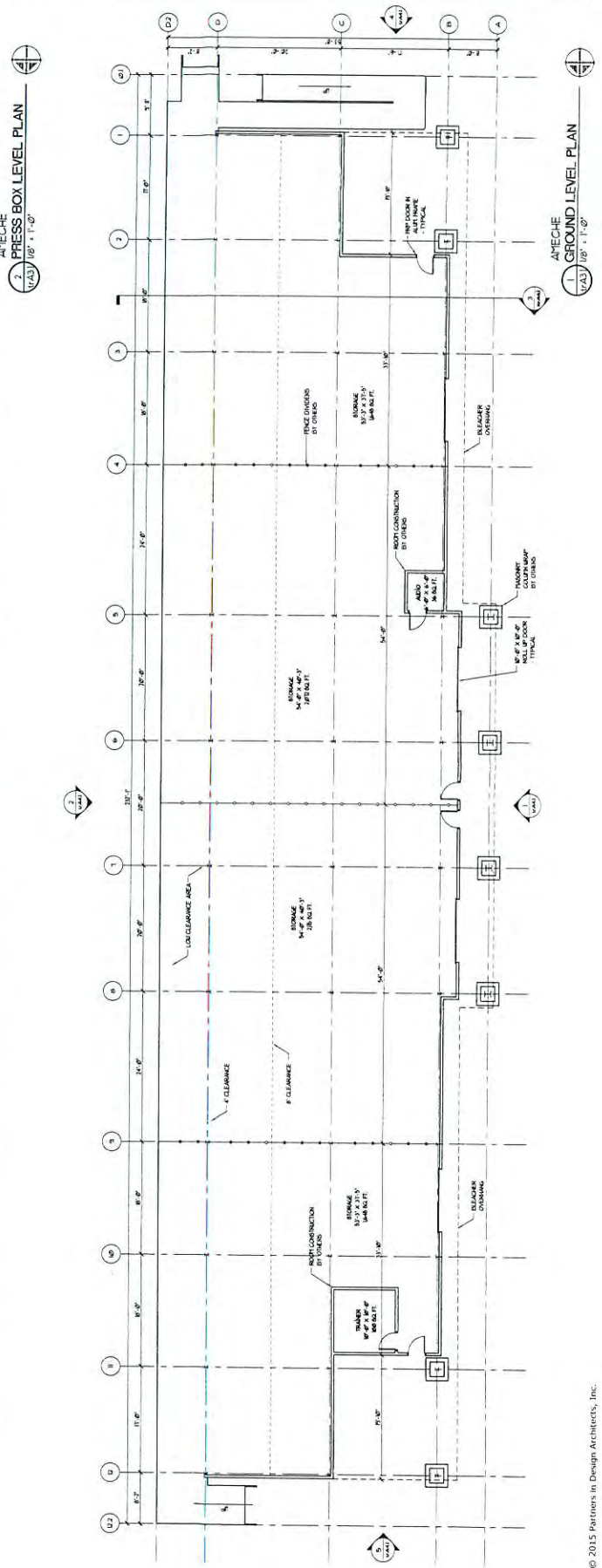
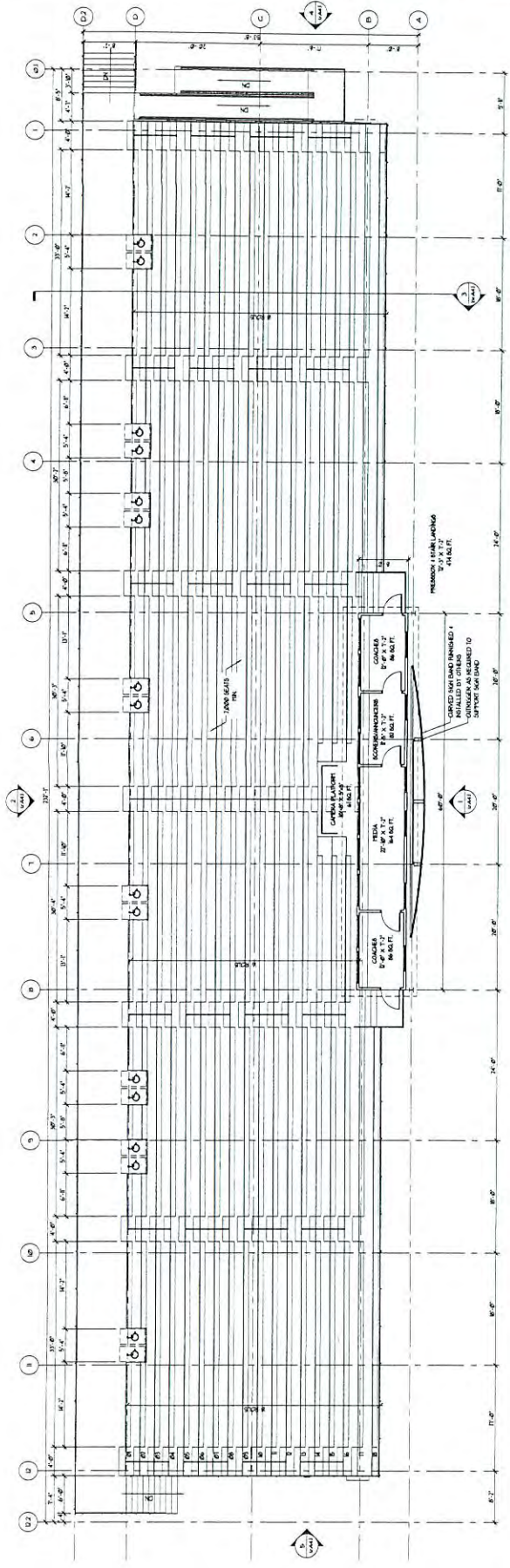
EXISTING UTILITY DATA

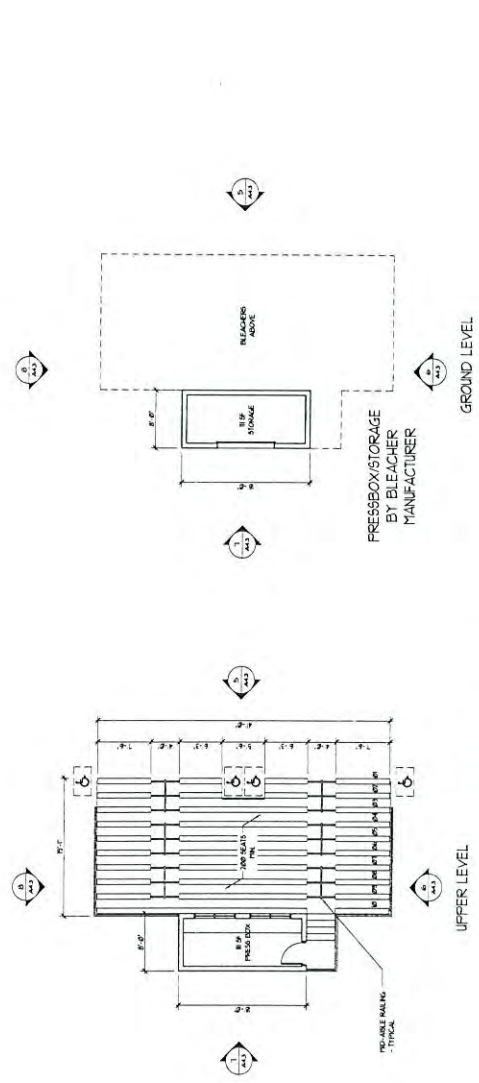
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UTILITY NOTE:

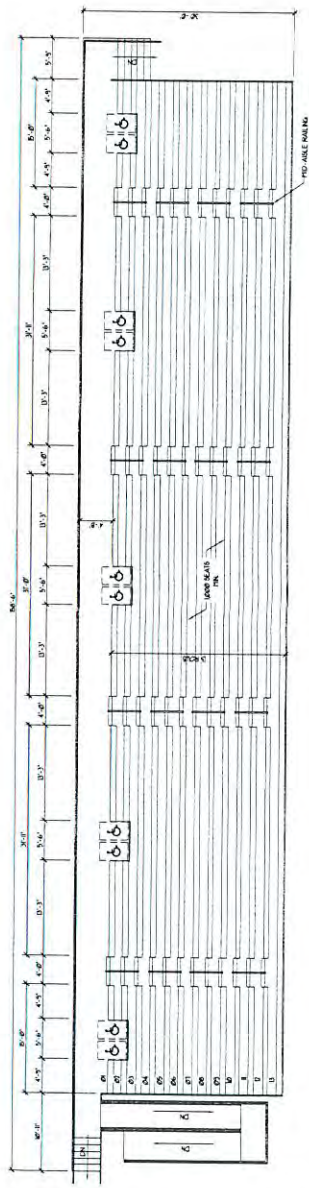
EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. "DIGGERS HOTLINE" PRIOR TO ANY CONSTRUCTION.

- LEGEND**
- EXISTING SANITARY LATERAL TO BE ABANDONED/REMOVED
 - EXISTING WATER SERVICE TO BE ABANDONED/REMOVED
 - EXISTING STORM SEWER TO BE REMOVED
 - EXISTING MANHOLE/CATCH BASIN TO BE REMOVED
 - EXISTING UNDERGROUND ELECTRICAL CIRCUIT TO BE REMOVED
 - EXISTING LIGHT POLE AND BASE TO BE REMOVED
 - EXISTING SCOREBOARD TO BE REMOVED
 - EXISTING FENCE TO BE REMOVED
 - EXISTING BATTING CAGE TO BE RELOCATED
 - EXISTING BLEACHERS TO BE REMOVED
 - EXISTING BUILDING TO BE RAZED
 - EXISTING GOAL POST TO BE SALVAGED AND RELOCATED
 - EXISTING FLAG POLE TO BE RELOCATED
 - EXISTING SIGN TO BE REMOVED
 - EXISTING CURB & GUTTER TO BE REMOVED
 - SANITARY SEWER REMOVAL/ABANDONMENT (SEE PLAN)
 - WATER SERVICE REMOVAL/ABANDONMENT (SEE PLAN)
 - STORM SEWER REMOVAL (SEE PLAN)
 - STORM SEWER ABANDONMENT (SEE PLAN)
 - CURB & GUTTER REMOVAL
 - TREE REMOVAL (SEE LANDSCAPE PLAN FOR REPLACEMENT REQUIREMENTS)
 - CONCRETE PAVEMENT REMOVAL
 - CONCRETE SIDEWALK REMOVAL
 - ASPHALT PAVEMENT REMOVAL
 - BUILDING TO BE RAZED
 - BASEBALL FIELD EXCAVATION

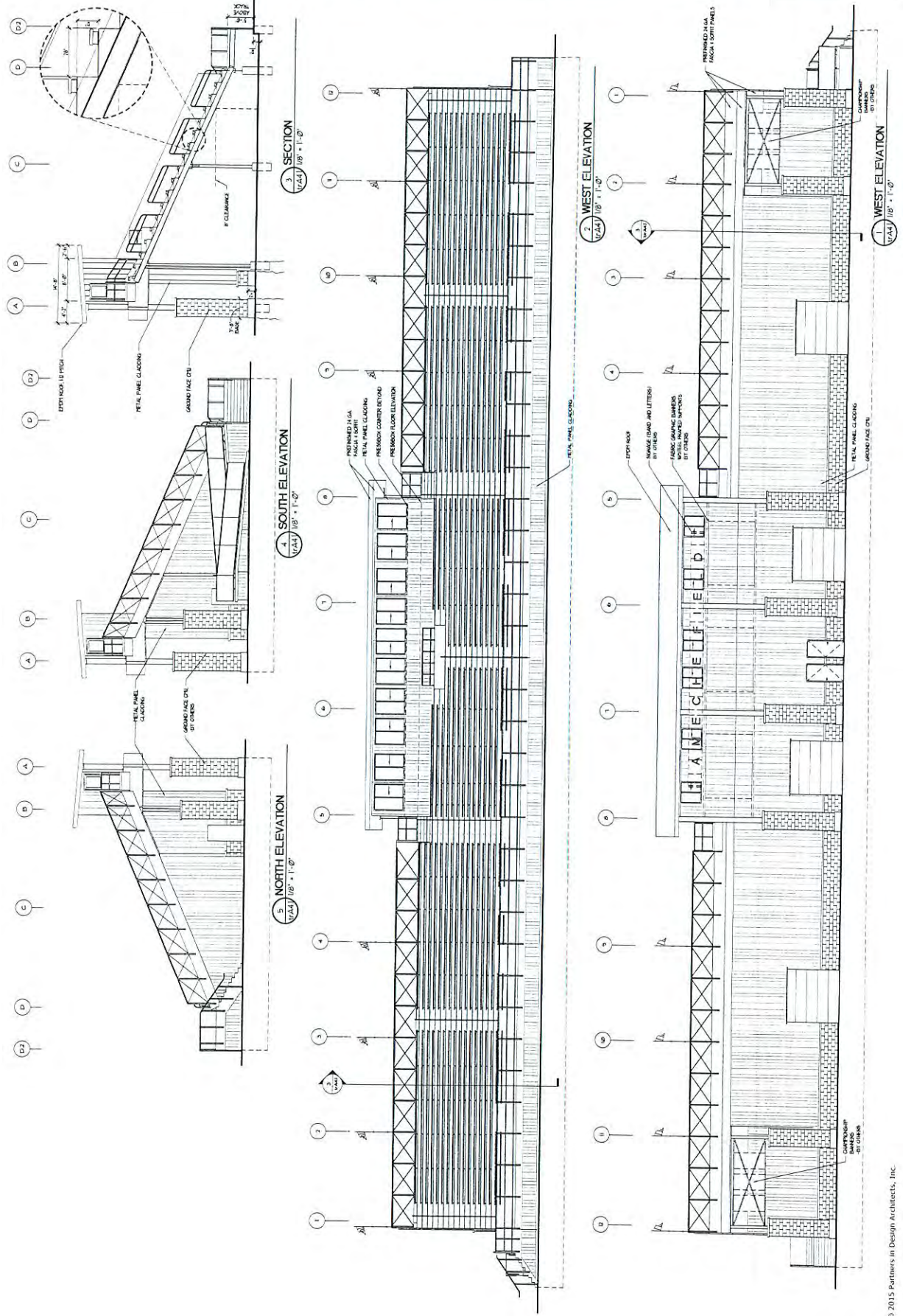




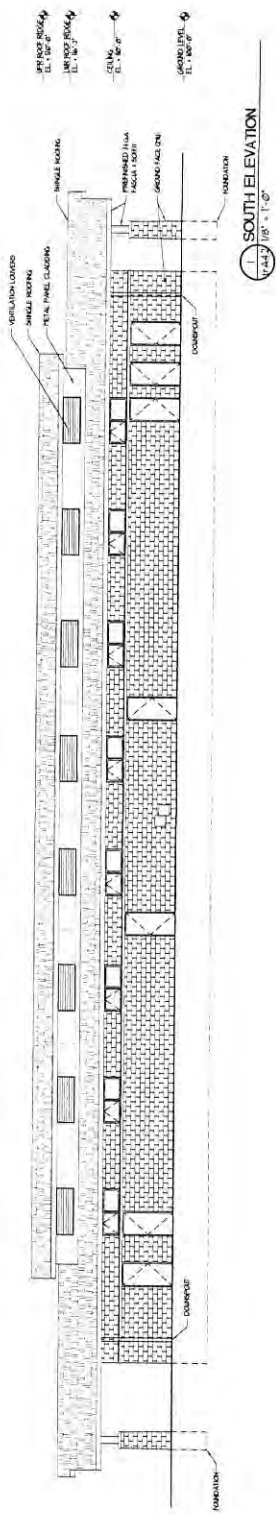
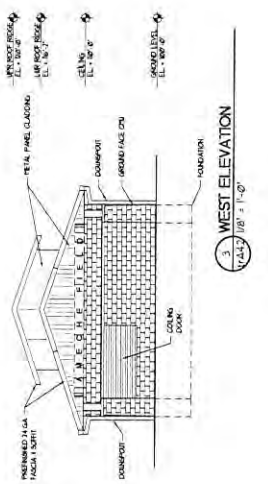
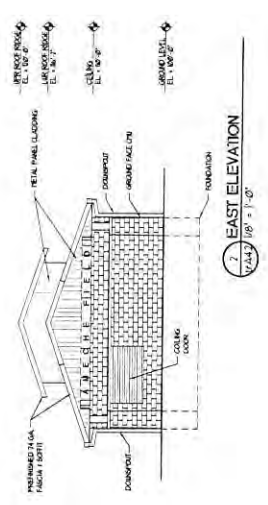
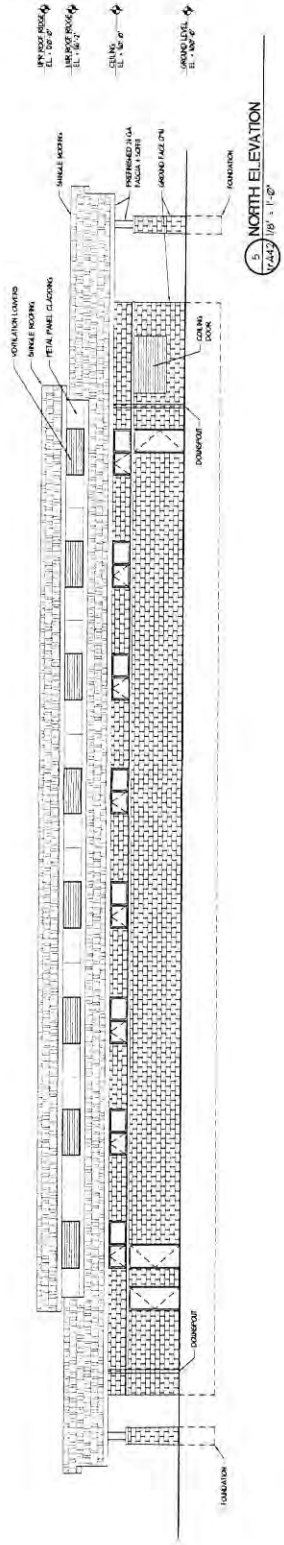
ANEICHE
 VARSITY SOFTBALL PRESSBOX & BLEACHERS
 CONSTRUCTION



ANEICHE
 VISITOR BLEACHERS
 CONSTRUCTION



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DATE

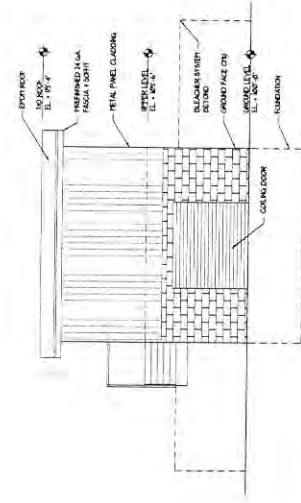
KUSD ATHLETIC FIELDS
 3800 52ND STREET, KENOSHA, WI
 53142
 608 398-8800
 608 398-8801
 608 398-8802

Partners in Design
 ARCHITECTS

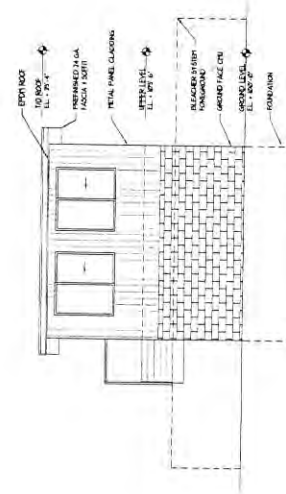


PROJECT NO: 02015-0360
 DRAWN BY: JRM
 CHECKED BY: JRM
 DATE: 02/13/2015
 SHEET NO: A4.3

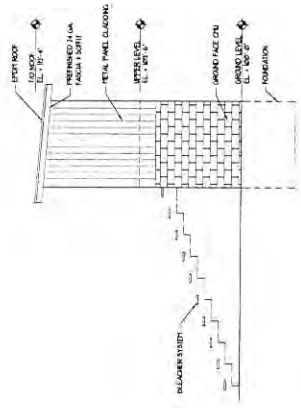
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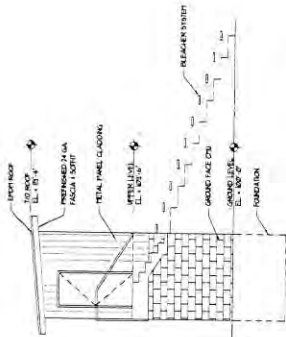
AMECHE FIELD VARSITY SOFTBALL PRESSBOX
 3 SOUTH ELEVATION
 3/16" = 1'-0"



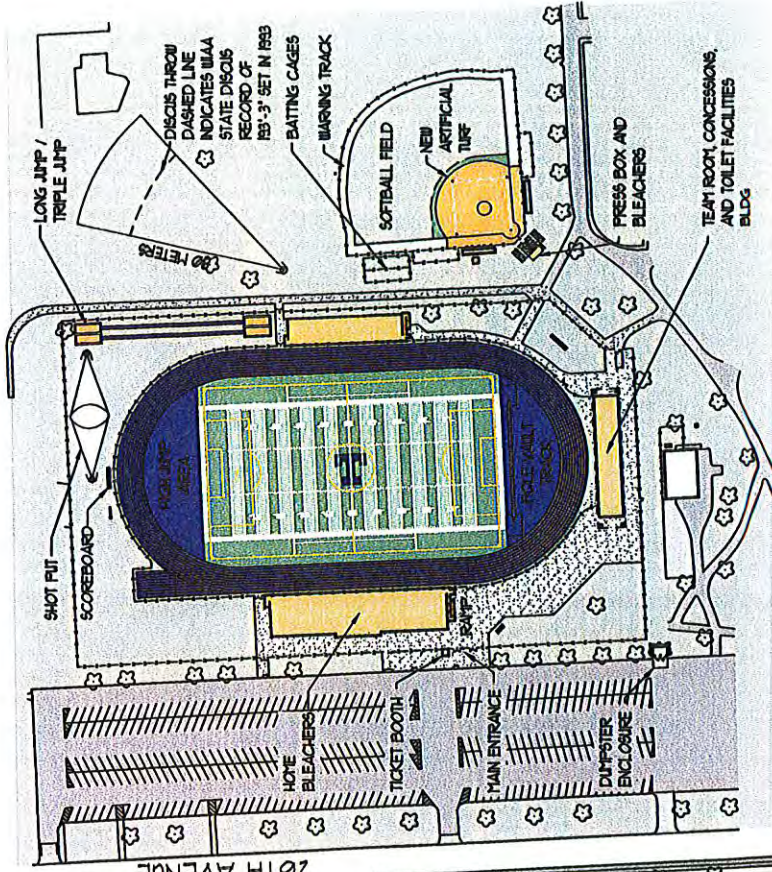
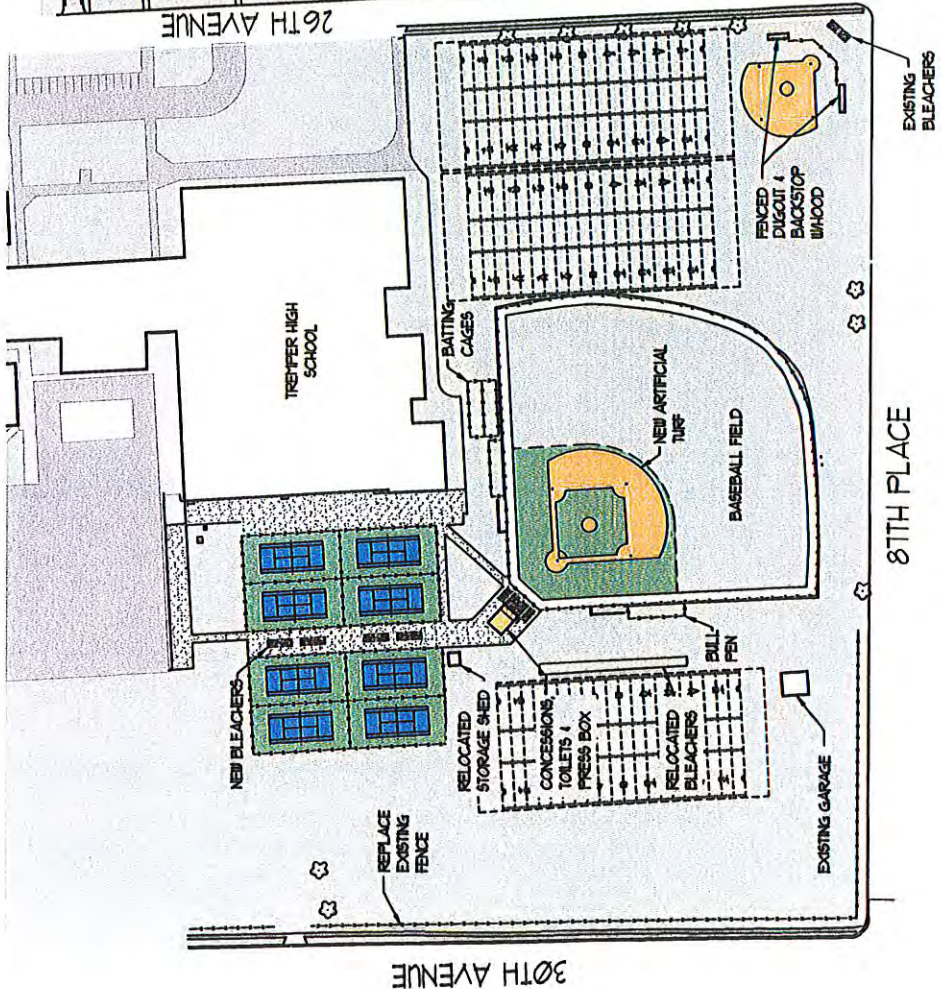
AMECHE FIELD VARSITY SOFTBALL PRESSBOX
 4 NORTH ELEVATION
 3/16" = 1'-0"



AMECHE FIELD VARSITY SOFTBALL PRESSBOX
 5 WEST ELEVATION
 3/16" = 1'-0"



AMECHE FIELD VARSITY SOFTBALL PRESSBOX
 6 EAST ELEVATION
 3/16" = 1'-0"



PROJECT DATA - PLAYING FIELDS / TRACK DIMENSIONS

SOCCER FIELD DIMENSIONS:
 PER THE NATIONAL FEDERATIONS OF STATE HIGH SCHOOL ASSOCIATIONS (NFHS)
 LENGTH: 100 TO 120 YARDS (300' TO 360')
 WIDTH: 55 TO 85 YARDS (165' TO 240')
 AS SHOWN:
 LENGTH: 120 YARDS (360'-0")
 WIDTH: 75 1/2 YARDS (228'-0")
 INDIAN TRAIL HIGH SCHOOL (EXISTING SOCCER FIELD DIMENSIONS)

TRACK & FIELD DIMENSIONS:
 TRACK & FIELD OUTDOOR 400 METER TRACK DIMENSIONS PER THE INTERNATIONAL ASSOCIATION OF ATHLETIC FEDERATION (IAAF) AS SHOWN IN DRAWING (ITALIC)
 --TWO 50M STRAIGHT SECTIONS, LENGTH OF 84.38 METERS (276'-10 1/2") (MEASURED 30 CM (11 3/4") INWARD OF INNER CURVE)
 RADIUS OF 34.5 METERS (113'-9 1/4")
 (THE STANDARD 400 METER TRACK GIVES YOU AN OVERALL INSIDE LENGTH OF 316'-4" AND INSIDE WIDTH OF 238'-6")
 (THE INDIAN TRAIL TRACK GIVES YOU AN OVERALL INSIDE LENGTH OF 331'-7" AND 208'-0" SO THE STANDARD TRACK IS 140'-10" WIDER AND 30'-4" DEEPER)

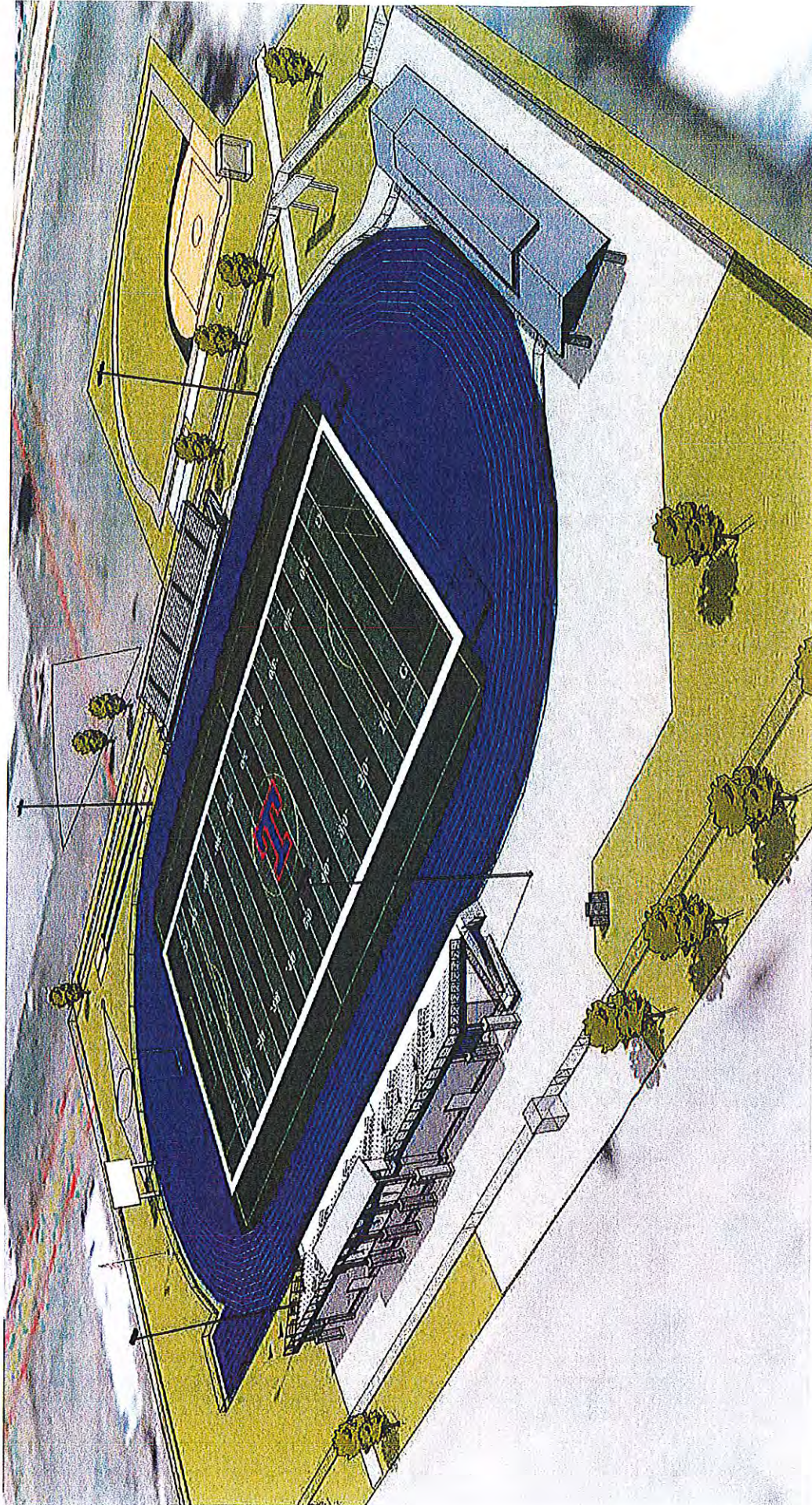
Tremper High School - Overall Site Plan

Scale: 1" = 150'-0"

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KUSD Athletic Fields
 Attachment to Conceptual Plans
 October-2015

Partners in Design
 ARCHITECTS
 253.652.2000
 Kennesaw, WI
 847.940.0200
 Evanston, IL



Tremper High School - Overall Site Rendering

NOT TO SCALE

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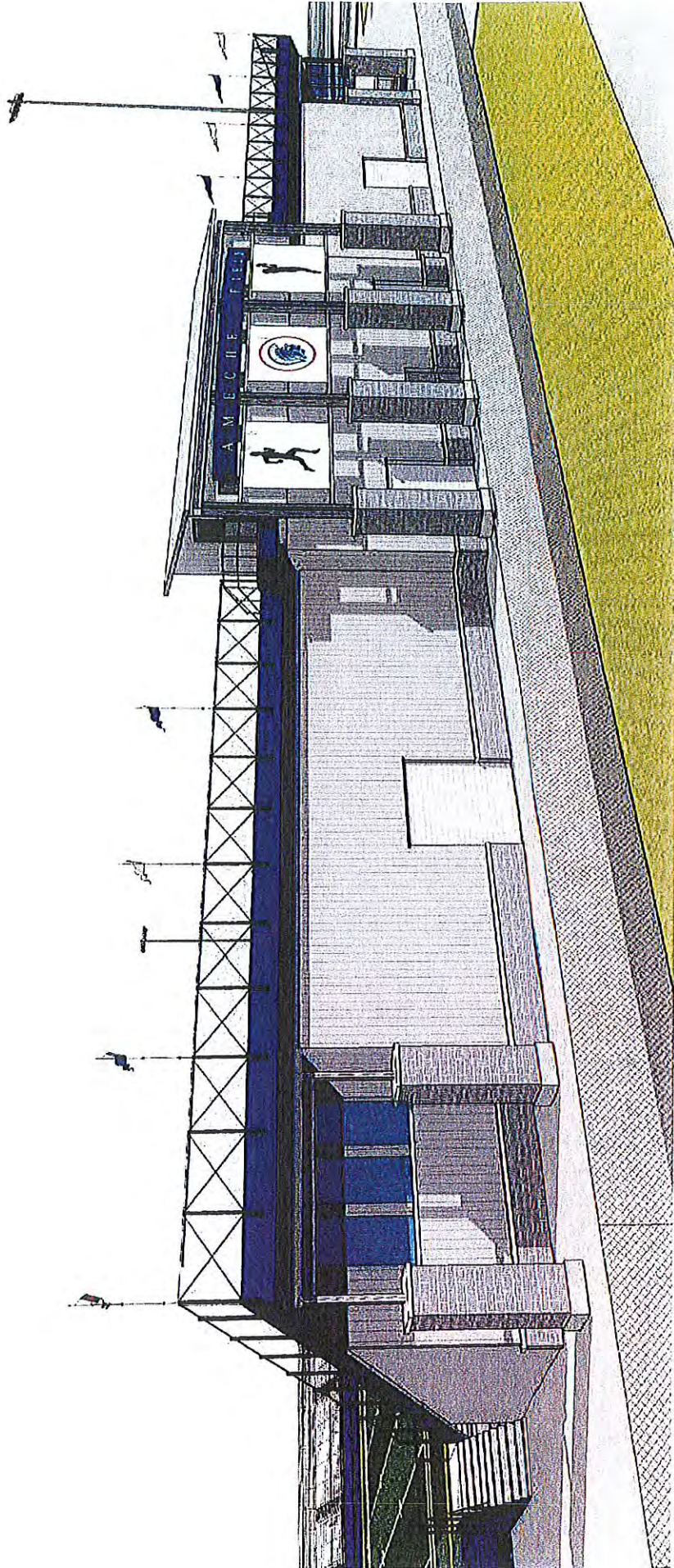
**KUSD Athletic Fields
Attachment to Conceptual Plans
October-2015**



**Partners in Design
ARCHITECTS**

262.652.2300
Kempster, VA

347.340.0300
Plymouth, IL



Tremper High School - Bleacher Renderings

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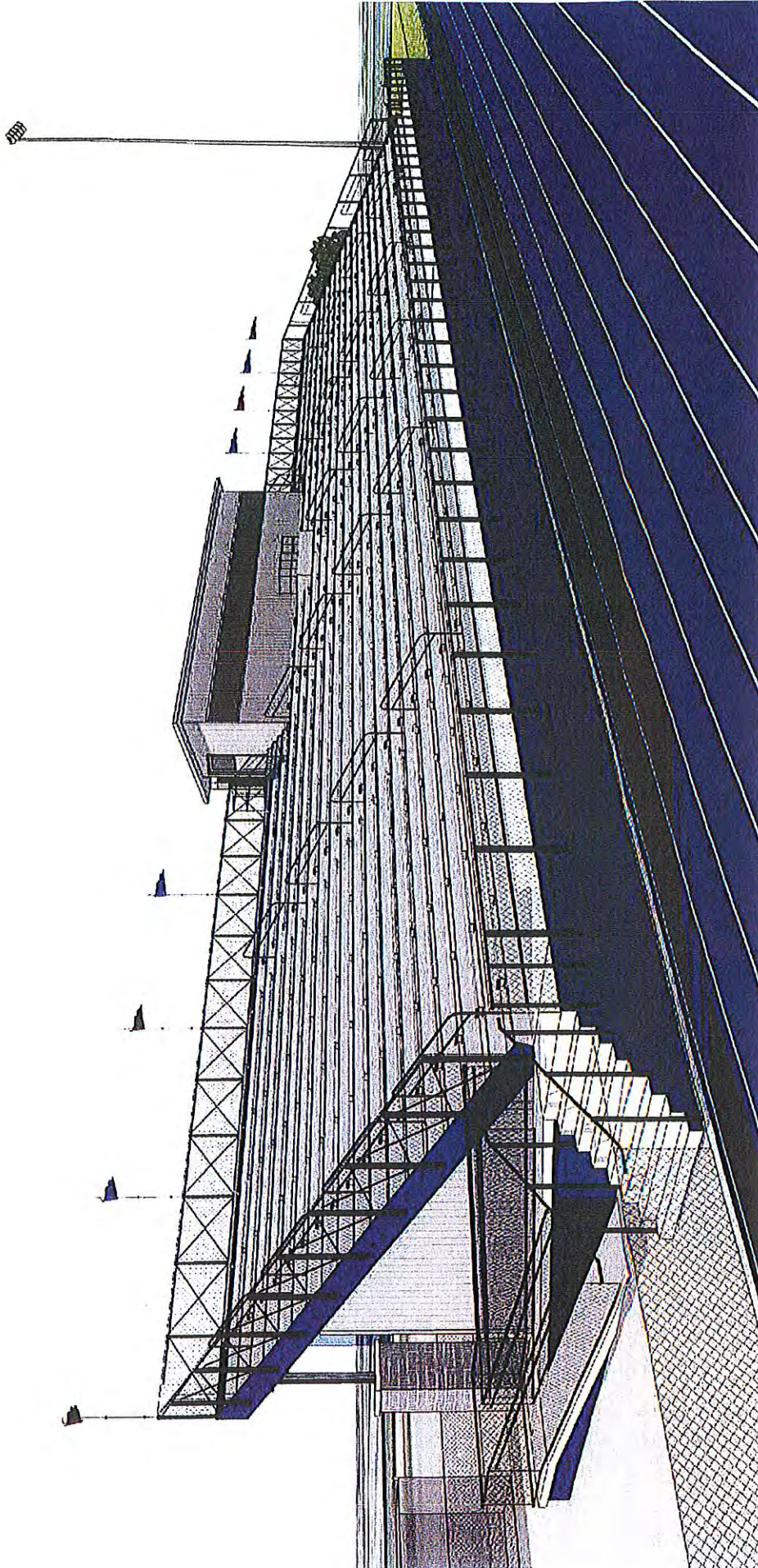
**KUSD Athletic Fields
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October-2015**



**Partners in Design
ARCHITECTS**

262.552.2100
Kempsha, WI

847.940.0300
Riverwoods, IL



Tremper High School - Bleacher Renderings

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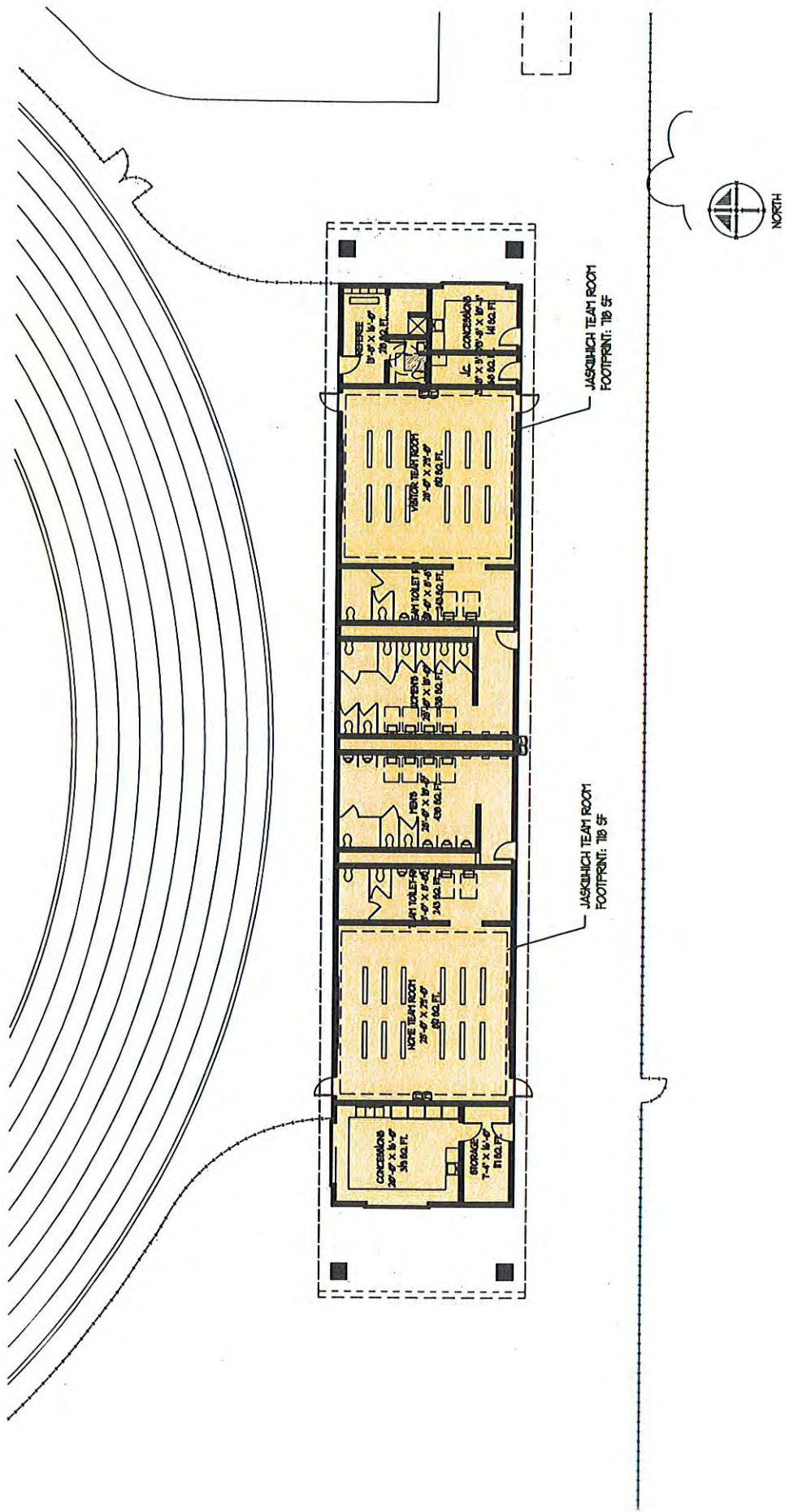
**KUSD Athletic Fields
Attachment to Conceptual Plans
October-2015**



**Partners in Design
ARCHITECTS**

262.552.2100
Knoxville, TN

817.940.0700
Baltimore, IL



Tremper High School - Team Building Plan

Scale: 1/16" = 1'-0"

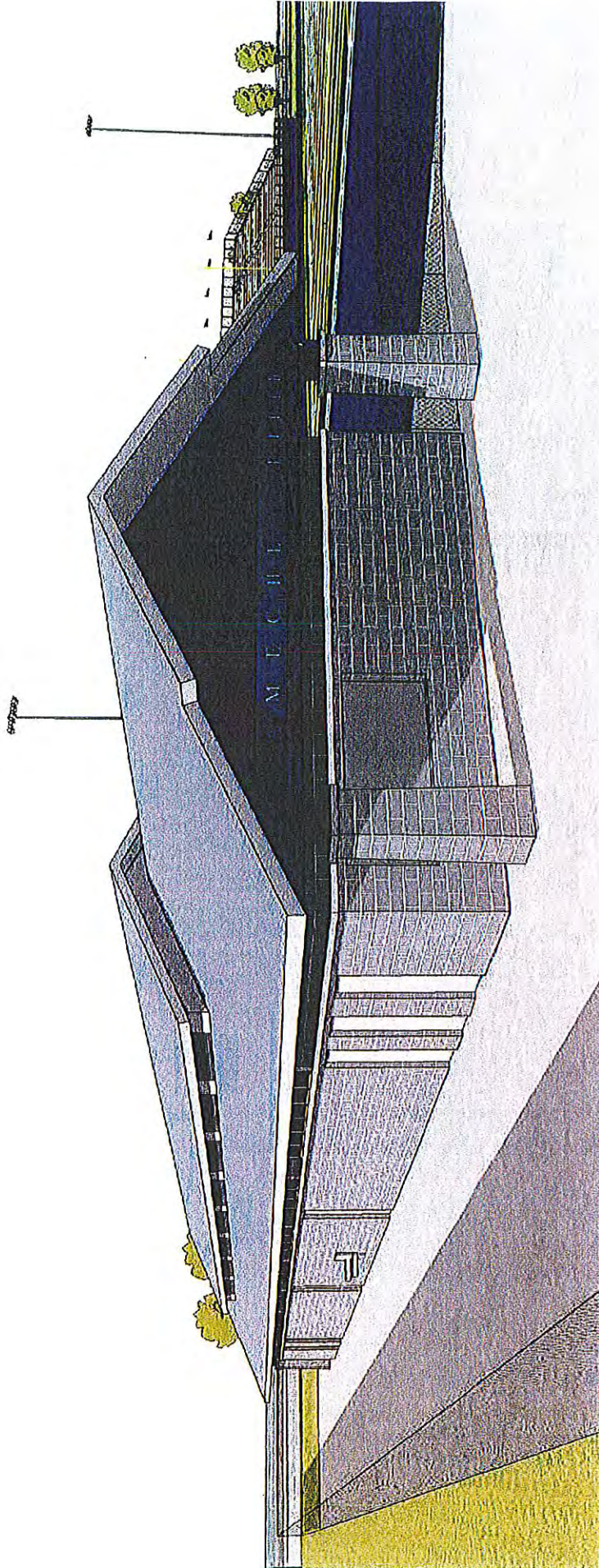
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KUSD Athletic Fields
Attachment to Conceptual Plans
October-2015



Partners in Design
ARCHITECTS

252.652.2800
Kempville, VA
817.349.0500
Fayetteville, NC



Tremper High School - Team Building Renderings: South Elevation

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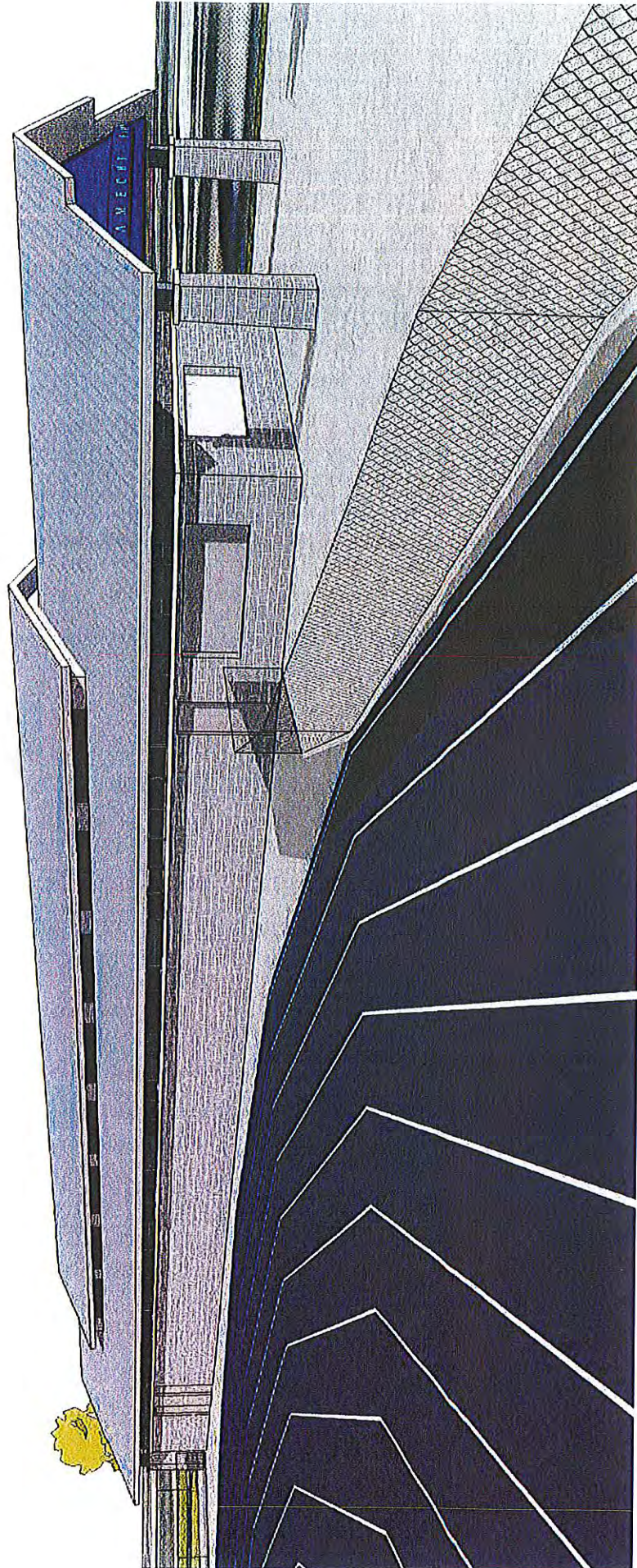
**KUSD Athletic Fields
Attachment to Conceptual Plans
October-2015**



**Partners in Design
ARCHITECTS**

262.652.2800
Kempster, VI

817.940.0200
Brewerwoods, IL



Tremper High School - Team Building Renderings: North Elevation

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**KUSD Athletic Fields
Attachment to Conceptual Plans
October-2015**



**Partners in Design
ARCHITECTS**

262.552.2800
Kennesaw, GA

857.940.0300
Riverside, IL



TO: Mayor Keith Bosman
Members of the Common Council

FROM: Brian Wilke, Department of Community Development & Inspections

RE: **Conditional Use Permit for a 3,000 seat stadium to be located at 3700 Washington Road. (KUSD/Bradford High School) (District 6)**

DATE: January 20, 2016

The proposed Conditional Use Permit for a 3,000 seat stadium to be located at 3700 Washington Road was reviewed and approved at the City Plan Commission on November 19, 2015.

After the City Plan Commission approval, a "hold" was placed on the item by the architect and applicant to allow them to review possible changes to the exterior materials for the project.

The parties have decided to move forward with the materials as proposed and the item is now presented to the Common Council for your approval.

If you have any questions, please contact me at 653.4049 or via email at bwilke@kenosha.org.

BW:kas
Attachment

**Conditional Use Permit for a 3,000 seat stadium to be located at 3700 Washington Road.
(KUSD/Bradford High School) (District 6) PUBLIC HEARING**

NOTIFICATIONS AND APPROVAL REQUIREMENTS:

Alderson Paff, District 6, has been notified. Alderson Kennedy has been notified because his district lies within 100 feet of the proposed project. The Common Council is the final review authority.

LOCATION AND ANALYSIS:

Site: 3700 Washington Road
Zoned: IP Institutional Park / Air-5 Airport Overlay / FW Floodway / SWO Shoreland Wetland Overlay

1. Kenosha Unified School District (KUSD) is proposing to construct a new football stadium on the Bradford High School property. The new field would be constructed in the area currently occupied by the tennis courts and the open area to the north of the courts. The tennis courts are being relocated to Bullen Middle School.
2. The new construction will include:
 - a. New bleachers and press box on the home side of the field;
 - b. New bleachers on the visitors side of the field;
 - c. A new team locker room, concessions and restroom building at the south end of the field;
3. The materials and uses are as follows:
 - a. Exterior materials of the bleacher/press box and the team locker room/concession stand is ground face concrete masonry units.
 - b. The underside of the home bleachers will be enclosed with an architectural metal panel and the area will be used for storage.
 - c. The underside of the visitors bleachers will be open.
4. The existing parking lot will also be expanded. The total number of parking stalls when completed would be 857 parking spaces. Per Section 6.0 of the Zoning Ordinance, all separate uses on a property must provide the minimum amount of off-street parking spaces required for that use. For Bradford High School, the following is required:

High School	246,497 s.f.	1 space / 500 ft.	493 spaces
Stadium	3,000 seats	1 space / 5 seats	600 spaces
TOTAL REQUIRED:			1,093 spaces

5. The City Plan Commission has the ability to grant relief to the minimum number of off-street parking spaces. Staff supports relief to the off-street parking requirements since the stadium should never be in use when the high school classes are in session. Therefore, the proposed parking lot of 857 spaces provides enough parking for each use separately. The Request for Relief is the next agenda item.

6. The plans were sent to City Departments for their review. Their comments are included in the attached Conditions of Approval.
7. The plans generally comply with Sections 4 and 14 of the Zoning Ordinance.

RECOMMENDATION:

A recommendation is made to approve the Conditional Use Permit, subject to the attached Conditions of Approval.



Brian Wilke, Development Coordinator



Jeffrey B. Labahn, Director

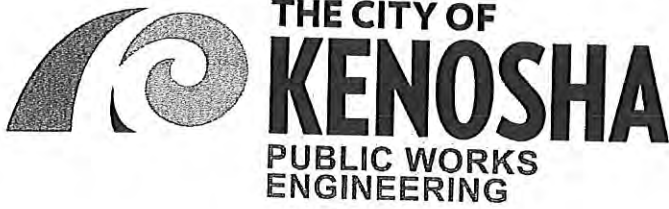
/u2/acct/cp/ckays/1CPC/2015/NOV19/6Staff-cup-KUSDBradford.doc

1. The following Conditions of Approval will run with the land and shall be included in a document recorded with the Kenosha County Register of Deeds:
 - a. The applicant shall obtain all required construction permits from the Department of Community Development & Inspections. This includes, but is not limited to Erosion Control, Building, Plumbing, Electrical and Occupancy permits.
 - b. The applicant shall obtain Driveway, Sidewalk, Street Opening, Parking Lot and Stormwater Management permits from the Department of Public Works.
 - c. All signs shall comply with Chapter 15 of the Code of General Ordinances and the applicant shall obtain sign permits for all new signs. A Separate submission and permit is required for all signs. Sign information provided under the Conditional Use Permit is for reference only and does not constitute sign permit approval.
 - d. The development shall be constructed per the approved plans on file with the Department of Community Development & Inspections, Room 308, 625 52nd Street, Kenosha, WI 53140. Any changes to the approved plans shall require an Amendment to the Conditional Use Permit. All changes shall be submitted to the Department of Community Development & Inspections for review and approval.
 - e. Prior to the issuance of any Occupancy permits, all parking areas, drives and designated paved areas shall have the initial lift of asphalt installed. The building exterior shall be completed per the approved plans, the exterior lighting shall be installed and the Conditional Use Permit shall be recorded with the Kenosha County Register of Deeds. All improvements indicated on the plans, including landscaping, shall be installed prior to the issuance of a final Occupancy permit. The recording fees for the Conditional Use Permit shall be submitted by the applicant.
 - f. Compliance with City and State and/or Federal Codes and Ordinances. The buildings shall comply with the current Code standards in effect upon application for a building permit.
 - g. All roof top mechanicals shall be properly screened per Section 14.07 B.10 of the Zoning Ordinance.
 - h. All trash containers shall be stored within the enclosure or building. The applicant/owner shall be responsible for waste collection and removal for the development. The City of Kenosha shall not provide waste collection or removal services or incur any cost in this regard.
 - i. Applicant shall meet all applicable Conditions of Approval and obtain a Building permit within twelve (12) months of the Common Council approval. Building permits for all other buildings shall be obtained within two (2) years of the Common Council approval or the Conditional Use Permit shall be null and void.
 - j. All vehicles shall be parked within the designated paved areas.
 - k. All improvements, including landscaping, shall be maintained per the approved plans. Any damaged fencing, landscaping or building shall be replaced/reconstructed per the approved plans.

- I. Prior to final Occupancy of the building, the applicant shall provide an electronic copy of the following information to the Fire Prevention Bureau:
 - i. Site Plan as-built.
 - ii. Floor Plan as-built
 - iii. Site Utilities
 - iv. Sprinkler Plans
 - v. Fire Alarm Plans

2. The following Conditions of Approval shall be satisfied with City Staff prior to the issuance of any construction permits:
 - a. The Drainage Plan shall be revised and resubmitted for review and approval addressing comments listed in the Public Works memo dated November 10, 2015.
 - b. The Utility Plan shall be revised and resubmitted for review and approval addressing the comments listed in the Kenosha Water Utility memo dated November 6, 2015.
 - c. The team locker room building and the storage area under the bleachers must be fully sprinklered. All buildings to include Knox Box[®] Rapid Entry System.
 - d. An Operational Plan shall be provided per Section 4.06 D.3(f) of the Zoning Ordinance.
 - e. The City Plan Commission shall grant relief to the minimum amount of off-street parking spaces required.

/u2/acct/cp/ckays/1CPC/2015/NOV19/6-conditions-KUSDBradford.doc



TO: Brian Wilke, Development Coordinator
FROM: Shelly Billingsley, P.E. *Shelly Billingsley* CWA 11-10-15
 City Engineer
Date: November 10, 2015
Subject: Plan Review Comments
Project Description: Bradford High School Football Stadium
Location: 3700 Washington Road

Our staff has reviewed the plans for this project. The following comments are provided:

Parking Lot Ordinance Compliance	Sufficient	Deficient	Not Applicable
Parking Lot Paved		X	
Standard Stall Width		X	
Parking Lot Layout	X		
Parking Lot Lighting Shown	X		
Parking Lot Lighting Adequate	X		
Handicapped Parking		X	
Driveway Locations	X		
Driveway Width			X
Passing Blister or Accel/Decel Lanes			X
Sidewalks Adequate	X		
Drive Thru Lane Design			X

Public Streets	Sufficient	Deficient	Not Applicable
Geometric Design			X
Pavement Width			X
Pavement Thickness Design			X
Established Grades			X
Plan Details			X
Sidewalks			X
Street Lights			X

Site Grading/Drainage	Sufficient	Deficient	Not Applicable
Drainage Plan		X	
Storm Sewer	X		
Storm Water Detention		X	
Drainage Calculations		X	

Project Approval/Permits Needed	Yes	No	Not Applicable
Project Approved for Permitting		X	
Withhold Permits: See Comments	X		
Approve Footing/ Foundation Only (per condition)			
Parking Lot Permit Required	X		
Driveway Permits Required	X		
Sidewalk Permit Required	X		
Street Opening Permit Required	X		
Stormwater Management Permit Required	X		
Erosion Control Permit Required	X		

Grading & Drainage Comments:

1. Page C-3, On the Removal Sheet should show a table of the total disturbed area as well as the total existing and proposed impervious surface area. Also should show the limits of the existing ground disturbed area with the use of a pattern
2. Page C-4, Mask out all lines under the contour elevation. It is very difficult to read.
3. Page C-6, Need to provide High Points across most of the north islands since they are flat.
4. Page C-6, The scale on the sheet is incorrect. It should be 1"= 30' not 1"=60'.
5. Page C-6, need to look at the grading on the southeast corner of the lot by the back entrance to the school. It appears to be either flat or back pitched to the east.
6. Page C-6, Provide an elevation on the east inlet to the underground detention system, just east of the sidewalk in the parking lot. Also, if you look at the Contech detail on sheet C-8, there appears to be to openings on both ends of the underground system. Make sure this is consistent.
7. Page C-7, In the Legend there is a line style that is for "8" Perimeter Perforated Drain Tile", However all of the pipe looks to be this style? Need to make more clear what pipe is what.
8. Page C-7, I think it would be much more clearer if the Stadium Drainage & Ball Field had a blowup all on its own so that elevations can be placed at all of the storm sewer/drain tile junctions.
9. Page C-7, The label at the east end of the underground structure says "17 LF of 72"Storm Sewer" and the Contech detail on Page C-8 says 36" Pipe? Also the Contech detail shows 2 openings on both ends of structure.
10. Page C-7, At the beginning of Pipe P-2 the plan denotes Outlet Structure 1, But the Table Only shows Outlet Structure 8, Which is it?
11. Page C-7, You need to show a cross section at a right angle through the outlet structure and detention area to show where the inverts are at as well as the top of structure and top of pavement surface. You can't tell where the outlet invert elevation of the detention is relative to bottom of structure. If you add the 108' (9' pipe size) to the outlet pipe elevation of 641.00, the top of pipe is 650.00 which is higher than the rim elevation of 647.90.
12. Page C-8, The Contech detail P-2, Key notes says the required cover over pipe is 18" if pipe is greater than 102", but the Contech detail P-1 shows a cover of 12" over the larger pipe. Need to get clarification on what is correct and make sure this adhered to in the design. This cover should show up in the cross section requested in the previous comment.
13. Please show proposed site grade elevations on storm sewer plan to help correlate rim elevations to site drainage.
14. Page L-1, Need to provide a pattern that is shown in all disturbed areas of the project and what type of landscaping is being done in these areas.

15. SWMP, It appears that a portion of the Contech system is being considered the Water Quality Structure (108" pipe), and the remainder of the Contech system is being used for peak reduction (72" pipe). Please clarify and/or confirm the methodology of modeling while at a minimum, answering the following questions:
 - a. Please clearly denote where the proposed system connects into an existing system and how that travels off the site.
 - b. Please provide discussion on the 72" pipe system and how it relates to the overall stormwater management plan of the site.
 - c. Please clarify the "outlet" of the Underground Pipe – the Contech detail shows a 36" pipe connection; however, the model appears to assume a 72" pipe connected directly into the 108" pipe. It needs to be clear that the routing of the Underground Pipe into the Water Quality Structure is appropriate and meets the controlled release requirements of the ordinance since each one seems to be modeled as an independent pond.
 - d. Please clarify the Tc path for the South Basin through the proposed stadium. The path shown for the Tc appears to be the high point across the field rather than the flow path. This may affect the overall runoff from the site.
 - e. Please clarify the intent of the "Composite Discharge" table in the SWMP and whether it relates to the discharge on the site PRIOR to any detention/controlled release.
16. Please provide discussion regarding the receiving system for the Undetained North Basin. Although the overall site release rate of the site is at or below the pre-development condition release rate for the 2 year, 24-hour storm, please confirm that the downstream system is able to handle the increase in the Undetained North Basin from the pre- to post-condition.
17. Stormwater Maintenance Agreement will be required for the detention basin per City of Kenosha Code of General Ordinance. This is a signed and recorded document. Frequency of maintenance on the underground water quality system is imperative for continued operation and must be stated accordingly.
18. An access easement will be required for the underground detention facilities. This needs to be in a recordable easement document.
19. No wetlands are shown are the plans. Please show wetlands if there are any.
20. Erosion Control plans are not reviewed as a part of the CUP process. They will be reviewed when an erosion control permit application is submitted to the City.

Traffic Comments:

1. Page C-2, Need to redo the H.C parking stalls so that the parking space is 11 feet and the diagonal stripping area is 5 feet. This prevents vehicles using this as a parking space. Also need to dimension the H.C. spaces.
2. Page C-2, Label the concrete walkway in the parking lot indicating that it is either raised or flush with the paving surface. If it is flush, may need to provide pavement marking along the edge as a warning area.
3. Page C-2, Label the total number of parking stalls in each row. Also make it clear which parking stalls are proposed and which are existing. In the area where it is denoted as "Project Limits", the area south of this line should be dashed stalls. All of the stall lines are the same throughout the sheet.
4. Page C-2, Need to place pedestrian cross walks on both sides of the parking lot where the vehicles cross over the Concrete pathway.
5. It appears that there is no detail sheet showing details for: Pavement Cross Section, Curb & Gutter, Driveway, Approach, Handicap Ramps, Islands, Lighting Base and Pole Details as well as other details needed for the project.
6. Page C-2, Label the entrances with the following: "8" PAVEMENT THICKNESS FOR CONCRETE APRON AND SIDEWALK THROUGH ENTRANCE".
7. Page C-3, Label the entrance locations with the following: "C & G & SIDEWALK REMOVAL TO THE NEAREST JOINTS".
8. Page C-6, Need to look at the 2 driveway entrance slopes. It appears the slopes are 12 to 15%. Attempt to have slopes no greater than 8%. If need be, remove and replace more sidewalk approaching both sides of the entrance.
9. Page C-6, Need to look at the sidewalk grades that are provided since they are greater the 2% cross slope. Is this existing or proposed? Maximum across 5 feet is 0.1'.

cc: Cathy Austin; Greg Holverson; Kile Kuhlmeier; Gerard Koehler, Kevin Risch (Clark-Dietz)

Engineering Services

4401 Green Bay Road
Kenosha WI 53144

Phone (262) 653-4315
Fax (262) 653-4303



"Providing and Protecting Kenosha's Greatest Natural Resource"

MEMO

To: Brian Wilke, Development Coordinator

From: Ian C. Bagley, P.E., Water Engineer

Date: November 6, 2015

Subject: Bradford High School Football Stadium

Location: 3700 Washington Road

The Kenosha Water Utility (KWU) has reviewed the submittal for the above referenced project. Further information from the Developer is required before the Utility can complete this review. Please withhold all permits until the following information is submitted.

1. The proposed improvements are being constructed within a 60' KWU sanitary sewer easement. It is our position that trench restoration for any sanitary sewer repairs will be the responsibility of KWU but restoration of the proposed improvements will be the responsibility of the Kenosha Unified School District.
2. Show the water meter size and location, including a detail or diagram, on the construction plans, not with the MEP submittal. The water meter shall have unobstructed access, twelve inches (12") from the inside wall, twelve to twenty-four inches (12"-24") above the floor. The meter shall have a valve, preferably ball style, on the inlet and outlet pipe.
3. All water meters one and one half inches (1-1/2") or greater shall have a bypass with a two way ball valve with locking handle as manufactured by RuB, or approved equal.
4. A 3C18 gauge cable by Belden-M, or approved equal, shall be installed in a one half inch (1/2") conduit through the exterior wall for the remote meter reader. Remote reader to be field located by KWU meter division.
5. There are no specifications for water or sanitary sewer service materials or installation shown on the plans.
6. Water services shall have a blue 12 gauge locator wire installed along the entire length. Locator wire shall be brought to the surface in the curb box and at the edge of the building and enclosed in a locator box with "water" on the cover.
7. There appears to be less than six inches (6") of separation between the water service and the storm sewer south of MH/CB 6.2. Please verify the separation and make changes as required by WDNR specifications.

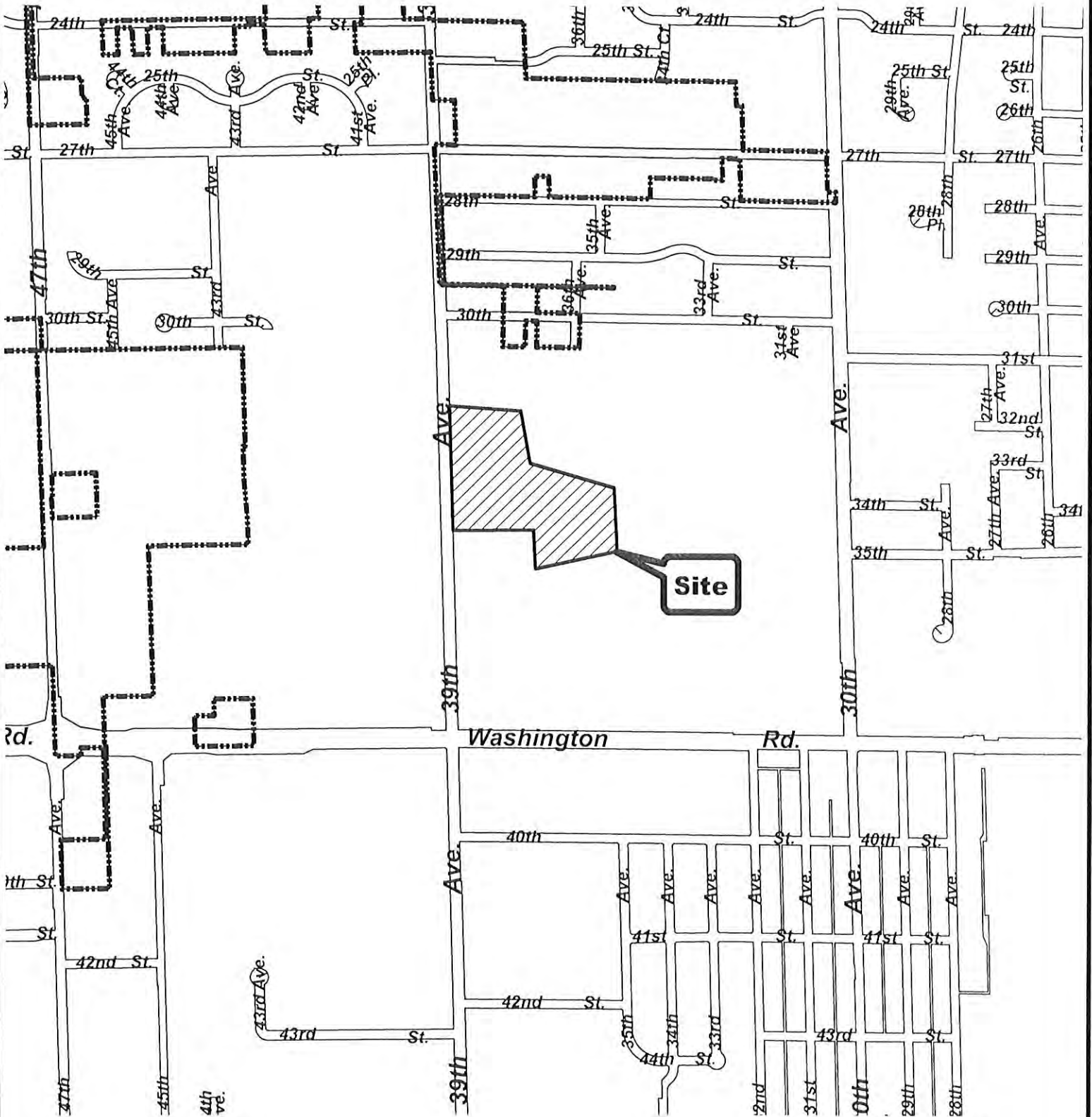
THE CITY OF
KENOSHA

8. The two inch (2") water service is shown connecting to the public main in 39th Avenue. This connection will need to be made by KWU. The tapping sleeve, corporation stop, curb stop and valve box will be provided and installed by KWU with excavation and restoration by the contractor. A tapping fee of \$1,200 will be required prior to connecting to this main.
9. According to KWU records, there is a sanitary sewer manhole between SAN 11 and SAN 5 in the vicinity of the existing batting cages. KWU records indicate that this manhole is 395 feet east of SAN 11 and 297.5 feet west of SAN 5. This manhole must be shown on the plans.
10. The existing sanitary sewer at WYE 1.0 is 18" diameter, not 8" diameter as the plan shows. Additionally, the 18" invert at this location is 631.4± per KWU records.
11. The sanitary sewer connection shall be made using a "cut-in-wye" and installed by core drilling a hole in the main and attaching a flexible rubber tee or wye saddle with stainless steel clamps. This connection may also be made using an Inserta Tee, installed according to the manufacturer's recommendations. The sanitary sewer connection will need to be inspected by KWU. Notify KWU 48 hours in advance of connecting to the sewer.
12. There shall be a detail shown for the riser which complies with KWU specifications. This riser will need to be six inches (6") in diameter.
13. SAN MH 5, 11, and the manhole between them not currently shown on the plans will all need to be adjusted as part of this project. No information for this is shown on the plans. Additionally, each of these manholes will need an Internal / External manhole seal installed. These will be provided by KWU.
14. Sanitary sewer laterals shall have a green 12 gauge locator wire installed along the entire length. Locator wire shall be brought to the surface at the edge of the building and enclosed in a locator box with "sewer" on the cover.

CC: Mr. Robert Carlson, P.E., Director of Engineering Services

City of Kenosha

Vicinity Map Bradford High School Stadium CUP



----- Municipal Boundary





Partners in Design
ARCHITECTS

**Partners in Design
Architects, Inc.**

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600 Fifty Second Street
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fax: 262.652.2812

I L L I N O I S
2610 Lake Cook Road
Suite 280
Riverwoods, IL 60015
voice: 847.940.0300
fax: 847.940.1045

October 19, 2015

Kenosha Fire Department
City of Kenosha

Re: KUSD Athletic Facilities Improvements

To whom it may concern:

This document serves as the letter of intent for fire suppression systems, sprinklers, smoke and heat detection, fire alarms, fire extinguishers, etc. relative to the Kenosha Unified School District athletic facility improvements project.

The improvements contemplated at each site are all un-heated, seasonally occupied buildings and bleacher structures that will be shut down and unoccupied each winter. The bleacher structures will have a full enclosure below them but will also be unoccupied storage space that will not be conditioned in any way. The site improvements include the following:

Tremper - Press Box/Storage Building (942 sf), tennis courts, baseball fields and soccer fields

Ameche Field - Press Box 500 sf), Bleacher seating with enclosed unoccupied storage below (12,025 sf), team/concessions building with public restrooms (4,456 sf), and a press box/storage building for the softball field (288 sf)

Bradford - Press Box (500 sf), Bleacher seating with enclosed unoccupied storage below (11,525 sf) and team/concessions building with public restrooms (4,316 sf)

Bullen - Press box/storage building (1,113 sf), tennis courts, baseball fields and soccer fields

Since all of the structures, with the exception of the bleacher seating, are below the minimum threshold under the city ordinance for requiring an automatic fire sprinkler system, we do not intend to install automatic sprinklers. Additionally, the bleacher enclosure is an unoccupied storage area and thus will not be sprinkled. All other code required smoke, heat, alarm and extinguisher requirements will be met.

Sincerely,

Mark A. Molinaro Jr., AIA

**Development Review Application
City of Kenosha, Wisconsin**

MAILING INFORMATION

NAME OF PROJECT: BRADFOR H.S. STADIUM

Check one (1) of the following boxes to indicate the recipient of all correspondence:

<input type="radio"/>	Name and Address of Applicant [Please print]: <u>KENOSHA UNIFIED SCHOOL DISTRICT</u> <u>PAT FINNEMORE</u> <u>3600 52 STREET</u> <u>KENOSHA, WI 53144</u>	Phone: <u>(262) 359-6331</u> Fax: <u>(262) 359-7500</u> E-Mail: <u>pfinnemo@kUSD.edu</u>
<input checked="" type="radio"/>	Name and Address of Architect/Engineer [Please print]: <u>PARTNERS IN DESIGN ARCHITECTS INC</u> <u>MARK MOLINARO JR</u> <u>600 52 STREET SUITE 220</u> <u>KENOSHA, WI 53140</u>	Phone: <u>(262) 652-2800</u> Fax: _____ E-Mail: <u>markm@pidarchitects.com</u>
<input type="radio"/>	Name and Address of Property Owner (if other than applicant) [Please print]: _____ _____ _____	Phone: _____ Fax: _____ E-Mail: _____

PROJECT LOCATION

Location of Development (street address and / or parcel number): 3700 WASHINGTON ROAD

TYPE OF LAND DEVELOPMENT

Check all that apply. Note: Additional information may be required within individual Sections.

<input type="checkbox"/>	Certified Survey Map	Section 1	Page 3
<input type="checkbox"/>	Concept Review (<i>Land Division</i>)	Section 2	Page 4
<input type="checkbox"/>	Concept Review (Multi-Family Residential or Non-Residential)	Section 3	Page 5
<input checked="" type="checkbox"/>	Conditional Use Permit	Section 4	Pages 6 & 7
<input type="checkbox"/>	Developer's Agreement	Section 5	Page 8
<input type="checkbox"/>	Final Plat	Section 6	Pages 9 & 10
<input type="checkbox"/>	Lot Line Adjustment Survey	Section 7	Page 11
<input type="checkbox"/>	Preliminary Plat	Section 8	Pages 12 & 13
<input type="checkbox"/>	Rezoning	Section 9	Pages 14 & 15
<input type="checkbox"/>	Site Plan Review	Section 10	Pages 16 & 17

**PRIOR TO SUBMITTING THIS APPLICATION TO THE DEPARTMENT OF CITY DEVELOPMENT,
PLEASE REVIEW THE APPROPRIATE SECTION(S) FOR FEES, REQUIREMENTS AND APPROPRIATE APPENDICES.**

*Submit this cover page, completed application, applicable section(s) and appendices
along with ALL required plans, information and fees to:*

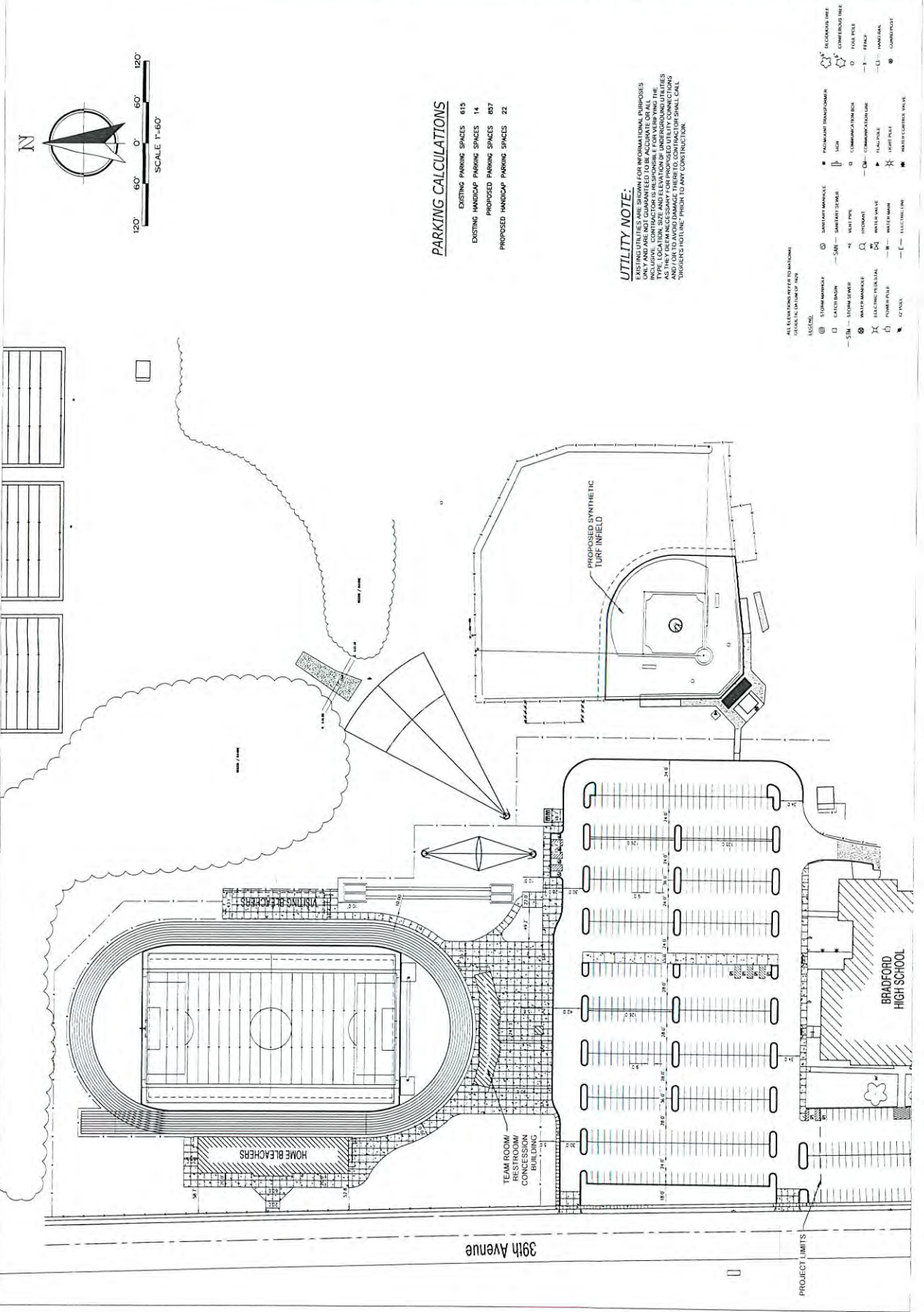
Department of Community Development & Inspections
 Planning Division
 625 52nd Street, Room 308
 Kenosha, WI 53140

Phone: 262.653.4030
 Fax: 262.653.4045

Office Hours:
 M - F 8:00 am - 4:30 pm

**SECTION 4
CONDITIONAL USE PERMIT**

Additional Information Required:	Building or Addition Square Footage: <u>16,341 S.F. — Multiple Structures</u> Existing Building Size: _____ <u>SEE ATTACHED FIRE</u> Site Size: <u>10 ACRES (APPROXIMATE)</u> <u>INTENT LETTER</u> Current # of Employees _____ Anticipated # of New Employees _____ Anticipated Value of Improvements _____																		
Submittal Requirements:	<ul style="list-style-type: none"> ➤ Ten (10) full size scaled copies of Specified Plans indicated below drawn at a standard engineering scale ➤ Developer Site Plan/Conditional Use Permit Checklist (Appendix A) 																		
If Item to be Reviewed by Plan Commission/Common Council must Submit:	<ul style="list-style-type: none"> ➤ One (1) 8 1/2" x 11" reduction <i>or</i> twenty (20) 11" x 17" reductions of the Site/Landscape Plan, Floor Plan and Colored Building Elevations (all sides) ➤ Sample Board containing colored samples of all exterior building materials 																		
Fees:	<table border="1"> <tr> <td>Level 1</td> <td><u>Building or Addition Size</u> <= 10,000 sq. ft.</td> <td><u>Site size</u> <= 1 acre</td> <td><u>Review Fee</u> \$900 = City Plan Dept. <i>or</i> \$1,025 = CPC/CC</td> </tr> <tr> <td>Level 2</td> <td>10,001 - 50,000 sq. ft.</td> <td>1.01 - 10 acres</td> <td>\$1,175 = City Plan Dept. <i>or</i> \$1,300 = CPC/CC</td> </tr> <tr> <td>Level 3</td> <td>50,001 - 100,000 sq. ft.</td> <td>10.01 - 25 acres</td> <td>\$1,600 = City Plan Dept. <i>or</i> \$1,725 = CPC/CC</td> </tr> <tr> <td>Level 4</td> <td>> 100,001 sq. ft.</td> <td>> 25.01 acres</td> <td>\$2,000 = City Plan Dept. <i>or</i> \$2,125 = CPC/CC</td> </tr> </table>	Level 1	<u>Building or Addition Size</u> <= 10,000 sq. ft.	<u>Site size</u> <= 1 acre	<u>Review Fee</u> \$900 = City Plan Dept. <i>or</i> \$1,025 = CPC/CC	Level 2	10,001 - 50,000 sq. ft.	1.01 - 10 acres	\$1,175 = City Plan Dept. <i>or</i> \$1,300 = CPC/CC	Level 3	50,001 - 100,000 sq. ft.	10.01 - 25 acres	\$1,600 = City Plan Dept. <i>or</i> \$1,725 = CPC/CC	Level 4	> 100,001 sq. ft.	> 25.01 acres	\$2,000 = City Plan Dept. <i>or</i> \$2,125 = CPC/CC		
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Level 4	> 100,001 sq. ft.	> 25.01 acres	\$2,000 = City Plan Dept. <i>or</i> \$2,125 = CPC/CC																
<ul style="list-style-type: none"> ➤ If building size or addition and gross acreage of the site determine two (2) different fees, the greater of the two fees will be assessed. ➤ Application fee entitles applicant to an initial review and one re-submittal. ➤ Re-submittal fee = \$425 per re-submittal after two (2) permitted reviews. ➤ CUP Amendment = 50% of the applicable fee as determined above. 																			
Appendices to Review:	<ul style="list-style-type: none"> ➤ All 																		
Approximate Review Time:	<ul style="list-style-type: none"> ➤ 30 days for Staff Review ➤ 45-60 days for City Plan Commission/Common Council Review 																		
The conditional use permit plans, <i>prepared to a standard engineering scale</i> , shall be submitted with this application & shall include the following information:																			
Building Plan:	<ul style="list-style-type: none"> ➤ Layout of building(s) including size and layout of rooms ➤ Design and architecture ➤ Plans and details on fire suppression and/or standpipe ➤ Plans and details on fire detection, fire alarm and other safety devices 																		
Site Plan (based on a plat of survey)	<ul style="list-style-type: none"> ➤ Legal description of property ➤ Location and footprint of building(s) and structure(s) ➤ Locations of existing and proposed streets, drives, alleys, easements, rights-of-way, parking as required, vehicular and pedestrian access points, and sidewalks ➤ Outline of any development stages ➤ Location and details on any required emergency access roads ➤ A calculation of square footage devoted to building, paving and sidewalks, and landscaped/open space 																		
Drainage Plan	<ul style="list-style-type: none"> ➤ Existing topography, including spot elevations of existing buildings, structures, high points, and wet areas, with any previous flood elevations ➤ Floodplain boundaries, if applicable ➤ Soil characteristics, where applicable ➤ Proposed topography of the site denoting elevations and natural drainage after construction and any proposed stormwater retention areas 																		



PARKING CALCULATIONS

EXISTING PARKING SPACES	615
EXISTING HANDICAP PARKING SPACES	14
PROPOSED PARKING SPACES	857
PROPOSED HANDICAP PARKING SPACES	22

UTILITY NOTE:
 EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL. THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES ARE TO BE DETERMINED BY FIELD SURVEY. PROPOSED UTILITY CONNECTIONS AND/OR TO AVOID DAMAGE TO EXISTING UTILITIES SHALL CALL "UNDERGROUND UTILITY" PRIOR TO ANY CONSTRUCTION.

ALL ELEVATIONS REFER TO DATUM: 1988 MEAN SEA LEVEL (MSL)

LEGEND	
EXISTING MANHOLE	PROPOSED MANHOLE
EXISTING VALVE	PROPOSED VALVE
EXISTING WATER MAIN	PROPOSED WATER MAIN
EXISTING SEWER MAIN	PROPOSED SEWER MAIN
EXISTING STORM MAIN	PROPOSED STORM MAIN
EXISTING GAS MAIN	PROPOSED GAS MAIN
EXISTING ELECTRICAL MAIN	PROPOSED ELECTRICAL MAIN
EXISTING TELEPHONE MAIN	PROPOSED TELEPHONE MAIN
EXISTING CABLE MAIN	PROPOSED CABLE MAIN
EXISTING FIBER OPTIC MAIN	PROPOSED FIBER OPTIC MAIN
EXISTING DRAINAGE	PROPOSED DRAINAGE
EXISTING CURB	PROPOSED CURB
EXISTING SIDEWALK	PROPOSED SIDEWALK
EXISTING DRIVEWAY	PROPOSED DRIVEWAY
EXISTING PAVEMENT	PROPOSED PAVEMENT
EXISTING ASPHALT	PROPOSED ASPHALT
EXISTING CONCRETE	PROPOSED CONCRETE
EXISTING GRAVEL	PROPOSED GRAVEL
EXISTING SAND	PROPOSED SAND
EXISTING SOIL	PROPOSED SOIL
EXISTING VEGETATION	PROPOSED VEGETATION
EXISTING TREES	PROPOSED TREES
EXISTING SHRUBS	PROPOSED SHRUBS
EXISTING GRASS	PROPOSED GRASS
EXISTING ROCK	PROPOSED ROCK
EXISTING SANDSTONE	PROPOSED SANDSTONE
EXISTING LIMESTONE	PROPOSED LIMESTONE
EXISTING GNEISS	PROPOSED GNEISS
EXISTING QUARTZITE	PROPOSED QUARTZITE
EXISTING SLATE	PROPOSED SLATE
EXISTING SCHIST	PROPOSED SCHIST
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EXISTING SEDIMENTARY	PROPOSED SEDIMENTARY

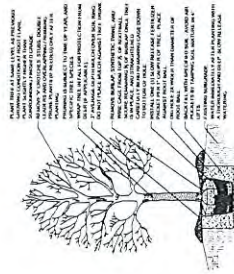
SITE DEMOLITION LEGEND

- CLEARING & GRUBBING
- EXISTING FIELD EXCAVATION
- REMOVE CONCRETE SIDEWALK & BASE (FOR RE-USE ON SITE)
- PULVERIZE PAVEMENT & BASE (FOR RE-USE ON SITE)
- SAW CUT PAVEMENT (FULL DEPTH)
- STORM SEWER REMOVAL (SEE PLAN)
- CURB AND CUTTER REMOVAL (TO NEAREST JOINT)
- TREE REMOVAL
- STORM SEWER STRUCTURES TO BE REMOVED
- FENCE TO BE REMOVED
- COAL POST TO BE REMOVED
- SITE LIGHTING POLE TO BE REMOVED
- SIGN TO BE REMOVED AND SALVAGED TO OWNER
- IRRIGATION TO BE ABANDONED IN PLACE

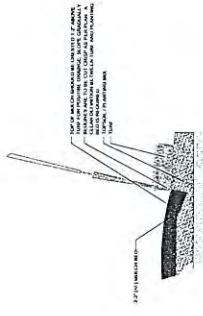
UTILITY NOTE:
EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CALL 811 TO LOCATE UTILITIES PRIOR TO ANY CONSTRUCTION.

LEGEND:

- STORM MANHOLE
- CULVERT MANHOLE
- WATER MANHOLE
- ELECTRICAL MANHOLE
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1 DETAIL SHADE TREE PLANTING



2 DETAIL SPADE EDGE PLANT BED EDGE DETAIL

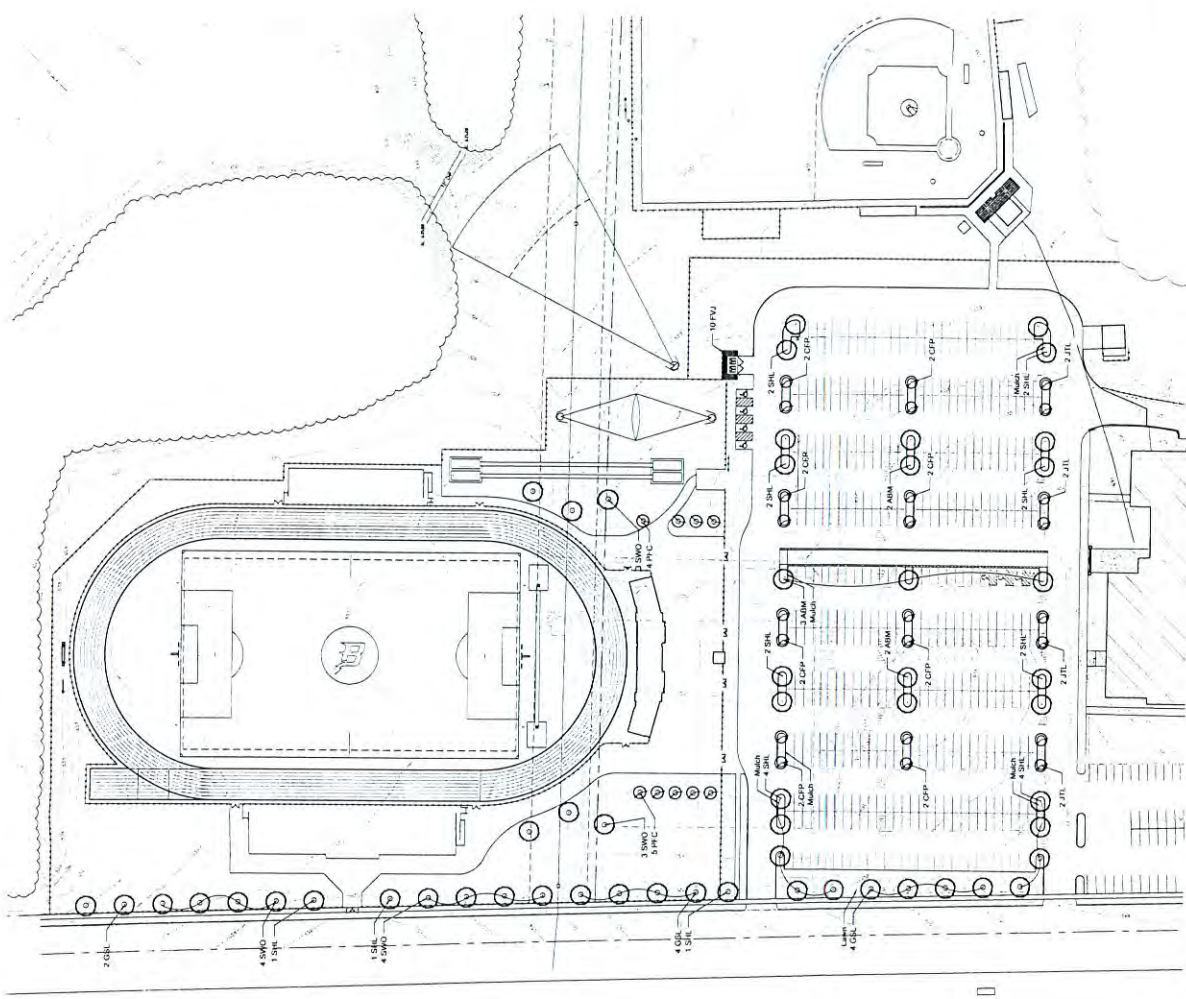
LANDSCAPE & HARDSCAPE DETAILS

SHADE TREES (DECIDUOUS)
 ABM Autumn Blaze Maple
 SHL Skyline Honeylocust
 SWO Sweping White Oak
 GHL Greenpire Linden

ORNAMENTAL TREES (DECIDUOUS)
 PIC Prairie Fire Flowering Cobapple
 CFP Chanticleer Flowering Pear
 JTL Ivory Silk Japanese Tree Lilac

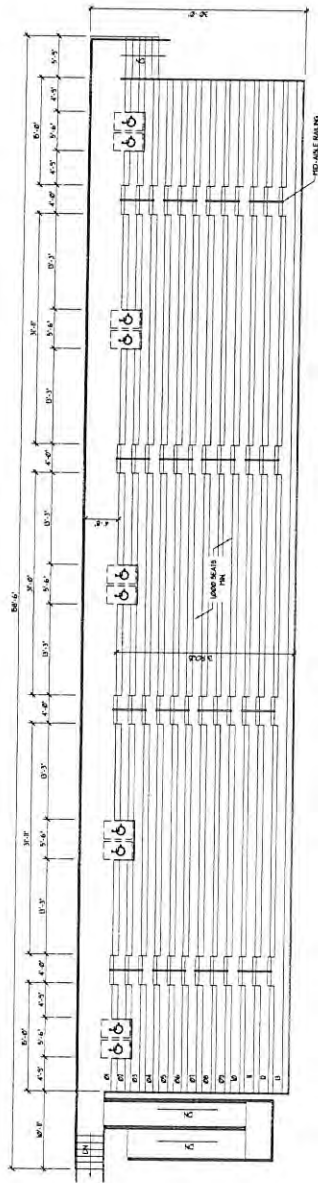
EVERGREEN TREES
 FVJ Fairview Upright Juniper (upright)

PLANT ABBREVIATION KEY

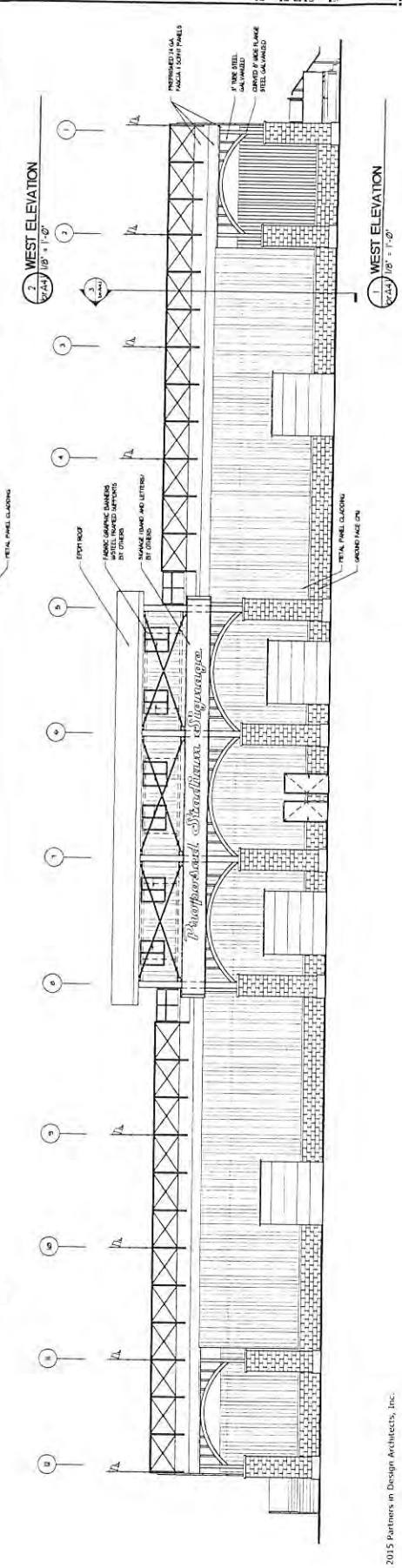
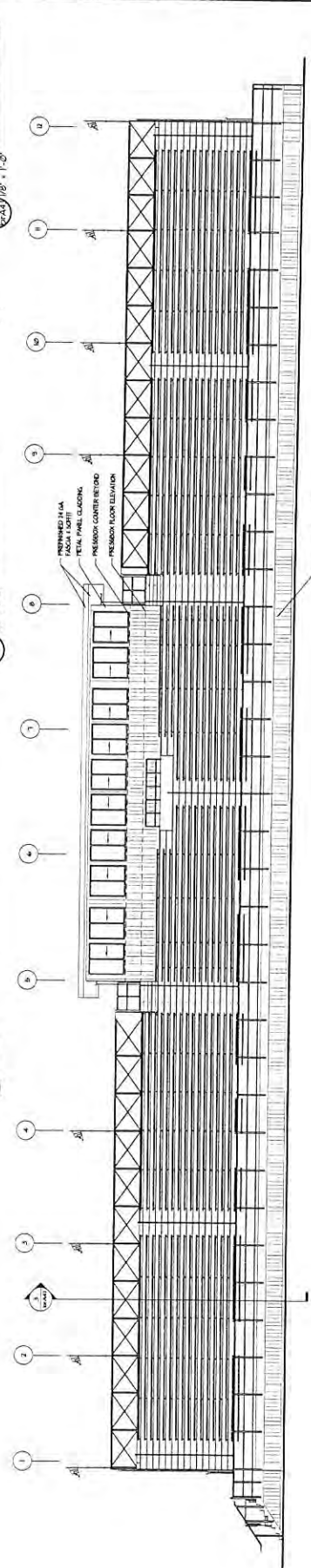
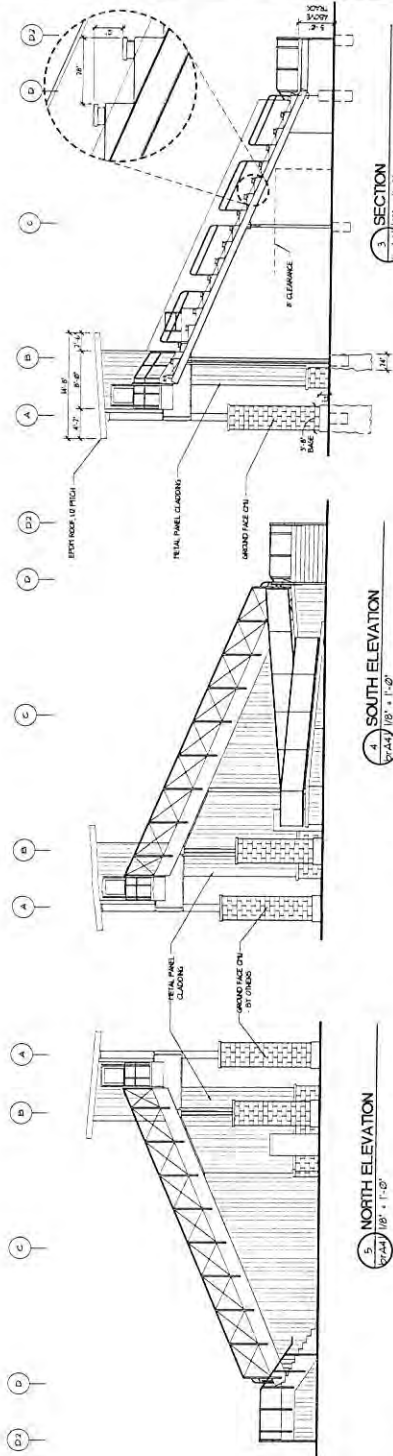


LANDSCAPE PLAN

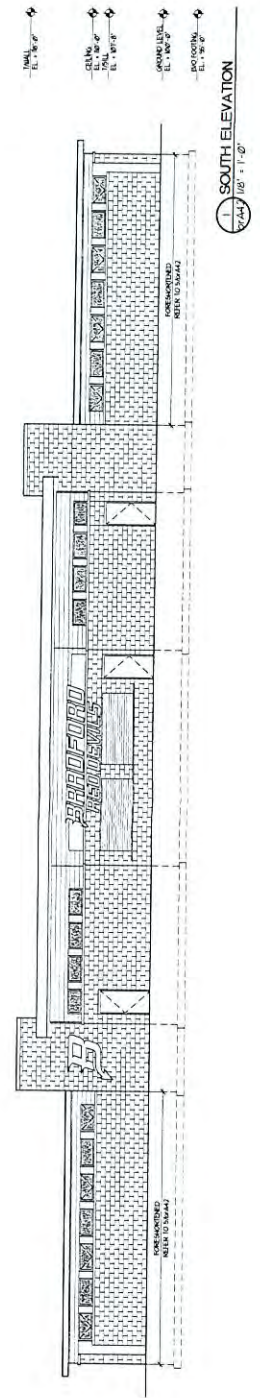
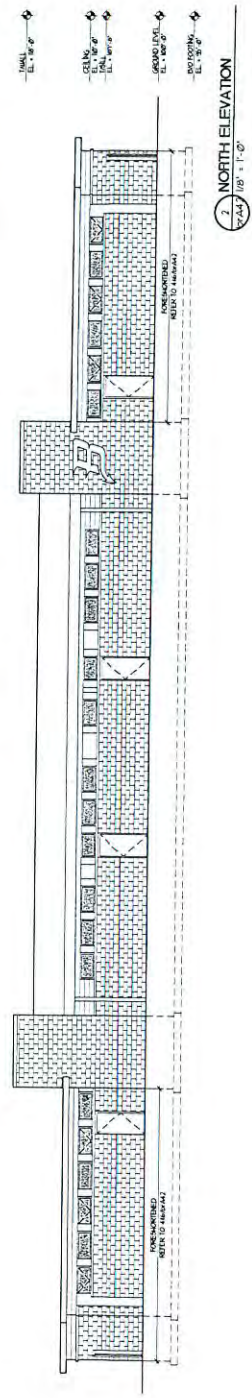
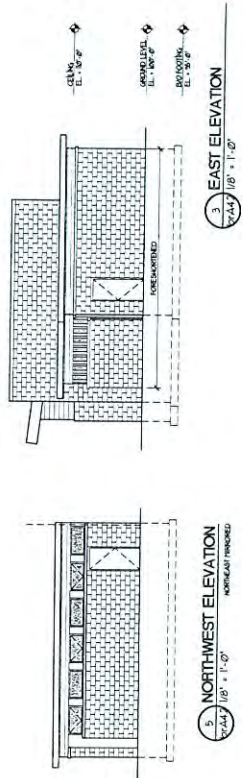
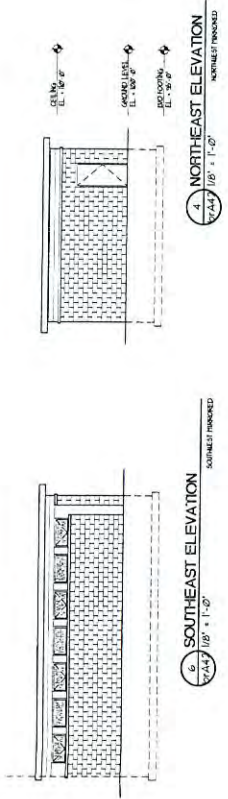
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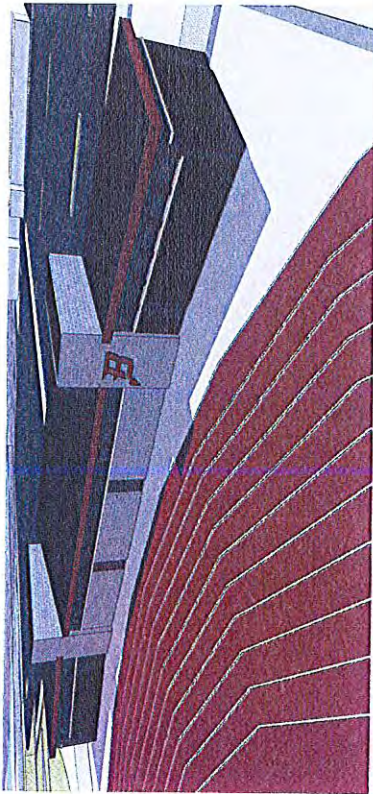


VISITOR BLEACHERS
 BRADFORD
 CONSTRUCTION

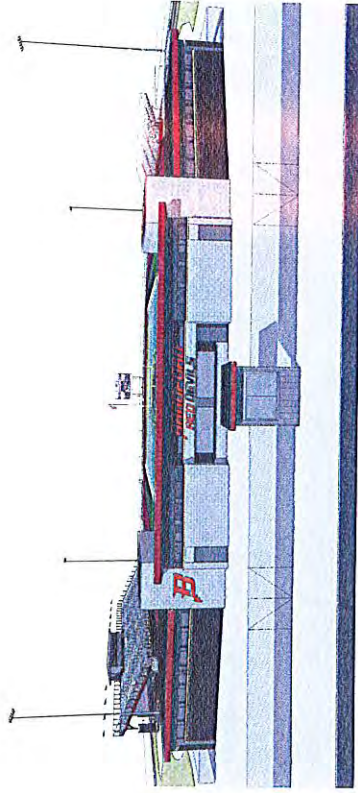


© 2015 Partners in Design Architects, Inc.

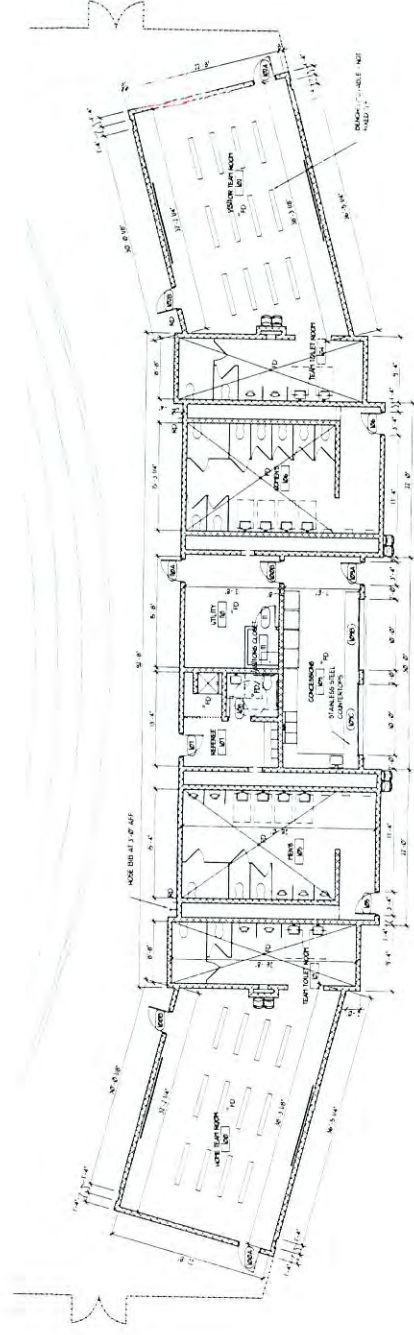




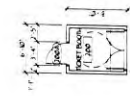
BRADFORD TEAM BUILDING NORTH-WEST ELEVATION
 2/23/15



BRADFORD TEAM BUILDING SOUTH ELEVATION
 2/23/15

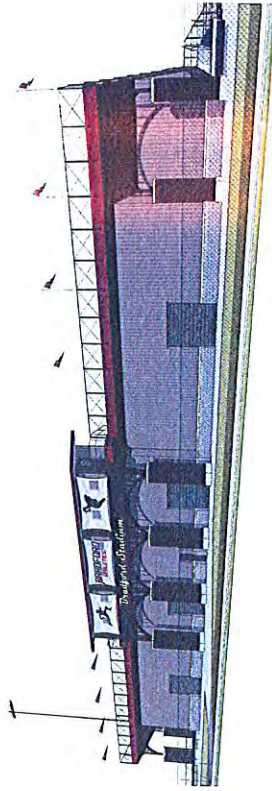


BRADFORD TEAM BUILDING FLOOR PLAN
 2/23/15

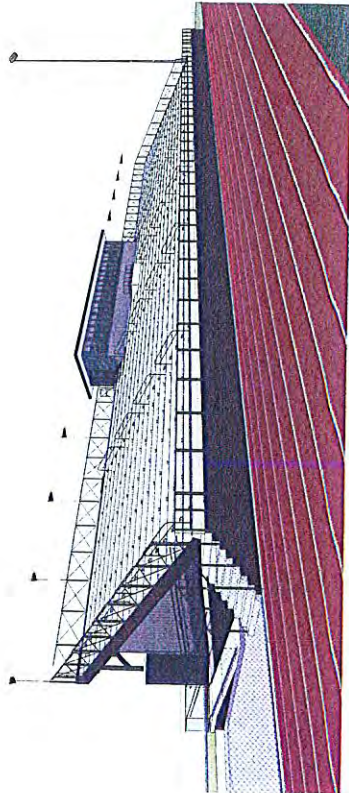


BRADFORD TEAM BUILDING REST ROOM FLOOR PLAN
 2/23/15

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1 GRANDSTAND SOUTH WEST ELEVATION
 BRADFORD



2 GRANDSTAND SOUTH EAST ELEVATION
 BRADFORD

**Operator's (Bartender) License
Police Record Report**

2d

APPLICANT INFORMATION			
Date of Application	Name of Applicant	Applicant's Date of Birth	Driver's License Status
1/8/2016	Stephanie McLaren		ID Card Only
License Number	Address of Applicant	Business (where license is to be used)	Business Address
N160980	4225-78th Street	Walgreen's	

DATE OF CHARGE	OFFENSE	CASE STATUS	OFFENSE LISTED ON APPLICATION	POINTS
12/5/2011	DISORDERLY CONDUCT (Misd)	GUILTY DUE TO GUILTY PLEA	Y	20

CITY ATTORNEY'S RECOMMENDATION		
Offense Demerit Points	20	
Were all offenses listed on the application?	Y	
TOTAL DEMERIT POINTS	20	

CITY ATTORNEY'S COMMENTS

FINAL RECOMMENDATION	
<input checked="" type="checkbox"/> X	GRANT, Subject to 20 Demerit Points
<input type="checkbox"/>	DENY, based on material police record (substantially related to the license activity)
<input type="checkbox"/>	DEFER or GRANT subject to Non-Renewal Revocation due to False Application

**Operator's (Bartender) License
Police Record Report**

1e

APPLICANT INFORMATION			
Date of Application	Name of Applicant	Applicant's Date of Birth	Driver's License Status
1/5/2016	Margetson, Rachael		Valid
License Number	Address of Applicant	Business (where license is to be used)	Business Address
N160971	10912 264th Ave, Trevor, WI	Uncle Mike's Highway Pub	

DATE OF CHARGE	OFFENSE	CASE STATUS	OFFENSE LISTED ON APPLICATION	POINTS
1/28/2011	UNDERAGE LIQUOR VIOLATION	GUILTY	Y	20
11/19/2011	OPERATING WHILE INTOXICATED	GUILTY	Y	50
7/5/2012	THEFT/SHOPLIFTING \$50-199	GUILTY	Y	10

CITY ATTORNEY'S RECOMMENDATION		
Offense Demerit Points	80	
Were all offenses listed on the application?	Y	
TOTAL DEMERIT POINTS	80	

CITY ATTORNEY'S COMMENTS

FINAL RECOMMENDATION	
<input checked="" type="checkbox"/> GRANT, Subject to <input type="text" value="80"/> Demerit Points	
<input type="checkbox"/> DENY, based on material police record (substantially related to the license activity)	
<input type="checkbox"/> DEFER or GRANT subject to Non-Renewal Revocation due to False Application	

**Operator's (Bartender) License
Police Record Report**

②

APPLICANT INFORMATION			
Date of Application	Name of Applicant	Applicant's Date of Birth	Driver's License Status
1/12/2016	Mustafa Mustafa		Valid
License Number	Address of Applicant	Business (where license is to be used)	Business Address
N160978	1916 63rd Street	Moe Moe's Midnight	

DATE OF CHARGE	OFFENSE	CASE STATUS	OFFENSE LISTED ON APPLICATION	POINTS
5/31/2011	LIQ, LICENSE VIOLATION	FOUND GUILTY	Y	20
10/25/2007	POSSESS UNDIS. REC MANUF'R (100+ COPIES) FELONY H	GUILTY DUE TO NO CONTEST PLEA	Y	100

CITY ATTORNEY'S RECOMMENDATION		
Offense Demerit Points	120	
Were all offenses listed on the application?	Y	
TOTAL DEMERIT POINTS	120	

CITY ATTORNEY'S COMMENTS

FINAL RECOMMENDATION	
<input type="checkbox"/>	GRANT, Subject to <input type="checkbox"/> Demerit Points
<input checked="" type="checkbox"/>	DENY, based on material police record (substantially related to the license activity)
<input type="checkbox"/>	DEFER or GRANT subject to Non-Renewal Revocation due to False Application



Adverse

FILED	1/2/16
INITIALS	mm
ADVERSE/NO ADV	
LP	
CC	
LETTER	

OPERATOR'S (BARTENDER) LICENSE

Type: 217 Fee: \$75.00 new renewal

- Beverage Course Completed
- HOLD for Beverage Course

License # N 160978
Provisional issued: yes no

I hereby apply for an Operator's License to serve Alcoholic Beverages in any place of business operated under a Class "B", "Class B", Class "A", "Class A", and/or "Class C" License in the City of Kenosha to and including the 30th day of June, 2017. (Unless sooner revoked). I hereby note that I am responsible for knowing and abiding by the contents of Chapter 125, Wisconsin Statutes and Chapter 10' of the Code of General Ordinances and that my license may be suspended, revoked, or not renewed, and/or I may be subject to a civil forfeiture for non-compliance therewith.

Last Name: Mustafa First Name: Mustafa MI: I
(NOTE: Name must appear exactly as it appears on driver's license or state ID)

Date of Birth: _____ Gender: M Phone: 262-344-6666
Home Address: 1916 63rd St Kenosha WI 53140
CITY STATE ZIP

Email: ABUASAYELL@yaho.com
(correspondence will be via email if address is given)

Driver's License or State ID Number _____ STATE _____ NUMBER _____

Name of Business Where License will be used Moe Moe's Midnight
(PLEASE NOTE: license may be utilized in the City of Kenosha only.)

ANSWER THE FOLLOWING QUESTIONS TRULY AND COMPLETELY:

1. Have you, as an adult, ever been convicted of a major crime (felony), minor crime (misdemeanor), or of violating a municipal or county ordinance in Wisconsin, or in any other State; or do you have a charge pending at this time? Yes No. If yes, state: charge, year, result:
Felony H Back in Oct/25/2007 That was 9 years ago and My Attorney is working on The case To Get it Expunged
Liq License 05/31/2011

2. Have you, as an adult, ever served time; or have been sentenced to serve time in a jail or prison in Wisconsin or any other State? Yes No If yes, explain:

3. Have you ever had your driver's license suspended or revoked in Wisconsin or in any other State?

Yes No If yes, explain:

My Drivers License was suspended For 15 Days only Back in Sep/2008 That was 10 years Ago

4. Have you received any traffic citations in Wisconsin or in any other state within the past five (5) years; or do you have any such citations pending? Yes No If yes, state: charge, year, result:

I Did Have Traffic Citation in the Past Five years but NO Citations Pending.

Sep/06/2011 speeding

Jul/19/2015 speeding

5. Have you, as an adult, within the past five (5) years, while operating a business or engaged in a profession, been convicted of any state or federal charges; or do you have charges pending at this time involving unfair trade practices, unethical conduct, or discrimination? Yes No

If yes, state: charge, year, result:

6. List the name and address of all employers for which you have worked and/or businesses you have operated in the past five (5) years:

Fonte Food Market owned it For 9 years From 2005 to 2014 1400 50th St Kenosha

Mac Moet Food Market owned For The Past 2 years Since Feb/2014 1916 63rd St Kenosha


7. List all addresses at which you have lived in the past five (5) years:

1400 50th St Kenosha, WI 53140

1916 63rd St Rear Kenosha, WI 53143

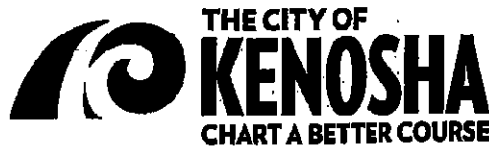
READ CAREFULLY BEFORE SIGNING: I hereby certify that I am the applicant named in this application, and I have read and answered each and every question truly, correctly, and completely, under penalty of law for failure to do so. If this application contains statements or information which is untrue, incorrect and/or incomplete in any material respect, it may be denied.

Applicant's Signature:



Date: Jan/11/2016

bartender (operator), page 2



3

FILED 12/10
INITIALS [initials]
ADVERSE/NO ADV
LP 12/28/14
CC 14
LETTER EM126
Refer 1/25

CABARET LICENSE YEARLY

Type: 212 Fee: \$300/year Expires: June 30, 2014

Begin 11/1/14

PLEASE NOTE: This license is non-renewable. Applications shall be referred by the City Clerk to the Police Department. The Police Department shall make a report, in writing, to the City Attorney as to any police record of the applicant, which may reflect upon good moral character or business responsibility. The City Attorney shall examine said record and make a recommendation to the Committee on Licenses/Permits based thereon as to whether the license shall be granted. The Committee on Licenses/Permits shall review all applications, any reports, the recommendation of the City Attorney and all other information before it. Said Committee shall recommend to the Common Council either the granting or denial of each application. (In accordance to Chapter X, Section 10.07 of the Code of General Ordinances of the City of Kenosha.)

1-20-16

- Licensee Name: Red Iguana By Rosie's LLC District# 2 A-A
(NOTE: must be same name as beer/liquor license) 4814 Sheridan Rd Kenosha
- Trade Name: Red Iguana By Rosie's Trade Address: 4814 Sheridan Kenosha
- If license is in the name of a Corporation or LLC, Agent Name: Alfonso Arroyo
- Date of Birth of Agent (if Corporation/LLC) or Individual: 9-1-67
- Address: 1709 Boyd AV Phone: 262 6344273 Email: marioarce016@fakoo.com
(correspondence will be via email if address is given)

6. Driver's License Number: _____
(must indicate if this is not a Wisconsin DL)

7. Have you, as an adult, ever been convicted of a major crime (felony) or minor crime (misdemeanor) in Wisconsin, or in any other State; or do you have a charge pending at this time? Yes No
If yes, state: charge, year, result

8. Have you, as an adult, ever been convicted of violating a municipal or county ordinance in Wisconsin or in any state; or do you have a charge pending at this time? Yes No
If yes, state: charge, year, result

9. Have you, as an adult, ever served time; or have been sentenced to serve time in a jail or prison in Wisconsin or any other State? Yes No If yes, explain:

10. Have you ever had your driver's license suspended or revoked in Wisconsin or in any other State?

Yes No If yes, explain:

11. Have you received any traffic citations in Wisconsin or in any other State within the past five (5) years; or do you have any such citations pending? Yes No

If yes, state: charge, year, result

12. Have you, as an adult, within the past five (5) years, while operating a business or engaged in a profession, been convicted of any state or federal charges; or do you have charges pending at this time involving unfair trade practices, unethical conduct, or discrimination? Yes No

If yes, state: charge, year, result

13. List the name and address of all employers for which you have worked and/or businesses you have operated in the past five (5) years:

Rosies 1804 Taylor Ave Racine WI

14. List all addresses at which you have lived in the past five (5) years:

1704 Boyd Ave Racine WI

READ CAREFULLY BEFORE SIGNING: Under penalty provided for by law, the undersigned states that each of the above questions has been truthfully answered to the best of his/her/their knowledge. (Individual applicants and each member of a partnership must sign; designated corporate officers must sign.)

Applicant's Signature: *[Signature]* Date: 12-10-15
(Individual/Agent of Corporation)

Amended App 1/20/16 mn

yearly cabaret, page 2



John W. Morrissey
Chief of Police

January 21, 2016

To : Deputy City Attorney Matthew Knight and City Clerk Debbie Salas
From : Inspector Edo Maccari
Ref : Cabaret License, Red Iguana at 4814 Sheridan Road

CC: Chief Morrissey, Deputy Chief Miskinis

Our Department has received an application for a yearly cabaret license for the Red Iguana, located at 4818 Sheridan Road, in the City of Kenosha.

Please be advised that due to repeated liquor law violations and ongoing conduct which presents a substantial commitment of Kenosha Police Department resources, this cabaret application is being sent as adverse for your review.

Attached please find a Kenosha Joint Services report of calls for service for this business from June 1, 2015 to today's date.

Inspector Edo Maccari

Inspector Edo Maccari

Attachment

Calls For Service Inquiry

Street Name: SHERIDAN RD

A-g	Event No	Activity	Date	Time Ecvd	Business	Caller Name	Hse #	Dir	Street	Apt #	Narrative Approved
00	002016000833	LIQ LAWS FU	01/03/2016	0336	RED IGUANA	RED IGUANA	4814		SHERIDAN RD		*
00	002016000800	LIQ LAWS	01/03/2016	0051	RED IGUANA	RED IGUANA	4814		SHERIDAN RD		-
00	002016000788	LOUD MUSIC	01/03/2016	0031	RED IGUANA	BEASCOCHEA, KATHLYN	4814		SHERIDAN RD		-
00	002015194333	SERVICE	12/27/2015	0138	RED IGUANA	RED IGUANA	4814		SHERIDAN RD		-
00	002015191088	SERVICE	12/19/2015	0027	RED IGUANA	RED IGUANA	4814		SHERIDAN RD		-
00	002015174529	SUSPICIOUS	11/15/2015	0134	RED IGUANA	RED IGUANA	4814		SHERIDAN RD		-
00	002015174527	SUSPICIOUS	11/15/2015	0133	RED IGUANA	RED IGUANA	4814		SHERIDAN RD		-
00	002015174090	BATTERY	11/14/2015	0235	RED IGUANA	RED IGUANA	4814		SHERIDAN RD		-
00	002015172621	BATTERY	11/11/2015	0114	RED IGUANA	HERERA, MARIO	4814		SHERIDAN RD		-
00	002015170558	SERVICE	11/06/2015	2159	RED IGUANA	RED IGUANA	4814		SHERIDAN RD		-
00	002015167394	LIQ LAWS	11/01/2015	0310	RED IGUANA	RED IGUANA	4814		SHERIDAN RD		-
00	002015160263	LIQ LAWS	10/18/2015	0134	RED IGUANA	RED IGUANA	4814		SHERIDAN RD		-
00	002015160361	LIQ LAWS	10/18/2015	0124	RED IGUANA	RED IGUANA	4814		SHERIDAN RD		-
00	002015160258	DC/TAVERN DISTURB	10/18/2015	0108	RED IGUANA	RED IGUANA	4814		SHERIDAN RD		-
00	002015159798	SERVICE	10/17/2015	0156	RED IGUANA	RED IGUANA	4814		SHERIDAN RD		-
00	002015152759	LOUD MUSIC	10/04/2015	0111	RED IGUANA	RED IGUANA	4814		SHERIDAN RD		-
00	002015149111	LOUD MUSIC	09/27/2015	0043	RED IGUANA	RED IGUANA	4814		SHERIDAN RD		-
00	002015140601	SERVICE	09/11/2015	2127	RED IGUANA	RED IGUANA	4814		SHERIDAN RD		-
00	002015137233	BATTERY FU (I)	09/06/2015	0336	RED IGUANA	RED IGUANA	4814		SHERIDAN RD		-
00	002015137207	BATTERY	09/06/2015	0237	RED IGUANA	CUZAMANA VAREZ, SARAH	4814		SHERIDAN RD		*
00	002015128790	BATTERY	09/06/2015	0145	RED IGUANA	RED IGUANA	4814		SHERIDAN RD		-
00	002015128790	SERVICE	08/23/2015	0138	RED IGUANA	CUZAMANA VAREZ, SARAH	4814		SHERIDAN RD		*
00	002015128141	DRUNKENNESS	08/22/2015	0212	RED IGUANA	RED IGUANA	4814		SHERIDAN RD		-
00	002015116296	DC CONDUCT	08/02/2015	0219	RED IGUANA	RED IGUANA	4814		SHERIDAN RD		-
00	002015115726	LIQ LAWS	08/01/2015	0226	RED IGUANA	RED IGUANA	4814		SHERIDAN RD		-
00	002015115720	SUSPICIOUS	08/01/2015	0217	RED IGUANA	RED IGUANA	4814		SHERIDAN RD		*
00	002015107609	DC/FIGHT IN PUBLIC	07/19/2015	0308	RED IGUANA	RED IGUANA	4814		SHERIDAN RD		*
00	002015107594	SERVICE	07/19/2015	0136	RED IGUANA	RED IGUANA	4814		SHERIDAN RD		-
00	002015106929	SERVICE	07/17/2015	2351	RED IGUANA	RED IGUANA	4814		SHERIDAN RD		-
00	002015103372	DC CONDUCT FU	07/12/2015	0307	RED IGUANA	RED IGUANA	4814		SHERIDAN RD		-
00	002015103230	DC CONDUCT	07/12/2015	0059	RED IGUANA	RED IGUANA	4814		SHERIDAN RD		-
00	002015094952	DC/FIGHT IN PUBLIC	06/28/2015	0223	RED IGUANA	RED IGUANA	4814		SHERIDAN RD		-
00	002015094349	SUSPICIOUS FU	06/27/2015	0306	RED IGUANA	RED IGUANA	4814		SHERIDAN RD		*
00	002015094333	SUSPICIOUS	06/27/2015	0310	RED IGUANA	RED IGUANA	4814		SHERIDAN RD		-
00	002015090818	DC/FIGHT IN PUBLIC	06/21/2015	0224	RED IGUANA	RED IGUANA	4814		SHERIDAN RD		*
00	002015090787	LOUD MUSIC	06/21/2015	0055	RED IGUANA	RED IGUANA	4814		SHERIDAN RD		-
00	002015090773	SERVICE	06/21/2015	0024	RED IGUANA	RED IGUANA	4814		SHERIDAN RD		-
00	002015090241	DC CONDUCT	06/20/2015	0225	RED IGUANA	RED IGUANA	4814		SHERIDAN RD		-
00	002015090195	911 HANGUP	06/20/2015	0012	RED IGUANA	RED IGUANA	4814		SHERIDAN RD		-

Cancel

Print Screen Print Report

OK



4

E-MAILED JAN 20 2016

FILED 1/20/16
INITIALS mn
LP 125
CC 2/1

KENNEL & PET SHOP LICENSES
(Chapter 14.015- City of Kenosha, Code of General Ordinances)

- Type: 81 (non-commercial)
 82 (commercial)
 83 (humane society)
 84 (pet shop)

Fee: \$200.00/year NEW RENEWAL

Licensee Name: Apollo's Doggy Day Care, INC. District # 110
 Trade Name: Central Bark Doggy Day Care Address: 7600 75th Street
 Phone Number: 414-427-3587 Email: markdaudrea@wi.rr.com

If Individual, Partnership or Corporation:
 list name, home address, phone number, driver's license number, & date of birth of all partners/members:
Mark A. Daudrea 8041 S. Meadowcreek Ct. Franklin WI 53132

Kim M. Daudrea 8041 S. Meadowcreek Ct. Franklin WI 53132

Primary Contact Person: Mark A Daudrea Phone Number: 414-427-3587

Number of animals sought to be kept on licensed premises: Dogs 75 Cats 0

READ CAREFULLY BEFORE SIGNING: Under penalty provided for by law, the undersigned states that each of the above questions has been truthfully answered to the best of his/her/their knowledge. (Individual applicants and each member of a partnership must sign; designated corporate officers must sign.)

[Signature] 1/20/16.
 (Individual/Partner/Member) Date

 (Partner/Member) Date

I have received a copy of the NOTICE pertaining to LICENSE/PERMIT APPLICATIONS from the City Clerk's Office _____
 (Applicant's Initials)

FOR DEPARTMENT USE ONLY

FIRE: Approved Not Approved Holds: _____ By: _____

COMMUNITY DEVELOPMENT & INSPECTIONS: Zoning: _____ Occupancy Permit: _____

Any other zoning permits required (such as variances or conditional use permits): _____

Approved Not Approved Holds: _____ By: _____

HEALTH: Number of Dogs Approved: _____ Number of Cats Approved: _____ Not Approved
 Holds: _____ By: _____

CITY CLERK: Dog Tag Numbers Issued: _____ Cat Tag Numbers Issued: _____
 By: _____

ORDINANCE NO. _____

BY: COMMITTEE ON PUBLIC SAFETY AND WELFARE

TO AMEND SECTION 7.12 B OF THE CODE OF GENERAL ORDINANCES TO INCLUDE AN ALL WAY STOP AT THE INTERSECTION OF 56th STREET AND 7th AVENUE [District 2]

The Common Council of the City of Kenosha, Wisconsin, do ordain as follows:

Section One: Section 7.12 B of the Code of General Ordinances for the City of Kenosha, Wisconsin, is hereby amended by adding the following:

B. All vehicles shall stop before entering the intersections of:
56th Street and 7th Avenue

Section Two: This Ordinance shall become effective upon passage and publication.

ATTEST: _____ City Clerk

APPROVED: _____ Mayor Date: _____

Passed:

Published:

Drafted By:
JONATHAN A. MULLIGAN
Assistant City Attorney



Intersection Layout 7th Avenue and 56th Street



1 inch = 40 feet
Date Printed: 9/10/2015



DISCLAIMER This map is neither a legally recorded map nor a survey and is not intended to be used as one. This drawing is a compilation of records, data and information located in various state, county and municipal offices and other sources affecting the area shown and is to be used for reference purposes only. Kenosha County is not responsible for any inaccuracies herein contained. If discrepancies are found, please contact Kenosha County.

ORDINANCE NO. _____

**BY: COMMITTEE ON PUBLIC
SAFETY AND WELFARE**

**TO AMEND SECTION 7.125 OF THE CODE OF GENERAL ORDINANCES
ENTITLED, "STREETS CONTROLLED BY YIELD SIGNS" TO INCLUDE
A NORTH BOUND YIELD SIGN ON 38th AVENUE BEFORE ENTERING THE
INTERSECTION WITH 67th STREET [District 8]**

The Common Council of the City of Kenosha, Wisconsin, do ordain as follows:

Section One: Section 7.125 of the Code of General Ordinances for the City of Kenosha, Wisconsin, is amended by including therein “**38th Avenue**” in Column A and “**67th Street**” in Column B.

Section Two: This Ordinance shall become effective upon passage and publication.

ATTEST: _____ City Clerk
Debra L. Salas

APPROVED: _____ Mayor Date: _____
Keith G. Bosman

Passed:

Published:

Drafted By:
JONATHAN A. MULLIGAN
Assistant City Attorney

ORDINANCE NO. _____

BY: COMMITTEE ON PUBLIC SAFETY AND WELFARE

TO AMEND SECTION 7.12 B OF THE CODE OF GENERAL ORDINANCES TO INCLUDE AN ALL WAY STOP AT THE INTERSECTION OF HARRISON ROAD AND 45th AVENUE [District 15]

The Common Council of the City of Kenosha, Wisconsin, do ordain as follows:

Section One: Section 7.12 B of the Code of General Ordinances for the City of Kenosha, Wisconsin, is hereby amended by adding the following:

B. All vehicles shall stop before entering the intersections of:

Harrison Road and 45th Avenue

Section Two: This Ordinance shall become effective upon passage and publication.

ATTEST: _____ City Clerk

APPROVED: _____ Mayor Date: _____

Passed:

Published:

Drafted By:
JONATHAN A. MULLIGAN
Assistant City Attorney

ORDINANCE NO. _____

**BY: COMMITTEE ON PUBLIC
SAFETY AND WELFARE**

**TO AMEND SECTION 7.125 OF THE CODE OF GENERAL ORDINANCES
ENTITLED, "STREETS CONTROLLED BY YIELD SIGNS" TO INCLUDE
A NORTH BOUND YIELD SIGN ON 93rd AVENUE BEFORE ENTERING THE
INTERSECTION WITH 63rd STREET [District 17]**

The Common Council of the City of Kenosha, Wisconsin, do ordain as follows:

Section One: Section 7.125 of the Code of General Ordinances for the City of Kenosha, Wisconsin, is amended by including therein “**93rd Avenue**” in Column A and “**63rd Street**” in Column B.

Section Two: This Ordinance shall become effective upon passage and publication.

ATTEST: _____ City Clerk
Debra L. Salas

APPROVED: _____ Mayor Date: _____
Keith G. Bosman

Passed:

Published:

Drafted By:
JONATHAN A. MULLIGAN
Assistant City Attorney



Existing Traffic Control

Near the intersection of 93rd Avenue and 63rd Street



1 inch = 300 feet
Date Printed: 9/10/2015



DISCLAIMER This map is neither a legally recorded map nor a survey and is not intended to be used as one. This drawing is a compilation of records, data and information located in various state, county and municipal offices and other sources affecting the area shown and is to be used for reference purposes only. Kenosha County is not responsible for any inaccuracies herein contained. If discrepancies are found, please contact Kenosha County.

ORDINANCE NO.

SPONSOR: ALDERPERSON RHONDA JENKINS

TO RENUMBER SECTION 11.145 TO 11.143; TO CREATE SECTION 11.145 OF THE CODE OF GENERAL ORDINANCES FOR THE CITY OF KENOSHA ENTITLED “DRUG PARAPHERNALIA”

The Common Council of the City of Kenosha, Wisconsin, do ordain as follows:

Section One: Section 11.145 of the Code of General Ordinances for the City of Kenosha, Wisconsin, is hereby renumbered as 11.143:

Section Two: Section 11.145 of the Code of General Ordinances for the City of Kenosha, Wisconsin, is hereby created as follows:

11.145 DRUG PARAPHERNALIA

A. Definitions. The definitions set forth in §961.571, Wis. Stats., are hereby adopted by reference and made a part hereof.

B. Determination. The factors set forth in §961.572, Wis. Stats., are hereby adopted by reference and made a part hereof as factors a court or other authority shall consider in making the determinations referred to in §961.572, Wis. Stats.

C. Possession of Drug Paraphernalia. No person may use, or possess with the primary intent to use, drug paraphernalia to plant, propagate, cultivate, grow, harvest, manufacture, compound, convert, produce, process, prepare, test analyze, pack, repack, store, contain, conceal, inject, ingest, inhale or otherwise introduce into the human body a controlled substance in violation of this subsection.

D. Manufacture or Delivery of Drug Paraphernalia. No person may deliver, possess with intent to deliver or manufacture with intent to deliver drug paraphernalia, knowing that it will be primarily used to plant, propagate, cultivate, grow, harvest, manufacture, compound, convert, produce, process, prepare, test, analyze, pack, repack, store, contain, conceal, inject, ingest, inhale or otherwise introduce into the human body a controlled substance in violation of this subsection.

E. Penalty.

1. Any person, firm, party or corporation convicted for a violation of the above Ordinance shall forfeit from \$10.00 to \$750.00 for each offense, plus the cost of prosecution, and in default thereof shall be imprisoned to the County Jail or House of Correction for a period not to exceed ninety (90) days.

2. Any drug paraphernalia used in violation of this section shall be forfeited and seized by the City. Any drug paraphernalia forfeited and seized shall be destroyed in accordance with the standard operating

procedures established by the Kenosha Police Department.

Section Three: This Ordinance shall become effective upon passage and publication.

ATTEST: _____ City Clerk

APPROVED: _____ Mayor

Passed:

Published:

Drafted By:
MATTHEW A. KNIGHT
Deputy City Attorney

Thursday, January 7, 2016 at 5:00 pm
Municipal Building
625 52nd Street - Room 202 - Kenosha, WI 53140

Ordinance by the Mayor - To Annex 1.62 acres of land, more or less, located at 3712 120th Avenue and 12008 38th Street from the Town of Paris to the City of Kenosha. (Route 142, LLC/#3/State of Wisconsin) (District 16) PUBLIC HEARING

NOTIFICATIONS AND APPROVAL REQUIREMENTS:

Aldersperson Johnson, District 16, has been notified. This item will be reviewed by the Public Works Committee with final review by the Common Council. Adoption of the Annexation requires a 2/3's vote of the Common Council.

LOCATION AND ANALYSIS:

Site: 3712 120th Avenue and 12008 38th Street

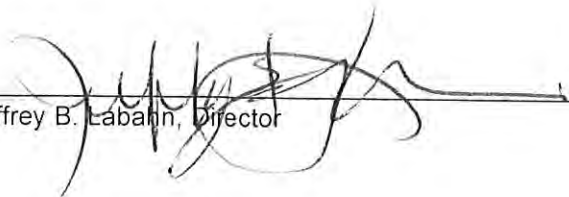
1. The City has received a unanimous Annexation Petition signed by the owners of land requesting Annexation to the City. The property consists of 1.62 acres of land.
2. The property is located within a City growth area under the Intergovernmental Agreement between the City, Town of Paris and Kenosha County.
3. The Annexation Petition has been submitted to the State Department of Administration for review as required by Statute. City Departments and the Town of Paris have been notified of the Petition.
4. The property is contiguous to the City. Per the City Zoning Ordinance, the property will be placed in the Agricultural Land Holding District (A-2). The property is anticipated for industrial use as part of ULINE.
5. The Annexation is in the public's best interest as sewer and water service are required from the City in order to develop this site.

RECOMMENDATION:

A recommendation is made to approve the Annexation.



Rich Schroeder, Deputy Director



Jeffrey B. Labahn, Director

/u2/acct/ep/ckays/ICPC/2016/JAN7/Staff-ord-annex-Route142LLC#3.doc

ANNEXATION ORDINANCE

Document Number

Document Title

This space is reserved for recording data

Return to:

Jonathan A. Mulligan
Office of the City Attorney
City of Kenosha
625 52nd Street, Room 201
Kenosha, WI 53140

45-4-221-251-0420

45-4-221-251-0416

Parcel Identification Numbers

ANNEXATION ORDINANCE

Ordinance No. _____

BY: THE MAYOR

TO ANNEX 1.62 ACRES OF LAND, MORE OR LESS,
LOCATED AT 3712 120th AVENUE AND 12008 38th STREET
FROM THE TOWN OF PARIS TO THE CITY OF
KENOSHA [Route 142, LLC/#3/State of Wisconsin]

Annexing to the City of Kenosha, Wisconsin, territory in the Town of Paris,
Kenosha County, Wisconsin:

The Common Council of the City of Kenosha, Wisconsin, do ordain as follows:

Section One: **Territory Annexed.** In accordance with:

- a. Section 66.0217 of the Wisconsin Statutes; and,
- b. The petition for direct annexation filed with the City Clerk on the 20th day of November, 2015, signed by all of the owners of property within such territory;

and it having been determined that such proposed annexation is in the public interest by:

- a. The City Plan Commission of Kenosha; and
- b. The Common Council of the City of Kenosha;

and it having been determined by the State of Wisconsin, Department of Administration, Municipal Boundary Review Section, that such proposed annexation is not against public policy, as shown by their determination of public interest; the territory in the Town of Paris, Kenosha County, Wisconsin, more fully described on Exhibit 1, attached hereto and incorporated herein by reference, is hereby annexed to the City of Kenosha, Wisconsin.

Section Two: **Effect of Annexation.** From and after the date of this Ordinance, the territory referred to Section One and more fully described on attached Exhibit 1 shall be a part of the City of Kenosha for any and all purposes provided by law, and all persons coming or residing within such territory shall be subject to all Ordinances, rules and regulations

governing the City of Kenosha.

Section Three: **Severability.** If any provision of this Ordinance is invalid or unconstitutional, or if the application of this Ordinance to any person or circumstances is invalid or unconstitutional, such invalidity or unconstitutionality shall not affect the other provisions or applications of this Ordinance which can be given effect without the invalid or unconstitutional provision or application.

Section Four: **Effective Date.** This Ordinance shall take effect upon passage and publication as provided by law.

Adopted this 1st day of February, 2016, by a two-thirds (2/3rds) vote of the elected members of the Common Council.

ATTEST: _____ City Clerk/Treasurer
 Debra L. Salas

APPROVED: _____ Mayor Date: _____
 Keith G. Bosman

Passed:

Published:


Drafted By:
JON A. MULLIGAN
Assistant City Attorney

EXHIBIT 1
LEGAL DESCRIPTION

Part of the Northeast Quarter of Section 25, Town 2 North, Range 21 East of the 4th Principal Meridian, lying and being in the Town of Paris, Kenosha County, Wisconsin, and being more particularly described as: Begin at the Southeast corner of said Quarter Section run thence N01°34'08"W 528.00 feet along the East line of said Quarter Section, and the West line of 120th Avenue to the Northeast corner of Lot A, Certified Survey Map No. 1438 (CSM), a recorded map; thence S89°23'03"W 165.00 feet along the North line of said CSM to the Northwest corner of said CSM; thence S01°34'08"E 477.99 feet along the West line of said CSM; thence S89°22'53"W 77.59 feet; thence S00°36'57"E 17.00 feet; thence S89°23'03"W parallel to the South line of said Quarter Section 239.92 feet; thence S01°34'08"E 33.00 feet to the South line of said Quarter Section; thence N89°23'03"E 482.79 feet along said South line to the point of beginning. Subject to easements and restrictions of record.

Official Map Amendment
Route 142 LLC / State of Wisconsin Annexation



 Property to be Annexed



13907

**PETITION OF ALL ELECTORS AND ALL PROPERTY OWNERS FOR DIRECT ANNEXATION
BY UNANIMOUS APPROVAL TO THE CITY OF KENOSHA
FROM THE TOWN OF PARIS PURSUANT TO SECTION 66.0217(2) WISCONSIN STATUTES**

We, the undersigned, constituting all of the owners of real property in the territory of the Town of Paris, Kenosha County, Wisconsin, lying contiguous to the City of Kenosha, petition the honorable Mayor and Common Council of said City to annex the territory described below and shown on the attached scale map to the City of Kenosha, Kenosha County, Wisconsin.

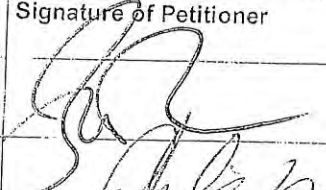
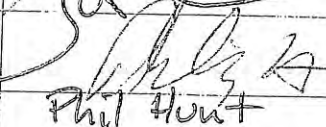
The current population of the territory to be annexed as defined by Section 66.0217(5)(a) of the Wisconsin Statutes is 0.

The undersigned elect that this annexation shall take effect to the full extent consistent with outstanding priorities of another annexation, incorporation, or consolidation proceeding, if any.

Special assessments are governed by City ordinances. See Section 1.155, 2.10 and 32.05 of the Code of General Ordinances.

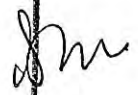
Route 142, LLC/#3
(Tax ID #45-4-221-251-0420 and #45-4-221-251-0416)
Legal Description

Part of the Northeast Quarter of Section 25, Town 2 North, Range 21 East of the 4th Principal Meridian, lying and being in the Town of Paris, Kenosha County, Wisconsin, and being more particularly described as: Begin at the Southeast corner of said Quarter Section run thence N01°34'08"W 528.00 feet along the East line of said Quarter Section, and the West line of 120th Avenue to the Northeast corner of Lot A, Certified Survey Map No. 1438 (CSM), a recorded map; thence S89°23'03"W 165.00 feet along the North line of said CSM to the Northwest corner of said CSM; thence S01°34'08"E 477.99 feet along the West line of said CSM; thence S89°22'53"W 77.59 feet; thence S00°36'57"E 17.00 feet; thence S89°23'03"W parallel to the South line of said Quarter Section 239.92 feet; thence S01°34'08"E 33.00 feet to the South line of said Quarter Section; thence N89°23'03"E 482.79 feet along said South line to the point of beginning. Subject to easements and restrictions of record.

Date	Signature of Petitioner	Mark with an "X" Owner Elector	Address or Description of Property
8/26/2015	 WISDOT	X	State DOT ROW
9-7-15	 Phil Hunt Route 142 LLC	X	12008 - 30th St 3712 - 120 Av

RECEIVED
NOV 20 2015
CITY OF KENOSHA
CITY CLERK/TREASURER

RECEIVED
NOV 20 2015
TOWN OF PARIS
CLERK/TREASURER



/u2/acct/cp/ckays/2PLANNING/ANNEX/2015/ROUTE142LLC#3-ULINE/Petition-unanimous-082115.odt

Thursday, January 7, 2016 at 5:00 pm
Municipal Building
625 52nd Street - Room 202 - Kenosha, WI 53140

Zoning Ordinance by the Mayor - To Rezone property located at the Northwest Corner of 38th Street and Interstate 94 from A-2 Agricultural Land Holding District to M-2 Heavy Manufacturing District [in Conformance with Section 10.02 of the Zoning Ordinance]. (Route 142, LLC/#3) (District 16) PUBLIC HEARING

NOTIFICATIONS AND APPROVAL REQUIREMENTS:

Aldersperson Johnson, District 16, has been notified. Property owners within 100 feet of the proposed rezoning were notified. The Common Council is the final review authority.

LOCATION AND ANALYSIS:

Site: Northwest corner of 38th Street and Interstate 94

Neighborhood: Paris

Vicinity Zoning/Land Use

North: M-2/Vacant

East: M-2/(Amazon)

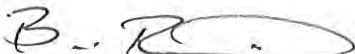
South: M-2/Vacant

West: M-2/Vacant

1. The owner of the property is requesting to rezone the property from *A-2 Agricultural Land Holding District* to *M-2 Heavy Manufacturing District*. The purpose of the rezoning is to construct a facility for ULINE. A similar rezoning request was reviewed by the City Plan Commission on April 9, 2015 and July 9, 2015. This request is for additional parcels that ULINE wants to annex and develop.
2. It is ULINE's intention to develop the properties west of the West Frontage Road with manufacturing uses, a fulfillment/distribution center and office space. The property between the West frontage Road and Interstate 94 will remain undeveloped. ULINE came before the City Plan Commission and Common Council with their Conditional Use Permit plans on October 19, 2015 and received approval.
3. Rezoning of the property to M-2 Heavy Manufacturing District is consistent with the adopted Comprehensive Plan for the City of Kenosha: 2035 which lists this site as Industrial.
4. The development of this property will have to be consistent with all City, State and Federal Ordinances and regulations. A Developer's Agreement will be required for all public improvements.

RECOMMENDATION:

A recommendation is made to approve the rezoning in accordance with Section 10.05 of the Zoning Ordinance.



Brian Wilke, Development Coordinator



Jeffrey B. Labahn, Director

REZONING ORDINANCE NO. _____

BY: THE MAYOR

To Rezone Property Located at the Northwest Corner of 38th Street and Interstate 94 from A-2 Agricultural Land Holding District to M-2 Heavy Manufacturing District in Conformance With Section 10.02 of the Zoning Ordinance. (Route 142, LLC) (District #16)

The Common Council of the City of Kenosha, Wisconsin, do ordain as follows:

Section One: That the land shown on the attached Supplement Map No. Z8-15 be, and the same hereby is, zoned and districted as indicated on said map.

Section Two: The development of the property shall be consistent with the conceptual development plan for the property being rezoned, which plan was submitted by the property owner/developer, considered by the City Plan Commission on the 7th day of January, 2016, and is on file with the Department of Community Development and Inspections as required in Section 10.02 A. of the Zoning Ordinance.

Section Three: This Ordinance shall be in full force and effect upon passage and the day after its publication.

ATTEST: _____ City Clerk/Treasurer
Debra L. Salas

APPROVED: _____ Mayor Date: _____
Keith G. Bosman

Passed:

Published:

Drafted By:
JONATHAN A. MULLIGAN
Assistant City Attorney

City of Kenosha
Vicinity Map
Route 142, LLC rezoning



Property requested to be rezoned



0 1,000
February 1, 2016 Pg. 92
Feet

City of Kenosha


Route 142 LLC petition

District Map
Rezoning

Supplement No. Z8-15
Ordinance No. _____



Property Requested to be Rezoned from:

 A-2 Agricultural Land Holding to M-2 Heavy Manufacturing



City of Kenosha

Land Use Map
Route 142, LLC Rezoning



Property Requested to be Rezoned



0 300
Feet



12575 Uline Drive • Pleasant Prairie, WI 53158
Phone (262) 612-4200 • Web uline.com • Fax (262) 612-4270

June 26, 2015

The Honorable Mayor
and Members of the Common Council
625 52nd St #300
Kenosha, WI 53140

Dear Members of the Common Council:

It is requested that my property (Parcel Numbers: 45-4-221-251-0416 and 45-4-221-251-0420) be rezoned from A-2 Agricultural Land Holding (present zoning) to M-2 Light Manufacturing (proposed zoning).

The purpose of the rezoning is to permit the future construction of a facility as described in the attached conceptual development plan including building, site development, land use and operational plans as required by Section 10 of the City of Kenosha Zoning Ordinance, and a receipt of the rezoning fee. I understand that development of the referenced property proposed for rezoning is required to be consistent with the conceptual development plans submitted with my rezoning petition.

Please inform me of the date this item will be reviewed by the City Plan Commission. The meeting notice should be sent to:

Brad Folkert
Director of Construction
ULINE
12575 ULINE Drive
Pleasant Prairie, WI 53158

I can be reached at 262-612-4200 if there are any questions regarding my request for the rezoning.

Sincerely,

Route 142, LLC


Brad Folkert



December 29, 2015

NOTICE OF PUBLIC HEARING

***Rezoning of property at the Northwest Corner of 38th Street and I-94
(Route 142, LLC/#3/State of Wisconsin)***

The City Plan Commission will hold a public hearing on a Petition submitted by Brad Folkert, Agent, to rezone the properties at the Northwest Corner of 38th Street and I-94. The proposed rezoning would amend the zoning on the property from *A-2 Agricultural Land Holding District* to *M-2 Heavy Manufacturing District*. The rezoning request is to allow for the construction of a new facility for ULINE.

The public hearing will be held at the City Plan Commission meeting as follows:

***City Plan Commission - Thursday, January 7, 2016 at 5:00 pm
Municipal Building, 625 52nd Street, Kenosha, Room 202***

You are being notified of this public hearing because, as the owner of property located within 100-feet of the proposed zoning change, you are eligible to file a Protest Petition pursuant to Wisconsin State Statutes. The proposed rezoning **will not** change the zoning of your property. The enclosed map identifies the boundaries of the proposed rezoning and the location of your property has been highlighted.

The City Plan Commission will make a recommendation to the Common Council on the Zoning Petition. A public hearing with final action on this item is scheduled as follows:

***Common Council - Monday, February 1, 2016 at 7:00 pm
Municipal Building, 625 52nd Street, Kenosha, Room 200***

Additional information regarding this petition is on file with the Department of Community Development & Inspections in Room 308 of the Municipal Building.

Please contact Brian Wilke at 262.653.4049 or via email at bwilke@kenosha.org for additional information.

BRW:kas
Enclosure



TAX PARCEL NUMBERS:
 45-4-221-251-0416
 45-4-221-251-0420

GRAPHICAL SCALE (FEET)
 February 1, 2016th Pg. 97

RESOLUTION NO. _____
BY: FINANCE COMMITTEE

RESOLUTION TO CORRECT RESOLUTION #69-15

PROJECT #14-1208 SIDEWALK & CURB GUTTER PROGRAM

WHEREAS, Resolution #69-15 for Project #14-1208 Sidewalk & Curb/Gutter Program (Citywide Locations) in the amount of \$205,159.83 was passed by the Kenosha Common Council on May 18, 2015,

WHEREAS, it has been determined that Parcel #05-123-06-307-003 was incorrectly billed in the amount of \$534.60, and should have been billed in the amount of \$254.10,

NOW, THEREFORE, BE IT RESOLVED, by the Kenosha Common Council that the resolution be changed from \$205,159.83 to \$204,879.33.

Passed this 1st day February, 2016.

Approved:

Keith G. Bosman, Mayor

Attest:

Debra L. Salas, City Clerk-Treasurer

RESOLUTION NO. _____

BY: FINANCE COMMITTEE

**TO LEVY SPECIAL ASSESSMENTS AGAINST
BENEFITED PROPERTY BASED UPON FINAL
CONSTRUCTION COSTS RESPECTING
IMPROVEMENTS IN STREET RIGHT-OF-WAY
(sidewalks and/or driveway approaches)**

BE IT RESOLVED, by the Common Council of the City of Kenosha, Wisconsin that special assessments are levied against benefited property based upon final construction costs respecting improvements in street-of-way consisting of construction of sidewalks and/or driveway approaches for Project #13-1025 56th Street Resurfacing (56th Street – Sheridan Road to 13th Avenue) in the total amount of \$444.60, as shown by a report of the City Engineer filed in the office of the City Clerk of the City of Kenosha in accordance with the Final Resolution No. 88-13 authorizing such improvements in the street right-of-way.

Adopted this 1st day of February, 2016.

APPROVED:

Keith G. Bosman, Mayor

ATTEST:

Debra L. Salas, City Clerk/Treasurer

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK FOR PROJECT: 13-125

ASSESSED		TOTAL	
S.F./LN.		ASSESSMENT	
PARCEL NUMBER	LOT	25.000	\$138.75
12-223-31-436-006-0			
PROPERTY ADDRESS		4" CONC R-R 25.00SF @ \$5.55 = \$138.75	
REDEVELOPMENT AUTHORITY OF THECITY		NUMBER OF SQUARES 1	
1204 056 ST			

MAIL TO ADDRESS	LEGAL DESCRIPTION
CITY OF KENOSHA REDEVELOPMENT	PT OF B 21 SE 1/4 SEC 31 T 2 R
625 52ND ST	23 COM AT SW COR OF BLK TH
KENOSHA, WI 53140-3480	E'LY 71FT N'LY TO A PT 48 FT S
	OF CTR LINE OF BLK W'LY 63.9
	FT TO PT 38 FT S OF CTR LINE
	OF BLK S TO BEG
	V 1653 P 209
	PARKING

PARCEL NUMBER	LOT	
12-223-31-436-007-0		
PROPERTY ADDRESS		NUMBER OF SQUARES
REDEVELOPMENT AUTH OF KENOSHA		NO WORK OR WORK TO BE DONE AT CITY COST
1118 056 ST		

MAIL TO ADDRESS	LEGAL DESCRIPTION
CITY OF KENOSHA REDEVELOPMENT	BEING PT OF B 21 SE 1/4 SEC 31
625 52ND ST	T 2 R 23 COM 71 FT E OF SW COR
KENOSHA, WI 53140-3735	OF B TH NLY 8 RDS TO A PT
	WHICH IS 61 FT E OF E LINE OF
	13TH AVE E'LY 64 FT S'LY 8 RDS
	E'LY 67 FT TO BEG
	PARKING

PARCEL NUMBER	LOT	909.000	\$7,005.05
12-223-31-436-008-0			
PROPERTY ADDRESS			4" CONC R-R 275.00SF @ \$5.55 = \$1526.25
PAUL CAMPAGNA			6" CONC R-R 84.00SF @ \$5.70 = \$478.80
1112 056 ST			ADDITIONAL 550.00 @ \$.00 = \$5000.00
			NUMBER OF SQUARES 14
MAIL TO ADDRESS		LEGAL DESCRIPTION	
PAUL CAMPAGNA		COMM 138 FT E'LY FROM THE SW	
7512 20TH AVE		COR OF BLK 21 TH NL'Y 9 RODS	
KENOSHA, WI 53143		E'LY 60 FT SLY 9 RODS W'LY 60	
		FT TO BEG ALSO COMM AT SE COR	
		ABOVE DESCRIBED PREMISES TH	
		N'LY 90 FT & TO N FACE OF BLDG	
		WHICH NOW STANDS UPON THE DESC	
		PROPERTY TH EL'Y 44/100 FT &	
		TO E FACE OF SAID BLDG TH SL'Y	
		90 FT* AND TO PT OF BEG BEING	
		PT OF SE 1/4 SEC 31 T 2 R 23	
		DOC#1250630	
		DOC#1564917	

PARCEL NUMBER	LOT	854.000	\$6,592.75
12-223-31-436-010-0			
PROPERTY ADDRESS			4" CONC R-R 305.00SF @ \$5.55 = \$1692.75
3 RICHARDS LLC			ADDITIONAL 549.00SF @ \$.00 = \$4900.00
1100 056 ST			NUMBER OF SQUARES 12
			549 SF STAMPED CONCRETE IN PKWY
MAIL TO ADDRESS		LEGAL DESCRIPTION	
3 RICHARDS LLC		PT BLK 21 ORIGINAL TOWN OF	
3614 16TH PL		SOUTHPORT PT SE 1/4 SEC 31	
KENOSHA, WI 53144		T 2 R 23 BEG AT SE COR BLK	
		TH W 62.1 FT N 85 FT E 62.85	
		FT TH S 85 FT TO POB	
		DOC#1361025	
		DOC#1412676	

PARCEL NUMBER	LOT	645.000	\$4,193.25
12-223-31-436-012-0			
PROPERTY ADDRESS			4" CONC R-R 215.00SF @ \$5.55 = \$1193.25
MZAM LIMITED LIABILITY PARTNERSHIP			ADDITIONAL 430.00SF @ \$.00 = \$3000.00
1108 056 ST			NUMBER OF SQUARES 8
			430 SF STAMPED CONCRETE IN PKWY

MAIL TO ADDRESS	LEGAL DESCRIPTION
MZAM PARTNERSHIP	SE 1/4 SEC 31 T 2 R 23 PT BLK
1108 56TH ST	21 BEG SE COR SD BLK W 105 FT
KENOSHA, WI 53140-3668	TH N'LY 85 DEG ANGLE PAR WITH
	N & S CNT LN SD BLK 116.44 FT
	TO PT 150 FT S OF N LN SD BLK
	TH E'LY 96.16 FT TO W LN 11TH
	AVE TH S'LY 116 FT TO POB
	EXC BEG SW COR ABOVE DESC TH
	N'LY 90 FT & TO N OUTSIDE FACE
	OF BLDG E'LY .44 FT & TO E
	FACE SD BLDG S'LY 90 FT TO
	POB ALSO EXC BEG SE COR SD
	BLK W 62.1 FT TH N 85 FT TH E
	62.85 FT TH S 85 FT TO POB 1982
	DOC#1173352
	DOC#1173354

PARCEL NUMBER	LOT	713.000	\$9,411.00
12-223-31-437-004-0			
PROPERTY ADDRESS			4" CONC R-R 20.00SF @ \$5.55 = \$111.00
LEMUEL GOMEZ, ANGIE I GOMEZ, JESUS			ADDITIONAL 693.00SF @ \$.00 = \$9300.00
1018 056 ST			NUMBER OF SQUARES 1
			693 SF STAMPED CONCRETE IN PKWY

MAIL TO ADDRESS	LEGAL DESCRIPTION
LEMUEL GOMEZ	SE 1/4 SEC 31 T 2 R 23 BLK 22
6021 59TH AVE	COM ON N LINE OF 56TH ST AT SW
KENOSHA, WI 53142	COR OF BLK TH N 128.13 FT E 77
	FT S 128.13 FT W 77 FT TO BEG
	V 1386 P 753
	DOC#1208596
	DOC#1391455

PARCEL NUMBER LOT
12-223-31-437-005-0

PROPERTY ADDRESS
KENOSHA COUNTY
1016 056 ST

NUMBER OF SQUARES
NO WORK OR WORK TO BE DONE AT CITY COST

MAIL TO ADDRESS
COUNTY OF KENOSHA
ATTN: COUNTY CLERK
KENOSHA, WI 53140

LEGAL DESCRIPTION
2755-2B SE 1/4 SEC 31 T 2 R 23
BLK 22 COM 132 FT W OF SE COR
OF BLK TH W 55 FT N 128.13 FT
E 10FT N 23.87 FT E 45 FT S
152 FT TO POB .185 AC
DOC#1019043
(UNEMPLOYMENT OFFICE)

PARCEL NUMBER LOT 318.000 \$8,971.00
12-223-31-437-006-0

PROPERTY ADDRESS
THEODORE R MURRAY &
1012 056 ST

6" CONC R-R 30.00SF @ \$5.70 = \$171.00
ADDITIONAL 288.00SF @ \$.00 = \$8800.00
NUMBER OF SQUARES 1
288 SF STAMPED CONCRETE IN PKWY

MAIL TO ADDRESS
THEODORE R MURRAY
1012 56TH ST
KENOSHA, WI 53140-3738

LEGAL DESCRIPTION
W 1/3 OF SE 1/4 OF B 22 BEING
PT OF SE 1/4 SEC 31 T 2 R 23

PARCEL NUMBER LOT
12-223-31-437-007-0

PROPERTY ADDRESS
KENOSHA COUNTY
1010 056 ST

NUMBER OF SQUARES
NO WORK OR WORK TO BE DONE AT CITY COST

MAIL TO ADDRESS
KENOSHA COUNTY
ATTN: COUNTY CLERK
KENOSHA, WI 53140-3747
(KCAB)

LEGAL DESCRIPTION
E 2/3 OF SE 1/4 OF B 22 BEING
PT OF SE 1/4 SEC 31 T 2 R 23
V 1556 P 109 .266

PARCEL NUMBER	LOT	210.000	\$1,165.50
12-223-31-454-012-0			
		4" CONC R-R 210.00SF @ \$5.55 = \$1165.50	
PROPERTY ADDRESS	NUMBER OF SQUARES 8		
JASMINE INVESTMENT LLC			
1115 056 ST			
MAIL TO ADDRESS	LEGAL DESCRIPTION		
JASMINE INVESTMENT LLC	2870-D PT BLK 36 SE 1/4 SEC 31		
9234 OLD SPRING ST	T2 R 23 BEG ON S LINE OF 56TH		
RACINE, WI 56406	ST AS WIDENED 60 FT W FROM W		
	LINE OF 11TH AVE TH W 100 FT S		
	81.67 FT E 100 FT N 81.45 FT*		
	TO BEG		
	DOC#1090913		
	DOC#1138296		
	DOC#1290119		
	DOC#1537405		
	DOC#1619003		

PARCEL NUMBER	LOT	162.000	\$899.10
12-223-31-454-014-0			
		4" CONC R-R 162.00SF @ \$5.55 = \$899.10	
PROPERTY ADDRESS	NUMBER OF SQUARES 6		
ANDREA CHRISTENSEN PR			
5601 013 AV			
MAIL TO ADDRESS	LEGAL DESCRIPTION		
ANDREA CHRISTENSEN PR	PT SE 1/4 SEC 31 T 2 R 23 BEG		
5607 13TH AVE	SW COR B 36 VILLAGE OF		
KENOSHA, WI 53140-4019	SOUTHPORT TH N 129.98 FT CONT		
	N 34.62 FT TO POB E 155.8 FT N		
	50 FT M/L W 147.7 FT TO E LN		
	13TH AV S 51.40 FT TO BEG 1990		
	(PT 12-4-223-21-454-003)		

STREET TOTAL	4,022.00	\$39,408.70
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GRAND TOTALS PARCELS 14	FOOTAGE 4,022.000	TOTAL COST \$39,408.70
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RESOLUTION NO. _____

BY: FINANCE COMMITTEE

**TO LEVY SPECIAL ASSESSMENTS AGAINST
BENEFITED PROPERTY BASED UPON FINAL
CONSTRUCTION COSTS RESPECTING
IMPROVEMENTS IN STREET RIGHT-OF-WAY
(sidewalks and/or driveway approaches)**

BE IT RESOLVED, by the Common Council of the City of Kenosha, Wisconsin that special assessments are levied against benefited property based upon final construction costs respecting improvements in street-of-way consisting of construction of sidewalks and/or driveway approaches for Project #14-1026 56th Street Sidewalk (56th Street – Sheridan Road to 13th Avenue) in the total amount of \$2,432.10, as shown by a report of the City Engineer filed in the office of the City Clerk of the City of Kenosha in accordance with the Final Resolution No. 90-14 authorizing such improvements in the street right-of-way.

Adopted this 1st day of February, 2016.

APPROVED:

Keith G. Bosman, Mayor

ATTEST:

Debra L. Salas, City Clerk/Treasurer

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK

RUN DATE: 12/18/15
FOR PROJECT: 14-126

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
12-223-31-436-008-0		180.000	\$1,188.00
PROPERTY ADDRESS		4" CONC R-R 180.00SF @ \$6.60 = \$1188.00	
PAUL CAMPAGNA		NUMBER OF SQUARES 7	
1112 056 ST			
MAIL TO ADDRESS		LEGAL DESCRIPTION	
PAUL CAMPAGNA		COMM 138 FT E'LY FROM THE SW	
7512 20TH AVE		COR OF BLK 21 TH NL'Y 9 RODS	
KENOSHA, WI 53143		E'LY 60 FT SLY 9 RODS W'LY 60	
		FT TO BEG ALSO COMM AT SE COR	
		ABOVE DESCRIBED PREMISES TH	
		N'LY 90 FT & TO N FACE OF BLDG	
		WHICH NOW STANDS UPON THE DESC	
		PROPERTY TH EL'Y 44/100 FT &	
		TO E FACE OF SAID BLDG TH SL'Y	
		90 FT* AND TO PT OF BEG BEING	
		PT OF SE 1/4 SEC 31 T 2 R 23	
		DOC#1250630	
		DOC#1564917	

12-223-31-454-011-0		50.500	\$333.30
PROPERTY ADDRESS		4" CONC R-R 50.50SF @ \$6.60 = \$333.30	
JASMINE INVESTMENT LLC		NUMBER OF SQUARES 2	
5612 011 AV			
MAIL TO ADDRESS		LEGAL DESCRIPTION	
JASMINE INVESTMENT LLC		PT BLK 36 IN SE 1/4 SEC 31 T2	
9234 OLD SPRING ST		R23 BEG AT SW COR 56TH ST AS	
RACINE, WI 53406		WIDENED & W LN 11TH AVE TH W	
		ALG S LN 56TH ST 60 FT TH S PARL	
		TO 11TH AVE 81.45 FT TH E 60 FT TO	
		E LN BLK TH N 79.5 FT TO POB	
		DOC#1090913	
		DOC#1131759	
		DOC#1138296	
		DOC#1290119	
		DOC#1537405	
		DOC#1619003	

PARCEL NUMBER	LOT	138.000	\$910.80
12-223-31-454-012-0			
PROPERTY ADDRESS		4" CONC R-R 138.00SF @ \$6.60 =	\$910.80
NADIA MOHAMMAD		NUMBER OF SQUARES 5.5	
1115 056 ST			

MAIL TO ADDRESS	LEGAL DESCRIPTION
NADIA MOHAMMAD	2870-D PT BLK 36 SE 1/4 SEC 31
9212 OLD SPRING ST	T2 R 23 BEG ON S LINE OF 56TH
RACINE, WI 56406	ST AS WIDENED 60 FT W FROM W
	LINE OF 11TH AVE TH W 100 FT S
	81.67 FT E 100 FT N 81.45 FT*
	TO BEG
	DOC#1090913
	DOC#1138296
	DOC#1290119
	DOC#1537405
	DOC#1619003
	DOC#1719898
	DOC#1719899

STREET TOTAL	368.50	\$2,432.10
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GRAND TOTALS	PARCELS	3	FOOTAGE	368.500	TOTAL COST	\$2,432.10
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RESOLUTION NO. _____

BY: FINANCE COMMITTEE

**TO LEVY SPECIAL ASSESSMENTS AGAINST
BENEFITED PROPERTY BASED UPON FINAL
CONSTRUCTION COSTS RESPECTING
IMPROVEMENTS IN STREET RIGHT-OF-WAY
(sidewalks and/or driveway approaches)**

BE IT RESOLVED, by the Common Council of the City of Kenosha, Wisconsin that special assessments are levied against benefited property based upon final construction costs respecting improvements in street-of-way consisting of construction of sidewalks and/or driveway approaches for Project #15-1015 85th Street Resurfacing (85th Street - 22nd Avenue to 30th Avenue) in the total amount of \$19,575, as shown by a report of the City Engineer filed in the office of the City Clerk of the City of Kenosha in accordance with the Final Resolution No. 47-15 authorizing such improvements in the street right-of-way.

Adopted this 1st day of February, 2016.

APPROVED:

Keith G. Bosman, Mayor

ATTEST:

Debra L. Salas, City Clerk/Treasurer

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK

RUN DATE: 12/18/15
FOR PROJECT: 15-115

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
04-122-12-453-017-0		50.000	\$357.50
PROPERTY ADDRESS		4" CONC R-R 25.00SF @ \$7.10 = \$177.50	
WALTER C JOHNSON III & MELANIE D J		6" CONC R-R 25.00SF @ \$7.20 = \$180.00	
2756 085 ST		NUMBER OF SQUARES 2	
MAIL TO ADDRESS		LEGAL DESCRIPTION	
WALTER C & MELANIE D JOHNSON		LOT 13 BLK 19 SUNNYSIDE PARK	
2756 85TH ST		UNIT III PT OF SE 1/4 SEC 12	
KENOSHA, WI 53143-6253		T 1 R 22	
		V1670 P 141	
		DOC#1144126	
		DOC#1280871	
		DOC#1320989	

04-122-12-453-019-0		25.000	\$177.50
PROPERTY ADDRESS		4" CONC R-R 25.00SF @ \$7.10 = \$177.50	
HOWARD W & BARBARA J ALWARDT		NUMBER OF SQUARES 1	
2744 085 ST			
MAIL TO ADDRESS		LEGAL DESCRIPTION	
HOWARD W & BARBARA J ALWARDT		SE 1/4 SEC 12 T 1 R 22	
2744 85TH ST		SUNNYSIDE PARK SUB UNIT NO 3	
KENOSHA, WI 53143-6253		BLK 19 LOT 15	

04-122-12-453-021-0		50.000	\$357.50
PROPERTY ADDRESS		4" CONC R-R 25.00SF @ \$7.10 = \$177.50	
DIANA LYNN GRAVES		6" CONC R-R 25.00SF @ \$7.20 = \$180.00	
2732 085 ST		NUMBER OF SQUARES 2	
MAIL TO ADDRESS		LEGAL DESCRIPTION	
DIANA LYNN GRAVES		LOT 17 BLK 19 SUNNYSIDE PARK	
2732 85TH ST		SUB UNIT 3 PT SE 1/4 SEC 12	
KENOSHA, WI 53143-6253		T 1 R 22 V 996 P 929	
		DOC#1577177	

PARCEL NUMBER	LOT	50.000	\$357.50
04-122-12-453-022-0			
PROPERTY ADDRESS		4" CONC R-R 25.00SF @ \$7.10 = \$177.50	
KENNETH W & MARY M HUISSEN		6" CONC R-R 25.00SF @ \$7.20 = \$180.00	
2726 085 ST		NUMBER OF SQUARES 2	
MAIL TO ADDRESS		LEGAL DESCRIPTION	
KENNETH W & MARY M HUISSEN		SE 1/4 SEC 12 T 1 R 22	
2726 85TH ST		SUNNYSIDE PARK SUB UNIT #3 B	
KENOSHA, WI 53143-6253		19 LOT 18	

PARCEL NUMBER	LOT	75.000	\$535.00
04-122-12-453-023-0			
PROPERTY ADDRESS		4" CONC R-R 50.00SF @ \$7.10 = \$355.00	
DAVID H & CANDY K ANGEL		6" CONC R-R 25.00SF @ \$7.20 = \$180.00	
2720 085 ST		NUMBER OF SQUARES 3	
MAIL TO ADDRESS		LEGAL DESCRIPTION	
DAVID H & CANDY K ANGEL		LOT 19 BLK 19 SUNNYSIDE PARK	
2720 85TH ST		UNIT 3 SE 1/4 SEC 12 T1 R 22	
KENOSHA, WI 53143-6253		DOC#1015080	
		DOC#1319845	

PARCEL NUMBER	LOT	25.000	\$177.50
04-122-12-453-025-0			
PROPERTY ADDRESS		4" CONC R-R 25.00SF @ \$7.10 = \$177.50	
AMANDO & CECILIA SAAVEDRA		NUMBER OF SQUARES 1	
2708 085 ST			
MAIL TO ADDRESS		LEGAL DESCRIPTION	
AMANDO & CECILIA SAAVEDRA		LOT 21 BLK 19 SUNNYSIDE PARK III	
1467 28TH CT		SE 1/4 SEC 12 T 1 R 22	
KENOSHA, WI 53140		DOC#1064533	

PARCEL NUMBER	LOT	50.000	\$355.00
04-122-12-456-016-0			
PROPERTY ADDRESS		4" CONC R-R 50.00SF @ \$7.10 = \$355.00	
NATHANIEL R GRIM		NUMBER OF SQUARES 2	
2622 085 ST			
MAIL TO ADDRESS		LEGAL DESCRIPTION	
NATHANIEL R GRIM		LOT 18 BLK 14 SUNNYSIDE PARK	
2622 85TH ST		SUB UNIT 3 SE 1/4 SEC 12 T1 R22	
KENOSHA, WI 53143		DOC#1082237	
		DOC#1724135	
		DOC#1753102	

PARCEL NUMBER	LOT	75.000	\$532.50
04-122-12-456-017-0			
		4" CONC R-R	75.00SF @ \$7.10 = \$532.50
PROPERTY ADDRESS		NUMBER OF SQUARES	3
TED BATWINSKI			
2616 085 ST			
MAIL TO ADDRESS		LEGAL DESCRIPTION	
TED BATWINSKI		SE 1/4 SEC 12 T 1 R 22	
2616 85TH ST		LOT 17 BLK 14	
KENOSHA, WI 53143-6252		SUNNYSIDE PARK SUB UNIT NO 3	
		DOC#1029382	

PARCEL NUMBER	LOT	25.000	\$177.50
04-122-12-456-019-0			
		4" CONC R-R	25.00SF @ \$7.10 = \$177.50
PROPERTY ADDRESS		NUMBER OF SQUARES	1
ROBERT T & DIANE C HAYES			
2604 085 ST			
MAIL TO ADDRESS		LEGAL DESCRIPTION	
ROBERT T & DIANE C HAYES		SE 1/4 SEC 12 T 1 R 22	
2604 85TH ST		SUNNYSIDE PARK SUB UNIT NO 3 B	
KENOSHA, WI 53143-6252		K 14 LOT 15	

PARCEL NUMBER	LOT	50.000	\$360.00
04-122-12-476-014-0			
		6" CONC R-R	50.00SF @ \$7.20 = \$360.00
PROPERTY ADDRESS		NUMBER OF SQUARES	2
MATTHEW J & AMBER N MELANDER			
2222 085 ST			
MAIL TO ADDRESS		LEGAL DESCRIPTION	
MATTHEW J & AMBER N MELANDER		LOT 19 BLK 10 SUNNYSIDE PARK	
2222 85TH ST		UNIT III SE 1/4 SEC 12 T1 R22	
KENOSHA, WI 53143		V 1464 P 777	
		DOC#1199152	
		DOC#1277029	
		DOC#1486516	
		DOC#1712736	

PARCEL NUMBER	LOT	50.000	\$355.00
04-122-12-476-015-0			
		4" CONC R-R 50.00SF @ \$7.10 =	\$355.00
PROPERTY ADDRESS		NUMBER OF SQUARES 2	
MATTHEW S HOYER			
2216 085 ST			
MAIL TO ADDRESS		LEGAL DESCRIPTION	
MATTHEW S HOYER		LOT 18 BLK 10 SUNNYSIDE	
2216 85TH ST		PARK SUB UNIT 3 SE 1/4	
KENOSHA, WI 53143		SEC 12 T1 R22	
		DOC#1059411	
		DOC#1165161	
		DOC#1602601	
		DOC#1738319	
		DOC#1738320	
		DOC#1746438	

PARCEL NUMBER	LOT	50.000	\$355.00
04-122-12-476-017-0			
		4" CONC R-R 50.00SF @ \$7.10 =	\$355.00
PROPERTY ADDRESS		NUMBER OF SQUARES 2	
DOUGLAS K & RITA J RAUSCH			
2204 085 ST			
MAIL TO ADDRESS		LEGAL DESCRIPTION	
DOUGLAS K & RITA J RAUSCH		LOT 16 BLK 10 SUNNYSIDE PARK III	
2204 85TH ST		SUB PT SE 1/4 SEC 12 T 1 R 22	
KENOSHA, WI 53143-1830		V 1555 P 377	
		V 1675 P 790	
		DOC#1572726	
		DOC#1648477	

PARCEL NUMBER	LOT	450.000	\$3,202.50
04-122-12-477-028-0			
		4" CONC R-R 375.00SF @ \$7.10 =	\$2662.50
PROPERTY ADDRESS		6" CONC R-R 75.00SF @ \$7.20 =	\$540.00
2014 MORLEY FAMILY TRUST		NUMBER OF SQUARES 18	
8425 025 AV			
MAIL TO ADDRESS		LEGAL DESCRIPTION	
MORLEY FAMILY TRUST 2014		LOT 18 BLK 11 SUNNYSIDE	
C/O GARY PETERSON		PARK III PT SE 1/4 SEC	
KENOSHA, WI 53144		12 T 1 R 22	
		DOC#1156170	
		DOC#1736831	

PARCEL NUMBER	LOT	300.000	\$2,130.00
04-122-12-477-029-0			
		4" CONC R-R 300.00SF @ \$7.10 = \$2130.00	
PROPERTY ADDRESS		NUMBER OF SQUARES 12	
RITA J LANCASTER			
2316 085 ST			
MAIL TO ADDRESS		LEGAL DESCRIPTION	
RITA J LANCASTER		SE 1/4 SEC 12 T 1 R 22	
3103 100TH AVE		SUNNYSIDE PARK SUB UNIT NO 3	
KENOSHA, WI 53144		BLK 11 LOT 17	

PARCEL NUMBER	LOT	275.000	\$1,957.50
04-122-12-477-030-0			
		4" CONC R-R 225.00SF @ \$7.10 = \$1597.50	
PROPERTY ADDRESS		6" CONC R-R 50.00SF @ \$7.20 = \$360.00	
ALBERT PRAXEDIS & ESMERALDA CASAS		NUMBER OF SQUARES 11	
2310 085 ST			
MAIL TO ADDRESS		LEGAL DESCRIPTION	
ALBERT PRAXEDIS		LOT 16 BLK 11 SUNNYSIDE PARK	
2310 85TH ST		III PT SE 1/4 SEC 12 T1 R 22	
KENOSHA, WI 53143		DOC #992203	
		DOC#1376875	
		DOC#1394374	
		DOC#1416141	

PARCEL NUMBER	LOT	25.000	\$177.50
04-122-12-478-019-0			
		4" CONC R-R 25.00SF @ \$7.10 = \$177.50	
PROPERTY ADDRESS		NUMBER OF SQUARES 1	
THOMAS J & VICKI L SBAROUNIS			
2516 085 ST			
MAIL TO ADDRESS		LEGAL DESCRIPTION	
THOMAS J & VICKI L SBAROUNIS		LOT 17 BLK 12 SUNNYSIDE PARK SUB	
2516 85TH ST		UNIT 3 PT SE 1/4 SEC 12 T 1 R 22	
KENOSHA, WI 53143		V 1586 P 200	
		DOC#1717447	
		DOC#1717448	
		DOC#1724564	
		DOC#1755013	

PARCEL NUMBER	LOT	125.000	\$895.00
04-122-12-478-020-0			
PROPERTY ADDRESS		4" CONC R-R 50.00SF @ \$7.10 = \$355.00	
RONALD C & PAMELA M THOMAS		6" CONC R-R 75.00SF @ \$7.20 = \$540.00	
2508 085 ST		NUMBER OF SQUARES 5	
MAIL TO ADDRESS		LEGAL DESCRIPTION	
RONALD C & PAMELA M THOMAS		LOT 16 BLK 12 SUNNYSIDE PARK III	
2508 85TH ST		SE 1/4 SEC 12 T 1 R 22	
KENOSHA, WI 53143-6251		DOC#1128717	
		DOC#1460723	

PARCEL NUMBER	LOT	50.000	\$355.00
04-122-12-479-031-0			
PROPERTY ADDRESS		4" CONC R-R 50.00SF @ \$7.10 = \$355.00	
GREGORY & MARILYN SALZBRENNER		NUMBER OF SQUARES 2	
2546 085 ST			
MAIL TO ADDRESS		LEGAL DESCRIPTION	
GREGORY & MARILYN SALZBRENNER		SE 1/4 SEC 12 T 1 R 22	
2546 85TH ST		SUNNYSIDE PARK SUB UNIT NO 3	
KENOSHA, WI 53143		BLK 13 LOT 18	
		V 1385 P 194	
		V 1414 P 344	
		V 1513 P 256	

PARCEL NUMBER	LOT	50.000	\$360.00
04-122-12-479-033-0			
PROPERTY ADDRESS		6" CONC R-R 50.00SF @ \$7.20 = \$360.00	
LUIGI G & CHRISTINA DECESARO		NUMBER OF SQUARES 2	
2534 085 ST			
MAIL TO ADDRESS		LEGAL DESCRIPTION	
LUIGI G & CHRISTINA DECESARO		SE 1/4 SEC 12 T 1 R 22	
2534 85TH ST		SUNNYSIDE PARK SUB UNIT NO 3	
KENOSHA, WI 53143-6251		BLK 13 LOT 16	

PARCEL NUMBER	LOT	25.000	\$180.00
04-122-12-479-034-0			
PROPERTY ADDRESS		6" CONC R-R 25.00SF @ \$7.20 = \$180.00	
BETTY J WRIGHT		NUMBER OF SQUARES 1	
2530 085 ST			
MAIL TO ADDRESS		LEGAL DESCRIPTION	
BETTY J WRIGHT		LOT 15 BLK 13 SUNNYSIDE PARK SUB	
2530 85TH ST		UNIT 3 PT SE 1/4 SEC 12 T 1 R 22	
KENOSHA, WI 53143		V 1238 P 686	
		DOC#1680777	

PARCEL NUMBER	LOT	175.000	\$1,247.50
04-122-13-101-001-0			
PROPERTY ADDRESS		4" CONC R-R 125.00SF @ \$7.10 = \$887.50	
UNIFIED SCHOOL DISTRICT NO 1		6" CONC R-R 50.00SF @ \$7.20 = \$360.00	
8518 022 AV		NUMBER OF SQUARES 7	

MAIL TO ADDRESS	LEGAL DESCRIPTION
KENOSHA UNIFIED SCHOOL DIST 1	NE 1/4 SEC 13 T1 R 22 COM 33
3600 52ND ST	FT W OF NE COR OF 1/4 SEC TH S
KENOSHA, WI 53144-3947	880FT W 697 FT N 880 FT E 697
	FT TO BEG SUBJ TO ROW 50 FT
	FROM OFF N SIDE 30 FT OF W & S
	SIDES 27 FT FROM E SIDE FOR
	HIGHWAYS
	VERNON ELEMENTARY SCHOOL

PARCEL NUMBER	LOT	700.000	\$4,972.50
04-122-13-126-001-0			
PROPERTY ADDRESS		4" CONC R-R 675.00SF @ \$7.10 = \$4792.50	
UNIFIED SCHOOL DISTRICT		6" CONC R-R 25.00SF @ \$7.20 = \$180.00	
8560 026 AV		NUMBER OF SQUARES 28	

MAIL TO ADDRESS	LEGAL DESCRIPTION
KENOSHA UNIFIED SCHOOL DIST 1	NE 1/4 SEC 13 T 1 R 22 BEG SW
3600 52ND ST	COR SUNNYSIDE PARK UNIT NO 3
KENOSHA, WI 53144-3947	SUB TH E'LY 1137.99 FT S'LY
	1637.68 FT W'LY 1195.27 FT
	N'LY 1635.62FT TO BEG EXC S 60
	FT & E 60.08 FT FOR STREET (
	TREMPER HIGH)

STREET TOTAL	2,750.00	\$19,575.00
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GRAND TOTALS	PARCELS 22	FOOTAGE 2,750.000	TOTAL COST \$19,575.00
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RESOLUTION NO. _____

BY: FINANCE COMMITTEE

**TO LEVY SPECIAL ASSESSMENTS AGAINST
BENEFITED PROPERTY BASED UPON FINAL
CONSTRUCTION COSTS RESPECTING
IMPROVEMENTS IN STREET RIGHT-OF-WAY
(sidewalks and/or driveway approaches)**

BE IT RESOLVED, by the Common Council of the City of Kenosha, Wisconsin that special assessments are levied against benefited property based upon final construction costs respecting improvements in street-of-way consisting of construction of sidewalks and/or driveway approaches for Project #15-1018 7th Avenue Resurfacing (7th Avenue - 68th Street to 70th Street) in the total amount of \$5,398.50, as shown by a report of the City Engineer filed in the office of the City Clerk of the City of Kenosha in accordance with the Final Resolution No. 86-15 authorizing such improvements in the street right-of-way.

Adopted this 1st day of February, 2016.

APPROVED:

Keith G. Bosman, Mayor

ATTEST:

Debra L. Salas, City Clerk/Treasurer

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK

RUN DATE: 12/18/15
FOR PROJECT: 15-118

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
05-123-06-403-002-0		100.000	\$710.00
PROPERTY ADDRESS		4" CONC R-R 100.00SF @ \$7.10 = \$710.00	
ST JAMES CEMETERY ASSOCIATION		NUMBER OF SQUARES 4	
7000 007 AV			
MAIL TO ADDRESS		LEGAL DESCRIPTION	
ST JAMES CEMETERY ASSOCIATION		PT OF SE 1/4 SEC 6 T 1 R23 COM	
7002 7TH AVE		AT A PT ON W LINE OF E 1/2 OF	
KENOSHA, WI 53143		SE 1/4 OF 1/4 SEC WHICH IS 15	
		CH 26 LKS N OF S LINE OF SD	
		1/4 SEC TH N ALONG S D W LINE	
		14 CH 24LKS TH E 9 CH 10 LKS	
		TO CT OF 7TH AVE TH S FLONG CT	
		OF 7TH AVE TO A PT WHICH IS 15	
		CH 40 LKS N OF SD S LINE OF	
		1/4 SEC TH W TO BEG	
		PLAT#8200 & #8170	

05-123-06-403-003-0		210.000	\$1,491.00
PROPERTY ADDRESS		4" CONC R-R 210.00SF @ \$7.10 = \$1491.00	
KENOSHA CEMETERY ASSOCIATION GREEN		NUMBER OF SQUARES 8	
6604 007 AV			
MAIL TO ADDRESS		LEGAL DESCRIPTION	
KENOSHA CEMETERY ASSOCIATION		LOTS 4 THRU 11 DOHERTY SUB & E	
C/O GREENRIDGE CEMETERY		3 FT LOT 12 ALSO COM SE COR	
KENOSHA, WI 53143		LOT 11 SD SUB TH S 30.78 FT W'	
		LY 179.22 FT NE'LY 42.7 FT S	
		76 DEG 23' E 180.09 FT TO BEG	
		ALSO VAC ALLEY ABOVE SD LOTS	
		PT SE 1/4 SEC 6 T 1 R 23 ALSO	
		COMM AT INTER SEC OF W LN OF	
		7TH AVE WITH N LN O SEC TH	
		S'LY TO N LN OF ST JAMES CEME-	
		TERY S TO N LN OF BUTCHER &	
		HOWARD SUB W ALONG N LN OF SD	
		SUB TO SE COR OF MOERICK'S SUB	
		TH NW'LY TO BEG	
		1991 COMBINATION	
		(-426-014 & 403-001)	
		PLAT#8090	

PARCEL NUMBER	LOT	50.000	\$355.00
05-123-06-405-006-0			
		4" CONC R-R	50.00SF @ \$7.10 = \$355.00
PROPERTY ADDRESS		NUMBER OF SQUARES	2
RITA L CHASE & BRITTANY L CHASE			
6845 007 AV			
MAIL TO ADDRESS		LEGAL DESCRIPTION	
RITA L & BRITTANY L CHASE		LOT 51 ALLENDALE SUB BEING PT	
6845 7TH AVE		OF SE 1/4 SEC 6 T 1 R 23	
KENOSHA, WI 53143-5159		V 1355 P 511	
		DOC#1157328	

PARCEL NUMBER	LOT	25.000	\$177.50
05-123-06-406-005-0			
		4" CONC R-R	25.00SF @ \$7.10 = \$177.50
PROPERTY ADDRESS		NUMBER OF SQUARES	1
KARI PERSONS			
611 069 ST			
MAIL TO ADDRESS		LEGAL DESCRIPTION	
KARI PERSONS		LOT 69 ALLENDALE SUB PT	
611 69TH ST		OF SE 1/4 SEC 6 T 1 R23	
KENOSHA, WI 53143		DOC#1260586	
		DOC#1575824	
		DOC#1576600	
		DOC#1744540	

PARCEL NUMBER	LOT	25.000	\$177.50
05-123-06-406-006-0			
		4" CONC R-R	25.00SF @ \$7.10 = \$177.50
PROPERTY ADDRESS		NUMBER OF SQUARES	1
RICHARD W BORTHS			
6909 007 AV			
MAIL TO ADDRESS		LEGAL DESCRIPTION	
RICHARD W BORTHS		LOT 68 ALLENDALE SUB BEING PT	
6909 7TH AVE		OF SE 1/4 SEC 6 T 1 R 23	
KENOSHA, WI 53143			

PARCEL NUMBER	LOT	25.000	\$177.50
05-123-06-406-007-0			
		4" CONC R-R	25.00SF @ \$7.10 = \$177.50
PROPERTY ADDRESS		NUMBER OF SQUARES	1
JAMES A & DARLENE M MARKOWSKI			
6915 007 AV			
MAIL TO ADDRESS		LEGAL DESCRIPTION	
JAMES A & DARLENE M MARKOWSKI		LOT 67 ALLENDALE SUB PT	
6915 7TH AVE		OF SE 1/4 SEC 6 T1 R 23	
KENOSHA, WI 53143		DOC#1121840	
		DOC#1210533	
		DOC#1255524	
		DOC#1456747	

PARCEL NUMBER	LOT	25.000	\$177.50
05-123-06-406-008-0			
PROPERTY ADDRESS		4" CONC R-R 25.00SF @ \$7.10 =	\$177.50
SUSAN L MARQETSON		NUMBER OF SQUARES 1	
610 070 ST			

MAIL TO ADDRESS	LEGAL DESCRIPTION
SUSAN L MARQETSON	LOT 66 EXC E 16.69 FT
610 70TH ST	ALLENDALE SUB PT OF SE
KENOSHA, WI 53143-5525	1/4 SEC 6 T 1 R 23
	DOC#1222714

	STREET TOTAL	760.00	\$5,398.50
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GRAND TOTALS	PARCELS 10	FOOTAGE 760.000	TOTAL COST	\$5,398.50
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RESOLUTION NO. _____

BY: COMMITTEE ON FINANCE

To Levy a Special Assessment under Authority of Charter Ordinance No. 26, as Amended, upon Certain Parcels of Land Within the City of Kenosha, Wisconsin in the Amount of \$4,247.45 for Trash and Debris Removal

WHEREAS, trash and debris located on certain parcels of land in the City of Kenosha, Wisconsin, has been ordered removed by the Kenosha County Department of Human Services, pursuant to Charter Ordinance No. 26, as amended by Charter Ordinance No.(s) 28, 30, and 33, of the City of Kenosha, Wisconsin; and,

WHEREAS, pursuant to Subsection G., Charter Ordinance No. 26, as amended, the cost of abatement, including the cost of service, mailing and publication, and a Seventy-five (\$75.00) Dollar Administrative Fee, is to be specially assessed against the real estate upon which such debris and trash were located; and,

WHEREAS, trash and debris has been removed by the City, through private contract, from various parcels of real estate at the costs of abatement and administration noted by reports from the Kenosha County Department of Human Services dated October 5, 2015 and December 1, 2015, which reports are on file in the Office of the City Clerk/Treasurer and incorporated herein by reference.

NOW, THEREFORE, BE IT RESOLVED by the Common Council of the City of Kenosha, Wisconsin, that pursuant to Charter Ordinance No. 26, as amended by Charter Ordinance No.(s) 28, 30, and 33, special assessments in the total amount of \$4,247.45 are levied against the respective parcels of property listed in the report of the Kenosha County Department of Human Services on file in the Office of the City Clerk/Treasurer for the City of Kenosha, Wisconsin, with interest thereon to be charged at seven and one-half (7.5%) percent per annum from the date of passage of this Resolution.

Adopted this _____ day of _____, 2016.

ATTEST: _____ City Clerk

APPROVED: _____ Mayor

Date: _____

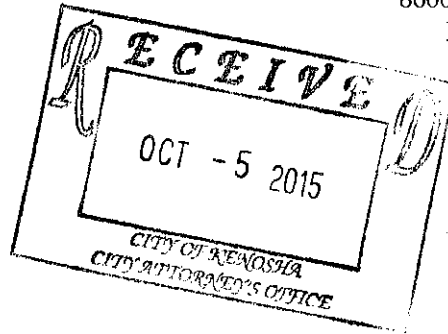
Drafted By:
JONATHAN A. MULLIGAN
Assistant City Attorney



COUNTY OF KENOSHA

John T. Jansen, Director
Department of Human Services

Cynthia Johnson, Director, Health Officer
Division of Health Services
Job Center / Human Services Building
8600 Sheridan Road, Suite 600
Kenosha, WI 53143-6515
Phone (262) 605-6700
Fax: (262) 605-6715



DATE: 5-Oct-15

TO: Edward R. Antaramian, City Attorney

FROM: Mark Melotik, Environmental Manager

RE: Request of special assessments for the following properties, as per Charter Ordinance
Number 26 - City of Kenosha

Mark Melotik 10/5/15

1.) **1616 61st Street** PARCEL # 05-123-06-204-017

OWNER OF RECORD:

Piyush & Jigna Patel
1616 61st Street Land Trust
501 Silverside Road Suite 87JQ
Wilmington DE 19809

Cleanup Date: 8/14/2015

ASSESSMENT:

Administrative Fee	75.00
Clean up	155.00
Certified Mail	0.00
Publication Cost	0.00
TOTAL:	230.00

2.) **913 47th St** PARCEL # 12-223-31-132-002

OWNER OF RECORD:

Sam & Jane Hood
3907 Phillip Drive
Zion IL 60099

Cleanup Date: 8/14/2015

ASSESSMENT:

Administrative Fee	75.00
Clean up	155.00
Certified Mail	0.00
Publication Cost	0.00
TOTAL:	230.00

3.) **4028 14th Av** PARCEL # 11-223-30-307-020

OWNER OF RECORD:

Gateway Properties of Kenosha
6634 88th Av
Kenosha WI 53142

Cleanup Date: 8/14/2015

ASSESSMENT:

Administrative Fee	75.00
Clean up	155.00
Certified Mail	0.00
Publication Cost	0.00
TOTAL:	230.00

4.) **6801 23rd Av** PARCEL # 01-122-01-407-003

OWNER OF RECORD:

Johnson Irrevocable Trust
2806 Charles St
Racine WI 53402

Cleanup Date: 9/2/2015

ASSESSMENT:

Administrative Fee	75.00
Clean up	155.00
Certified Mail	0.00
Publication Cost	0.00
TOTAL:	230.00

5.) **6037 37th Av** PARCEL # 01-122-01-227-012

OWNER OF RECORD:

P L Ruffolo LLC
2918 Washington Rd
Kenosha WI 53140

Cleanup Date: 9/2/2015

ASSESSMENT:

Administrative Fee	75.00
Clean up	355.00
Certified Mail	0.00
Publication Cost	0.00
TOTAL:	<u>430.00</u>

6.) **617 58th ST** PARCEL # 12-223-31-480-001

OWNER OF RECORD:

Trust Jaroslav & Jaroslava Karbulka
2722 North Main St
Racine WI 53402

Cleanup Date: 9/17/2015

ASSESSMENT:

Administrative Fee	75.00
Clean up	120.00
Certified Mail	0.00
Publication Cost	0.00
TOTAL:	<u>195.00</u>

7.) **1510 57th St** PARCEL # 12-223-31-381-010

OWNER OF RECORD:

Frederick Santucci
1510 57th St
Kenosha WI 53140

Cleanup Date: 9/28/2015

ASSESSMENT:

Administrative Fee	75.00
Clean up	390.00
Certified Mail	0.00
Publication Cost	0.00
TOTAL:	<u>465.00</u>

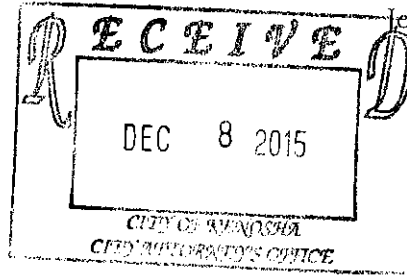
CHARTER 26 TOTAL	\$ 2,010.00
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COUNTY OF KENOSHA

John T. Jansen, Director
Department of Human Services

Cynthia Johnson, Director, Health Officer
Division of Health Services
Job Center / Human Services Building
8600 Sheridan Road, Suite 600
Kenosha, WI 53143-6515
Phone (262) 605-6700
Fax: (262) 605-6715



DATE: 12/01/15

TO: Edward R. Antaramian, City Attorney

FROM: Mark Melotik, Environmental Manager
Mark Melotik 12/2/15

RE: Request of special assessments for the following properties, as per Charter Ordinance Number 26 - City of Kenosha

1.)	1925 53rd Street	PARCEL #	12-223-31-332-004
	<u>OWNER OF RECORD:</u> Terry Feest 3516 29th Street Kenosha WI 53144	<u>ASSESSMENT:</u> Administrative Fee 75.00 Clean up 285.00 Certified Mail 0.00 Publication Cost 0.00 TOTAL: 360.00	
	Cleanup Date: 10/2/2015		
2.)	6614 26th Avenue	PARCEL #	01-122-01-160-017
	<u>OWNER OF RECORD:</u> Francisco Cervantes Jr 6614 26th Avenue Kenosha WI 53143	<u>ASSESSMENT:</u> Administrative Fee 75.00 Clean up 100.00 Certified Mail 0.00 Publication Cost 0.00 TOTAL: 175.00	
	Cleanup Date: 10/6/2015		
3.)	1911 43rd Street	PARCEL #	11-223-30-361-003
	<u>OWNER OF RECORD:</u> SAS Real Estate Partners LLC 39500 N US Hwy 41 Wadsworth IL 60083	<u>ASSESSMENT:</u> Administrative Fee 75.00 Clean up 100.00 Certified Mail 0.00 Publication Cost 0.00 TOTAL: 175.00	
	Cleanup Date: 10/16/2015		
4.)	1923 62nd Street	PARCEL #	05-123-06-231-010
	<u>OWNER OF RECORD:</u> Charles McElroy 2400 Roosevelt Rd Kenosha WI 53143	<u>ASSESSMENT:</u> Administrative Fee 75.00 Clean up 155.00 Certified Mail 7.45 Publication Cost 0.00 TOTAL: 237.45	
	Cleanup Date: 10/20/2015		

5.)	1710 72nd Street	PARCEL #	05-123-06-379-009
	<u>OWNER OF RECORD:</u> R&D Investments LLC 3630 98th Place Pleasant Prairie WI 53158	<u>ASSESSMENT:</u>	
	Cleanup Date: 10/23/2015	Administrative Fee	75.00
		Clean up	155.00
		Certified Mail	0.00
		Publication Cost	0.00
		TOTAL:	230.00
6.)	5105 19th Avenue	PARCEL #	12-223-31-258-002
	<u>OWNER OF RECORD:</u> Ottas P & Cynthia M Mitchell 119 River Lane Windsor NC 27983	<u>ASSESSMENT:</u>	
	Cleanup Date: 10/30/2015	Administrative Fee	75.00
		Clean up	255.00
		Certified Mail	0.00
		Publication Cost	0.00
		TOTAL:	330.00
7.)	2023 62nd Street	PARCEL #	05-123-06-230-005
	<u>OWNER OF RECORD:</u> Michael & Vanessa Korczyk 4529 122nd Street Pleasant Prairie WI 53158	<u>ASSESSMENT:</u>	
	Cleanup Date: 11/25/2015	Administrative Fee	75.00
		Clean up	455.00
		Certified Mail	
		Publication Cost	
		TOTAL:	530.00
8.)	511 43rd Street	PARCEL #	11-223-30-482-002
	<u>OWNER OF RECORD:</u> George Swade 4843 Narrot Street Torrance CA 90503	<u>ASSESSMENT:</u>	
	Cleanup Date: 11/19/2015	Administrative Fee	75.00
		Clean up	125.00
		Certified Mail	
		Publication Cost	
		TOTAL:	200.00

CHARTER 26 TOTAL	\$ 2,237.45
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RESOLUTION _____

PRINCIPAL SPONSOR: ALDERMAN DAVID F. BOGDALA
LEAD CO-SPONSOR: ALDERMAN G JOHN RUFFOLO
CO-SPONSOR: ALDERMAN STEVE BOSTROM
CO-SPONSOR: ALDERMAN RHONDA JENKINS
CO-SPONSOR: ALDERMAN CURT WILSON
CO-SPONSOR: ALDERMAN ROCCO LAMACCHIA
CO-SPONSOR: ALDERMAN DANIEL L. PROZANSKI
CO-SPONSOR: ALDERMAN SCOTT GORDON

**TO UPDATE THE CITY OF KENOSHA SNOW-REMOVAL GUIDELINES
INLCUDING PROVIDING FOR SNOW FLEET EQUIPMENT UPGRADES AND
UPDATING THE CITY’S OVERTIME POLICY FOR CITY EMPLOYEES**

WHEREAS, heavy accumulations of snow on streets present a hazard to the motoring public and an impediment to emergency protective service response; and

WHEREAS, snow-removal policies or guidelines are developed to examine snow-removal considerations such as: when removal operations will commence; what streets receive priority; when salt will be used; what distribution rate of salt will be used depending on precipitation type, water content, temperature, wind, and projected storm duration; when other chemicals such as CaCl salt will be added to the standard NaCl salt (to facilitate melting in extraordinary cold weather); when snow emergencies will be called; and how man-power/overtime will be utilized; and

WHEREAS, the existing snow-removal guideline was established in 2003 by the Departments of Public Works and Parks and authorized by City administration (“the Snow-Removal Guideline”); and

WHEREAS, the current Snow-Removal Guideline calls for commencement of snow removal in residential areas when four inches of snow accumulates; and

WHEREAS, the current Snow-Removal Guideline calls for use of the least amount of salt necessary to control snow and ice; an

NOW, THEREFORE, BE IT RESOLVED, that the Common Council for the City of Kenosha does make the following changes to the Snow Removal Guidelines:

1. Regarding the “Commencement” paragraph, “(4) inches of snow accumulates” is changed to “(2) inches of snow accumulates”.
2. Regarding the “Salting standards”, “salting only designated streets” is changed to “all city streets salting as many streets as possible but no less than the standard originally set forth in the approved ~~this~~ Snow Removal Guideline” and,

BE IT FURTHER RESOLVED, that the Common Council for the City of Kenosha eliminates the “Floating 40 hour work week” to ensure city employees receive overtime pay compensation per Federal Standards and,

BE IT FURTHER RESOLVED, that the Common Council of the City of Kenosha recommends to the Mayor that the Street Division’s “10 year Snow Fleet Upgrades Plan” shall be reviewed and considered for inclusion ~~included~~ in the Mayor’s approved-proposed 201~~7~~6-202~~2~~1 Capital Improvement Plan and,

BE IT FURTHER RESOLVED, that the Common Council for the City of Kenosha hereby directs the City Administrator to implement the changes to the Snow Removal Guidelines immediately upon adoption of this Resolution.

Adopted this _____ day of January 2016.

ATTEST: _____

Debra Salas, City Clerk/Treasurer

APPROVED: _____

Keith G. Bosman, Mayor

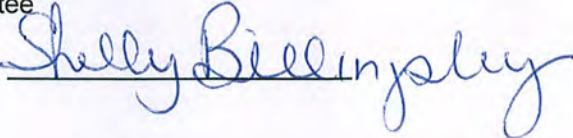
Drafted By:

DAVID F. BOGDALA

ALDERMAN, DISTRICT 17



To: Eric Haugaard, Chairman,
Public Works Committee

From: Shelly Billingsley, P.E. 
City Engineer

Date: January 28, 2016

Subject: Resolution Requesting Bicycle and Pedestrian Accommodations to be Added to WisDOT Projects on STH 158 East of County H to west of 68th Av and the intersection improvement project at STH 158 and CTH H.

BACKGROUND/ANALYSIS:

In 2015, State of Wisconsin Trans 75 was replaced with Act 55 which changed the procedure that WisDOT used in determining if bicycle and pedestrian accommodation should be provided. The law changed from "ensure bikeways and pedestrian ways are established" to "shall give due consideration to establishing bikeways and pedestrian ways."

WisDOT is still working through this Trans 75 law change. For right now, WisDOT is requesting resolutions from the municipalities in this case both City of Kenosha and Town of Somers that we want bikeways and pedestrian facilities provided as part of these future improvements. The section from just west of Canadian Pacific Railroad to just west of 68th Avenue is scheduled for construction in 2019 and the intersection project at Highway H is scheduled for construction in 2018. WisDOT will pay the additional cost for these accommodations.

In the section from just west of Canadian Pacific Railroad to just west of 68th Avenue, the bridges are required to be built wide enough to accommodate pedestrians because they will be in place over 50 years and difficult to expand/widen at a later date. Land uses in this area consist of medium/high-density residential, industrial, commercial, and agricultural. Due to the proximity of the residential area, YMCA, and school, sidewalk is desirable, however this project stops short of 68th Avenue and therefore doesn't connect to the existing sidewalk. Rather than create a gap in sidewalk, staff recommends grading for a future sidewalk along the south side and construct the sidewalk at a later time when sidewalk can be constructed with development as this will be a non-participating cost now (city funded). The north side will become the median of the proposed 4-lane facility in years to come. By grading for sidewalk along the south side, we provide space to add the sidewalk at a later date without the additional cost of installing and maintaining the sidewalk until development occurs. Given the large fill section required to provide vertical clearance for the railroads, it may be difficult to add sidewalk in the future if the grading is not completed with this project.

Given that this is a Connecting Highway and the Kenosha County Comprehensive Bike Plan shows bike routes on County H, WIS 31 (Green Bay) and a future path near the Pike River, this request supports local plan elements and maintains existing bike lane on County H north and south of STH 158.

RECOMMENDATION:

Recommend that WisDOT gives due consideration to ensuring bikeways and pedestrian ways can be accommodated with future development as part of STH 158 improvements.

cc: Cathy Austin; Greg Holverson

RESOLUTION NO. _____

SPONSOR: THE MAYOR

A RESOLUTION REQUESTING BICYCLE AND PEDESTRIAN
ACCOMMODATIONS BE ADDED TO WISDOT PROJECTS
#3220-09-00 AND 3220-10-00

WHEREAS, the Wisconsin Department of Transportation (WisDOT) is designing two roadway projects on State Trunk Highway 158 (which is also known as 52nd Street); the first project is to replace two structures over the railroad tracks between 68th Avenue and County Trunk Highway H and the second project to replace the traffic signal at County Trunk Highway H with a roundabout; and,

WHEREAS, these projects will be funded in whole or by portion of Wisconsin State or Federal funding; and

WHEREAS, 2015 Wisconsin Act 55 rescinded much of Wis. Stat. §84.01(35) which had previously required WisDOT to ensure that bicycle and pedestrian facilities are included in roadway projects; and,

WHEREAS, Wis. Stat. §84.01(35)(d) does not allow WisDOT to establish a bikeway or pedestrian way as a part of a new highway construction or reconstruction project unless the governing body of each municipality in which a portion of the project will occur has adopted a resolution authorizing the department to establish the bikeway or pedestrian way; and

WHEREAS, the City of Kenosha has determined that the proposed projects at State Trunk Highway 158 (52nd Street) from Station 94+50 to 109+50 and 119+00 to 164+00 should give due consideration to bicyclists and pedestrians in the form of a 5 to 10-foot paved shoulder eastbound and westbound to accommodate bicyclists, additional fill added along the eastbound lanes to grade for future sidewalk to be added when a connection can be made to the existing City of Kenosha sidewalk, and a side path around the proposed roundabout at County Trunk Highway H; and,

WHEREAS, the Interim Director of Public Works has determined that bicycle and pedestrian accommodations meet the planning goals set forth in the transportation plan and has recommended to the Common Council that this project does indeed meet the transportation plan goals to provide bicycle and pedestrian facilities within the projects.

NOW, THEREFORE, BE IT RESOLVED, by the Common Council for the City of Kenosha, Wisconsin that these projects indeed meet the requirements to authorize WisDOT to include bicycle and pedestrian accommodations for the project located at State Trunk Highway 158 (52nd Street) from Station 94+50 to 109+50 and 119+00 to 164+00 in the form of a 5 to 10-

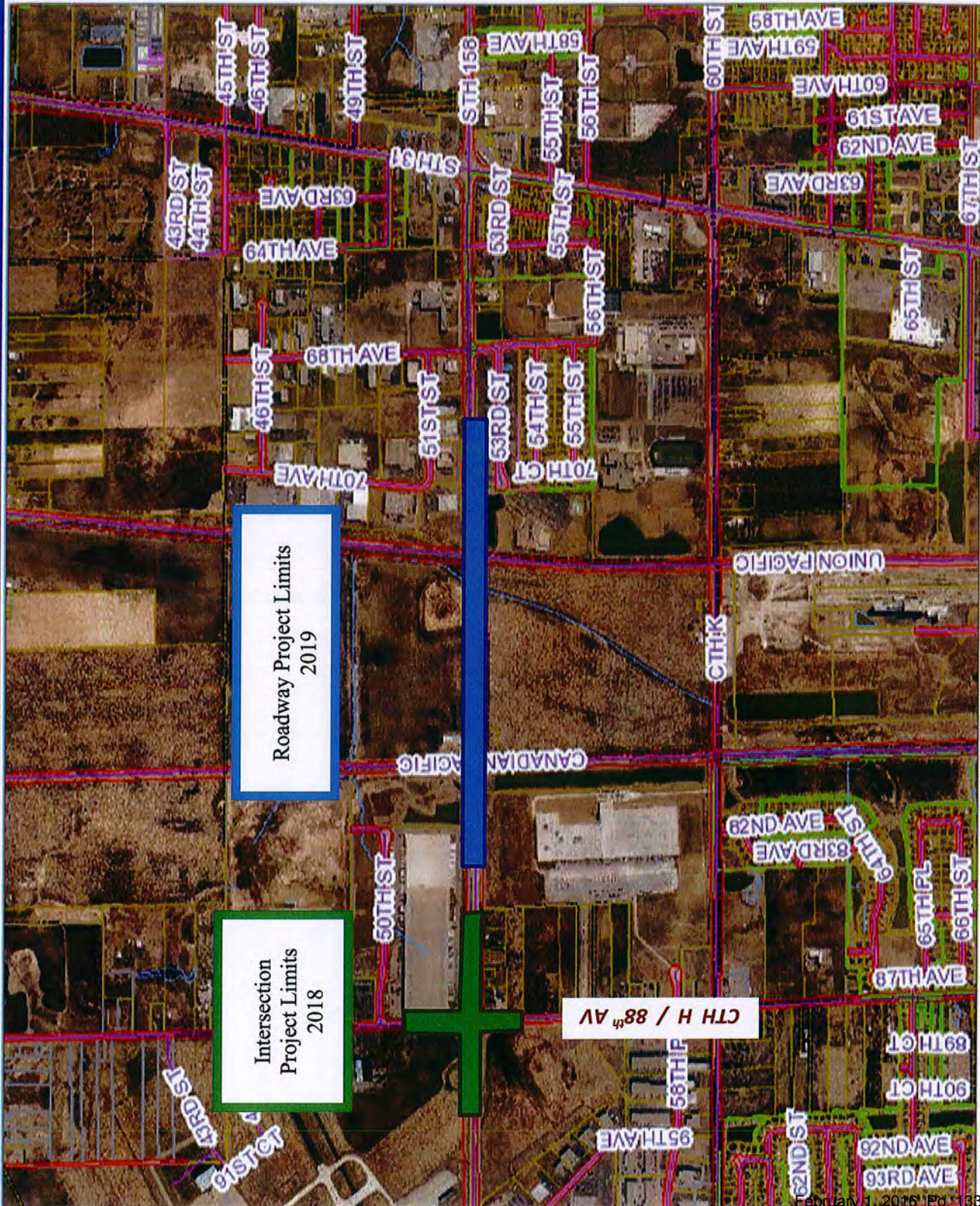
foot paved shoulder eastbound and westbound to accommodate bicyclists, additional fill added along the eastbound lanes to grade for future sidewalk to be added when a connection can be made to the existing City of Kenosha sidewalk, and a side path around the proposed roundabout at County Trunk Highway H and pursuant to Wis. Stat. §84.01(35)(d)2. Authorize the WisDOT to establish the bikeway and pedestrian way.

Adopted this _____ day of _____, 2016.

ATTEST: _____
Debra Salas, City Clerk/Treasurer

APPROVED: _____
Keith G. Bosman, Mayor

Drafted By:
EDWARD R. ANTARAMIAN
City Attorney



DISCLAIMER: This map is neither a legally recorded map nor a survey and is not intended to be used as one. This drawing is a compilation of records, data and information located in various state, county and municipal offices and other sources affecting the area shown and is to be used for reference purposes only. Kenosha County is not responsible for any inaccuracies herein contained. If discrepancies are found, please contact Kenosha County.

Thursday, January 7, 2016 at 5:00 pm
Municipal Building
625 52nd Street - Room 202 - Kenosha, WI 53140

Resolution by the Mayor - To Amend the Official Map for the City of Kenosha, Wisconsin, to include the annexation of Parcels #45-4-221-251-0420, #45-4-221-251-0416 and State owned right-of-way on the West Frontage Road [in the Town of Paris, Kenosha County, Wisconsin]. (Route 142, LLC/#3) (District 16) PUBLIC HEARING

NOTIFICATIONS AND APPROVAL REQUIREMENTS:

Aldersperson Johnson, District 16, has been notified. A Class II Notice has been published. This item will also be reviewed by the Public Works Committee with final approval by the Common Council.

LOCATION AND ANALYSIS:

Site: 3712 120th Avenue and 12008 38th Street


1. The City has received an Annexation Petition for approximately 1.62 acres of land. This Resolution is required to amend the City's Official Map to include that property.
2. The Resolution also designates the district and ward this property will be placed in.

RECOMMENDATION:

A recommendation is made to approve the attached Resolution.



Rich Schroeder, Deputy Director



Jeffrey B. Labahn, Director

/u2/acct/cp/ckays/1CPC/2016/JAN7/Staff-res-offimap-annex-Route142LLC#3.doc

RESOLUTION NO. _____

BY: THE MAYOR

**TO AMEND THE OFFICIAL MAP FOR THE CITY OF KENOSHA,
WISCONSIN, TO INCLUDE THE ANNEXATION OF:**

**Parcel Numbers: 45-4-221-251-0420
 45-4-221-251-0416**

**AND STATE OWNED RIGHT-OF-WAY ON THE WEST
FRONTAGE ROAD IN THE TOWN OF PARIS, KENOSHA
COUNTY, WISCONSIN**

WHEREAS, the City of Kenosha, Wisconsin, has established an Official Map pursuant to Section 62.23(6), Wisconsin Statutes; and,

WHEREAS, it was in the best interest for the public health, safety, and welfare of the City of Kenosha/Town of Paris to annex territory known as Parcel Numbers 45-4-221-251-0420 and 45-4-221-251-0416 and State owned right-of-way on the West Frontage Road in the Town of Paris, Kenosha County, Wisconsin, to the City of Kenosha, Wisconsin; and,

WHEREAS, on February 1, 2016, the Common Council for the City of Kenosha, Wisconsin, approved an Annexation Ordinance under Section 66.0217, Wisconsin Statutes, for Parcel Numbers 45-4-221-251-0420, 45-4-221-251-0416 and State owned right-of-way on the West Frontage Road in the Town of Paris, Kenosha County, Wisconsin, to be annexed to the City of Kenosha, Wisconsin; and,

WHEREAS, Parcel Numbers 45-4-221-251-0420 and 45-4-221-251-0416 annexed to the City of Kenosha, Wisconsin pursuant to the Annexation Ordinance approved by the Common Council for the City of Kenosha, Wisconsin on February 1, 2016 are within the following Districts:

91st Ward of the 16th District of the City of Kenosha
21st State Senate District
61st State Assembly District
19th County Board District

Paris Consolidated School District Jt. 1
Central/Westosha High School District

NOW, THEREFORE, BE IT RESOLVED by the Common Council of the City of Kenosha, Wisconsin, that pursuant to the authority of Section 62.23(6)(c), Wisconsin Statutes, the Official Map of the City of Kenosha, Wisconsin, be and hereby is amended to include the designation of the annexed territory formerly of the Town of Paris, Kenosha County, Wisconsin, known as Parcel Numbers 45-4-221-251-0420, 45-4-221-251-0416 and State owned right-of-way on the West Frontage Road as described in the Annexation Ordinance, which is incorporated herein by reference.

BE IT FURTHER RESOLVED, that Parcel Numbers 45-4-221-251-0420 and 45-4-221-251-0416 annexed to the City of Kenosha pursuant to the Annexation Ordinance approved by the Common Council for the City of Kenosha, Wisconsin on February 1, 2016 be made a part of the 91st Ward of the 16th District of the City of Kenosha, subject to the Ordinances, rules and regulations of the City governing Wards and Districts.

Adopted this ____ day of _____, 2016.


ATTEST: _____ City Clerk/Treasurer
Debra L. Salas

APPROVED: _____ Mayor Date: _____
Keith G. Bosman

Drafted By:
JON A. MULLIGAN
Assistant City Attorney

Official Map Amendment Route 142 LLC / State of Wisconsin Annexation



 Property to be Annexed



February 1, 2016 Pg. 137
0 1,000
Feet



KEITH G. BOSMAN
Mayor

February 1, 2016

The Honorable Common Council
CITY OF KENOSHA
Kenosha, WI 53140

Dear Ladies and Gentlemen:

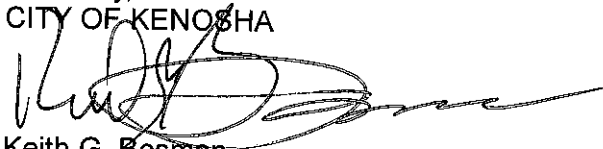
I hereby appoint Charles P. Wolbers, 4900 - 240th Avenue, Salem, to the Kenosha Hometown Heroes Commission, for a term which will expire September 1, 2017. Mr. Wolbers filed his Statement of Economic Interest on January 22, 2016.

Mr. Wolbers is a US Military Veteran having retired in May of 1997 as First Sergeant of the US Army Sergeants Major Academy at Fort Bliss, Texas. He served the US Army in the Air Defense Artillery. Throughout his career of over 21 years on active duty, he held a wide variety of combat leadership positions.

He holds a Bachelor's of Science Degree in Health and Physical Education and a Masters of Arts Management. He is also certified in Special Education and Alternative Education. He is currently a Special Education teacher for KUSD in the Successful Transitions for Exceptional People (STEP) Program.

I am confident he will be a conscientious member of the Kenosha Hometown Heroes Commission, as well as continuing to be an enthusiastic supporter of our veterans.

Sincerely,
CITY OF KENOSHA



Keith G. Bosman
Mayor

KGB:fac

AMENDED VERSION

State of Wisconsin
 Department of Natural Resources
 Box 7921
 Madison, WI 53707

Ready for Reuse Program
 Loan Agreement
 Form 4400-241
 8-11

Notice: Completion of this Agreement is required to obtain a Ready for Reuse Brownfields Cleanup Loan under s. 292.72, Wis. Stats. Personally identifiable information included on this form will be used to process your application and may be made available to requests under Wisconsin's Open Records law [ss. 19.31 - 19.39, Wis. Stats.].

Borrower		Loan Number	
City of Kenosha, Wisconsin		RRL - 015	
Site Name or Title and Address			
Former Chrysler Kenosha Engine Plant 5555 30 th Avenue Kenosha, WI 53140			
Period Covered by This Agreement		Borrower's Authorized Representative	
\$266,730 -- Eighteen months starting on January 11, 2016 and ending on or before July 10, 2017.		Keith Bosman, Mayor 625 52 nd Street Kenosha, WI 5314	
\$490,270 – Forty-two months starting on January 11, 2016 and ending on or before July 10, 2019.			
Scope and Description of cleanup activities funded by this loan			
Hazardous Substance-Related Activities 1. Environmental Cleanup Including Interim Action		Petroleum-Related Activities 1. Environmental Cleanup Including Interim Action	
LOAN COSTS: Total \$757,000		<i>The following documents are hereby incorporated into and made part of this Agreement:</i>	
Hazardous Substance Costs		Petroleum Costs	
Loan Amount:	\$336,730	Loan Amount:	\$420,270
Borrower Match Amount:	\$74,081	Borrower Match Amount:	\$92,460
Borrower Match %:	22%	Borrower Match %:	22%
Total Project Cost:	\$410,811	Total Project Cost:	\$512,730
<ol style="list-style-type: none"> 1. 2013 and 2015 US EPA Revolving Loan Fund Terms and Conditions 2. Section 292.72, Wisconsin Statutes 3. DNR-approved Remedial Action Plan (RAP) 4. Signed application and all attachments and exhibits 			

Borrower Copy

Ready for Reuse - Page 1 of 11

Borrower Initials _____

AMENDED VERSION

I. Definitions

Hereafter, the following terms used throughout this document will meet the following definitions:

- A. LENDER or DEPARTMENT: The State of Wisconsin Department of Natural Resources
- B. BORROWER: The City of Kenosha.
- C. PROJECT: The project receiving the loan – interim and remedial actions to treat/dispose of contamination associated with Kenosha Engine Plant buildings and other highly contaminated areas at 5555 30th Ave. Kenosha, Wisconsin.
- D. PROGRAM: The DEPARTMENT'S Ready for Reuse Loan and Grant Program.
- E. PROPERTY: The Kenosha Engine Plant located at 5555 30th Ave. Kenosha, Wisconsin.

II. General Provisions

- A. The DEPARTMENT is a recipient of U.S. EPA Brownfields Revolving Loan Fund Cooperative Agreement and is authorized to make certain loans from these funds.
- B. The term of this loan shall be a period of no more than eighteen months starting on January 11, 2016 and ending on or before July 10, 2017 (for \$266,730), and forty-two months starting on January 11, 2016 and ending on or before July 10, 2019 (for \$490,270), with interest to be charged on the loan at a rate of zero (0) percent per annum.
- C. These funds are to be used to undertake the PROJECT, a brownfields site with (1) releases of a hazardous substances defined by the Comprehensive Environmental Response Compensation and Liability Act (CERCLA); and (2) petroleum or petroleum products at the PROPERTY. In general, the hazardous substances at the site include chlorinated volatile organic compounds, some comingled with petroleum oils. Other areas of the Project include petroleum contamination as the major contaminant.
- D. The PROPERTY is not listed, or proposed for listing on the National Priorities List of the U.S. Environmental Protection Agency (EPA).
- E. The brownfields site is owned by the BORROWER, and BORROWER has access to the site.
- F. The BORROWER is not a generator or transporter of the contamination to the site.
- G. The PROPERTY is subject to the jurisdiction and oversight of the Wisconsin Department of Natural Resources (WDNR) Remediation and Redevelopment Program (Exhibit A: BRRTS Printout for the Property), including the ch. NR 700 rule series.
- H. The BORROWER is not and has never been subject to any penalties resulting from environmental non-compliance at or on the PROPERTY nor is the BORROWER, or its PROJECT contractors or subcontractors currently or proposed for suspended, debarred, or otherwise declared ineligible for participation in this federal program or from the receipt of these funds. Furthermore, the BORROWER and its PROJECT contractors or subcontractors have not within a three year period preceding this agreement been convicted of or had a civil judgment rendered against them for (i) fraud or commission of a criminal offence in connection with obtaining, attempting to obtain, or performing a public transaction or contract under a public transaction, (ii) violation of federal or state antitrust laws, or (iii) embezzlement, theft, forgery, bribery, falsification or destruction of records, making false statements or receiving stolen property; Are not presently indicted for or otherwise criminally or civilly charged by a public entity with commission of any of the offenses enumerated under section 4.11(b) hereof; and have not within the preceding three years had a public transaction terminated for cause or default.
- I. The making and performance by BORROWER of this Agreement does not violate any provision of law, or result in a breach of or constitute a default under any agreement, indenture or other instrument to which BORROWER is a party or by which BORROWER may be bound.
- J. This Agreement has been duly authorized, executed and delivered, and is a valid and binding agreement. This

Borrower Copy

Ready for Reuse - Page 2 of 11

Borrower Initials _____

AMENDED VERSION

Agreement and all covenants, agreements, representations and warranties made herein shall survive the execution of this Agreement and shall continue in full force and effect so long as the loan is outstanding and unpaid.

- K. If any provision or item of this Agreement is held invalid, such invalidity shall not affect other provisions or items of this Agreement which can be given effect without the invalid provisions or items, and to this end, the provisions of this Agreement are hereby declared severable.
- L. Except for the United States Bankruptcy Court Stipulated Order, dated October 28, 2011 (the "Stipulated Order") and any exhibits, attachments, plats or other documents as may be affixed hereto, made a part hereof, and properly identified herewith, this Agreement constitutes the entire contract between the parties, and shall not be otherwise affected by any other purported undertaking, whether written or oral.
- M. The BORROWER did not own the property during the time of disposal or placement of hazardous substances and has not caused, contributed to, permitted, or exacerbated the release of a hazardous substance on, or emanating from that property. The BORROWER does not have any direct or indirect relationship, whether familial, contractual, corporate, financial or otherwise, with the entity potentially liable for the contamination at the site.
- N. The BORROWER acquired the property as specified in the Stipulated Order.
- O. The BORROWER, through the Contractor, has performed or obtained copies of all Phase I and Phase II Environmental Assessments of the PROPERTY performed according to the American Society for Testing and Materials (ASTM) standards, or equivalent assessment procedures in conformance with the Wisconsin Department of Natural Resources which verifies hazardous substances present in the soil, and groundwater of the PROPERTY. The BORROWER shall be responsible for conducting an Assessment that shall include, but is not limited to site background, the threat posed by the contaminant to public health, welfare and the environment and all past enforcement activities conducted by any governmental agency, and the site testing results. The BORROWER shall be responsible for the payment of all costs and expenses related to the Assessment. The BORROWER agrees that loan funds shall not be used for the payment of any cost or expense related to the Assessment.
- P. The DEPARTMENT and the BORROWER mutually agree to perform this Agreement in accordance with local, state and federal laws, the Wisconsin Ready for Reuse Loan & Grant Program and with the project description, application, terms, conditions, plans, specifications, estimates, procedures, maps and assurances attached hereto and made a part hereof. In general, the work to be done at the site includes necessary interim and remedial actions to treat/dispose of contamination associated with Kenosha Engine Plant buildings and other highly contaminated areas.
- Q. The BORROWER is an independent contractor for all purposes, not an employee or agent of the DEPARTMENT.
- R. This Agreement, together with any referenced parts and attachments, shall constitute the entire Agreement and previous communications or agreements pertaining to the subject matter of this Agreement are hereby superseded. Any revisions, including cost adjustments, must be made by an amendment to this Agreement or other written documentation, prior to the end date of the Agreement.
- S. Any cost adjustments must be made by a written amendment to this Agreement, signed by both parties, prior to the expenditure of funds or the termination date of the Agreement. Adjustments for time of performance or scope of work may be granted to the BORROWER by the DEPARTMENT in writing without the requirements of the BORROWER'S signature.
- T. The BORROWER may decline this offer of financial assistance in writing at any time prior to the start of the PROJECT and before expending any funds. After the PROJECT has been started or funds expended, this Agreement may be terminated, modified, or amended consistent with the provisions of this agreement.
- U. Failure by the BORROWER to comply with the terms of this Agreement shall not cause the suspension of all obligations of the DEPARTMENT hereunder if, in the judgment of the Secretary of the DEPARTMENT, such failure was due to no fault of the BORROWER. In such cases, any amount required to settle at minimum costs any irrevocable obligations properly incurred shall be eligible for assistance under this Agreement, at the DEPARTMENT'S discretion.

EXECUTED - APPROVED AT THE COMMON COUNCIL MEETING ON DECEMBER 7, 2015

State of Wisconsin
 Department of Natural Resources
 Box 7921
 Madison, WI 53707

Ready for Reuse Program
 Loan Agreement
 Form 4400-241
 8-11

Notice: Completion of this Agreement is required to obtain a Ready for Reuse Brownfields Cleanup Loan under s. 292.72, Wis. Stats. Personally identifiable information included on this form will be used to process your application and may be made available to requests under Wisconsin's Open Records law [ss. 19.31 - 19.39, Wis. Stats.].

Borrower		Loan Number	
City of Kenosha, Wisconsin		RRL - 015	
Site Name or Title and Address			
Former Chrysler Kenosha Engine Plant 5555 30 th Avenue Kenosha, WI 53140			
Period Covered by This Agreement		Borrower's Authorized Representative	
Sixty months (five years) starting on November 2, 2015 and ending on or before November 1, 2020.		Keith Bosman, Mayor 625 52 nd Street Kenosha, WI 5314	
Scope and Description of cleanup activities funded by this loan			
Hazardous Substance-Related Activities		Petroleum-Related Activities	
1. Environmental Cleanup Including Interim Action		1. Environmental Cleanup Including Interim Action	
LOAN COSTS: Total \$757,000		<i>The following documents are hereby incorporated into and made part of this Agreement:</i>	
Hazardous Substance Costs		Petroleum Costs	
Loan Amount:	\$336,730	Loan Amount:	\$420,270
Borrower Match Amount:	\$74,081	Borrower Match Amount:	\$92,460
Borrower Match %:	22%	Borrower Match %:	22%
Total Project Cost:	\$410,811	Total Project Cost:	\$512,730
<ol style="list-style-type: none"> 1. 2013 and 2015 US EPA Revolving Loan Fund Terms and Conditions 2. Section 292.72, Wisconsin Statutes 3. DNR-approved Remedial Action Plan (RAP) 4. Signed application and all attachments and exhibits 			

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Ready for Reuse - Page 1 of 11

Borrower Initials KB

EXECUTED - APPROVED AT THE COMMON COUNCIL MEETING ON DECEMBER 7, 2015

I. Definitions

Hereafter, the following terms used throughout this document will meet the following definitions:

- A. LENDER or DEPARTMENT: The State of Wisconsin Department of Natural Resources
- B. BORROWER: The City of Kenosha.
- C. PROJECT: The project receiving the loan – interim and remedial actions to treat/dispose of contamination associated with Kenosha Engine Plant buildings and other highly contaminated areas at 5555 30th Ave. Kenosha, Wisconsin.
- D. PROGRAM: The DEPARTMENT'S Ready for Reuse Loan and Grant Program.
- E. PROPERTY: The Kenosha Engine Plant located at 5555 30th Ave. Kenosha, Wisconsin.

II. General Provisions

- A. The DEPARTMENT is a recipient of U.S. EPA Brownfields Revolving Loan Fund Cooperative Agreement and is authorized to make certain loans from these funds.
- B. The term of this loan shall be a period of no more than sixty months (five years) starting on November 2, 2015 and ending on or before November 1, 2020, with interest to be charged on the loan at a rate of zero (0) percent per annum.
- C. These funds are to be used to undertake the PROJECT, a brownfields site with (1) releases of a hazardous substances defined by the Comprehensive Environmental Response Compensation and Liability Act (CERCLA); and (2) petroleum or petroleum products at the PROPERTY. In general, the hazardous substances at the site include chlorinated volatile organic compounds, some comingled with petroleum oils. Other areas of the Project include petroleum contamination as the major contaminant.
- D. The PROPERTY is not listed, or proposed for listing on the National Priorities List of the U.S. Environmental Protection Agency (EPA).
- E. The brownfields site is owned by the BORROWER, and BORROWER has access to the site.
- F. The BORROWER is not a generator or transporter of the contamination to the site.
- G. The PROPERTY is subject to the jurisdiction and oversight of the Wisconsin Department of Natural Resources (WDNR) Remediation and Redevelopment Program (Exhibit A: BRRTS Printout for the Property), including the ch. NR 700 rule series.
- H. The BORROWER is not and has never been subject to any penalties resulting from environmental non-compliance at or on the PROPERTY nor is the BORROWER, or its PROJECT contractors or subcontractors currently or proposed for suspended, debarred, or otherwise declared ineligible for participation in this federal program or from the receipt of these funds. Furthermore, the BORROWER and its PROJECT contractors or subcontractors have not within a three year period preceding this agreement been convicted of or had a civil judgment rendered against them for (i) fraud or commission of a criminal offence in connection with obtaining, attempting to obtain, or performing a public transaction or contract under a public transaction, (ii) violation of federal or state antitrust laws, or (iii) embezzlement, theft, forgery, bribery, falsification or destruction of records, making false statements or receiving stolen property; Are not presently indicted for or otherwise criminally or civilly charged by a public entity with commission of any of the offenses enumerated under section 4.11(b) hereof; and have not within the preceding three years had a public transaction terminated for cause or default.
- I. The making and performance by BORROWER of this Agreement does not violate any provision of law, or result in a breach of or constitute a default under any agreement, indenture or other instrument to which BORROWER is a party or by which BORROWER may be bound.
- J. This Agreement has been duly authorized, executed and delivered, and is a valid and binding agreement. This Agreement and all covenants, agreements, representations and warranties made herein shall survive the

Borrower Copy

Ready for Reuse - Page 2 of 11

Borrower Initials



EXECUTED - APPROVED AT THE COMMON COUNCIL MEETING ON DECEMBER 7, 2015

execution of this Agreement and shall continue in full force and effect so long as the loan is outstanding and unpaid.

- K. If any provision or item of this Agreement is held invalid, such invalidity shall not affect other provisions or items of this Agreement which can be given effect without the invalid provisions or items, and to this end, the provisions of this Agreement are hereby declared severable.
- L. Except for the United States Bankruptcy Court Stipulated Order, dated October 28, 2011 (the "Stipulated Order") and any exhibits, attachments, plats or other documents as may be affixed hereto, made a part hereof, and properly identified herewith, this Agreement constitutes the entire contract between the parties, and shall not be otherwise affected by any other purported undertaking, whether written or oral.
- M. The BORROWER did not own the property during the time of disposal or placement of hazardous substances and has not caused, contributed to, permitted, or exacerbated the release of a hazardous substance on, or emanating from that property. The BORROWER does not have any direct or indirect relationship, whether familial, contractual, corporate, financial or otherwise, with the entity potentially liable for the contamination at the site.
- N. The BORROWER acquired the property as specified in the Stipulated Order.
- O. The BORROWER, through the Contractor, has performed or obtained copies of all Phase I and Phase II Environmental Assessments of the PROPERTY performed according to the American Society for Testing and Materials (ASTM) standards, or equivalent assessment procedures in conformance with the Wisconsin Department of Natural Resources which verifies hazardous substances present in the soil, and groundwater of the PROPERTY. The BORROWER shall be responsible for conducting an Assessment that shall include, but is not limited to site background, the threat posed by the contaminant to public health, welfare and the environment and all past enforcement activities conducted by any governmental agency, and the site testing results. The BORROWER shall be responsible for the payment of all costs and expenses related to the Assessment. The BORROWER agrees that loan funds shall not be used for the payment of any cost or expense related to the Assessment.
- P. The DEPARTMENT and the BORROWER mutually agree to perform this Agreement in accordance with local, state and federal laws, the Wisconsin Ready for Reuse Loan & Grant Program and with the project description, application, terms, conditions, plans, specifications, estimates, procedures, maps and assurances attached hereto and made a part hereof. In general, the work to be done at the site includes necessary interim and remedial actions to treat/discard of contamination associated with Kenosha Engine Plant buildings and other highly contaminated areas.
- Q. The BORROWER is an independent contractor for all purposes, not an employee or agent of the DEPARTMENT.
- R. This Agreement, together with any referenced parts and attachments, shall constitute the entire Agreement and previous communications or agreements pertaining to the subject matter of this Agreement are hereby superseded. Any revisions, including cost adjustments, must be made by an amendment to this Agreement or other written documentation, prior to the end date of the Agreement.
- S. Any cost adjustments must be made by a written amendment to this Agreement, signed by both parties, prior to the expenditure of funds or the termination date of the Agreement. Adjustments for time of performance or scope of work may be granted to the BORROWER by the DEPARTMENT in writing without the requirements of the BORROWER'S signature.
- T. The BORROWER may decline this offer of financial assistance in writing at any time prior to the start of the PROJECT and before expending any funds. After the PROJECT has been started or funds expended, this Agreement may be terminated, modified, or amended consistent with the provisions of this agreement.
- U. Failure by the BORROWER to comply with the terms of this Agreement shall not cause the suspension of all obligations of the DEPARTMENT hereunder if, in the judgment of the Secretary of the DEPARTMENT, such failure was due to no fault of the BORROWER. In such cases, any amount required to settle at minimum costs any irrevocable obligations properly incurred shall be eligible for assistance under this Agreement, at the DEPARTMENT'S discretion.

RELEASE OF ALL CLAIMS

KNOW ALL MEN BY THESE PRESENTS:

That R & C Investors, LLP, Charles A. Schmitz, and Woodchuck, LLC, for the sole consideration of Four Thousand Seven Hundred Forty Two Dollars (\$4,742.00) to the undersigned in hand paid, receipt whereof is hereby acknowledged, do hereby and for their heirs, administrators, successors and assigns release, acquit and forever discharge the City of Kenosha and its agents, employees, servants, contractors, administrators, officers and all other persons, firms, corporations, associations or partnerships ("Releasees") of and from any and all claims, actions, causes of action, demands, rights, damages, costs, loss of service, expenses and compensation whatsoever, which the undersigned now have or which may hereafter accrue on account of or in any way growing out of any and all known and unknown, foreseen and unforeseen property damage and the consequences thereof resulting or to result from the razing of the building commonly known as the Roosevelt Theater (Parcel No.01-122-01-430-010) which occurred in October, 2008 .

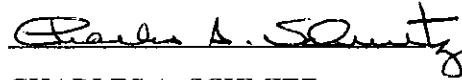
It is understood and agreed that this settlement is the compromise of a doubtful and disputed claim, and that the payment made is not to be construed as an admission of liability on the part of the parties hereby released, and that said Releasees deny liability therefor and intend merely to avoid litigation and buy their peace. Neither this Release nor any payment pursuant thereto shall be construed as an admission of any liability, such being expressly denied, nor as a waiver by or an estoppel for any of the parties herein released to make a claim for any damages which they sustained, their claims and causes of action with respect thereto being expressly reserved.

The undersigned represent and warrant that no promise, inducement or agreement not herein expressed has been made to the undersigned, and that this Release contains the entire agreement between the parties hereto, and that the terms of this Release are contractual and not a mere recital. Further, the undersigned acknowledges and agrees that any remaining obligation of Releasees pursuant to that Settlement Agreement and Release, a copy of which is attached hereto, is terminated it being the intention of the parties to bring finality to this matter with this Release.

The undersigned further represent and warrant that (A) the undersigned has all requisite power and authority to execute this Release; (B) the execution and delivery of this Release by the undersigned has been duly and validly authorized and approved by all requisite action required by law; and (C) this Release constitutes the valid and binding agreement of the undersigned.

**THE UNDERSIGNED HAS READ THE FOREGOING
RELEASE AND FULLY UNDERSTANDS IT**

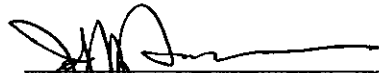
Signed, sealed and delivered this 14 day of January, 2016.



CHARLES A. SCHMITZ,
Individually and as in his capacity as
a general partner of R&C Investors, LLP
and a member of Woodchuck, LLC

STATE OF WISCONSIN)
 :SS.
COUNTY OF KENOSHA)

Personally came before me this 14th day of January, 2016, Charles A. Schmitz, an adult individual, a general partner in R&C Investors, LLP, a limited liability partnership, and a member in Woodchuck, LLC, a limited liability company and acknowledged to me that he executed the foregoing instrument in said respective capacities.


Print Name: Jeffrey J. Davison
Notary Public, Kenosha County, WI.
My Commission expires/is: permanant

DS

SETTLEMENT AGREEMENT AND RELEASE

This Agreement made and entered into on this 15 day of ~~September~~^{October}, 2009, by and between R & C Investors, LLP, a limited liability partnership organized and existing under the laws of the State of Wisconsin which maintains offices at 2906 Roosevelt Road, Kenosha, Wisconsin (hereinafter "R & C") and the City of Kenosha, Wisconsin, a municipal corporation organized and existing under the laws of the State of Wisconsin, and maintaining its principal offices at 625 52nd Street, Kenosha, Wisconsin (hereafter referred to as the "City").

WHEREAS, at all times material hereto, R & C is and has been the owner of certain real property and improvements located at 2906 Roosevelt Road, Kenosha, Wisconsin (hereinafter referred to as the "Property"); and

WHEREAS, the Property referred to in the preceding paragraph is contiguous to certain real property upon which a dilapidated theater building formerly existed, which building was known as the "Roosevelt Theater"; and

WHEREAS, during 2007, the City determined that the Roosevelt Theater was so dilapidated, out of repair and consequently dangerous, unsafe and unreasonable to repair so as to cause the issuance of a raze order for such building pursuant to Section 66.0413 of the Wisconsin Statutes under the police power of the City; and

WHEREAS, the owners of the Roosevelt Theater, following receipt of the raze order issued by the City, failed to comply with such order and it became necessary for the City to proceed to raze the Roosevelt Theater; and

WHEREAS, during the course of the demolition of the Roosevelt Theater building by a third party contractor engaged by the City, damages and/or issues concerning the structural integrity occurred to the building owned by R & C as a result of activities of the City's contractor; and

WHEREAS, it is the intention of both R & C and the City to enter into an agreement which resolves all outstanding issues as between R & C and the City which relate to injury or damages and/or issues concerning the structural integrity to the building located on the property owned by R & C occasioned by or resulting from the activities of the City's contractors, agents or representatives in pursuing the completion of the raze order issued by the City.

NOW, THEREFORE, in consideration of the mutual promises contained herein, the receipt and sufficiency of which is acknowledged by each of the parties to this Agreement, the parties agree as follows:

1. Repair of Building on R & C Property. The City, for its part, shall enter into a contract with Rasch Construction & Engineering of Kenosha, Wisconsin (hereinafter referred to as "Rasch") for the repair and restoration of the common wall between the building located on the R & C property and the former Roosevelt Theater pursuant to the specifications

contained in a proposal from Rasch, a true and correct copy of which is attached hereto, marked Exhibit "A" and incorporated herein by reference. Of the contract price of Fifty Thousand Seven Hundred (\$50,700.00) Dollars, R & C shall pay the sum of Ten Thousand (\$10,000.00) Dollars, to the City, the receipt of which is hereby acknowledged by the City, to be held in escrow and paid to Rasch upon satisfactory completion of the work to be performed by Rasch under the terms of the contract with the City. The City shall pay the remaining balance of Forty Thousand Seven Hundred (\$40,700.00) Dollars due to be paid to Rasch pursuant to the terms of the contract between the City and Rasch upon satisfactory completion of the same. The City shall be responsible for all contract administration, inspections and the issuance of building or zoning permits, if any. City shall be responsible for obtaining releases of all liens from contractors, subcontractors and material suppliers so that no lien or claim of any kind whatsoever shall be filed by any person, firm, cooperation or other entity against the property owned by R & C for any work or any materials furnished for or incidental to the repairs and restoration contemplated by this Agreement. R & C shall cooperate with City and with Rasch to accomplish the goal of completion of the repair and restoration of the building owned by R & C. It is the intention of the parties that this work shall be completed in calendar year 2009 or as soon as practicable thereafter.

2. Release of Claims. Following the completion of the repair and restoration of the common wall of the building owned by R & C pursuant to paragraph 1, above, R & C shall, for R & C, its agents, successors, assigns and any one else claiming through or under R & C (hereinafter referred to collectively as the "Releasing Parties"), fully release, acquit and forever discharge the City of Kenosha, its officers, agents, attorneys, employees, successors and assigns, and any other persons, firms or corporations (hereinafter referred to collectively as the "Released Parties") of and from any and all actions, causes of actions claims, costs, damages, expenses, rights or liabilities whatsoever, in law or in equity, known or unknown, and whether the same arise under contract or tort, which the Releasing Parties ever had, now have or may hereafter have against the Released Parties in any way arising out of or in connection with the demolition of the Roosevelt Theater building and, in particular, the damages occasioned to the real estate and improvements to the real estate located at 2906 Roosevelt Road, Kenosha, Wisconsin, owned by R & C Investors which resulted from such demolition, excepting only those warranties and representations contained in this document, as stated below.

3. Denial of Claimed Liability. It is further understood and agreed that this settlement is the compromise of a doubtful and disputed claim and that the obligations undertaken by the City is not to be construed as an admission of any claimed liability on the part of the Released Parties, by whom all such claimed liability is expressly denied.

4. Warranty Concerning Basement. In addition to any warranty which is provided by any contractor or subcontractor who was providing services to the City for the repairs to the basement wall of the building owned by R & C, or such warranties as may be furnished by suppliers of materials for such repairs to the basement wall, the City, for its part, guarantees the basement against defects in the quality of work and materials for a period of eighteen (18) months from the date of final completion of all repairs to the building owned by R & C. Final completion shall be as determined by the City following final inspection and

acceptance of work by the City associated with the repairs to the R & C building. The City does not assume responsibility for unusual weather conditions which could result in overwhelming sub-grade water conditions which may result in water seepage in the R & C building regardless of the repairs undertaken by the City's contractors or subcontractors. For purposes of this paragraph, unusual sub-grade water conditions would include events such as a "100 year rainfall" which occurs at the R & C building site as determined by recognized meteorological sources in Southeastern Wisconsin.

5. Granting of Easement. It is hereby agreed that in the event that the City or any subsidiary or entity related or controlled by the City obtains legal title to the real property upon which the Roosevelt Theater building was formerly located, that in such event, the City shall grant to R & C, its successor or assigns, a non-exclusive maintenance easement over the eastern most five (5') feet of the Real Property upon which the Roosevelt Theater formerly was situated. Such easement shall be in recordable form and shall run with the land and shall provide that any maintenance on the building owned by R & C, its successor or assigns, shall be performed by such owner at that owner's expense.

6. Construction of Agreement. Each party to this Agreement and their respective legal counsel acknowledge that they have had the opportunity to participate equally in the drafting of this Agreement and that in the event of a dispute, no party shall be treated, for any purpose as the author of this Agreement nor have any ambiguity resolved against it on account thereof.

7. Governing Law. This Agreement shall be construed and enforced in accordance with the laws of the State of Wisconsin.

8. Notices. All notices to either party to this Agreement shall be delivered in person or sent by certified mail, postage prepaid, return receipt requested, to the other party at that party's last known address. If the other party's address is not known to the party desiring to send such notice, the party sending the notice may use the address to which the other's property tax bills as sent.

9. Invalidity. If any term or condition of this Agreement, or the application of this Agreement to any person or circumstance, shall deemed invalid or unenforceable, the remainder of this Agreement, or the application of the term or condition to persons or circumstances other than those to which it is held invalid or unenforceable, shall not be affected thereby, and each term and condition shall be valid and enforceable to the fullest extent permitted by law.

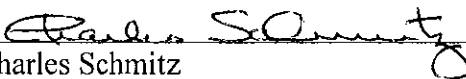
10. Waiver. No delay or omission by any party in exercising any right or power arising out of any default under any of the terms or conditions of this Agreement shall be construed to be a waiver of the right or power. A waiver by a party of any of the obligations of the other party shall not be construed to be a waiver of any breach of any other terms or conditions of this Agreement.

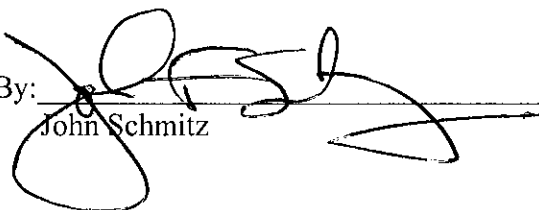
11. No Public Dedication. Nothing in this Agreement shall be construed as a gift or dedication of any portion of any real property mentioned in this Agreement to the general public or for any public purpose whatsoever.

12. Authority. Neither of the parties to this Agreement need to further investigate the authority of the undersigned signators to enter into this Agreement and to bind their principals as it is hereby represented by R & C, that the undersigned has full authority to execute this Agreement on behalf of that entity and by the City, that the undersigned have full authority to bind the City following duly-noticed and convened proceedings of the City Council and/or its committees to authorize the City to enter into this Agreement.

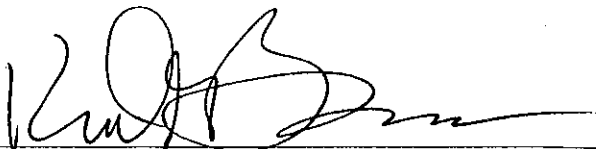
Dated the date and year first above written.

R & C INVESTORS, LLP

By: 
Charles Schmitz

By: 
John Schmitz

CITY OF KENOSHA

By: 
Keith Bosman, Mayor

Attest: 
Michael Higgins, Clerk/Treasurer/Assessor



Rasch

Construction & Engineering

July 18, 2009

A.B. Schmitz Agency
2906 Roosevelt Road
Kenosha, WI 53143

Attention: Chuck Schmitz

Re: Repair of west wall

Dear Chuck:

Please be advised that these are our quotes for the repair of the existing west wall of your building. A photo is included herewith to better understand the work that is included in the following quotes.

Repair Parapet

- Remove top layers of brick and insulation on west parapet wall down to match the front parapet height
- Install brick in areas that are low to bring up to the height of the front parapet wall
- Install mortar bed on top of the remaining brick parapet and set anchor bolts
- Install wood blocking on top of parapet wall

Our submitted quote for this work is a lump sum amount of **\$9,200**.

Roof Repair – See attached quote from Van's Roofing.

Infill Voids on West Wall with Brick

- The voids that will be filled are as follows
 - (2) 6'x24'
 - (4) 4'x24'
 - 7'x35'
 - 2.5'x18'
 - 10 small holesTotal SF = 770sf = 5390 brick
- Remove excess brick on face of wall
- Remove plaster that is on north part of wall
- Saw cut, remove brick and rebuild the northwest and southwest corners over the full height

Our submitted quote for this work is a lump sum amount of **\$24,000**.

4715 Green Bay Road Kenosha, WI 53144
Phone: (262) 657-6542 Fax: (262) 657-0801

Exhibit "A-1"

Install Drivit – This is being quoted without the brick patching. The voids do not need to be filled with brick but the wall needs to be flat for the drivit insulation to be attached to the wall. We have included the installing of furring and plywood to infill the voids as needed. This work includes the following.

- Infilling of larger holes with furring and/or plywood
- Install 1 ½" foam insulation
- Install drivit

Our submitted quote for this work is a lump sum amount of **\$35,000**.

To install drivit on the rear area, where there is existing brick that was in place before the demolition. The cost for this work would be an additional **\$5,500**.

This work doesn't include permit fees.

I hope this meets with your approval. If you have any questions please feel free to call me.

Sincerely,


Larry Rasch, PE
President

"Established in 1950"

Phone 262-654-2176

Fax 262-654-3934

Vanco Roofing Inc.

3901 - 13th Avenue • Kenosha, WI 53140

July 15, 2009

Rasch Construction
4715 Green Bay Road
Kenosha WI. 53144

Ref: A B Schmitz

Dear Sir,

After a thorough inspection of the existing conditions and discussions with you, we are pleased to submit a quote for the roof repairs needed on the above referenced project. Briefly we propose to furnish manpower, materials, tools and equipment required to do the following.

1. Move stone back 2 feet along the complete West parapet wall.
2. Clean existing membrane to insure proper adhesion for the new wall flashings.
3. Install new 60mil rubber membrane up and over the outside edge of new wood blocking back down to roof surface.
4. Install new 24ga. Pac Clad cap flashing with continuous starter to match existing.
5. Move all stone back into place.
6. Clean all drains to insure proper water drainage.

All work to be done in a neat and orderly manner for the sum of, **Six Thousand Five Hundred Dollars \$ 6,500.00**

If you have any questions or require any additional information, please feel free to contact me.

Respectfully Submitted;

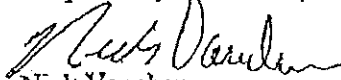

Nick Vanchena

Exhibit "A-2"



Brock Portilia
Director – Finance & Admin
Ph: 262.925.3468
bportilia@kaba.org

DATE: January 22, 2016

TO: Jeffrey Labahn, AICP
Director of City Development, City of Kenosha

Frank Pacetti
City Administrator, City of Kenosha

FROM: Brock Portilia, Director – Finance & Administration
Kenosha Area Business Alliance, Inc.

RE: KABA 2015 4th Quarter Loan Reports

In accordance with the terms in KABA's current City/Federal assisted project contracts, we are pleased to provide you with the quarterly reports for the period ending December 31, 2015. The enclosed reports are for the following projects:

1. Business Retention & Expansion Program Summary Report
2. City RLF Loan Fund
3. City TID #4 Downtown Loan Fund
4. UDAG Loan Fund

These reports have also been submitted for the City Finance Committee and all City Council Members.

Should you have any questions regarding the attached or desire additional information, please contact me at your convenience.

Brock

Enclosures

cc: City Finance Director
Council Members

Business Retention & Expansion (BR|E) Report

December 2015

*Presented by: Heather Wessling, Vice President of Economic Development
at the January 26, 2016 Board of Directors meeting*

Company Visits

- Completed 103 site visits with Kenosha County companies by end of 4th Quarter 2015. Full site visit report generated by Synchronist is attached.
- Breaking the visits up by area: 11 Bristol, 60 Kenosha, 26 Pleasant Prairie, 2 Twin Lakes, 1 Salem/Trevor.
- Interviewed key employees and categorized their function in their company (9.72% in management/owner/HR/Finance, 6.6% technical, .52% sales/marketing, 2.95% clerical and 80.21% of those interviewed worked directly in production).
- 250 companies tracked in the Synchronist database. 12 new companies entered in 2015.
- More than one KABA staff person participated in 25% of site visits.
- Top business sector interviewed was advanced manufacturers and it encompasses 25% of all those interviewed.
- Transportation encompasses 10% of all those interviewed.
- 32 companies reported having current openings for hire while only 2 companies reported a decrease/layoffs.

Key Takeaways

- 52% of companies responded that they have plans to expand in the areas of product development, process improvements/production systems or physical expansion of their plants.
- An estimate of \$150,000,000 of planned and current expansionary activity recorded, 1,712,000 square feet of space to be added and 1,433 new hires announced by existing companies in 2015.
- Total current employment reported by companies interviewed is 9,066 with a potential increase of 16%.
- 4 companies announced close or move for their operations (Accent Industries, Konecranes, Jelly Belly, Mesoware,).
- Recruitment problems are increasing in the community with 84% of the respondents indicating that recruitments are more of a concern because of the size of the community, competition for hiring from incoming companies and more interest in the service sector for jobs rather than choosing a career in manufacturing. Only 16% of the responses indicated that the recruitment problem is due to their type of industry or specific technical skills needed as a barrier to find qualified candidates.

Follow-Up Activity

- Worked with companies one on one to provide support in planning expansions.
- Provided ongoing support to companies by researching and sharing best practices in hiring key employees for their companies.
- Commissioned a labor market analysis utilizing W.E. Upjohn Institute to take a deeper look into gaps in our labor supply, surveying current employees living and working in Kenosha County versus employees commuting to jobs outside of Kenosha County. More than 60 companies participated in the labor market engagement series.
- Fostered community-wide discussions via business roundtable events held in Bristol, Lakeview Corporate Park and in the Business Park of Kenosha where area businesses could voice their concerns regarding community challenges facing their businesses. Companies also shared advantages that keep their businesses operating in Kenosha County.
- Hosted three educational forums: Creating World Class Safety (EMCO Chemical), Supply Chain Management (Affiliated Foods Midwest) and Innovative Company Practices (Kenall Manufacturing and Quest Products). More than 100 companies participated in these events co-hosted by companies throughout the year.

Key Metric

- We asked 100 Kenosha County companies where they concentrate sales. We asked companies if international sales has become a greater share of or is their primary market. Tracking these measures helps us to understand how competitive our companies are operating not only locally but also globally.
- KABA looks for ways to support companies looking to attract a broader customer base.



- Since market share is closely monitored for showing signs of change in the competitive landscape, it is tracked to show what drives strategic or tactical action for a growing company.



- Increasing market share is one of the most important objectives of business whereas the main advantage of using market share as a measure of business performance is that it is less dependent upon environmental factors such as the state of the economy or changes in tax policy/regulations. Increasing export effectiveness is one way our companies can look to grow market share. Companies reported breakthrough technologies (products/process) as an additional driver needed to compete in today's environment and enhanced their ability to attract a broader range of customers.

Onsite Visits Report

01/12/2016

Interview Status: **CURRENT**

City: **ALL**
 Business Sector: **ALL**
 Company ID: **ALL**

County: **ALL**

State: **ALL**

Date Range: **01/01/2015 to 12/31/2015**

Company Name	City/State	Date of Visit
Abatron, Inc.	Kenosha, Wisconsin	10/20/2015
ACCO Brands	Pleasant Prairie, Wisconsin	10/30/2015
Affiliated Foods Midwest	Kenosha, Wisconsin	03/02/2015
Allied Plastics, Inc.	Twin Lakes, Wisconsin	12/11/2015
Amazon.com	Kenosha, Wisconsin	07/02/2015
Anderson Manufacturing Company, Inc.	Bristol, Wisconsin	06/25/2015
Applied Material Solutions	Bristol, Wisconsin	09/10/2015
Aqua Terra	Bristol, Wisconsin	06/10/2015
Ardent Mills	Kenosha, Wisconsin	12/17/2015
Arvato Digital Services	Pleasant Prairie, Wisconsin	02/06/2015
Asyst Automation	Kenosha, Wisconsin	09/03/2015
Asyst Technologies, LLC	Kenosha, Wisconsin	09/03/2015
Aurora Health Care	Kenosha, Wisconsin	12/23/2015
Badgerland Products, Inc.	Twin Lakes, Wisconsin	12/11/2015
Beckart Environmental, Inc.	Kenosha, Wisconsin	09/03/2015
Bradshaw Medical Inc.	Kenosha, Wisconsin	12/07/2015
Branko Perforating FWD., Inc.	Bristol, Wisconsin	11/23/2015
Brunswick Billiards	Bristol, Wisconsin	01/05/2015
Catalyst Exhibits	Pleasant Prairie, Wisconsin	12/01/2015
Commercial Plastics, Inc.	Kenosha, Wisconsin	03/02/2015
Cordeck	Kenosha, Wisconsin	11/06/2015
EJOT	Kenosha, Wisconsin	06/11/2015
Emco Chemical Distributors, Inc.	North Chicago, Illinois	01/21/2015
Expanded Technologies Corp.	Kenosha, Wisconsin	11/23/2015
Finishing & Plating Service, Inc.	Kenosha, Wisconsin	09/02/2015
First Business Bank	Kenosha, Wisconsin	06/23/2015
First Supply	Kenosha, Wisconsin	03/25/2015

Onsite Visits Report

01/12/2016

Interview Status: CURRENT

City: ALL

County: ALL

State: ALL

Business Sector: ALL

Date Range: 01/01/2015 to 12/31/2015

Company ID: ALL

Five Star Fabricating, Inc.	Twin Lakes, Wisconsin	04/07/2015
Flannery Fire Protection, Inc.	Kenosha, Wisconsin	04/14/2015
FNA Group	Pleasant Prairie, Wisconsin	03/06/2015
Fresenius Medical Care North America	Kenosha, Wisconsin	12/01/2015
Frier Custom Manufacturing	Trevor, Wisconsin	05/11/2015
Fudy Solutions	Kenosha, Wisconsin	10/20/2015
GEM Manufacturing Inc.	Kenosha, Wisconsin	12/07/2015
Good Foods Group	Pleasant Prairie, Wisconsin	09/22/2015
Gordon Food Service	Kenosha, Wisconsin	09/02/2015
Hanna Cylinders	Pleasant Prairie, Wisconsin	08/12/2015
Honeywell	Pleasant Prairie, Wisconsin	12/22/2015
Hospira Worldwide Inc.	Lake Forest, Illinois	09/14/2015
InSinkerAator	Kenosha, Wisconsin	04/29/2015
IRIS USA, Inc.	Pleasant Prairie, Wisconsin	12/18/2015
Irving Polishing & Manufacturing Co., Inc.	Kenosha, Wisconsin	11/20/2015
ITO Industries, Inc.	Bristol, Wisconsin	10/30/2015
Jade Electronics, Inc.	Kenosha, Wisconsin	02/26/2015
Jelly Belly Candy Company	North Chicago, Illinois	05/04/2015
Johnson Bank	Kenosha, Wisconsin	01/15/2015
Kenall Manufacturing Company	Kenosha, Wisconsin	03/02/2015
Kenosha Metal Products, Inc.	Pleasant Prairie, Wisconsin	09/03/2015
Kirsan Engineering, Inc.	Kenosha, Wisconsin	05/14/2015
Kitchen Cubes	Kenosha, Wisconsin	06/10/2015
Konecranes	Kenosha, Wisconsin	12/01/2015
Leeward Business Advisors	Kenosha, Wisconsin	06/26/2015
Ligum	Kenosha, Wisconsin	03/12/2015
Martin Petersen Co, Inc.	Kenosha, Wisconsin	10/20/2015
Medtorque, Inc.	Kenosha, Wisconsin	11/19/2015

Onsite Visits Report

01/12/2016

Interview Status: **CURRENT**

City: **ALL**

County: **ALL**

State: **ALL**

Business Sector: **ALL**

Date Range: **01/01/2015 to 12/31/2015**

Company ID: **ALL**

Meijer	Kenosha, Wisconsin	04/09/2015
Mesoware	Kenosha, Wisconsin	07/06/2015
Midwest Refrigerated Services	Pleasant Prairie, Wisconsin	05/28/2015
Monarch Plastics, Inc.	Kenosha, Wisconsin	11/13/2015
Mondi Akrosil	Pleasant Prairie, Wisconsin	06/03/2015
Mosmatic Corporation	Bristol, Wisconsin	09/10/2015
Niagara Bottling Company	Pleasant Prairie, Wisconsin	04/28/2015
North American Salt	Kenosha, Wisconsin	11/06/2015
Northlake Engineering, Inc.	Bristol, Wisconsin	09/10/2015
Ocean Spray Cranberries, Inc.	Kenosha, Wisconsin	04/30/2015
Ocenco, Inc.	Pleasant Prairie, Wisconsin	05/14/2015
OEMMCCO, Inc.	Kenosha, Wisconsin	09/29/2015
Parker Plastics, Inc.	Pleasant Prairie, Wisconsin	09/29/2015
PATCO Industries	Kenosha, Wisconsin	05/06/2015
Pepsico	Pleasant Prairie, Wisconsin	05/19/2015
Platinum Systems, Inc.	Kenosha, Wisconsin	11/23/2015
Powerbrace Corporation	Kenosha, Wisconsin	10/20/2015
Process Pipe & Valve, Inc.	Kenosha, Wisconsin	04/15/2015
Puratos Chocolate USA	Kenosha, Wisconsin	03/31/2015
Quest Products Inc.	Pleasant Prairie, Wisconsin	12/01/2015
Regulatory Compliance Associates Inc.	Kenosha, Wisconsin	11/30/2015
Riley Construction	Kenosha, Wisconsin	03/26/2015
Roundy's Supermarkets, Inc.	Kenosha, Wisconsin	10/14/2015
Rust-Oleum Corporation	Pleasant Prairie, Wisconsin	04/30/2015
Sanmina-SCI	Pleasant Prairie, Wisconsin	08/12/2015
SHILOH	Pleasant Prairie, Wisconsin	11/17/2015
Snap-On	Kenosha, Wisconsin	09/03/2015
Southwire	Waukegan, Illinois	07/09/2015

Onsite Visits Report

01/12/2016

Interview Status: CURRENT

City: ALL

County: ALL

State: ALL

Business Sector: ALL

Date Range: 01/01/2015 to 12/31/2015

Company ID: ALL

Specialized Accounting Services LLC	Pleasant Prairie, Wisconsin	04/22/2015
ST Specialty Foods	Kenosha, Wisconsin	02/24/2015
Talmer Bank and Trust/State Bank of the Lakes	Kenosha, Wisconsin	01/08/2015
TCGRx	Bristol, Wisconsin	06/25/2015
TG-3 Electronics, Inc.	Kenosha, Wisconsin	11/12/2015
The Blast Shop	Kenosha, Wisconsin	04/21/2015
The Metal Shop	Pleasant Prairie, Wisconsin	07/21/2015
Therm-Cast Corporation	Bristol, Wisconsin	09/10/2015
Toolamation Services, Inc.	Kenosha, Wisconsin	05/28/2015
Trade Winds Direct, Inc.	Pleasant Prairie, Wisconsin	11/24/2015
Trans-Chemco, Inc.	Bristol, Wisconsin	09/10/2015
Uline	Pleasant Prairie, Wisconsin	09/29/2015
United Hospital System	Kenosha, Wisconsin	05/21/2015
Vista International Packaging, LLC	Kenosha, Wisconsin	01/09/2015
Volkswagen Group of America, Inc.	Pleasant Prairie, Wisconsin	03/12/2015
VPC Innovations	Kenosha, Wisconsin	01/21/2015
Wickeder Steel Company	Pleasant Prairie, Wisconsin	04/15/2015
ZF Electronics Corporation	Pleasant Prairie, Wisconsin	06/09/2015

Total: 101

KENOSHA AREA BUSINESS ALLIANCE
City Revolving Loan Fund
Quarterly Status Report *

Period October 1, 2015 through December 31, 2015

Bank Account Balance as of 10/1/15:	\$ 1,411,069.57
Plus Loan Principal & Interest Received:	\$ 174,520.55
Plus Bank Interest Income:	\$ 359.57
Plus CD Proceeds (Incl. Interest):	\$ -
Plus Loan & Service Income:	\$ -
Less Loan Disbursements:	\$ 761,250.00
Less CD Purchases:	\$ -
Less Bank/Loan/Service/Legal Expenses:	\$ 30.00
Less Administrative Allocation for 2015:	\$ -
Less City Branding Sponsorship Fee:	\$ -
Balance In Bank Account as of 12/31/15:	<u>\$ 824,669.69</u>
Less Outstanding Commitments as of 12/31/15:	\$ -
Less Approved Loans (Commitments Pending):	\$ -
Balance Available for Loans:	<u><u>\$ 824,669.69</u></u>

⁽¹⁾ Return of excess administrative allocation from Operating account

* There were no loans in arrears as of this report date.

* See attached summary for all active loans in this account.

KENOSHA AREA BUSINESS ALLIANCE, INC. AND ITS SUBSIDIARY
LOAN FUND/ADVANCE RECEIVABLE ANALYSIS SCHEDULE
For the Twelve Months Ended December 31, 2015

	Original Principal Balance	Principal Balance at 1/1/2015	Current Year Borrowings	Principal Receipts YTD 12/31/2015	Interest Receipts YTD 12/31/2015	Principal Balance 12/31/2015	Current Interest Rate
City Revolving Loan Fund (CITY/RLF)							
Madson Investments, LLC	\$ 500,000.00	\$ 162,567.01		\$ 162,567.01	\$ 4,643.86	\$ -	3.00%
Centralestate, Inc.	\$ 325,000.00	\$ 240,529.32		\$ 240,529.32	\$ 5,073.90	\$ -	3.00%
OFFSITE, LLC	\$ 300,000.00	\$ 271,288.62		\$ 11,484.84	\$ 9,629.97	\$ 259,803.78	3.25%
Cast, LLC	\$ 100,000.00	\$ 86,100.39		\$ 5,053.97	\$ 5,028.55	\$ 81,046.42	6.00%
Pacific Sands, Inc.	\$ 125,000.00	\$ 82,979.92		\$ 16,915.16	\$ 4,518.64	\$ 66,064.76	6.00%
ROA, LLC	\$ 35,000.00	\$ 32,381.16		\$ 32,381.16	\$ 1,068.06	\$ -	5.00%
Converting Solutions, Inc.	\$ 26,600.00	\$ 21,869.86		\$ 3,524.85	\$ 912.03	\$ 18,345.01	4.50%
DHT (Toolamation Services)	\$ 253,750.00	\$ 253,750.00	\$ 136,250.00	\$ 8,977.73	\$ 12,465.75	\$ 381,022.27	4.75%
War Eagle Investments, LLC (GEM Mfg.)	\$ 375,000.00	\$ -	\$ 375,000.00	\$ 1,035.66	\$ 1,438.36	\$ 373,964.34	5.00%
GFI Midwest, LLC	\$ 250,000.00	\$ -	\$ 250,000.00	\$ -	\$ -	\$ 250,000.00	3.00%
Total	\$ 2,290,350.00	\$ 1,151,466.28	\$ 761,250.00	\$ 482,469.70	\$ 44,779.12	\$ 1,430,246.58	

**KENOSHA AREA BUSINESS ALLIANCE
City TID #4 Downtown Revolving Loan Fund
Quarterly Status Report ***

Period October 1, 2015 through December 31, 2015

Bank Account Balance as of 10/1/15:	\$ 633,022.31
Plus Funds Received from City	\$ -
Plus Loan Principal & Interest Received:	\$ 10,044.99
Plus Bank Interest Income:	\$ 299.52
Plus CD Proceeds (Incl. Interest):	\$ -
Plus Loan & Service Income:	\$ -
Less Loan Disbursements:	\$ -
Less CD Purchases:	\$ -
Less Bank/Loan/Service/Legal Expenses:	\$ -
Less Administrative Allocation for 2015:	\$ -
Balance In Bank Account as of 12/31/15:	<u>\$ 643,366.82</u>
Less Outstanding Commitments as of 12/31/15:	\$ -
Less Approved Loans (Commitments Pending):	\$ -
Balance Available for Loans:	<u><u>\$ 643,366.82</u></u>

* There were no loans in arrears as of this report date.

* See attached summary for all active loans in this account.

KENOSHA AREA BUSINESS ALLIANCE, INC. AND ITS SUBSIDIARY
 LOAN FUND/ADVANCE RECEIVABLE ANALYSIS SCHEDULE
 For the Twelve Months Ended December 31, 2015

	Original Principal Balance	Principal Balance at 1/1/2015	Current Year Borrowings	Principal Receipts YTD 12/31/2015	Interest Receipts YTD 12/31/2015	Principal Balance 12/31/2015	Current Interest Rate
City TID #4 Downtown Kenosha RLF							
Mike's Kenosha Downtown Tavern	\$ 180,000.00	\$ 172,915.05		\$ 14,588.14	\$ 8,314.46	\$ 158,326.91	5.00%
MIKA Brands (Kitchen Cubes)	\$ 100,000.00	\$ 100,000.00		\$ 3,217.82	\$ 4,682.86	\$ 96,782.18	5.00%
Cast, LLC	\$ 118,400.00	\$ -	\$ 118,400.00	\$ 1,452.34	\$ 3,556.38	\$ 116,947.66	5.00%
Total	\$ 398,400.00	\$ 272,915.05	\$ 118,400.00	\$ 19,258.30	\$ 16,553.70	\$ 372,056.75	

**KENOSHA AREA BUSINESS ALLIANCE
Urban Development Action Grant Loan Fund
Quarterly Status Report ***

Period October 1, 2015 through December 31, 2015

Bank Account Balance as of 10/1/15:	\$ 1,013,175.96
Plus Loan Principal & Interest Received:	\$ 58,313.37
Plus Bank Interest Income:	\$ 468.54
Plus CD Proceeds (Incl. Interest):	\$ -
Plus Loan & Service Income:	\$ -
Less Loan Disbursements:	\$ -
Less CD Purchases:	\$ -
Less Bank/Loan/Service/Legal Expenses:	\$ -
Less Administrative Allocation for 2015:	\$ -
Balance In Bank Account as of 12/31/15:	<u>\$ 1,071,957.87</u>
Less Outstanding Commitments as of 12/31/15:	\$ -
Less Approved Loans (Commitments Pending):	\$ -
Balance Available for Loans:	<u><u>\$ 1,071,957.87</u></u>

* There were no loans in arrears as of this report date.

* See attached summary for all active loans in this account.

KENOSHA AREA BUSINESS ALLIANCE, INC. AND ITS SUBSIDIARY
LOAN FUND/ADVANCE RECEIVABLE ANALYSIS SCHEDULE
For the Twelve Months Ended December 31, 2015

	Original Principal Balance	Principal Balance at 1/1/2015	Current Year Borrowings	Principal Receipts YTD 12/31/2015	Interest Receipts YTD 12/31/2015	Principal Balance 12/31/2015	Current Interest Rate
Urban Development Action Grant Revolving Loan Fund (UDAG)							
Garetto Real Estate, LLC	\$ 500,000.00	\$ 368,949.98		\$ 21,906.28	\$ 14,359.28	\$ 347,043.70	4.00%
Kenosha National, LLC	\$ 197,500.00	\$ 99,830.33		\$ 20,535.89	\$ 4,525.15	\$ 79,294.44	5.00%
Bradshaw Medical, Inc.	\$ 600,000.00	\$ 439,046.66		\$ 57,226.20	\$ 12,388.80	\$ 381,820.46	3.25%
OFFSITE, LLC	\$ 500,000.00	\$ 452,147.81		\$ 19,141.36	\$ 16,049.95	\$ 433,006.45	4.00%
Rustic Ventures, LLC	\$ 82,500.00	\$ 54,701.66		\$ 11,554.40	\$ 1,977.76	\$ 43,147.26	4.00%
Cast, LLC	\$ 40,000.00	\$ 34,440.29		\$ 2,021.54	\$ 2,011.42	\$ 32,418.75	6.00%
Mike's Kenosha Downtown Tavern	\$ 70,000.00	\$ 67,244.75		\$ 5,673.12	\$ 3,233.40	\$ 61,571.63	5.00%
The Blast Shop	\$ 140,000.00	\$ 134,174.05		\$ 17,394.37	\$ 6,313.67	\$ 116,779.68	5.00%
Toolamation Services (DHT)	\$ 96,960.00	\$ -		\$ 9,320.09	\$ 3,006.79	\$ 87,639.91	4.50%
Total	\$ 2,226,960.00	\$ 1,650,535.53	\$ -	\$ 164,773.25	\$ 63,866.22	\$ 1,582,722.28	

**CITY OF KENOSHA
SCHEDULES OF DISBURSEMENTS**

Disbursement Record 1

Approved by Council _____

The Finance Committee reviewed the attached listing of disbursement for the period from 01/01/16 through 01/15/16 and have approved the disbursement as follows:

1. Checks numbered from 154830 through 155298 as shown on attached listing consisting of:

a. Debt Service	<u> -0- </u>
b. Investments	<u> -0- </u>
c. All Other Disbursements	<u>42,564,970.41</u>
SUBTOTAL	<u>42,564,970.41</u>

PLUS:

2. City of Kenosha Payroll Wire Transfers
from the same period: 1,222,744.04

TOTAL DISBURSEMENTS APPROVED 43,787,714.45

Daniel Prozanski Jr.

Anthony Kennedy

Dave Paff

Rocco LaMacchia Sr.

Bob Johnson

Curt Wilson

I have examined the vouchers listed on the attached sheets and have not found any unauthorized or improper payments. It must be understood that this statement in no way should be interpreted as a guarantee that errors do not exist. I have initially examined the attached vouchers for proper account classification. However, the account classifications as shown for the attached vouchers are subject to change upon subsequent review by both myself and respective department heads of the City of Kenosha.

Respectively submitted,

Carol J. Stencato

Director of Finance

FISCAL NOTE
CITY OF KENOSHA

DEPARTMENT OF FINANCE

PREPARED FOR: Finance Committee

ITEM: Disbursement Record #1

ESTIMATED FINANCIAL IMPACT:

No additional fiscal note needed.

Date Prepared: 01/26/16

Prepared By:



Reviewed By:



START DATE FOR SUMMARY: 1/01 END DATE FOR SUMMARY: 1/15

CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
154830	1/06	BINDELLI CONSTRUCTION INC	110-09-56501-259-569	12/15 515 66TH ST	122.12
			110-09-56501-259-569	12/15 1712 55TH ST	80.00
			110-09-56501-259-569	12/15 4711 29TH AVE	78.00
			110-09-56501-259-569	12/15 7939 46 AVE	60.00
				..... CHECK TOTAL	340.12
154831	1/06	RNOW, INC.	630-09-50101-393-000	12/15 PARTS/MATERLS	1,651.44
			630-09-50101-393-000	12/15 PARTS/MATERLS	1,335.75
			630-09-50101-393-000	12/15 PARTS/MATERLS	786.89
			630-09-50101-393-000	12/15 PARTS/MATERLS	618.66
			630-09-50101-393-000	12/15 PARTS/MATERLS	493.84
			630-09-50101-393-000	12/15 #2920 PARTS	366.42
			630-09-50101-393-000	12/15 PARTS/MATERLS	99.60
			630-09-50101-393-000	12/15 PARTS/MATERLS	93.69
				..... CHECK TOTAL	5,446.29
154832	1/06	ICMA RETIREMENT TRUST	110-00-21572-000-000	12/16-31/15 CONTRIB	70,258.54
			110-00-21599-000-000	12/16-31/15 CONTRIB	9,884.49
			110-00-21524-000-000	12/16-31/15 CONTRIB	760.00
				..... CHECK TOTAL	80,903.03
154833	1/06	KENOSHA JOINT SERVICES	110-02-52103-341-000	11/15 PATRL FLT GAS	13,971.41
			110-02-52103-345-000	11/15 PATRL FLT MNT	9,358.39
			110-02-52102-341-000	11/15 DETCV FLT GAS	1,562.68
			110-02-52109-341-000	11/15 KSCU/KDOG GAS	576.48
			110-02-52102-345-000	11/15 DETCV FLT MNT	338.65
			110-02-52101-341-000	11/15 ADMIN FLT GAS	250.37
			110-02-52109-345-000	11/15 KSCU FLT MNT	87.94
				..... CHECK TOTAL	26,145.92
			154834	1/06	UNITED HOSPITAL SYSTEMS INC
110-09-56405-161-000	8/27/15 W/C	431.46			
110-09-56405-161-000	8/20/15 W/C	269.10			
110-02-52101-219-000	12/15 LAB 15-180516	99.20			
110-02-52101-219-000	11/15 LAB 15-179585	49.60			
110-02-52101-219-000	12/15 LAB 15-178544	49.60			
110-02-52101-219-000	11/15 LAB 15-180132	49.60			
	..... CHECK TOTAL	4,805.96			

START DATE FOR SUMMARY: 1/01 END DATE FOR SUMMARY: 1/15

CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
154835	1/06	LEAGUE OF WISCONSIN	110-01-50101-323-000	2016 LEAGUE DUES	14,428.78
154836	1/06	NPELRA	110-01-51001-323-000	2016 STANCZAK RNWL	195.00
154837	1/06	AMERICAN ASSOC OF AIRPORT	521-09-50101-323-000	MEMBERSHIP DUES	275.00
154838	1/06	FIRST SUPPLY CO.	227-09-50101-219-000	12/15 PW-SUPPL/SERV	68.09
154839	1/06	PAYNE & DOLAN INC.	110-05-55104-354-000	SCREENINGS	601.27
154840	1/06	WISCONSIN FUEL & HEATING	630-09-50101-392-000	12/15 CE-DIESEL FUEL	11,897.40
			630-09-50101-393-000	12/15 CE-LUBRICANTS/	734.40
			630-09-50101-393-000	12/15 CE-BARREL RTN	140.00CR
				..... CHECK TOTAL	12,491.80
154841	1/06	BADGER OIL EQUIPMENT CO.	632-09-50101-235-000	12/15 PUMP REPAIRS	418.25
154842	1/06	BROOKS TRACTOR, INC.	630-09-50101-393-000	12/15 #3023 PARTS	1,094.27
			630-09-50101-393-000	12/15 #8514 PARTS	1,059.28
			630-09-50101-393-000	12/15 CE #2593 PARTS	679.36
				..... CHECK TOTAL	2,832.91
154843	1/06	KENOSHA WATER UTILITY	110-00-21913-000-000	12/15 TEMP PERMITS	25,942.32
			110-00-21914-000-000	12/15 BILL COLLECT	18,433.95
				..... CHECK TOTAL	44,376.27
154844	1/06	INLAND DETROIT DIESEL	630-09-50101-393-000	12/15 MATERLS/SERVC	1,690.64
154845	1/06	DOVER FLAG & MAP	110-01-51801-389-000	FLAGPOLE LOCKSET	52.50
154846	1/06	LARK UNIFORM, INC.	110-02-52103-367-000	12/15 #15-177452	79.95
154847	1/06	AT&T	110-02-52203-225-000	11/22-12/21 REPEATR	413.26
154848	1/06	OFFICEMAX	110-02-52201-311-000	11/15 FD #3282 OFC	280.00
			110-02-52201-311-000	10/15 FD #3282 OFC	113.34
			110-03-53101-311-000	12/15 ST #3307 OFC	89.95
			110-03-53101-311-000	11/15 ST #3307 OFC	89.61
			110-02-52201-311-000	11/15 MC #3312 OFC	61.05
			632-09-50101-311-000	11/15 SE #3294 OFC	46.80
			632-09-50101-232-000	11/15 SE #3294 DUPL	32.17
			632-09-50101-232-000	11/15 SE #3294 OFC	32.17
			110-03-53103-311-000	12/15 ST #3307 OFC	26.60
			110-01-52001-311-000	11/15 MC #3312 OFC	20.15
			110-03-53101-311-000	12/15 ST #3307 OFC	19.10
			110-01-52001-311-000	11/15 MC #3312 OFC	15.00
			110-01-52001-311-000	11/15 MC #3312 OFC	14.00
			110-01-52001-311-000	12/15 MC #3312 OFC	10.65
			110-01-52001-311-000	12/15 MC #3312 RTN	20.15CR

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
			632-09-50101-232-000	12/15 SE #3294 RTN	32.17CR
			110-02-52201-311-000	12/15 FD #3282 RTN	93.09CR
			110-02-52201-311-000	12/15 FD #3282 RTN	280.00CR
				..... CHECK TOTAL	425.18
154849	1/06	WIS DEPT OF TRANSPORTATION	402-11-51205-589-000	1032-10-71 EST SHAR	844.18
			402-11-51205-589-000	1032-10-71 EST ENG	115.11
			402-11-51205-589-000	1032-10-71 EST SHARE	27.26
			402-11-51205-589-000	1032-10-71 EST ENG	3.72
				..... CHECK TOTAL	990.27
154850	1/06	STATE CHEMICAL MANUFACTURING	630-09-50101-393-000	12/15 MATERIALS	282.93
154851	1/06	LINCOLN CONTRACTORS SUPPLY	501-09-50105-235-000	11/15 ST-TOOLS/SUPL	291.27
154852	1/06	PETCO	110-02-52103-381-000	12/15 EDDIE PET SPL	95.39
			110-02-52103-381-000	11/15 CHICO-PET SPL	78.97
				..... CHECK TOTAL	174.36
154853	1/06	INTERSPIRO	414-11-51505-574-000	BREATHING EQUIP.	16,173.78
			110-02-52203-235-000	12/15 SCBA PARTS	192.10
				..... CHECK TOTAL	16,365.88
154854	1/06	NATIONAL NOTARY ASSOC.	521-09-50101-323-000	D HENRY 1 YR RENWL	59.00
154855	1/06	STRAND ASSOCIATES, INC.	110-03-53117-219-000	11/15 LANDFILL MNTR	516.02
154856	1/06	UNITED HOSPITAL SYSTEM	110-02-52102-219-000	RECORDS #15-045215	76.08
			110-02-52102-219-000	RECORDS #15-183070	69.76
				..... CHECK TOTAL	145.84
154857	1/06	EXAMBUILDER	206-02-52205-316-000	SITE LICENSES	2,070.00
154858	1/06	JAMES IMAGING SYSTEMS, INC.	110-01-51303-311-000	12/15 HR-STAPLES	99.62
154859	1/06	SHRED-IT USA	110-02-52101-219-000	12/15 PURGE SERVICE	29.43
154860	1/06	PLAYPOWER LT, INC	110-05-55109-386-000	SLIDE, REPLACEMENT	1,131.25
154861	1/06	WASTE MANAGEMENT OF WI	110-03-53117-253-416	12/15 1221.62 TONS	30,454.99
			110-03-53117-253-416	12/15 WDNR TONNAGE	15,881.06
			501-09-50104-253-000	12/15 372.09 TONS	9,276.20
			501-09-50104-253-000	12/15 WDNR TONNAGE	4,837.17
			110-03-53117-253-417	12/15 80.64 TONS	2,010.36
			110-03-53117-253-417	12/15 11 PULLS	1,969.11
			110-03-53117-253-416	12/15 FUEL SURCHARGE	1,333.90
			110-03-53117-253-417	12/15 WDNR TONNAGE	1,048.32
			501-09-50104-253-000	12/15 FUEL SURCHARGE	410.24
			110-03-53117-253-416	12/15 ENVIRO SURCHG	312.00

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
			501-09-50104-253-000	12/15 ENVIRO SURCHG	192.00
			110-03-53117-253-417	12/15 FUEL SURCHARGE	175.02
			110-03-53117-253-417	12/15 ENVIRO SURCHG	66.00
				..... CHECK TOTAL	67,966.37
154862	1/06	NATIONAL ASSOCIATION OF	206-02-52205-323-000	J POLTROCK RENEWAL	185.00
154863	1/06	GFOA	110-01-51101-323-000	2016 MEMBER DUES	640.00
154864	1/06	JENSEN TOWING	110-02-52103-219-000	12/15 15-186982 TOW	55.00
154865	1/06	WIS DEPT OF REVENUE	761-00-21512-000-000	12/15 DEDUCTIONS	260.20
154866	1/06	CLIFTON LARSON ALLEN	314-12-50101-259-000	AUDIT FEE	1,200.00
154867	1/06	FASTENAL COMPANY	110-05-55109-344-000	12/15 PA-TOOLS/MTRL	337.51
			501-09-50105-387-000	12/15 SW-TOOLS/MTRL	161.82
			501-09-50104-344-000	12/15 SW-TOOLS/MTRL	36.50
			630-09-50101-393-000	12/15 CE #3186 TOOLS	15.48
			630-09-50101-393-000	12/15 CE-TOOLS/MTRL	6.61
			110-03-53110-389-000	12/15 ST-TOOLS/MTRL	4.47
				..... CHECK TOTAL	562.39
154868	1/06	OSI ENVIRONMENTAL INC	630-09-50101-393-000	10/15 CE-REMOVL SRV	175.00
154869	1/06	GALLS, LLC	110-02-52103-365-000	STORM SLING	58.95
154870	1/06	ULINE	110-05-55109-386-000	AUTOMATIC HAND DRYER	1,940.00
			110-05-55108-369-000	GRILL, OUTDOOR	950.00
			110-05-55108-369-000	RECEPTACLE	660.00
			110-05-55109-382-000	AIR FRESHENER,	360.00
			110-05-55109-382-000	TOWEL DISPENSER, 8"	354.00
			110-05-55109-389-000	AMERICAN FLAG, 6X10	300.00
			110-05-55109-389-000	AMERICAN FLAG, 4X6	260.00
			110-05-55109-382-000	TRASH CAN BANDS	240.00
			110-05-55109-382-000	TOWELS	234.00
			110-05-55109-382-000	TRASH LINERS, 1.2MIL	192.00
			110-05-55109-389-000	AMERICAN FLAG, 3X5,	180.00
			110-05-55109-382-000	BATH TISSUE, JUMBO,	156.00
			110-05-55109-249-000	GOOF OFF, 12OZ	156.00
			110-05-55109-246-000	FIRE EXTINGUISHER	150.00
			110-05-55109-382-000	ROLL TOWEL	145.00
			110-05-55109-367-000	SAFETY GLASSES	126.00
			110-05-55109-382-000	URINAL SCREEN, FLAT,	120.00
			110-05-55109-382-000	PARA 8LOCK, S-8129	80.00
			110-05-55109-382-000	TISSUE DISPENSER	72.00
			110-05-55109-367-000	NITRILE GLOVES, 4MIL	65.00
			110-05-55109-367-000	NITRILE GLOVES, 4MIL	65.00
			110-05-55109-367-000	NITRILE GLOVES, 4MIL	65.00

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
			501-09-50106-367-000	BOMBER JACKET, XL,	49.00
			110-05-55109-367-000	SAFETY GLASSES	36.00
			110-05-55101-311-000	ENVELOPES, BUSINESS,	15.70
				..... CHECK TOTAL	6,970.70
154871	1/06	MSC INDUSTRIAL SUPPLY	110-02-52203-385-000	12/15 FD-SUPPL/REPAI	133.35
154872	1/06	DRIVERS LICENSE GUIDE CO	110-02-52107-322-000	2-2016 ID CHECKING	43.90
154873	1/06	STATE BAR OF WISCONSIN	110-01-50301-322-000	12/15 LEGAL PUBLICIT	65.53
154874	1/06	MENARDS (KENOSHA)	420-11-51202-583-000	REMODEL ROOM 201	366.38
			420-11-51202-583-000	REMODEL ROOM 201	227.95
			420-11-51202-583-000	REMODEL ROOM 201	180.94
			420-11-51202-583-000	REMODEL ROOM 201	88.79
			420-11-51202-583-000	REMODEL ROOM 201	70.75
			110-05-55109-357-000	12/15 PA-MERCHANDISE	56.77
			206-02-52205-318-000	12/15 FD-MERCHANDISE	29.32
			501-09-50105-246-000	12/15 SW-MERCHANDISE	27.35
			110-05-55109-344-000	12/15 PA-MERCHANDISE	23.88
			110-05-55109-344-000	12/15 PA-MERCHANDISE	3.84
				..... CHECK TOTAL	1,075.97
154875	1/06	BEST DOCTORS	611-09-50101-155-527	12/15 ADMIN CHARGES	1,509.30
154876	1/06	JG UNIFORMS	422-11-51504-577-000	VEST COVERS	147.58
154877	1/06	TEMPLE DISPLAY, LTD	420-11-51413-589-000	70 LIGHT SETS	2,447.85
			420-11-51413-589-000	ZIP-TIES 14"	160.00
				..... CHECK TOTAL	2,607.85
154878	1/06	MUNICIPAL PROPERTY INSURANCE	110-00-21109-000-000	2016 MPIF PREM	364,899.00
154879	1/06	WIS DEPT OF REVENUE	761-09-50101-909-000	2015 FEES, INEREST	9.50
154880	1/06	NATIONAL ELEVATOR INSP SVS	521-09-50101-219-000	INSPECTION 12/11/15	150.00
154881	1/06	WURTA	520-09-50301-323-000	2016 WURTA OUES	5,475.00
154882	1/06	FIRE DEPT SAFETY OFFICERS	110-02-52206-322-000	DODSON 3RD EDITION	320.00

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
154883	1/06	SAFETY-KLEEN INC	520-09-50201-389-000	12/15 SOLVENT	172.06
154884	1/06	FOX VALLEY CHEMICAL CO	110-02-52203-382-000	12/15 FD#3 CONSUMBL	149.40
154885	1/06	RIMKUS, JASON	761-09-50101-155-000	12/15 WPS HEALTH	319.36
154886	1/06	IAFF/NATIONWIDE	110-00-21574-000-000	12/16-31/15 CONTRIB	21,399.39
154887	1/06	MOBILE CONCEPTS BY SCOTTY	110-02-52204-344-000	FANTASTIC VENT	197.08
154888	1/06	RED THE UNIFORM TAILOR	110-02-52103-367-000	12/15 PD-UNIFORMS	333.78
			110-02-52206-367-000	12/15 FD-UNIFORMS	245.55
			520-09-50101-367-000	12/15 TD-UNIFORM	89.85
			110-02-52206-367-000	12/15 FD-UNIFORMS	41.70
				..... CHECK TOTAL	710.88
154889	1/06	HSA BANK	761-09-50101-155-000	2016 KCM CONTRIB	1,000.00
154890	1/06	CHANNING BETE	206-02-52205-322-000	12/15 TRAINING/EDUCT	368.03
154891	1/06	GREAT WEST RETIREMENT SERV.	110-00-21576-000-000	12/16-31/15 CONTRIB	8,154.33
			110-00-21539-000-000	12/16-31/15 CONTRIB	705.00
				..... CHECK TOTAL	8,859.33
154892	1/06	SPORTS PHYSICAL THERAPY CNTR	110-09-56405-161-000	12/4/15 W/C	391.82
154893	1/06	KENOSHA EMERGENCY PHYSICIANS	110-09-56405-161-000	10/4/15 W/C	318.60
154894	1/06	UNITED OCC MEDICINE	110-09-56405-161-000	11/4/15 W/C	175.50
154895	1/06	ATHLETIC & THERAPEUTIC INST.	110-09-56405-161-000	10/30/15 W/C	566.13
			110-09-56405-161-000	10/29/15 W/C	566.13
			110-09-56405-161-000	10/28/15 W/C	566.13
			110-09-56405-161-000	10/27/15 W/C	566.13
			110-09-56405-161-000	10/26/15 W/C	566.13
			110-09-56405-161-000	10/23/15 W/C	566.13
			110-09-56405-161-000	10/22/15 W/C	566.13
			110-09-56405-161-000	10/21/15 W/C	566.13
			110-09-56405-161-000	10/20/15 W/C	566.13
			110-09-56405-161-000	10/19/15 W/C	566.13
			 CHECK TOTAL	5,661.30

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
154896	1/06	GENEX SERVICES INC	110-09-56405-161-000	12/9-29/15 W/C	600.24
154897	1/06	OCCUCARE SYSTEMS & SOLUTION	110-09-56405-161-000	9/11/15 W/C	673.27
			110-09-56405-161-000	9/15/15 W/C	586.87
			110-09-56405-161-000	9/10/15 W/C	445.87
			110-09-56405-161-000	9/11/15 W/C	48.97
				..... CHECK TOTAL	1,754.98
154898	1/06	WORK INJURY MGMNT SOLUTIONS	110-09-56405-161-000	11/30/15 W/C	219.00
154899	1/06	COMPREHENSIVE CLINICAL AND	110-09-56405-161-000	11/18/15 W/C	101.26
154900	1/06	ENCORE UNLIMITED LLC	110-09-56405-161-000	10/6-31/15 W/C	460.60
			110-09-56405-161-000	11/16-30/15 W/C	443.40
			110-09-56405-161-000	8/11-31/15 W/C	431.05
			110-09-56405-161-000	9/9-30/15 W/C	373.73
				..... CHECK TOTAL	1,708.78
154901	1/06	COMPREHENSIVE ORTHOPAEDICS	110-09-56405-161-000	8/11/15 W/C	6,726.65
			110-09-56405-161-000	9/11/15 W/C	157.50
			110-09-56405-161-000	8/11/15 W/C	119.77
			110-09-56405-161-000	10/20/15 W/C	72.80
				..... CHECK TOTAL	7,076.72
154902	1/06	WISCONSIN SPECIALTY SURGERY	110-09-56405-161-000	8/12/15 W/C	3,738.41
154903	1/06	BACK-2-HEALTH INC	110-09-56405-161-000	11/9/15 W/C	235.89
			110-09-56405-161-000	11/16/15 W/C	149.15
			110-09-56405-161-000	11/13/15 W/C	149.15
			110-09-56405-161-000	11/11/15 W/C	149.15
			110-09-56405-161-000	11/19/15 W/C	114.49
			110-09-56405-161-000	11/18/15 W/C	114.49
				..... CHECK TOTAL	912.32
154904	1/06	LGIP LIBRARY	110-00-21804-000-000	1/1/16 LEVY ALLOC	427,000.00
154905	1/06	LGIP MUSEUM	110-00-21805-000-000	1/16 LEVY ALLOC	144,000.00
154906	1/06	CORELOGIC	110-00-21109-000-000	OVERPAY 2015 TAX	17.88

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
154907	1/06	MENDEZ, LUZ	110-00-21905-000-000	BEACHHOUSE 12/19/15	100.00
154908	1/06	KENESIE, JASON	110-02-52102-341-000	12/17/15 STERLING	25.54
154909	1/06	MALKUS, MICHELLE	110-02-52106-367-000	MATERNITY PANTS	31.63
154910	1/06	MCDONOUGH, RYAN	110-02-52103-263-000	12/19/15 WINNEBAGO	12.00
154911	1/06	WEBB, CHERIE	110-00-21512-000-000	WAGE ASSIGNMT 12/4	5.14
154912	1/08	CROWN TROPHY OF KENOSHA	110-02-52103-311-000	4 RETIREMNT PLACQUE	260.00
154913	1/08	RNOW, INC.	630-09-50101-393-000	12/15 PARTS/MATERLS	1,178.98
154914	1/08	VIKING ELECTRIC SUPPLY	520-09-50401-246-000	12/15 TD-ELECTRICAL	120.53
			520-09-50202-248-000	12/15 TD-ELECTRICAL	120.53
			520-09-50201-248-000	12/15 TD-ELECTRICAL	107.94
			110-03-53109-375-000	12/15 ST-ELECTRICAL	32.15
			110-05-55108-248-000	12/15 PA-ELECTRICAL	30.00
			520-09-50201-248-000	12/15 TD-ELECTRICAL	12.59
			110-03-53109-375-000	12/15 ST-ELECTRICAL	6.22
				..... CHECK TOTAL	429.96
154915	1/08	GENERAL COMMUNICATIONS, INC.	520-09-50201-231-000	12/15 TD-MISC. ITEMS	45.00
154916	1/08	KENOSHA JOINT SERVICES	110-02-52111-251-000	01/16 JOINT SERVICE	226,932.00
			110-02-52202-251-000	01/16 JOINT SERVICE	56,733.00
				..... CHECK TOTAL	283,665.00
154917	1/08	KENOSHA CITY EMPLOYEE'S	110-00-21562-000-000	01/08/16 CITY HRLY	8,289.00
			110-00-21562-000-000	01/08/16 WATER HRLY	3,100.62
			110-00-21562-000-000	01/08/16 MUSEUM HRLY	15.00
				..... CHECK TOTAL	11,404.62
154918	1/08	KENOSHA COUNTY SHERIFF DEPT	110-02-52108-256-000	11/15 PRISONER MNT	1,743.30
154919	1/08	UNITED HOSPITAL SYSTEMS INC	206-02-52205-318-000	11/15 DRUGS	447.83
154920	1/08	KENOSHA NEWS	110-01-50101-321-000	11/16/15 CC MINUTES	303.17
			110-01-50101-321-000	12/15 2ND READ ORDS	49.90
			110-01-50101-321-000	12/15 1ST READ ORDS	25.79
			110-01-50101-321-000	12/15 REZONE HEARNG	13.73
			 CHECK TOTAL	392.59

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
154921	1/08	WILLKOMM INC., JERRY	520-09-50106-341-000	12/15 TD-DIESEL FUEL	11,206.31
154922	1/08	WIS DEPT OF REVENUE	110-00-21512-000-000	12/16-31/15 DEDUCTS	126,820.58
154923	1/08	OAKES & SON, INC., A. W.	402-11-51402-589-000	EST 3 THRU 12/1/15	4,395.16
154924	1/08	REINDERS INC.	110-05-55104-353-000	GLYPHOSATE PRO	1,174.40
154925	1/08	A & R DOOR SERVICE	110-02-52203-246-000 110-02-52203-246-000	12/15 FD#3 DOOR REPR 12/15 FD#7 DOOR REPR CHECK TOTAL	1,550.00 692.25 2,242.25
154926	1/08	CHIEF CORPORATION	110-02-52103-365-000 110-02-52103-365-000 110-02-52103-365-000 110-02-52103-365-000 110-02-52103-365-000	ALS HOLSTER PADDLE ALS HOLSTER PADDLE ALS HOLSTER PADDLE ALS HOLSTER PADDLE 08/15 PD-CREDIT CHECK TOTAL	2,300.41 194.95 49.67 38.99 254.06CR 2,329.96
154927	1/08	LARK UNIFORM, INC.	110-02-52103-365-000	12/15 POLICE EQUIPME	135.85
154928	1/08	CHASE BANK KENOSHA	761-00-21513-000-000 761-00-21511-000-000 761-09-50101-158-000 761-00-21514-000-000 761-09-50101-158-000	12/15 KCM DEDUCTS 12/15 KCM DEDUCTS 12/15 KCM DEDUCTS 12/15 KCM DEDUCTS 12/15 KCM DEDUCTS CHECK TOTAL	610.00 360.42 360.39 84.30 84.28 1,499.39
154929	1/08	CHASE BANK KENOSHA	110-00-21513-000-000 110-00-21612-000-000 110-00-21511-000-000 110-00-21614-000-000 110-00-21514-000-000	01/08/16 HRLY DEDCT 01/08/16 HRLY DEDCT 01/08/16 HRLY DEDCT 01/08/16 HRLY DEDCT 01/08/16 HRLY DEDCT CHECK TOTAL	22,519.51 11,980.58 11,980.46 2,953.86 2,953.85 52,388.26
154930	1/08	OFFICEMAX	520-09-50301-311-000 110-01-51601-311-000 110-01-51101-311-000 110-02-52201-311-000 110-01-51101-362-000 110-02-52201-311-000	12/15 TD #3323 OFC 12/15 CD #3321 OFC 12/15 FN #3319 OFC 12/15 FD #3314 OFC CHAIR MAT 12/15 FD #3314 OFC CHECK TOTAL	237.62 93.25 88.87 45.63 39.22 26.55 531.14

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
154931	1/08	PAT'S SERVICES, INC.	205-03-53119-282-000	11/15 PORTBLE TOILT	112.00
154932	1/08	WIS DEPT OF REVENUE	110-00-21581-000-000	12/15 DEDUCTION	582.00
154933	1/08	AMERICAN COLLISION SERV., INC	110-02-52103-711-000	REPAIR SQUAD 3147	2,906.33
154934	1/08	HARRIS GOLF CARS SALES/SERV	524-05-50101-344-000 524-05-50101-344-000	11/15 GOLF CRT REPR 11/15 GOLF CRT REPR CHECK TOTAL	71.94 71.94 143.88
154935	1/08	PIONEER COMMERCIAL CLEANING	110-02-52203-243-000 110-02-52203-243-000	12/15 FD-JANITORIAL 12/15 FD-JANITORIAL CHECK TOTAL	353.00 347.00 700.00
154936	1/08	PAUL CONWAY SHIELDS	110-02-52206-367-000	09/15 PARTS/SUPPLIES	261.70
154937	1/08	DROPRITE TREE & LANDSCAPE	407-11-51403-219-000	TREE REMOVAL - #2	2,086.00
154938	1/08	CUMMINS NPOWER, LLC	520-09-50201-347-000	12/15 TD-ENGINE PRT	65.73
154939	1/08	EXCEPTIONAL EVENTS	761-09-50101-263-000 761-09-50101-263-000	KCM ANNIV FOOD/ROOM KCM ANNIV ROOM RNTL CHECK TOTAL	1,189.20 250.00 1,439.20
154940	1/08	HENRY SCHEIN	206-02-52205-318-000	12/15 MEDICAL SUPPL	120.95
154941	1/08	MARTIN PETERSEN COMPANY, INC.	520-09-50401-246-000	12/15 TD-HVAC, PLMB	510.00
154942	1/08	JOHNSON BANK	110-00-21532-000-000 110-00-21532-000-000	01/08/16 CITY HRLY 01/08/16 WATER HRLY CHECK TOTAL	1,047.11 518.65 1,565.76
154943	1/08	SWIDERSKI EQUIPMENT, INC	630-09-50101-393-000	12/15 TRACTOR PARTS	1,161.48
154944	1/08	FASTENAL COMPANY	630-09-50101-393-000 630-09-50101-393-000 630-09-50101-393-000	12/15 #2593 TOOLS/MA 12/15 #2445 TOOLS/MA 12/15 #2445 TOOLS/MA CHECK TOTAL	7.87 4.62 3.62 16.11
154945	1/08	CHAPTER 13 TRUSTEE	110-00-21581-000-000 110-00-21581-000-000	01/08/16 DEDUCTION 01/08/16 DEDUCTION CHECK TOTAL	104.00 87.00 191.00

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
154946	1/08	STAPLES	520-09-50401-369-000	TIME CLOCK	274.99
			110-02-52103-311-000	12/15 PD-MISC OFFICE	268.74
			110-01-51101-311-000	12/15 FN-MISC OFFICE	48.93
			110-01-51101-311-000	12/15 FN-MISC OFFICE	38.25
			110-02-52103-311-000	12/15 PD-OFC RETURN	11.82CR
				..... CHECK TOTAL	619.09
154947	1/08	WAUSAU EQUIPMENT CO.	630-09-50101-393-000	12/15 CE-PLOW PARTS/	1,931.90
			630-09-50101-393-000	12/15 CE-PLOW PARTS/	397.82
			630-09-50101-393-000	12/15 CE-PLOW PARTS/	385.62
			630-09-50101-393-000	12/15 CE-PLOW PARTS/	263.22
				..... CHECK TOTAL	2,978.56
154948	1/08	CITY OF MILWAUKEE	110-03-53103-355-000	12/15 ASPHALT EMULS	987.00
154949	1/08	BSN SPORTS, INC	110-05-55109-386-000	TENNIS NET-I	809.15
			110-05-55109-386-000	POST REEL	79.96
				..... CHECK TOTAL	889.11
154950	1/08	MSC INDUSTRIAL SUPPLY	110-02-52206-246-000	12/15 FD-SUPPLIES/RE	168.79
154951	1/08	FORCE AMERICA	630-09-50101-393-000	12/15 PARTS/MATERLS	1,112.36
			630-09-50101-393-000	12/15 PARTS/MATERLS	197.07
			630-09-50101-393-000	11/15 PARTS/MATERLS	55.36
			630-09-50101-393-000	11/15 PARTS/MATERLS	21.77
				..... CHECK TOTAL	1,386.56
154952	1/08	MENARDS (KENOSHA)	520-09-50401-246-000	12/15 TD-MERCHANDISE	195.72
			110-03-53110-389-000	12/15 ST-MERCHANDISE	9.55
			110-03-53109-389-000	12/15 ST-MERCHANDISE	4.65
				..... CHECK TOTAL	209.92
154953	1/08	SHERWIN INDUSTRIES	521-09-50101-344-000	BRAKE CALIBRATION	355.00
154954	1/08	D.W. DAVIES & CO, INC	520-09-50201-387-000	WASH N WAX BUS SOAP	382.80
			520-09-50201-387-000	LOTION GRIT	62.40
			520-09-50201-387-000	ORANGE CLEAN	17.64
			520-09-50201-387-000	DRUM DEPOSIT	17.50
			520-09-50201-387-000	FUEL SURCHARGE	7.50
			520-09-50201-387-000	12/15 DRUM DEPOSIT	17.50CR
			 CHECK TOTAL	470.34

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
154955	1/08	ZOLL MEDICAL CORPORATION	206-02-52205-318-000 206-02-52205-318-000	LARGE ADULT CUFF ADULT CUFF, 25-34CM, CHECK TOTAL	240.38 105.00 345.38
154956	1/08	KATANA FORENSICS INC.	110-02-52102-316-000	LANTERN ANNUAL MAINT	500.00
154957	1/08	SKM, LLC	110-02-52203-344-000	12/15 FD-MATERIALS	37.89
154958	1/08	ILLINOIS DEPT OF REVENUE	110-00-21518-000-000	12/15 DEDUCTIONS	1,486.40
154959	1/08	INTELLIGENT PRODUCTS INC	501-09-50102-389-000	HANGABLE HEADER	800.01
154960	1/08	SUN LIFE FINANCIAL	611-09-50101-155-517 611-09-50101-155-517	01/16 STOP LOSS 01/16 STOP LOSS AGG CHECK TOTAL	119,326.14 6,373.76 125,699.90
154961	1/08	WIS SCTF	110-00-21581-000-000	01/08/16 HRLY DEDCT	1,003.84
154962	1/08	HALLMAN LINDSAY	110-05-55109-244-000	12/15 PA-PAINT/PROD	37.79
154963	1/08	NORTHERN SAFETY CO INC	110-05-55109-367-000 110-05-55109-367-000 110-05-55109-367-000 110-05-55109-367-000 110-05-55109-389-000 110-05-55109-389-000 110-05-55109-389-000 110-05-55109-389-000 110-05-55109-367-000 110-05-55109-367-000 110-05-55109-389-000	SAFETY VEST, XLARGE, SAFETY VEST, LARGE, SAFETY VEST, 2XL, SAFETY VEST, MEDIUM, SALINE SOLUTION, 10Z NEOSPORIN, 10Z TUBE, HYDROGEN PEROXIDE, SAFETY VEST, 4XL, SAFETY VEST, 3XL, ALCOHOL WIPES, FIRS CHECK TOTAL	450.00 300.00 150.00 150.00 124.50 100.44 87.00 45.00 45.00 15.36 1,467.30
154964	1/08	ADVANCED CORRISON CONTROL	632-09-50101-235-000	UNDGRND CORR TEST	200.00
154965	1/08	LEXIS NEXIS DATA MGMT	110-02-52101-219-000	11/15 SEARCHES/LOCT	94.50
154966	1/08	WHOLESALE DIRECT INC	110-02-52203-344-000 630-09-50101-393-000	12/15 FD-PARTS/MTRL 12/15 CE-PARTS/MTRL CHECK TOTAL	411.79 73.33 485.12

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
154967	1/08	INTERNATIONAL ASSOC FOR	110-02-52204-323-000	G SANTELLI RENEWAL	100.00
154968	1/08	GILLIG CORPORATION	520-09-50201-347-000	12/15 BUS PARTS	18.56
154969	1/08	WIS DEPT OF REVENUE	110-01-50901-219-000	2015 ASSMT MFG PROP	11,260.98
154970	1/08	MUNCIE TRANSIT SUPPLY	520-09-50201-347-000	12/15 TD-COACH PARTS	91.54
			520-09-50201-347-000	12/15 TD-COACH PARTS	75.00
				..... CHECK TOTAL	166.54
154971	1/08	FLANNERY FIRE PROTECTION INC	110-02-52203-246-000	12/15 SPRINKLER TST	265.00
154972	1/08	AIRGAS NORTH CENTRAL	206-02-52205-389-000	12/15 FD#5 OXYGEN	62.17
			110-03-53103-355-000	12/15 ST-INDSTL GAS	43.09
			521-09-50101-344-000	11/15 AR-INDSTL GAS	29.14
				..... CHECK TOTAL	134.40
154973	1/08	TOMARK SPORTS	110-05-55104-361-000	TAPE MEASURE, 400',	124.97
154974	1/08	CHANNING BETE	206-02-52205-264-000	HEARTCODE PALS	600.00
			206-02-52205-264-000	HEARTCODE ACLS	600.00
			206-02-52205-264-000	HEARTCODE BLS	481.50
				..... CHECK TOTAL	1,681.50
154975	1/08	AURORA HEALTH CARE	110-09-56405-161-000	11/24/15 W/C	346.80
154976	1/08	ATHLETIC & THERAPEUTIC INST.	110-09-56405-161-000	11/13/15 W/C	566.13
			110-09-56405-161-000	11/12/15 W/C	566.13
			110-09-56405-161-000	11/10/15 W/C	566.13
			110-09-56405-161-000	11/9/15 W/C	566.13
			110-09-56405-161-000	11/6/15 W/C	566.13
			110-09-56405-161-000	11/5/15 W/C	566.13
			110-09-56405-161-000	11/4/15 W/C	566.13
			110-09-56405-161-000	11/3/15 W/C	566.13
			110-09-56405-161-000	11/2/15 W/C	566.13
			110-09-56405-161-000	11/11/15 W/C	432.03
				..... CHECK TOTAL	5,527.20
154977	1/08	COMPREHENSIVE CLINICAL AND	110-09-56405-161-000	12/2/15 W/C	119.13

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CHECK #	CHECK DATE	VENOOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
154978	1/08	ENCORE UNLIMITED LLC	110-09-56405-161-000	12/3-28/15 W/C	29.55
154979	1/08	COMPREHENSIVE ORTHOPAEDICS	110-09-56405-161-000	10/27/15 W/C	72.80
			110-09-56405-161-000	8/28/15 W/C	72.80
			110-09-56405-161-000	8/7/15 W/C	72.80
				..... CHECK TOTAL	218.40
154980	1/08	ABSOLUTE SOLUTIONS	110-09-56405-161-000	9/15/15 W/C	2,040.44
154981	1/08	CADY, DR. CHARLES MD, SC	206-02-52205-219-000	112/15 MEO DIRECTOR	5,912.67
154982	1/08	MSC GROUP INC.	110-09-56405-161-000	12/20/15 W/C	270.53
154983	1/08	BACK-2-HEALTH INC	110-09-56405-161-000	11/25/15 W/C	114.49
			110-09-56405-161-000	11/24/15 W/C	114.49
				..... CHECK TOTAL	228.98
154984	1/08	BIG BALLOON TYCOON	110-01-50605-219-000	YOUTH COMM RECEPTE	100.00
154985	1/08	BROWN, ANGETTA D	110-00-21111-000-000	COURT PYMT T535883	80.00
154986	1/08	NELSON, CHARLES & MICHELLE	110-00-21106-000-000	2015 TAX REFUND	163.19
154987	1/08	MCAHON, DENNIS & KIMBERLY	110-00-21106-000-000	2015 TAX REFUND	603.08
154988	1/08	TITLE365	110-00-21106-000-000	2015 TAX REFUND	632.42
154989	1/08	VIGANSKY, GREGG & JOYCE	110-00-21106-000-000	2015 TAX REFUND	401.29
154990	1/08	NELSON, GARY & VALERIE	110-00-21106-000-000	2015 TAX REFUND	109.08
154991	1/08	AMUNDSON, JANET	110-00-21106-000-000	2015 TAX REFUND	106.57
154992	1/08	CROCE, MARK	110-00-21106-000-000	2015 TAX REFUND	215.46
154993	1/08	FINLEY, JANE E.	110-09-56405-161-000	11/6-12/30/15 W/C	85.68
154994	1/08	FITZGERALD, TRAVIS A	110-09-56405-161-000	9-12/15 MILEAGE REIM	537.55
154995	1/08	BURFIELD, SARA	110-00-21106-000-000	2015 TAX REFUND	412.51

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
154996	1/08	FELKER, SETH & KATHRYN	110-00-21106-000-000	2015 TAX REFUND	155.38
154997	1/08	VOGELMAN, ROBERT & LINDA	110-00-21106-000-000	2015 TAX REFUND	240.15
154998	1/08	MATTHEWS, BRADLEY	110-00-21106-000-000	2015 TAX REFUND	202.75
154999	1/08	JORDAN, CAROLINA	110-00-21106-000-000	2015 TAX REFUND	109.28
155000	1/08	BELCHER, GREGORY & RITA	110-00-21106-000-000	2015 TAX REFUND	171.99
155001	1/08	EHRICH, FREDERICK	110-00-21106-000-000	2015 TAX REFUND	187.48
155002	1/08	REIDENBACH, KEITH	110-00-21106-000-000	2015 TAX REFUND	417.75
155003	1/08	TUDJAN, JONATHAN & LONI	110-00-21106-000-000	2015 TAX REFUND	177.83
155004	1/08	CORNELL, JOHN & LYNN	110-00-21106-000-000	2015 TAX REFUND	123.12
155005	1/08	CORNELL, JOHN & LYNN	110-00-21106-000-000	2015 TAX REFUND	227.07
155006	1/08	JEZISKI, DONALD	110-00-21106-000-000	2015 TAX REFUND	487.97
155007	1/08	BURNETT, JAMES & NANCY	110-00-21106-000-000	2015 TAX REFUND	249.34
155008	1/08	SCHNEEBERGER, DEANE	110-00-21106-000-000	2015 TAX REFUND	128.02
155009	1/08	GLISTA, GREG & LISA	110-00-21106-000-000	2015 TAX REFUND	129.27
155010	1/08	GUTIERREZ, ORLANDO & CANDY	110-00-21106-000-000	2015 TAX REFUND	171.81
155011	1/08	SOLOVEY, EDWARD	110-00-21106-000-000	2015 TAX REFUND	273.16
155012	1/08	WHITMER, JACK & SHARANNE	110-00-21106-000-000	2015 TAX REFUND	924.93
155013	1/08	HARTNELL, LEONARD & CLARE	110-00-21106-000-000	2015 TAX REFUND	213.54
155014	1/08	PARKER, CARMELA	110-00-21106-000-000	2015 TAX REFUND	158.65
155015	1/08	MECUM, WESLEY	110-00-21106-000-000	2015 TAX REFUND	160.12

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155016	1/08	CONGINE, NICHOLAS	110-00-21106-000-000	2015 TAX REFUND	169.99
155017	1/08	WILLIAMS, MICHAEL	110-00-21106-000-000	2015 TAX REFUND	588.99
155018	1/08	MUNNS, THERESA	110-00-21106-000-000	2015 TAX REFUND	261.48
155019	1/08	BUFTON, PATRICK	110-00-21106-000-000	2015 TAX REFUND	114.10
155020	1/08	KLESS STARKS, KELLY & CAROL	110-00-21106-000-000	2015 TAX REFUND	154.53
155021	1/08	STANFORD, RUSSEL & SARAH	110-00-21106-000-000	2015 TAX REFUND	137.36
155022	1/08	VAN SLOCHTEREN, GUY & SHEILA	110-00-21106-000-000	2015 TAX REFUND	287.73
155023	1/08	HENRY, MATTHEW & KIM	110-00-21106-000-000	2015 TAX REFUND	117.92
155024	1/08	IRELAND, HARRY & CARMEN	110-00-21106-000-000	2015 TAX REFUND	473.04
155025	1/08	LANGENDORF, WILLIAM & DEBRA	110-00-21106-000-000	2015 TAX REFUND	144.14
155026	1/08	HAUG, STEVEN & BERNADETTE	110-00-21106-000-000	2015 TAX REFUND	150.56
155027	1/08	DIAZ, OSMAN	110-00-21106-000-000	2015 TAX REFUND	394.96
155028	1/08	BELLA, ALAN	110-00-21106-000-000	2015 TAX REFUND	530.12
155029	1/08	HENDRICKSON, MICHAEL & LINDA	110-00-21106-000-000	2015 TAX REFUND	458.18
155030	1/08	CAPPONI, RICHARD & JUDY	110-00-21106-000-000	2015 TAX REFUND	2,000.00
155031	1/08	SWARD, LAURIE	110-00-21106-000-000	2015 TAX REFUND	388.67
155032	1/08	RAMSDELL, DANIEL	110-00-21106-000-000	2015 TAX REFUND	651.93
155033	1/08	CHIAPPETTA, ANTHONY	110-00-21106-000-000	2015 TAX REFUND	610.36
155034	1/08	STROOBANTS, BETTY	110-00-21106-000-000	2015 TAX REFUND	170.92
155035	1/08	ZEMATIS, JEFF & ERIN	110-00-21106-000-000	2015 TAX REFUND	391.86

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155036	1/08	CORSO, DUANE & ROSEMARY	110-00-21106-000-000	2015 TAX REFUND	192.65
155037	1/08	RATH, IRVIN & JEANETTE	110-00-21106-000-000	2015 TAX REFUND	1,136.93
155038	1/08	RUFFALO, JAMES	110-00-21106-000-000	2015 TAX REFUND	326.72
155039	1/08	AXELSON, MICHAEL	110-00-21107-000-000	LOTTERY CR. REFUND	114.25
155040	1/08	JULIANA, PATRICK & MARILYN	110-00-21106-000-000	2015 TAX REFUND	116.14
155041	1/08	NERDRUM, CLARK R	110-00-21106-000-000	2015 TAX REFUND	210.19
155042	1/08	STICH, DAVID & KATHLEEN	110-00-21106-000-000	2015 TAX REFUND	231.64
155043	1/08	KOSKINEN, AMY & SHANNON	110-00-21106-000-000	2015 TAX REFUND	425.41
155044	1/08	EVANS, ROMELL & JESSIE	110-00-21106-000-000	2015 TAX REFUND	166.39
155045	1/08	BROUGHMAN, STEVE & LORI	110-00-21106-000-000	2015 TAX REFUND	236.56
155046	1/08	JULIANA, PATRICK & MARILYN	110-00-21106-000-000	2015 TAX REFUND	204.02
155047	1/08	KAMIN, EDWARD	110-00-21106-000-000	2015 TAX REFUND	164.22
155048	1/08	STAVES, LAURIE	110-00-21106-000-000	2015 TAX REFUND	109.96
155049	1/08	PERRY, JAMES & MARY	110-00-21106-000-000	2015 TAX REFUND	171.53
155050	1/08	EVENSON, GLENN	110-00-21107-000-000	LOTTERY CR. REFUND	114.25
155051	1/08	MUNDY, TIMOTHY & ANGELA	110-00-21106-000-000	2015 TAX REFUND	70.14
155052	1/08	BRIGGS, MICHAEL & NICOLE	110-00-21106-000-000	2015 TAX REFUND	297.31
155053	1/08	FULTON, JAMES & BARBARA	110-00-21106-000-000	2015 TAX REFUND	337.53
155054	1/08	POLLOCK, PAULA	110-00-21106-000-000	2015 TAX REFUND	356.14
155055	1/08	HYBICKI, SAMUEL	110-00-21106-000-000	2015 TAX REFUND	178.23

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
155056	1/08	ZOCCHI, DYLAN	110-00-21106-000-000	2015 TAX REFUND	360.87
155057	1/08	OLSEN, DALE	110-00-21106-000-000	2015 TAX REFUND	139.38
155058	1/08	TITLE 365 CORPORATE	110-00-21106-000-000	2015 TAX REFUND	538.05
155059	1/08	SINGER, DARRELL	110-00-21106-000-000	2015 TAX REFUND	75.20
155060	1/08	LALGEE, JOHN & KIMBERLY	110-00-21106-000-000	2015 TAX REFUND	96.90
155061	1/08	KONTOGIANNIS, GEORGE & JESSI	110-00-21106-000-000	2015 TAX REFUND	23.36
155062	1/08	TUTLEWSKI, MARC & DEBRA	110-00-21106-000-000	2015 TAX REFUND	142.61
155063	1/08	ROMANO, MARY	110-00-21106-000-000	2015 TAX REFUND	212.20
155064	1/08	CALDARA, BARTON & TINA	110-00-21106-000-000	2015 TAX REFUND	130.21
155065	1/08	FOSCO, KATHLEEN	110-00-21106-000-000	2015 TAX REFUND	327.26
155066	1/08	MERSAND, GERALD	110-00-21106-000-000	2015 TAX REFUND	148.40
155067	1/08	HOEL, HEIDI	110-00-21106-000-000	2015 TAX REFUND	351.53
155068	1/08	SIMONS, RICHARD	110-00-21106-000-000	2015 TAX REFUND	66.63
155069	1/08	MARTIN, JOHN & JEAN	110-00-21106-000-000	2015 TAX REFUND	502.26
155070	1/08	VARGAS, DEBBY	110-00-21106-000-000	2015 TAX REFUND	308.38
155071	1/08	TOWN HOME MANAGEMENT LLC	110-00-21106-000-000	2015 TAX REFUND	1,688.56
155072	1/08	TOWN HOME MANAGEMENT LLC	110-00-21106-000-000	2015 TAX REFUND	225.14
155073	1/08	WALLER, MARK & NORALEE	110-00-21106-000-000	2015 TAX REFUND	113.78
155074	1/08	GRAEF, MICHAEL	110-00-21106-000-000	2015 TAX REFUND	509.60
155075	1/08	DOWE, JULIE	110-00-21106-000-000	2015 TAX REFUND	165.23

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
155076	1/08	WILSON, DOUGLAS & LACINDA	110-00-21106-000-000	2015 TAX REFUND	297.75
155077	1/08	ZDANOWICZ, JAMES & LINDA	110-00-21106-000-000	2015 TAX REFUND	105.76
155078	1/08	FILIP, JARED	110-00-21106-000-000	2015 TAX REFUND	13.76
155079	1/08	GASTALDI, EDGAR & SANDRA	110-00-21106-000-000	2015 TAX REFUND	151.03
155080	1/08	KRAJACIC, FRANK & PATRICIA	110-00-21106-000-000	2015 TAX REFUND	122.99
155081	1/08	SWIATKO, RENEE	110-00-21106-000-000	2015 TAX REFUND	589.47
155082	1/08	AUSSIE LLC	110-00-21106-000-000	2015 TAX REFUND	212.91
155083	1/08	VILLALOBOS, HUMBERTO AND	110-00-21106-000-000	2015 TAX REFUND	174.95
155084	1/08	AKHAVEIN, SOHRAB & KASSONDRA	110-00-21106-000-000	2015 TAX REFUND	240.76
155085	1/08	MATTNER, STEVEN	110-00-21106-000-000	2015 TAX REFUND	161.52
155086	1/08	SHARP, ROBERT & LISA	110-00-21106-000-000	2015 TAX REFUND	602.54
155087	1/13	A & B/ARO LOCK	520-09-50201-249-000 110-03-53103-389-000	12/15 TD-DUP KEYS 12/15 ST-SUPL/SERVC CHECK TOTAL	20.00 9.00 29.00
155088	1/13	NEW FLYER	520-09-50201-347-000	12/15 BUS PARTS	263.73
155089	1/13	RNOW, INC.	630-09-50101-393-000 630-09-50101-393-000 630-09-50101-393-000	12/15 PARTS/MATERLS 12/15 #3328 PARTS 12/15 PARTS/MATERLS CHECK TOTAL	3,846.44 227.96 73.80 4,148.20
155090	1/13	HWY C SERVICE	630-09-50101-393-000	12/15 #3186 PARTS	55.35
155091	1/13	INTERSTATE ELECTRIC SUPPLY	520-09-50201-347-000	12/15 TD-ELECTRICAL	1,332.63
155092	1/13	KENOSHA NEWS	110-01-51601-321-000 110-01-51601-321-000 110-00-21104-000-000	12/15 TAX DIST #18 12/15 CD-JOINT REVW 12/15 BP STEIN LIC. CHECK TOTAL	49.74 24.44 21.93 96.11

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
155093	1/13	KENOSHA WATER UTILITY	227-09-50101-223-000	9/30-11/30/15 SWU	14,950.38
155094	1/13	WELDCRAFT, INC.	630-09-50101-393-000	12/15 CE-WELDING SRV	385.00
155095	1/13	REINDERS INC.	110-05-55109-344-000	12/15 PA-PARTS/SERV	46.32
155096	1/13	WISCONSIN FUEL & HEATING	630-09-50101-393-000 630-09-50101-393-000	12/15 CE-LUBRICANTS/ 12/15 CE-LUBRICANTS/ CHECK TOTAL	1,624.94 1,401.40 3,026.34
155097	1/13	OFFICEMAX	110-02-52201-311-000 110-02-52201-311-000 110-01-51301-311-000 632-09-50101-311-000 110-01-51101-311-000	09/15 FD #3263 OFC 09/15 FD #3263 OFC 12/15 AD #3322 OFC 12/15 SE #3320 OFC 12/15 FN #3149 RTN CHECK TOTAL	91.89 66.47 60.12 50.34 39.52CR 229.30
155098	1/13	ZAK, PAUL	110-02-52203-165-000	01/16 BENEFITS	861.97
155099	1/13	PAT'S SERVICES, INC.	524-05-50101-282-000	5/25-6/21 GOLF CRSE	252.00
155100	1/13	LINCOLN CONTRACTORS SUPPLY	110-05-55109-361-000 110-03-53110-389-000 110-03-53109-375-000	12/15 PA-TOOLS/SPPL 12/15 ST-TOOLS/SUPL 12/15 ST-TOOLS/SUPL CHECK TOTAL	149.00 115.00 28.69 292.69
155101	1/13	NATIONAL CONSTRUCTION RENTAL	110-09-56501-259-565	12/15 6415 28 AV-FNC	293.88
155102	1/13	EMS MEDICAL BILLING ASSOC.	206-02-52205-219-000 206-02-52205-219-000 110-00-46209-999-000	11/15 BILLING FEE 10/15 COLL FEE 11/15 BILLING FEE CHECK TOTAL	13,533.57 1,251.31 298.96 15,083.84
155103	1/13	PITNEY BOWES	110-01-51306-282-000	12/15 MACHINE LEASE/	386.59
155104	1/13	VERMEER SALES & SERVICE	630-09-50101-393-000 630-09-50101-393-000	12/15 #3183 PARTS/SE 12/15 #3183 PARTS/SE CHECK TOTAL	168.88 30.88 199.86
155105	1/13	5 ALARM FIRE & SAFETY EQUIP.	110-02-52203-235-000	12/15 PARTS/MAINTNC	791.98

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
155106	1/13	LEE PLUMBING, INC.	521-09-50101-241-000	11/15 AR-HVAC, PLUMBI	1,134.50
			632-09-50101-241-000	11/15 SE-HVAC, PLUMBI	751.00
			521-09-50101-241-000	11/15 AR-HVAC, PLUMB	405.50
				..... CHECK TOTAL	2,291.00
155107	1/13	LAKESIDE INTERNATIONAL TRUCK	110-03-53103-344-000	MAJOR ENGINE REPAIRS	18,379.72
			110-03-53103-344-000	ENGINE REPAIRS	3,197.41
				..... CHECK TOTAL	21,577.13
155108	1/13	FRONTIER	110-02-52203-225-000	12/22-1/21/16 FIRE	42.05
155109	1/13	CUMMINS NPOWER, LLC	520-09-50201-347-000	MISC BUS PARTS	1,816.99
			520-09-50201-347-000	MISC BUS PARTS	1,420.78
				..... CHECK TOTAL	3,237.77
155110	1/13	WASTE MANAGEMENT OF WI	110-03-53117-253-416	12/15 1198.34 TONS	29,874.62
			110-03-53117-253-416	12/15 WDNR TONNAGE	15,578.42
			110-03-53117-253-417	12/15 13 PULLS	2,327.13
			110-03-53117-253-417	12/15 76.50 TONS	1,907.15
			501-09-50104-253-000	12/15 73.74 TONS	1,838.34
			110-03-53117-253-416	12/15 FUEL SURCHARGE	1,213.14
			110-03-53117-253-417	12/15 WDNR TONNAGE	975.00
			501-09-50104-253-000	12/15 WDNR TONNAGE	958.62
			110-03-53117-253-417	12/15 COMPACTR RENT	739.96
			110-03-53117-253-416	12/15 ENVIRO SURCHG	324.00
			110-03-53117-253-417	12/15 FUEL SURCHARGE	174.41
			501-09-50104-253-000	12/15 FUEL SURCHARGE	78.90
			110-03-53117-253-417	12/15 ENVIRO SURCHG	78.00
			501-09-50104-253-000	12/15 ENVIRO SURCHG	54.00
				..... CHECK TOTAL	56,121.69
155111	1/13	GETUM, INC.	501-09-50105-355-000	MANHOLE PROTECT RING	5,550.00
			501-09-50105-361-000	HEAT TORCH	940.00
				..... CHECK TOTAL	6,490.00
155112	1/13	VERIZON WIRELESS	227-09-50101-219-000	11/19-12/18 KEP LN	39.52
155113	1/13	WRIGHT EXPRESS FSC	110-03-53109-341-000	12/15 CNG PURCHASES	3.20
			110-03-53103-341-000	12/15 CNG PURCHASES	.80
			 CHECK TOTAL	4.00

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
155114	1/13	LOGISTICS PLUS	205-03-53118-219-000 205-03-53118-219-000	12/15 TIRE RECYCLING 12/15 TIRE RECYCLING CHECK TOTAL	1,700.00 1,300.00 3,000.00
155115	1/13	WAUSAU EQUIPMENT CO.	630-09-50101-393-000 630-09-50101-393-000	12/15 PLOW PARTS/MAT 12/15 PLOW PARTS/MAT CHECK TOTAL	2,982.82 1,455.50 4,438.32
155116	1/13	MSC INDUSTRIAL SUPPLY	630-09-50101-393-000 520-09-50201-347-000 630-09-50101-393-000	12/15 CE-FASTENERS 12/15 TD-SHOP SUPPL 12/15 CE-FASTENERS CHECK TOTAL	1,005.11 272.97 30.03 1,308.11
155117	1/13	FORCE AMERICA	520-09-50201-347-000 630-09-50101-393-000	20 GALLON RESEVOIR 12/15 PARTS/MATERLS CHECK TOTAL	354.62 95.32 449.94
155118	1/13	MENARDS (KENOSHA)	110-05-55108-368-000 110-05-55108-368-000 110-03-53110-389-000 110-03-53107-344-000 110-05-55109-246-000	12/15 PA-MERCHANDISE 12/15 PA-MERCHANDISE 12/15 ST-MERCHANDISE 12/15 ST-MERCHANDISE 12/15 PA-MERCHANDISE CHECK TOTAL	471.79 300.23 51.91 28.60 21.92 874.45
155119	1/13	PIONEER ATHLETICS	110-05-55102-386-000 110-05-55102-386-000 110-05-55102-386-000	MARKERS FIELD PUMP MUD STRAINER CHECK TOTAL	179.95 99.95 15.95 295.85
155120	1/13	HERBST OIL, INC.	520-09-50106-341-000	12/15 DIESEL FUEL	10,824.54
155121	1/13	TKK ELECTRONICS	723-00-21963-000-000	LAPTOPS/ACCESSORIES	5,000.00
155122	1/13	ANAYA'S AUTO REPAIR	520-09-50201-344-000	TRK 3071 ALLIGNMENT	365.16
155123	1/13	CERTIFIED LABORATORIES	520-09-50106-341-000	DURA-GARD AEROSOL	238.00
155124	1/13	APWA	110-01-51303-326-000	JOB POSTING	295.00
155125	1/13	LEE PLUMBING, HEATING AND	110-02-52203-241-000	BOILER REPAIRS	4,890.00

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
155126	1/13	WHOLESALE DIRECT INC	206-02-52205-344-000	12/15 FD-PARTS/MTRL	63.49
155127	1/13	MILWAUKEE SPRING AND	630-09-50101-393-000	12/15 #2676 PARTS	582.16
155128	1/13	FOX VALLEY CHEMICAL CO	110-02-52203-382-000	12/15 STN3 CONSUMABL	149.40
155129	1/13	ERICKSON AUTO TRIM	630-09-50101-393-000	12/15 #2272 UPHOLSTR	450.00
155130	1/13	RIMKUS, JASON	761-09-50101-111-000	01/01-51/16 SERVICE	2,001.28
			761-00-21514-000-000	01/01-51/16 SERVICE	29.02CR
			761-00-21599-000-000	01/01-51/16 SERVICE	100.06CR
			761-00-21512-000-000	01/01-51/16 SERVICE	100.70CR
			761-00-21511-000-000	01/01-51/16 SERVICE	124.08CR
			761-00-21513-000-000	01/01-51/16 SERVICE	236.00CR
				..... CHECK TOTAL	1,411.42
155131	1/13	PIRO, RALPH	761-09-50101-111-000	01/01-15/16 SERVICE	948.80
			761-00-21514-000-000	01/01-15/16 SERVICE	13.76CR
			761-00-21599-000-000	01/01-15/16 SERVICE	25.00CR
			761-00-21512-000-000	01/01-15/16 SERVICE	32.80CR
			761-00-21511-000-000	01/01-15/16 SERVICE	58.83CR
			761-00-21513-000-000	01/01-15/16 SERVICE	81.00CR
				..... CHECK TOTAL	737.41
155132	1/13	AIRGAS NORTH CENTRAL	520-09-50201-317-000	12/15 TD-INDSTL GAS	116.13
			520-09-50201-317-000	12/15 TD-INDSTL GAS	108.62
			520-09-50201-317-000	12/15 T0-CREDIT	9.41CR
				..... CHECK TOTAL	215.34
155133	1/13	RED THE UNIFORM TAILOR	110-02-52103-365-000	12/15 PD-UNIFORMS	338.25
			110-02-52103-365-000	12/15 PD-UNIFORMS	248.00
			110-02-52103-367-000	12/15 PD-UNIFORMS	230.50
			110-02-52103-367-000	12/15 PD-UNIFORMS	117.90
				..... CHECK TOTAL	934.65
155134	1/13	TOTAL ENERGY SYSTEMS, LLC	110-02-52103-231-000	ANNUAL MAINTENANCE	612.00
155135	1/13	ATHLETIC & THERAPEUTIC INST.	110-09-56405-161-000	12/2-7/15 W/C	1,290.99
			110-09-56405-161-000	11/2/15 W/C	398.61
			110-09-56405-161-000	11/30/15 W/C	368.73
			110-09-56405-161-000	11/4/15 W/C	368.73
			110-09-56405-161-000	11/2/15 W/C	368.73
			110-09-56405-161-000	9/04/15 W/C	300.14
			110-09-56405-161-000	9/08/15 W/C	300.14
			110-09-56405-161-000	8/31/15 W/C	229.70
			 CHECK TOTAL	3,625.77

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
155136	1/13	CHRISTMAN, STEVEN & BRENDA	110-00-21106-000-000	2015 TAX REFUND	281.86
155137	1/13	CONRAD, ROBERT & NADEAN	110-00-21106-000-000	2015 TAX REFUND	8.51
155138	1/13	CORELOGIC	110-00-21106-000-000		31,441.20
155139	1/13	HELLER, JOHN & DIANE	110-00-21106-000-000	2015 TAX REFUND	222.52
155140	1/13	DAY, JULIE A	110-00-21106-000-000	2015 TAX REFUND	680.01
155141	1/13	MEYER, WILLIAM & CARRIE	110-00-21106-000-000	2015 TAX REFUND	113.04
155142	1/13	BOSCHER, GLORIA	110-00-21106-000-000	2015 TAX REFUND	548.54
155143	1/13	PELTIER, MICHAEL & ELIZABETH	110-00-21106-000-000	2015 TAX REFUND	170.86
155144	1/13	SCHULZ, HEATHER	110-00-21106-000-000	2015 TAX REFUND	303.49
155145	1/13	NOVAK, SCOTT & LORRIE	110-00-21106-000-000	2015 TAX REFUND	184.97
155146	1/13	RUGG, LAWRENCE	110-00-21106-000-000	2015 TAX REFUND	160.60
155147	1/13	JOHNSON, ERIC & KRISTINA	110-00-21106-000-000	2015 TAX REFUND	12.46
155148	1/13	BARCA, PETER & KATHLEEN	110-00-21106-000-000	2015 TAX REFUND	237.73
155149	1/13	HODGSON, JEFFREY & DEBRA	110-00-21106-000-000	2015 TAX REFUND	229.75
155150	1/13	ZIZZO, JEFFRY & STACEY	110-00-21106-000-000	2015 TAX REFUND	260.32
155151	1/13	HYLLBERG, JAMES & LAURA	110-00-21106-000-000	2015 TAX REFUND	17.39
155152	1/13	MCDEVITT, PATRICK & CONNIE	110-00-21106-000-000	2015 TAX REFUND	7.28
155153	1/13	PITTS, JACQUELINE	110-00-21106-000-000	2015 TAX REFUND	411.29
155154	1/13	KURTZ, JANE	110-00-21106-000-000	2015 TAX REFUND	92.73
155155	1/13	MUELLER, RANDALL & LISA	110-00-21106-000-000	2015 TAX REFUND	282.91

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
155156	1/13	NYE, GEORGIAN	110-00-21106-000-000	2015 TAX REFUND	140.38
155157	1/13	KORNELY, SUSAN	110-00-21106-000-000	2015 TAX REFUND	122.91
155158	1/13	DAVIES, TOD & JENNIFER	110-00-21106-000-000	2015 TAX REFUND	266.39
155159	1/13	BECK, PATRICK	110-00-21106-000-000	2015 TAX REFUND	168.92
155160	1/13	PEEL, ARTHUR & FRANCES	110-00-21106-000-000	2015 TAX REFUND	232.52
155161	1/13	LUGO, FABIO & LYNN	110-00-21106-000-000	2015 TAX REFUND	216.43
155162	1/13	BUCHKOVYCH, IHOR & OLHA	110-00-21106-000-000	2015 TAX REFUND	243.74
155163	1/13	JOHN, JOSHUA & NICOLE	110-00-21106-000-000	2015 TAX REFUND	167.29
155164	1/13	KAWLEWSKI, GLEN & KAREN	110-00-21106-000-000	2015 TAX REFUND	32.30
155165	1/13	MANG, JOSHUA	110-00-21106-000-000	2015 TAX REFUND	55.16
155166	1/13	DRECHNEY, ERICK & SARAH	110-00-21106-000-000	2015 TAX REFUND	640.36
155167	1/13	BROWN, ROBERT	110-00-21106-000-000	2015 TAX REFUND	411.40
155168	1/13	DAHL, KAREN	110-00-21106-000-000	2015 TAX REFUND	607.43
155169	1/13	LORBACH, JAMES & JESSICA	110-00-21106-000-000	2015 TAX REFUND	181.24
155170	1/13	GATEWAY MORTGAGE CORP	110-00-21106-000-000		2,688.36
155171	1/13	DICKOW, JEFFERY C	110-00-21106-000-000	2015 TAX REFUND	143.41
155172	1/13	DICKOW, JEFFERY	110-00-21106-000-000	2015 TAX REFUND	136.57
155173	1/13	BENSER, DANIEL	110-00-21106-000-000	2015 TAX REFUND	524.58
155174	1/13	WILDES, TINA	110-00-21106-000-000	2015 TAX REFUND	276.81
155175	1/13	EDWARDS, DERON & LINDY	110-00-21106-000-000	2015 TAX REFUND	454.96

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
155176	1/13	ANDERSON, MARLENE	110-00-21106-000-000	2015 TAX REFUND	199.50
155177	1/13	CZAJKOWSKI, PATRICIA	110-00-21106-000-000	2015 TAX REFUND	164.54
155178	1/13	CHL COLONIAL LLC	110-00-21106-000-000	2015 TAX REFUND	1,861.99
155179	1/13	ANDERSON, STEVEN	110-00-21106-000-000	2015 TAX REFUND	148.39
155180	1/13	POKER, LYNN	110-00-21106-000-000	2015 TAX REFUND	87.55
155181	1/13	JOHNSON BANK	110-00-21106-000-000	2015 TAX REFUND	367.19
155182	1/13	GOTZ, COURTNEY	110-00-21106-000-000	2015 TAX REFUND	200.71
155183	1/13	FECHTNER, MARC & JULIA	110-00-21106-000-000	2015 TAX REFUND	133.15
155184	1/13	TEETER, JULIE	110-00-21106-000-000	2015 TAX REFUND	222.90
155185	1/13	JARANЕК, LILLY	110-00-21106-000-000	2015 TAX REFUND	608.07
155186	1/13	ORTIZ, ALEXANDER & JANET	110-00-21106-000-000	2015 TAX REFUND	266.23
155187	1/13	VANT, KELLY	110-00-21106-000-000	2015 TAX REFUND	1,390.30
155188	1/13	JONES, ERIC & AMY FETZIK	110-00-21106-000-000	2015 TAX REFUND	242.29
155189	1/13	HOME CONNECTIONS LLC	110-00-21106-000-000	2015 TAX REFUND	15.83
155190	1/13	DURAN, TERESA	110-00-21107-000-000	LOTTERY CR. REFUND	114.25
155191	1/15	BINDELLI CONSTRUCTION INC	110-09-56501-259-569	12/15 2804 43RD ST	98.00
155192	1/15	WE ENERGIES	110-03-53109-221-000 110-05-55109-221-000	12/15-STREETLIGHTING 12/15-STREETLIGHTING CHECK TOTAL	65,954.04 369.70 66,323.74
155193	1/15	RNOW, INC.	630-09-50101-393-000	12/15-SE#2921 PARTS/	1,330.82
155194	1/15	CHESTER ELECTRONICS SUPPLY	520-09-50201-347-000	12/15 TD-PARTS/MTRL	37.96

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
155195	1/15	VIKING ELECTRIC SUPPLY	110-03-53109-374-000	LIGHT FIXTURE	1,975.00
			110-03-53117-246-000	12/15-WA ELECTRICAL	241.06
			110-03-53109-375-000	12/15-ST ELECTRICAL	139.10
			110-03-53109-375-000	12/15-ST ELECTRICAL	99.74
			110-03-53109-375-000	12/15-ST ELECTRICAL	65.79
			632-09-50101-246-000	12/15-SE ELECTRICAL	44.19
			110-03-53109-361-000	12/15-ST ELECTRICAL	41.58
			110-03-53117-246-000	12/15-WA ELECTRICAL	28.84
			632-09-50101-246-000	12/15-SE ELECTRICAL	25.84
			110-03-53109-375-000	12/15-ST ELECTRICAL	22.48
			632-09-50101-246-000	12/15-SE ELECTRICAL	16.47
			110-03-53116-246-000	12/15-WA ELECTRICAL	14.42
				..... CHECK TOTAL	2,714.51
155196	1/15	KENOSHA AREA CONVENTION &	110-00-41204-999-000	1/15/16 PROJ 2016	155,280.18
155197	1/15	GENERAL COMMUNICATIONS, INC.	110-02-52203-369-000	12/15 FD-MISC ITEMS	234.00
155198	1/15	INTERSTATE ELECTRIC SUPPLY	110-03-53103-246-000	12/15 ST-ELECTRICAL	28.20
			110-03-53109-375-000	12/15 ST-ELECTRICAL	9.79
				..... CHECK TOTAL	37.99
155199	1/15	WIS DEPT OF REVENUE	110-09-56507-259-999	12/15 SALES TAX	6,558.35
155200	1/15	WIS DEPT OF REVENUE	110-01-51101-311-000	16-17 BUS TAX REG	10.00
155201	1/15	KENOSHA CITY EMPLOYEE'S	110-00-21562-000-000	01/15/16 CITY SAL	29,756.73
			110-00-21562-000-000	01/15/16 CITY HRLY	8,428.00
			110-00-21562-000-000	01/15/16 WATER SAL	6,661.00
			110-00-21562-000-000	01/15/16 LIBRARY	4,648.50
			110-00-21562-000-000	01/15/16 WATER HRLY	3,100.62
			110-00-21562-000-000	01/15/16 MUSEUM HRLY	15.00
				..... CHECK TOTAL	52,609.85
155202	1/15	UNITED WAY OF KENOSHA COUNTY	110-00-21541-000-000	01/15/16 CITY SAL	707.31
			110-00-21541-000-000	01/15/16 LIBRARY	236.00
			110-00-21541-000-000	01/15/16 WATER SAL	138.75
				..... CHECK TOTAL	1,082.06
155203	1/15	KENOSHA NEWS	110-01-50101-321-000	12/15 ST PETERS ZONE	48.60
			110-01-50101-321-000	12/15 ST PETERS RES	37.20
			110-01-50101-321-000	12/15 HARPE-REOLUTN	36.06
			110-01-50101-321-000	12/15 HARPE-ZONING	31.50
			 CHECK TOTAL	153.36

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
155204	1/15	KENOSHA POLICE & FIREMEN'S	110-00-21563-000-000 110-00-21563-000-000	01/15/16 CITY SAL 01/15/16 WATER CHECK TOTAL	81,327.00 40.00 81,367.00
155205	1/15	KENOSHA UNIFIED SCHOOL	110-05-55109-221-000	OCT/NOV AMECHE ELEC	387.92
155206	1/15	NPELRA	110-01-51001-264-000	S STANCZAK '16 CONF	125.00
155207	1/15	SHERWIN WILLIAMS CO.	420-11-51202-583-000	REMODEL RM 201	60.82
155208	1/15	TRAFFIC & PARKING CONTROL CO	110-05-55101-311-000 110-03-53110-372-000 110-03-53110-372-000	12/15 PARK SIGNS POST, ROUND 2-3/8" SIGN BRACKET CHECK TOTAL	2,654.15 2,160.28 317.50 5,131.93
155209	1/15	VAN'S ROOFING, INC	110-01-51801-245-000	REPAIR ROOF LEAK	334.34
155210	1/15	WE ENERGIES	110-03-53109-221-000 110-03-53109-221-000 110-02-52203-221-000 110-03-53109-221-000 110-03-53109-221-000 110-03-53103-221-000 110-03-53109-221-000 110-05-55109-221-000 110-05-55109-221-000 110-02-52203-222-000 110-05-55109-221-000 110-03-53109-221-000 110-05-55102-221-000 110-02-52203-222-000 110-05-55109-221-000 110-05-55109-221-000 110-05-55109-221-000 110-05-55102-221-000 110-05-55109-221-000 110-03-53109-221-000 632-09-50101-221-000 519-09-50106-221-000 110-05-55109-222-000 110-05-55109-221-000 110-05-55109-221-000 110-05-55109-221-000	#1 11/16-12/17 #1 11/15-12/16 #1 11/11-12/14 #1 11/11-12/14 #1 11/09-12/10 #1 11/10-12/13 #1 10/20-11/18 #1 11/16-12/17 #1 11/10-12/13 #1 11/10-12/13 #1 11/15-12/16 #1 11/10-12/13 #1 11/13-12/16 #1 11/11-12/14 #1 11/11-12/14 #1 11/09-12/10 #1 11/10-12/11 #1 11/12-12/15 #1 11/13-12/16 #1 11/17-12/20 #1 11/16-12/17 #1 11/10-12/13 #1 11/10-12/13 #1 11/17-12/18 #1 11/12-12/15 #1 11/17-12/20 CHECK TOTAL	5,026.40 1,426.83 1,266.79 1,234.86 939.43 639.89 559.05 452.89 257.84 238.77 163.63 158.57 152.34 136.33 84.20 78.82 71.44 61.76 53.28 52.91 46.79 41.95 39.37 29.89 18.13 18.00 13,250.16

START DATE FOR SUMMARY: 1/01 END DATE FOR SUMMARY: 1/15

CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
155211	1/15	AMERICAN STUDENT ASSISTANCE	110-00-21581-000-000	01/15/16 DEDUCTION	238.68
155212	1/15	WISCONSIN FUEL & HEATING	630-09-50101-392-000	12/15-CE DIESEL FUEL	10,519.10
155213	1/15	ZARNOTH BRUSH WORKS, INC.	501-09-50104-344-000	12/15-SWEEPER PARTS/	4,254.00
155214	1/15	BROOKS TRACTOR, INC.	630-09-50101-393-000	12/15 #2216 PARTS/MA	1,281.40
155215	1/15	DICKOW CYZAK TILE CO.	420-11-51302-219-000	CARPET PATCH RM 203	544.00
155216	1/15	DON'S AUTO PARTS	630-09-50101-393-000 110-02-52203-341-000	12/15 CE-PARTS/MTRL 12/15 FD-PARTS/MTRL CHECK TOTAL	81.60 58.99 140.59
155217	1/15	FABICK	630-09-50101-393-000 630-09-50101-393-000 630-09-50101-393-000	12/15 CE-PARTS/MTRL 12/15 CE-PARTS/MTRL 12/15 CE-PARTS RETN CHECK TOTAL	613.35 7.72 169.62CR 451.45
155218	1/15	DOVER FLAG & MAP	110-05-55109-389-000	WINCH LOCK & KEY	52.50
155219	1/15	BEACON ATHLETICS	110-05-55102-386-000 110-05-55102-386-000 110-05-55102-386-000 110-05-55102-386-000 110-05-55102-386-000 110-05-55102-386-000 110-05-55102-386-000	FENCE CAPS CHALKER BASE ANCHOR, 1-1/2" HOME PLATES, INFIELD RAKES PLUGS FOR ANCHORS PLUGS, HEXAGON CHECK TOTAL	1,792.00 830.00 624.00 595.00 177.00 147.00 84.00 4,249.00
155220	1/15	LARK UNIFORM, INC.	110-02-52103-367-000	12/15-PD#616 UNIFORM	427.70
155221	1/15	CHASE BANK KENOSHA	110-00-21513-000-000 110-00-21511-000-000 110-00-21612-000-000 110-00-21514-000-000 110-00-21614-000-000	01/15/16 DEDUCTIONS 01/15/16 DEDUCTIONS 01/15/16 DEDUCTIONS 01/15/16 DEDUCTIONS 01/15/16 DEDUCTIONS CHECK TOTAL	222,009.50 88,500.54 88,499.75 27,161.12 27,160.53 453,331.44
155222	1/15	TDS	110-01-51801-227-000 110-00-15202-000-000 520-09-50301-227-000 110-03-53103-227-000 110-00-14401-000-000 632-09-50101-227-000 110-05-55109-227-000 521-09-50101-227-000 501-09-50101-227-000 110-03-53116-227-000	01/16 PHONE SERVICE 01/16 PHONE SERVICE 01/16 PHONE SERVICE 01/16 PHONE SERVICE 01/16 PHONE SERVICE 01/16 PHONE SERVICE 01/16 PHONE SERVICE 01/16 PHONE SERVICE 01/16 PHONE SERVICE 01/16 PHONE SERVICE	6,118.28 2,140.94 773.87 544.57 445.62 395.45 352.63 347.61 227.19 204.51

START DATE FOR SUMMARY: 1/01 END OATE FOR SUMMARY: 1/15

CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
			520-09-50401-227-000	01/16 PHONE SERVICE	142.48
			110-02-52108-225-000	01/16 PHONE SERVICE	134.70
			110-02-52110-227-000	01/16 PHONE SERVICE	105.15
			524-05-50101-227-000	01/16 PHONE SERVICE	97.05
			110-02-52108-225-000	01/16 PHONE CALLS	74.53
			520-09-50202-227-000	01/16 PHONE SERVICE	72.55
			110-02-52203-227-000	01/16 PHONE SERVICE	70.65
			206-02-52205-227-000	01/16 PHONE SERVICE	68.04
			110-05-55111-227-000	01/16 PHONE SERVICE	47.10
			110-01-51801-225-000	01/16 PHONE CALLS	31.13
			110-02-52110-225-000	01/16 PHONE CALLS	29.27
			110-03-53103-225-000	01/16 PHONE CALLS	1.64
			520-09-50301-225-000	01/16 PHONE SERVICE	1.62
			632-09-50101-225-000	01/16 PHONE CALLS	1.27
				..... CHECK TOTAL	12,427.85
155223	1/15	OFFICEMAX	110-05-55109-311-000	12/15-PA#3326 OFFICE	171.81
			110-01-50901-311-000	12/15-AS#3324 OFFICE	76.10
			110-01-52001-311-000	12/15-MC#3325 OFFICE	58.64
			110-01-50901-311-000	12/15-AS#3324 OFFICE	9.04
				..... CHECK TOTAL	315.59
155224	1/15	FIREFIGHTERS ASSOC/KENOSHA	110-00-21515-000-000	01/15/16 SAL OEOUCT	3,980.00
155225	1/15	HOLLANO SUPPLY, INC.	630-09-50101-393-000	12/15-CE HYDRAULIC F	247.20
			630-09-50101-393-000	12/15-CE HYDRAULIC F	216.98
			630-09-50101-393-000	12/15-CE HYDRAULIC F	11.02
				..... CHECK TOTAL	475.20
155226	1/15	KENOSHA FIREFIGHTER C.A.R.E.	110-00-21564-000-000	01/15/16 SAL OEDUCT	930.00
155227	1/15	ACCURATE PRINTING CO., INC.	110-02-52103-311-000	12/16 PO-EPS/OT TCKT	385.00
155228	1/15	SOUTHPORT HEATING & COOLING	633-09-50101-241-000	PREVENTATIVE MAINT.	350.00
155229	1/15	MANDLIK & RHODES	501-09-50102-219-000	12/15 YW COUPON PRG	843.19
			501-09-50102-219-000	12/15 YW ADMIN	350.00
			501-09-50102-219-000	12/15 YW COUPON PRG	38.89
				..... CHECK TOTAL	1,232.08

START DATE FOR SUMMARY: 1/01 END DATE FOR SUMMARY: 1/15

CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
155230	1/15	GUTTORMSEN, HARTLEY,	110-01-50301-219-000	11/15 SERVICES	225.00
155231	1/15	5 ALARM FIRE & SAFETY EQUIP.	110-02-52203-235-000	12/15 PARTS/MAINTNC	625.00
155232	1/15	KESSINGER, NANCY	110-01-50101-311-000	12/15 REPLENISH	57.60
			110-01-51301-311-000	12/15 REPLENISH	40.47
			110-01-51001-264-000	12/15 REPLENISH	30.00
			110-05-55101-263-000	12/15 REPLENISH	21.50
			110-01-51303-263-000	12/15 REPLENISH	18.84
			110-01-51101-311-000	12/15 REPLENISH	18.32
			110-01-51301-311-000	01/16 REPLENISH	16.35
			222-09-50101-259-000	12/15 REPLENISH	15.32
			761-09-50101-312-000	01/16 REPLENISH	14.68
			110-01-51303-312-000	12/15 REPLENISH	6.74
			631-09-50101-311-000	12/15 REPLENISH	6.00
			110-01-50301-311-000	12/15 REPLENISH	5.97
			110-01-51306-312-000	12/15 REPLENISH	2.71
				..... CHECK TOTAL	254.50
155233	1/15	HENRY SCHEIN	206-02-52205-318-000	12/15 MEDICAL SUPPL	327.37
			206-02-52205-318-000	12/15 MEDICAL SUPPL	207.87
			206-02-52205-318-000	12/15 MEDICAL SUPPL	206.79
			206-02-52205-318-000	12/15 MEDICAL SUPPL	120.95
			206-02-52205-318-000	12/15 MEDICAL SUPPL	120.95
			206-02-52205-318-000	12/15 MED SUPPL RETN	29.76CR
				..... CHECK TOTAL	954.17
155234	1/15	PALMEN MOTORS	630-09-50101-393-000	12/15-CE#3112 PARTS	215.12
155235	1/15	JENSEN TOWING	206-02-52205-344-000	TOW MED #5	176.00
			206-02-52205-344-000	TOW MED #5	98.00
				..... CHECK TOTAL	274.00
155236	1/15	ELECTRICAL CONTRACTORS, INC	110-05-55102-247-000	12/15 DIAMOND LTNG R	181.60
155237	1/15	PELION BENEFITS, INC.	110-00-21517-000-000	01/01-15/16 DEDUCTS	3,251.44
155238	1/15	JOHNSON BANK	110-00-21532-000-000	01/15/16 CITY SAL	28,987.27
			110-00-21532-000-000	01/15/16 WATER SAL	11,325.83
			110-00-21532-000-000	01/15/16 LIBRARY SAL	1,205.00
			110-00-21532-000-000	01/15/16 CITY HRLY	1,047.11
			110-00-21532-000-000	01/15/16 WATER HRLY	518.65
			 CHECK TOTAL	43,083.86

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
155239	1/15	CHAPTER 13 TRUSTEE	110-00-21581-000-000	01/15/16 DEDUCTION	743.00
			110-00-21581-000-000	01/15/16 DEDUCITON	400.00
			110-00-21581-000-000	01/15/16 DEDUCTION	104.00
			110-00-21581-000-000	01/15/16 DEDUCTION	87.00
				..... CHECK TOTAL	1,334.00
155240	1/15	CENTRAL SAW AND MOWER	501-09-50106-344-000	HOSE CHAIN GRINDER	525.00
155241	1/15	WACOP	110-02-52107-264-000	F LABATORE '16 CONF	195.00
155242	1/15	NORTON, JENNY	110-00-21118-000-000	WITNESS FEES	126.00
155243	1/15	ABLE DISTRIBUTING COMPANY	110-05-55109-246-000	12/15 PLUMBING SUPL	86.70
155244	1/15	CITY OF MADISON	245-09-50101-264-000	MELICHAR/PEDERSON	150.00
155245	1/15	WAUSAU EQUIPMENT CO.	630-09-50101-393-000	12/15 PLOW PARTS/MAT	2,398.97
155246	1/15	ULINE	501-09-50102-389-000	DOG WASTE BAGS	804.00
			110-03-53116-361-000	PALLET TRUCK	499.00
				..... CHECK TOTAL	1,303.00
155247	1/15	STATE BAR OF WISCONSIN	110-01-50301-322-000	12/15 LEGAL PUBLCTN	68.15
155248	1/15	MENARDS (KENOSHA)	110-05-55109-244-000	12/15-PA MERCHANDISE	276.93
			110-05-55109-361-000	12/15-PA MERCHANDISE	203.18
			110-05-55103-353-000	12/15-PA MERCHANDISE	64.99
			110-05-55103-353-000	12/15-PA MERCHANDISE	58.53
			110-05-55103-353-000	12/15-PA MERCHANDISE	11.96
				..... CHECK TOTAL	615.59
155249	1/15	ZOLL MEDICAL CORPORATION	206-02-52205-318-000	FD MED SUPPLIES	1,045.47
155250	1/15	BELLE CITY FIRE EXTINGUISHER	110-02-52203-389-000	12/15 EXTINGUISHER	129.45
			110-02-52203-389-000	12/15 EXTINGUISHER	126.00
				..... CHECK TOTAL	255.45
155251	1/15	DOBBERSTEIN LAW FIRM, LLC	110-00-21581-000-000	01/15/16 DEDUCTION	254.73
155252	1/15	RESERVE ACCOUNT	110-01-51306-312-000	DEPOSIT #35270701	10,000.00

START DATE FOR SUMMARY: 1/01 END DATE FOR SUMMARY: 1/15

CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
155253	1/15	BELSON OUTDOORS	420-11-51413-589-000	TRASH RECEPTACLES	13,227.50
155254	1/15	AFFORDABLE TREE CARE LLC	407-11-51502-219-000	TREE REMOVAL - 2015	7,746.48
155255	1/15	CENTRAL HIGH SCHOOL	110-00-21812-000-000	01/16 TAX SETTLEMENT	233,549.20
155256	1/15	BRISTOL SCHOOL DISTRICT #1	110-00-21811-000-000	01/16 TAX SETTLEMENT	326,418.98
155257	1/15	WIS SCTF	110-00-21581-000-000 110-00-21581-000-000	01/15/16 SAL DEDUCT 01/15/16 HRLY DEDCT CHECK TOTAL	8,668.03 1,004.98 9,673.01
155258	1/15	ILLINOIS DEPT OF PUBLIC AID	110-00-21581-000-000	01/15/16 DEDUCTION	375.00
155259	1/15	SNAP-ON INDUSTRIAL	501-09-50105-344-000	12/15 ST-TOOLS/REPR	74.36
155260	1/15	NATIONAL ELEVATOR INSP SVS	110-01-51801-242-000 633-09-50101-242-000	ELEVATOR INSPECITON ROUTINE INSPECTION CHECK TOTAL	95.00 83.00 178.00
155261	1/15	TIME WARNER CABLE	110-01-51102-233-000 520-09-50301-233-000 110-01-51102-233-000 110-01-51102-233-000 521-09-50101-219-000	12/17-1/16 MOB RR 01/16 TRANSIT-ROADR 12/19-1/18 FLEET RR 01/16 AIRPORT-ROADRN 01/16 AR-CABLE CONTR CHECK TOTAL	786.00 139.95 139.95 139.95 26.00 1,231.85
155262	1/15	GATEWAY TECH COLLEGE	245-09-50101-264-000 110-02-52107-264-000	REG(3)-SWAT REG(2)-IDC CHECK TOTAL	1,350.00 492.00 1,842.00
155263	1/15	PARIS JT. 1 SCHOOL DISTRICT	110-00-21813-000-000	01/16 TAX SETTLEMENT	22,415.35
155264	1/15	GATEWAY TECH COLLEGE	110-05-55103-264-000	D VAN DUYN 1/29/16	65.00
155265	1/15	BOUND TREE MEDICAL, LLC	206-02-52205-318-000	12/16 MEDICAL SUPPL	921.74
155266	1/15	BUILDING INSPECTORS ASSOC	110-01-51601-264-000	KETTERHAGEN 1/27/16	85.00
155267	1/15	WE ENERGIES	461-11-51501-581-000	GAS 4822 37TH AVE	610.00
155268	1/15	WE ENERGIES	110-09-56501-259-565	GAS/ELEC 2219 ROOSV	1,061.00

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
155269	1/15	AURORA HEALTH CARE	110-01-51303-216-000 110-00-15601-000-000	12/15 SCREENS 12/15 SCREENS CHECK TOTAL	2,085.00 97.00 2,182.00
155270	1/15	KENOSHA UNIFIED SCHOOL DIST.	110-00-21802-000-000	01/16 SETTLEMENT	24,479,144.64
155271	1/15	KENOSHA COUNTY TREASURER	110-00-21801-000-000 110-00-21809-000-000	01/16 SETTLEMENT 01/16 SETTLEMENT CHECK TOTAL	11,820,755.08 438,645.10 12,259,400.18
155272	1/15	GATEWAY TECHNICAL COLLEGE	110-00-21803-000-000	01/16 SETTLEMENT	1,833,927.72
155273	1/15	KOHN LAW FIRM S.C.	110-00-21581-000-000	01/15/16 DEDUCTION	23.43
155274	1/15	GARY KLINKA BUILDING	110-01-51601-264-000 110-01-51601-264-000 110-01-51601-264-000	M MOORE TESTELECT M MOORE UPDATES #4 M MOORE CODE UPDATES CHECK TOTAL	55.00 55.00 55.00 165.00
155275	1/15	NEWMAN, MICHAEL	110-00-21904-000-000	CASH BOND B248424	25.20
155276	1/15	125TH AVENUE HOTEL, LLC	798-00-21922-000-000	CASH ASSURANCE	179,500.00
155277	1/15	SCHROEDER, RICHARD P.	110-01-51601-261-000	10-11/15 49 MILES	28.18
155278	1/15	REINING, BRIAN F.	110-01-51601-261-000 110-01-51601-261-000 110-01-51601-261-000	07/15 166 MILES 10-12/15 87 MILES 8-9/15 82 MILES CHECK TOTAL	95.45 50.03 47.15 192.63
155279	1/15	SWARTZ, MARTHA E.	110-01-51601-261-000	12/15 150 MILES	86.25
155280	1/15	MIKOLAS, KEVIN	110-01-51601-261-000	12/15 405 MILES	232.87
155281	1/15	WILKE, BRIAN	110-01-51601-261-000	12/15 50 MILES	28.75
155282	1/15	CALLOVI, MICHAEL	110-01-51601-261-000	12/15 276 MILES	158.70
155283	1/15	CHIAPPETTA, LOUIS	110-01-51601-261-000	12/15 254 MILES	146.05

START DATE FOR SUMMARY: 1/01 END DATE FOR SUMMARY: 1/15

CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
155284	1/15	LEDONNE, CHARMON	110-01-51303-144-000	FALL 2015 TUITION	457.82
155285	1/15	AUSTIN, CATHY	501-09-50103-261-000	11/4-5/15 GREEN LK	147.20
155286	1/15	PACETTI, FRANK	110-01-51301-261-000	2015 2201.6 MILES	1,266.00
155287	1/15	CEPRESS, TIMOTHY J	110-02-52103-263-000	12/18/15 WINNEBAGO	12.00
155288	1/15	MCKINNEY, JODI	110-05-55101-261-000	2015 503.5 MILES	289.51
155289	1/15	JURGENS, ADAM	110-02-52103-263-000	01/04/16 WINNEBAGO	12.00
155290	1/15	MORETTI, PEP	110-02-52103-263-000	01/05/16 WINNEBAGO	12.00
			110-02-52103-263-000	1/3-04/16 WINNEBAGO	12.00
				..... CHECK TOTAL	24.00
155291	1/15	GRABOT, TERRANCE	110-02-52103-263-000	12/18/15 WINNEBAGO	12.00
155292	1/15	NEWHOUSE, ROBERT	110-01-51601-261-000	12/15 228 MILES	131.10
155293	1/15	PAGOULATOS, KOSTAS	110-01-51601-261-000	12/15 432 MILES	248.40
155294	1/15	KROENING, DOUG	110-01-51601-261-000	12/15 194 MILES	111.55
155295	1/15	KETTERHAGEN, STEVEN	110-01-51601-261-000	12/15 575 MILES	330.63
155296	1/15	STUPAR, ANTHONY	631-09-50101-261-000	9/13-15/15 PAVEMENT	154.99
			631-09-50101-261-000	10/5-10/15 WINTR OP	151.99
				..... CHECK TOTAL	306.98
155297	1/15	BARRIERE, ANTHONY	110-02-52103-263-000	01/04/16 WINNEBAGO	12.00
155298	1/15	STATE BAR OF WISCONSIN	110-01-50301-322-000	2016 BOOKS UNBOUND	1,049.30
GRAND TOTAL FOR PERIOD *****					42,564,970.41