

AMENDED AGENDA
KENOSHA COMMON COUNCIL
KENOSHA, WISCONSIN
Council Chambers – Room 200 – Kenosha Municipal Building
Monday, December 15, 2014
7:00 PM

CALL TO ORDER
ROLL CALL
INVOCATION
PLEDGE OF ALLEGIANCE

Approval of the minutes of the meetings held November 17, November 24, November 25 and December 1, 2014. **Pgs. 1-11**

Matters referred to the Committees by the Mayor.

Presentation, Commendations and Awards by Mayor.

Awards and Commendations from Boards, Commissions, Authorities and Committees.

CITIZENS' COMMENTS

A. REFERRALS

TO THE COMMITTEE ON FINANCE

- A.1. Agreement by and between Kenosha Newco Capital, LLC f/k/a UBC Kenosha, LLC and the City of Kenosha, WI and the Redevelopment Authority of the City of Kenosha, WI. (District #3) (Also referred to Redevelopment Authority)

TO THE PUBLIC WORKS COMMITTEE

TO THE PUBLIC SAFETY AND WELFARE COMMITTEE

- A.2. Ordinance by Alderperson David F. Bogdala, Co-Sponsor Alderperson Curt Wilson - To Repeal and Recreate Subsection 7.06 B. (of The General Code Of Ordinances for The City Of Kenosha) Regarding Alternate Parking.

TO THE CITY PLAN COMMISSION

B. COMMUNICATIONS, PETITIONS, REPORTS OF DEPARTMENTS

- B.1. Approval of the following applications per list on file in the Office of the City Clerk:
- a. 20 Operator's (Bartender's) licenses.
 - b. 0 Transfer of Agent Status of Beer and/or Liquor licenses.
 - c. 1 Temporary Class "B" Beer and/or "Class B" Wine license.
 - d. 0 Taxi Driver Licenses. **Pg. 12**

C. RECOMMENDATIONS FROM THE COMMITTEE ON LICENSING/PERMITS

NOTE: All licenses and permits are subject to withholding of issuance by the City Clerk as specified in Section 1.045 of the Code of General Ordinances.

- C.1. Approve applications for new Operator's (Bartender's) licenses subject to:
- 10 demerit points:
 - a. Jose Javier Becerra Ramos
 - 20 demerit points:
 - b. Akela Brown
 - 25 demerit points:
 - c. Jonathan Leiting
 - 30 demerit points:
 - d. Blanca Maslowski
 - 40 demerit points:
 - e. Tyler Suhling
 - f. Dylan Ross

- 80 demerit points:

g. Douglas Bolin

(L/P - Ayes 4, Noes 0) **HEARING Pgs. 13-19**

- C.2. Approve application of Nayarit, Inc. (Raul Gonzales, Agent), for a Class "B" Beer/"Class B" Liquor License located at 6034 22nd Avenue (Isla Del Mar #4), upon surrender of a Class "B" Beer License at the same location from Nayarit, Inc., subject to 30 demerit points. (District 3) (L/P - Ayes 4, Noes 0) **HEARING Pgs. 20-26**
- C.3. Approve application for Successor of Agent status of the Class "A" Beer/"Class A" Liquor License located at 2811 18th Street (Pick 'N Save #6871), from Kai Kleimola to Alma Ruiz (subject to reinstatement of Pick 'N Save's liquor license on 12/18/14), subject to 50 demerit points. (District 4) (L/P - Ayes 4, Noes 0) **HEARING Pgs. 27-29**
- C.4. Approve application of Houston's Bar & Grill, LLC, for a Yearly Cabaret License located at 1925 45th Street (Houston's Bar & Grill), with no adverse recommendations. (District 7) (L/P - Ayes 4, Noes 0) **HEARING Pgs. 30-31**
- C.5. Approve renewal application of GNT Financial, LLC, for a Pawn Broker License located at 7944 Sheridan Road #3 (GNT Jewelry & Loan), with no adverse recommendations. (District 12) (L/P - Ayes 4, Noes 0) **HEARING Pgs. 32-33**
- C.6. Approve renewal applications for Secondhand Article Dealer's licenses, with no adverse recommendations:
- a. Colosseum Games, LLC (Colosseum Games, 5719 75th Street) (District 14)
 - b. Jerome F. Binsfeld (JB Coins, 6040 39th Avenue, Ste. 7) (District 15)
 - c. Keynote, Inc. (Music Go Round, 5708 75th Street) (District 14)
 - d. Maggie Mae's, LLC (Maggie Mae's, 1016 60th Street) (District 2)
 - e. A Vintage Vault, LLP (A Vintage Vault, 3816 Roosevelt Road) (District 8)
 - f. Old Toys Live On, LLC (Old Toys Live On, 7519 22nd Avenue) (District 13)
 - g. Flat Iron Vintage, LLC (Flat Iron Vintage, 2022 56th Street) (District 2)
 - h. Suburban Ore, LLC (Suburban Ore, 627 58th Street) (District 2)
 - i. CD DVD Game, LLC (CD DVD Game Warehouse, 3717 80th Street) (District 14)
- (L/P - Ayes 4, Noes 0) **HEARING Pgs. 34-51**
- C.7. Approve renewal applications for Secondhand Jewelry Dealer's licenses, with no adverse recommendations:
- a. Gold Diamond & Design, Inc. (Gold Diamond & Design, 10320 75th Street, Ste. B) (District 16)
 - b. Nowshad P. Irani (Superior Gold Express, 2400 52nd Street) (District 7)
 - c. Jacob Sadoff (Midwest Gold Buyers, 3824 Roosevelt Road) (District 8)
- (L/P - Ayes 4, Noes 0) **HEARING Pgs. 52-57**
- C.8. Approve renewal application of Westtown of Kenosha, Inc. for a Secondhand Jewelry Dealer's License located at 3203 60th Street (Westtown Food & Liquor), subject to 0 demerit points. (District 3) (L/P - Ayes 4, Noes 0) **HEARING Pgs. 58-60**

- C.9. Approve renewal applications for Secondhand Article and Secondhand Jewelry Dealer's licenses, with no adverse recommendations:
- a. Goldtronics, LLC (Jewelry & Electronics Exchange, 6212 22nd Avenue) (District 3)
 - b. Christopher Ruland (Roosevelt Road Antiques & Consignment, 3720 Roosevelt Road) (District 8)
 - c. GNT Financial, LLC (GNT Jewelry & Loan, 7944 Sheridan Road #3) (District 12) (L/P - Ayes 4, Noes 0) **HEARING Pgs. 61-72**
- C.10. Approve renewal applications for Kenosha Massage Therapist Licenses, with no adverse recommendations:
- a. Lin Liang Wu (Shanghai Spa, 7944 Sheridan Road) (District 12)
 - b. Cunjun Wang (Oriental Shiatsu Massage, 3717 52nd Street) (District 10)
 - c. Jadvyga Valiauga (Body Wise Therapeutic Massage, 4923 60th Street) (District 15) (L/P - Ayes 4, Noes 0) **HEARING Pgs. 73-78**
- C.11. Approve renewal applications for Kennel & Pet Shop Licenses, with no adverse recommendations:
- a. Kenosha County Humane Society (Safe Harbor, 7811 60th Avenue) (District 14)
 - b. Wagin' Tail Resort, Inc. (Wagin' Tail Resort, 5403 52nd Street.) (District 11)
 - c. Puppy Tub & Motel, Inc. (Puppy Tub & Motel, 2419 52nd Street) (District 7)
 - d. Puparotzi Palace, LLC (Puparotzi Palace, 7609 Sheridan Road) (District 12)
 - e. Kindred Kitties, Ltd. (Kindred Kitties, 614 59th Street) (District 2)
 - f. Jo's Exotic Birds, Ltd. (Jo's Exotic Birds, 7534 Sheridan Road) (District 12)
 - g. Happy Tails Doggy Day Care, LLC (Central Bark Doggy Day Care, 7600 75th Street) (District 16) (L/P - Ayes 4, Noes 0) **HEARING Pgs. 79-85**
- C.12. Approve Findings of Fact, Conclusions of Law and Recommendation to suspend the Operator's (Bartender's) License of Alexis Hoff for ten (10) consecutive days, and reinstate subject to seventy-five (75) demerit points. (L/P - Ayes 4, Noes 0) **HEARING CLOSED SESSION: The Common Council may go into Closed Session regarding this item, pursuant to §§19.85(1)(a) and (b), Wisconsin Statutes to deliberate about disciplinary cases which were subjects of quasi-judicial hearings before the Committee. The Common Council will reconvene into open session. Pgs. 86-89**

D. REPORTS AND RECOMMENDATIONS OF BOARDS AND COMMISSIONS

- D.1. Conditional Use Permit Amendment for a contractor's storage yard to be located at 5820 49th Street (Thomas Concrete). (District 16) (CP - Ayes 7, Noes 0) **PUBLIC HEARING Pgs. 90-116**

E. ORDINANCES 1st READING

- E.1. Ordinance by Board of Water Commissioners - To Create, Repeal and Recreate, or Reletter Sections of Chapter XXXII (of the Code of General Ordinances) Regarding the Kenosha Water Utility. (Board of Water Comm. - recommendation pending).

Pgs. 117-126

F. ZONING ORDINANCES 1st READING

G. ORDINANCES 2nd READING

H. ZONING ORDINANCES 2nd READING

- H.1. Zoning Ordinance by the Mayor - To Renumber Subparagraph 10.02 A.6 as 10.02 A.7 (of the Zoning Ordinance) regarding Additional Information and To Create Subparagraph 10.02 A.6 regarding proposed Industrial Development. (CP - Ayes 8, Noes 0) **PUBLIC HEARING Pgs. 127-130**
- H.2. Zoning Ordinance by the Mayor - To Repeal and Recreate Subparagraph 3.14 F.3 (of the Zoning Ordinance for the City of Kenosha, Wisconsin) regarding Rear Yard Setbacks in the B-2 Community Business District. (CP - Ayes 8, Noes 0) **PUBLIC HEARING Pgs. 131-132**

I. RESOLUTIONS

- I.1. Resolution by Alderperson Steve Bostrom and Alderperson David F. Bogdala, Co-Sponsor Alderperson Rhonda Jenkins – Resolution To Place Street Car Expansion in the City of Kenosha on the April 7, 2015 Kenosha City Ballot. (PW and Transit - recommendations pending) **Pgs. 133-134**
- I.2. Resolution by the Mayor - Resolution To Adopt a Project Plan Amendment for Tax Incremental District #4 (City of Kenosha, Wisconsin, Under Section 66.1105(4)(h)1., Wisconsin Statutes). (CP - Ayes 6, Noes 0, Abstain 1) (Fin. - recommendation pending) **Pgs. 135-162**
- I.3. Resolution by the Mayor - Resolution To Adopt a Project Plan Amendment for Tax Incremental District #5 (City of Kenosha, Wisconsin, Under Section 66.1105(4)(h)1., Wisconsin Statutes). (CP - Ayes 7, Noes 0) (Fin. - recommendation pending) **Pgs. 163-185**
- I.4. Resolution by the Mayor - Resolution to Rescind Those Portions of Resolution 75-11 that Established the City Seal as the Logo and Flag, and Adopt New City Emblems and a Flag. **Pgs. 186-191**
- I.5. Resolution by Alderperson Scott N. Gordon, Co-Sponsors Alderperson Curt Wilson, Alderperson Jan Michalski, Alderperson Rocco J. LaMacchia, Alderperson Keith Rosenberg, Alderperson Patrick Juliana, Alderperson Eric Haugaard - Resolution to Urge the Wisconsin State Moose Association to Select The City of Kenosha as the Host City for the 2017 International Youth Awareness Congress. (Mayor's Youth Commission - Ayes 7, Noes 0) **Pgs. 192-193**

J. APPOINTMENTS/REAPPOINTMENTS BY THE MAYOR

K. PUBLIC CONSTRUCTION AND IMPROVEMENT CONTRACTS

L. OTHER CONTRACTS AND AGREEMENTS

- L.1. Approval of Emergency Vehicle Pre-Emption System Agreements between the City and the Wisconsin Department of Transportation (STH 31 & CTH S Northbound, Southbound, Eastbound and Westbound; STH 31 & 45th Street Northbound, Southbound, Eastbound and Westbound). (Districts 5 & 16) (PSW - Ayes 5, Noes 0; PW - recommendation pending) **Pgs. 194-197**
- L.2. Stormwater Management Practices Maintenance Agreement for Stormwater Management Facilities Between the City of Kenosha, Wisconsin and GPT Kenosha Owner, LLC. (District 16) (SWU - recommendation pending) **Pgs. 198-208**
- L.3. Development Financing Agreement - Tax Incremental District #17. (Fin. - recommendation pending) **Pgs. 209-238**

M. RECOMMENDATIONS FROM THE COMMITTEE ON FINANCE

- M.1. Disbursement Record #22 - \$14,944,067.53. (Fin. - recommendation pending) **Pgs. 239-270**

N. RECOMMENDATIONS FROM THE COMMITTEE ON PUBLIC WORKS

- N.1. Change Order (Contract Deadline Only) for Project 12-1526 Simmons Library Roof Replacement (711 59th Place). (District 2) (PW - recommendation pending) **Pgs. 271-272**
- N.2. Change Order (Contract Deadline Only) for Project 13-1419 Anderson Park Fishing Pier (8730 22nd Avenue). (District 9) (Park - Ayes 5, Noes 0; PW - recommendation pending) **Pgs. 273-274**
- N.3. Change Order (Contract Deadline Only) for Project 14-1120 Eichelman Park Beach Water Quality Improvements Phases I & II (6125 3rd Avenue). (District 2) (PW & SWU - recommendations pending) **Pgs. 275-276**
- N.4. Acceptance of Project 14-2002 Overpass Painting Phase IV (1200 Block of 43rd Street, 1300 Block of 57th Street, 1300 Block of 68th Street) which has been satisfactorily completed by Mill Coatings, Inc. (Suamico, Wisconsin). The final amount of the contract is \$133,315.00. (Districts 1, 2, & 3) (PW - recommendation pending) **Pg. 277**

**O. RECOMMENDATIONS FROM THE COMMITTEE ON
PUBLIC SAFETY & WELFARE**

P. AND SUCH MATTERS AS ARE AUTHORIZED BY LAW OR REGULAR BUSINESS

- a. LEGISLATIVE REPORT
- b. MAYOR'S COMMENTS
- c. ALDERPERSON COMMENTS

IF YOU ARE DISABLED AND IN NEED OF ASSISTANCE,
PLEASE CALL 653-4020 BEFORE THIS MEETING
web site: www.kenosha.org

**COMMON COUNCIL
OFFICIAL PROCEEDINGS
November 17, 2014**

Keith G. Bosman, Mayor

Debra L. Salas, City Clerk

KENOSHA MUNICIPAL BUILDING
COUNCIL CHAMBERS
ROOM 200

At a meeting of the Common Council held this evening, His Honor, Mayor Keith G. Bosman presided.

The meeting was called to order at 7:02 pm.

On roll call, the following members of the Common Council were present: Alderpersons Haugaard, Jenkins, Michalski, Ruffolo, LaMacchia, Paff, Juliana, Wicklund, Kennedy, Gordon, Bostrom, Wilson, Rose, Johnson and Bogdala. Alderpersons Rosenberg and Prozanski were previously excused. Alderperson Haugaard was seated as Council President.

A moment of silence was observed in lieu of the invocation.

Mayor Bosman then led the Council in the Pledge of Allegiance to the American Flag.

It was moved by Alderperson Kennedy, seconded by Alderperson LaMacchia, to approve the minutes of the meetings held on October 20, 2014 and November 3, 2014.

Motion carried unanimously.

Mayor Bosman read a referral to the Committees on Finance, Public Works, Stormwater Utility, Public Safety & Welfare, and Licensing/Permit: Ordinance by the Mayor to Reletter Subparagraphs 30.06 B. through L. (of the Code of General Ordinances) as 30.06 C. through M. and to Create Subparagraph 30.06 B. Entitled Intimidation and Retaliation.

Five Citizens spoke during Citizen's Comments: Diana Kanecki, Virginia Hoekstra, Sonny Madden, Terri A. Miller and John Fox.

A. REFERRALS

TO THE COMMITTEE ON FINANCE

A.1. Resolution by the Finance Committee - To Approve the 2015 Consolidated Plan - Annual Plan for the Community Development Block Grant/HOME Program.

A.2. Development Agreement between The City of Kenosha and Keno Wells, LLC for property at 5821 5th Avenue.

TO THE PUBLIC WORKS COMMITTEE

A.3. Resolution by the Mayor - To Approve a Two-Lot Certified Survey Map for property at 5821 5th Avenue (5th Avenue Lofts).

TO THE CITY PLAN COMMISSION

A.4. Conditional Use Permit for a 19,017 s.f. addition to an existing church at 10700 75th Street (Journey Church).

A.5. Item removed.

A.6. Zoning Ordinance by the Mayor - To Renumber Subparagraph 10.02 A.6 as 10.02 A.7 (of the Zoning Ordinance) regarding Additional Information and To Create Subparagraph 10.02 A.6 regarding proposed Industrial Development.

A.7. Zoning Ordinance by the Mayor - To Repeal and Recreate Subparagraph 3.14 F.3 of the Zoning Ordinance for the City of Kenosha, Wisconsin regarding Rear Yard Setbacks in the B-2 Community Business District.

B. COMMUNICATIONS.

PETITIONS, REPORTS

OF DEPARTMENTS

B.1. It was moved by Alderperson Rose, seconded by Alderperson LaMacchia, to approve:

a. 13 applications for an Operator's (Bartenders) license, per list on file in the office of the City Clerk.

b. There were no applications for a transfer of agent status of Beer and/or Liquor license, per list on file in the office of the City Clerk.

c. There were no applications for a Temporary Class "B" Beer and/or "Class B" Wine license per list on file in the office of the City Clerk.

d. 1 application for a Taxi Driver's license per list on file in the office of the City Clerk. On a voice vote, motion carried.

B.2. It was moved by Alderperson Kennedy, seconded by Alderperson LaMacchia, to approve: Communication from the City Clerk regarding results of the referendum question "SHALL THE NEXT STATE LEGISLATURE ACCEPT AVAILABLE FEDERAL FUNDS FOR BADGERCARE TO ENSURE THAT THOUSANDS OF WISCONSIN CITIZENS HAVE ACCESS TO QUALITY AND AFFORDABLE HEALTH COVERAGE?", certified by the Board of Canvassers.

On a voice vote, motion carried.

C. RECOMMENDATIONS FROM THE COMMITTEE ON LICENSING/PERMITS

C.1. It was moved by Alderperson Wilson, seconded by Alderperson Juliana, to approve applications for new Operator's (Bartender's) licenses subject to:

- 10 demerit points:

a. Felicia Krystavel

- 30 demerit points:

b. Kelsey Witmer

c. Ignazio DeBartolo

- 75 demerit points:

d. David Jansa

A hearing was held. The applicants did not appear. On a voice vote, motion carried.

C.2. Application withdrawn.

C.3. It was moved by Alderperson Wilson, seconded by Alderperson Juliana, to deny application of Rachel Stonis for a new Operator's (Bartender's) license based on material police record.

A hearing was held. The applicant did not appear. On a voice vote, motion carried.

C.4. It was moved by Alderperson Kennedy, seconded by Alderperson Paff, to approve application of David Whitrock for a new Taxi Driver's license subject to 50 demerit points.

A hearing was held. The applicant appeared. On a voice vote, motion carried.

**COMMON COUNCIL
OFFICIAL PROCEEDINGS
November 17, 2014**

Keith G. Bosman, Mayor

Debra L. Salas, City Clerk

C.5. It was moved by Alderperson Bogdala, seconded by Alderperson Juliana, to deny application of Joseph Michaelis for a new Taxi Driver's license based on material police record.

A hearing was held. The applicant did not appear. On a voice vote, motion carried.

C.6. It was moved by Alderperson Rose, seconded by Alderperson Juliana, to approve application of The Port, LLC, for a Yearly Cabaret License located at 714 50th Street (Port of Kenosha Beverage House), with no adverse recommendations.

A hearing was held. The applicant did not appear. On a voice vote, motion carried.

C.7. It was moved by Alderperson Wicklund, seconded by Alderperson LaMacchia, to approve application of Baseball Like It Oughta Be, LLC for a Yearly Cabaret License located at 7817 Sheridan Road (Kenosha Kingfish), with no adverse recommendations.

A hearing was held. Jake McGhee spoke. On a voice vote, motion carried.

C.8. It was moved by Alderperson Wilson, seconded by Alderperson LaMacchia, to approve Findings of Fact, Conclusions of Law and Recommendation to suspend for thirty (30) days the Class "A" Retail Beer License of Koche, LLC, d/b/a Tom's BP (Sheryl John, Agent), 2528 75th Street.

A hearing was held. The applicant did not appear. On roll call vote, motion carried unanimously.

C.9. It was moved by Alderperson Wilson, seconded by Alderperson LaMacchia, to approve Findings of Fact, Conclusions of Law and Recommendation to suspend for thirty (30) days the Class "A" Retail Beer/"Class A" Retail Liquor License of Mega Marts, LLC, d/b/a Pick 'n Save #6871 (Kai Kleimola, Agent), 2811 18th Street.

A hearing was held. Christopher Strohbehn, an attorney for Mega Marts LLC, spoke. On roll call vote, motion carried unanimously.

D. REPORTS AND RECOMMENDATIONS OF BOARDS AND COMMISSIONS

It was moved by Alderperson LaMacchia, seconded by Alderperson Wilson to approve:

D.1. Request to Amend the Conditional Use Permit for 3,855 s.f. addition to Gateway Technical College - Student Life Center at 3520 30th Avenue (Gateway Technical College).

A hearing was held. No one spoke. On roll call vote motion carried unanimously.

E. ORDINANCES 1ST READING

F. ZONING ORDINANCES 1ST READING

It was moved by Alderperson Kennedy, seconded by Alderperson LaMacchia, to send the following ordinances on their way:

F.1. Zoning Ordinance by the City Plan Commission - To Create Subsection 18.02 jj. (of the Zoning Ordinance) to Amend the Land Use Plan Map for the City of Kenosha: 2035 (Clark).

F.2. Rezoning Ordinance by the Mayor - Petition to rezone property at 6300 3rd Avenue from IP Institutional Park District to RS-1 Single-Family Residential District (Clark).

F.3. Zoning Ordinance by the City Plan Commission - To Create Subsection 18.02 kk. (of the Zoning Ordinance) to Amend the Land Use Plan Map for the City of Kenosha: 2035 (MLR Properties).

F.4. Rezoning Ordinance by the Mayor - Petition to rezone property at 7505 38th Avenue from RG-1 General Residential District to B-1 Neighborhood Business District (MLR Properties, LLC).

F.5. Zoning Ordinance by the City Plan Commission - To Create Subsection 18.02 hh. (of the Zoning Ordinance) to Amend the Land Use Plan Map for the City of Kenosha: 2035 (Shalom Center).

F.6. Rezoning Ordinance by the Mayor - To Rezone property at 6201 14th Avenue from B-2 Community Business District to IP Institutional Park District (in conformance with Section 10.02 of the Zoning Ordinance)(Shalom Center).

F.7. Zoning Ordinance by the City Plan Commission - To Create Subsection 18.02 ii. (of the Zoning Ordinance) to Amend the Bristol Neighborhood Plan as referenced in the Comprehensive Plan for the City of Kenosha: 2035.

F.8. Rezoning Ordinance by the Mayor - To Rezone properties South of 60th Street and West of Interstate 94 from A-2 Agricultural Land Holding District, TRD-1 Traditional Single and Two-Family Residential District and TRD-2 Traditional Multi-Family Residential District to M-2 Heavy Manufacturing District (in conformance with Section 10.02 of the Zoning Ordinance)(Anchor Bank).

F.9. Zoning Ordinance by the Mayor - To Repeal and Recreate Sections IV and XIV (of the Zoning Ordinance for the City of Kenosha, WI) to reflect the change in name by substituting the term "Lawn Park" in place of "Parkway" wherever that term appears and to Repeal and Recreate Subparagraph 4.06 B.16 regarding self-service storage facilities.

F.10. Zoning Ordinance by the City Plan Commission - To Create Subsection 18.02 ll. (of the Zoning Ordinance) to Amend the City of Kenosha Downtown Strategic Development Plan dated August 2012 and as Referenced in the Comprehensive Plan for the City of Kenosha: 2035.

On a voice vote, motion carried.

G. ORDINANCES 2ND READING

Full text of ordinances are on file in the office of the City Clerk.

G.1. It was moved by Alderperson LaMacchia, seconded by Alderperson Juliana, to adopt Ordinance 46-14.

A public hearing was held. No one spoke for or against said ordinance.

On roll call vote motion carried unanimously and said ordinance was thereupon adopted:

Ordinance 46-14

By Committee on Public Safety and Welfare - To Amend Section 7.12 C. (of the Code of General Ordinances) by Adding a Stop Sign for Westbound Traffic on 61st Street before Entering the Intersection with 13th Avenue.

Approved: Keith G. Bosman, Mayor

Attest: Debra L. Salas, City Clerk-Treasurer

Passed: November 17, 2014

Published: November 21, 2014

G.2. It was moved by Alderperson Haugaard, seconded by Alderperson LaMacchia, to adopt Ordinance 47-14.

A public hearing was held. No one spoke for or against said ordinance.

On roll call vote, motion carried (14-1) with Alderperson Bostrom voting nay and said ordinance was thereupon

**COMMON COUNCIL
OFFICIAL PROCEEDINGS
November 17, 2014**

Keith G. Bosman, Mayor

Debra L. Salas, City Clerk

adopted:

Ordinance 47-14

By Alderperson Jan Michalski - To Repeal and Recreate Section 13.01 Regarding Scrap Salvage Dealers and Scrap Salvage Collectors.

Approved: Keith G. Bosman Mayor

Attest: Debra L. Salas

Passed: November 17, 2014

Published: November 21, 2014

H. ZONING ORDINANCES 2ND READING

H.1. It was moved by Alderperson LaMacchia, seconded by Alderperson Bostrom, to adopt Zoning Ordinance 48-14.

A public hearing was held. No one spoke for or against said ordinance.

On roll call vote, motion carried (14-1) with Alderperson Bogdala voting nay and said ordinance was thereupon adopted:

Ordinance 48-14

By the City Plan Commission - To Repeal and Recreate the Definition of Community Living Arrangements as defined in Section 12, To Amend, Repeal and Recreate Various Provisions of Section 3 (of the Zoning Ordinance) regarding Community Living Arrangements.

Approved: Keith G. Bosman

Attest: Debra L. Salas, City Clerk-Treasurer

Passed: November 17, 2014

Published: November 21, 2014

H.2. It was moved by Alderperson LaMacchia, seconded by Alderperson Kennedy, to adopt Zoning Ordinance 49-14.

A public hearing was held. Virginia Hoekstra and Diana Kanecki spoke.

H.2.1. It was then moved by Alderperson Bogdala, seconded by Alderperson Bostrom to amend the second sentence of paragraph A. Common Council Action by striking the words three-fourths (3/4) and replacing these words with "simple majority". On roll call vote, motion failed (7-8) with Alderpersons Haugaard, Kennedy, Gordon, Wilson, Michalski, LaMacchia, Juliana and Wicklund voting nay.

On roll call vote motion to adopt carried (11-4) with Alderpersons Bostrom, Bogdala, Jenkins and Ruffolo voting nay and said ordinance was thereupon adopted:

Ordinance 49-14

By the Mayor - To Repeal and Recreate Various Sections (of the Zoning Ordinance for the City of Kenosha, Wisconsin) regarding Review Authority of the City Plan Commission.

Approved: Keith G. Bosman Mayor

Attest: Debra L. Salas, City Clerk-Treasurer

Passed: November 17, 2014

Published: November 21, 2014

I. RESOLUTIONS

Full text of resolutions are on file in the office of the City Clerk.

I.1. It was moved by Alderperson LaMacchia, seconded by Alderperson Juliana, to approve Resolution 139-14.

On roll call vote, motion carried unanimously and said Resolution was thereupon approved:

Resolution 139-14

By the Finance Committee - Resolution To Correct Resolution #81-14, Snow Removal From Sidewalks, Project #13-001.

Approved: November 17, 2014

I.2. It was moved by Alderperson Wilson, seconded by Alderperson Bostrom, to deny Resolution by the Finance Committee - Resolution to Rescind a Special Charge in the Amount of \$190.00 for Property Maintenance Reinspection Fees for 5215 44th Avenue(Parcel #08-222-35-426-002); Petitioner/Owner: Maria A. Gomez (Amends Resolution #10-14 passed on 1/22/14).

A public hearing was held. No one spoke.

On roll call vote, motion carried (14-1) with Alderperson Bogdala voting nay.

I.3. It was moved by Alderperson LaMacchia, seconded by Alderperson Rose, to approve Resolution 140-14 as amended by the Finance Committee.

A public hearing was held, LuAnn Frederick spoke. On roll call vote, motion carried (14-1) with Alderperson Bogdala voting nay and said resolution was thereupon approved:

Resolution 140-14

By the Finance Committee - Resolution to Rescind a Special Charge in the Amount of \$54.20 for Grass and Weed Cutting for 2101 61st Street (Parcel #05-123-06-229-007); Petitioner/Owner: Bruce & LuAnn Frederick (Amends Resolution #115-14 passed on 10/06/14).

Approved: November 17, 2014

I.4. It was moved by Alderperson LaMacchia, seconded by Alderperson Juliana, to approve resolution 141-14. On a voice vote, motion carried and said resolution was thereupon approved:

Resolution 141-14

By the Public Safety & Welfare Committee - Resolution to Discontinue the City School Crossing Guard Position Located at the Intersection of 43rd Street and 22nd Avenue.

Approved: November 17, 2014.

J. APPOINTMENTS/

REAPPOINTMENTS BY THE MAYOR

It was moved by Alderperson Juliana, seconded by Alderperson Kennedy to approve:

J.1. Reappointments to the Lakeshore Business Improvement District Board, for a term to expire November 18, 2017:

a. Mark Johnson (5915 6th Avenue A, Kenosha)

b. Lou Molitor (3805 30th Street, Kenosha)

**COMMON COUNCIL
OFFICIAL PROCEEDINGS
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Keith G. Bosman, Mayor

Debra L. Salas, City Clerk

c. Michael Thomey (5717 8th Avenue, Kenosha)

J.2. Appointment of Raymond Roberts (5913½ 6th Avenue, Kenosha) to the Lakeshore Business Improvement District Board for a term to expire November 18, 2017.

J.3. Appointment of Kevin Ervin (508-58th Street, Kenosha) to the Lakeshore Business Improvement District Board, to fulfill an unexpired term which expires November 18, 2016.

J.4. Appointment of Lou Molitor (3805-30th Street, Kenosha) to the Commission on the Arts, to fulfill an unexpired term which expires November 1, 2015.

On roll call vote, motion carried unanimously.

K. PUBLIC CONSTRUCTION AND IMPROVEMENT CONTRACTS

It was moved by Alderperson Juliana, seconded by Alderperson Kennedy, to approve:

K.1. Award of Contract for Project 14-2033 Kenosha Engine Plant – Building 53 Soil Remediation (5555 30th Avenue) to A.W. Oakes & Son, Inc. (Racine, Wisconsin) in the amount of \$325,000.

On roll call vote, motion carried unanimously.

L. OTHER CONTRACTS AND AGREEMENT

M. RECOMMENDATIONS FROM THE COMMITTEE ON FINANCE

It was moved by Alderperson Juliana, seconded by Alderperson Kennedy to approve:

M.1. Disbursement Record #20 - \$5,143,213.00.

On roll call, motion carried unanimously.

M.2. It was moved by Alderperson LaMacchia, seconded by Alderperson Kennedy to approve KABA 2014 3rd Quarter Loan Reports.

On a voice vote, motion carried unanimously.

M.3. It was moved by Alderperson Ruffolo, seconded by Alderperson LaMacchia, to deny Request from Maria A. Gomez to Rescind a Property Maintenance Reinspection Fee in the Amount of \$72.00 for 5215 44th Avenue (Parcel #08-222-35-426-002); Petitioner/Owner: Maria A. Gomez.

On roll call vote, motion carried (14-1) with Alderperson Bogdala voting nay.

N. RECOMMENDATIONS FROM THE COMMITTEE ON PUBLIC WORKS

It was moved by Alderperson Gordon, seconded by Alderperson LaMacchia, to approve Final Acceptance of:

N.1. Project 12-1421 Simmons Island Boardwalk Phase IA Development (5001 4th Avenue) which has been satisfactorily completed by H&H Civil Construction, LLC (Collins, Wisconsin). The final amount of the contract is \$501,330.20.

N.2. Project 13-1025 56th Street Resurfacing (56th Street – Sheridan Road to 13th Avenue) which has been satisfactorily completed by Cicchini Asphalt, LLC (Kenosha, Wisconsin). The final amount of the contract is \$579,330.50.

N.3. Project 13-2032 Interim Action Soil Remediation Kenosha Engine Plant (5555 30th Avenue) which has been satisfactorily completed by A.W. Oakes & Son, Inc. (Racine, Wisconsin). The final amount of the contract is \$342,308.89.

N.4. Project 14-1425 Kenosha Water Utility Fence at Simmons Island (100 51st Place) which has been satisfactorily completed by Northway Fence, Inc. (Menomonee Falls, Wisconsin). The final amount of the contract is \$26,330.80.

On roll call vote, motion carried unanimously.

**O. RECOMMENDATIONS FROM THE COMMITTEE ON
PUBLIC SAFETY & WELFARE**

It was moved by Alderperson LaMacchia, seconded by Alderperson Wicklund, to approve:

O.1. Request for Special Exception from the 840-Square-Foot Size Limitation to Construct a 994-Square-Foot Accessory Structure at 7306 22nd Avenue (Property Owner/Petitioner: Steve Casey; Zoning: RS-3).

On roll call vote, motion carried unanimously with Alderperson Bostrom not present to vote.

P. AND SUCH MATTERS AS ARE AUTHORIZED BY LAW OR REGULAR BUSINESS

ADJOURNMENT

There being no further business to come before the Common Council, it was moved by Alderperson LaMacchia, seconded by Alderperson Wicklund, to adjourn at 9:50 pm.

On a voice vote, motion carried.

Approved:

**KEITH G. BOSMAN
MAYOR**

Attest:

**DEBRA L. SALAS
CITY CLERK/TREASURER**

**COMMON COUNCIL
OFFICIAL PROCEEDINGS
November 24 & 25, 2014**

Keith G. Bosman, Mayor

Debra L. Salas, City Clerk

**KENOSHA MUNICIPAL BUILDING
COUNCIL CHAMBERS ROOM 200**

Monday, November 24, 2014

At a special meeting of the Common Council held this evening, His Honor, Mayor Keith G. Bosman presided.

The meeting was called to order at 5:00 pm.

On roll call, the following members of the Common Council were present: Alderpersons Michalski, Ruffolo, LaMacchia, Paff, Wicklund, Rosenberg, Gordon, Wilson, Prozanski, Rose, Johnson and Bogdala. Alderpersons Haugaard, Jenkins, Juliana and Bostrom were previously excused. Alderperson Kennedy joined the meeting after Item #2. It was moved by Alderperson Michalski, seconded by Alderperson Gordon to suspend the dress code. On a voice vote, motion carried.

Mayor Bosman led the Council in the Pledge of Allegiance to the American Flag.

1. Public Hearing on the 2015 – 2019 Capital Improvement Plan. No one spoke. The public hearing was closed.
2. Public Hearing on the 2015 City of Kenosha Budget. Alderperson Kennedy joined meeting. No one spoke. The public hearing was closed.

It was moved by Alderperson Michalski, seconded by Alderperson LaMacchia to convene to the Committee of the Whole. On a voice vote, motion carried.

**COMMITTEE OF THE WHOLE
KENOSHA, WISCONSIN**

Monday, November 24, 2014

On roll call, the following members of the Common Council were present: Alderpersons, Michalski, Ruffolo, LaMacchia, Paff, Wicklund, Rosenberg, Kennedy, Gordon, Wilson, Prozanski, Rose, Johnson and Bogdala. Alderpersons Jenkins and Bostrom were previously excused. Alderpersons Haugaard and Juliana joined the meeting during discussion of Item #1.

1. 2015 – 2019 Capital Improvement Plan.

It was moved by Alderperson Prozanski, seconded by Alderperson Wilson to recommend to the Common Council to approve the 2015-2019 Capital Improvement Plan as amended by the Finance Committee.

Alderperson Bogdala distributed copies of a proposed amendment and spoke. At this time, Alderperson Haugaard joined the meeting.

- 1.1 It was moved by Alderperson Bogdala, seconded by Alderperson Ruffolo to recommend to the Common Council to amend the 2015-2019 Capital Improvement Program as presented, by adding project Number OT-96-001, Snow Fleet Upgrades - Description – One Tandem dump truck with plow, wing, and salting/anti-icing capability added to the fleet each year: 2015 - \$230,000; 2016 - \$244,000; 2017 - \$253,000; 2018 - \$266,000; 2019 - \$279,000, total \$1,272,000.

On roll call vote, motion failed (3-11) with Alderpersons Ruffolo, Bogdala and Kennedy voting aye.

Alderperson Bogdala distributed copies of another proposed amendment and spoke.

- 1.2 It was moved by Alderperson Bogdala, seconded by Alderperson Ruffolo to recommend to the Common Council to amend the 2015-2019 Capital Improvement Program as presented, by adding Project Number OT-15-004, Advanced Technological Traffic Control Devices, two flashing solar powered LED Pedestrian Crossing signs to be installed at the intersection of CTH H and 65th Street - \$6,700. At this time Alderperson Juliana joined the meeting.

- 1.3 It was moved by Alderperson Michalski, seconded by Alderperson Wicklund to amend the amount to \$3,350. On a voice vote, motion failed.

On roll call vote, motion to amend the 2015-2019 Capital Improvement Program as presented, by adding Project Number OT-15-004, Advanced Technological Traffic Control Devices, two flashing solar powered LED Pedestrian Crossing signs to be installed at the intersection of CTH H and 65th Street - \$6,700 carried unanimously (15-0).

- 1.4 It was moved by Alderperson Prozanski, seconded by Alderperson LaMacchia to recommend to the Common Council to approve the 2015 – 2019 Capital Improvement Plan as amended by Committee of the Whole. On roll call vote, motion carried unanimously (15-0).

2. 2015 City of Kenosha Budgets, Making Appropriations, and Levying 2014 Property Taxes.

It was moved by Alderperson Prozanski, seconded by Alderperson Juliana to recommend to the Common Council to approve as recommended by the Finance Committee. On roll call vote, motion carried (13-2) with Alderpersons Bogdala and Ruffolo voting nay.

3. 2015 Public Library Tax Levy. It was moved by Alderperson Prozanski, seconded by Alderperson LaMacchia to recommend to the Common Council that the 2015 Public Library Tax Levy in the amount of \$4,892,185.00 be approved as recommended by the Finance Committee. On roll call vote, motion carried unanimously (15-0).

4. 2015 Public Museum Budget. It was moved by Alderperson Prozanski, seconded by Alderperson Michalski to recommend to the Common Council that the 2015 Public Museum Budget be approved as recommended by the Finance Committee. On roll call vote, motion carried unanimously (15-0).

5. Resolution By the Mayor – To Approve the 2015 Budget and Operating Plan of the Kenosha Lakeshore Business Improvement District (BID) and to Levy Special Assessments. It was moved by Alderperson Prozanski, seconded by Alderperson LaMacchia to recommend to the Common Council that the resolution be approved. On roll call vote, motion carried unanimously (15-0).

6. Resolution By the Mayor – To Approve the Table of Organization of the City of Kenosha, to Reclassify Positions, to Modify the Compensation Plans for Non-Represented Managerial, Supervisory, and Professional Employees; Limited Term, Seasonal, Temporary, and Part Time Employees; and to Modify Employee Benefits for Non-Represented Employees for 2015. It was moved by Alderperson Prozanski, seconded by Alderperson Wilson to recommend to the Common Council that the resolution be approved. On roll call vote, motion carried (13-2) with Alderpersons Bogdala and Ruffolo voting nay.

7. Resolution By the Mayor – To Establish Stormwater Utility Rates within the City of Kenosha, Wisconsin. It was moved by Alderperson Prozanski, seconded by Alderperson LaMacchia to recommend to the Common Council that the resolution be approved. On roll call vote, motion carried (13-2) with Alderpersons Bogdala and Ruffolo voting nay.

It was moved by Alderperson Kennedy, seconded by Alderperson Michalski to rise. On a voice vote, motion carried.

ADJOURNMENT

There being no further business to come before the Common Council and Committee of the Whole, it was moved by Alderperson Michalski, seconded by Alderperson LaMacchia to adjourn at 5:49 pm.
On a voice vote, motion carried.

Approved:

**KEITH G. BOSMAN
MAYOR**

Attest:

**DEBRA L. SALAS
CITY CLERK/TREASURER**

**COMMON COUNCIL
OFFICIAL PROCEEDINGS**

November 24 & 25, 2014

Keith G. Bosman, Mayor

Debra L. Salas, City Clerk

**KENOSHA MUNICIPAL
BUILDING
COUNCIL CHAMBERS ROOM 200
Tuesday, November 25, 2014**

At a special meeting of the Common Council held this evening, His Honor, Mayor Keith G. Bosman presided.

The meeting was called to order at 5:00 pm.

On roll call, the following members of the Common Council were present: Alderpersons, Haugaard, Jenkins, Michalski, Ruffolo, LaMacchia, Paff, Wicklund, Rosenberg, Kennedy, Gordon, Bostrom, Wilson, Prozanski, Rose, and Johnson. Alderpersons Juliana and Bogdala were previously excused.

It was moved by Alderperson Kennedy, seconded by Alderperson Michalski to suspend the dress code. On a voice vote, motion carried.

Mayor Bosman led the Council in the Pledge of Allegiance to the American Flag.

1. Resolution 142-14 - By Committee on Finance – To Approve the 2015 – 2019 Capital Improvement Plan. It was moved by Alderperson Prozanski, seconded by Alderperson LaMacchia to concur with the recommendation of the Committee of the Whole to approve. On roll call vote, motion carried (13-2) with Alderpersons Ruffolo and Bostrom voting nay.

2. Resolution 143-14 - By Committee on Finance – Adopting 2015 City of Kenosha Budgets, Making Appropriations and Levying 2014 Property Taxes. It was moved by Alderperson Prozanski, seconded by Alderperson Michalski to concur with the recommendation of the Committee of the Whole to approve. On roll call vote, motion carried (13-2) with Alderpersons Ruffolo and Bostrom voting nay.

3. Resolution 144-14 - By the Mayor – To Approve the 2015 Budget and Operating Plan of the Kenosha Lakeshore Business Improvement District (BID) and to Levy Special Assessments.

It was moved by Alderperson Prozanski, seconded by Alderperson LaMacchia to concur with the recommendation of the Committee of the Whole to approve. On roll call vote, motion carried unanimously (15-0).

4. Resolution 145-14 - By the Mayor – To Approve the Table of Organization of the City of Kenosha, to Reclassify Positions, to Modify the Compensation Plans for Non-Represented, Managerial, Supervisory, and Professional Employees; Limited Term, Seasonal, Temporary, and Part Time Employees; and to Modify Employee Benefits for Non-Represented Employees for 2015. It was moved by Alderperson Prozanski, seconded by Alderperson Michalski to concur with the recommendation of the Committee of the Whole to approve. On roll call vote, motion carried (14-1) with Alderperson Ruffolo voting nay.

5. Resolution 146-14 - By the Mayor – To Establish Stormwater Utility Rates within the City of Kenosha, Wisconsin. It was moved by Alderperson Prozanski, seconded by Alderperson Wilson to concur with the recommendation of the Committee of the Whole to approve. On roll call vote, motion carried (13-2) with Alderpersons Ruffolo and Bostrom voting nay.

ADJOURNMENT

There being no further business to come before the Common Council, it was moved by Alderperson Michalski, seconded by Alderperson LaMacchia at 5:08 pm.

On a voice vote, motion carried.

Approved:

**KEITH G. BOSMAN
MAYOR**

Attest:

**DEBRA L. SALAS
CITY CLERK/TREASURER3**

**COMMON COUNCIL
OFFICIAL PROCEEDINGS
December 1, 2014**

Keith G. Bosman, Mayor

Debra L. Salas, City Clerk

**KENOSHA MUNICIPAL BUILDING
COUNCIL CHAMBERS ROOM 200**

At a meeting of the Common Council held this evening, His Honor, Mayor Keith G. Bosman presided.

The meeting was called to order at 7:02 pm.

On roll call, the following members of the Common Council were present: Alderpersons Haugaard, Jenkins, Michalski, Ruffolo, LaMacchia, Paff, Juliana, Wicklund, Rosenberg, Kennedy, Gordon, Bostrom, Wilson, Prozanski, Rose, Johnson and Bogdala.

Alderperson Prozanski gave the invocation.

Mayor Bosman then led the Council in the Pledge of Allegiance to the American Flag.

Five citizens spoke during Citizens' Comments: Jil Wilson, Virginia Hoekstra, Diana Kanecki, Bob Waldron and Jane Palmen.

A. REFERRALS

TO THE COMMITTEE ON FINANCE

A.1. Resolution by the Mayor - To Adopt a Project Plan Amendment for Tax Incremental District #4 (City of Kenosha, Wisconsin, Under Section 66.1105(4)(h)1., Wisconsin Statutes). (Also referred to City Plan Commission)

A.2. Resolution by the Mayor - To Adopt a Project Plan Amendment for Tax Incremental District #5 (City of Kenosha, Wisconsin, Under Section 66.1105(4)(h)1., Wisconsin Statutes). (Also referred to City Plan Commission)

TO THE PUBLIC WORKS COMMITTEE

A.3. Conditional Use Permit Amendment for a contractor's storage yard to be located at 5820 49th Street. (District 16) (Thomas Concrete)

**B. COMMUNICATIONS,
PETITIONS, REPORTS
OF DEPARTMENTS**

B.1. It was moved by Alderperson Kennedy, seconded by Alderperson LaMacchia, to approve:

a. 20 applications for an Operator's (Bartender's) license, per list on file in the office of the City Clerk.

b. 1 transfer of agent status of Beer and/or Liquor license.

c. There were no applications for a Temporary Class "B" Beer and/or "Class B" Wine license.

d. There were no applications for a Taxi Driver's license.

On a voice vote, motion carried.

C. RECOMMENDATIONS FROM THE COMMITTEE ON LICENSING/PERMITS

C.1. It was moved by Alderperson Wilson, seconded by Alderperson Kennedy, to approve applications for new Operator's (Bartender's) licenses subject to:

- 0 demerit points:

a. Patricia Watson

b. Adrianna Hernandez

- 35 demerit points:

c. Joshua Greene

- 45 demerit points:

d. Bernard Sanders

- 50 demerit points:

e. Savannah Ingram

f. Marcela Amaya

- 55 demerit points

g. Cody Schoen

- 60 demerit points:

h. Andrea Siler

- 80 demerit points:

i. Ryan Heller

C.1.1. It was moved by Alderperson Bogdala, seconded by Alderperson Kennedy, to separate f. and i. On a voice vote, motion carried.

C.1.2. It was moved by Alderperson Kennedy, seconded by Alderperson LaMacchia, to approve. On a voice vote, motion carried.

A hearing was held. The applicants did not appear. On a voice vote, motion carried.

C.2. It was moved by Alderperson Kennedy, seconded by Alderperson LaMacchia, to deny application of Antonio Scott for a new Taxi Driver's License based on material police record. A hearing was held. The applicant did not appear. On a voice vote, motion carried.

C.3. It was moved by Alderperson Wilson, seconded by Alderperson Juliana, to deny application of Tamika Brooks for a new Taxi Driver's License based on material police record and false application. A hearing was held. The applicant did not appear. On a voice vote, motion carried.

C.4. It was moved by Alderperson Wilson, seconded by Alderperson Paff, to approve application of Manny's, LLC, for a Class "A" Beer/ "Class A" Liquor license located at 2121 45th Street (Lenci's Food & Deli), upon surrender of a similar license at the same location from Lenci's Food & Deli, Inc., subject to 25 demerit points. A hearing was held. Manal Yusuf, member/agent appeared. On a voice vote, motion carried.

C.5. It was moved by Alderperson Juliana, seconded by Alderperson LaMacchia, to approve application of Mathew Jelinek for an Amusement & Recreation Enterprise Supervisor License located at 5301 22nd Avenue (8 Bit). A hearing was held. The applicant did not appear. On a voice vote, motion carried.

D. REPORTS AND RECOMMENDATIONS OF BOARDS AND COMMISSIONS

It was moved by Alderperson Michalski, seconded by Alderperson LaMacchia, to approve:

D.1. Conditional Use Permit for a 19,017 s.f. addition to an existing church at 10700 75th Street (Journey Church). A public hearing was held. No one spoke. On roll call vote, motion carried unanimously.

E. ORDINANCES 1ST READING

**COMMON COUNCIL
OFFICIAL PROCEEDINGS
December 1, 2014**

Keith G. Bosman, Mayor

Debra L. Salas, City Clerk

F. ZONING ORDINANCES 1ST READING

It was moved by Alderperson Kennedy, seconded by Alderperson Ruffolo, to send the following ordinances on their way:

F.1. Zoning Ordinance by the Mayor - To Renumber Subparagraph 10.02 A.6 as 10.02 A.7 (of the Zoning Ordinance) regarding Additional Information and To Create Subparagraph 10.02 A.6 regarding proposed Industrial Development.

F.2. Zoning Ordinance by the Mayor - To Repeal and Recreate Subparagraph 3.14 F.3 (of the Zoning Ordinance for the City of Kenosha, Wisconsin) regarding Rear Yard Setbacks in the B-2 Community Business District.

On a voice vote, motion carried.

G. ORDINANCES 2ND READING

H. ZONING ORDINANCES 2ND READING

Full text of ordinances are on file in the office of the City Clerk.

H.1. It was moved by Alderperson LaMacchia, seconded by Alderperson Paff, to adopt Zoning Ordinance 50-14. A public hearing was held. No one spoke for or against said ordinance. On roll call vote, motion carried unanimously and said ordinance was thereupon adopted:

Zoning Ordinance 50-14

by the City Plan Commission - To Create Subsection 18.02 jj. (of the Zoning Ordinance) to Amend the Land Use Plan Map for the City of Kenosha: 2035 (Clark).

Approved: Keith G. Bosman, Mayor

Attest: Debra L. Salas, City Clerk-Treasurer

Passed: December 1, 2014

Published: December 5, 2014

H.2. It was moved by Alderperson LaMacchia, seconded by Alderperson Paff, to approve Rezoning Ordinance 51-14. A public hearing was held. No one spoke for or against said ordinance. On roll call vote, motion carried unanimously and said ordinance was thereupon adopted:

Rezoning Ordinance 51-14

by the Mayor - To rezone property at 6300 3rd Avenue from IP Institutional Park District to RS-1 Single-Family Residential District (Clark).

Approved: Keith G. Bosman, Mayor

Attest: Debra L. Salas, City Clerk-Treasurer

Passed: December 1, 2014

Published: December 5, 2014

H.3. It was moved by Alderperson Wilson, seconded by Alderperson LaMacchia, to approve Zoning Ordinance 52-14. A public hearing was held. Natasha Ruffolo, 3308 29th Street, spoke. On roll call vote, motion carried unanimously and said ordinance was thereupon adopted:

Zoning Ordinance 52-14

by the City Plan Commission - To Create Subsection 18.02 kk. (of the Zoning Ordinance) to Amend the Land Use Plan Map for the City of Kenosha: 2035 (MLR Properties).

Approved: Keith G. Bosman, Mayor

Attest: Debra L. Salas, City Clerk-Treasurer

Passed: December 1, 2014

Published: December 5, 2014

H.4. It was moved by Alderperson Wilson, seconded by Alderperson LaMacchia, to approve Rezoning Ordinance 53-14. A public hearing was held. No one spoke for or against said ordinance. On roll call vote, motion carried unanimously and said ordinance was thereupon adopted:

Rezoning Ordinance 53-14

by the Mayor - To rezone property at 7505 38th Avenue from RG-1 General Residential District to B-1 Neighborhood Business District (MLR Properties, LLC)

Approved: Keith G. Bosman, Mayor

Attest: Debra L. Salas, City Clerk-Treasurer

Passed: December 1, 2014

Published: December 5, 2014

H.5. It was moved by Alderperson LaMacchia, seconded by Alderperson Rosenberg, to approve Zoning Ordinance 54-14. A public hearing was held. Twenty-two (22) citizens spoke. Fran Hansen, Director of Shalom Center, was called to the podium to answer questions.

H.5.1. It was moved by Alderperson Haugaard, seconded by Alderperson Kennedy, to defer to the 1st meeting in January. On a voice vote, motion failed. On roll call vote, motion to approve carried (13-4) with Alderpersons Jenkins, Michalski, Juliana and Kennedy voting nay and said ordinance was thereupon adopted:

Zoning Ordinance 54-14

by the City Plan Commission - To Create Subsection 18.02 hh. (of the Zoning Ordinance) to Amend the Land Use Plan Map for the City of Kenosha: 2035 (Shalom Center).

At 10:11 pm, it was moved by Alderperson Kennedy, seconded by Alderperson LaMacchia, to take a recess. On a voice vote, motion carried. The meeting reconvened at 10:19 pm.

H.6. It was moved by Alderperson Gordon, seconded by Alderperson LaMacchia, to approve Rezoning Ordinance 55-14. A public hearing was held. No one spoke.

H.6.1. It was moved by Alderperson Johnson, seconded by Alderperson LaMacchia, to move the previous question. On roll call vote, motion failed (10-6) with Alderpersons Haugaard, Kennedy, Bogdala, Michalski, Ruffolo and Juliana voting nay (2/3 vote required) and Alderperson Jenkins not present for the vote. Fran Hansen, Director of the Shalom Center, was called to the podium to answer questions. On roll call vote, motion to approve carried (13-4) with Alderpersons Kennedy, Jenkins, Michalski and Juliana voting nay and said ordinance was thereupon adopted:

Rezoning Ordinance 55-14

by the Mayor - To Rezone property at 6201 14th Avenue from B-2 Community Business District to IP Institutional Park District (in conformance with Section 10.02 of the Zoning Ordinance) (Shalom Center).

Approved: Keith G. Bosman, Mayor

**COMMON COUNCIL
OFFICIAL PROCEEDINGS
December 1, 2014**

Keith G. Bosman, Mayor

Debra L. Salas, City Clerk

Attest: Debra L. Salas, City Clerk-Treasurer

Passed: December 1, 2014

Published: December 5, 2014

H.7. It was moved by Alderperson LaMacchia, seconded by Alderperson Kennedy, to approve Zoning Ordinance 56-14. A public hearing was held. No one spoke for or against said ordinance. On roll call vote, motion carried unanimously and said ordinance was thereupon adopted:

Zoning Ordinance 56-14

by the City Plan Commission - To Create Subsection 18.02 ii. (of the Zoning Ordinance) to Amend the Bristol Neighborhood Plan as referenced in the Comprehensive Plan for the City of Kenosha: 2035.

Approved: Keith G. Bosman, Mayor

Attest: Debra L. Salas, City Clerk-Treasurer

Passed: December 1, 2014

Published: December 5, 2014

H.8. It was moved by Alderperson LaMacchia, seconded by Alderperson Kennedy, to approve Zoning Ordinance 57-14. A public hearing was held. Brian Quigley, Attorney for the buyer, spoke. On roll call vote, motion carried unanimously and said ordinance was thereupon adopted:

Rezoning Ordinance 57-14

by the Mayor - To Rezone properties South of 60th Street and West of Interstate 94 from A-2 Agricultural Land Holding District, TRD-1 Traditional Single and Two-Family Residential District and TRD-2 Traditional Multi-Family Residential District to M-2 Heavy Manufacturing District (in conformance with Section 10.02 of the Zoning Ordinance)(Anchor Bank).

Approved: Keith G. Bosman, Mayor

Attest: Debra L. Salas, City Clerk-Treasurer

Passed: December 1, 2014

Published: December 5, 2014

H.9. It was moved by Alderperson LaMacchia, seconded by Alderperson Kennedy, to approve Zoning Ordinance 58-14. A public hearing was held. Louis Rugani, 4526 29th Avenue, spoke in favor. On roll call vote, motion carried unanimously and said ordinance was thereupon adopted:

Zoning Ordinance 58-14

by the Mayor - To Repeal and Recreate Sections IV and XIV (of the Zoning Ordinance for the City of Kenosha, WI) to reflect the change in name by substituting the term "Lawn Park" in place of "Parkway" wherever that term appears and to Repeal and Recreate Subparagraph 4.06 B.16 regarding self-service storage facilities.

Approved: Keith G. Bosman, Mayor

Attest: Debra L. Salas, City Clerk-Treasurer

Passed: December 1, 2014

Published: December 5, 2014

H.10. It was moved by Alderperson Kennedy, seconded by Alderperson LaMacchia, to approve Zoning Ordinance 59-14. A public hearing was held. No one spoke for or against said ordinance. On roll call vote, motion carried unanimously and said ordinance was thereupon adopted:

Zoning Ordinance 59-14

by the City Plan Commission - To Create Subsection 18.02 ll. (of the Zoning Ordinance) to Amend the City of Kenosha Downtown Strategic Development Plan dated August 2012 and as Referenced in the Comprehensive Plan for the City of Kenosha: 2035.

Approved: Keith G. Bosman, Mayor

Attest: Debra L. Salas, City Clerk-Treasurer

Passed: December 1, 2014

Published: December 5, 2014

I. RESOLUTIONS

Full text of resolutions are on file in the office of the City Clerk.

I.1. It was moved by Alderperson LaMacchia, seconded by Alderperson Ruffolo, to approve Resolution 147-14. A public hearing was held. No one spoke for or against said resolution. On roll call vote, motion carried unanimously and said resolution was thereupon approved:

Resolution 147-14

by the Finance Committee - Resolution to Approve the 2015 Consolidated Plan - Annual Plan for the Community Development Block Grant/HOME Program.

Approved: December 1, 2014

I.2. It was moved by Alderperson Kennedy, seconded by Alderperson Bostrom, to approve Resolution 148-14. A public A public hearing was held. No one spoke for or against said resolution. On roll call vote, motion carried unanimously and said resolution was thereupon approved:

Resolution 148-14

by the Committee on Public Works - Resolution to vacate a portion of 55th Street from its Limits at the west side of 22nd Avenue.

Approved: December 1, 2014

I.3. It was moved by Alderperson Kennedy, seconded by Alderperson Bostrom, to approve Resolution 149-14. A public hearing was held. No one spoke for or against said resolution. On roll call vote, motion carried (15-2) with Alderpersons Bogdala and Ruffolo voting nay and said resolution was thereupon approved:

Resolution 149-14

by the Mayor - to Approve a Two-Lot Certified Survey Map for property at 5821 5th Avenue (5th Avenue Lofts/Keno Wells).

Approved: December 1, 2014

**J. APPOINTMENTS/
REAPPOINTMENTS BY THE MAYOR**

K. PUBLIC CONSTRUCTION AND IMPROVEMENT CONTRACTS

**COMMON COUNCIL
OFFICIAL PROCEEDINGS
December 1, 2014**

Keith G. Bosman, Mayor

Debra L. Salas, City Clerk

L. OTHER CONTRACTS AND AGREEMENTS

It was moved by Alderperson Gordon, seconded by Alderperson LaMacchia, to approve:

L.1. Request from Kenosha Area Business Alliance (KABA) for an Extension to their 2013 Community Development Block Grant Subgrantee Agreement. Heather Wessling-Grosz, KABA Vice President of Economic Development, was called to the podium to answer questions. On roll call vote, motion carried unanimously.

It was moved by Alderperson Kennedy, seconded by Alderperson Wilson, to approve:

L.2. Development Agreement between The City of Kenosha and Keno Wells, LLC and 5th Avenue Lofts, LLC for property at 5821 5th Avenue (5th Avenue Lofts). On roll call vote, motion carried (15-2) with Alderpersons Bogdala and Ruffolo voting nay.

It was moved by Alderperson Kennedy, seconded by Alderperson LaMacchia, to approve:

L.3. Lender Services Termination Agreement By and Between the City of Kenosha and Talmer Bank and Trust. On roll call vote, motion carried unanimously.

It was moved by Alderperson Kennedy, seconded by Alderperson LaMacchia, to approve:

L.4. Lender Services Agreement By and Between the City of Kenosha and State Bank of the Lakes For the Administration of the Tax Incremental District (TID) Rehabilitation Loan Program. On roll call vote, motion carried unanimously.

It was moved by Alderperson Kennedy, seconded by Alderperson LaMacchia, to approve:

L.5. Lender Services Agreement By and Between the City of Kenosha and State Bank of the Lakes For the Administration of the Housing and Economic Loan Program (H.E.L.P.). On roll call vote, motion carried unanimously.

It was moved by Alderperson Bostrom, seconded by Alderperson LaMacchia, to approve:

L.6. Permanent Storm Sewer Easement and Agreement between Keno Wells 5th Avenue Lofts, LLC and the City of Kenosha, Wisconsin. On roll call vote, motion carried (15-2) with Alderpersons Bogdala and Ruffolo voting nay.

It was moved by Alderperson Juliana, seconded by Alderperson Paff, to approve:

L.7. Stormwater Management Practices Maintenance Agreement for Stormwater Management Facilities between the City of Kenosha, Wisconsin and Keno Wells, LLC and 5th Avenue Lofts, LLC. On roll call vote, motion carried (15-2) with Alderpersons Bogdala and Ruffolo voting nay.

M. RECOMMENDATIONS FROM THE COMMITTEE ON FINANCE

M.1. It was moved by Alderperson LaMacchia, seconded by Alderperson Paff, to approve Disbursement Record #21 - \$5,443,889.12. On roll call vote, motion carried unanimously.

M.2. It was moved by Alderperson Ruffolo, seconded by Alderperson Paff, to deny Claim of Matthew Haubrich. On roll call vote, motion carried unanimously.

M.3. It was moved by Alderperson Ruffolo, seconded by Alderperson Paff, to deny Claim of Cathy Semenas on behalf of minor daughter, Caitlin Semenas. On roll call vote, motion carried (16-0-1) with Alderperson Prozanski abstaining.

N. RECOMMENDATIONS FROM THE COMMITTEE ON PUBLIC WORKS

It was moved by Alderperson LaMacchia, seconded by Alderperson Bostrom, to approve Final Acceptance of:

N.1. Project 13-1016 Resurfacing Phase III (Base Bid: 34th Avenue – 86th Place to 88th Place, 44th Avenue Cul-de-Sac south of 87th Place, 87th Place Cul-de-Sac west of 42nd Avenue; Alternate 1: 26th Avenue – 34th Street to 31st Street; Alternate 2: 40th Street – Sheridan Rd to 8th Avenue) which has been satisfactorily completed by Cicchini Asphalt, LLC (Kenosha, Wisconsin). The final amount of the contract is \$564,979.02. On roll call vote, motion carried unanimously.

**O. RECOMMENDATIONS FROM THE COMMITTEE ON
PUBLIC SAFETY & WELFARE**

P. AND SUCH MATTERS AS ARE AUTHORIZED BY LAW OR REGULAR BUSINESS

ADJOURNMENT

There being no further business to come before the Common Council, it was moved by Alderperson LaMacchia, seconded by Alderperson Rosenberg, to adjourn at 11:05 pm.

On a voice vote, motion carried.

Approved:

**KEITH G. BOSMAN
MAYOR**

Attest:

**DEBRA L. SALAS
CITY CLERK/TREASURER**

B.1.	December 15, 2014			NO ADVERSE
a.	BARTENDERS			
	First Name	Last Name	Address	Business Name
1	Joshua	Abramson	1640 96 th St. Unit 87	CVS
2	Terri - Jo	Bond	405 Liberator St - Guinn, MI	Charcoal Grill
3	Katie	Drohner	W974 Clayton Ct - Burlington, WI	8 Bit
4	Rachael	Fanke	5009 58 th St. #21	Texas Roadhouse
5	Jessica	Greenwood	1713 28 th St.	Pick N Save
6	Logan	Hartnell	5727 83 rd Pl, Kenosha	Bartley House
7	Ijaz	Haq	8320 82 nd St.	American Liquor
8	Nicole	Isch	316 Casco Bay, Winthrop Harbor, IL	The Bull's Eye
9	Kristina	Jackson	4007 28 th Ave #5	Pick N Save
10	Jandel	Kelly	43382 N. Kilbourne Rd - Russell, IL	Kaiser's
11	Samantha	Lopez	4020 Pinehill Blvd, Racine	The Garage
12	Kathryn	Moreno	1725 84 th Pl	
13	Tori	Mosley	5215 58 th Ave #23	Sports Plaza Mobil
14	Keri	Nance	4707 10 th Ave, Kenosha	Noodles and Co.
15	Jacqueline	Pietluck	7927 160 th Ave	Speedway
16	Gregory	Reget	3803 10 th Ave, Kenosha	Applebee's
17	Mariah	Rossov Jeffery	3119 29 th St.	Uncle Mike's
18	Amber	Serrano	1153 Sheridan Rd	Bindelli's
19	Ronald	Sieler	12136 223 rd Ave	Kwik Trip
20	Joshua	Tylski	1015 71 st St.	Red Robin
	TOTAL =	20		
b.	TRANSFER OF AGENT			
	First Name	Last Name	Address	Business Name
	TOTAL =	0		
c.	TEMPORARY CLASS "B" BEER			
	Event Date	Organization Name	Location of Event	Event
1	12/28/14	Kenosha Blue Line Hockey Club	7227 60 th Ave	Benefit for Jasmin Lee
	TEMPORARY CLASS "Class B" WINE			
	Event Date	Organization Name	Location of Event	Event
	TEMPORARY CLASS "B" BEER & "Class B" WINE			
	Event Date	Organization Name	Location of Event	Event
	TOTAL =	1		
d.	TAXI DRIVERS			
	First Name	Last Name	Address	Business Name
	TOTAL =	0		

APPLICANT INFORMATION			
Date of Application	Name of Applicant	Applicant's Date of Birth	Driver's License Status
11/25/2014	Jose Javier Becerra Ramos		No DL- IL ID ONLY
License Number	Address of Applicant	Business (where license is to be used)	Business Address
N150833	411 S. Jackson, Waukegan, IL	Nayarit	6034-22nd Avenue

DATE OF CHARGE	OFFENSE	CASE STATUS	OFFENSE LISTED ON APPLICATION	POINTS
6/13/2011	NO VALID DL	GUILTY	Y	5
6/2/2013	NO VALID DL	GUILTY	Y	5
Applicant was contacted because he listed 2 traffic violations on his application but listed no DL number. He then resubmitted his application with 2 No DL tickets.				

CITY ATTORNEY'S RECOMMENDATION		
Offense Demerit Points	10	
Were all offenses listed on the application?	Y	
TOTAL DEMERIT POINTS	10	

CITY ATTORNEY'S COMMENTS

FINAL RECOMMENDATION
<input checked="" type="checkbox"/> GRANT , Subject to <input type="text" value="10"/> Demerit Points
<input type="checkbox"/> DENY , based on material police record (substantially related to the license activity)
<input type="checkbox"/> DEFER or GRANT subject to Non-Renewal Revocation due to False Application

APPLICANT INFORMATION			
Date of Application	Name of Applicant	Applicant's Date of Birth	Driver's License Status
12/1/2014	Blanca Maslowski		Valid
License Number	Address of Applicant	Business (where license is to be used)	Business Address
N27249	617 Outlook Dr., Twin Lakes, WI	CVS	

DATE OF CHARGE	OFFENSE	CASE STATUS	OFFENSE LISTED ON APPLICATION	POINTS
3/31/2012	OPERATING WHILE SUSPENDED	GUILTY	N	10

CITY ATTORNEY'S RECOMMENDATION		
Offense Demerit Points	10	
Were all offenses listed on the application?	N=20	
TOTAL DEMERIT POINTS	30	

CITY ATTORNEY'S COMMENTS

FINAL RECOMMENDATION
<input checked="" type="checkbox"/> GRANT , Subject to <input type="text" value="30"/> Demerit Points
<input type="checkbox"/> DENY , based on material police record (substantially related to the license activity)
<input type="checkbox"/> DEFER or GRANT subject to Non-Renewal Revocation due to False Application

APPLICANT INFORMATION			
Date of Application	Name of Applicant	Applicant's Date of Birth	Driver's License Status
11/25/2014	Douglas S. Bolin		Revoked
License Number	Address of Applicant	Business (where license is to be used)	Business Address
N150831	4513-37th Avenue	Wilkomm's Mobil	

DATE OF CHARGE	OFFENSE	CASE STATUS	OFFENSE LISTED ON APPLICATION	POINTS
4/13/2011	OPERATING WHILE INTOXICATED	GUILTY	N	50
3/29/2012	OPERATING WHILE SUSPENDED	GUILTY	N	10

CITY ATTORNEY'S RECOMMENDATION		
Offense Demerit Points	60	
Were all offenses listed on the application?	N=20	
TOTAL DEMERIT POINTS	80	

CITY ATTORNEY'S COMMENTS

FINAL RECOMMENDATION
<input checked="" type="checkbox"/> GRANT , Subject to <input type="text" value="80"/> Demerit Points
<input type="checkbox"/> DENY , based on material police record (substantially related to the license activity)
<input type="checkbox"/> DEFER or GRANT subject to Non-Renewal Revocation due to False Application

ORIGINAL ALCOHOL BEVERAGE RETAIL LICENSE APPLICATION

Submit to municipal clerk.

For the license period beginning December 16 2014 ending June 30 2015

TO THE GOVERNING BODY of the: Town of Village of City of } Kenosha, WI
 County of Kenosha Aldermanic Dist. No. 3 (if required by ordinance)

Applicant's Wisconsin Seller's Permit Number: <u>456-10281799</u>	
Federal Employer Identification Number (FEIN): <u>463499124</u>	
LICENSE REQUESTED	
TYPE	FEE
<input type="checkbox"/> Class A beer	\$
<input checked="" type="checkbox"/> Class B beer	\$ <u>58</u> -
<input type="checkbox"/> Class C wine	\$
<input type="checkbox"/> Class A liquor	\$
<input checked="" type="checkbox"/> Class B liquor	\$ <u>292</u> -
<input type="checkbox"/> Reserve Class B liquor	\$
Publication fee	\$ <u>46</u> -
TOTAL FEE	\$ <u>396</u> -

41-02
 12/18
 CC 12/15

1. The named INDIVIDUAL PARTNERSHIP LIMITED LIABILITY COMPANY CORPORATION/NONPROFIT ORGANIZATION

hereby makes application for the alcohol beverage license(s) checked above.

2. Name (individual/partners give last name, first, middle; corporations/limited liability companies give registered name): NAYARIT INC.

An "Auxiliary Questionnaire," Form AT-103, must be completed and attached to this application by each individual applicant, by each member of a partnership, and by each officer, director and agent of a corporation or nonprofit organization, and by each member/manager and agent of a limited liability company. List the name, title, and place of residence of each person.

Title	Name	Home Address	Post Office & Zip Code
President/Member	<u>PRESIDENT RAUL GONZALEZ</u>	<u>6034 22nd Ave</u>	<u>Kenosha, WI 53143</u>
Vice President/Member			
Secretary/Member			
Treasurer/Member			
Agent	<u>AGENT RAUL GONZALEZ</u>	<u>6034 22nd Ave</u>	<u>Kenosha, WI 53143</u>
Directors/Managers			

3. Trade Name NAYARIT INC - DBA ISLA DEL MAR #4 Business Phone Number (262) 564-0085

4. Address of Premises 6034 22nd Ave KENOSHA, WI Post Office & Zip Code 53143

5. Is individual, partner or agent of corporation/limited liability company subject to completion of the responsible beverage server training course for this license period? Yes No
6. Is the applicant an employee or agent of, or acting on behalf of anyone except the named applicant? Yes No
7. Does any other alcohol beverage retail licensee or wholesale permittee have any interest in or control of this business? Yes No
8. (a) Corporate/limited liability company applicants only: Insert state WISCONSIN and date 9/20/13 of registration.
 (b) Is applicant corporation/limited liability company a subsidiary of any other corporation or limited liability company? Yes No
 (c) Does the corporation, or any officer, director, stockholder or agent or limited liability company, or any member/manager or agent hold any interest in any other alcohol beverage license or permit in Wisconsin? Yes NO

(NOTE: All applicants explain fully on reverse side of this form every YES answer in sections 5, 6, 7 and 8 above.) CLASS B BEER RFG
 9. Premises description: Describe building or buildings where alcohol beverages are to be sold and stored. The applicant must include all rooms including living quarters, if used, for the sales, service, and/or storage of alcohol beverages and records. (Alcohol beverages may be sold and stored only on the premises described.) RESTAURANT NAYARIT INC

10. Legal description (omit if street address is given above):
11. (a) Was this premises licensed for the sale of liquor or beer during the past license year? Yes No
 (b) If yes, under what name was license issued? NAYARIT INC., RAUL F GONZALEZ
12. Does the applicant understand they must file a Special Occupational Tax return (TTB form 6630.5) before beginning business? [phone 1-800-937-8884] Yes No
13. Does the applicant understand a Wisconsin Seller's Permit must be applied for and issued in the same name as that shown in Section 2, above? [phone (608) 286-2776] Yes No
14. Does the applicant understand that they must purchase alcohol beverages only from Wisconsin wholesalers, breweries and brewpubs? Yes No

READ CAREFULLY BEFORE SIGNING: Under penalty provided by law, the applicant states that each of the above questions has been (truthfully answered to the best of the knowledge of the signers. Signers agree to operate this business according to law and that the rights and responsibilities conferred by the license(s), if granted, will not be assigned to another. (Individual applicants and each member of a partnership applicant must sign; corporate officer(s), members/managers of Limited Liability Companies must sign.) Any lack of access to any portion of a licensed premises during inspection will be deemed a refusal to permit inspection. Such refusal is a misdemeanor and grounds for revocation of this license.

SUBSCRIBED AND SWORN TO BEFORE ME
 this 25 day of November, 2014
Michael J. DeLeon
 (Clerk/Notary Public)

Raul F Gonzalez
 (Officer of Corporation/Member/Manager of Limited Liability Company/Partner/Individual)
Michael J. DeLeon
 (Officer of Corporation/Member/Manager of Limited Liability Company/Partner)
Michael J. DeLeon
 (Additional Partner(s)/Member/Manager of Limited Liability Company if Any)

My commission expires 4-11-17

TO BE COMPLETED BY CLERK			
Date received and filed with municipal clerk	Date reported to council/board	Date provisional license issued	Signature of Clerk / Deputy Clerk
Date license granted	Date license issued	License number issued	

**CITY OF KENOSHA STATEMENT OF ECONOMIC IMPACT
APPLICATION FOR BEER AND OR LIQUOR LICENSE – CHECK ALL THAT APPLY:**

<input type="checkbox"/>	CLASS "A" BEER (GROCERY STORE, LIQUOR STORE, GAS STATION)	<input type="checkbox"/>	"CLASS A" LIQUOR (GROCERY STORE, LIQUOR STORE, GAS STATION)
<input checked="" type="checkbox"/>	CLASS "B" BEER (RESTAURANT, BAR)	<input checked="" type="checkbox"/>	"CLASS B" LIQUOR (RESTAURANT, BAR)

- Applicant Name Noyant, Inc Business Name La Isla del Mar #4
- Property Information: Address 6034 22nd Ave Owner ANTONIO GARCIA
 If applicant is not owner, does applicant have a lease agreement with the owner? Yes or No (NOTE: Proof of property ownership or proof of an executed lease must be provided to the City Clerk before the license will be issued.)
- Square footage of building 1500 sq ft Assessed value of property \$100,000
- Assessed value of personal property (furniture, fixtures, equipment to be used in the business) \$15,000
- If this application is for a "Class A" Liquor license, is the premises physically closed to customers during the hours in which sales are not permitted? Yes or No or Not Applicable (circle one)
- Gross Monthly Revenue - According to Section 10.03, applicants must come within 70% of the estimate of gross monthly revenue for alcohol beverages after one full license term or the license may be subject to revocation.

FOR EACH PRODUCT, PROVIDE GROSS MONTHLY REVENUE AND BASIS FOR ESTIMATES:

BEER 2,000

LIQUOR 3,000

FOOD 13,000

OTHER (specify) _____

TOTAL GROSS MONTHLY REVENUE 18,000 monthly

(OVER)

CITY OF KENOSHA STATEMENT OF ECONOMIC IMPACT - PAGE TWO

Applicant Name NAYARIT INC Business Name DBA ISLA DEL MAR #4

Property Information: Address 6034 22nd Ave Owner ANTONIO GARCIA

7. Explain how the issuance of this license will benefit the City: We are a serious and productive local restaurant that has been operating for the past 11 months in Kenosha. We have invested in Kenosha and provide a unique seafood experience, with hopes to expand menu with mixed drinks, etc.

8. Explain why the business will have a substantial positive impact upon the surrounding properties: We have helped revitalize Kenosha's Uptown neighborhood, and we bring value to the community by operating a business that employs local people, offers a diverse menu, and maintains premises clean.

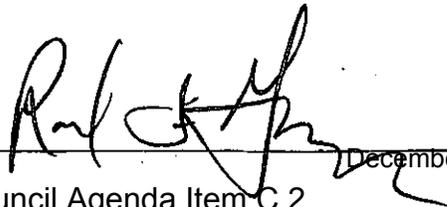
9. Explain why the business have a significant, positive influence on the City economy: Having been open for 11 months and weathering opening costs and growing everyday with acceptance from the community, we hope to continue being stable, productive, and profitable members of the Kenosha family dining scene, offering.

10. Has the applicant contacted the alderperson of the district where this business is located? Yes, Ald Jan Michalstki

11. List other factors the Common Council should consider:

As operators of a successful independent restaurant in Waukegan IL for the past 5 years, we hope to bring that same optimism and determination to make our Kenosha location as successful. With the expanded license, our diverse menu offerings will help expand our beverage options and appeal, without compromising our family dining values. We hope to maintain the same decent operating hours and continue to comply and contribute to the local Kenosha community.

Applicant's Signature X



December 15, 2014 Pg. 22

LICENSE SURRENDER

STATE OF WISCONSIN

KENOSHA COUNTY } SS

NAYARIT INC

(Individual/Partners/Corporation Name)

being first duly sworn on oath, says that he/she is the holder of the following license(s) (check all that apply) issued by the City of Kenosha, Wisconsin:

- "Class B" Liquor
- Class "B" Beer (Fermented Malt Beverage)
- "Class A" Liquor
- Class "A" Beer (Fermented Malt Beverage)
- "Class C" Wine

Affiant will surrender said license #(s) 156010 to the City Clerk.

That this affidavit is made to inform the City Council that the affiant hereby intends not to apply for said license(s) for the ensuing year, and to propose to the said council that said license(s) be granted to:

NAYARIT INC

to whom your affiant has sold his business and, to whom your affiant surrenders all of his privileges to apply for a license.

Affiant will surrender said license(s) # 150010 to the City Clerk

prior to the time a license is issued to NAYARIT INC

and provide further that a license is granted to NAYARIT INC the person herein designated.

Rail S. Murphy
Individual/Partner/President of Corporation

Partner/Corporate Officer

Subscribed and sworn to before me this 25 day of November, 2014.

Michael J. Nelson
Notary Public

Kenosha County, Wisconsin

My Commission Expires: 4-11-17

APPLICANT INFORMATION			
Date of Application	Name of Applicant	Applicant's Date of Birth	Driver's License Status
12/2/2014	Raul Gonzalez		Valid
License Number	Address of Applicant	Business (where license is to be used)	Business Address
	6034-22nd Ave, #1	Isla Del Mar #4	6034-22nd Avenue

DATE OF CHARGE	OFFENSE	CASE STATUS	OFFENSE LISTED ON APPLICATION	POINTS
3/21/2014	LIQUOR, LICENSE VIOLATION	DISMISSED/ BT GUILTY	Y	25
4/29/2014	LICENSE VIOLATION AMUSEMENT DEVICE	GUILTY	Y	5

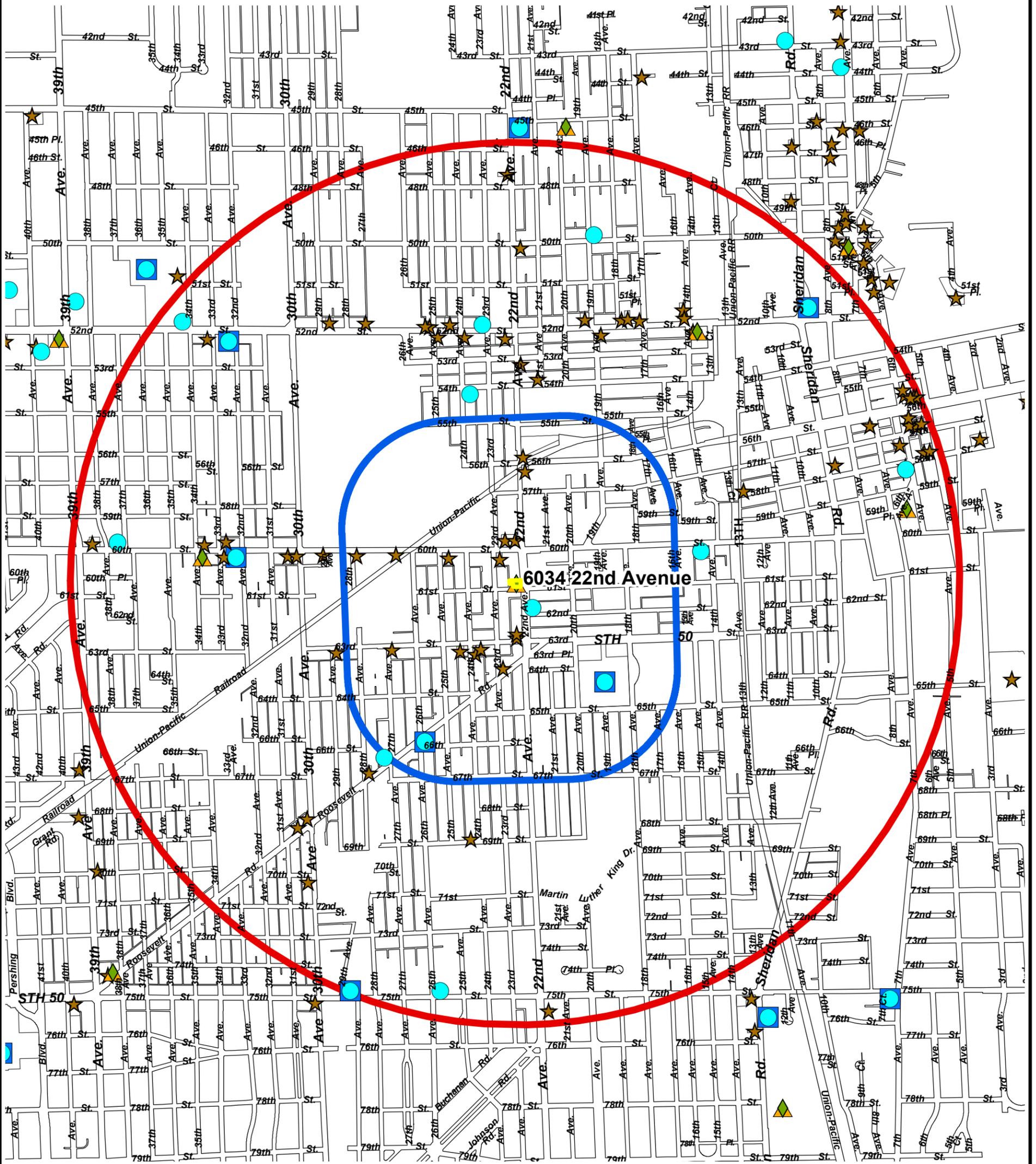
CITY ATTORNEY'S RECOMMENDATION		
Offense Demerit Points	30	
Were all offenses listed on the application?	Y	
TOTAL DEMERIT POINTS	30	

CITY ATTORNEY'S COMMENTS

FINAL RECOMMENDATION	
<input checked="" type="checkbox"/>	GRANT , Subject to <input type="text" value="30"/> Demerit Points
<input type="checkbox"/>	DENY , based on material police record (substantially related to the license activity)
<input type="checkbox"/>	DEFER or GRANT subject to Non-Renewal Revocation due to False Application

Class "B" Beer / "Class B" Liquor application

6034 22nd Avenue



- Class "A"
- "Class A"
- ◆ Class "B"
- ★ Class "B" & "Class B"
- ▲ "Class C"

— 5,280 feet from applicant

— 6 blocks from applicant

5,280 ft. Radius	Class "A"				
	Class "A"	"Class A"	Class "B"	Class "B" & "Class B"	"Class C"
Residential Districts	0	0	0	4	0
Business Districts	17	7	4	65	3
Other Districts	0	0	0	1	0

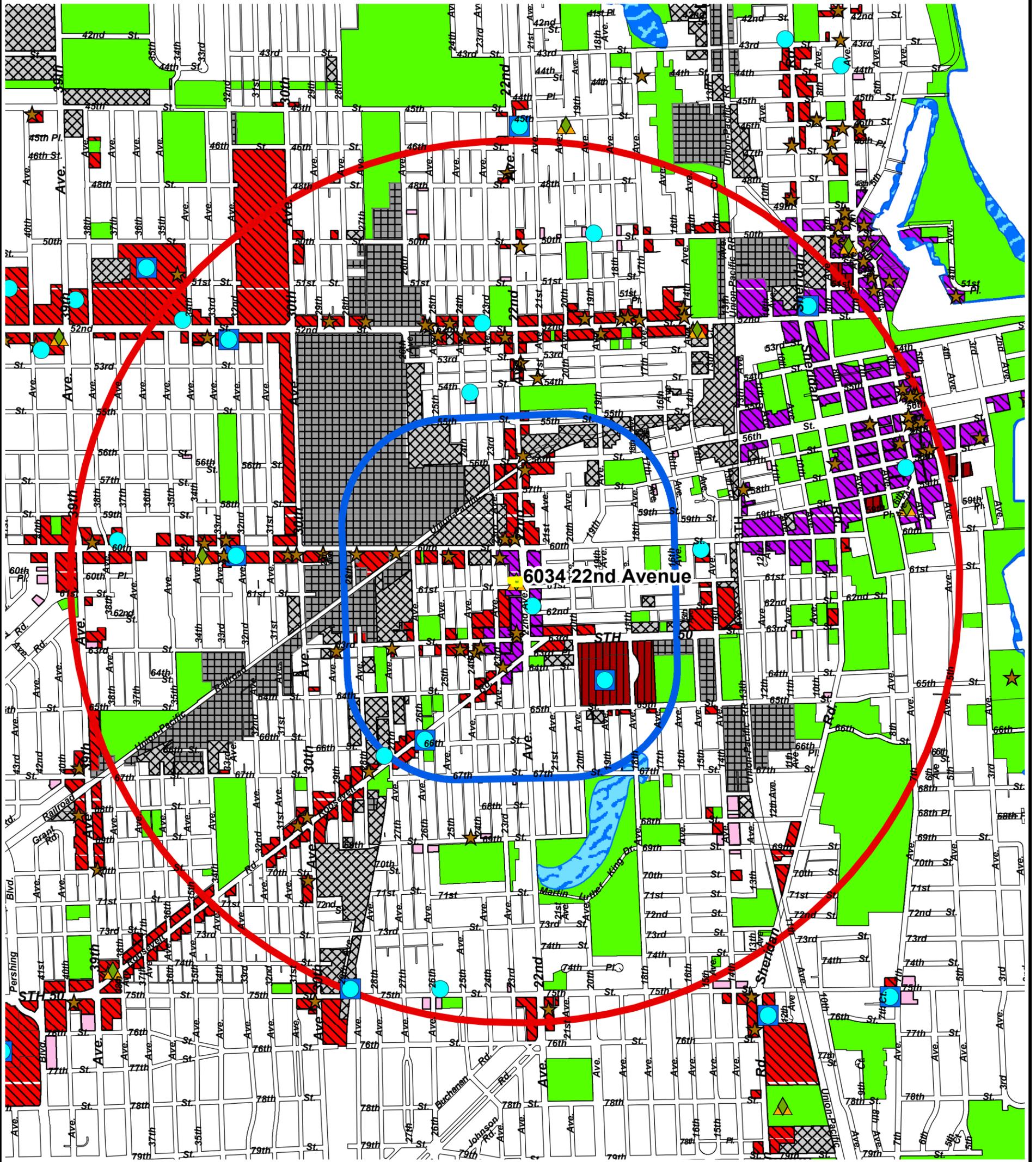
6 block Radius	Class "A"				
	Class "A"	"Class A"	Class "B"	Class "B" & "Class B"	"Class C"
Residential Districts	0	0	0	0	0
Business Districts	4	2	1	15	1
Other Districts	0	0	0	0	0



0 1,200
Feet

Class "B" Beer / "Class B" Liquor application

6034 22nd Avenue



- Class "A"
- "Class A"
- ◆ Class "B"
- ★ Class "B" & "Class B"
- ▲ "Class C"

Note: Residential districts are not colored.

Note: Business districts are colored as follows: B-1 B-2 B-3 B-4

— 5,280 feet from applicant

— 6 blocks from applicant

5,280 ft. Radius	Class "A"				
	Class "A"	"Class A"	Class "B"	Class "B" & Class B-4	Class "C"
Residential Districts	0	0	0	4	0
Business Districts	17	7	4	65	3
Other Districts	0	0	0	1	0

6 block Radius	Class "A"				
	Class "A"	"Class A"	Class "B"	Class "B" & Class B-4	Class "C"
Residential Districts	0	0	0	0	0
Business Districts	4	2	1	15	1
Other Districts	0	0	0	0	0



0 1,200
Feet

LP 12/8
CC 12/15
ADV

AT-107a: SCHEDULE FOR SUCCESSOR OF AGENT

If there is a change in agent, each club, corporation, or limited liability company who holds a retail permit to sell fermented malt beverages and/or intoxicating liquor must appoint a successor agent pursuant to sec. 125.04(6), Wis. Stats. There is a \$10 change in agent processing fee due with this form. The following questions must be answered by the Agent. The appointment must be signed by the President and Secretary or members of limited liability company. The appointment must be approved by the licensing authority.

Kenosha Wisconsin 20
(Municipality) (Date)

1. Name of agent Alma B Ruiz

- | | | | |
|----|-------------------------------------|-------------------------------------|--|
| | Yes | No | |
| 2. | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Are you of legal drinking age? |
| 3. | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Have you been a resident of Wisconsin for at least 90 continuous days prior to the date of appointment as agent? |
| 4. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Have you ever been convicted of a federal law violation? |
| 5. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Have you ever been convicted of a State law violation? |
| 6. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Have you ever been convicted of a Local ordinance violation? |
| 7. | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Have you completed the required responsible beverage server program per sec. 125.04(5)(a)5, Wis. Stats.? |

UNDER PENALTY OF LAW, I declare that all of the above information is true and correct to the best of my knowledge and belief.

X

Alma Ruiz
(Signature of Agent)

1616 Austin Ave. Racine, WI 53403
(Address)

SUCCESSOR AGENT

The undersigned appoints Alma Ruiz as agent in accordance with sec. 125.04(6), Wis. Stats.

Name of Permittee Mega Marts, LLC

Date 11/5 2014

By Edward G. [Signature] - VP
(Signature of President/Member)

William L. [Signature] - President
(Signature of Secretary/Member)

I hereby accept appointment as agent for Mega Marts, LLC dba Pick 'n Save #6871 and assume full responsibility for the conduct of the business relative to fermented malt beverages and intoxicating liquors.

X

Date 11/03/ 2014

X [Signature]
(Signature of Agent)

THE AGENT APPOINTED ABOVE MUST BE APPROVED BY THE LICENSING AUTHORITY TO BE EFFECTIVE. (See sec. 125.04(6), Wis. Stats.)

Previous agent:
Kai Kleimola 11/2/87

WI 20
(Municipality) (Date)

(Signature of Official)

(Title)

Mega Mart S. LLC
District #4
AT-107a (RP 12-13)
2811-18 [Signature]

AT-107a: SCHEDULE FOR SUCCESSOR OF AGENT

If there is a change in agent, each club, corporation, or limited liability company who holds a retail permit to sell fermented malt beverages and/or intoxicating liquor must appoint a successor agent pursuant to sec. 125.04(6), Wis. Stats. There is a \$10 change in agent processing fee due with this form. The following questions must be answered by the Agent. The appointment must be signed by the President and Secretary or members of limited liability company. The appointment must be approved by the licensing authority.

Kenosha Wisconsin 20
(Municipality) (Date)

1. Name of agent Alma B Ruiz
- Yes No
2. Are you of legal drinking age?
3. Have you been a resident of Wisconsin for at least 90 continuous days prior to the date of appointment as agent?
4. Have you ever been convicted of a federal law violation?
5. Have you ever been convicted of a State law violation?
6. Have you ever been convicted of a Local ordinance violation?
7. Have you completed the required responsible beverage server program per sec. 125.04(5)(a)5, Wis. Stats.?

UNDER PENALTY OF LAW, I declare that all of the above information is true and correct to the best of my knowledge and belief.

Alma Ruiz
(Signature of Agent)

1616 Austin Ave Racine, WI 53403
(Address)

SUCCESSOR AGENT

The undersigned appoints Alma Ruiz as agent in accordance with sec. 125.04(6), Wis. Stats.

Name of Permittee Mega Marts, LLC

Date 11/5 2014

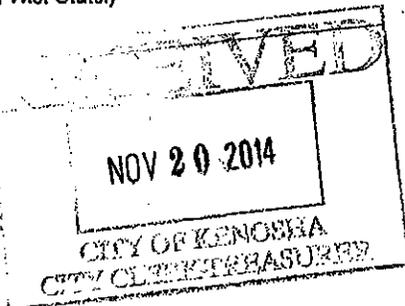
By Edward J. [Signature] - VP
(Signature of President/Member)
William L. [Signature] - President
(Signature of Secretary/Member)

I hereby accept appointment as agent for Mega Marts, LLC dba Pick 'n Save #6871 and assume full responsibility or the conduct of the business relative to fermented malt beverages and intoxicating liquors.

Date 11/03/ 2014

X [Signature]
(Signature of Agent)

THE AGENT APPOINTED ABOVE MUST BE APPROVED BY THE LICENSING AUTHORITY TO BE EFFECTIVE. (See sec. 125.04(6), Wis. Stats.)



Kenosha WI 11-19 2014
(Municipality) (Date)
[Signature]
(Signature of Official)
DEPUTY CHIEF
(Title)

Wisconsin Department of Revenue



CABARET LICENSE YEARLY

Type: 212 Fee: \$300/year

Expires: June 30, 2015

FILED <u>11-21-14</u>
INITIALS <u>STAD</u>
ADVERSE/NO ADV <u>(circled)</u>
LP <u>12-8</u>

CC 12/15

E-MAILED NOV 21 1300

PLEASE NOTE: This license is non-renewable. Applications shall be referred by the City Clerk to the Police Department. The Police Department shall make a report, in writing, to the City Attorney as to any police record of the applicant, which may reflect upon good moral character or business responsibility. The City Attorney shall examine said record and make a recommendation to the Committee on Licenses/Permits based thereon as to whether the license shall be granted. The Committee on Licenses/Permits shall review all applications, any reports, the recommendation of the City Attorney and all other information before it. Said Committee shall recommend to the Common Council either the granting or denial of each application. (In accordance to Chapter X, Section 10.07 of the Code of General Ordinances of the City of Kenosha.)

1. Licensee Name: HOUSTON'S BAR & GRILL LLC District # 7

NOTE: must be same name as beer/liquor license)

2. Business Name & Address: Houston's Bar & Grill
1925 45th Street Kenosha WI 53140

3. If license is in the name of a Corporation or LLC, Agent Name: Luis E Ortiz

4. Date of Birth of Agent (if Corporation/LLC) or Individual : _____

5. Address: 1812 Racine ST Racine WI 53403 Phone # 262 224-9245

6. Driver's License Number: _____
(must indicate if this is not a Wisconsin DL)

7. Have you, as an adult, ever been convicted of a major crime (felony) or minor crime (misdemeanor) in Wisconsin, or in any other State; or do you have a charge pending at this time? Yes No
If yes, state: **charge, year, result**

8. Have you, as an adult, ever been convicted of violating a municipal or county ordinance in Wisconsin or in any state; or do you have a charge pending at this time? Yes No
If yes, state: **charge, year, result**

9. Have you, as an adult, ever served time; or have been sentenced to serve time in a jail or prison in Wisconsin or any other State? Yes No **If yes, explain:**

-OVER-

10. Have you ever had your driver's license suspended or revoked in Wisconsin or in any other State?

Yes No If yes, explain:

11. Have you received any traffic citations in Wisconsin or in any other State within the past five (5) years; or do you have any such citations pending? Yes No

If yes, state: charge, year, result

12. Have you, as an adult, within the past five (5) years, while operating a business or engaged in a profession, been convicted of any state or federal charges; or do you have charges pending at this time involving unfair trade practices, unethical conduct, or discrimination? Yes No

If yes, state: charge, year, result

13. List the name and address of all employers for which you have worked and/or businesses you have operated in the past five (5) years:

Putz Meister, Inc, 1733 - 90th st Sturtevant WI 53177
Insinkerator 4700 - 21st ST Racine WI 53406

14. List all addresses at which you have lived in the past five (5) years:

1812 Racine ST Racine WI 53403
3606 Spring St #104 Racine WI 53405

Applicant's Signature: *Luis E. Ortiz*

Date: 11-21-14

PLEASE READ: §1.22 LICENSE/PERMIT APPLICATIONS - CODE OF GENERAL ORDINANCES

A. Prohibition It shall be unlawful for any person, acting as an individual, a partner, a corporate officer, or an agent, to execute or file with any City Department, or to authorize any person to do so on their behalf, a license or permit application which is not true, correct and/or complete in all material respects and which was known by said person to be untrue, incorrect and/or incomplete. The term "in all material respects" shall mean with respect to some fact, which, if known to the granting authority, would be a basis or a consideration for license or permit denial.

B. Penalty 1) Any person violating Subsection A. above, shall, upon conviction thereof, be subject to a forfeiture not to exceed Five Hundred (\$500) Dollars, plus the payment of the costs of prosecution, and, in default of the timely payment thereof, shall be committed to the County Jail until such forfeiture has been paid, but not to exceed a period of thirty (30) days.

2) The license or permit granting authority may grant, but withhold the issuance of, any license or permit for a period not to exceed thirty (30) days from the date of granting under circumstances wherein an application is found by the granting authority to have violated Section A. above, and the applicant was provided with an opportunity to appear before the granting authority. The granting authority may also issue a written warning to the applicant which shall be made part of their license/permit record for two (2) consecutive license/permit years.

Where such finding and penalty is made and imposed by other than the Common Council, applicant may, within ten (10) days of receipt of oral or written notice of the imposition of any such penalty, whichever is first, if both oral and written notice is provided, file a Notice of Appeal with the City Clerk and have such matter reviewed by the Common Council.

§1.225 ADMINISTRATIVE CHARGE FOR PROCESSING LICENSE/PERMIT APPLICATIONS

The first Twenty-five (\$25) Dollars of the application fee for any License/Permit shall be retained by the City in the event of a License/Permit denial or the withdrawal of the application by applicant for administrative and processing costs, and the balance, if any, refunded to the applicant. Where the application fee is less than Twenty-five (\$25) Dollars, the entire application fee shall be retained by the City for administrative and processing costs.



PAWN BROKER LICENSE
(Chapter 13.02, Code of General Ordinances)

Type: 166 Fee: \$1000.00/year

Expires: December 31, 2015 *Renewal*

FILED	<u>12-1-14</u>
INITIALS	<u>SAD</u>
ADV/NO ADVERSE	<u>NO</u>
LP	<u>12/8</u>
CC	<u>12/15</u>

The Licensee (applicant) is an individual a partnership a corporation

Licensee Name: GNT Financial LLC. District # 12

Trade Name: Gnt Jewelry Loan Address: 7944 Sheridan Rd #3 Kenosha WI 53143

Phone Number: 262-653-9200 Email: gntjewelryloan@gmail.com

If Individual: list name, home address, phone number, date of birth: _____

If Partnership or Corporation: list name, home address, phone number, & date of birth of all partners/members:
Thomas V. Stout 700 S. McCarree Waukegan IL 60085 (317) 716-5248

Gregory Lagunov 2454 Seminole Ct. Riverwoods IL 60015 847-293-7878

APPLICANT'S REPORT OF POLICE RECORD (ATTACHMENT)

Each applicant, including an individual, a partner or an officer, director or agent of any corporation must fill out and attach an "Applicant's Report of Police Record". (This form may be duplicated if more copies are needed) Attached? Yes No

BUSINESS INFORMATION

Business Name, Address, State, Zip Code and Business Number:
Gnt Jewelry Loan 7944 Sheridan Rd #3 Kenosha WI 53143 262-653-9200

Building Owner's Name, Home Address, State, Zip Code and Phone Number:
Himmat Gill 6035 Alta Mount Cir Racine WI 53406 414-801-7106

Manager or Proprietor of Business, Home Address, State, Zip Code, Phone Number, Email:
Thomas V. Stout 700 S. McCarree Waukegan IL 60085 317-716-5248
tstout1000@yahoo.com

GENERAL INFORMATION

Have you attached to this application a Five Hundred (\$500) Dollar Bond, with at least two (2) sureties, for the observation of all City of Kenosha Ordinances relating to pawnbrokers? Yes No

Have you obtained from the City Clerk a current copy of S. 13.02 of the Code of General Ordinances entitled "Pawnbrokers"? Yes No

Do you understand that it is your responsibility to obtain a supply of "Property Transaction Record" forms? Yes No

(PLEASE NOTE THAT YOU ARE RESPONSIBLE FOR KNOWING AND ABIDING BY THE CONTENTS THEREOF AND YOUR LICENSE MAY BE SUSPENDED OR REVOKED AND/OR YOU MAY BE SUBJECT TO A CIVIL FORFEITURE FOR NON-COMPLIANCE THEREWITH.)

LICENSE REVOCATION

I/We, the undersigned, understand that this license may be denied or revoked by the Common Council for fraud, misrepresentation or false statement contained in the application or for any violation of §943.34 (receiving stolen property), 948.62 (receiving stolen property from a child) or 948.63 (receiving property from a child), Wisconsin Statutes.

The undersigned, being first duly sworn on oath, disposes and says that (he/she is) (they are) the applicant(s) named in the foregoing application; that (he/she has) (they have) read each and every question and answered each and every question truly, correctly and completely, under penalty of law for failure to do so.

Thomas V. Stuenkel
Individual/Partner *LLC Partner*

[Signature]
Partner/Corporate Officer *LLC member*

Corporate Officer/Director

Corporate Officer/Director

Subscribed and sworn to before me this 28 day of November, 2014.

[Signature]
Notary Public
My Commission Expires: 11/15/18



I have received a copy of the NOTICE pertaining to LICENSE/PERMIT APPLICATIONS from the City Clerk's Office TVS/61
(Applicant's Initials)



SECONDHAND ARTICLE DEALER'S LICENSE
(Chapter 13.02, Code of General Ordinances)

Type: 164 Fee: \$100.00/year

Expires: December 31, ~~2014~~ 2015
Renewal

FILED	12/2
INITIALS	mn
ADV/NO ADVERSE	
LP	12/8
CC	12/15

The Licensee (applicant) is an individual a partnership a corporation

Licensee Name: Colosseum Games LLC District # 14

Trade Name: Colosseum Games Address: 5719 75th Street

Phone Number: 262-909-6121 Email: colosseumgamesofwi@gmail.com

If Individual: list name, home address, phone number, date of birth: _____

If Partnership or Corporation: list name, home address, phone number, & date of birth of all partners/members:

<u>Gerald Robinson</u>	<u>Kevin Ojila</u>
<u>7210 57th Ave Apt 101</u>	<u>6412 62nd Ave</u>
<u>Kenosha WI 53142</u>	<u>Kenosha WI 53142</u>
<u>262-575-6607</u>	<u>262-515-0959</u>

APPLICANT'S REPORT OF POLICE RECORD (ATTACHMENT)

Each applicant, including an individual, a partner or an officer, director or agent of any corporation must fill out and attach an "Applicant's Report of Police Record". (This form may be duplicated if more copies are needed) Attached? Yes No

BUSINESS INFORMATION

27-4471823

Business Name, Address, State, Zip Code and Business Number:
Colosseum Games, 5719 75th Street Kenosha, WI 53142

Building Owner's Name, Home Address, State, Zip Code and Phone Number:
KSG Development 16800 West Cleveland Ave, New Berlin, WI 53151 262-432-2005

Manager or Proprietor of Business, Home Address, State, Zip Code, Phone Number, Email:
Gerald Robinson 7210 57th Ave Apt 101, Kenosha, WI 53142 262-575-6607
Kenowhereman@yahoo.com

GENERAL INFORMATION

Have you obtained from the City Clerk a current copy of S.13.02 of the Code of General Ordinances entitled "Secondhand Article and Jewelry Dealers"? Yes No

Do you understand that it is your responsibility to obtain a supply of "Property Transaction Record" forms? Yes No

(PLEASE NOTE THAT YOU ARE RESPONSIBLE FOR KNOWING AND ABIDING BY THE CONTENTS THEREOF AND YOUR LICENSE MAY BE SUSPENDED OR REVOKED AND/OR YOU MAY BE SUBJECT TO A CIVIL FORFEITURE FOR NON-COMPLIANCE THEREWITH.)

LICENSE REVOCATION

I/We, the undersigned, understand that this license may be denied or revoked by the Common Council for fraud, misrepresentation or false statement contained in the application or for any violation of §943.34 (receiving stolen property), 948.62 (receiving stolen property from a child) or 948.63 (receiving property from a child), Wisconsin Statutes.

The undersigned, being first duly sworn on oath, disposes and says that (he/she is) (they are) the applicant(s) named in the foregoing application; that (he/she has) (they have) read each and every question and answered each and every question truly, correctly and completely, under penalty of law for failure to do so.

Geard Robinson
Individual/Partner

Kevin Ollila
Partner/Corporate Officer

Corporate Officer/Director

[Signature]
Corporate Officer/Director

Subscribed and sworn to before me this 2 day of December, 2014.

[Signature]
Notary Public
My Commission Expires: 4-11-17

I have received a copy of the NOTICE pertaining to LICENSE/PERMIT APPLICATIONS from the City Clerk's Office [Signature]
(Applicant's Initials)



SECONDHAND ARTICLE DEALER'S LICENSE
(Chapter 13.02, Code of General Ordinances)

Type: 164 Fee: \$100.00/year

Expires: December 31, 2015

Renewal

FILED	<i>12/1/14</i>
INITIALS	<i>ML</i>
ADV/NO ADVERSE	
LP	<i>12/8</i>
CC	<i>12/15</i>

The Licensee (applicant) is an individual a partnership a corporation

Licensee Name: Jerome F. Binsfeld District # 15

Trade Name: JB COINS Address: 6040 39th Ave Suite 7

Phone Number: 262-657-4653 Email: none

If Individual: list name, home address, phone number, date of birth: _____

If Partnership or Corporation: list name, home address, phone number, & date of birth of all partners/members:

home: 4620 Harrison Rd
Kenosha, WI 53142

APPLICANT'S REPORT OF POLICE RECORD (ATTACHMENT)

Each applicant, including an individual, a partner or an officer, director or agent of any corporation must fill out and attach an "Applicant's Report of Police Record". (This form may be duplicated if more copies are needed) Attached? Yes No

BUSINESS INFORMATION

Business Name, Address, State, Zip Code and Business Number:
JB Coins 6040 39th Ave Suite 7 Kenosha, WI 53142

Building Owner's Name, Home Address, State, Zip Code and Phone Number:
Dino Paielli 3907 83rd Place Kenosha, WI 53142 694-5641

Manager or Proprietor of Business, Home Address, State, Zip Code, Phone Number, Email:
Jerome F. Binsfeld 4620 Harrison Rd Kenosha, WI 53142 (none - email - don't read)

GENERAL INFORMATION

Have you obtained from the City Clerk a current copy of S.13.02 of the Code of General Ordinances entitled "Secondhand Article and Jewelry Dealers"? Yes No

Do you understand that it is your responsibility to obtain a supply of "Property Transaction Record" forms? Yes No

(PLEASE NOTE THAT YOU ARE RESPONSIBLE FOR KNOWING AND ABIDING BY THE CONTENTS THEREOF AND YOUR LICENSE MAY BE SUSPENDED OR REVOKED AND/OR YOU MAY BE SUBJECT TO A CIVIL FORFEITURE FOR NON-COMPLIANCE THEREWITH.)

LICENSE REVOCATION

I/We, the undersigned, understand that this license may be denied or revoked by the Common Council for fraud, misrepresentation or false statement contained in the application or for any violation of §943.34 (receiving stolen property), 948:62 (receiving stolen property from a child) or 948.63 (receiving property from a child); Wisconsin Statutes.

The undersigned, being first duly sworn on oath, disposes and says that (he/she is) (they are) the applicant(s) named in the foregoing application; that (he/she has) (they have) read each and every question and answered each and every question truly, correctly and completely, under penalty of law for failure to do so.

Jerome F. Binsfeld
Individual/Partner

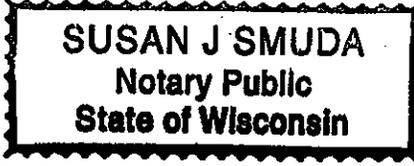
Partner/Corporate Officer

Corporate Officer/Director

Corporate Officer/Director

Subscribed and sworn to before me this 1st day of December, 2014.

Susan J. Smuda
Notary Public
My Commission Expires: 5-17-15



I have received a copy of the NOTICE pertaining to LICENSE/PERMIT APPLICATIONS from the City Clerk's Office JB.
(Applicant's Initials)



SECONDHAND ARTICLE DEALER'S LICENSE
(Chapter 13.02, Code of General Ordinances)

FILED KR
INITIALS 1126
ADVISED ADVERSE
LP 12/8
CC 12/15

Type: 164 Fee: \$100.00/year

Expires: December 31, 2015

E-MAILED NOV 25 REC'D

The Licensee (applicant) is [] an individual [] a partnership [X] a corporation

Licensee Name: Keynote Inc District # 16

Trade Name: Music Go Round Address: 5708 75th Street

Phone Number: 262-697-7625 Email: ACCOUNTING@MUSICGOROUNDKENOSHA.COM

Individual: list name, home address, phone number, date of birth:

Partnership or Corporation: list name, home address, phone number, & date of birth of all partners/members:

Scott F. Moriarty 9839 Brookside Drive Hales Corners WI 414-324-1021
Kenneth S. Siegel 3666 E. Iowa Terrace Cudahy WI 53110 414-324-3739

APPLICANT'S REPORT OF POLICE RECORD (ATTACHMENT)

Each applicant, including an individual, a partner or an officer, director or agent of any corporation must fill out and attach an Applicant's Report of Police Record". (This form may be duplicated if more copies are needed) Attached? [X] Yes [] No

BUSINESS INFORMATION

Business Name, Address, State, Zip Code and Business Number:
Music Go Round 5708 75th Street Kenosha WI 53142 262-697-7625

Building Owner's Name, Home Address, State, Zip Code and Phone Number:
Plaza 50 Property Associates PO Box 240788 Milwaukee WI 53224 Richard Yuspeh

Manager or Proprietor of Business, Home Address, State, Zip Code, Phone Number, Email:
SAME AS OWNERS

GENERAL INFORMATION

Have you obtained from the City Clerk a current copy of S.13.02 of the Code of General Ordinances entitled "Secondhand Article and Jewelry Dealers"? [X] Yes [] No

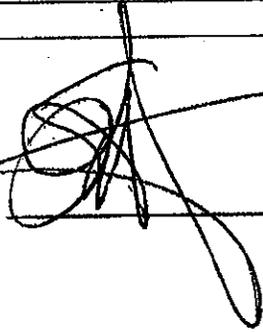
Do you understand that it is your responsibility to obtain a supply of "Property Transaction Record" forms? [X] Yes [] No

PLEASE NOTE THAT YOU ARE RESPONSIBLE FOR KNOWING AND ABIDING BY THE CONTENTS THEREOF AND YOUR LICENSE MAY BE SUSPENDED OR REVOKED AND/OR YOU MAY BE SUBJECT TO A CIVIL FORFEITURE FOR NON-COMPLIANCE THEREWITH.)

Have you, as an adult, within the past five (5) years, while operating a business or engaged in a profession, been convicted of any state or federal charges; or do you have charges pending at this time involving unfair trade practices, unethical conduct, or discrimination? Yes No
If yes, state: charge, year, result

List the name and address of all employers for which you have worked and/or businesses you have operated in the past five (5) years:
Keynote Inc - Music 60 Rooms - Po Box 28819 Greenfield WI 53228

List all addresses at which you have lived in the past five (5) years:
3360 S. Finckinnic Milwaukee WI 53207
9839 Brookside Dr. Hales Corners WI 53130

Applicant's Signature:  Date: 11/25/14

PLEASE READ: §1.22 LICENSE/PERMIT APPLICATIONS - CODE OF GENERAL ORDINANCES

Prohibition It shall be unlawful for any person, acting as an individual, a partner, a corporate officer, or an agent, to execute or file with any City department, or to authorize any person to do so on their behalf, a license or permit application which is not true, correct and/or complete in all material respects and which was known by said person to be untrue, incorrect and/or incomplete. The term "in all material respects" shall mean with respect to some fact, which, if known to the granting authority, would be a basis or a consideration for license or permit denial.

Penalty
) Any person violating Subsection A. above, shall, upon conviction thereof, be subject to a forfeiture not to exceed Five Hundred (\$500) Dollars, plus the payment of the costs of prosecution, and, in default of the timely payment thereof, shall be committed to the County Jail until such forfeiture has been paid, but not to exceed a period of thirty (30) days.
) The license or permit granting authority may grant, but withhold the issuance of, any license or permit for a period not to exceed thirty (30) days from the date of granting under circumstances wherein an application is found by the granting authority to have violated Section A. above, and the applicant was provided with an opportunity to appear before the granting authority. The granting authority may also issue a written warning to the applicant which shall be made part of their license/permit record for two (2) consecutive license/permit years. Where such finding and penalty is made and imposed by other than the Common Council, applicant may, within ten (10) days of receipt of oral or written notice of the imposition of any such penalty, whichever is first, if both oral and written notice is provided, file a Notice of Appeal with the City Clerk and have such matter reviewed by the Common Council.

1.225 ADMINISTRATIVE CHARGE FOR PROCESSING LICENSE/PERMIT APPLICATIONS

The first Twenty-five (\$25) Dollars of the application fee for any License/Permit shall be retained by the City in the event of a License/Permit denial or the withdrawal of the application by applicant for administrative and processing costs, and the balance, if any, refunded to the applicant. Where the application fee is less than Twenty-five (\$25) Dollars, the entire application fee shall be retained by the City for administrative and processing costs.



SECONDHAND ARTICLE DEALER'S LICENSE
(Chapter 13.02, Code of General Ordinances)

Type: 164 Fee: \$100.00/year

Expires: December 31, 2015 Renewal

FILED 11-24-14
INITIALS JAO
ADV/NO ADVERSE
LP 12/8
CC 12/15

The Licensee (applicant) is [] an individual [] a partnership [X] a corporation

Licensee Name: Maggie Mae's, LLC District # 2

Trade Name: Maggie Mae's Address: 1016 60th Street Kenosha WI 53140

Phone Number: 262-237-8232 Email: maggie.maes.resale@gmail.com

If Individual: list name, home address, phone number, date of birth: Margaret Centron 4327 Wilson Rd Kenosha WI 53142 262-515-3307

If Partnership or Corporation: list name, home address, phone number, & date of birth of all partners/members: Margaret Centron, 4327 Wilson Rd Kenosha WI 53142, (262) 515-3307

APPLICANT'S REPORT OF POLICE RECORD (ATTACHMENT)

Each applicant, including an individual, a partner or an officer, director or agent of any corporation must fill out and attach an "Applicant's Report of Police Record". (This form may be duplicated if more copies are needed) Attached? [] Yes [] No

BUSINESS INFORMATION

Business Name, Address, State, Zip Code and Business Number: Maggie Mae's 1016 60th Street Kenosha WI 53140

Building Owner's Name, Home Address, State, Zip Code and Phone Number: Frank Espo 5310 Pershing Rd Kenosha WI 53142

Manager or Proprietor of Business, Home Address, State, Zip Code, Phone Number, Email: Same as above

GENERAL INFORMATION

Have you obtained from the City Clerk a current copy of S.13.02 of the Code of General Ordinances entitled "Secondhand Article and Jewelry Dealers"? [X] Yes [] No

Do you understand that it is your responsibility to obtain a supply of "Property Transaction Record" forms? [X] Yes [] No

(PLEASE NOTE THAT YOU ARE RESPONSIBLE FOR KNOWING AND ABIDING BY THE CONTENTS THEREOF AND YOUR LICENSE MAY BE SUSPENDED OR REVOKED AND/OR YOU MAY BE SUBJECT TO A CIVIL FORFEITURE FOR NON-COMPLIANCE THEREWITH.)

LICENSE REVOCATION

I/We, the undersigned, understand that this license may be denied or revoked by the Common Council for fraud, misrepresentation or false statement contained in the application or for any violation of §943.34 (receiving stolen property), 948.62 (receiving stolen property from a child) or 948.63 (receiving property from a child), Wisconsin Statutes.

The undersigned, being first duly sworn on oath, disposes and says that (he/she is) (they are) the applicant(s) named in the foregoing application; that (he/she has) (they have) read each and every question and answered each and every question truly, correctly and completely, under penalty of law for failure to do so.

Individual/Partner

Margaret Acint

Corporate Officer/Director

Partner/Corporate Officer

Corporate Officer/Director

Subscribed and sworn to before me this 24 day of November, 2014

Margaret Acint

Notary Public

My Commission Expires: 4-11-17

I have received a copy of the NOTICE pertaining to LICENSE/PERMIT APPLICATIONS from the City Clerk's Office

me
(Applicant's Initials)



SECONDHAND ARTICLE DEALER'S LICENSE

(Chapter 13.02, Code of General Ordinances)

Type: 164 Fee: \$100.00/year

Expires: December 31, 2015 Renewal

E-MAILED DEC 02 REC'D

FILED 12/11
INITIALS JAD
ADV NO ADVERSE
LP 12/8
CC 12/15

The Licensee (applicant) is [] an individual [X] a partnership [] a corporation

Licensee Name: Julie Dominguez A Vintage Vault LHP District # 8

Trade Name: A Vintage Vault Address: 3816 Roosevelt Rd

Phone Number: 262-697-9606 Email: avintagevault.kenosha@gmail.com

If Individual: list name, home address, phone number, date of birth:

If Partnership or Corporation: list name, home address, phone number, & date of birth of all partners/members:

Julie Dominguez, 2504 41st Ave, Kenosha WI 53144 262-945-4559
Ed Dominguez, " " " " 262-945-9542

APPLICANT'S REPORT OF POLICE RECORD (ATTACHMENT)

Each applicant, including an individual, a partner or an officer, director or agent of any corporation must fill out and attach an "Applicant's Report of Police Record". (This form may be duplicated if more copies are needed) Attached? [X] Yes [] No

BUSINESS INFORMATION

Business Name, Address, State, Zip Code and Business Number: A Vintage Vault 3816 Roosevelt Rd, Kenosha, WI 53144 262-697-9606

Building Owner's Name, Home Address, State, Zip Code and Phone Number: Shirley Willie, 1600 25th Ave, Kenosha WI 53140, 262-656-1072

Manager or Proprietor of Business, Home Address, State, Zip Code, Phone Number, Email: Julie Dominguez, 2504 41st Ave, Kenosha, WI 53144 262-945-4559 (same as above)

GENERAL INFORMATION

Have you obtained from the City Clerk a current copy of S.13.02 of the Code of General Ordinances entitled "Secondhand Article and Jewelry Dealers"? [X] Yes [] No

Do you understand that it is your responsibility to obtain a supply of "Property Transaction Record" forms? [X] Yes [] No

(PLEASE NOTE THAT YOU ARE RESPONSIBLE FOR KNOWING AND ABIDING BY THE CONTENTS THEREOF AND YOUR LICENSE MAY BE SUSPENDED OR REVOKED AND/OR YOU MAY BE SUBJECT TO A CIVIL FORFEITURE FOR NON-COMPLIANCE THEREWITH.)

LICENSE REVOCATION

I/We, the undersigned, understand that this license may be denied or revoked by the Common Council for fraud, misrepresentation or false statement contained in the application or for any violation of §943.34 (receiving stolen property), 948.62 (receiving stolen property from a child) or 948.63 (receiving property from a child), Wisconsin Statutes.

The undersigned, being first duly sworn on oath, disposes and says that (he/she is) (they are) the applicant(s) named in the foregoing application; that (he/she has) (they have) read each and every question and answered each and every question truly, correctly and completely, under penalty of law for failure to do so.

Individual/Partner

Partner/Corporate Officer

Edward J. Jones

Corporate Officer/Director

Corporate Officer/Director

Julie R. Dominguez

Subscribed and sworn to before me this

1st

day of

December, 2014

Notary Public

My Commission Expires:

Paul J. Jones

3/15/15

I have received a copy of the NOTICE pertaining to LICENSE/PERMIT APPLICATIONS from the City Clerk's Office

gd
(Applicant's Initials)



E-MAILED DEC 02 REC'D

SECONDHAND ARTICLE DEALERS LICENSE
(Chapter 13.02, Code of General Ordinances)

FILED	12-21-14
INITIALS	12-21-14
ADV/NO-ADVERSE	<input checked="" type="checkbox"/>
LP	12/8
CC	12/15

Type: 164 Fee: \$100.00/year

Expires: December 31, 2015 Renewal

The Licensee (applicant) is an individual a partnership a corporation

Licensee Name: Mike Thompson Old Toys Live on LLC District # 13

Trade Name: Old Toys Live on Address: 7519 22nd Ave

Phone Number: (262) 577-1696 Email: oldtoysliveon@gmail.com

If Individual: list name, home address, phone number, date of birth:

If Partnership or Corporation: list name, home address, phone number, & date of birth of all partners/members:

Mike Thompson (262) 577-1696 1806 24th St

APPLICANT'S REPORT OF POLICE RECORD (ATTACHMENT)

Each applicant, including an individual, a partner or an officer, director or agent of any corporation must fill out and attach an "Applicant's Report of Police Record". (This form may be duplicated if more copies are needed) Attached? Yes No

BUSINESS INFORMATION

Business Name, Address, State, Zip Code and Business Number:
Old Toys Live on 7519 22nd Ave 53143

Building Owner's Name, Home Address, State, Zip Code and Phone Number:
Javier Baca 814 10th St Waukegan IL 60085 (224) 420-2209

Manager or Proprietor of Business, Home Address, State, Zip Code, Phone Number, Email:
Mike Thompson 1806 24th Street Kenosha WI 53140 (262) 577-1696
oldtoysliveon@gmail.com

GENERAL INFORMATION

Have you obtained from the City Clerk a current copy of S.13.02 of the Code of General Ordinances entitled "Secondhand Article and Jewelry Dealers"? Yes No

Do you understand that it is your responsibility to obtain a supply of "Property Transaction Record" forms? Yes No

(PLEASE NOTE THAT YOU ARE RESPONSIBLE FOR KNOWING AND ABIDING BY THE CONTENTS THEREOF AND YOUR LICENSE MAY BE SUSPENDED OR REVOKED AND/OR YOU MAY BE SUBJECT TO A CIVIL FORFEITURE FOR NON-COMPLIANCE THEREWITH.)

LICENSE REVOCATION

I/We, the undersigned, understand that this license may be denied or revoked by the Common Council for fraud, misrepresentation or false statement contained in the application or for any violation of §943.34 (receiving stolen property), 948.62 (receiving stolen property from a child) or 948.63 (receiving property from a child), Wisconsin Statutes.

The undersigned, being first duly sworn on oath, disposes and says that (he/she is) (they are) the applicant(s) named in the foregoing application; that (he/she has) (they have) read each and every question and answered each and every question truly, correctly and completely, under penalty of law for failure to do so.

[Signature]
Individual/Partner

Partner/Corporate Officer

Corporate Officer/Director

Corporate Officer/Director

Subscribed and sworn to before me this 2 day of December, 2014.

[Signature]
Notary Public
My Commission Expires: 4-11-17

I have received a copy of the NOTICE pertaining to LICENSE/PERMIT APPLICATIONS from the City Clerk's Office [Initials]
(Applicant's Initials)



SECONDHAND ARTICLE DEALER'S LICENSE
(Chapter 13.02, Code of General Ordinances)

FILED 12/25
INITIALS KR
ADV/NO ADVERSE
LP 12/8
CC 12/15

Type: 164 Fee: \$100.00/year Renewed

Expires: December 31, 2015

E-MAILED NOV 25 REC'D
E-MAILED NOV 20 REC'D

The Licensee (applicant) is an individual a partnership a corporation

Licensee Name: Flat Iron Vintage LLC District # 2

Trade Name: Flat Iron Vintage Address: 2022 56th Street

Phone Number: 262-960-9897 Email: Flatiron.vintage@outlook.com

If Individual: list name, home address, phone number, date of birth:

If Partnership or Corporation: list name, home address, phone number, & date of birth of all partners/members:

- Gerald L Markiewicz / 507-15th Place Kenosha / 262-960-9897
Michela L Markiewicz / 507-15th Place Kenosha / 262-960-9897

APPLICANT'S REPORT OF POLICE RECORD (ATTACHMENT)

Each applicant, including an individual, a partner or an officer, director or agent of any corporation must fill out and attach an "Applicant's Report of Police Record". (This form may be duplicated if more copies are needed) Attached? Yes No

BUSINESS INFORMATION

Business Name, Address, State, Zip Code and Business Number: Flat Iron Vintage LLC 2022-56th St Kenosha WI 53140

Building Owner's Name, Home Address, State, Zip Code and Phone Number: Gerald L Markiewicz 507-15th Place Kenosha WI 53140

Manager or Proprietor of Business, Home Address, State, Zip Code, Phone Number, Email: Michela L Markiewicz 507-15th Pl. Kenosha WI 53140

GENERAL INFORMATION

Have you obtained from the City Clerk a current copy of S.13.02 of the Code of General Ordinances entitled "Secondhand Article and Jewelry Dealers"? Yes No

Do you understand that it is your responsibility to obtain a supply of "Property Transaction Record" forms? Yes No

(PLEASE NOTE THAT YOU ARE RESPONSIBLE FOR KNOWING AND ABIDING BY THE CONTENTS THEREOF AND YOUR LICENSE MAY BE SUSPENDED OR REVOKED AND/OR YOU MAY BE SUBJECT TO A CIVIL FORFEITURE FOR NON-COMPLIANCE THEREWITH.)

LICENSE REVOCATION

I/We, the undersigned, understand that this license may be denied or revoked by the Common Council for fraud, misrepresentation or false statement contained in the application or for any violation of §943.34 (receiving stolen property), 948.62 (receiving stolen property from a child) or 948.63 (receiving property from a child), Wisconsin Statutes.

The undersigned, being first duly sworn on oath, disposes and says that (he/she is) (they are) the applicant(s) named in the foregoing application; that (he/she has) (they have) read each and every question and answered each and every question truly, correctly and completely, under penalty of law for failure to do so.

Madison Maloney
Individual/Partner

Partner/Corporate Officer

Corporate Officer/Director

Corporate Officer/Director

Subscribed and sworn to before me this 26 day of November, 2014.

Michelle Larson
Notary Public
My Commission Expires: 4-11-17

I have received a copy of the NOTICE pertaining to LICENSE/PERMIT APPLICATIONS from the City Clerk's Office *mlm*
(Applicant's Initials)



SECONDHAND ARTICLE DEALER'S LICENSE
(Chapter 13.02, Code of General Ordinances)

FILED 12-1-14
INITIALS JAB
ADV/NO-ADVERSE
LP 1218
CC 12/15

Type: 164 Fee: \$100.00/year E-MAILED DEC 02 REC'D

Expires: December 31, 2015 Renewal

The Licensee (applicant) is [] an individual [] a partnership [X] a corporation

Licensee Name: Ellen Ferwerda (Suburban Ore LLC) District # 2

Trade Name: Suburban Ore Address: 627 58th St.

Phone Number: 262-748-7181 Email: emferwerda@gmail.com

If Individual: list name, home address, phone number, date of birth:

If Partnership or Corporation: list name, home address, phone number, & date of birth of all partners/members:

Ellen M. Ferwerda
7824-5th Ave., Kenosha, WI - 53143

APPLICANT'S REPORT OF POLICE RECORD (ATTACHMENT)

Each applicant, including an individual, a partner or an officer, director or agent of any corporation must fill out and attach an "Applicant's Report of Police Record". (This form may be duplicated if more copies are needed) Attached? [X] Yes [] No

BUSINESS INFORMATION

Business Name, Address, State, Zip Code and Business Number: Suburban Ore - 627 - 58th St. Kenosha, WI 53140

Building Owner's Name, Home Address, State, Zip Code and Phone Number: Dee Marie Swainson

Manager or Proprietor of Business, Home Address, State, Zip Code, Phone Number, Email: Ellen Ferwerda 7824-5th Ave, Kenosha, WI - 53143
ph# 262-748-7181 emferwerda@gmail.com

GENERAL INFORMATION

Have you obtained from the City Clerk a current copy of S.13.02 of the Code of General Ordinances entitled "Secondhand Article and Jewelry Dealers"? [X] Yes [] No

Do you understand that it is your responsibility to obtain a supply of "Property Transaction Record" forms? [X] Yes [] No

(PLEASE NOTE THAT YOU ARE RESPONSIBLE FOR KNOWING AND ABIDING BY THE CONTENTS THEREOF AND YOUR LICENSE MAY BE SUSPENDED OR REVOKED AND/OR YOU MAY BE SUBJECT TO A CIVIL FORFEITURE FOR NON-COMPLIANCE THEREWITH.)

LICENSE REVOCATION

I/We, the undersigned, understand that this license may be denied or revoked by the Common Council for fraud, misrepresentation or false statement contained in the application or for any violation of §943.34 (receiving stolen property), 948.62 (receiving stolen property from a child) or 948.63 (receiving property from a child), Wisconsin Statutes.

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Elle M. Demerda

Individual/Partner

Partner/Corporate Officer

Elle M. Demerda

Corporate Officer/Director

Corporate Officer/Director

Subscribed and sworn to before me this 1 day of Dec, 2011

[Signature]

Notary Public

My Commission Expires: 3-15-15

I have received a copy of the NOTICE pertaining to LICENSE/PERMIT APPLICATIONS from the City Clerk's Office _____
(Applicant's Initials)



E-MAILED DEC 02 REC'D

SECONDHAND ARTICLE DEALER'S LICENSE
(Chapter 13.02, Code of General Ordinances)

FILED	12/2
INITIALS	m
ADV/NO ADVERSE	12/8
LP	
CC	12/15

Type: 164 Fee: \$100.00/year

Expires: December 31, 2015 Renewal

The Licensee (applicant) is an individual a partnership a corporation

Licensee Name: CD DVD GAME WAREHOUSE District # 14

Trade Name: CD DVD GAME WAREHOUSE Address: 3717-80th ST

Phone Number: 262-942-9400 Email: cmcedw@aol.com

If Individual: list name, home address, phone number, date of birth:

If Partnership or Corporation: list name, home address, phone number, & date of birth of all partners/members:

CANDICE MEISENHAUER 7515-26th AVE, KENOSHA, WI 53142

APPLICANT'S REPORT OF POLICE RECORD (ATTACHMENT)

Each applicant, including an individual, a partner or an officer, director or agent of any corporation must fill out and attach an "Applicant's Report of Police Record". (This form may be duplicated if more copies are needed) Attached? Yes No

BUSINESS INFORMATION

Business Name, Address, State, Zip Code and Business Number:
CD DVD GAME WAREHOUSE, 3717-80th ST KENOSHA, WI 53142 942-9400

Building Owner's Name, Home Address, State, Zip Code and Phone Number:
A & R KATZ MANAGEMENT

Manager or Proprietor of Business, Home Address, State, Zip Code, Phone Number, Email:
CANDICE M. EISENHAUER, 7515-26th AVE, KENOSHA, WI 53142 262-652-0727 cmcedw@aol.com

GENERAL INFORMATION

Have you obtained from the City Clerk a current copy of S.13.02 of the Code of General Ordinances entitled "Secondhand Article and Jewelry Dealers"? Yes No

Do you understand that it is your responsibility to obtain a supply of "Property Transaction Record" forms? Yes No

(PLEASE NOTE THAT YOU ARE RESPONSIBLE FOR KNOWING AND ABIDING BY THE CONTENTS THEREOF AND YOUR LICENSE MAY BE SUSPENDED OR REVOKED AND/OR YOU MAY BE SUBJECT TO A CIVIL FORFEITURE FOR NON-COMPLIANCE THEREWITH.)

LICENSE REVOCATION

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Carrie M. Ewanbain
Individual/Partner

Partner/Corporate Officer

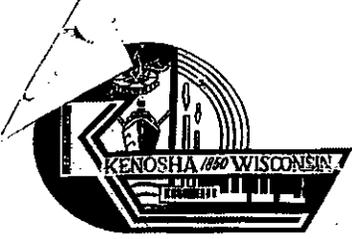
Corporate Officer/Director

Corporate Officer/Director

Subscribed and sworn to before me this 2 day of December, 2014.

Michael L Nelson
Notary Public
My Commission Expires: 4-11-17

I have received a copy of the NOTICE pertaining to LICENSE/PERMIT APPLICATIONS from the City Clerk's Office eme
(Applicant's Initials)



E-MAILED DEC 01 REC'D

SECONDHAND JEWELRY DEALER'S LICENSE
(Chapter 13.02, Code of General Ordinances)

Type: 165 Fee: \$500.00/year

Expires: December 31, 2015 **Renewal**

FILED	12/1
INITIALS	dd
ADV/NO ADVERSE	
LP	12/8
CC	12/15

The Licensee (applicant) is an individual a partnership a corporation

Licensee Name: Gold Diamond & Design Inc District # 110

Trade Name: Gold Diamond & Design Inc Address: 10320 75th St, Ste B, Kenosha, WI 53142

Phone Number: 262-697-0884 Email: golddiamonddesign@stglobal.net

If Individual: list name, home address, phone number, date of birth: _____

If Partnership or Corporation: list name, home address, phone number, & date of birth of all partners/members:

<u>Audrey Larsenfeld</u>	<u>3324 13th St</u>	<u>Racine, WI 53405</u>	<u>262-697-0884</u>
<u>John Larsenfeld</u>	<u>3324 - 13th St</u>	<u>Racine, WI 53405</u>	<u>262-697-0884</u>

APPLICANT'S REPORT OF POLICE RECORD (ATTACHMENT)

Each applicant, including an individual, a partner or an officer, director or agent of any corporation must fill out and attach an "Applicant's Report of Police Record". (This form may be duplicated if more copies are needed) Attached? Yes No

BUSINESS INFORMATION

Business Name, Address, State, Zip Code and Business Number:
Gold Diamond & Design, 10320 75th St, Ste B, Kenosha, WI 53142, 262-697-0884

Building Owner's Name, Home Address, State, Zip Code and Phone Number:
Bryan Kozak, 10320 75th St Suite A, Kenosha, WI 53142, 262-697-8766

Manager or Proprietor of Business, Home Address, State, Zip Code, Phone Number, Email:
Bryan Kozak, 10320 75th St Suite A, Kenosha, WI 53142, 262-697-8766

GENERAL INFORMATION

Have you obtained from the City Clerk a current copy of S.13.02 of the Code of General Ordinances entitled "Secondhand Article and Jewelry Dealers"? Yes No

Do you understand that it is your responsibility to obtain a supply of "Property Transaction Record" forms? Yes No

(PLEASE NOTE THAT YOU ARE RESPONSIBLE FOR KNOWING AND ABIDING BY THE CONTENTS THEREOF AND YOUR LICENSE MAY BE SUSPENDED OR REVOKED AND/OR YOU MAY BE SUBJECT TO A CIVIL FORFEITURE FOR NON-COMPLIANCE THEREWITH.)

LICENSE REVOCATION

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Individual/Partner

Partner/Corporate Officer

Andrew Langefeld
Corporate Officer/Director

John A. Langefeld
Corporate Officer/Director

Subscribed and sworn to before me this 15th day of December, 2014.

Regina Brehochiri
Notary Public: Regina Brehochiri Kenosha WI
My Commission Expires: 12-4-16

I have received a copy of the NOTICE pertaining to LICENSE/PERMIT APPLICATIONS from the City Clerk's Office _____
(Applicant's Initials)



SECONDHAND JEWELRY DEALER'S LICENSE

(Chapter 13.02, Code of General Ordinances)

Type: 165 Fee: \$500.00/year

Expires: December 31, 2015 Renewal

FILED 12-1-14 INITIALS JAD ADV/NO ADVERSE LP 12/8 CC 12/15

The Licensee (applicant) is [X] an individual [] a partnership [] a corporation

Licensee Name: IRANI, NOWSHAD P. District # 7

Trade Name: SUPERIOR GOLD EXPRESS Address: 2400 52ND ST. KENOSHA

Phone Number: 262-654-4990 Email:

If Individual: list name, home address, phone number, date of birth:

If Partnership or Corporation: list name, home address, phone number, & date of birth of all partners/members:

IRANI, NOWSHAD P. 604 68TH ST. KENOSHA, WI. 53140 262-654-4990

APPLICANT'S REPORT OF POLICE RECORD (ATTACHMENT)

Each applicant, including an individual, a partner or an officer, director or agent of any corporation must fill out and attach an "Applicant's Report of Police Record". (This form may be duplicated if more copies are needed) Attached? [X] Yes [] No

BUSINESS INFORMATION

Business Name, Address, State, Zip Code and Business Number: SUPERIOR GOLD EXPRESS 2400 52ND ST. KENOSHA, WI. 53140

Building Owner's Name, Home Address, State, Zip Code and Phone Number: JOHN ROGOWSKI JR. PROPERTIES 262-653-9132

Manager or Proprietor of Business, Home Address, State, Zip Code, Phone Number, Email: JR. PROPERTIES 2409 52ND ST. SUITE 3 KENOSHA, WI. 53140 262-653-9132

GENERAL INFORMATION

Have you obtained from the City Clerk a current copy of S.13.02 of the Code of General Ordinances entitled "Secondhand Article and Jewelry Dealers"? [X] Yes [] No

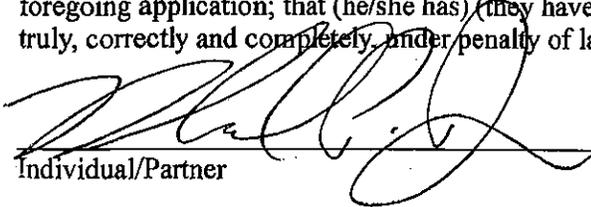
Do you understand that it is your responsibility to obtain a supply of "Property Transaction Record" forms? [X] Yes [] No

(PLEASE NOTE THAT YOU ARE RESPONSIBLE FOR KNOWING AND ABIDING BY THE CONTENTS THEREOF AND YOUR LICENSE MAY BE SUSPENDED OR REVOKED AND/OR YOU MAY BE SUBJECT TO A CIVIL FORFEITURE FOR NON-COMPLIANCE THEREWITH.)

LICENSE REVOCATION

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Individual/Partner

Partner/Corporate Officer

Corporate Officer/Director

Corporate Officer/Director

Subscribed and sworn to before me this 1st day of December, 2014.


Notary Public Regina Bachochin Henosha W/
My Commission Expires: 12-4-16

I have received a copy of the NOTICE pertaining to LICENSE/PERMIT APPLICATIONS from the City Clerk's Office _____
(Applicant's Initials)



E-MAILED DEC 08

SECONDHAND JEWELRY DEALER'S LICENSE
(Chapter 13.02, Code of General Ordinances)

Type: 165 Fee: \$500.00/year

Expires: December 31, 2015 Renewal

FILED 12/3
INITIALS mn
ADV/ADVERSE
LP 12/8
CC 12/15

The Licensee (applicant) is [X] an individual [] a partnership [] a corporation

Licensee Name: Jacob Sadoff District # 8

Trade Name: Midwest Goldbuyers Address: 3824 Roosevelt Rd, Kenosha WI

Phone Number: 630-823-3099 Email: operations@midwestgoldbuyers.com
Jacob Sadoff

If Individual: list name, home address, phone number, date of birth: 20 N. Martingale Suite 250
Schaumburg IL 60173

If Partnership or Corporation: list name, home address, phone number, & date of birth of all partners/members:

APPLICANT'S REPORT OF POLICE RECORD (ATTACHMENT)

Each applicant, including an individual, a partner or an officer, director or agent of any corporation must fill out and attach an "Applicant's Report of Police Record". (This form may be duplicated if more copies are needed) Attached? [X] Yes [] No

BUSINESS INFORMATION

Business Name, Address, State, Zip Code and Business Number:
Midwest Goldbuyers 3824 Roosevelt Rd, Kenosha WI 53142

Building Owner's Name, Home Address, State, Zip Code and Phone Number:
Rich Willie - R+S Willie Properties, 3810 Roosevelt, Kenosha 262-914-3276

Manager or Proprietor of Business, Home Address, State, Zip Code, Phone Number, Email:
Shen Jonas, 20 N. Martingale Rd Suite 250, Schaumburg IL 60173
operations@midwestgoldbuyers.com 630-823-3099

GENERAL INFORMATION

Have you obtained from the City Clerk a current copy of S.13.02 of the Code of General Ordinances entitled "Secondhand Article and Jewelry Dealers"? [X] Yes [] No

Do you understand that it is your responsibility to obtain a supply of "Property Transaction Record" forms? [X] Yes [] No

(PLEASE NOTE THAT YOU ARE RESPONSIBLE FOR KNOWING AND ABIDING BY THE CONTENTS THEREOF AND YOUR LICENSE MAY BE SUSPENDED OR REVOKED AND/OR YOU MAY BE SUBJECT TO A CIVIL FORFEITURE FOR NON-COMPLIANCE THEREWITH.)

LICENSE REVOCATION

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[Signature]
Individual/Partner

Partner/Corporate Officer

Corporate Officer/Director

Corporate Officer/Director

Subscribed and sworn to before me this 2nd day of DECEMBER, 2014.

Rita L. Harrity

Notary Public
My Commission Expires: 05-07-2016



I have received a copy of the NOTICE pertaining to LICENSE/PERMIT APPLICATIONS from the City Clerk's Office _____
(Applicant's Initials)

SECONDHAND JEWELRY DEALER'S LICENSE
(Chapter 13.02, Code of General Ordinances)



Type: 165 Fee: \$500.00/year Renewal

Expires: December 31, 2015

FILED	<u>12/2</u>
INITIALS	<u>add</u>
ADV/NO ADVERSE	
LP	<u>12/8</u>
CC	<u>12/15</u>

letter to appear
emailed 12/2/14
mm

The Licensee (applicant) is an individual a partnership a corporation

Licensee Name: Westown of Kenosha Inc. District # 3

Trade Name: westown food & liquor Address: 3203 60th St. Kenosha

Phone Number: (262) 654-8021 Email: westown2@sbcglobal.net

If Individual: list name, home address, phone number, date of birth: _____

If Partnership or Corporation: list name, home address, phone number, & date of birth of all partners/members:
Sameer Ali, 4718 wood Rd Racine, WI 53403, (262) 497-0238,
Hani Ali, 6450 San Marino Dr. Racine, WI 53406, (262) 994-3565,

APPLICANT'S REPORT OF POLICE RECORD (ATTACHMENT)

Each applicant, including an individual, a partner or an officer, director or agent of any corporation must fill out and attach an "Applicant's Report of Police Record". (This form may be duplicated if more copies are needed) Attached? Yes No

BUSINESS INFORMATION

Business Name, Address, State, Zip Code and Business Number:
Westown food & liquor, 3203 60th St. Kenosha, WI 53448 (262) 654-8021

Building Owner's Name, Home Address, State, Zip Code and Phone Number:
Westown LLC, 4718 wood Rd Racine, WI 53403, (262) 497-0238

Manager or Proprietor of Business, Home Address, State, Zip Code, Phone Number, Email:
Sameer Ali, 4718 wood Rd Racine, WI 53403 (262) 497-0238
Hani Ali (Agent) westown2@sbcglobal.net

GENERAL INFORMATION

Have you obtained from the City Clerk a current copy of S.13.02 of the Code of General Ordinances entitled "Secondhand Article and Jewelry Dealers"? Yes No

Do you understand that it is your responsibility to obtain a supply of "Property Transaction Record" forms? Yes No

(PLEASE NOTE THAT YOU ARE RESPONSIBLE FOR KNOWING AND ABIDING BY THE CONTENTS THEREOF AND YOUR LICENSE MAY BE SUSPENDED OR REVOKED AND/OR YOU MAY BE SUBJECT TO A CIVIL FORFEITURE FOR NON-COMPLIANCE THEREWITH.)

LICENSE REVOCATION

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Individual/Partner

H.A.A. A.A.
Partner/Corporate Officer

Corporate Officer/Director

Corporate Officer/Director

Subscribed and sworn to before me this 2nd day of December 2014

Notary Public

My Commission Expires:

Kaw J Fosberg
(3/15/15)

I have received a copy of the NOTICE pertaining to LICENSE/PERMIT APPLICATIONS from the City Clerk's Office H.A
(Applicant's Initials)

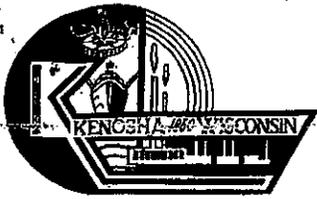
APPLICANT INFORMATION			
Date of Application	Name of Applicant	Applicant's Date of Birth	Driver's License Status
12/2/2014	Hani Ali		Valid
License Number	Address of Applicant	Business (where license is to be used)	Business Address
	6450 San Marino Dr., Racine	Westtown of Kenosha	3203-60th Street

DATE OF CHARGE	OFFENSE	CASE STATUS	OFFENSE LISTED ON APPLICATION	POINTS
12/17/2013	LIQUOR, SELL TO MINOR	DISMISSED	Y	N/A

CITY ATTORNEY'S RECOMMENDATION	
Offense Demerit Points	
Were all offenses listed on the application?	
TOTAL DEMERIT POINTS	

CITY ATTORNEY'S COMMENTS

FINAL RECOMMENDATION
<input checked="" type="checkbox"/> GRANT , Subject to <input type="checkbox"/> N/A Demerit Points
<input type="checkbox"/> DENY , based on material police record (substantially related to the license activity)
<input type="checkbox"/> DEFER or GRANT subject to Non-Renewal Revocation due to False Application



SECONDHAND ARTICLE DEALER'S LICENSE

(Chapter 13.02, Code of General Ordinances)

Type: 164 Fee: \$100.00/year

Expires: December 31, 2015 Renewal

E-MAILED DEC 02 REC'D

FILED 12/11
INITIALS JAO
ADV NO ADVERSE
LP 12/8
CC 12/15

The Licensee (applicant) is [] an individual [] a partnership [x] a corporation

Licensee Name: Goldtronics LLC District # 3

Trade Name: Jewelry & Electronics Exchange Address: 6212 22nd Ave

Phone Number: 262-652-2233 Email: Amad1225@gmail.com

If Individual: list name, home address, phone number, date of birth:

If Partnership or Corporation: list name, home address, phone number, & date of birth of all partners/members:

Amad Otallah
8245 S. 43rd St.
Franklin, WI 53132
414-406-1199

APPLICANT'S REPORT OF POLICE RECORD (ATTACHMENT)

Each applicant, including an individual, a partner or an officer, director or agent of any corporation must fill out and attach an "Applicant's Report of Police Record". (This form may be duplicated if more copies are needed) Attached? [x] Yes [] No

BUSINESS INFORMATION

Business Name, Address, State, Zip Code and Business Number: Jewelry & Electronics Exchange 6212 22nd Ave Kenosha, WI 53143 262-652-2233

Building Owner's Name, Home Address, State, Zip Code and Phone Number: Abdelelah Mohammad 6301 105th Ave Kenosha, WI 53148 262-620-9258

Manager or Proprietor of Business, Home Address, State, Zip Code, Phone Number, Email: Amad Otallah 8245 S. 43rd St. Franklin WI 53132 414-406-1199 Amad1225@gmail.com

GENERAL INFORMATION

Have you obtained from the City Clerk a current copy of S.13.02 of the Code of General Ordinances entitled "Secondhand Article and Jewelry Dealers"? [x] Yes [] No

Do you understand that it is your responsibility to obtain a supply of "Property Transaction Record" forms? [x] Yes [] No

(PLEASE NOTE THAT YOU ARE RESPONSIBLE FOR KNOWING AND ABIDING BY THE CONTENTS THEREOF AND YOUR LICENSE MAY BE SUSPENDED OR REVOKED AND/OR YOU MAY BE SUBJECT TO A CIVIL FORFEITURE FOR NON-COMPLIANCE THEREWITH.)

LICENSE REVOCATION

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Individual/Partner

Partner/Corporate Officer

Amir S. Dhall

Corporate Officer/Director

Corporate Officer/Director

Subscribed and sworn to before me this 15th day of December, 2014.

Notary Public

My Commission Expires

Kevin J. Fogarty
3/15/15

I have received a copy of the NOTICE pertaining to LICENSE/PERMIT APPLICATIONS from the City Clerk's Office

B
(Applicant's Initials)



SECONDHAND JEWELRY DEALER'S LICENSE
(Chapter 13.02, Code of General Ordinances)

E-MAILED DEC 02 2014

FILED	12/1
INITIALS	JAD
ADV/NO ADVERSE	
LP	12/8
CC	12/15

Type: 165 Fee: \$500.00/year

Expires: December 31, 2015 Renewed

The Licensee (applicant) is an individual a partnership a corporation

Licensee Name: Goldtronics LLC District # 3

Trade Name: Jewelry & Electronics Exchange Address: 6212 22nd Ave

Phone Number: 262-652-2233 Email: Amad1225@gmail.com

If Individual: list name, home address, phone number, date of birth: _____

If Partnership or Corporation: list name, home address, phone number, & date of birth of all partners/members:
Amad Otallah
8245 S. 43rd St.
Franklin WI 53132
414-466-1199

APPLICANT'S REPORT OF POLICE RECORD (ATTACHMENT)

Each applicant, including an individual, a partner or an officer, director or agent of any corporation must fill out and attach an "Applicant's Report of Police Record". (This form may be duplicated if more copies are needed) Attached? Yes No

BUSINESS INFORMATION

Business Name, Address, State, Zip Code and Business Number:
Jewelry & Electronics Exchange 6212 22nd Ave Kenosha, WI 53143 262-652-2233

Building Owner's Name, Home Address, State, Zip Code and Phone Number:
Abdelkhal Mohamed 6301 105th Ave Kenosha WI 53140 262-680-8258

Manager or Proprietor of Business, Home Address, State, Zip Code, Phone Number, Email:

GENERAL INFORMATION

Have you obtained from the City Clerk a current copy of S.13.02 of the Code of General Ordinances entitled "Secondhand Article and Jewelry Dealers"? Yes No

Do you understand that it is your responsibility to obtain a supply of "Property Transaction Record" forms? Yes No

(PLEASE NOTE THAT YOU ARE RESPONSIBLE FOR KNOWING AND ABIDING BY THE CONTENTS THEREOF AND YOUR LICENSE MAY BE SUSPENDED OR REVOKED AND/OR YOU MAY BE SUBJECT TO A CIVIL FORFEITURE FOR NON-COMPLIANCE THEREWITH.)

LICENSE REVOCATION

I/We, the undersigned, understand that this license may be denied or revoked by the Common Council for fraud, misrepresentation or false statement contained in the application or for any violation of §943.34 (receiving stolen property), 948.62 (receiving stolen property from a child) or 948.63 (receiving property from a child), Wisconsin Statutes.

The undersigned, being first duly sworn on oath, disposes and says that (he/she is) (they are) the applicant(s) named in the foregoing application; that (he/she has) (they have) read each and every question and answered each and every question truly, correctly and completely, under penalty of law for failure to do so.

Individual/Partner

Amuel Otallo
Partner/Corporate Officer

Corporate Officer/Director

Corporate Officer/Director

Subscribed and sworn to before me this 15th day of December, 2014.

Kenn J. Fosberg
Notary Public
My Commission Expires: 3/15/15

I have received a copy of the NOTICE pertaining to LICENSE/PERMIT APPLICATIONS from the City Clerk's Office

[Signature]
(Applicant's Initials)



SECONDHAND ARTICLE DEALER'S LICENSE
(Chapter 13.02, Code of General Ordinances)

Type: 164 Fee: \$100.00/year

Expires: December 31, 2015

FILED 11-25-14
INITIALS
ADV/NO ADVERSE
LP 128
OC 12/15

E-MAILED NOV 25 REC'D

The Licensee (applicant) is [X] an individual [] a partnership [] a corporation

NOV 25 2014
CITY OF KENOSHA
CITY CLERK - DEAN JENSEN
District #

Licensee Name: Christopher Riland

Trade Name: Roosevelt Road Antiques + Consign Address: 3720 - Roosevelt Road

Phone Number: (262) 764-2800 Email: nriland@wi.rr.com

If Individual: list name, home address, phone number, date of birth: Chris Riland 3720-Roosevelt Road (262) 818-2507

If Partnership or Corporation: list name, home address, phone number, & date of birth of all partners/members:

APPLICANT'S REPORT OF POLICE RECORD (ATTACHMENT)

Each applicant, including an individual, a partner or an officer, director or agent of any corporation must fill out and attach an "Applicant's Report of Police Record". (This form may be duplicated if more copies are needed) Attached? [X] Yes [] No

BUSINESS INFORMATION

Business Name, Address, State, Zip Code and Business Number: Roosevelt Road Antiques + Consignments 3720 Roosevelt Road Kenosha WI 53142 262 764-2800

Building Owner's Name, Home Address, State, Zip Code and Phone Number: Same as above

Manager or Proprietor of Business, Home Address, State, Zip Code, Phone Number, Email:

GENERAL INFORMATION

Have you obtained from the City Clerk a current copy of S.13.02 of the Code of General Ordinances entitled "Secondhand Article and Jewelry Dealers"? [X] Yes [] No

Do you understand that it is your responsibility to obtain a supply of "Property Transaction Record" forms? [X] Yes [] No

(PLEASE NOTE THAT YOU ARE RESPONSIBLE FOR KNOWING AND ABIDING BY THE CONTENTS THEREOF AND YOUR LICENSE MAY BE SUSPENDED OR REVOKED AND/OR YOU MAY BE SUBJECT TO A CIVIL FORFEITURE FOR NON-COMPLIANCE THEREWITH.)

LICENSE REVOCATION

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The undersigned, being first duly sworn on oath, disposes and says that (he/she is) (they are) the applicant(s) named in the foregoing application; that (he/she has) (they have) read each and every question and answered each and every question truly, correctly and completely, under penalty of law for failure to do so.

[Handwritten Signature]

Individual/Partner

Partner/Corporate Officer

Corporate Officer/Director

Corporate Officer/Director

Subscribed and sworn to before me this 25 day of November, 2014.

[Handwritten Signature]

Notary Public

My Commission Expires: 4-11-17

I have received a copy of the NOTICE pertaining to LICENSE/PERMIT APPLICATIONS from the City Clerk's Office

CR
(Applicant's Initials)



SECONDHAND JEWELRY DEALER'S LICENSE
(Chapter 13.02, Code of General Ordinances)

FILED 11-25-14
INITIALS
ADV/NO ADVERSE
LP 12/8
CC 12/15

Type: 165 Fee: \$500.00/year

Expires: December 31, 2015 Renewed

E-MAILED NOV 25 REC'D

The Licensee (applicant) is [X] an individual [] a partnership [] a corporation

NOV 25 2014

Licensee Name: Christopher Riland

District # 8

Trade Name: Roosevelt Road Antiques + Consign Address: 3720 Roosevelt Road

Phone Number: (262) 764-2800 Email: nriland@wi.rr.com

If Individual: list name, home address, phone number, date of birth: Chris Riland 3720 Roosevelt Road (262) 818-2507

If Partnership or Corporation: list name, home address, phone number, & date of birth of all partners/members:

APPLICANT'S REPORT OF POLICE RECORD (ATTACHMENT)

Each applicant, including an individual, a partner or an officer, director or agent of any corporation must fill out and attach an "Applicant's Report of Police Record". (This form may be duplicated if more copies are needed) Attached? [X] Yes [] No

BUSINESS INFORMATION

Business Name, Address, State, Zip Code and Business Number: Roosevelt Road Antiques + Consignments 3720 Ross. Rd. Kenosha, WI 53142 (262) 764-2800

Building Owner's Name, Home Address, State, Zip Code and Phone Number:

Same as above

Manager or Proprietor of Business, Home Address, State, Zip Code, Phone Number, Email:

GENERAL INFORMATION

Have you obtained from the City Clerk a current copy of S.13.02 of the Code of General Ordinances entitled "Secondhand Article and Jewelry Dealers"? [X] Yes [] No

Do you understand that it is your responsibility to obtain a supply of "Property Transaction Record" forms? [X] Yes [] No

(PLEASE NOTE THAT YOU ARE RESPONSIBLE FOR KNOWING AND ABIDING BY THE CONTENTS THEREOF AND YOUR LICENSE MAY BE SUSPENDED OR REVOKED AND/OR YOU MAY BE SUBJECT TO A CIVIL FORFEITURE FOR NON-COMPLIANCE THEREWITH.)

LICENSE REVOCATION

I/We, the undersigned, understand that this license may be denied or revoked by the Common Council for fraud, misrepresentation or false statement contained in the application or for any violation of §943.34 (receiving stolen property), 948.62 (receiving stolen property from a child) or 948.63 (receiving property from a child), Wisconsin Statutes.

The undersigned, being first duly sworn on oath, disposes and says that (he/she is) (they are) the applicant(s) named in the foregoing application; that (he/she has) (they have) read each and every question and answered each and every question truly, correctly and completely, under penalty of law for failure to do so.

[Handwritten Signature]

Individual/Partner

Partner/Corporate Officer

Corporate Officer/Director

Corporate Officer/Director

Subscribed and sworn to before me this 25 day of November, 2014.

[Handwritten Signature]

Notary Public

My Commission Expires: 4-11-17

I have received a copy of the NOTICE pertaining to LICENSE/PERMIT APPLICATIONS from the City Clerk's Office

CR

(Applicant's Initials)



SECONDHAND ARTICLE DEALER'S LICENSE

(Chapter 13.02, Code of General Ordinances)

Type: 164 Fee: \$100.00/year Renewal

Expires: December 31, 2015

FILED 12-1-14 INITIALS JAD ADVISE ADVERSE LP 12/8 CC 12/15

The Licensee (applicant) is an individual a partnership a corporation

Licensee Name: Gnt Financial LLC District # 12

Trade Name: Gnt Jewelry & Loan Address: 7944 Sheridan Rd #3 Kenosha WI 53143

Phone Number: 262-653-9200 Email: gntjewelryandloan@gmail.com

If Individual: list name, home address, phone number, date of birth:

If Partnership or Corporation: list name, home address, phone number, & date of birth of all partners/members:

Thomas V. Stout 700 S. McCarree Waukegan IL 60085 317-716-5248 Gregory Lagunov 2481 Seminole Ct. Riverwoods IL 60015 847-293-7878

APPLICANT'S REPORT OF POLICE RECORD (ATTACHMENT)

Each applicant, including an individual, a partner or an officer, director or agent of any corporation must fill out and attach an "Applicant's Report of Police Record". (This form may be duplicated if more copies are needed) Attached? Yes No

BUSINESS INFORMATION

Business Name, Address, State, Zip Code and Business Number: Gnt Jewelry & Loan 7944 Sheridan Rd #3 Kenosha WI 53143 262-653-9200

Building Owner's Name, Home Address, State, Zip Code and Phone Number: Himmat Gill 6035 Alta Mount Cir. Racine WI 53406 414-801-7106

Manager or Proprietor of Business, Home Address, State, Zip Code, Phone Number, Email: Thomas V. Stout 700 S. McCarree Waukegan IL 60085 317-716-5248 tstout1000@yahoo.com

GENERAL INFORMATION

Have you obtained from the City Clerk a current copy of S.13.02 of the Code of General Ordinances entitled "Secondhand Article and Jewelry Dealers"? Yes No

Do you understand that it is your responsibility to obtain a supply of "Property Transaction Record" forms? Yes No

(PLEASE NOTE THAT YOU ARE RESPONSIBLE FOR KNOWING AND ABIDING BY THE CONTENTS THEREOF AND YOUR LICENSE MAY BE SUSPENDED OR REVOKED AND/OR YOU MAY BE SUBJECT TO A CIVIL FORFEITURE FOR NON-COMPLIANCE THEREWITH.)

LICENSE REVOCATION

I/We, the undersigned, understand that this license may be denied or revoked by the Common Council for fraud, misrepresentation or false statement contained in the application or for any violation of §943.34 (receiving stolen property), 948.62 (receiving stolen property from a child) or 948.63 (receiving property from a child), Wisconsin Statutes.

The undersigned, being first duly sworn on oath, disposes and says that (he/she is) (they are) the applicant(s) named in the foregoing application; that (he/she has) (they have) read each and every question and answered each and every question truly, correctly and completely, under penalty of law for failure to do so.

[Signature]
Individual/Partner LLC member

[Signature]
Partner/Corporate Officer LLC member

Corporate Officer/Director

Corporate Officer/Director

Subscribed and sworn to before me this 28 day of November, 2014.

[Signature]
Notary Public
My Commission Expires: 11/15/18



I have received a copy of the NOTICE pertaining to LICENSE/PERMIT APPLICATIONS from the City Clerk's Office JVS/62
(Applicant's Initials)



SECONDHAND JEWELRY DEALER'S LICENSE
(Chapter 13.02, Code of General Ordinances)

Type: 165 Fee: \$500.00/year

Expires: December 31, 2015 Renewed

FILED 12-1-14
INITIALS JAC
AEV/NO ADVERSE
LP 12/8
CC 12/15

The Licensee (applicant) is [] an individual [X] a partnership [] a corporation

Licensee Name: Gnt Financial LLC District # 12

Trade Name: Gnt Jewelry Loan Address: 7944 Sheridan Rd #3 Kenosha WI 53143

Phone Number: 262-653-9200 Email: GntJewelryLoan@gmail.com

If Individual: list name, home address, phone number, date of birth:

If Partnership or Corporation: list name, home address, phone number, & date of birth of all partners/members:

Thomas V. Stout 700 S. Incarree Waukegan IL 60085 317-716-5248

Gregory Lagunov 2454 Seminole Ct Riverwoods IL 60015 847-293-7878

APPLICANT'S REPORT OF POLICE RECORD (ATTACHMENT)

Each applicant, including an individual, a partner or an officer, director or agent of any corporation must fill out and attach an "Applicant's Report of Police Record". (This form may be duplicated if more copies are needed) Attached? [] Yes [] No

BUSINESS INFORMATION

Business Name, Address, State, Zip Code and Business Number: Gnt Jewelry Loan 7944 Sheridan Rd #3 Kenosha WI 53143 262-653-9200

Building Owner's Name, Home Address, State, Zip Code and Phone Number: Himmat Gill 6035 Altamont Cir. Racine WI 53406 414-801-7106

Manager or Proprietor of Business, Home Address, State, Zip Code, Phone Number, Email: Thomas V. Stout 700 S. Incarree Waukegan IL 60085 317-716-5248 tstout1000@yahoo.com

GENERAL INFORMATION

Have you obtained from the City Clerk a current copy of S.13.02 of the Code of General Ordinances entitled "Secondhand Article and Jewelry Dealers"? [X] Yes [] No

Do you understand that it is your responsibility to obtain a supply of "Property Transaction Record" forms? [X] Yes [] No

(PLEASE NOTE THAT YOU ARE RESPONSIBLE FOR KNOWING AND ABIDING BY THE CONTENTS THEREOF AND YOUR LICENSE MAY BE SUSPENDED OR REVOKED AND/OR YOU MAY BE SUBJECT TO A CIVIL FORFEITURE FOR NON-COMPLIANCE THEREWITH.)

LICENSE REVOCATION

I/We, the undersigned, understand that this license may be denied or revoked by the Common Council for fraud, misrepresentation or false statement contained in the application or for any violation of §943.34 (receiving stolen property), 948.62 (receiving stolen property from a child) or 948.63 (receiving property from a child), Wisconsin Statutes.

The undersigned, being first duly sworn on oath, disposes and says that (he/she is) (they are) the applicant(s) named in the foregoing application; that (he/she has) (they have) read each and every question and answered each and every question truly, correctly and completely, under penalty of law for failure to do so.

[Handwritten Signature]

Individual/Partner

LLC member

[Handwritten Signature]

Partner/Corporate Officer

LLC member

Corporate Officer/Director

Corporate Officer/Director

Subscribed and sworn to before me this 28 day of November, 2018.

[Handwritten Signature]

Notary Public

My Commission Expires: 11/15/18



I have received a copy of the NOTICE pertaining to LICENSE/PERMIT APPLICATIONS from the City Clerk's Office

TVS/GK
(Applicant's Initials)



KENOSHA MASSAGE THERAPIST LICENSE
(\$13.125 City of Kenosha Code of General Ordinances)

Type: 130 Fee: \$100.00

New Renewal

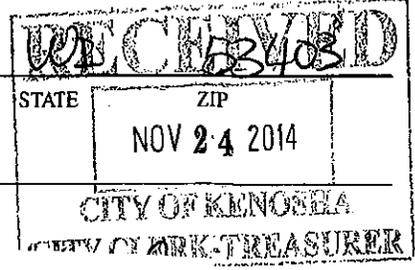
FILED	11/24/14
INITIALS	dlj
ADVERSE	NO ADV
LP	12/8
CC	12/15

Last Name: Wu First Name: Lin Liang MI:
(NOTE: Name must appear exactly as it appears on driver's license or state ID)

Date of Birth: Gender: F Phone: 312-823-3877
(must be at least 18 years old)

Home Address: 1607 Water Ave Racine
CITY

Email: linnywu2011@gmail.com
(correspondence will be via email if address is given)



Driver's License or State ID Number: STATE: NUMBER:

Name and address of Business Where License will be used Shanghai Spa: 7944 Sheridan Rd, Kenosha
(PLEASE NOTE: license may be utilized in the City of Kenosha only) WI

53143

Attach the Following:

- a. Copy of birth certificate or drivers license check if attached
- b. Certificate from a medical doctor **dated within ninety (90) days of the date of application** providing verification of immunization against Rubella and Hepatitis B and verification of negative results of Tuberculosis through Mantoux PPD Test or chest X-ray. In the case of positive results, there must be a physician's statement that the condition is not contagious. check if attached
- c. Documentation that you graduated from a school providing a minimum of five hundred (500) in-class hours of training in massage therapy in a curriculum approved by or substantially similar to a curriculum approved by the American Massage Therapy Association, the International Myomassethics Federation, Inc., or another National or International professional massage therapy organization which has an approved massage therapy curriculum. check if attached N/A~ renewal
- d. Certificate of Insurance covering the license period or remainder thereof indicating that applicant has a policy of malpractice insurance written by an insurance company licensed to do business in the State of Wisconsin in the minimum amount of One Million (1,000,000.00) Dollars in coverage per person. check if attached
- e. Attach "Applicants Report of Police Record". check if attached

Have you obtained from the City Clerk a current copy of §13.125 of the Code of General Ordinances entitled "Massage Therapists"? Yes No (PLEASE NOTE: YOU ARE RESPONSIBLE FOR KNOWING AND ABIDING BY THE CONTENTS THEREOF AND YOUR LICENSE/PERMIT MAY BE SUSPENDED OR REVOKED AND/OR YOU MAY BE SUBJECT TO A CIVIL FORFEITURE FOR NONCOMPLIANCE THEREWITH.)



KENOSHA MASSAGE THERAPIST LICENSE
(\$13.125 City of Kenosha Code of General Ordinances)

FILED	11-25-14
INITIALS	JAD
ADVERSE/NO ADV	
LP	12/8
CC	12/15

Type: 130 Fee: \$100.00

New Renewal

Last Name: WANG First Name: CUNJUN MI: _____
(NOTE: Name must appear exactly as it appears on driver's license or state ID)

Date of Birth: _____ Gender: F Phone: (262) 652-4064
(must be at least 18 years old)

Home Address: 4809 - 68th ST. KENOSHA WI. 53142
CITY STATE ZIP

Email: _____
(correspondence will be via email if address is given)

Driver's License or State ID Number _____
STATE NUMBER

Name and address of Business Where License will be used ORIENTAL SHIATSU MASSAGE 3717-52ST
(PLEASE NOTE: license may be utilized in the City of Kenosha only)

Attach the Following:

- a. Copy of birth certificate or drivers license check if attached
- b. Certificate from a medical doctor **dated within ninety (90) days of the date of application** providing verification of immunization against Rubella and Hepatitis B and verification of negative results of Tuberculosis through Mantoux PPD Test or chest X-ray. In the case of positive results, there must be a physician's statement that the condition is not contagious. check if attached
- c. Documentation that you graduated from a school providing a minimum of five hundred (500) in-class hours of training in massage therapy in a curriculum approved by or substantially similar to a curriculum approved by the American Massage Therapy Association, the International Myomassethics Federation, Inc., or another National or International professional massage therapy organization which has an approved massage therapy curriculum. check if attached N/A~ renewal
- d. Certificate of Insurance covering the license period or remainder thereof indicating that applicant has a policy of malpractice insurance written by an insurance company licensed to do business in the State of Wisconsin in the minimum amount of One Million (1,000,000.00) Dollars in coverage per person. check if attached
- e. Attach "Applicants Report of Police Record". check if attached

Have you obtained from the City Clerk a current copy of §13.125 of the Code of General Ordinances entitled "Massage Therapists"? Yes No (PLEASE NOTE: YOU ARE RESPONSIBLE FOR KNOWING AND ABIDING BY THE CONTENTS THEREOF AND YOUR LICENSE/PERMIT MAY BE SUSPENDED OR REVOKED AND/OR YOU MAY BE SUBJECT TO A CIVIL FORFEITURE FOR NONCOMPLIANCE THEREWITH.)

December 13, 2014 Pg. 75
BOB HANNES
764 0539

Have you ever previously applied for and been denied the license herein applied for? Yes No

If yes, explain: _____

Do you understand that after filing this application with the City Clerk, you must go to the Safety Building at 1000-55th Street, to have your picture taken, Monday through Friday between the hours of 1:00 and 3:00 p.m. ONLY? Yes No

According to Section 13.25 H., Required Abbreviations and Titles In Advertising: (Unless licensed by the State of Wisconsin), Licensed Massage Therapists shall, in their advertisements within the City of Kenosha, use one of the following: "Kenosha LMT" or "Kenosha Licensed Massage Therapist".

READ CAREFULLY BEFORE SIGNING: I hereby certify that I am the applicant named in this application, and I have read and answered each and every question truly, correctly, and completely, under penalty of law for failure to do so. If this application contains statements or information which is untrue, incorrect and/or incomplete in any material respect, it may be denied.

Applicant's Signature: CanJen Wang Date: 11-25-14

I have received a copy of the NOTICE pertaining to LICENSE/PERMIT APPLICATIONS from the City Clerk's Office _____
(Applicant's Initials)



KENOSHA MASSAGE THERAPIST LICENSE
(\$13.125 City of Kenosha Code of General Ordinances)

Type: 130 Fee: \$100.00

New Renewal

FILED	12/3
INITIALS	mn
ADVERSE/NO ADV	
LP	12/8
CC	12/15

Last Name: VALIAUGA First Name: JADVYGA MI: _____
(NOTE: Name must appear exactly as it appears on driver's license or state ID)

Date of Birth: _____ Gender: F Phone: 262-237-1022
(must be at least 18 years old)

Home Address: 4426-45th ave Kenosha WI 53144
CITY STATE ZIP

Email: vyga_valiauga@yahoo.com
(correspondence will be via email if address is given)

Driver's License or State ID Number _____
STATE NUMBER

Name and address of Business Where License will be used BODY WISE THERAPEUTIC MASSAGE
(PLEASE NOTE: license may be utilized in the City of Kenosha only)

Attach the Following:

- a. Copy of birth certificate or drivers license check if attached
- b. Certificate from a medical doctor **dated within ninety (90) days of the date of application** providing verification of immunization against Rubella and Hepatitis B and verification of negative results of Tuberculosis through Mantoux PPD Test or chest X-ray. In the case of positive results, there must be a physician's statement that the condition is not contagious. check if attached
- c. Documentation that you graduated from a school providing a minimum of five hundred (500) in-class hours of training in massage therapy in a curriculum approved by or substantially similar to a curriculum approved by the American Massage Therapy Association, the International Myomassethics Federation, Inc., or another National or International professional massage therapy organization which has an approved massage therapy curriculum. check if attached N/A~ renewal
- d. Certificate of Insurance covering the license period or remainder thereof indicating that applicant has a policy of malpractice insurance written by an insurance company licensed to do business in the State of Wisconsin in the minimum amount of One Million (1,000,000.00) Dollars in coverage per person. check if attached
- e. Attach "Applicants Report of Police Record". check if attached

Have you obtained from the City Clerk a current copy of §13.125 of the Code of General Ordinances entitled "Massage Therapists"? Yes No (PLEASE NOTE: YOU ARE RESPONSIBLE FOR KNOWING AND ABIDING BY THE CONTENTS THEREOF AND YOUR LICENSE/PERMIT MAY BE SUSPENDED OR REVOKED AND/OR YOU MAY BE SUBJECT TO A CIVIL FORFEITURE FOR NONCOMPLIANCE THEREWITH.)

Have you ever previously applied for and been denied the license herein applied for? Yes No
If yes, explain:

Do you understand that after filing this application with the City Clerk, you must go to the Safety Building at 1000-55th Street, to have your picture taken, Monday through Friday between the hours of 1:00 and 3:00 p.m. ONLY? Yes No

According to Section 13.25 H., Required Abbreviations and Titles In Advertising: (Unless licensed by the State of Wisconsin), Licensed Massage Therapists shall, in their advertisements within the City of Kenosha, use one of the following: "Kenosha LMT" or "Kenosha Licensed Massage Therapist".

READ CAREFULLY BEFORE SIGNING: I hereby certify that I am the applicant named in this application, and I have read and answered each and every question truly, correctly, and completely, under penalty of law for failure to do so. If this application contains statements or information which is untrue, incorrect and/or incomplete in any material respect, it may be denied.

Applicant's Signature: J. Valianuga Date: 12-03-2014

I have received a copy of the NOTICE pertaining to LICENSE/PERMIT APPLICATIONS from the City Clerk's Office J.V.
(Applicant's Initials)



E-MAILED NOV 20 11/24

KENNEL & PET SHOP LICENSES

(Chapter 14.015- City of Kenosha, Code of General Ordinances)

FILED	11/24
INITIALS	mm
DATE	12/18
CC	12/15

- Type: 81 (non-commercial)
 82 (commercial)
 83 (humane society)
 84 (pet shop)

Fee: \$200.00/year NEW RENEWAL

Licensee Name: Kenosha County Humane Society District # 14

Trade Name: Safe Harbor Humane Society Address: 7811-60th Ave, Kenosha, WI 53142

Phone Number: (262)694-4047 Email: Animals @ safeharborhumane.com

If Individual, Partnership or Corporation: list name, home address, phone number, & date of birth of all partners/members:

Marc ASkurski - President - 3515 100th St Pleasant Prairie, 53158 - (262) 960-0846 -
William P. Bohman - VP/Treasurer - 437 44th St. #3 Kenosha, 53140 - (262) 605-9968 -
Jennifer Somerlott - Secretary - 711 32nd St Kenosha, 53142 - (262) 652-5895 -

Primary Contact Person: Amanda Angove Phone Number: (262)694-4047

Number of animals sought to be kept on licensed premises: Dogs 105 Cats 120

READ CAREFULLY BEFORE SIGNING: Under penalty provided for by law, the undersigned states that each of the above questions has been truthfully answered to the best of his/her/their knowledge. (Individual applicants and each member of a partnership must sign; designated corporate officers must sign.)

[Signature] VP 11/25/14
 (Individual/Partner/Member) Date

[Signature] 11/25/14
 (Partner/Member) Date

I have received a copy of the NOTICE pertaining to LICENSE/PERMIT APPLICATIONS from the City Clerk's Office [Signature]
(Applicant's Initials)

FOR DEPARTMENT USE ONLY

FIRE: Approved Not Approved Holds: _____ By: _____

COMMUNITY DEVELOPMENT & INSPECTIONS: Zoning: _____ Occupancy Permit: _____

Any other zoning permits required (such as variances or conditional use permits): _____

Approved Not Approved Holds: _____ By: _____

HEALTH: Number of Dogs Approved: _____ Number of Cats Approved: _____ Not Approved
Holds: _____ By: _____

CITY CLERK: Dog Tag Numbers Issued: _____ Cat Tag Numbers Issued: _____ By: _____



KENNEL & PET SHOP LICENSES

(Chapter 14.015 - City of Kenosha, Code of General Ordinances)

- Type: 81 (non-commercial)
 82 (commercial)
 83 (humane society)
 84 (pet shop)

FILED	12/2
INITIALS	ddd
LP	12/8 NO ADV
CC	12/15

Fee: \$200.00/year

NEW RENEWAL

Licensee Name: Wagin' Tail Resort Inc District # 11

Trade Name: Sta Address: 5103 32nd St Kenosha WI

Phone Number: 262-656-1111 Email: nancycraft@wagin-tailresort.com

If Individual, Partnership or Corporation: list name, home address, phone number, & date of birth of all partners/members:

Nancy Craft 4980 Darden Dr Juncie IL 60031 224-627-5465
~~Gary Craft Sta 817-714-0912~~

Primary Contact Person: Nancy Craft Phone Number: 262-656-1111

Number of animals sought to be kept on licensed premises: Dogs 50 Cats _____

READ CAREFULLY BEFORE SIGNING: Under penalty provided for by law, the undersigned states that each of the above questions has been truthfully answered to the best of his/her/their knowledge. (Individual applicants and each member of a partnership must sign; designated corporate officers must sign.)

Nancy Craft 11-28-14
(Individual/Partner/Member) Date

(Partner/Member) Date

I have received a copy of the NOTICE pertaining to LICENSE/PERMIT APPLICATIONS from the City Clerk's Office hc
(Applicant's Initials)

FOR DEPARTMENT USE ONLY

FIRE: Approved Not Approved Holds: _____ By: _____

COMMUNITY DEVELOPMENT & INSPECTIONS: Zoning: _____ Occupancy Permit: _____
Any other zoning permits required (such as variances or conditional use permits): _____
 Approved Not Approved Holds: _____ By: _____

HEALTH: Number of Dogs Approved: _____ Number of Cats Approved: _____ Not Approved
Holds: _____ By: _____

CITY CLERK: Dog Tag Numbers Issued: _____ Cat Tag Numbers Issued: _____ By: _____



KENNEL & PET SHOP LICENSES

(Chapter 14.015 - City of Kenosha, Code of General Ordinances)

- Type: 81 (non-commercial)
 82 (commercial)
 83 (humane society)
 84 (pet shop)

FILED 11-26-14
 INITIALS JAD
 NO ADV 12/8
 CC 12/15

Fee: \$200.00/year

NEW RENEWAL

Licensee Name: The Puppy Tob e Motel Inc. District # 7

Trade Name: Puppy Tob e Motel Address: 2419 52nd St. Kenosha WI 53141

Phone Number: 262 654-4808 Email: JaeT.L@hotmail.com

If Individual, Partnership or Corporation: list name, home address, phone number, & date of birth of all partners/members:

President Javier Taramillo. 6111 24th Av. Kenosha WI 53143.
Phone # (262) 484 1306

Vice President: Maria del Pilar Taramillo 6111 24th Av. Kenosha WI 53143.
Phone # (262) 705-7343.

Primary Contact Person: Javier Taramillo. Phone Number: (262) 484-1306

Number of animals sought to be kept on licensed premises: Dogs 44 Cats 6

READ CAREFULLY BEFORE SIGNING: Under penalty provided for by law, the undersigned states that each of the above questions has been truthfully answered to the best of his/her/their knowledge. (Individual applicants and each member of a partnership must sign; designated corporate officers must sign.)

Javier Taramillo President 11-25-14
(Individual/Partner/Member) Date

(Partner/Member) Date

I have received a copy of the NOTICE pertaining to LICENSE/PERMIT APPLICATIONS from the City Clerk's Office JT
(Applicant's Initials)

FOR DEPARTMENT USE ONLY

FIRE: Approved Not Approved Holds: _____ By: _____

COMMUNITY DEVELOPMENT & INSPECTIONS: Zoning: _____ Occupancy Permit: _____

Any other zoning permits required (such as variances or conditional use permits): _____

Approved Not Approved Holds: _____ By: _____

HEALTH: Number of Dogs Approved: _____ Number of Cats Approved: _____ Not Approved

Holds: _____ By: _____

CITY CLERK: Dog Tag Numbers Issued: _____ Cat Tag Numbers Issued: _____ By: _____



KENNEL & PET SHOP LICENSES

(Chapter 14.015- City of Kenosha, Code of General Ordinances)

- Type: 81 (non-commercial)
 82 (commercial)
 83 (humane society)
 84 (pet shop)

FILED	12-21-14
INITIALS	KS
LP	12/8 NO ADV
CC	12/15

Fee: \$200.00/year

NEW RENEWAL

Licensee Name: PUPAROTZI PALACE LLC District # 12

Trade Name: Puparotzi Palace Address: 7609 Sheridan Rd Kenosha, WI 53143

Phone Number: 262-564-6966 Email: GFMOB8787@AOL.COM

If Individual, Partnership or Corporation:

list name, home address, phone number, driver's license number, & date of birth of all partners/members:

GREGORY FROST
11933 Old Greenbay Rd
PLEASANT PRAIRIE, WI 53158

Primary Contact Person: Greg Frost Phone Number: 262-620-1223

Number of animals sought to be kept on licensed premises: Dogs 6 Cats 0

READ CAREFULLY BEFORE SIGNING: Under penalty provided for by law, the undersigned states that each of the above questions has been truthfully answered to the best of his/her/their knowledge. (Individual applicants and each member of a partnership must sign; designated corporate officers must sign.)

Gregory Frost 12-2-14
 (Individual/Partner/Member) Date

(Partner/Member) Date

I have received a copy of the NOTICE pertaining to LICENSE/PERMIT APPLICATIONS from the City Clerk's Office [Signature]
(Applicant's Initials)

FOR DEPARTMENT USE ONLY

FIRE: Approved Not Approved Holds: _____ By: _____

COMMUNITY DEVELOPMENT & INSPECTIONS: Zoning: _____ Occupancy Permit: _____

Any other zoning permits required (such as variances or conditional use permits): _____

Approved Not Approved Holds: _____ By: _____

HEALTH: Number of Dogs Approved: _____ Number of Cats Approved: _____ Not Approved

Holds: _____ By: _____

CITY CLERK: Dog Tag Numbers Issued: _____ Cat Tag Numbers Issued: _____ By: _____



KENNEL & PET SHOP LICENSES

(Chapter 14.015- City of Kenosha, Code of General Ordinances)

- Type: 81 (non-commercial)
 82 (commercial)
 83 (humane society)
 84 (pet shop)

FILED	11-24-14
INITIALS	JAD
NO ADV	12/8
CC	12/15

Fee: \$200.00/year

NEW RENEWAL

Licensee Name: KINDRED KITTIES LTD District # 2

Trade Name: KINDRED KITTIES Address: 614-59th ST

Phone Number: 262-605-0533 Email: CATHRYNMCO@ADL.COM

If Individual, Partnership or Corporation list name, home address, phone number, & date of birth of all partners/members: BOARD OF DIRECTORS
CATHY MCDOWELL, 6985 SHAGBARK LAKE, BURLINGTON, WISCONSIN PRES
SAREN SEIBERT, 4721 5TH AVE, KENOSHA, WI 53140 - TREASURER
Jeanne G. RENDINGER, 2839-17th AVE, Kenosha 53143, SECRETARY
CHARLIS HAMMELEU, 3018-86th ST, UNIT 203, KENOSHA, WI 53142 VICE PRES.

Primary Contact Person: CATHY MCDOWELL Phone Number: 262-605-0533

Number of animals sought to be kept on licensed premises: Dogs _____ Cats 60

READ CAREFULLY BEFORE SIGNING: Under penalty provided for by law, the undersigned states that each of the above questions has been truthfully answered to the best of his/her/their knowledge. (Individual applicants and each member of a partnership must sign; designated corporate officers must sign.)

Karen Seibert 11-24-14
(Individual/Partner/Member) Date

(Partner/Member) Date

I have received a copy of the NOTICE pertaining to LICENSE/PERMIT APPLICATIONS from the City Clerk's Office KJ
(Applicant's Initials)

FOR DEPARTMENT USE ONLY

FIRE: Approved Not Approved Holds: _____ By: _____

COMMUNITY DEVELOPMENT & INSPECTIONS: Zoning: _____ Occupancy Permit: _____

Any other zoning permits required (such as variances or conditional use permits): _____

Approved Not Approved Holds: _____ By: _____

HEALTH: Number of Dogs Approved: _____ Number of Cats Approved: _____ Not Approved

Holds: _____ By: _____

CITY CLERK: Dog Tag Numbers Issued: _____ Cat Tag Numbers Issued: _____ By: _____

E-MAILED DEC 02 REC'D

RESCAN



DEC 01 2014

KENNEL & PET SHOP LICENSES

(Chapter 14.015- City of Kenosha, Code of General Ordinances)

- Type: 81 (non-commercial)
 82 (commercial)
 83 (humane society)
 84 (pet shop)

FILED	12/2
INITIALS	JK
LP	12/8 NOADV
CC	12/5

Fee: \$200.00/year

NEW RENEWAL

Licensee Name: Jo's Exotic Birds, Ltd District # _____

Trade Name: Jo's Exotic Birds, Ltd Address: 7534 Sheridan Rd.

Phone Number: 262-654-1609 Email: Josbirds@sbcglobal.net

If Individual, Partnership or Corporation list name, home address, phone number, & date of birth of all partners/members:

Jo Cole 9936 29th Ave Pleasant Prairie WI 697-1804
Richard Cole 9936 29th Ave Pleasant Prairie 697-1804

Primary Contact Person: Jo Cole Phone Number: 262 697-1804

Number of animals sought to be kept on licensed premises: Dogs 0 Cats 0

READ CAREFULLY BEFORE SIGNING: Under penalty provided for by law, the undersigned states that each of the above questions has been truthfully answered to the best of his/her/their knowledge. (Individual applicants and each member of a partnership must sign; designated corporate officers must sign.)

Jo Cole 11-26-14
(Individual/Partner/Member) Date

[Signature] 11-26-14
(Partner/Member) Date

I have received a copy of the NOTICE pertaining to LICENSE/PERMIT APPLICATIONS from the City Clerk's Office jc
(Applicant's Initials)

FOR DEPARTMENT USE ONLY

FIRE: Approved Not Approved Holds: _____ By: _____

COMMUNITY DEVELOPMENT & INSPECTIONS: Zoning: _____ Occupancy Permit: _____

Any other zoning permits required (such as variances or conditional use permits): _____

Approved Not Approved Holds: _____ By: _____

HEALTH: Number of Dogs Approved: _____ Number of Cats Approved: _____ Not Approved

Holds: _____ By: _____

CITY CLERK: Dog Tag Numbers Issued: _____ Cat Tag Numbers Issued: _____ By: _____



KENNEL & PET SHOP LICENSES

(Chapter 14.015- City of Kenosha, Code of General Ordinances)

- Type: 81 (non-commercial)
 82 (commercial)
 83 (humane society)
 84 (pet shop)

FILED	11/26/14
INITIALS	mm
NOV	12/8
CC	12/15

Fee: \$200.00/year

NEW RENEWAL

Licensee Name: Happy Tails Doggy Day Care LLC District # 16

Trade Name: Happy Tails Doggy Day Care DBA Central Bark Doggy Day Care Address: 7600 75th ST, Suite #202 Kenosha, WI 53142

Phone Number: 262-694-3647 Email: kenosha@centralbarkusa.com

If Individual, Partnership or Corporation: list name, home address, phone number, & date of birth of all partners/members:

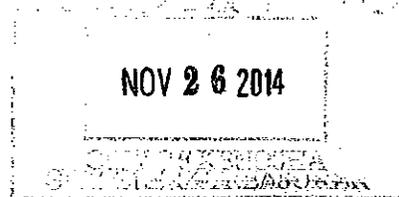
Laura Kriofsky - 9010 18th ST, Kenosha, WI 53144
262-859-2737

Primary Contact Person: Laura Kriofsky Phone Number: 262-859-2737

Number of animals sought to be kept on licensed premises: Dogs 72 Cats 0

READ CAREFULLY BEFORE SIGNING: Under penalty provided for by law, the undersigned states that each of the above questions has been truthfully answered to the best of his/her/their knowledge. (Individual applicants and each member of a partnership must sign; designated corporate officers must sign.)

Laura Kriofsky 11/24/14
(Individual/Partner/Member) Date



(Partner/Member) Date

I have received a copy of the NOTICE pertaining to LICENSE/PERMIT APPLICATIONS from the City Clerk's Office J.K.
(Applicant's Initials)

FOR DEPARTMENT USE ONLY

FIRE: Approved Not Approved Holds: _____ By: _____

COMMUNITY DEVELOPMENT & INSPECTIONS: Zoning: _____ Occupancy Permit: _____

Any other zoning permits required (such as variances or conditional use permits): _____

Approved Not Approved Holds: _____ By: _____

HEALTH: Number of Dogs Approved: _____ Number of Cats Approved: _____ Not Approved

Holds: _____ By: _____

CITY CLERK: Dog Tag Numbers Issued: _____ Cat Tag Numbers Issued: _____ By: _____

**COMMON COUNCIL
CITY OF KENOSHA, WISCONSIN
LICENSING/PERMIT COMMITTEE**

In The Matter Of:

The Operator (Bartender's) License of Alexis Hoff

Findings of Fact, Conclusions of Law and Recommendation

The Complaint of the City Clerk/Treasurer for the City of Kenosha seeking the revocation of the Operator (Bartender's) License of Alexis Hoff came to the Committee for a hearing on November 10, 2014.

The members of the Licensing/Permit Committee present for the hearing were Chairman Curt Wilson, Patrick Juliana, and Kurt Wicklund.

The Licensing/Permit Committee was represented by special counsel, Steven M. Cain.

The City Clerk/Treasurer was represented by Deputy City Attorney Matthew A. Knight.

The Licensee, Alexis Hoff appeared without counsel.

NOW THEREFORE, based on the testimony and evidence received at the hearing, the arguments of counsel for the City, the arguments of the Licensee, and the discussion by the members of the Licensing/Permit Committee, the Licensing/Permit Committee of the Common Council of the City of Kenosha makes the following Findings of Fact, Conclusions of Law and Recommendation:

FINDINGS OF FACT

1. Alexis Hoff, hereinafter "Licensee", at all times relevant herein, was and is an adult resident of the City of Kenosha, Wisconsin, and as of June 6, 2014, lived at 6537 – 61st Avenue, Kenosha, Wisconsin.

2. Licensee was initially granted an Operator (Bartender's) License, hereinafter referred to as "License", by the Common Council for the City of Kenosha, Wisconsin, hereinafter referred to as "Council", September 16, 2012, pursuant to Section 10.063 of the Code of General Ordinances of the City of Kenosha, Wisconsin, subject to 40 demerit points.

3. That Licensee filed a renewal application for renewal of her License on June 6, 2014.

4. That Licensee had her License renewed by the Council on July 7, 2014, subject to a non-renewal/revocation hearing.

5. That Licensee was assessed twenty-five (25) demerit points based upon a conviction of Sale of Alcohol to an Underage Person, contrary to Wisconsin Statute Section 125.07(1)(a) pursuant to Sections 10.063 D.2.b. and 10.063 D.6. of the Code of General Ordinances, said violation having occurred on August 20, 2013, and resulting in a conviction in the City of Kenosha Municipal Court on September 11, 2013.

6. That Licensee was assessed fifty (50) demerit points based upon a conviction of Sale of Alcohol to an Underage Person, contrary to Wisconsin Statute Section 125.07(1)(a) pursuant to Section 10.063 D.2.b., 10.063 D.6., and 10.063 D.8. of the Code of General Ordinances, said violation having occurred on August 22, 2013, and resulting in a conviction in the City of Kenosha Municipal Court on February 20, 2014.

7. That Licensee was assessed five (5) demerit points based on a conviction of Sale of Cigarettes to a Minor, contrary to Section 13.09 C.1. of the General Code of Ordinances for the City of Kenosha pursuant to Sections 10.063 D.2.b. and 10.063 D.6. of the Code of General Ordinances, said violation having occurred on July 28, 2014, and resulting in a conviction in the City of Kenosha Municipal Court on September 2, 2014.

8. That Licensee's renewal application was untrue, incorrect and/or incomplete contrary to Section 1.22 A. of the Code of General Ordinances, to wit: Licensee failed to identify the convictions for Sale of Alcohol to an Underage Person which occurred on August 22, 2013, and July 28, 2014, previously identified above on her renewal application as required by question 1 of the renewal application.

9. That Licensee was issued twenty(20) demerit points for filing an untrue, incorrect or false application pursuant to Section 10.063 D.2.b. and 10.063 D.6. of the Code of General Ordinances.

10. That Licensee had her License renewed by the Council on July 7, 2014, subject to a non-renewal/revocation hearing;

11. The Licensee has accumulated one hundred forty (140) demerit points within two consecutive license terms under Section 10.063 of the Code of General Ordinances.

CONCLUSIONS OF LAW

12. Under Section 10.063.D.2.b. of the Code of General Ordinances, the accumulation of one hundred (100) demerit points within two consecutive license terms subjects the Licensee to the non-renewal, revocation, or suspension of said License, as determined by the Common Council;

13. That filing an untrue, incorrect or incomplete renewal application for an Operator (Bartender's) License is a basis for denying (revoking) applicant's Operator License.

RECOMMENDATION

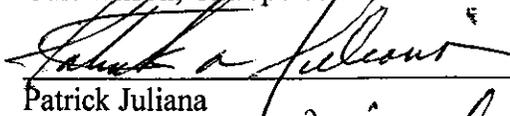
Based on the allegations of the Complaint, the evidence and testimony received at the hearing, the arguments of Counsel for the City of Kenosha, the discussions by the members of the Licensing/Permit Committee, and the Findings of Fact and Conclusions of Law set forth above, the Licensing/Permit Committee recommends to the Common Council, by a vote of 3-0, that the Operator (Bartender's) License of Alexis Hoff be suspended for a period of ten (10) consecutive days and upon completion of her suspension that she be reinstated subject to seventy-five (75) demerit points.

Dated at Kenosha, Wisconsin, on this 8th day of December, 2014.

LICENSING/PERMIT COMMITTEE



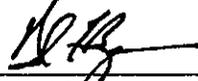
Curt Wilson, Chairperson



Patrick Juliana



Kurt Wicklund



David Bogdala

G. John Ruffolo

Planning & Zoning Division 625 52nd Street - Room 308 Kenosha, WI 53140 262.653.4030	Kenosha City Plan Commission FACT SHEET	December 4, 2014	Item 3
Conditional Use Permit Amendment for a contractor's storage yard to be located at 5820 49th Street. (District #16) (Thomas Concrete) PUBLIC HEARING			

LOCATION/SURROUNDINGS:

Site: 5820 49th Street
 Zoned: M-2 Heavy Manufacturing / AIR-4 Airport Overlay District

NOTIFICATIONS/PROCEDURES:

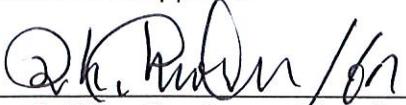
The alderperson of the district, Alderperson Johnson, has been notified. Since the application was submitted prior to the Zoning Ordinance Amendment relating to review authorities, the Common Council is the final review authority for this item. Future Amendments would be reviewed by the City Plan Commission.

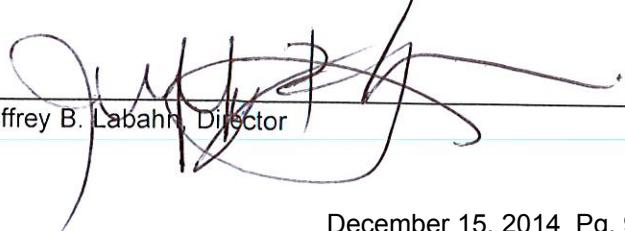
ANALYSIS:

- The applicant received approval for a Contractor's Storage Yard from the Common Council on May 19, 2014. Revised plans have been submitted to address the Conditions of Approval.
- The applicant is requesting two (2) Amendments to this approval:
 - The first pertains to expiration of the permit. The original Conditions of Approval require a Building Permit to be obtained within six (6) months of approval. Since the applicant had not addressed all of the Conditions of Approval to obtain a permit, he has requested an extension of his Conditional Use Permit. The recent Ordinance change would permit the extension to be one (1) year.
 - The second pertains to the storage yard paving requirements. The original Conditions of Approval require paving of the entire fenced storage area with asphalt or concrete. The applicant is requesting to pave a portion in concrete, leave a portion in gravel and a portion would be grass. The applicant provided a list of his "tracked equipment" and is requesting to leave a portion of the yard gravel for these pieces of equipment. The tracked equipment would destroy the concrete when driving equipment in the yard. The City has previously made similar allowances for contractor's storage yards with tracked equipment. The Conditions of Approval will state that the grass area is not to be used for contractor's storage, unless or until an Amendment is approved to pave this area for additional storage.
- Plans were sent to other City Departments for their review. Their comments are included in the attached Conditions of Approval.
- The plans generally comply with Sections 4 and 14 of the Zoning Ordinance.

RECOMMENDATION:

A recommendation is made to approve the Conditional Use Permit Amendment, subject to the attached Conditions of Approval.


 Brian R. Wilke, Development Coordinator


 Jeffrey B. Labahn, Director

Planning & Zoning Division 625 52nd Street Kenosha, WI 53140 262.653.4030	<i>Kenosha City Plan Commission Conditions of Approval</i>	Thomas Concrete North of 49th Street and East of Green Bay Road	Revised December 4, 2014
--	---	---	-----------------------------

1. The following Conditions of Approval will run with the land and shall be included in a document recorded with the Kenosha County Register of Deeds:
 - a. The applicant shall obtain all required construction permits from the Department of Community Development & Inspections. This includes, but is not limited to Erosion Control, Building, Plumbing, Electrical and Occupancy permits.
 - b. The applicant shall obtain Driveway, Street Opening and Parking Lot permits from the Department of Public Works.
 - c. All signs shall comply with Chapter 15 of the Code of General Ordinances and the applicant shall obtain sign permits for all new signs. A separate submission and permits are required for all signs. Sign information provided under the Conditional Use Permit is for reference only and does not constitute sign permit approval.
 - d. The development shall be constructed per the approved plans on file with the Department of Community Development & Inspections, Room 308, 625 52nd Street, Kenosha, WI 53140. Any changes to the approved plans shall require an amendment to the Conditional Use Permit. All changes shall be submitted to the Department of Community Development & Inspections for review and approval.
 - e. Prior to the issuance of any Occupancy permits, all parking areas, drives and designated paved areas shall have the initial lift of asphalt installed. The building exterior shall be completed per the approved plans, the exterior lighting shall be installed and the Conditional Use Permit shall be recorded with the Kenosha County Register of Deeds. All improvements indicated on the plans, including landscaping, shall be installed prior to the issuance of a final Occupancy permit. The recording fees for the Conditional Use Permit shall be submitted by the applicant.
 - f. Compliance with City and State and/or Federal Codes and Ordinances. The buildings shall comply with the current Code standards in effect upon application for a building permit.
 - g. All trash containers shall be stored within the enclosure, building or fenced area. The applicant/owner shall be responsible for waste collection and removal for the development. The City of Kenosha shall not provide waste collection or removal services or incur any cost in this regard.
 - h. The applicant shall meet all applicable Conditions of Approval and obtain a building permit within one (1) year of Common Council approval of the Conditional Use Permit or the Conditional Use Permit shall be null and void.

Planning & Zoning Division
625 52nd Street
Kenosha, WI 53140
262.653.4030

***Kenosha City Plan
Commission
Conditions of Approval***

Thomas Concrete
North of 49th Street and
East of Green Bay Road

Revised
December 4, 2014

- i. All vehicles shall be parked within the designated paved areas, with the exception of tracked vehicles on the gravel areas. No storage, equipment or vehicle parking shall occur on the other unpaved areas.
 - j. All improvements, including landscaping, shall be maintained per the approved plans. Any damaged fencing, landscaping or building shall be replaced or reconstructed per the approved plans.
 - k. Compliance with the Operational Plan dated May 1, 2014.
 - l. Material piles shall not exceed the height of the fence.
 - m. The fence surrounding the storage area shall be a wood stockade fence facing 49th Street with chain link for the balance of the site.
2. The following conditions of approval shall be satisfied with City Staff prior to the issuance of any construction permits.
- a. The Plan shall be revised and resubmitted for review and approval addressing comments listed in the Public Works memo dated November 25, 2014.
 - b. The interior parkway (area between the parking lot and right-of-way line) shall be landscaped per Section 14, Table 5, Option 2, of the Zoning Ordinance for Industrial Development.

/u2/accl/cp/ckays/1CPC/2014/DEC4/conditions-thomasconcrete-120414.odt



ENGINEERING DIVISION
SHELLY BILLINGSLEY, P.E.
CITY ENGINEER

PARK DIVISION
JEFF WARNOCK
SUPERINTENDENT

FLEET MAINTENANCE
MAURO LENCI
SUPERINTENDENT

STREET DIVISION
JOHN H. PRIJIC
SUPERINTENDENT

WASTE DIVISION
ROCKY BEDNAR
SUPERINTENDENT

DEPARTMENT OF PUBLIC WORKS

MICHAEL M. LEMENS, P.E., DIRECTOR
SHELLY BILLINGSLEY, P.E., DEPUTY DIRECTOR

MUNICIPAL BUILDING · 625 - 52ND ST · RM 305 · KENOSHA, WI 53140
TELEPHONE (262) 653-4050 · FAX (262) 653-4056
EMAIL PUBLICWORKS@KENOSHA.ORG

TO: Brian Wilke, Development Coordinator

FROM: Michael M. Lemens, P.E.
Director of Public Works

Michael M. Lemens SAB 11-25-14

Shelly Billingsley, P.E.
City Engineer

Shelly Billingsley 11-25-14

DATE: November 25, 2014
SUBJECT: PLAN REVIEW COMMENTS
Project Description: Thomas Concrete and Landscape, LLC.-Review #3
Location: 49th Street East of Green Bay Road



Our staff has reviewed the plans for this project. The following comments are provided:

Parking Lot Ordinance Compliance	Sufficient	Deficient	Not Applicable
Parking Lot Paved	X		
Standard Stall Width	X		
Parking Lot Layout		X	
Parking Lot Lighting Shown	X		
Parking Lot Lighting Adequate		X	
Handicapped Parking	X		
Driveway Locations	X		
Driveway Width	X		
Passing Blister or Accel/Decel Lanes			X
Sidewalks Adequate			X
Drive Thru Lane Design			X

Public Streets	Sufficient	Deficient	Not Applicable
Geometric Design			X
Pavement Width			X
Pavement Thickness Design			X
Established Grades			X
Plan Details			X
Sidewalks		X	
Street Lights			X

Site Grading/Drainage	Sufficient	Deficient	Not Applicable
Drainage Plan	X		
Storm Sewer	X		
Storm Water Detention			X
Drainage Calculations	X		

Project Approval/Permits Needed	Yes	No	Not Applicable
Project Approved for Permitting		X	
Withhold Permits: See Comments	X		
Approve Footing/ Foundation Only (per condition)			X
Parking Lot Permit Required	X		
Driveway Permits Required	X		
Sidewalk Permit Required	X		
Street Opening Permit Required	X		
Stormwater Permit Required		X	
Erosion Control Required	X		

Grading & Drainage Comments:

No Comments

Traffic Comments:

1. Show proposed sidewalk grades on the grading plan.
2. Supply details of handicap parking pavement marking with at least 1 space be van accessible with minimum 96 inch wide access aisle per ADA standards.
3. Parking Lot photometric lighting plan is nearly 4 times the required average of 1fc illumination with maximum of 0.75 fc at property line. Would recommend changes to lower illumination levels.

4. Surface of parking facility shall be paved. Track area needs to be disjointed from paved parking area to clearly defined area as a special use area. Track area to be maintained in a dust free condition.

cc: Jeff Hansen
Shelly Billingsley
Kile Kuhlmeier
Greg Holverson
Chase Kuffel
Gerard Koehler

May 1, 2014

Thomas Concrete & Landscape

New Proposed site 49th St.

Pickups, dump truck, skid loader, trailers will be stores inside storage building or on outside concrete parking area. Materials will be stores in concrete bins and covered if necessary.

Trash pickup will be every two weeks with 2 yard roll away dumpster to lowest bid from trash company

Materials will be covered if necessary to prevent any blowing, dust and debris. Fire extinguishers will be on site at every door opening.

Hours of operation will be 6am to 7pm during summer hours and winter will be the same plus any snow plowing time. Snow plowing time varies between snow times

Fencing will be chain link around property.

Zimbra

bwilke@kenosha.org

gravel area

From : kevin@tcl-llc.com

Wed, Nov 19, 2014 09:49 AM

Subject : gravel area

📎 Items for followup

To : Brian Wilke <bwilke@kenosha.org>

📎 2 attachments

Hi Brian,

We have 2 track skidloaders, 1 D5 dozer and 1 Excavator that we would like to be able to unload in the gravel tracking pad. That area should be just enough room for them in storage and unloading.

Kevin M. Thomas
Thomas Concrete, landscape, & Property Maintenance LLC
5820 49th Street
Kenosha, WI. 53144

Phone # (262)909-9254
Fax# (262)577-5885

CHECK US OUT ON THE WEB AT <http://www.tcl-llc.com>
OR CHECK OUT OUR FACEBOOK PAGE HERE  [Facebook](#)



sigimg0
10 KB

04/28/2014

To whom it may concern:

The proposed building with steel-ribbed siding has been changed to siding with a stucco-finished exterior.

Regards,

A handwritten signature in black ink, consisting of several loops and a long horizontal stroke extending to the right.

Kevin M. Thomas, Owner
Thomas Concrete & Landscape

**Development Review Application
City of Kenosha, Wisconsin**

MAILING INFORMATION

NAME OF PROJECT: _____

Check one (1) of the following boxes to indicate the recipient of all correspondence:

Name and Address of Applicant [Please print]:
THOMAS Concrete & Landscaping
991 88th AVE
Kenosha WI 53144
 Phone: 262-909-9254
 Fax: 262-859-0327
 E-Mail: Kevin@TCE-LLC.com

Name and Address of Architect/Engineer [Please print]:
CLARK DIETZ DC.
5017 GREEN BAY RD.
Kenosha, WI 53144
GREG DROESLYEN P.E.
 Phone: 262-657-1550
 Fax: 262-657-1594
 E-Mail: Greg.Droeslyen@CLARKDIETZ.com

Name and Address of Property Owner (if other than applicant) [Please print]:
ZIG-LIE ENTERPRISES
991 88th AVE
Kenosha WI 53144
 Phone: 262-909-9254
 Fax: 262-859-0327
 E-Mail: Kevin@TCE-LLC.com

PROJECT LOCATION

Location of Development (street address and / or parcel number): FIN 08-222-34-102-007

TYPE OF LAND DEVELOPMENT

Check all that apply. Note: Additional information may be required within individual Sections.

<input type="checkbox"/>	Certified Survey Map	Section 1	Page 3
<input type="checkbox"/>	Concept Review (Land Division)	Section 2	Page 4
<input type="checkbox"/>	Concept Review (Multi-Family Residential or Non-Residential)	Section 3	Page 5
<input checked="" type="checkbox"/>	Conditional Use Permit	Section 4	Pages 6 & 7
<input type="checkbox"/>	Developer's Agreement	Section 5	Page 8
<input type="checkbox"/>	Final Plat	Section 6	Pages 9 & 10
<input type="checkbox"/>	Lot Line Adjustment Survey	Section 7	Page 11
<input type="checkbox"/>	Preliminary Plat	Section 8	Pages 12 & 13
<input type="checkbox"/>	Rezoning	Section 9	Pages 14 & 15
<input type="checkbox"/>	Site Plan Review	Section 10	Pages 16 & 17

**PRIOR TO SUBMITTING THIS APPLICATION TO THE DEPARTMENT OF CITY DEVELOPMENT,
PLEASE REVIEW THE APPROPRIATE SECTION(S) FOR FEES, REQUIREMENTS AND APPROPRIATE APPENDICES.**

*Submit this cover page, completed application, applicable section(s) and appendices
along with ALL required plans, information and fees to:*

Department of Community Development & Inspections
 Planning Division
 625 52nd Street, Room 308
 Kenosha, WI 53140

Phone: 262.653.4030
 Fax: 262.653.4045
 Office Hours:
 M - F 8:00 am - 4:30 pm

**SECTION 4
CONDITIONAL USE PERMIT**

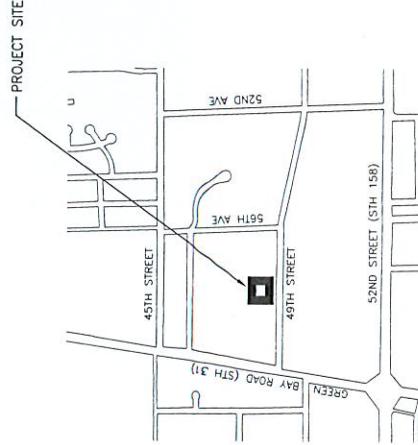
Additional Information Required:	Building or Addition Square Footage: <u>50x60 Storage AND 36x24 Office</u> Existing Building Size: <u>NA</u> Site Size: <u>200 Deep x 175 wide East side of property</u> Current # of Employees <u>4</u> Anticipated # of New Employees <u>4</u> Anticipated Value of Improvements: <u>50,000</u>		
Submittal Requirements:	<ul style="list-style-type: none"> ➤ Ten (10) full size scaled copies of Specified Plans indicated below drawn at a standard engineering scale ➤ Developer Site Plan/Conditional Use Permit Checklist (Appendix A) 		
If Item to be Reviewed by Plan Commission/Common Council must Submit:	<ul style="list-style-type: none"> ➤ One (1) 8 1/2" x 11" reduction <i>or</i> twenty (20) 11" x 17" reductions of the Site/Landscape Plan, Floor Plan and Colored Building Elevations (all sides) ➤ Sample Board containing colored samples of all exterior building materials 		
Fees:	<u>Building or Addition Size</u>	<u>Site size</u>	<u>Review Fee</u>
	Level 1 <= 10,000 sq. ft. Level 2 10,001 - 50,000 sq. ft. Level 3 50,001 - 100,000 sq. ft. Level 4 > 100,001 sq. ft.	<= 1 acre 1.01 - 10 acres 10.01 - 25 acres > 25.01 acres	\$900 = City Plan Dept. <i>or</i> \$1,025 = CPC/CC \$1,175 = City Plan Dept. <i>or</i> \$1,300 = CPC/CC \$1,600 = City Plan Dept. <i>or</i> \$1,725 = CPC/CC \$2,000 = City Plan Dept. <i>or</i> \$2,125 = CPC/CC
	<ul style="list-style-type: none"> ➤ If building size or addition and gross acreage of the site determine two (2) different fees, the greater of the two fees will be assessed. ➤ Application fee entitles applicant to an initial review and one re-submittal. ➤ Re-submittal fee = \$425 per re-submittal after two (2) permitted reviews. ➤ CUP Amendment = 50% of the applicable fee as determined above. 		
Appendices to Review:	➤ All		
Approximate Review Time:	➤ 30 days for Staff Review ➤ 45-60 days for City Plan Commission/Common Council Review		
The conditional use permit plans, prepared to a standard engineering scale, shall be submitted with this application & shall include the following information:			
Building Plan:	<ul style="list-style-type: none"> ➤ Layout of building(s) including size and layout of rooms ➤ Design and architecture ➤ Plans and details on fire suppression and/or standpipe ➤ Plans and details on fire detection, fire alarm and other safety devices 		
Site Plan (based on a plat of survey)	<ul style="list-style-type: none"> ➤ Legal description of property ➤ Location and footprint of building(s) and structure(s) ➤ Locations of existing and proposed streets, drives, alleys, easements, rights-of-way, parking as required, vehicular and pedestrian access points, and sidewalks ➤ Outline of any development stages ➤ Location and details on any required emergency access roads ➤ A calculation of square footage devoted to building, paving and sidewalks, and landscaped/open space 		
Drainage Plan	<ul style="list-style-type: none"> ➤ Existing topography, including spot elevations of existing buildings, structures, high points, and wet areas, with any previous flood elevations ➤ Floodplain boundaries, if applicable ➤ Soil characteristics, where applicable ➤ Proposed topography of the site denoting elevations and natural drainage after construction and any proposed stormwater retention areas 		

THOMAS CONCRETE AND LANDSCAPE, LLC 49TH STREET SITE DEVELOPMENT

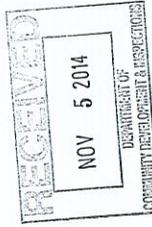
CITY OF KENOSHA
KENOSHA, WISCONSIN



GENERAL LOCATION MAP



PROJECT LOCATION MAP



INDEX OF DRAWINGS

- C-1 COVER SHEET AND LEGEND
- C-2 GENERAL NOTES
- C-3 GENERAL SITE PLAN
- C-4 GEOMETRICS PLAN
- C-5 UTILITY PLAN
- C-6 EROSION CONTROL PLAN
- C-7 EROSION CONTROL PLAN
- C-8 SITE DETAILS
- C-9 KENOSHA WATER UTILITY
- C-10 KENOSHA SEWER UTILITY
- C-11 CITY OF KENOSHA

Clark Dietz
ENGINEERS
DESIGN & FIRM REGISTRATION
No. 184-000400
5017 GREEN BAY ROAD
KENOSHA, WI 53144
TEL : 262.657.1000
FAX : 262.657.1004

(DATE) 4/1/14

 EXPIRES 7/31/14
 (SIGNED)

PROJECT TITLE
 THOMAS CONCRETE
 & LANDSCAPE, LLC
 CITY OF KENOSHA, WI

DESIGNED BY: GJD
 DRAWN BY: GJD
 CHECKED BY: GJD
 DATE: 11/5/14
 NOTE: DIMENSIONAL DATA IS NOT TO BE OBTAINED BY THIS DRAWING.
 DATE REVISION

COVER SHEET

PROJECT No.
 T0470010

DRAWING No.
 C-1

LEGEND

- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED CONCRETE SIDEWALK
- PROPOSED ASPHALT MARKINGS
- ASPHALT REMOVAL
- CONCRETE REMOVAL
- CURB AND GUTTER REMOVAL
- ONE-WAY ARROW
- SPOT ELEVATION
- DOORWAYS

SYMBOL LEGEND

- SATELLITE DISH
- BOX W/ TYPE
- TELEPHONE POLE
- FEDERAL W/TYP
- FIRE HYDRANT
- SEWER BOX W/TYP
- WALL
- FLOOD LIGHT
- ORNAMENTAL STREET LIGHT
- TRANSFORMER BOX
- YARD LIGHT
- GAS REGULATOR
- GAS VENT PIPE
- RAILROAD FLASHING SIGNAL
- CLEANOUT
- MANHOLE
- CONCRETE
- CATCH BASIN
- END SECTION (RIP/ACT)
- INLET AT CURB
- BENCHMARK
- INSPECTION WELL
- WATER METER
- TRAFFIC SIGNAL CONTROLLER
- TRAFFIC SIGNAL POST - 1 WAY
- TRAFFIC SIGNAL POST - 2 WAY
- TRAFFIC SIGNAL POST - 4 WAY
- VALVE
- PARKING LOT LIGHT DOUBLE
- PARKING LOT LIGHT SINGLE
- POWER POLE
- POWER POLE WITH LIGHT
- STREET LIGHT
- SPRINKLER CONTROL BOX
- SOIL BERING
- AIR CONDITIONER
- BOLLARD OR GUARD POST
- DELIMITER
- FLUO POLE
- GUY WIRE
- MALIBOX
- PARKING METER
- POST OR MISC. POLES
- GATE POST
- IRON PIPE FOUND
- TRAFFIC SIGNAL MARKER
- BUSH 2 FT. THRU 16 FT.
- CONIFEROUS TREE 2" TO 42"
- DECIDUOUS TREE 2" TO 42"
- TRAFFIC SIGNAL CONTROLLER
- TRAFFIC SIGNAL POST - 1 WAY
- TRAFFIC SIGNAL POST - 2 WAY
- TRAFFIC SIGNAL POST - 4 WAY
- Cable TV
- Cable TV Fiber Optic
- Cable TV Overhead
- Centerline
- Communication
- Electrical Overhead
- Electrical Roadway Lighting
- Electrical Underground
- Fence
- Fiber Optic
- Flow
- Gas
- Guardrail East
- Hedge Line
- Permanent Easement
- Property Line
- R.O.W.-Existing
- Sanitary
- Sanitary Force Main
- Section Line
- Sheet Piling
- Sill Fence
- Storm
- Telephone Fiber Optic
- Telephone Overhead
- Telephone Underground
- Tree Line
- Underdrain
- Water
- Existing Contour Line
- New Contour Line

GENERAL NOTES

1. THE CONTRACTOR SHALL NOTIFY ALL LOCAL UTILITY COMPANIES INCLUDING:
 - DIGGER'S HOTLINE 800-242-8511
 - 72 HOURS PRIOR TO BEGINNING ANY CONSTRUCTION, SAID UTILITY COMPANIES WILL ESTABLISH, ON THE GROUND, THE LOCATION OF UNDERGROUND PIPES, MANS, CONDUITS OR CABLES ADJOINING OR CROSSING PROPOSED CONSTRUCTION.
2. CONTRACTOR SHALL NOTIFY THE KENOSHA DEPARTMENT OF PUBLIC WORKS A MINIMUM OF 24 HOURS IN ADVANCE OF PERFORMING ANY WORK. REINIFICATION SHALL BE REQUIRED IN ANY PHASE OF WORK, IS SUSPENDED FOR MORE THAN THREE (3) DAYS.
3. THE FOLLOWING CODES AND STANDARDS, AS APPLICABLE, SHALL GOVERN CONSTRUCTION UNDER THIS CONTRACT:
 - A. STATE OF WISCONSIN, DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION", LATEST EDITION.
 - B. "STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN THE STATE OF WISCONSIN", LATEST EDITION.
 - C. KENOSHA DEPARTMENT OF PUBLIC WORKS, GENERAL SPECIFICATION, MARCH 2006.
4. THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" AND SECTION 107.14 OF THE HIGHWAY SPECIFICATIONS.
5. CAUTION: THERE MAY BE OVERHEAD AND BURIED POWER LINES WHICH COULD POSSIBLY INTERFERE OR BE A SAFETY HAZARD WITH EQUIPMENT OPERATIONS.
6. ROADWAY ACCESS & THRU PASSAGE FOR EMERGENCY VEHICLES SHALL BE MAINTAINED AT ALL TIMES.
7. WHEN LOOSE MATERIAL IS DEPOSITED IN DITCHES OR GUTTERS, IT SHALL BE REMOVED BEFORE THE END OF EACH CONSTRUCTION DAY. THIS WORK WILL NOT BE PAID FOR SEPARATELY BUT WILL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
8. IT IS THE CONTRACTOR'S RESPONSIBILITY TO RESTORE ALL FEATURES DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL STATE. HOWEVER, ALL RESTORATION WORK REQUIRED BEYOND THE SCOPE OF THE PLANS AND SPECIFICATIONS SHALL BE PAID FOR SEPARATELY. BUSINESS WORK WAS DONE AT THE DIRECTION OF THE OWNER OR ENGINEER AND COMPENSATION WAS AGREED UPON PRIOR TO EXECUTION OF WORK.
9. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL NECESSARY PAVEMENT OPENINGS AND CONDUITS FROM DAMAGE BY CONSTRUCTION EQUIPMENT WITH LIGHTED DEVICES. THE CONTRACTOR SHALL MAINTAIN HIGH VISIBILITY OF ALL TEMPORARY HAZARDS TO PEDESTRIANS AND MOTORISTS. REMOVAL OF ANY SUCH TEMPORARY HAZARDS SHALL BE DONE AS SOON AS POSSIBLE.
10. ALL EXISTING DRAINAGE STRUCTURES WITHIN THE PROJECT LIMITS SHALL BE CLEANED TO THE SATISFACTION OF THE KENOSHA PUBLIC WORKS DEPARTMENT. ALL COSTS ASSOCIATED WITH THIS SHALL BE INCLUDED IN THE APPLICABLE UNIT PRICES.
11. THE GRADING AND CONSTRUCTION OF PROPOSED IMPROVEMENTS SHALL NOT CAUSE PONDING OF STORM WATER. GRADING SHALL BE DONE TO ALLOW POSITIVE DRAINAGE.
12. UTILITY SERVICES TO RESIDENTS OR BUSINESSES WHICH ARE INTERRUPTED BY CONSTRUCTION SHALL BE PAID FOR BY THE EXPENSE OF THE CONTRACTOR SO THAT NO SERVICE IS INTERRUPTED FOR MORE THAN FOUR (4) HOURS. IF TEMPORARY SERVICE IS REQUIRED, THE EXPENSE FOR SAME SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
13. THE EDGES OF ALL IMPROVED SURFACES WHICH ARE DISTURBED DURING CONSTRUCTION SHALL BE SAW CUT TO PREVENT CURBS, SIDEWALKS, OR ANY OTHER AREAS NECESSARY TO CONSTRUCTION, UNLESS OTHERWISE SPECIFIED FOR SEPARATELY BUT SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ALL STREETS USED BY THE CONTRACTOR, SUB-CONTRACTORS, AND SUPPLIERS CLEAN AND FREE OF OBSTRUCTIONS. THE CONTRACTOR SHALL BE RESPONSIBLE TO CLEAN THEM AS IS NECESSARY IN ORDER TO MAINTAIN THEM IN A SAFE AND UNOBSTRUCTED CONDITION. THE CONTRACTOR SHALL BE ESPECIALLY RESPONSIVE TO REQUESTS FROM THE OWNER, DISSEMINATION OF INFORMATION TO THE PUBLIC, POLICE, AND FIRE DEPARTMENTS, OR ANY OFFICIAL/REPRESENTATIVE OF THE OWNER TO PROTECT OR MAINTAIN THE PUBLIC SAFETY. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE SAFETY OF THE PROJECT, THIS WORK WILL NOT BE PAID FOR SEPARATELY BUT SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, UNLESS OTHERWISE SPECIFIED.
15. IT IS THE CONTRACTORS RESPONSIBILITY TO ASCERTAIN EXISTING FIELD CONDITIONS BEFORE BIDDING THE PROJECT.
16. ALL DISTURBED LAWN OR GRASSY AREAS SHALL BE RESTORED WITH 6" OF TOPSOIL AND PER THE SPECIFICATIONS.
17. ALL CITY PERMITTING FEES SHALL BE PAID BY THE CONTRACTOR. CONTRACTOR REQUIRED TO OBTAIN BOTH STREET OPENING AND PARKING LOT PERMITS FOR PROJECTS.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING FOR THE OWNER ALL UTILITIES PRIOR TO STARTING WORK. ALL COST ASSOCIATED WITH THIS SHALL BE INCIDENTAL TO THE CONTRACT. ANY PRIVATE UTILITIES THAT MAY BE INTERRUPTED BY THE CONSTRUCTION SHALL BE REINSTATED AS PART OF THIS PROJECT BY CONTRACTOR AT NO COST TO THE OWNER.
19. SEE SPECIFICATIONS FOR FURTHER GENERAL CONDITIONS.



THOMAS CONCRETE & LANDSCAPE, LLC
CITY OF KENOSHA, WI

DESIGNED BY:	CLD
CHECKED BY:	CLD
DATE CHECKED:	3/20/14
IS NOT TO BE OBTAINED BY THIS DRAWING:	
DATE:	REVISION:

GENERAL NOTES AND LEGEND

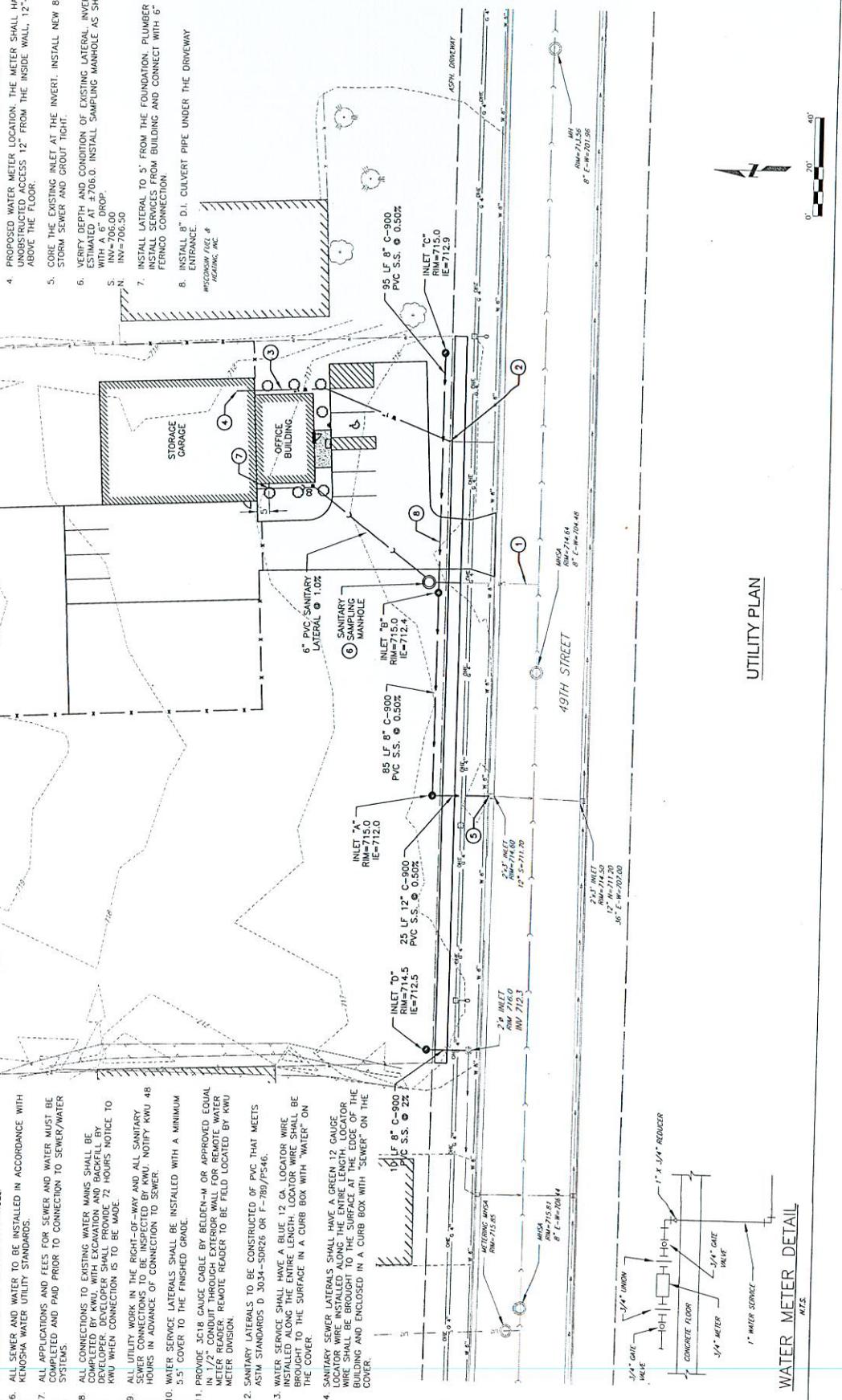
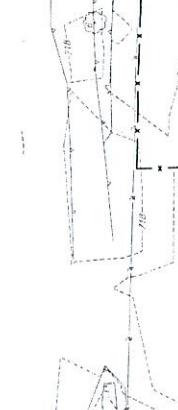
PROJECT No.: T0470010
DRAWING No.: C-2

UTILITY NOTES:

1. THE LOCATION OF THE EXISTING SANITARY LATERAL SHOWN IS APPROXIMATE. THE CONTRACTOR SHALL EXPOSE THE EXISTING STUB AND CONFIRM EXACT LOCATION AND DEPTH.
2. THE LOCATION OF THE EXISTING WATER SERVICE LINE SHOWN IS APPROXIMATE. THE CONTRACTOR SHALL EXPOSE THE EXISTING STUB AND CONFIRM EXACT LOCATION AND DEPTH.
3. PROPOSED 1" H.D.P.E. WATER SERVICE FROM THE CURB STOP TO WATER METER PER K.W.U. REQUIREMENTS.
4. PROPOSED WATER METER LOCATION. THE METER SHALL HAVE UNOBSTRUCTED ACCESS 12" FROM THE INSIDE WALL, 12"-24" ABOVE THE FLOOR.
5. CORE THE EXISTING INLET AT THE INVERT. INSTALL NEW 8" STORM SEWER AND GROUT TIGHT.
6. VERIFY DEPTH AND CONDITION OF EXISTING LATERAL. INVERT ESTIMATED AT ±706.0. INSTALL SAMPLING MANHOLE AS SHOWN WITH A 6" DROP.
INV=706.00
INV=706.50
7. INSTALL LATERAL TO 5' FROM THE FOUNDATION. PLUMBER TO INSTALL SERVICES FROM BUILDING AND CONNECT WITH 6" PERIOD CONNECTION.
8. ENTRANCE.
#30CONCRETE FLEX & HEATING, INC.

WATER UTILITY NOTES:

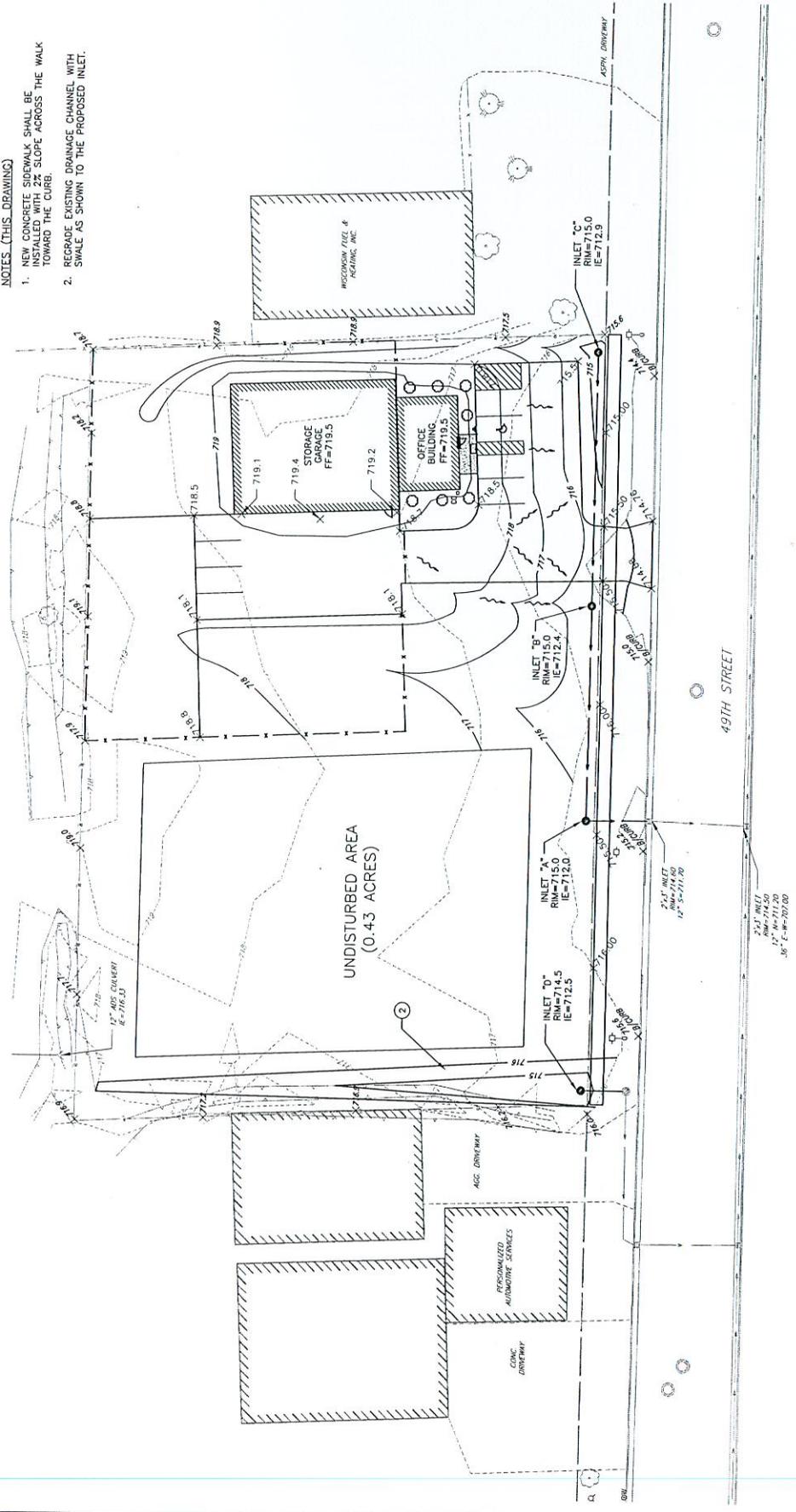
1. 3/4" WATER METER TO BE LOCATED INSIDE BUILDING PER KENOSHA WATER UTILITY STANDARDS. METER TO BE PROVIDED BY THE KENOSHA WATER UTILITY.
2. SEE PLUMBING PLANS FOR CONTINUATION IN BUILDING.
3. ALL DUCTILE IRON WATER MAIN SHALL BE WRAPPED IN 6-MIL POLYETHYLENE WRAP.
4. WATER SERVICES LARGER THAN 2" SHALL BE FLUSHED AND BACTERIA TESTED IN ACCORDANCE WITH K.W.U. CHAPTER XXVII RULES AND REGULATIONS, RULE 06-20.
5. AN INTERNAL/EXTERIOR CHIMNEY SEAL BY ADAPTOR, INC. SHALL BE REQUIRED ON THE SAMPLING MANHOLE.
6. ALL SEWER AND WATER TO BE INSTALLED IN ACCORDANCE WITH KENOSHA WATER UTILITY STANDARDS.
7. ALL APPLICATIONS AND FEES FOR SEWER AND WATER MUST BE COMPLETED AND PAID PRIOR TO CONNECTION TO SEWER/WATER SYSTEMS.
8. ALL CONNECTIONS TO EXISTING WATER MAINS SHALL BE COMPLETED BY K.W.U. WITH EXCAVATION TO BE COMPLETED BY K.W.U. WHEN CONNECTION IS TO BE MADE.
9. ALL UTILITY WORK IN THE RIGHT-OF-WAY AND ALL SANITARY SEWER CONNECTIONS TO BE INSPECTED BY K.W.U. NOTIFY K.W.U. 48 HOURS IN ADVANCE OF CONNECTION TO SEWER.
10. WATER SERVICE LATERALS SHALL BE INSTALLED WITH A MINIMUM 5.5' COVER TO THE FINISHED GRADE.
11. PROVIDE 3018 GAGE CABLE BY BELDEN-M OR APPROVED EQUAL IN 1/2" CONDUIT TO THE WATER METER. WALL FOR REMOTE WATER METER READER. REMOTE READER TO BE FIELD LOCATED BY K.W.U.
12. SANITARY LATERALS TO BE CONSTRUCTED OF PVC THAT MEETS ASTM STANDARDS D 3034-SDR26 ON P-189/1946.
13. WATER SERVICE SHALL HAVE A BLUE 12 GA. LOCATOR WIRE INSTALLED THROUGH THE ENTIRE LENGTH. LOCATOR WIRE SHALL BE BROUGHT TO THE SURFACE IN A CURB BOX WITH "WATER" ON THE COVER.
14. SANITARY SEWER LATERALS SHALL HAVE A GREEN 12 GAUGE LOCATOR WIRE INSTALLED THROUGH THE ENTIRE LENGTH. LOCATOR WIRE SHALL BE BROUGHT TO THE SURFACE IN A CURB BOX WITH "SEWER" ON THE COVER.



UTILITY PLAN

WATER METER DETAIL

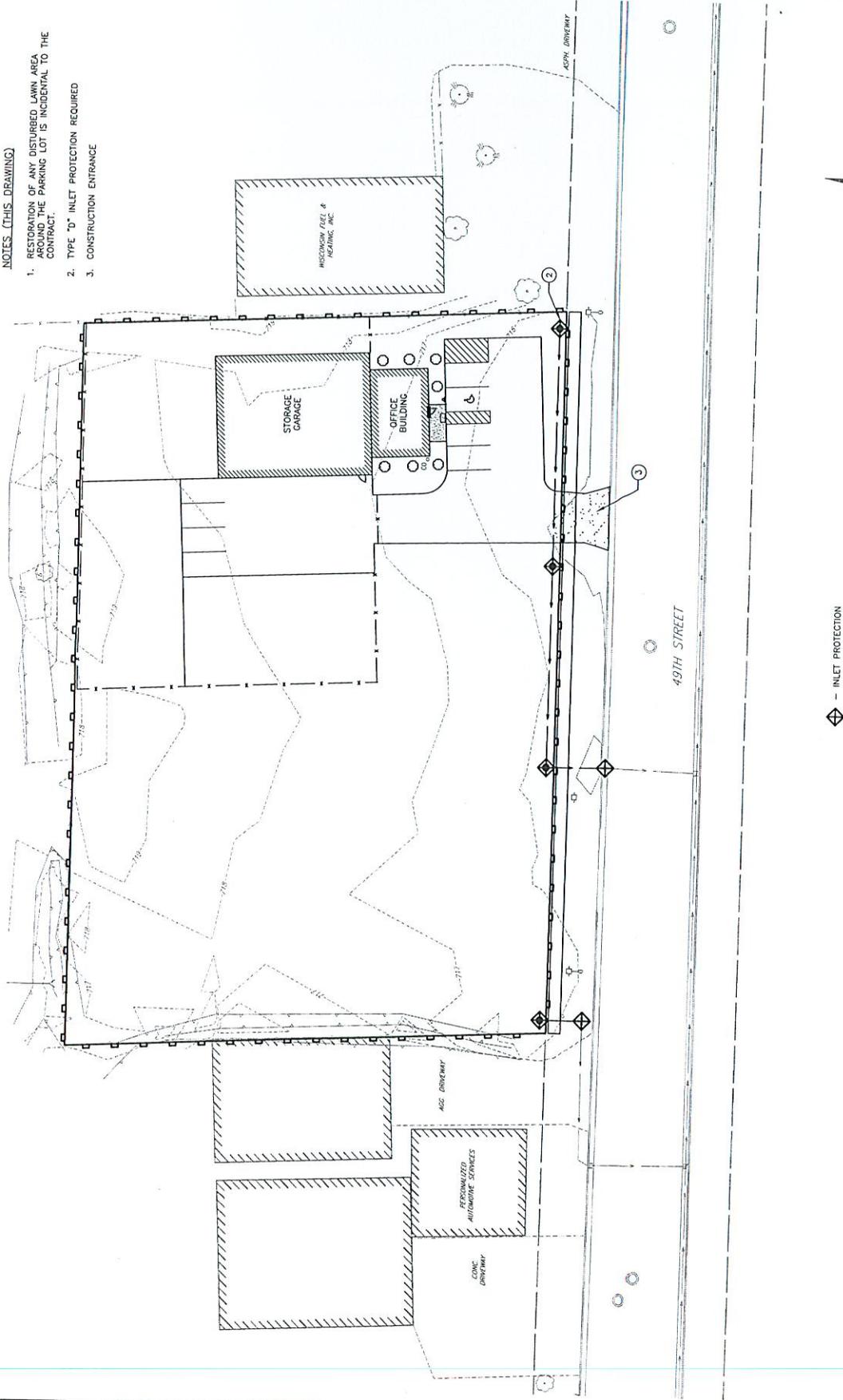
- NOTES (THIS DRAWING)
1. NEW CONCRETE SIDEWALK SHALL BE INSTALLED WITH 2% SLOPE ACROSS THE WALK TOWARD THE CURB.
 2. REGRADE EXISTING DRAINAGE CHANNEL WITH SWALE AS SHOWN TO THE PROPOSED INLET.



	PRE-DEVELOPMENT	POST-DEVELOPMENT
TOTAL AREA	1.36 ACRE	1.36 ACRE
IMPERVIOUS AREA	0.83 ACRE	0.42 ACRE
PERVIOUS AREA	0.53 ACRE	0.94 ACRE
DISTURBED AREA	-	0.43 ACRE
UNDISTURBED AREA	-	0.43 ACRE

SITE GRADING PLAN

- NOTES (THIS DRAWING)**
1. RESTORATION OF ANY DISTURBED LAWN AREA AROUND THE PARKING LOT IS INCIDENTAL TO THE CONTRACT.
 2. TYPE "D" INLET PROTECTION REQUIRED
 3. CONSTRUCTION ENTRANCE



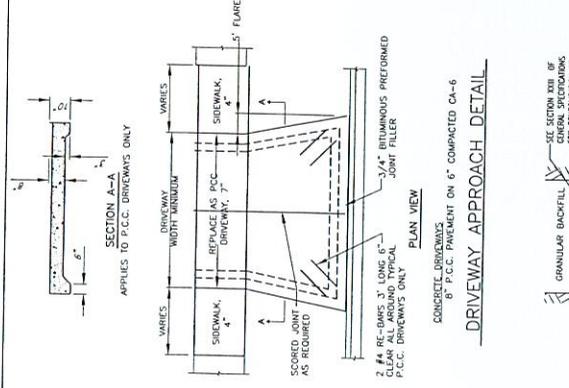
◆ - INLET PROTECTION

EROSION CONTROL PLAN

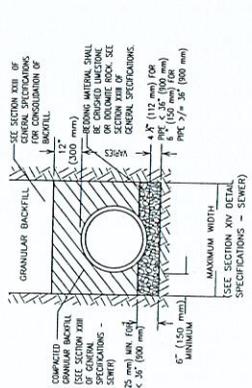
DESIGNED BY:	SAJ
DRAWN BY:	MMH
CHECKED BY:	MMH
DATE CHECKED:	11/20/14
NOTE: DIMENSIONAL DATA SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED BY SEALING ANY PORTION OF THIS DRAWING.	

SITE DETAILS

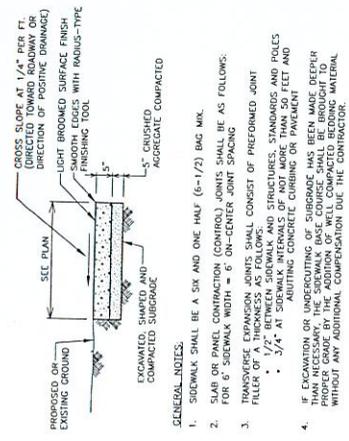
PROJECT NO.
T0470010
DRAWING NO.
C-8



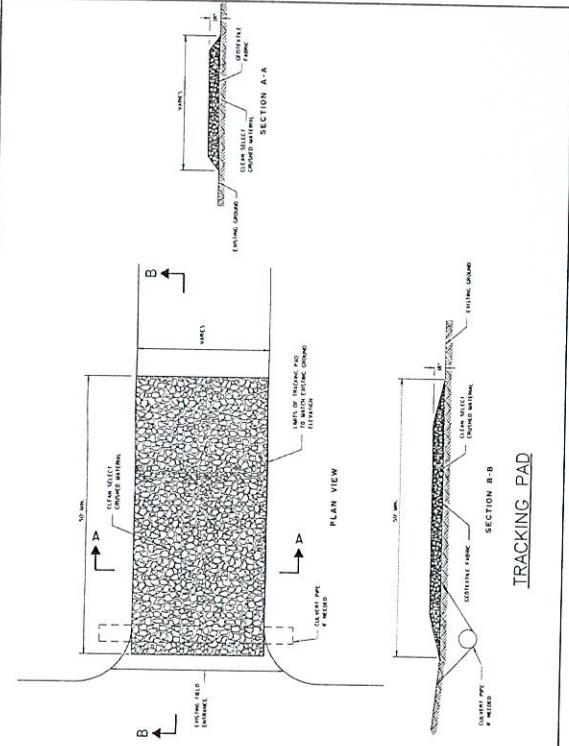
DRIVEWAY APPROACH DETAIL



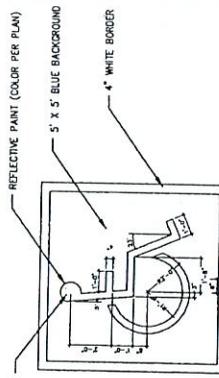
UTILITY TRENCH BEDDING



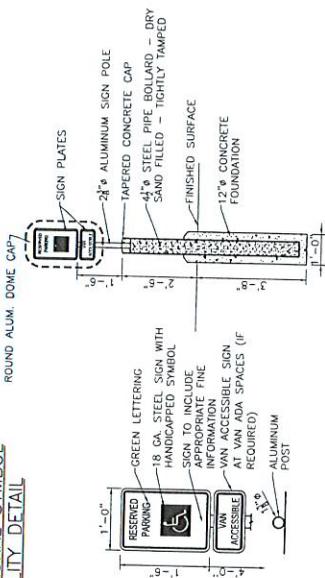
SIDEWALK DETAIL



TRACKING PAD

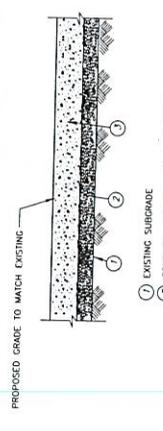


PAINTED INTERNATIONAL SYMBOL FOR ACCESSIBILITY DETAIL

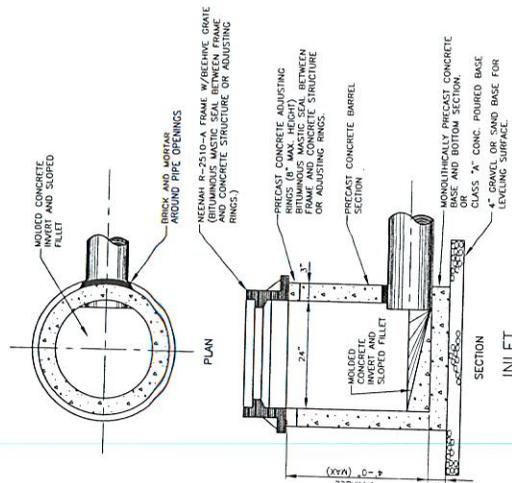


ADA PARKING SIGNAGE

TRACKING PAD NOTES
DETAILS OF CONSTRUCTION MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND THE APPLICABLE SPECIAL PROVISIONS.
TRACKING PAD SHALL BE INSPECTED DAILY. DEFICIENT AREAS SHALL BE REPAIRED OR REPLACED IMMEDIATELY.
TRACKING PAD TO BE REMOVED AFTER CONSTRUCTION IS COMPLETED.
TRACKING PAD SHALL BE THE FULL WIDTH OF THE EGRESS POINT.
SURFACE WATER MUST BE PREVENTED FROM PASSING THROUGH THE TRACKING PAD. FLOWS SHALL BE DIVERTED AWAY, AROUND OR CONVEYED UNDER THE TRACKING PAD.
CULVERT PIPE OR OTHER BMP USED TO DIVERT WATER AWAY, AROUND OR UNDER THE TRACKING PAD SHALL BE DESIGNED TO CONVEY THE 2 YEAR - 24 HOUR EVENT.
THE COST OF ADDITIONAL BMP TO DIVERT WATER ARE INCIDENTAL TO THE TRACKING PAD BID ITEM.



CONCRETE PAVEMENT SECTION

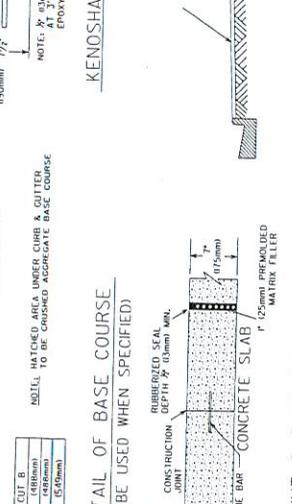
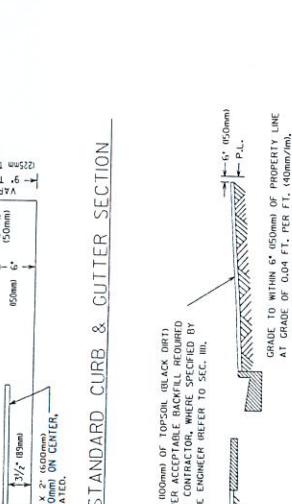
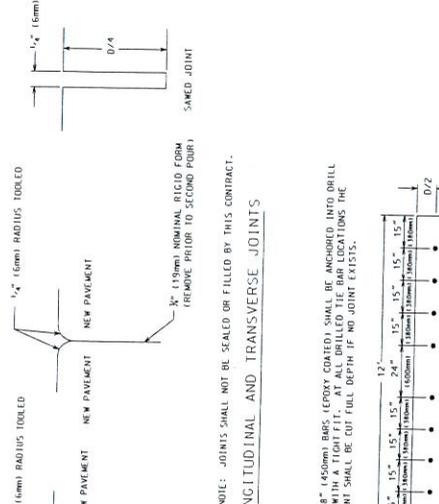
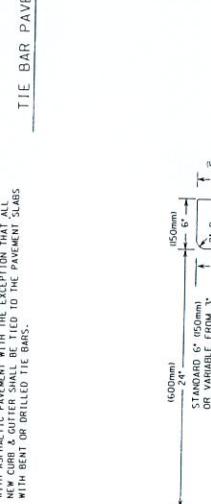
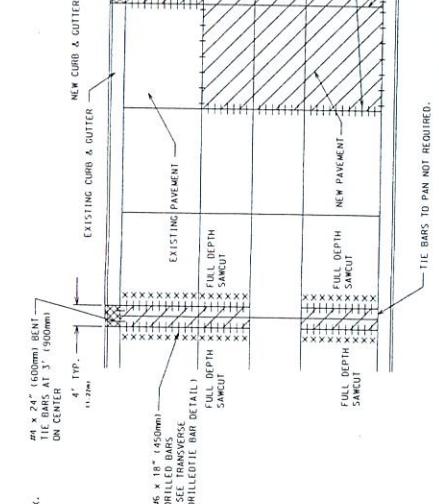
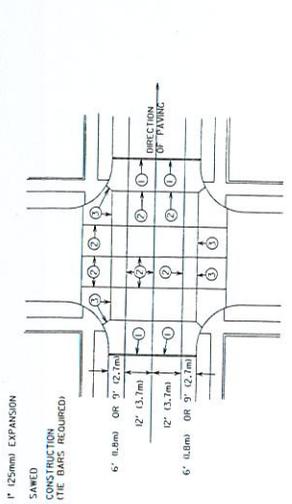
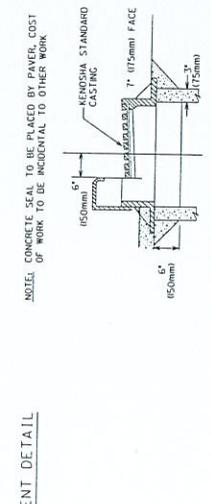
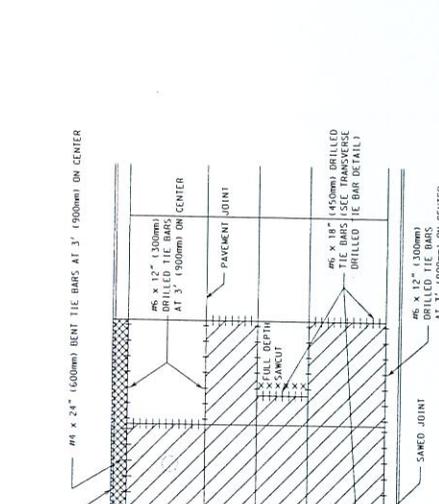


INLET

PROJECT TITLE

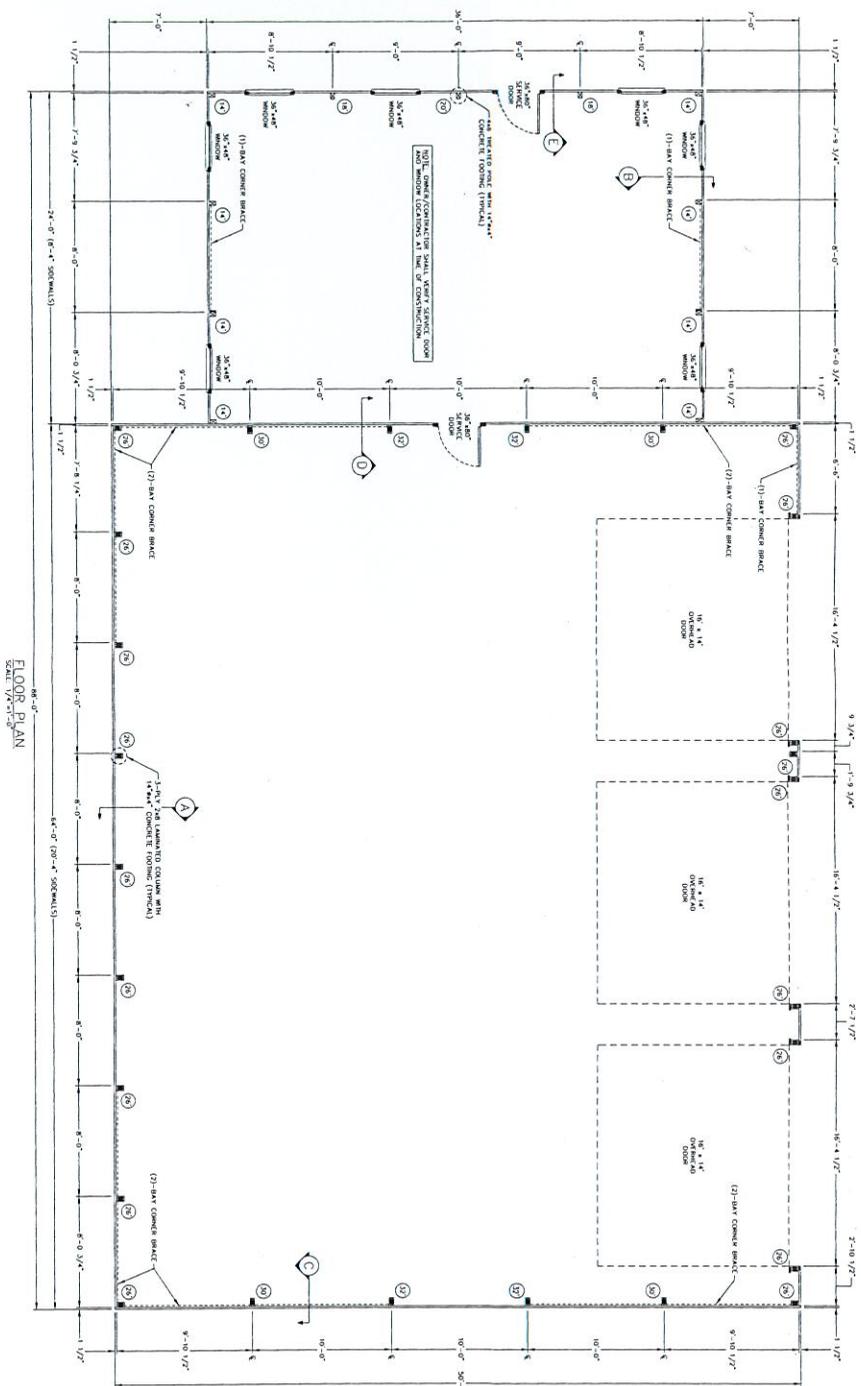
DESIGNED BY: []
DRAWN BY: []
CHECKED BY: []
DATE: []
NOTE: DIMENSIONAL DATA IS NOT TO BE OBTAINED BY THIS DRAWING

DATE: []
REVISION: []



THICKNESS A	CUT B
10" (254mm)	16" (406mm)
8" (203mm)	12" (305mm)
6" (152mm)	10" (254mm)

DATE: 9/29/2014 4:20 PM

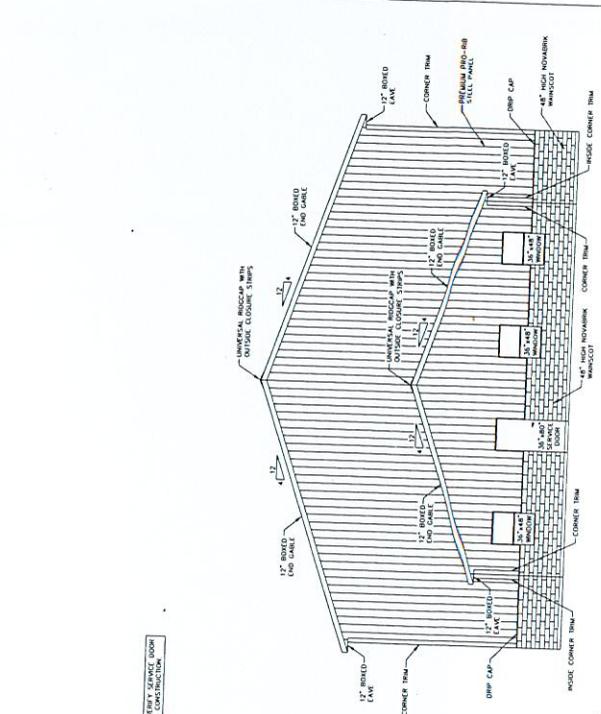
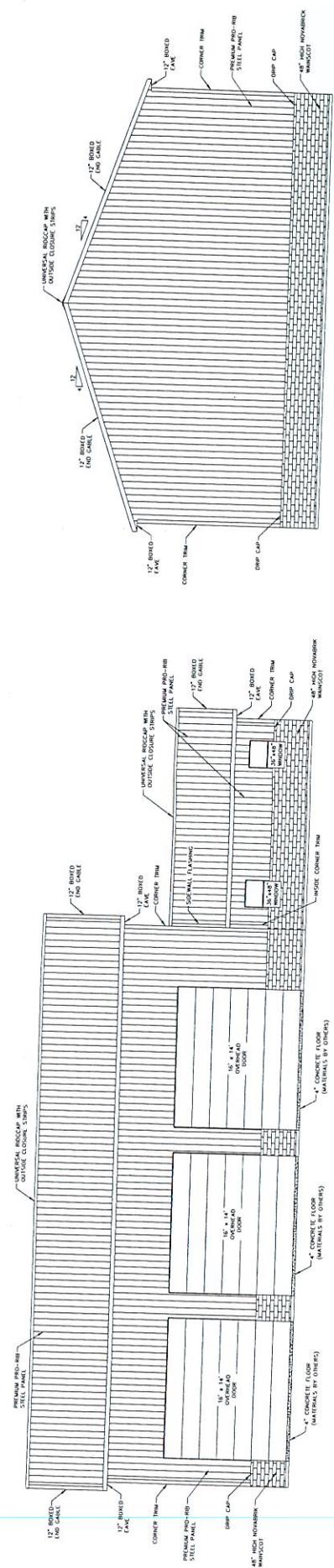


FLOOR PLAN
SCALE: 1/4" = 1'-0"



CONSTRUCTION: THESE PLANS HAVE BEEN PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF CALIFORNIA. I AM NOT PROVIDING CONTRACT ADMINISTRATION SERVICES. I AM NOT PROVIDING CONTRACT ADMINISTRATION SERVICES. I AM NOT PROVIDING CONTRACT ADMINISTRATION SERVICES.

ADDITIONAL & UTILIZATION OF THIS PLAN: THIS PLAN IS TO BE USED FOR THE CONSTRUCTION OF THE PROJECT DESCRIBED HEREIN. IT IS NOT TO BE USED FOR ANY OTHER PROJECT OR FOR ANY OTHER PURPOSE. THE USER OF THIS PLAN SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLYING WITH ALL APPLICABLE CODES AND REGULATIONS.



NOTE: DIMENSIONS CONTAINING FRACTIONS SHALL BE ROUNDED UP TO THE NEXT WHOLE NUMBER UNLESS INDICATED OTHERWISE AT THE TIME OF CONSTRUCTION.

ELEVATIONS
SCALE: 3/8"=1'-0"



ADAPTATION & UTILIZATION OF THIS DESIGN FOR OTHER PROJECTS SHALL BE AT THE USER'S SOLE RISK. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY MATERIALS AND LABOR. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE AND BONDING. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONTRACTS AND AGREEMENTS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY NOTICES AND CORRECTIONS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECORDS AND DOCUMENTS.

- (3) Runway and other lighting impacts from the facility.
- (4) Air and water quality impacts including aircraft fuel emissions.
- (5) Construction impacts.
- (6) Prime farmland impacts.
- (7) Other applicable social, economic and environmental impacts.
- h. Federal Aviation Administration (FAA) and Wisconsin Bureau of Aeronautics (BOA) approval of all plans and environmental impact statements.
- i. Facility should have adequate land area and easements to assure safe operation.
- j. Facility should have adequate plans for emergency crash, fire and rescue services.
- k. The noise impacted area should not exceed FAA standards or policies on airport and heliport land use compatibility.
- l. Facility should have adequate plans for restricting buildings and structures to assure safe aerial approaches.
- m. Other issues or concerns which may have an adverse social, economic, or environmental impact or affecting the health, safety or welfare of abutting or neighboring properties or the City as a whole.

3. Storage Yard for a Contractor in the M-1 and M-2 Districts.

- a. **Building Plan** as required by §4.05 B. of the Zoning Ordinance.
- b. **Site Plan** as required by §4.05 C. of the Zoning Ordinance, plus:
 - (1) Location and height of all storage areas including vehicles, equipment, building materials, metals, sand, gravel and scrap storage.
 - (2) Internal roads and paths for vehicular use.
 - (3) Outdoor signs including any mounted or painted on fences.
- c. **Drainage Plan** as required by §4.05 D. of the Zoning Ordinance.
- d. **Landscape Plan** as required by §4.05 E. of the Zoning Ordinance.
- e. **Utility Plan** as required by §4.05 F. of the Zoning Ordinance.
- f. **Operational Plan** which shows:
 - (1) Types of equipment and materials which will be used and stored.
 - (2) How often trash and unusable materials will be picked up.
 - (3) Methods to be used to control noise, dust and windblown materials and maintain fire protection.
 - (4) Hours and days of operation.
- g. No activity shall produce a sound level outside its premises that exceeds the standards set forth in Chapter 23 "Noise Control" of the City Code of General Ordinances.
- h. No activity shall emit odorous matter of such nature or quantity as to be offensive, obnoxious, or unhealthful outside the premises, nor shall any activity emit dust, fumes, vapors or gases in such quantities as to cause spoiling or danger to the health of persons, animals, vegetation or other property, all as measured and controlled by Chapter NR 400-494 "Air Pollution Control" of the Wisconsin Administrative Code.
- i. No activity shall locate, store, discharge or permit the discharge of any treated, untreated or inadequately treated liquid, gaseous or solid materials of such nature, quantity, obnoxiousness, toxicity or temperature that might run off, seep, percolate or wash into surface or subsurface waters so as to exceed or contribute toward the exceeding of the minimum standards set forth in Chapter NR 102 "Water Quality Standards for Wisconsin Surface Waters" and Chapters NR 200 through 299 "Wisconsin Pollutant Discharge Elimination System" of the Wisconsin Administrative Code.
- j. The storage yard shall be effectively screened along any property line which is adjacent to or across an alley from any residential district, as required in §4.05 E.2. of the Zoning Ordinance. The Commission may require additional screening or landscaping on any portion of the lot, regardless of the adjacent district, if special characteristics of the storage yard warrant such additional screening or landscaping.
- k. Exterior lighting shall be arranged, oriented or shielded in such a manner that direct radiation or glare from such source does not penetrate residential lots which are located in a residential district adjacent to or across an alley from the storage yard.
- l. No signage, other than one eight (8) square foot identification sign near each access gate, shall be mounted or painted on any required fence.
- m. Any windblown material resulting from operation of the yard shall be collected daily and properly

disposed.

n. The Commission may establish a time schedule for the completion of any site or building improvements, landscaping, screening, or other desired improvements required as part of an approved Conditional Use Permit. The Commission may establish height limits for the storage of building materials, metals, sand, gravel, scrap salvage or other raw materials.

o. Other issues which may have an adverse social, economic, or environmental impact or affecting the health, safety or welfare of abutting or neighboring properties or the City as a whole.

4. Aluminum Collection Center in the M-1 and M-2 Districts.

a. The standards outlined in §4.06 B.8. shall apply.

5. Recycling Collection Centers in the M-1 and M-2 Districts.

a. The standard outlined in §4.06 B.9. shall apply.

6. Golf Range, Batting Range, Batting Cage, or Golf and/or Batting Simulator in the M-1 or M-2 Districts.

a. **Building Plan** as required in Section 4.05 B. and Section 14 of this Ordinance.

b. **Site Plan** as required in Section 4.05 C. and Section 14 of this Ordinance, plus:

(1) Indicate the location of any off-street parking spaces dedicated to the use per Section 6.0 of the Zoning Ordinance.

c. **Drainage Plan** as required in Section 4.05 D. and Section 14 of the Zoning Ordinance.

d. **Landscape Plan** as required in Section 4.05 E. and Section 14.08 H.

e. **Utility Plan** as required in Section 4.05 F. and Section 14 of the City of Kenosha Zoning Ordinance.

f. **Operational Plan**, which includes:

(1) Name and address of facility operator;

(2) Facility maintenance detail; and,

(3) Hours of operation.

g. One or more of the plans identified hereinabove may be waived at the discretion of the Reviewing Authority.

h. The conditional use permit shall require and the conditional use shall comply with the following:

(1) The use shall be located wholly within an enclosed building;

(2) The use shall be secondary to the primary use, and;

(3) The use shall comprise less than fifty (50%) percent of the gross square footage of the building in which it is located.

(4) Requirement imposed by the Common Council in the conditional use permit that addresses issues that may have an adverse social, economic or environmental impact or that may affect the health, safety or welfare of abutting or neighboring properties of the City as a whole.

7. Physical Fitness Center in the M-1 or M-2 Districts.

a. **Building Plan** as required in Section 4.05 B. and Section 14 of this Ordinance.

b. **Site Plan** as required in Section 4.05 C. and Section 14 of this Ordinance, plus:

(1) Indicate the location of any off-street parking spaces dedicated to the use per Section 6.0 of the Zoning Ordinance.

c. **Drainage Plan** as required in Section 4.05 D. and Section 14 of the Zoning Ordinance.

d. **Landscape Plan** as required in Section 4.05 E. and Section 14.08 H.

e. **Utility Plan** as required in Section 4.05 F. and Section 14 of the City of Kenosha Zoning Ordinance.

f. **Operational Plan**, which includes:

(1) Name and address of facility operator;

(2) Facility maintenance detail; and,

(3) Hours of operation.

g. One or more of the plans identified hereinabove may be waived at the discretion of the Reviewing Authority.

h. The conditional use permit shall require and the conditional use shall comply with the following:

SPONSOR: BOARD OF WATER COMMISSIONERS

TO CREATE, REPEAL AND RECREATE, OR RELETTER SECTIONS OF CHAPTER XXXII OF THE CODE OF GENERAL ORDINANCES REGARDING THE KENOSHA WATER UTILITY

The Common Council of the City of Kenosha, Wisconsin, do ordain as follows:

Section One: The following definitions in Section 32.1 of Chapter XXXII of the Code of General Ordinances for the City of Kenosha, Wisconsin, are hereby repealed and recreated as follows:

32.1 DEFINITIONS

A. Chapter Definitions

The following terms shall have the meaning specified therefor in the accompanying definition. All other terms shall have their common meaning:

Authorized Representative. The following are authorized representatives:

1. If a corporation, the president, secretary, treasurer, or vice president of the corporation in charge of principle business function, ~~if the industrial user is a corporation, the manager of one or more manufacturing facilities provided the manager is authorized to make decisions which govern the operation of the facility, make major capital investment recommendations, initiate and direct comprehensive measures to assure long-term compliance with environmental laws, can ensure the necessary systems are established to gather complete and accurate information for the report and where authority to sign documents has been delegated to the manager according to the corporation's procedures; a representative authorized according to part 5;~~

2. If a limited liability company, a member if the liability company is registered with the Wisconsin Department of Financial Institutions or with its state of organization to operate through its members; a managing member or manager if the liability company is registered with the Wisconsin Department of Financial Institutions or with its state of organization to operate through its managing member(s) or manager, respectively;

3. If a limited partnership, the general partner ~~or a representative authorized according to part 5;~~

4. If a sole proprietorship, ~~limited liability partnership, or partnership,~~ the proprietor or ~~partner;~~ a representative authorized according to part 5;

5. Authorized Representative may be delegated if:

a. An authorized representative of the individual designated above if (1) such representative is responsible for the overall operation of the facilities from which the discharge into the POTW originates, ~~such as a plant manager,~~ (2) ~~the authorization is in writing~~ such representative is responsible for the overall environmental matter for the company, such as a corporate environmental officer, and (3) the written authorization is submitted to the POTW. ~~If circumstances change so that an authorization is no longer accurate, the industrial user shall submit a new authorization before or along with the submission of any report signed by~~ a new representative.

Publicly Owned Treatment Works. The publicly owned facilities designed and used for the treatment of wastewater prior to discharge thereof into the receiving stream. Wastewater treatment facility and POTW have the same meaning. In Kenosha, the POTW is the wastewater treatment plant located at 7834 – 3rd Avenue. Within the scope of this Ordinance, the POTW is the delegated Control Authority for the Industrial Pretreatment Program.

Significant Noncompliance (SNC). ~~A significant industrial user ishas been~~ in significant noncompliance ~~if its violation meets one or more of the following criteria any of paragraph 1-8 apply. A non-significant industrial user has been in significant noncompliance if paragraph 3, 4 or 7 apply:~~

1. Any chronic violation of wastewater discharge limits, defined here as those in which sixty-six (66%) percent or more of all the measurements of the industrial user's wastewater discharge for the same pollutant parameter taken during a six-month period exceeded by any magnitude any numeric pretreatment standard or requirement including an instantaneous limit, the daily maximum limit or average limit for the same pollutant parameter.

2. Any Technical Review Criteria (TRC) violations, defined here as those in which thirty-three (33%) percent or more of all the measurements of the industrial user's wastewater discharge for the same pollutant parameter for each pollutant parameter taken during a six-month period equaled or exceeded the product of numeric pretreatment standard or requirement including an instantaneous limit the daily maximum limit or the average limit multiplied by the applicable TRC = 1.4 for BOD, TSS, fats, oil and grease, ~~and~~ 1.2 for all other pollutants except pH, or a pH limit by 0.4 standard units.

3. Any violation that the Water Utility believes has caused, alone or in combination with other discharges, interference or pass through (including endangering the health of Water Utility personnel or the general public);

4. Any discharge of a pollutant that caused imminent endangerment to human health, welfare or to the environment or has resulted in the POTW's exercise of its emergency authority.

5. Any failure to meet, within 90 days of the scheduled date, a compliance milestone contained in a Wastewater Discharge Permit or enforcement order for starting or completing construction, or attaining final compliance.

6. Any failure to provide, within ~~30~~45 days of the due date, any required reports such as baseline monitoring reports, 90 day final compliance reports, periodic self-monitoring reports, and reports on compliance with compliance schedules, and failure to accurately report noncompliance.

7. Failure to accurately report noncompliance.

8. Any violation(s) which the Water Utility determines will adversely affect the implementation of pretreatment.

Slug. ~~Any discharge of water or wastewater which, in concentration of any given constituent or in quantity of flow, exceeds for any period longer than fifteen (15) minutes, five (5) times the average twenty- four (24) hour concentration of flows during normal operation. Any discharge at a flow rate or concentration, which could cause a violation of the prohibited discharge standards in Rule 08-02(04) of this ordinance. A Slug Discharge is any Discharge of a non-routine, episodic nature, including but not limited to an accidental spill or a non-customary batch Discharge, which has a reasonable potential to cause Interference or Pass Through, or in any other way violate the POTW's regulations, Local Limits or Permit conditions.~~

Section Two:

Subsection 32.6 of Chapter XXXII of the Code of General Ordinances

for the City of Kenosha, Wisconsin, is hereby repealed and recreated as follows:

Rule 06-03. Water Service Pipe. Water service pipe extending from the building to the Water Utility curb stop within the public right-of-way or easement, shall be installed in accordance with Wisconsin Administrative Code, ~~Comm §82~~ SPS 382.

All curb stops for controlling the supply of water to customers shall be placed between the curb line of the street and sidewalk, where sidewalk is present or proposed, with the top of the box even with the grade of sidewalk or parkway. Representative detail drawings are on file at the Water Utility Engineering Office and are available for review upon request. Each water service lateral shall have a curb stop valve. When the water main is within ten (10') feet of the property line or within an easement, the tapping valve (corporation stop) of a service four (4") inch or greater in diameter may be considered to be the curb stop. If installed in this manner, the property owner is responsible for maintaining the entire water lateral, beginning at the tapping valve. The Utility is responsible for the tapping valve.

The minimum size of service pipe from the curb stop to the water meter shall be one (1") inch in diameter. The minimum size service from water main to curb stop for a residential unit, where the distance from the water main to the meter is greater than one hundred (100') feet, shall be one and one-half (1-1/2") inch diameter. In all cases the domestic service shall be sized to provide a minimum of 12 gpm at 20 psi at the water meter for each dwelling unit.

The water service from the curb stop to the building shall conform to the standards listed in Wisconsin Administrative Code, [Comm 84 SPS 384](#). The water service from the main to the curb stop shall be type K copper for 1", 1-1/2" and 2" services; poly-encased ductile iron pipe Class 53 or C900 PVC pipe for 4", 6" and 8" services; and poly-encased ductile iron pipe Class 52 or C900 PVC pipe for services larger than 8". Alternate material may only be used upon written approval from the General Manager.

Rule 06-06. Lead Service Replacement. The Water Utility will replace a lead water service by installing a new ~~copper~~ **non-lead** water service from the water main to the curb stop at no expense to the property owner. The size of the replacement service will be of equal size to the existing lead service, however lead services smaller than one inch (1") shall be replaced with one inch (1")-~~copper~~ **service**.

If the property owner has a lead service from the curb stop to the building, the property owner, at his/her expense, must install a new non-lead water service from the curb stop to the building to qualify for the Water Utility Lead Service Replacement.

Lead Service Replacement shall be performed by the Water Utility when time and funding is available.

Rule 06-14. Meter Repairs. All meters, damaged by frost, hot water or causes other than ordinary wear and tear, will be repaired or replaced by the Water Utility and the cost thereof shall be charged to the owner of the property served. All repairs or replacements due to ordinary wear and tear of the meter will be made by the Water Utility at the expense of the Water Utility.

Prior to replacing a meter, the condition and configuration of the service pipe and the valves on both the inlet and outlet sides of the meter will be assessed to determine the potential for future water leaks. In those instances where the piping and/or valves are in poor condition and/or the configuration of the plumbing is such that future water leaks are likely, the owner may be asked to sign a "hold harmless" agreement prior to the replacement of the meter. Plumbing configurations that are in violation of Wisconsin Administrative Code, [Comm 81 through 87 SPS 381 through 387](#) (Plumbing) will be referred to City of Kenosha, Department of Community Development and Inspections.

Rule 06-25. Check Valve or Other Protective Devices. When water service is provided to a hot water boiler or other pressure vessel, a check and relief valve or other protective device shall be installed, as required by Wisconsin Administrative Code, [Comm §§ 81 through 87 SPS 381 through 387](#) (Plumbing). The Water Utility may require vacuum breakers, backflow preventers or check valves on any water service if it is found necessary to protect the public water supply, as may be determined by the General Manager.

Section Three: Subsection 32.8 N. Rule 08-02(04) of the Code of General Ordinances for the City of Kenosha, Wisconsin is created as follows:

N. No person shall introduce or cause to be introduced into the POTW any pollutant or wastewater which pass through or interfere with the operation or performance of the POTW or sanitary sewer.

Section Four: Subsection 32.8 of the Code of General Ordinances for the City of Kenosha, Wisconsin, is hereby repealed, ~~and~~ recreated ~~and relettered~~ as follows:

Rule 08-03(06). Permit Terms, Conditions and Limitations. The following terms, conditions, and limitations shall be specified in Wastewater Discharge Permits:

A. ~~Effluent L~~ Effluent L ~~imitations based on prohibited discharge standards, categorical pretreatment standards, local limits and state and local law, on the monthly average and daily maximum constituents and characteristics of wastewater discharges.~~

B. Limitations on the average and maximum rate and time of discharge and/or requirements for flow regulation and equalization.

C. Requirements for inspection and sampling. Cost incurred by the Water Utility for sample collection and analysis shall be billed to the discharger.

D. Special conditions imposed by the Water Utility under particular circumstances, including sampling locations, frequency of sampling and monitoring, the number and types of analytical tests, reporting schedule, and special technical reports or discharge reports. The special conditions imposed shall be reasonable and necessary to carry out the objectives of this Section. In each case, at the discharger's written request, the Water Utility may provide to the discharger a full and complete explanation of the reason for the special condition(s).

E. Requirements for reporting and action plans in the event of an accidental discharge of prohibited wastewater. Dischargers which have a potential for an accidental discharge of prohibited wastewater shall be required to develop a written plan designed to prevent accidental discharges of prohibited wastewater, and in the event of such accidental discharge, to mitigate potential damages which could be caused thereby. Such plan shall include a provision that dischargers place signs in conspicuous places on their premises advising officers, employees and agents thereof of the procedure to be utilized to report a discharge of prohibited wastewater to the Water Utility.

F. Requirements for pretreatment. Where pretreatment is required, the discharger shall submit a plan therefor to the Water Utility. Such plan may not be implemented until approved by the State of Wisconsin and the Water Utility. Effluent limitations will be based on applicable Federal and State pretreatment standards and this Chapter. It shall be unlawful for a discharger to fail to obey an order for pretreatment for any phase of the implementation of pretreatment. Pretreatment shall be at the sole cost and expense of the discharger.

G. Provisions for self-monitoring, sampling, reporting, notification, and record keeping requirements, including an identification of the pollutants to be monitored, sampling location, sampling frequency, and sample type, based on Federal and State laws, rules and regulations and this Chapter. Installation, operation, and maintenance of the sampling facilities shall be at the cost and expense of the discharger and shall be subject to the approval of the Water Utility. Access to sampling sites, processes that discharge wastewater, pretreatment facilities and wastewater self-monitoring records shall be granted to the Water Utility and its authorized representatives.

H. Requirements to control slug discharges, if determined by the POTW to be necessary. If the POTW determines that a slug control plan is needed, the industrial user must develop a plan with the following elements as deemed necessary by the POTW:

1. A description of discharge practices, including non-routine batch discharges;
2. A description of stored chemicals;
3. Procedures for immediately notifying the POTW of slug discharges, including any discharge that would violate a prohibition in Rule 08-02(04), with procedures for a subsequent written notification within 5 days;
4. Any procedures deemed necessary by the POTW to:
 - a. Prevent accidental spills;
 - b. Inspect and maintain storage areas;
 - c. Handle and transfer materials;
 - d. Control loading and unloading operations;
 - e. Control plant site run-off; and
 - f. Train workers.
5. Any procedures deemed necessary by the POTW for building containment structures or equipment;
6. Any procedures deemed necessary by the POTW to contain toxic organic pollutants, including solvents;
7. Any procedures and equipment deemed necessary by the POTW for emergency response; and
8. Any practices deemed necessary by the POTW to limit the damage suffered by the treatment plant or the environment after a slug discharge.

HI. Provisions of discharge by haulers. The permit will identify each vehicle and the license number thereof which will discharge into the wastewater collection facilities. Permits shall be nonassignable and nontransferable, except in the case of replacement of a vehicle for which a permit has been issued. The Water Utility may require a bond to guarantee payment of all fees and charges. The time and place of discharge into the wastewater collection facilities will be designated by the Water Utility. The Water Utility may impose such conditions as it deems necessary on any permit granted.

Haulers must carry public liability and motor vehicle insurance in an amount no less than One Million ~~Dollars~~ Dollars (\$1,000,000) covering loss through death, injury and property damage caused in any way or manner by an action, or omission, of a hauler or the employees or agents thereof. A Certificate of Insurance must be furnished to the Water Utility with the application.

Haulers shall post a bond for Five Thousand Dollars (\$5,000) to indemnify and hold harmless the Water Utility against injury to the system, contamination of the sludge, and costs associated with the correction of upsets in process at the wastewater treatment facility. Permit holders may not discharge prohibited wastewater into the system unless their permit so authorizes, and then only to the extent permitted.

Haulers shall pay a service charge as determined by the concentration of the waste pursuant to **Rule 07-07(05)** of this Chapter, or as determined by agreement with the Water Utility. All trucked or hauled wastewater must be discharged at the point(s) designated by the Water Utility.

I.J. A statement that dischargers discharging on the effective date of this rule shall comply with said Section where it is stricter than Federal or State laws, or regulations, within fifteen (15) days after the effective date of said Section. If compliance with Section 32.08 is not met within the allotted fifteen (15) days, stepped enforcement actions will be initiated.

I.K. A statement of applicable civil and criminal penalties for violation of this Chapter, pretreatment standards and requirements, and any applicable compliance schedule.

I.L. Compliance by existing industrial sources with categorical pretreatment standards shall be within three (3) years of the date the standard is effective unless a shorter compliance time is otherwise specified. Existing sources which become industrial users subsequent to promulgation of an applicable categorical pretreatment standard shall be considered existing industrial users.

I.M. New sources shall install and have in operating condition, and shall "start-up" all pollution control equipment required to meet applicable pretreatment standards before beginning to discharge. Within the shortest feasible time (not to exceed 90 days), new sources must meet all applicable pretreatment standards.

Rule 08-04(05). Required Contents of BMR. A BMR shall be on a Water Utility form and shall contain the following information respecting industrial dischargers subject to NCPS:

A. Identifying Information. The name and address of the discharger, and the names of the persons who own and operate the facility from which there will be a discharge of wastewater into the wastewater collection facilities; and the SIC of the operator.

B. Permits. A listing of any environmental control permits held or applications pending.

C. Description of Operations. A description of the unit processes that the facility plans to use in production.

D. Production. A description of the nature and average rate of production.

E. Points of Discharge. A process schematic diagram indicating points of wastewater discharge.

F. Pretreatment Equipment. Any pretreatment equipment employed at the facility.

G. Flow Measurement. The discharger shall submit information showing the measured average daily and maximum daily flow, in gallons per day, to the POTW from all wastestreams.

H. Measurement of Pollutants. The discharger shall identify the pretreatment standards applicable to each regulated process. Sampling and analysis shall be done on wastestreams that are regulated and results shall identify the nature and concentration of regulated pollutants. Sampling and analysis shall be performed pursuant to 40 CFR 403.12(b)(5)(ii)-(viii). Where alternative sampling is authorized by the POTW under Rule 08-04(10), the samples shall be representative of the discharge and the decision to allow alternative methods shall be documented in the industrial user's file.

I. Certification. A statement, reviewed by an authorized representative of the discharger and certified by a qualified professional, indicating whether pretreatment standards are being met on a consistent basis, and, if not, whether additional operation and maintenance and/or additional pretreatment is required for the discharger to meet the pretreatment standards and requirements.

Rule 08-04(08). Pretreatment Reporting Requirements. Industrial dischargers subject to NCPS shall comply with the following reporting requirements:

A. All dischargers shall notify the POTW immediately of all discharges that could injure the system or contaminate the sludge, including any slug loadings by the discharger.

~~B. If sampling performed by a discharger indicates a violation, the discharger must notify the POTW within twenty-four (24) hours of becoming aware of the violation. The discharger shall also repeat the sampling and analysis and submit the results of the repeat analysis to the POTW within 30 days after becoming aware of the violation, except the discharger is not required to resample if the POTW performs sampling between the discharger's initial sampling and the time when the discharger receives the results of this sampling.~~

~~**EB.** The reports required in **Rule 08-04 (07)** shall be based upon data which is representative of conditions occurring during the reporting period. Appropriate sampling and analysis shall be performed during the period covered by the reporting period. The POTW shall require such frequency of monitoring as necessary to assess and assure compliance by discharger, with applicable pretreatment standards and requirements. Sampling and analysis may be performed by the POTW instead of the discharger. When the POTW collects all of the information required for a report, the POTW will not require the discharger to submit the report.~~

~~**DC.** If a discharger subject to the reporting requirement in **Rule 08-04(07)** monitors any pollutant more frequently than required by the POTW, using the procedures prescribed in this Section, the results of this monitoring shall be included in the report required in **Rule 08-04(07)**.~~

~~**D.** The POTW may authorize a monitoring waiver for individual pollutants for an industrial user subject to a categorical standard if the user has demonstrated through sampling and other technical factors as deemed necessary by the POTW that the pollutant is neither present nor expected to be present in the discharge, or is present only at background levels from intake water and without any increase in the pollutant due to activities of the industrial user. This authorization is subject to the following conditions:~~

~~1. The POTW may authorize a waiver where a pollutant is determined to be present solely due to sanitary wastewater discharged from the facility provided that the sanitary wastewater is not regulated by an applicable categorical standard and otherwise includes no process wastewater.~~

~~2. The monitoring waiver is valid only for the duration of the effective discharge permit, but in no case longer than five (5) years. The user shall submit a new request for the waiver before the waiver may be granted for each subsequent discharge permit or five (5) year period.~~

~~3. In making a demonstration that a pollutant is not present, the industrial user shall provide data from sampling of the facility's process wastewater prior to any treatment present at the facility that is representative of all wastewater from all processes. The request for a monitoring waiver shall include the certification statement and be signed in accordance with ~~s-~~Wisconsin Administrative Code, NR 211.15(10). Non-detectable sample results may only be used as a demonstration that a pollutant is not present if the EPA approved method from 40 CFR Part 136 with the lowest minimum detection level for that pollutant was used in the analysis.~~

~~4. Any grant of the monitoring waiver by the POTW shall be included as a condition in the user's discharge permit. The reasons supporting the waiver and any information submitted by the user in its request for the waiver shall be maintained by the POTW for three (3) years after expiration of the waiver.~~

~~5. Upon approval of the monitoring waiver and revision of the user's discharge permit by the POTW, the industrial user shall certify on each report with the statement below, that there has been no increase in the pollutant in its wastestream due to activities of the industrial user: "Based on my inquiry of the person or persons directly responsible for managing compliance with the applicable pretreatment standards, I certify that, to the best of my knowledge and belief, there has been no increase in the level of [list pollutant(s)] in the wastewaters due to the activities at the facility since filing of the last periodic report."~~

~~6. In the event that a waived pollutant is found to be present or is expected to be present based on changes that occur in the user's operations, the user shall immediately comply with the monitoring requirements of the discharge permit or other more frequent monitoring requirements and notify the POTW.~~

~~7. This paragraph does not supersede certification processes and requirements established in categorical pretreatment standards, except as otherwise specified in the categorical pretreatment standard~~

~~8. Where the POTW has authorized a user subject to a categorical pretreatment standard to forego sampling for a pollutant that is not present, the POTW shall sample for the waived pollutant at least once during the term of the user's discharge permit. In the event that the POTW subsequently determines that a waived pollutant is~~

present or is expected to be present in the industrial user's wastewater based on changes that occur in the user's operations, the POTW shall immediately begin at least annual effluent monitoring for that pollutant and inspection.

E. The POTW may determine that an industrial user subject to categorical pretreatment standards is a non-significant categorical industrial user rather than a significant industrial user on a finding that all of the following conditions are met:

1. The industrial user never discharges more than 100 gallons per day of total categorical wastewater, excluding sanitary, non-contact cooling and boiler blowdown wastewater, unless specifically included in the pretreatment standard.

2. The industrial user has consistently complied with all applicable categorical pretreatment standards and requirements.

3. The industrial user never discharges any untreated concentrated wastewater.

4. The industrial user annually submits the following certification statement signed in accordance with the signatory requirements of ~~s~~-Wisconsin Administrative Code, NR 211.15 (10) along with any additional information deemed necessary by the POTW: "Based on my inquiry of the person or persons directly responsible for managing compliance with pretreatment standards, I certify that, to the best of my knowledge and belief that during the period from [date], to [date], the facility described as [facility name] met the definition of a non-significant categorical industrial user as described in ~~s~~-NR 211.15 (4) (d); the facility complied with all applicable pretreatment standards and requirements during this reporting period; and the facility never discharged more than 100 gallons of total categorical wastewater on any given day during this reporting period. This compliance certification is based upon the following information:[applicable data]."

5. Where the POTW has determined that an industrial user meets the criteria for classification as a non-significant categorical industrial user in accordance with ~~s~~-Wisconsin Administrative Code, NR 211.15 (4) (d), the POTW shall evaluate, at least once per year, whether the industrial user continues to meet those criteria.

F. The POTW may reduce the frequency of the reports required under **Rule 08-04(07)** to no less than once per year, unless required more frequently by the pretreatment standard or the department, where the industrial user meets all of the following conditions:

1. The industrial user's total categorical wastewater flow does not exceed any of the following:

a. ~~0.01~~One one-hundredth percent of the design dry weather hydraulic capacity of the POTW, or five thousand (5,000) gallons per day, whichever is smaller, as measured by a continuous effluent flow monitoring device unless the industrial user discharges in batches;

b. ~~0.01~~One one-hundredth percent of the design dry weather organic treatment capacity of the POTW; and

c. ~~0.01~~One one-hundredth percent of the maximum allowable headworks loading for any pollutant regulated by the applicable categorical pretreatment standard for which approved local limits were developed by a POTW in accordance with ~~s~~-Wisconsin Administrative Code, NR 211.10 (3);

2. The industrial user has not been in significant noncompliance, at any time in the past two (2) years; -

3. The industrial user does not have daily flow rates, production levels, or pollutant levels that vary so significantly that decreasing the reporting requirement would result in data that are not representative of conditions occurring during the reporting period;

4. The industrial user shall notify the POTW immediately of any changes at its facility causing it to no longer meet conditions of ~~subd.~~paragraph 1. or 2. Upon notification, the industrial user shall immediately begin complying with the minimum reporting requirements under **Rule 08-04(07)** ; and

5. The control authority shall retain documentation to support the determination that a specific industrial user qualifies for reduced reporting requirements under this paragraph for a period of three (3) years after the expiration of the term of the control mechanism.

6. Where the POTW has determined that an industrial user is 'subject to reduced reporting requirements as described in, the POTW shall inspect and sample the effluent from the industrial user at least once every two (2) years. If the industrial user no longer meets the conditions for reduced reporting, the POTW shall immediately begin sampling and inspecting the industrial user at least once a year.

Rule 08-04(09). Reports from Noncategorical Significant Industrial Dischargers. The POTW shall require appropriate reporting from those significant industrial dischargers with discharges that are not subject to NCPS. Significant noncategorical industrial dischargers shall submit to the Water Utility at least once every six months, in the months of July and January, a report indicating the nature, concentration, and flow of the pollutants required to be monitored by the Water Utility. These reports shall be based on sampling, and analysis performed in the period covered by the report, and performed in accordance with the techniques described in 40 CFR Part 136 and

amendments thereto. Where 40 CFR Part 136 does not contain sampling or analytical techniques, or where the sampling or analytical technique described in 40 CFR Part 136 are inappropriate for the pollutants in question, or where the Administrator otherwise determines, the sampling and analysis shall be performed by using validated analytical methods or any other applicable sampling and analytical procedures, including procedures suggested by the POTW or other persons approved by the EPA Administrator. Sampling shall be conducted at the appropriate sampling location and shall be representative of conditions during the reporting period. If a user monitors any regulated pollutant more frequently than required by the POTW, the results of this monitoring shall be included in the report. This sampling and analysis may be performed by the POTW. Where the POTW itself collects all information required for the report, the noncategorical significant industrial discharger will not be required to submit the report.

Rule 08-04(10). Sampling Collection and Analysis for SIUs. Sampling and analysis shall be performed to identify the concentration or mass of regulated pollutants in the discharge from each regulated process, according to the requirements of the applicable categorical pretreatment standard and the POTW. Samples shall be representative of daily operations. Grab samples shall be used for pH, cyanide, total phenols, oil and grease, sulfide and volatile organics. All other samples shall be 24-hour flow proportional composites, unless time proportional or grab sampling is authorized by the POTW. Where alternative sampling is authorized by the POTW, the samples shall be representative of the discharge and the decision to allow alternative methods shall be documented in the industrial user's file. Multiple grab samples collected during a 24-hour period may be composited prior to analysis provided appropriate protocols specified in Wisconsin Administrative Code, ch. NR 219, and in EPA and department guidance are followed.

Rule 08-04(11). Notice of Violation/Repeat Sampling and Reporting. If sampling performed by a discharger indicates a violation, the discharger must notify the POTW within twenty-four (24) hours of becoming aware of the violation. The discharger shall also repeat the sampling and analysis and submit the results of the repeat analysis to the POTW within 30 days after becoming aware of the violation, except the discharger is not required to resample if the POTW performs sampling between the discharger's initial sampling and the time when the discharger receives the results of this sampling.

Rule 08-04(120). Notification of Changed Discharge. All industrial dischargers shall promptly notify the POTW in advance of any substantial change in the volume or character of pollutants in their discharge, including the listed or characteristic hazardous wastes for which the industrial user has submitted initial notification under Rule 08-04(11). Significant Industrial Users are required to notify the POTW immediately of any changes at its facility affecting the potential for a Slug Discharge.

Rule 08-04(134). Hazardous Waste Notification. Any industrial discharger who commences the discharge of hazardous waste shall notify the POTW, the EPA Regional Waste Management Division Director, and State hazardous waste authorities in writing of any discharge into the POTW of a substance which, if otherwise disposed of, would be a hazardous waste under 40 CFR Part 261. Such notification must include the name of the hazardous waste as set forth in 40 CFR Part 261, the EPA hazardous waste number, and the type of discharge (continuous, batch, or other). If the industrial discharger discharges more than one hundred (100) kilograms of such waste per calendar month to the POTW, the notification shall also contain the following information to the extent such information is known and readily available to the industrial discharger:

- A. An identification of the hazardous constituents contained in the wastes,
- B. An estimation of the mass and concentration of such constituents in the wastestream discharged during that calendar month, and
- C. An estimation of the mass of constituents in the wastestream expected to be discharged during the following twelve (12) months.

All notifications must take place no later than 180 days after the discharge commences.

Dischargers are exempt from the hazardous waste notification requirement during a calendar month in which they discharge fifteen (15) kilograms or less of non-acute hazardous wastes. Discharge of any quantity of acute hazardous waste as specified in 40 CFR 261.30(d) and 261.33(e) requires a onetime notification.

Rule 08-04(14) Signature Requirements. The reports containing analytical data required by this section shall include a certification as defined in NR211.15(10)(a) signed by an Authorized Representative.

Rule 08-05(08). Bypass. Bypass is prohibited, and the POTW may take enforcement action against an industrial user for a bypass, unless:

- A. The bypass was unavoidable to prevent loss of life, personal injury, or severe property damage;
- B. There were no feasible alternatives to the bypass, such as the use of auxiliary treatment facilities, retention of untreated wastes, or maintenance during normal periods of equipment downtime. This condition is not satisfied if adequate backup equipment should have been installed in the exercise or reasonable engineering judgment to prevent a bypass which occurred during normal periods of equipment downtime or preventative maintenance; and,
- C. The industrial user submitted notices as required under this rule.

If an industrial user knows in advance of the need for a bypass, it shall submit prior notice to the POTW, at least ten days before the date of the bypass, if possible.

An industrial user may allow any bypass to occur which does not cause pretreatment standards or requirements to be violated, but only if it also is for essential maintenance to assure efficient operation. An industrial user shall submit oral notice of an unanticipated bypass that exceeds applicable pretreatment standards to the POTW within twenty-four (24) hours from the time it becomes aware of the bypass. A written submission shall also be provided within five (5) days of the time the industrial user becomes aware of the bypass. The written submission shall contain a description of the bypass and its cause; the duration of the bypass, including exact dates and times, and if the bypass has not been corrected, the anticipated time it is expected to continue; and steps taken or planned to reduce, eliminate, and prevent reoccurrence of the bypass.

The POTW may approve an anticipated bypass, after considering its adverse effects, if the POTW determines that the user will meet the three conditions listed above in 08-05(08) A, B, and C.

Rule 08-12(02) Food Service Establishments.

A. General. All food service establishments are required to have a grease trap or grease interceptor as per the requirements of the Wisconsin Administrative Code, ~~Comm. 82.34(5)~~ SPS 382.34 (5), as may be amended from time to time.

B. New facilities. Upon the effective date of this rule, food service establishments which are newly proposed or constructed, or existing facilities which will be expanded or renovated, where such facility did not previously exist, shall be required to install, operate and maintain a grease interceptor or grease trap according to the requirements of the Wisconsin Administrative Code, ~~Comm. 82.34(5)~~ SPS 382.34 (5).

C. Existing facilities. For the purposes of sizing and installation of grease interceptors, all food service establishments existing prior to the effective date of this rule shall be permitted to operate and maintain existing grease interceptors or grease traps provided same are in efficient operating condition. Upon the effective date of this rule, the Water Utility may require an existing food service establishment to install, operate and maintain a new grease interceptor or trap that complies with the requirements of this chapter or to modify or repair any noncompliant plumbing or existing interceptor or trap within ninety (90) days of written notification by the Water Utility when any one or more of the following conditions exists:

1. The facility is found to be contributing oils and grease in quantities sufficient to cause line stoppages or necessitate increased maintenance on the wastewater collection system;
2. The facility has an undersized, irreparable or defective grease interceptor or trap;
3. The facility has a garbage grinder;
4. Remodeling of the food preparation or kitchen waste plumbing system is performed which requires a plumbing or building permit to be issued;
5. The existing facility is sold or undergoes a change of ownership.

D. Plumbing connections. Grease interceptors or traps shall be located in the food service establishment's lateral sewer line after all fixtures that may introduce grease into the sewer system and the connection to the wastewater collection system. Such fixtures shall include but not be limited to, sinks, dishwashers, automatic hood wash units, floor drains in food preparation and storage areas, and any other fixture which is determined to be a

potential source of grease. Garbage grinders installed within food service establishments shall be plumbed through the grease interceptor(s) and a solids interceptor shall separate the discharge before connecting to the grease trap. Solids interceptors and grease interceptors shall be sized and rated for the discharge of the garbage grinder. Wastewater from sanitary facilities and other similar fixtures shall not be introduced into the grease interceptor or trap under any circumstances.

E. Grease interceptors. Grease interceptors shall be installed at all new food service establishments as specified by the Wisconsin Administrative Code, ~~Comm. §82.34(5)~~ SPS 382.34 (5). All food service establishments shall comply with the following guidelines:

Section Five: Subsection 32.9 of the Code of General Ordinances for the City of

Kenosha, Wisconsin, is hereby repealed and recreated as follows:

Rule 09-03. Private Well Permits. The General Manager of the Water Utility may issue a Private Well Permit for a period not to exceed ~~thirty-six (36) months~~ five (5) years, subject to the following conditions:

A. The well and pump installation meet the requirements of Wisconsin Administrative Code, NR §812, and a well constructor's report is on file with the Department of Natural Resources, or certification of the acceptability of the well has been granted by the Private Water Supply Section of the Department of Natural Resources.

B. The well has a history of producing bacteriologically safe water as evidenced by ~~three (3) samplings, two (2) weeks apart~~ a minimum of one (1) safe sampling every five (5) years for renewal or initial well permit.

C. No physical connection shall exist between the piping of the public water system and the private well.

D. The well and pump system shall be evaluated by a licensed well driller or pump installer and certified to comply with the Wisconsin Administrative Code, NR 812 every ten (10) years with the first inspection being done prior to issuance of first or initial well permit. Written documentation of the well and pump inspection indicating compliance with the Wisconsin Administrative Code, NR 812 requirements must be submitted to the Water Utility.

E. The renewal application along with all supporting documentation must be accompanied by the well permit fee and submitted to the Water Utility prior to permit issuance.

Section Six: This Ordinance shall become effective upon passage and publication.

ATTEST: _____ City Clerk

APPROVED: _____ Mayor

Passed:

Published:

Drafted By:
EDWARD R. ANTARAMIAN
City Attorney

Planning & Zoning Division 625 52nd Street - Room 308 Kenosha, WI 53140 262.653.4030	Kenosha City Plan Commission FACT SHEET	November 20, 2014	Item 3
Zoning Ordinance by the Mayor - To Renumber Subparagraph 10.02 A.6 as 10.02 A.7 of the Zoning Ordinance regarding Additional Information and To Create Subparagraph 10.02 A.6 regarding proposed Industrial Development. PUBLIC HEARING			

LOCATION/SURROUNDINGS:

City-Wide

NOTIFICATIONS/PROCEDURES:

The Common Council is the final review authority.

ANALYSIS:

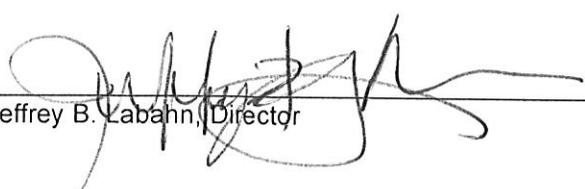
- The current Ordinance requires detailed plans to be submitted with any rezoning application.
- Since most industrial parks do not know what all the buildings will look like, it is difficult to provide that information at the time of the Rezoning application.
- The attached Ordinance changes the submittal requirements for Industrial Parks and Industrial Development with multiple lots and/or buildings. The proposed change will still provide enough information to determine if the rezoning should be approved.

RECOMMENDATION:

A recommendation is made to approve the attached Zoning Ordinance.



Rich Schroeder, Deputy Director



Jeffrey B. Labahn, Director

/u2/acct/cp/ckays/1CPC/2014/NOV20/Fact-zo-1002A6-ind-dev.odt

ORDINANCE NO. _____

SPONSOR: THE MAYOR

TO RENUMBER SUBPARAGRAPH 10.02 A.6. AS 10.02 A.7 OF THE ZONING ORDINANCE REGARDING ADDITIONAL INFORMATION AND TO CREATE SUBPARAGRAPH 10.02 A.6 REGARDING PROPOSED INDUSTRIAL DEVELOPMENT.

The Common Council of the City of Kenosha, Wisconsin, do ordain as follows:

Section One: Subsection 10.02 A.6. of the Zoning Ordinance for the City of Kenosha, Wisconsin, is hereby renumbered as 10.02 A.7.

Section Two: Subsection 10.02 A.6. of the Zoning Ordinance for the City of Kenosha, Wisconsin, is created as follows:

6. Proposed Industrial Development Consisting of Multiple Lots and/or Buildings.

In lieu of providing the information required in Subparagraphs 10.02 A.3. and 10.02 A.4., an application for an industrial development may include a proposed lot layout plan. A proposed layout plan must include a street layout drawn to scale, a copy of covenants and/or restrictions, if any, that will be recorded on the property with the Register of Deeds, and elevation designs of representative examples of buildings to be built. Covenants and/or restrictions approved by the City cannot be amended without further approval of the City. Nothing contained herein may be construed to prohibit additional covenants and/or restrictions properly placed on the property provided that no such additional covenant or restriction conflicts with the covenants and/or restrictions approved by the City.

Section Three: This Ordinance shall become effective upon passage and publication.

ATTEST: _____ City Clerk

APPROVED: _____ Mayor

Passed:

Published:

Drafted By:
EDWARD R. ANTARAMIAN
City Attorney

ZONING ORDINANCE FOR THE CITY OF KENOSHA, WISCONSIN

SECTION 10.0 CHANGES AND AMENDMENTS

10.01 AUTHORITY

The Common Council, by Ordinance, following review and recommendation by the Department of Community Development and Inspections and by the City Plan Commission may rezone (change to district boundaries) or amend this Ordinance whenever the public necessity, convenience, or good zoning practice so require.

10.02 INITIATION

A. Rezonings Initiated (Amend The Zoning Map To Change The District Boundaries). A petition to rezone (amend the Zoning Map to change the district boundaries) any lot/land may be initiated by the Common Council, City Plan Commission, or property owners. Where the petition is initiated by property owners, owners of at least fifty (50%) percent of all of the lots/lands sought to be rezoned must sign the petition to rezone the property to a certain district.

A petition to rezone by property owner(s) shall be filed with the Department of Community Development and Inspections of the Department of Community Development and Inspections and shall include/have attached the following:

- 1. Application Fee.** A nonrefundable application fee in the amount established by the Common Council, from time to time, by Resolution, without a concept plan and with a concept plan.
- 2. Purpose.** A statement of the purpose of rezoning.
- 3. Plot Plan.** A plot plan drawn to scale showing the area proposed to be rezoned, its location, its dimensions, and adjacent zoning districts. The lots/lands sought to be rezoned shall also be identified by address(es), tax parcel identification number(s) and legal description.
- 4. Conceptual Development Plan.** A Conceptual Development Plan consisting of, but not limited to, the following:
 - a. Building Plan.** Color rendering of the proposed building(s), inclusive of all elevations. A display board including all facade and roof materials. A general floor plan for proposed buildings.
 - b. Site Development Plan.** Location of buildings, parking lots, access drives, landscaping areas, drainage features and significant material features of the development in compliance with City General and Zoning Ordinances.
- 5. Land Use and Operational Plan.** A Land Use and Operational Plan describing the proposed land uses and a plan of business operation.
- 6. Additional Information.** Additional information as required by the City Plan Commission, Common Council, or Director of Community Development and Inspections at any time during the review process.

The Department of Community Development and Inspections shall prepare a list of the names and addresses of all property owners which are authorized to file a protest petition pursuant to Wisconsin Statutes, and this Ordinance. The Division will mail to all such listed property owners, by regular mail, a notice of the proposed rezoning and a map depicting the location and scope of the proposed rezoning in relation to the adjacent zoning districts. Written notice shall be addressed to the owner appearing on the most current tax roll of the City at the address stated on said tax roll. If no owner or address for the owner appears on the tax roll, the written notice to such property owner shall not be required. Failure of a property

ZONING ORDINANCE FOR THE CITY OF KENOSHA, WISCONSIN

owner to receive said notice shall not invalidate any action taken by the Common Council due to the publication of a legal notice in the official City newspaper.

B. Ordinance Amendments. An Ordinance amendment may be initiated and sponsored by the Mayor, Common Council, an Alderperson, Alderpersons, or the City Plan Commission.

C. Lands Coming Into the City through Boundary Adjustment Agreement or a Special Act of the State Legislature. The Common Council may divide areas of land depicted as Parcels A1 through A10 on the map identified in Article IV A of the "Agreement to Clarify and Ultimately Supersede the 1984 Cooperative Agreement for Orderly Development between the City of Kenosha and the Town of Pleasant Prairie" effective December 12, 1988, coming into the City through boundary adjustment agreement under authority of §66.027, Wisconsin Statutes, or through a special Act of the State Legislature, into zoning districts in accordance with the City Zoning Ordinance and as depicted on the Official City Zoning Map and may cause said areas of land to be placed into said Zoning Ordinance districts upon the effective date any such parcel of land comes into the City. The procedure specified in §62.23(7)(d)1, Wisconsin Statutes, for preparing and recommending zoning districts for such areas of land shall be followed.

10.03 RECOMMENDATIONS

The City Plan Commission shall review all proposed rezonings and amendments and shall recommend to the Common Council that the petition be granted as requested, modified or denied.

10.04 HEARINGS

The Common Council shall hold a public hearing upon each rezoning or amendment after publishing a Class 2 Notice under Chapter 985 of the Wisconsin Statutes, listing the date, time, place, and rezoning or amendments proposed. The City Clerk shall also give at least ten (10) days prior written notice to the Clerk of any municipality within one thousand (1,000') feet of any land to be affected by the proposed rezoning or amendment.

10.05 COMMON COUNCIL'S ACTIONS

A. Common Council Action. Following such hearing and after careful consideration of the City Plan Commission's recommendations, the Common Council shall vote on the passage of the proposed rezoning. Rezoning, except where a valid protest petition is filed, shall require a simple majority vote of the members of the Common Council voting on the proposed rezoning.

B. Conceptual Development Plan Consistency Required. The Rezoning Ordinance shall contain a requirement that the development of the property be consistent with conceptual development plans required in **Section 10.02 A.**

10.055 ANNUAL REVIEW OF ZONING MAP AMENDMENTS

Zoning Map amendments petitioned by a majority of property owners and subsequently approved by the Common Council for a proposed development shall be reviewed on an annual basis by the City Plan Commission. The Commission shall evaluate and recommend whether the zoning classification should be amended in the event that site development has not commenced.

10.06 FLOODLAND DISTRICT BOUNDARY CHANGES LIMITED

A. Authority. The Common Council may change or supplement the Floodland Zoning District boundaries and this Ordinance in the manner provided by law. Actions which require an amendment include, but are not limited to, the following:

1. Any change to the Official Floodplain Zoning Map, including the floodway line or boundary of any

Zoning Ordinance by the Mayor - To Repeal and Recreate Subparagraph 3.14 F.3 of the Zoning Ordinance for the City of Kenosha, Wisconsin regarding Rear Yard Setbacks in the B-2 Community Business District. PUBLIC HEARING

LOCATION/SURROUNDINGS:

City-Wide

NOTIFICATIONS/PROCEDURES:

The Common Council is the final review authority for Zoning Ordinance Amendments.

ANALYSIS:

- The rear yard setback, in the B-2 Community Business District, is a minimum of twenty-five (25') feet. If the rear yard faces a street, and there is a residential district within the same street frontage, the rear yard setback is the same as the residential setback on that street.
- The attached Zoning Ordinance Amendment would create a third category of rear yard setback standards.
- In a block zoned B-2 Community Business District, where a majority of the developed lots have a rear yard setback less than the two (2) scenarios listed above, the rear yard setback for a new building or a building addition can be reduced to the average of the existing rear yard setbacks of the two (2) most closely developed lots.
- The Zoning Ordinance currently has a similar scenario for front yard setbacks in residential zoning districts.

RECOMMENDATION:

A recommendation is made to approve the Zoning Ordinance Amendment.



Brian R. Wilke, Development Coordinator



Jeffrey B. Labahn, Director

ORDINANCE NO. _____

SPONSOR: THE MAYOR

**TO REPEAL AND RECREATE SUBPARAGRAPH 3.14 F.3. OF THE
ZONING ORDINANCE FOR THE CITY OF KENOSHA, WISCONSIN
REGARDING REAR YARD SETBACKS IN THE B-2 COMMUNITY BUSINESS DISTRICT**

The Common Council of the City of Kenosha, Wisconsin, do ordain as follows:

Section One: Subparagraph 3.14 F.3. of the Zoning Ordinance for the City of

Kenosha, Wisconsin is hereby repealed and recreated as follows:

3. Rear Yard.

a. A rear yard of not less than twenty-five (25') feet is required;

b. ~~Notwithstanding subdivision a, except that~~ where a rear lot line in the B-2 District fronts on a street and where a side lot line in the B-2 District abuts or is across an alley from a residential district, the residential district yard requirement on that street shall apply as the rear yard requirement.

c. ~~Notwithstanding subdivision a,~~ a lot zoned B-2 Community Business District may have a rear yard setback with respect to the principal building that is less than the required rear yard requirement of subdivision a, provided that both of the following exist:

(1) ~~a majority of neighboring lots zoned B-2 Community Business District have a rear yard of the principal building less than the required rear yard of subdivision a,~~ and

(2) ~~after the principal building is erected or structurally altered as proposed, the resultant rear yard setback will equal or exceed the average rear yard setbacks of the two most nearly adjacent commercially developed lots zoned B-2 Community Business District on either side of the subject lot.~~

For purposes of this subparagraph 3.c., "neighboring lots" means those lots that are on the portion of the street frontage that is on the same side of the street as the subject property and is bounded by intersecting cross streets

Section Two: This Ordinance shall become effective upon passage and publication.

ATTEST: _____ City Clerk

APPROVED: _____ Mayor

Passed:

Published:

Drafted By:
EDWARD R. ANTARAMIAN
City Attorney

Public Works & Transit

RESOLUTION NO. _____

BY: ALDERPERSON STEVE BOSTROM
ALDERPERSON DAVID F. BOGDALA

**TO PLACE STREET CAR EXPANSION IN THE CITY OF
KENOSHA ON THE APRIL 7, 2015 KENOSHA CITY
BALLOT**

WHEREAS, the City of Kenosha originally utilized streetcars beginning in 1903 and running through 1932 when they moved to electric trolley buses; and,

WHEREAS, on June 19, 2000 the City of Kenosha completed a 1.7 mile, single track loop that includes 18 stops in the central business district; and,

WHEREAS, Mayor Keith Bosman has proposed expanding the current streetcar route to include a North/South loop from 48th Street to Library Park along 6th and 8th avenues at a cost of \$10.3 million dollars ; and

WHEREAS, October 2013, the Historic Preservation Commission voted unanimously to reject Mayor Keith Bosman’s plan of streetcar expansion through Library Park; and

WHEREAS, in September 2014, Mayor Keith Bosman said the City of Kenosha will have to include an additional \$1 million dollars to cover the cost of repairing the opposite side of 6th and 8th avenues bringing the total cost of streetcar expansion to \$11.3 million dollars ; and

WHEREAS, Harvey Stone, engineer on the current streetcar route, said “the ideal would be to go out to bid in late fall (2015) with a contractor in place by the first of the year (2016)”; and

WHEREAS, based on the current timeframe laid out by the engineers and City Administration, there is sufficient time to seek additional input from Kenosha taxpayers; and

December 15, 2014 Pg. 133

NOW THEREFORE, BE IT RESOLVED, that the Common Council for the City of Kenosha does hereby request to place on the on the April 7, 2015 Kenosha City Spring Election ballot an advisory referendum with the question:

“Should the City of Kenosha expand the Kenosha Streetcar?”

Adopted this _____ day of _____, 2014.

ATTEST: _____ City Clerk

APPROVED: _____ Mayor Date: _____

Drafted By:
David F. Bogdala,
Alderman District 17

Planning & Zoning Division 625 52nd Street - Room 308 Kenosha, WI 53140 262.653.4030	Kenosha City Plan Commission FACT SHEET	December 4, 2014	Item 1
City Plan Commission Resolution - To Adopt a Project Plan Amendment for Tax Incremental District #4, City of Kenosha, Wisconsin, Under Section 66.1105(4)(h)1., Wisconsin Statutes. (Districts #2 and #7) PUBLIC HEARING			

LOCATION/SURROUNDINGS:

Site: Area generally bounded by 52nd Street on the North, Lake Michigan on the East, 60th Street on the South and 22nd Avenue on the West.

NOTIFICATIONS/PROCEDURES:

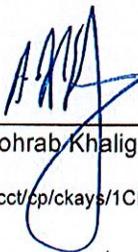
The alderpersons of the districts, Alderpersons Jenkins and Juliana, have been notified. This item will also be reviewed by the Finance Committee before final approval by the Common Council on December 15, 2014. A Notice announcing this hearing was published in the Kenosha News on November 14 and 21, 2014. This Notice was also sent to other local government units as required by Wisconsin Statute 66.1105.

ANALYSIS:

- Attached is the Project Plan Amendment for Tax Incremental District (TID) #4 to add \$3,035,000 for an up-front Cash Development Grant and additional public administrative, legal and other costs. The Amendment does not involve an Amendment to the TID #4 boundaries.
- The estimated cost of the up-front Cash Development Grant is \$3,000,000 and will assist in paying off the mortgage on the Boys & Girls Club facility at 1330 52nd Street.
- The estimated cost of the public administrative, legal and other costs is \$35,000 and is added to cover any public costs associated with, but not limited to, processing the TID Project Plan Amendment, issuing G.O. Promissory Notes, preparing a Development Grant Agreement and any other activities associated with the Amendment.
- These added costs will delay the project termination of TID #4 by one year, from 2023 to 2024.

RECOMMENDATION:

A recommendation is made to approve the Resolution Adopting the Project Plan Amendment for TID #4.



 A. Zohrab Khaligian, Development Specialist
 /u2/acct/pp/ckays/1CPC/2014/DEC4/Fact-TID4-b&gclub.odt



 Jeffrey B. Labahn, Director

CITY PLAN COMMISSION RESOLUTION # ____-14

BY: THE CITY PLAN COMMISSION

TO ADOPT A PROJECT PLAN AMENDMENT
FOR TAX INCREMENTAL DISTRICT #4, CITY OF KENOSHA, WISCONSIN,
UNDER SECTION 66.1105(4)(h)1., WISCONSIN STATUTES

WHEREAS, Section 66.1105 of the Wisconsin Statutes, provides the authority and procedures for amending a Project Plan for a Tax Incremental District (TID); and

WHEREAS, the City Plan Commission, on December 4, 2014, at a duly authorized, noticed and convened meeting under Section 66.1105(4)(h)1., Wisconsin Statutes, held a public hearing which afforded interested parties a reasonable opportunity to express their views on the Project Plan Amendment for TID #4, City of Kenosha, Wisconsin; and

WHEREAS, the Project Plan Amendment involves adding \$3,035,000 for an up-front Cash Development Grant and additional public administrative, legal and other costs, as described in and attached hereto as Exhibit "A" and does not involve an amendment to the boundaries of TID #4 as shown in Exhibit "B"; and

WHEREAS, the purpose of the Development Grant is to assist in paying off the mortgage of the Boys & Girls Club facility located at 1330 52nd Street which will serve the purpose of promoting blight elimination in TID #4, and

WHEREAS, the Project Plan Amendment is feasible and in conformity with the Master Plan of the City of Kenosha, Wisconsin.

NOW, THEREFORE, BE IT RESOLVED by the City Plan Commission, that it:

1. Finds the Project Plan Amendment for TID #4, City of Kenosha, Wisconsin, to be feasible and in conformity with the Master Plan of the City.
2. Adopts the Project Plan Amendment for TID #4, City of Kenosha, Wisconsin, as described in and attached hereto as Exhibit "A".
3. Recommends that the Common Council of the City of Kenosha also adopt this Project Plan Amendment.

Adopted this ____ day of _____, 2014

ATTEST:

Jeffrey B. Labahn, Secretary of City Plan Commission

APPROVED:

Keith G. Bosman, Chairman of City Plan Commission

Drafted by: Community Development & Inspections

EXHIBIT "A"

Project Plan Amendment Description
Tax Incremental District #4

The Project Plan Amendment is to add \$3,035,000 for an up-front Cash Development Grant and additional public administrative, legal and other costs.

The estimated cost of the up-front Cash Development Grant is \$3,000,000 and will assist in paying off the mortgage on the Boys & Girls Club facility located at 1330 52nd Street.

The estimated cost of the public administrative, legal and other costs is \$35,000 and is added to cover any public costs associated with, but not limited to, processing the TID Project Plan Amendment, issuing G.O. Promissory Notes, preparing a Development Financing Agreement and any other activities associated with the district.

The Project Plan Amendment does not involve an amendment to the TID #4 boundaries as shown in Exhibit "B".

EXHIBIT "B"

Project Plan Amendment Boundary Description Tax Incremental District #4

A part of the Northwest quarter of Section 5, Township 1 North, Range 23 East; the Southwest and Southeast quarters of Section 31 and the Southwest quarter of Section 32, Township 2 North, Range 23 East; and the Southeast quarter of Section 36, Township 2 North, Range 22 East of the 4th Principal Meridian, all lying and being in the City of Kenosha, County of Kenosha, Wisconsin and being more particularly described as follows:

Commencing at the Northwest corner of Certified Survey Map 1293, a Certified Survey Map of record and on file at the Kenosha County Land Registry; thence N87°18'26"E along the North line of said CSM 1293 a distance of 566'; thence continuing Easterly along the North line of Block 2 of Southport, a Subdivision of record and on file in the Racine County Land Registry, a distance of approximately 200.31'; thence continuing Southeasterly approximately 85.1' along a line to a point which is approximately 29.25' East and approximately 20.54' South of the Northwest corner of Block 1 of Southport; thence continuing Easterly along a line approximately 300.48' to the Northwest corner of Certified Survey Map 2159, a CSM of record and on file in the Kenosha County Land Registry; thence continuing N87°18'26"E along the north line of said CSM 2159 a distance of 574.37' to the Northeast corner of Lot 2 of Said CSM; thence continuing Easterly along the extension of the North line of said CSM 2159 to the Kenosha Harbor; thence Southerly along the shoreline of Kenosha Harbor to the Northwest corner of Outlot 1 of HarborPark Subdivision, a Subdivision of record and on file in the Kenosha County Land Registry; thence N82°35'20"E along the North line of said Outlot 1 a distance of 670.64'; thence N83°24'7"E a distance of 4.12' to the East line of the aforementioned Section 31; thence continuing N83°24'7"E along the North line of said Outlot 1 a distance of 207.49'; thence N82°21'55"E, along the North line of said Outlot 1 a distance of 359.42'; thence N84°0'28"E along the North line of said Outlot 1 a distance of 85.98'; thence N85°34'29"E along the North line of said Outlot 1 a distance of 320.68'; thence N88°3'59"E along the North line of said Outlot 1 a distance of 47.94'; thence N89°9'27"E along the North line of said Outlot 1 a distance of 154.58'; thence S87°59'16"E along the North line of said Outlot 1 a distance of 68.07'; thence N82°54'14"E along the North line of said Outlot 1 a distance of 363.25'; thence N84°36'13"E along the North line of said Outlot 1 a distance of 669.43'; thence N84°34'34"E a distance of 79.65' to the Northeast corner of said Outlot 1; thence S4°7'11"E along the east line of said Outlot 1 a distance of 29.0'; thence S84°50'47"W along the East line of said Outlot 1 a distance of 7.56'; thence N5°15'14"W along the east line of said Outlot 1 a distance of 1.65'; thence S84°56'46"W along the east line of said Outlot 1 a distance of 55.47'; thence S2°3'54"E a distance of 1101.07' to the Southeast corner of said Outlot 1; thence S88°17'44"W along the South line of said Outlot 1 a distance of 386.13' to the eastern edge of the Armour-stone breakwater; thence southerly along the breakwater – following the curve Westerly and continuing across the mouth of Southport Marina to the shore of Lake Michigan; thence southerly along the shoreline of Lake Michigan to the south property line of Eichelman Park as recorded in document 121967 on Page 156 in Volume 93 of deeds in the Kenosha County Land Registry; thence Westerly along the south line of Eichelman Park approximately 292.73' to the east line of 3rd Avenue; thence northerly along the East line of 3rd Avenue approximately 888.8'; thence continuing northerly along the extension of the east line of 3rd Avenue approximately 511.41' to the Northeast corner of Lot 16 of Lake View Subdivision; thence Northeasterly along the extension of the North line of said Lot 16 approximately 122.28'; thence Northerly approximately 209.04' to a point on the south line of Lot 9, Block 11 of Southport which point is approximately 47.91' Southwesterly of the southeast corner of said Lot 9; thence Northerly approximately 274.42' to the Northeast corner of Lot 1, Block 11 of Southport; thence Northerly approximately 66' to the Southeast corner of Lot 8, Block 10 of Southport; thence Westerly along the South line of said Block 10 approximately 340.68' to the southwest corner of said Block 10; thence Northerly upon the West line of said Block 10 approximately 267.38' to the Northwest corner of said Block 10; thence continuing Northerly upon the extension of the West line of said Block 10 approximately 66' to the South line of Lot 28 of HarborPark Subdivision; thence S79°10'6"W along and upon the South line of Lots 28 and 29 of HarborPark Subdivision approximately 309.16'; thence N10°23'4"W along and upon the West line of Lot 29 of HarborPark approximately 199.98' to the Easterly extension of the North line of an East-West alley which runs through Block 30 of Southport; thence Westerly upon the Easterly of the North line of said alley approximately 66'; thence continuing Westerly upon the North line of said alley approximately 264.67' to the Southwest corner of Lot 6 of said Block 30; thence Northerly up the West line of said Lot 6 approximately 58.02'; thence Westerly upon the Easterly extension of the North line of Block 31 of Southport approximately 66'; thence continuing along the North line of said Block 31 approximately 150.98'; thence Northerly perpendicular to the North line of said Block 31 approximately 136.01' to the South line of Block 26 of Southport; thence Easterly along the south lines of Blocks 26 and 27 approximately 484.13' to the Southeast corner of Block 27 of Southport; thence Northerly along the East line of said Block 27 approximately 264.02' to the Northeast corner of said Block 27; thence Westerly along the North line of Said Block 27 approximately 264.02' to the Northwest corner of said Block 27; thence Northerly perpendicular to the North line of said Block 27 approximately 75.53' to the Southwest corner of Lot 1 of HarborPark Subdivision; thence N10°29'35"W upon and along the west line of said Lot 1 approximately 183.53'; thence perpendicular to the West line of said Lot 1 approximately 82.53' to the Southeast corner of Certified Survey Map 2159; thence Southwesterly along the arc of a curve that is concave northwesterly, a distance of 49.01': said curve having a central angle of 7°11'44", a radius of 390.24' and a chord which bears S63°29'32"W for a distance of 48.98'; thence S10°29'35"E a distance of 244.09'; thence S10°29'35" a distance of 4.88'; thence S80°52'36"W a distance of 47.9'; thence Westerly along the arc of a curve that is concave Northerly a distance of 18.14' to the West line of 7th Avenue: said curve having a central

angle of 2°39'46", a radius of 390.24' and a chord which bears S82°12'29"W for a distance of 18.13'; thence continuing Westerly along the arc of a curve that is concave Northerly a distance of 186.19'; said curve having a central angle of 27°20'14", a radius of 390.24' and a chord which bears N82°47'31"W for a distance of 184.43'; thence N69°7'24"W a distance of 35.49'; thence S79°40'54"W a distance of 85.13' to the Southwest corner of said CSM 2159; thence continuing S79°40'54"W a distance of 33.1' to the Northeast corner of Parcel C as laid out and platted according to a survey recorded at the Kenosha County Land Registry on January 4, 2005, and recorded as a part of document #1417668; thence S14°51'20"E a distance of 254.87' to the Southeast corner of Lot 3, Block 17 of Southport; thence S78°55'20"W along the South line of said Block 17 a distance of 237.73' to the Southwest corner of Parcel B as laid out and platted according to a survey recorded at the Kenosha County Land Registry on January 4, 2005, and recorded as a part of document #1417668; thence N10°34'40"W along the West line of said Parcel B a distance of 248.73'; thence continuing N10°34'40"W approximately 82.77' to the easterly extension of the South line of Lot 2 of Certified Survey Map 1012, a Certified Survey Map of record and on file at the Kenosha County Land Registry; thence Westerly along the Easterly extension of the South line of said Lot 2 of said CSM 1012 approximately 80.26' to the Southeast corner of said Lot 2; thence S80°24'30"W a distance of 575.67' to the Southwest corner of Lot 1 of said CSM 1012; thence continuing Westerly approximately 49.5' to the Southeast corner of Block 5 of Southport; thence southerly along the East line of Blocks 5, 20 and 21 of said Southport approximately 670.08' to the Southeast corner of Block 21 of Southport; thence Westerly along the South line of said Block 21 approximately 302.76' to the Southwest corner of said Block 21; thence Northwesterly approximately 35.68' to the Northeast corner of Market Street (56th Street) as laid out and platted in Fisk's Addition to the City of Kenosha, a Subdivision of record and on file at the Kenosha County Land Registry; thence continuing along the North line of said Market (56th) Street approximately 1295.85' to the Southeast corner of Fred Petersdorf Subdivision of the East Part of Block 11 of Fisk's Addition to the City of Kenosha, a Subdivision of record and on file at the Kenosha County Land Registry; thence Westerly along the South line of said Fred Petersdorf Subdivision, which line is also the North line of 56th Street, approximately 183.5'; thence continuing along the North line of 56th Street approximately 1325.84' to the East line of 22nd Avenue; thence Westerly approximately 51.24' to the Southeast corner of Block 16 of Bain's Subdivision, a Subdivision of record and on file at the Kenosha County Land Registry; thence Westerly along the South line of said Block 16 approximately 283.53' to the Southwest corner of said Block 16; thence Northerly along the West line of said Block 16 approximately 446.95' to the Northwest corner of said Block 16, said corner being also the Southeast corner of the intersection of the South line of 55th Street and the East line of 23rd Avenue; thence easterly along the South line of 55th Street, as relocated on thus and such a date by thus and such a Resolution to the West line of 22nd Avenue; thence continuing Easterly approximately 66.18' to the Northwest corner of Block 2 of The News Subdivision a Subdivision of record and on file at the Kenosha County Land Registry; thence continuing Easterly along the North line of said Block 2 approximately 920.28' to the Northeast corner of said Block 2; thence Northeasterly approximately 82.89' to the Northeast corner of Ridge Street (19th Avenue) as laid out and platted in Fisk's Addition to the City of Kenosha Subdivision, said point being also the intersection of the South line of 55th Street and the East line of 19th Avenue; thence Easterly along the South line of 55th Street approximately 1034.5' to the Northeast corner of Block 13 of Fisk's Addition to the City of Kenosha Subdivision; thence Northeasterly approximately 85.93' to the Southwest corner of Block 1 of Fisk's Addition to the City of Kenosha Subdivision, said point being also the intersection of the east line of 14th Avenue and the Easterly extension of the North line of 55th Street; thence Northerly along the East line of 14th Avenue approximately 1010.14' to the Northwest corner of Block 1 of Jenne's Subdivision, a Subdivision of record and on file at the Kenosha County Land Registry; thence Easterly along the North line of said Block 1, and continuing Easterly upon the Easterly extension of the North line of said Block 1, approximately 519.38' to the Northwest corner of Certified Survey Map 1293 and the point of the beginning; said Tax Incremental Financing District containing approximately 177.15 Acres of land, more or less.

City of Kenosha, Wisconsin

Proposed Project Plan Amendment for
Tax Incremental District #4

For Consideration by the Common Council on
December 15, 2014

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GOALS OF THE KENOSHA TID PROGRAM

The City of Kenosha Tax Incremental District Program has been undertaken because of concern over the community's economic stability. As a result of numerous community meetings, the following goals have been identified:

- Encourage development in the City that will increase its tax base and reduce individual tax burdens
- Encourage development in the City that will increase the number and the variety of employment opportunities
- Encourage development in the City that will diversify the economic mix of businesses
- Encourage the efficient and economical use of land, buildings, and community facilities
- Encourage private investment through an expanded community facilities program
- Encourage reduction and/or elimination of economic and physical blight in the area

CITY PLAN COMMISSION RESOLUTION # ____-14

BY: THE CITY PLAN COMMISSION

TO ADOPT A PROJECT PLAN AMENDMENT
FOR TAX INCREMENTAL DISTRICT #4, CITY OF KENOSHA, WISCONSIN,
UNDER SECTION 66.1105(4)(h)1., WISCONSIN STATUTES

WHEREAS, Section 66.1105 of the Wisconsin Statutes, provides the authority and procedures for amending a Project Plan for a Tax Incremental District (TID); and

WHEREAS, the City Plan Commission, on December 4, 2014, at a duly authorized, noticed and convened meeting under Section 66.1105(4)(h)1., Wisconsin Statutes, held a public hearing which afforded interested parties a reasonable opportunity to express their views on the Project Plan Amendment for TID #4, City of Kenosha, Wisconsin; and

WHEREAS, the Project Plan Amendment involves adding \$3,035,000 for an up-front Cash Development Grant and additional public administrative, legal and other costs, as described in and attached hereto as Exhibit "A" and does not involve an amendment to the boundaries of TID #4 as shown in Exhibit "B"; and

WHEREAS, the purpose of the Development Grant is to assist in paying off the mortgage of the Boys & Girls Club facility located at 1330 52nd Street which will serve the purpose of promoting blight elimination in TID #4.

WHEREAS, the Project Plan Amendment is feasible and in conformity with the Master Plan of the City of Kenosha, Wisconsin.

NOW, THEREFORE, BE IT RESOLVED by the City Plan Commission, that it:

1. Finds the Project Plan Amendment for TID #4, City of Kenosha, Wisconsin, to be feasible and in conformity with the Master Plan of the City.
2. Adopts the Project Plan Amendment for TID #4, City of Kenosha, Wisconsin, as described in and attached hereto as Exhibit "A".
3. Recommends that the Common Council of the City of Kenosha also adopt this Project Plan Amendment.

Adopted this ____ day of _____, 2014

ATTEST:

Jeffrey B. Labahn, Secretary of City Plan Commission

APPROVED:

Keith G. Bosman, Chairman of City Plan Commission

Drafted by: Community Development & Inspections

EXHIBIT "A"

Project Plan Amendment Description Tax Incremental District #4

The Project Plan Amendment is to add \$3,035,000 for an up-front Cash Development Grant and additional public administrative, legal and other costs.

The estimated cost of the up-front Cash Development Grant is \$3,000,000 and will assist in paying off the mortgage on the Boys & Girls Club facility located at 1330 52nd Street.

The estimated cost of the public administrative, legal and other costs is \$35,000 and is added to cover any public costs associated with, but not limited to, processing the TID Project Plan Amendment, issuing G.O. Promissory Notes, preparing a Development Financing Agreement and any other activities associated with the district.

The Project Plan Amendment does not involve an amendment to the TID #4 boundaries as shown in Exhibit "B".

EXHIBIT "B"

Project Plan Amendment Boundary Description Tax Incremental District #4

A part of the Northwest quarter of Section 5, Township 1 North, Range 23 East; the Southwest and Southeast quarters of Section 31 and the Southwest quarter of Section 32, Township 2 North, Range 23 East; and the Southeast quarter of Section 36, Township 2 North, Range 22 East of the 4th Principal Meridian, all lying and being in the City of Kenosha, County of Kenosha, Wisconsin and being more particularly described as follows:

Commencing at the Northwest corner of Certified Survey Map 1293, a Certified Survey Map of record and on file at the Kenosha County Land Registry; thence N87°18'26"E along the North line of said CSM 1293 a distance of 566'; thence continuing Easterly along the North line of Block 2 of Southport, a Subdivision of record and on file in the Racine County Land Registry, a distance of approximately 200.31'; thence continuing Southeasterly approximately 85.1' along a line to a point which is approximately 29.25' East and approximately 20.54' South of the Northwest corner of Block 1 of Southport; thence continuing Easterly along a line approximately 300.48' to the Northwest corner of Certified Survey Map 2159, a CSM of record and on file in the Kenosha County Land Registry; thence continuing N87°18'26"E along the north line of said CSM 2159 a distance of 574.37' to the Northeast corner of Lot 2 of Said CSM; thence continuing Easterly along the extension of the North line of said CSM 2159 to the Kenosha Harbor; thence Southerly along the shoreline of Kenosha Harbor to the Northwest corner of Outlot 1 of HarborPark Subdivision, a Subdivision of record and on file in the Kenosha County Land Registry; thence N82°35'20"E along the North line of said Outlot 1 a distance of 670.64'; thence N83°24'7"E along the North line of said Outlot 1 a distance of 207.49'; thence N82°21'55"E, along the North line of said Outlot 1 a distance of 359.42'; thence N84°0'28"E along the North line of said Outlot 1 a distance of 85.98'; thence N85°34'29"E along the North line of said Outlot 1 a distance of 320.68'; thence N88°3'59"E along the North line of said Outlot 1 a distance of 47.94'; thence N89°9'27"E along the North line of said Outlot 1 a distance of 154.58'; thence S87°59'16"E along the North line of said Outlot 1 a distance of 68.07'; thence N82°54'14"E along the North line of said Outlot 1 a distance of 363.25'; thence N84°36'13"E along the North line of said Outlot 1 a distance of 669.43'; thence N84°34'34"E a distance of 79.65' to the Northeast corner of said Outlot 1; thence S4°7'11"E along the east line of said Outlot 1 a distance of 29.0'; thence S84°50'47"W along the East line of said Outlot 1 a distance of 7.56'; thence N5°15'14"W along the east line of said Outlot 1 a distance of 1.65'; thence S84°56'46"W along the east line of said Outlot 1 a distance of 55.47'; thence S2°3'54"E a distance of 1101.07' to the Southeast corner of said Outlot 1; thence S88°17'44"W along the South line of said Outlot 1 a distance of 386.13' to the eastern edge of the Armour-stone breakwater; thence southerly along the breakwater – following the curve Westerly and continuing across the mouth of Southport Marina to the shore of Lake Michigan; thence southerly along the shoreline of Lake Michigan to the south property line of Eichelman Park as recorded in document 121967 on Page 156 in Volume 93 of deeds in the Kenosha County Land Registry; thence Westerly along the south line of Eichelman Park approximately 292.73' to the east line of 3rd Avenue; thence northerly along the East line of 3rd Avenue approximately 888.8'; thence continuing northerly along the extension of the east line of 3rd Avenue approximately 511.41' to the Northeast corner of Lot 16 of Lake View Subdivision; thence Northeasterly along the extension of the North line of said Lot 16 approximately 122.28'; thence Northerly approximately 209.04' to a point on the south line of Lot 9, Block 11 of Southport which point is approximately 47.91' Southwesterly of the southeast corner of said Lot 9; thence Northerly approximately 274.42' to the Northeast corner of Lot 1, Block 11 of Southport; thence Northerly approximately 66' to the Southeast corner of Lot 8, Block 10 of Southport; thence Westerly along the South line of said Block 10 approximately 340.68' to the southwest corner of said Block 10; thence Northerly upon the West line of said Block 10 approximately 267.38' to the Northwest corner of said Block 10; thence continuing Northerly upon the extension of the West line of said Block 10 approximately 66' to the South line of Lot 28 of HarborPark Subdivision; thence S79°10'6"W along and upon the South line of Lots 28 and 29 of HarborPark Subdivision approximately 309.16'; thence N10°23'4"W along and upon the West line of Lot 29 of HarborPark approximately 199.98' to the Easterly extension of the North line of an East-West alley which runs through Block 30 of Southport; thence Westerly upon the Easterly of the North line of said alley approximately 66'; thence continuing Westerly upon the North line of said alley approximately 264.67' to the Southwest corner of Lot 6 of said Block 30; thence Northerly up the West line of said Lot 6 approximately 58.02'; thence Westerly upon the Easterly extension of the North line of Block 31 of Southport approximately 66'; thence continuing along the North line of said Block 31 approximately 150.98'; thence Northerly perpendicular to the North line of said Block 31 approximately 136.01' to the South line of Block 26 of Southport; thence Easterly along the south lines of Blocks 26 and 27 approximately 484.13' to the Southeast corner of Block 27 of Southport; thence Northerly along the East line of said Block 27 approximately 264.02' to the Northeast corner of said Block 27; thence Westerly along the North line of Said Block 27 approximately 264.02' to the Northwest corner of said Block 27; thence Northerly perpendicular to the North line of said Block 27 approximately 75.53' to the Southwest corner of Lot 1 of HarborPark Subdivision; thence N10°29'35"W upon and along the west line of said Lot 1 approximately 183.53'; thence perpendicular to the West line of said Lot 1

approximately 82.53' to the Southeast corner of Certified Survey Map 2159; thence Southwesterly along the arc of a curve that is concave northwesterly, a distance of 49.01'; said curve having a central angle of 7°11'44", a radius of 390.24' and a chord which bears S63°29'32"W for a distance of 48.98'; thence S10°29'35"E a distance of 244.09'; thence S10°29'35" a distance of 4.88'; thence S80°52'36"W a distance of 47.9'; thence Westerly along the arc of a curve that is concave Northerly a distance of 18.14' to the West line of 7th Avenue: said curve having a central angle of 2°39'46", a radius of 390.24' and a chord which bears S82°12'29"W for a distance of 18.13'; thence continuing Westerly along the arc of a curve that is concave Northerly a distance of 186.19': said curve having a central angle of 27°20'14", a radius of 390.24' and a chord which bears N82°47'31"W for a distance of 184.43'; thence N69°7'24"W a distance of 35.49'; thence S79°40'54"W a distance of 85.13' to the Southwest corner of said CSM 2159; thence continuing S79°40'54"W a distance of 33.1' to the Northeast corner of Parcel C as laid out and platted according to a survey recorded at the Kenosha County Land Registry on January 4, 2005, and recorded as a part of document #1417668; thence S14°51'20"E a distance of 254.87' to the Southeast corner of Lot 3, Block 17 of Southport; thence S78°55'20"W along the South line of said Block 17 a distance of 237.73' to the Southwest corner of Parcel B as laid out and platted according to a survey recorded at the Kenosha County Land Registry on January 4, 2005, and recorded as a part of document #1417668; thence N10°34'40"W along the West line of said Parcel B a distance of 248.73'; thence continuing N10°34'40"W approximately 82.77' to the easterly extension of the South line of Lot 2 of Certified Survey Map 1012, a Certified Survey Map of record and on file at the Kenosha County Land Registry; thence Westerly along the Easterly extension of the South line of said Lot 2 of said CSM 1012 approximately 80.26' to the Southeast corner of said Lot 2; thence S80°24'30"W a distance of 575.67' to the Southwest corner of Lot 1 of said CSM 1012; thence continuing Westerly approximately 49.5' to the Southeast corner of Block 5 of Southport; thence southerly along the East line of Blocks 5, 20 and 21 of said Southport approximately 670.08' to the Southeast corner of Block 21 of Southport; thence Westerly along the South line of said Block 21 approximately 302.76' to the Southwest corner of said Block 21; thence Northwesterly approximately 35.68' to the Northeast corner of Market Street (56th Street) as laid out and platted in Fisk's Addition to the City of Kenosha, a Subdivision of record and on file at the Kenosha County Land Registry; thence continuing along the North line of said Market (56th) Street approximately 1295.85' to the Southeast corner of Fred Petersdorf Subdivision of the East Part of Block 11 of Fisk's Addition to the City of Kenosha, a Subdivision of record and on file at the Kenosha County Land Registry; thence Westerly along the South line of said Fred Petersdorf Subdivision, which line is also the North line of 56th Street, approximately 183.5'; thence continuing along the North line of 56th Street approximately 1325.84' to the East line of 22nd Avenue; thence Westerly approximately 51.24' to the Southeast corner of Block 16 of Bain's Subdivision, a Subdivision of record and on file at the Kenosha County Land Registry; thence Westerly along the South line of said Block 16 approximately 283.53' to the Southwest corner of said Block 16; thence Northerly along the West line of said Block 16 approximately 446.95' to the Northwest corner of said Block 16, said corner being also the Southeast corner of the intersection of the South line of 55th Street and the East line of 23rd Avenue; thence easterly along the South line of 55th Street, as relocated on thus and such a date by thus and such a Resolution to the West line of 22nd Avenue; thence continuing Easterly approximately 66.18' to the Northwest corner of Block 2 of The News Subdivision a Subdivision of record and on file at the Kenosha County Land Registry; thence continuing Easterly along the North line of said Block 2 approximately 920.28' to the Northeast corner of said Block 2; thence Northeasterly approximately 82.89' to the Northeast corner of Ridge Street (19th Avenue) as laid out and platted in Fisk's Addition to the City of Kenosha Subdivision, said point being also the intersection of the South line of 55th Street and the East line of 19th Avenue; thence Easterly along the South line of 55th Street approximately 1034.5' to the Northeast corner of Block 13 of Fisk's Addition to the City of Kenosha Subdivision; thence Northeasterly approximately 85.93' to the Southwest corner of Block 1 of Fisk's Addition to the City of Kenosha Subdivision, said point being also the intersection of the east line of 14th Avenue and the Easterly extension of the North line of 55th Street; thence Northerly along the East line of 14th Avenue approximately 1010.14' to the Northwest corner of Block 1 of Jenne's Subdivision, a Subdivision of record and on file at the Kenosha County Land Registry; thence Easterly along the North line of said Block 1, and continuing Easterly upon the Easterly extension of the North line of said Block 1, approximately 519.38' to the Northwest corner of Certified Survey Map 1293 and the point of the beginning; said Tax Incremental Financing District containing approximately 177.15 Acres of land, more or less.

RESOLUTION # _____

BY: THE MAYOR

**TO ADOPT A PROJECT PLAN AMENDMENT
FOR TAX INCREMENTAL DISTRICT #4, CITY OF KENOSHA, WISCONSIN,
UNDER SECTION 66.1105(4)(h)1., WISCONSIN STATUTES**

WHEREAS, Section 66.1105 of the Wisconsin Statutes, provides the authority and procedures for amending a Project Plan for a Tax Incremental District (TID); and

WHEREAS, the City Plan Commission, on December 4, 2014, at a duly authorized, noticed and convened meeting under Section 66.1105(4)(h)1., Wisconsin Statutes, held a public hearing which afforded interested parties a reasonable opportunity to express their views on the Project Plan Amendment for TID #4, City of Kenosha, Wisconsin; and

WHEREAS, the Project Plan Amendment, involves adding \$3,035,000 for an up-front Cash Development Grant and additional public administrative, legal and other costs, as described in and attached hereto as Exhibit "A" and does not involve an amendment to the boundaries of TID #4 as shown in Exhibit "B"; and

WHEREAS, at said meeting, the City Plan Commission, under Section 66.1105(4)(h)1., Wisconsin Statutes, found the Project Plan Amendment for TID #4, City of Kenosha, Wisconsin, to be feasible and in conformity with the Master Plan of the City of Kenosha, Wisconsin, adopted the Project Plan Amendment, and favorably recommended that the Common Council of the City of Kenosha adopt and approve the Project Plan Amendment.

NOW, THEREFORE, BE IT RESOLVED by the Common Council of the City of Kenosha, Wisconsin, that it:

1. Finds the Project Plan Amendment for TID #4, City of Kenosha, Wisconsin, to be feasible and in conformity with the Master Plan of the City; and
2. Deems the Project Plan Amendment to promote blight elimination in the City of Kenosha, to be in the public interest and for a proper public purpose; and
3. Finds that the improvement of such area is likely to enhance significantly the value of substantially all of the other real property in the District; and
4. Confirms that not less than 50% by area of the real property within the district is a "blighted area" within the meaning of Section 66.1105(2)(a), Wisconsin Statutes; and
5. Finds that the project costs directly serve to eliminating "blight" within the District consistent with the purpose for which the Tax Incremental District was created; and
6. Confirms that the District is a blighted area district.

BE IT FURTHER RESOLVED that the Common Council of the City of Kenosha, Wisconsin, adopts the Project Plan Amendment for TID #4, City of Kenosha, Wisconsin, as recommended by the City Plan Commission and as described in and attached hereto as Exhibit "A".

Adopted this _____ day of _____, 2014

ATTEST:

Debra L. Salas, City Clerk/Treasurer

APPROVED:

Keith G. Bosman, Mayor

Drafted by: Community Development & Inspections

EXHIBIT "A"

Project Plan Amendment Description Tax Incremental District #4

The Project Plan Amendment is to add \$3,035,000 for an up-front Cash Development Grant and additional public administrative, legal and other costs.

The estimated cost of the up-front Cash Development Grant is \$3,000,000 and will assist in paying off the mortgage on the Boys & Girls Club facility located at 1330 52nd Street.

The estimated cost of the public administrative, legal and other costs is \$35,000 and is added to cover any public costs associated with, but not limited to, processing the TID Project Plan Amendment, issuing G.O. Promissory Notes, preparing a Development Financing Agreement and any other activities associated with the district.

The Project Plan Amendment does not involve an amendment to the TID #4 boundaries as shown in Exhibit "B".

EXHIBIT "B"

Project Plan Amendment Boundary Description Tax Incremental District #4

A part of the Northwest quarter of Section 5, Township 1 North, Range 23 East; the Southwest and Southeast quarters of Section 31 and the Southwest quarter of Section 32, Township 2 North, Range 23 East; and the Southeast quarter of Section 36, Township 2 North, Range 22 East of the 4th Principal Meridian, all lying and being in the City of Kenosha, County of Kenosha, Wisconsin and being more particularly described as follows:

Commencing at the Northwest corner of Certified Survey Map 1293, a Certified Survey Map of record and on file at the Kenosha County Land Registry; thence N87°18'26"E along the North line of said CSM 1293 a distance of 566'; thence continuing Easterly along the North line of Block 2 of Southport, a Subdivision of record and on file in the Racine County Land Registry, a distance of approximately 200.31'; thence continuing Southeasterly approximately 85.1' along a line to a point which is approximately 29.25' East and approximately 20.54' South of the Northwest corner of Block 1 of Southport; thence continuing Easterly along a line approximately 300.48' to the Northwest corner of Certified Survey Map 2159, a CSM of record and on file in the Kenosha County Land Registry; thence continuing N87°18'26"E along the north line of said CSM 2159 a distance of 574.37' to the Northeast corner of Lot 2 of Said CSM; thence continuing Easterly along the extension of the North line of said CSM 2159 to the Kenosha Harbor; thence Southerly along the shoreline of Kenosha Harbor to the Northwest corner of Outlot 1 of HarborPark Subdivision, a Subdivision of record and on file in the Kenosha County Land Registry; thence N82°35'20"E along the North line of said Outlot 1 a distance of 670.64'; thence N83°24'7"E a distance of 4.12' to the East line of the aforementioned Section 31; thence continuing N83°24'7"E along the North line of said Outlot 1 a distance of 207.49'; thence N82°21'55"E, along the North line of said Outlot 1 a distance of 359.42'; thence N84°0'28"E along the North line of said Outlot 1 a distance of 85.98'; thence N85°34'29"E along the North line of said Outlot 1 a distance of 320.68'; thence N88°3'59"E along the North line of said Outlot 1 a distance of 47.94'; thence N89°9'27"E along the North line of said Outlot 1 a distance of 154.58'; thence S87°59'16"E along the North line of said Outlot 1 a distance of 68.07'; thence N82°54'14"E along the North line of said Outlot 1 a distance of 363.25'; thence N84°36'13"E along the North line of said Outlot 1 a distance of 669.43'; thence N84°34'34"E a distance of 79.65' to the Northeast corner of said Outlot 1; thence S4°7'11"E along the east line of said Outlot 1 a distance of 29.0'; thence S84°50'47"W along the East line of said Outlot 1 a distance of 7.56'; thence N5°15'14"W along the east line of said Outlot 1 a distance of 1.65'; thence S84°56'46"W along the east line of said Outlot 1 a distance of 55.47'; thence S2°3'54"E a distance of 1101.07' to the Southeast corner of said Outlot 1; thence S88°17'44"W along the South line of said Outlot 1 a distance of 386.13' to the eastern edge of the Armour-stone breakwater; thence southerly along the breakwater – following the curve Westerly and continuing across the mouth of Southport Marina to the shore of Lake Michigan; thence southerly along the shoreline of Lake Michigan to the south property line of Eichelman Park as recorded in document 121967 on Page 156 in Volume 93 of deeds in the Kenosha County Land Registry; thence Westerly along the south line of Eichelman Park approximately 292.73' to the east line of 3rd Avenue; thence northerly along the East line of 3rd Avenue approximately 888.8'; thence continuing northerly along the extension of the east line of 3rd Avenue approximately 511.41' to the Northeast corner of Lot 16 of Lake View Subdivision; thence Northeasterly along the extension of the North line of said Lot 16 approximately 122.28'; thence Northerly approximately 209.04' to a point on the south line of Lot 9, Block 11 of Southport which point is approximately 47.91' Southwesterly of the southeast corner of said Lot 9; thence Northerly approximately 274.42' to the Northeast corner of Lot 1, Block 11 of Southport; thence Northerly approximately 66' to the Southeast corner of Lot 8, Block 10 of Southport; thence Westerly along the South line of said Block 10 approximately 340.68' to the southwest corner of said Block 10; thence Northerly upon the West line of said Block 10 approximately 267.38' to the Northwest corner of said Block 10; thence continuing Northerly upon the extension of the West line of said Block 10 approximately 66' to the South line of Lot 28 of HarborPark Subdivision; thence S79°10'6"W along and upon the South line of Lots 28 and 29 of HarborPark Subdivision approximately 309.16'; thence N10°23'4"W along and upon the West line of Lot 29 of HarborPark Subdivision approximately 199.98' to the Easterly extension of the North line of an East-West alley which runs through Block 30 of Southport; thence Westerly upon the Easterly of the North line of said alley approximately 66'; thence continuing Westerly upon the North line of said alley approximately 264.67' to the Southwest corner of Lot 6 of said Block 30; thence Northerly up the West line of said Lot 6 approximately 58.02'; thence Westerly upon the Easterly extension of the North line of Block 31 of Southport approximately 66'; thence continuing along the North line of said Block 31 approximately 150.98'; thence Northerly perpendicular to the North line of said Block 31 approximately 136.01' to the South line of Block 26 of Southport; thence Easterly along the south lines of Blocks 26 and 27 approximately 484.13' to the Southeast corner of Block 27 of Southport; thence Northerly along the East line of said Block 27 approximately 264.02' to the Northeast corner of said Block 27; thence Westerly along the North line of Said Block 27 approximately 264.02' to the Northwest corner of said Block 27; thence Northerly perpendicular to the North line of said Block 27 approximately 75.53' to the Southwest corner of Lot 1 of HarborPark Subdivision; thence N10°29'35"W upon and along the west line of said Lot 1 approximately 183.53'; thence perpendicular to the West line of said Lot 1

approximately 82.53' to the Southeast corner of Certified Survey Map 2159; thence Southwesterly along the arc of a curve that is concave northwesterly, a distance of 49.01'; said curve having a central angle of 7°11'44", a radius of 390.24' and a chord which bears S63°29'32"W for a distance of 48.98'; thence S10°29'35"E a distance of 244.09'; thence S10°29'35" a distance of 4.88'; thence S80°52'36"W a distance of 47.9'; thence Westerly along the arc of a curve that is concave Northerly a distance of 18.14' to the West line of 7th Avenue: said curve having a central angle of 2°39'46", a radius of 390.24' and a chord which bears S82°12'29"W for a distance of 18.13'; thence continuing Westerly along the arc of a curve that is concave Northerly a distance of 186.19': said curve having a central angle of 27°20'14", a radius of 390.24' and a chord which bears N82°47'31"W for a distance of 184.43'; thence N69°7'24"W a distance of 35.49'; thence S79°40'54"W a distance of 85.13' to the Southwest corner of said CSM 2159; thence continuing S79°40'54"W a distance of 33.1' to the Northeast corner of Parcel C as laid out and platted according to a survey recorded at the Kenosha County Land Registry on January 4, 2005, and recorded as a part of document #1417668; thence S14°51'20"E a distance of 254.87' to the Southeast corner of Lot 3, Block 17 of Southport; thence S78°55'20"W along the South line of said Block 17 a distance of 237.73' to the Southwest corner of Parcel B as laid out and platted according to a survey recorded at the Kenosha County Land Registry on January 4, 2005, and recorded as a part of document #1417668; thence N10°34'40"W along the West line of said Parcel B a distance of 248.73'; thence continuing N10°34'40"W approximately 82.77' to the easterly extension of the South line of Lot 2 of Certified Survey Map 1012, a Certified Survey Map of record and on file at the Kenosha County Land Registry; thence Westerly along the Easterly extension of the South line of said Lot 2 of said CSM 1012 approximately 80.26' to the Southeast corner of said Lot 2; thence S80°24'30"W a distance of 575.67' to the Southwest corner of Lot 1 of said CSM 1012; thence continuing Westerly approximately 49.5' to the Southeast corner of Block 5 of Southport; thence southerly along the East line of Blocks 5, 20 and 21 of said Southport approximately 670.08' to the Southeast corner of Block 21 of Southport; thence Westerly along the South line of said Block 21 approximately 302.76' to the Southwest corner of said Block 21; thence Northwesterly approximately 35.68' to the Northeast corner of Market Street (56th Street) as laid out and platted in Fisk's Addition to the City of Kenosha, a Subdivision of record and on file at the Kenosha County Land Registry; thence continuing along the North line of said Market (56th) Street approximately 1295.85' to the Southeast corner of Fred Petersdorf Subdivision of the East Part of Block 11 of Fisk's Addition to the City of Kenosha, a Subdivision of record and on file at the Kenosha County Land Registry; thence Westerly along the South line of said Fred Petersdorf Subdivision, which line is also the North line of 56th Street, approximately 183.5'; thence continuing along the North line of 56th Street approximately 1325.84' to the East line of 22nd Avenue; thence Westerly approximately 51.24' to the Southeast corner of Block 16 of Bain's Subdivision, a Subdivision of record and on file at the Kenosha County Land Registry; thence Westerly along the South line of said Block 16 approximately 283.53' to the Southwest corner of said Block 16; thence Northerly along the West line of said Block 16 approximately 446.95' to the Northwest corner of said Block 16, said corner being also the Southeast corner of the intersection of the South line of 55th Street and the East line of 23rd Avenue; thence easterly along the South line of 55th Street, as relocated on thus and such a date by thus and such a Resolution to the West line of 22nd Avenue; thence continuing Easterly approximately 66.18' to the Northwest corner of Block 2 of The News Subdivision a Subdivision of record and on file at the Kenosha County Land Registry; thence continuing Easterly along the North line of said Block 2 approximately 920.28' to the Northeast corner of said Block 2; thence Northeasterly approximately 82.89' to the Northeast corner of Ridge Street (19th Avenue) as laid out and platted in Fisk's Addition to the City of Kenosha Subdivision, said point being also the intersection of the South line of 55th Street and the East line of 19th Avenue; thence Easterly along the South line of 55th Street approximately 1034.5' to the Northeast corner of Block 13 of Fisk's Addition to the City of Kenosha Subdivision; thence Northeasterly approximately 85.93' to the Southwest corner of Block 1 of Fisk's Addition to the City of Kenosha Subdivision, said point being also the intersection of the east line of 14th Avenue and the Easterly extension of the North line of 55th Street; thence Northerly along the East line of 14th Avenue approximately 1010.14' to the Northwest corner of Block 1 of Jenne's Subdivision, a Subdivision of record and on file at the Kenosha County Land Registry; thence Easterly along the North line of said Block 1, and continuing Easterly upon the Easterly extension of the North line of said Block 1, approximately 519.38' to the Northwest corner of Certified Survey Map 1293 and the point of the beginning; said Tax Incremental Financing District containing approximately 177.15 Acres of land, more or less.

RESOLUTION # 15-1

**BY: THE JOINT REVIEW BOARD FOR
TAX INCREMENTAL DISTRICT #4**

**TO APPROVE THE PROJECT PLAN AMENDMENT
FOR TAX INCREMENTAL DISTRICT# 4, CITY OF KENOSHA, WISCONSIN**

WHEREAS, Section 66.1105, Wisconsin Statutes, provides the authority and procedure for amending a Project Plan for a Tax Incremental District (TID); and

WHEREAS, a Joint Review Board was convened under the authority of Section 66.1105(4m), Wisconsin Statutes, for the purpose of reviewing the public record, planning documents and the Resolution passed by the Common Council of the City of Kenosha, Wisconsin, under 66.1105(4)(h)1., Wisconsin Statutes, relating to the proposed amendment of the Project Plan (the "Project Plan Amendment") of TID #4 of the City of Kenosha, Wisconsin (the "Tax Incremental District"); and

WHEREAS, the Joint Review Board has completed its review.

NOW, THEREFORE, BE IT RESOLVED by the Joint Review Board for TID #4, City of Kenosha, Wisconsin, that it approves Resolution # _____, adopted on December 15, 2014, by the Common Council of the City of Kenosha, Wisconsin, under Section 66.1105(4)(h)1., Wisconsin Statutes and the Project Plan Amendment, based on the following criteria:

1. That the development expected in the Tax Incremental District would not occur without the use of tax incremental financing.
2. That the economic benefits of the Tax Incremental District, as measured by increased employment, business and personal income and property value are sufficient to compensate for the cost of improvements.
3. That the benefits of the Tax Incremental District outweigh the anticipated loss in tax increments to be paid by the owners of property in the overlying taxing districts.
4. That, in its judgment, the development described in the Project Plan Amendment would not occur without the Project Plan Amendment

Adopted this _____ day of _____, 2014

ATTEST: _____, Staff

APPROVED: _____, Chairperson

Drafted by: Community Development & Inspections

**STATEMENT OF KIND, NUMBER AND LOCATION OF ALL PROPOSED
PUBLIC WORKS OR IMPROVEMENTS WITHIN THE DISTRICT AND A
DETAILED LIST OF ESTIMATED PROJECT COSTS AND
WHEN COSTS ARE EXPECTED TO BE INCURRED**

Development Grant costs include paying off the mortgage for the Boys & Girls Club facility. See the attached map for location. The Development Grant cannot be provided to the Boys & Girls Club until a Development Grant Agreement per Wisconsin Statute 66.1105 (2)(f)2.d is executed.

City administrative, legal and related costs include amending the Project Plan, issuing the G.O. Promissory Notes, preparing the Development Grant Agreement and any other activities associated with the Amendment.

Description of Project Costs	2015	2016	2017	Total
Development Grant	\$3,000,000.00	\$0.00	\$0.00	\$3,000,000.00
City Administrative/Legal/ Related Costs	\$35,000.00	\$0.00	\$0.00	\$35,000.00
Total	\$3,035,000.00	\$0.00	\$0.00	\$3,035,000.00

Costs to be Recovered by TID	2015	2016	2017	Total
Project Costs	--	--	--	\$3,035,000.00
Financing Costs	--	--	--	\$819,450.00
Total	--	--	--	\$3,854,450.00

City of Kenosha

\$3,035,000.00 G.O. Promissory Notes - Dated 04/01/15

TID No. 4 Proposed Grant Payment

Preliminary Estimate @ 3.0%

Debt Service Schedule -- Accrual Basis

Calendar Year	Principal	Coupon	Interest	Total P+I
2015	-	-	-	-
2016	-	-	-	-
2017	-	-	\$136,575.00	\$136,575.00
2018	-	-	91,050.00	91,050.00
2019	-	-	91,050.00	91,050.00
2020	-	-	91,050.00	91,050.00
2021	-	-	91,050.00	91,050.00
2022	-	-	91,050.00	91,050.00
2023	-	-	91,050.00	91,050.00
2024	\$1,015,000.00	3.000%	91,050.00	91,050.00
	\$3,035,000.00	-	45,525.00	3,080,525.00
			\$819,450.00	\$3,854,450.00

Yield Statistics

Bond Year Dollars	\$27,315.00
Average Life	9.000 Years
Average Coupon	3.0000000%
Net Interest Cost (NIC)	2.9243333%
True Interest Cost (TIC)	2.9107481%
Bond Yield for Arbitrage Purposes	2.7475234%
All Inclusive Cost (AIC)	3.0513848%
IRS Form 8038	
Net Interest Cost	2.7258890%
Weighted Average Maturity	9.000 Years

2015 - TID# \$3.0M GO Note | SINGLE PURPOSE | 10/29/2014 | 9:57 AM

Piper Jaffray & Co.
Milwaukee Public Finance

City of Kenosha

\$3,035,000.00 G.O. Promissory Notes - Dated 04/01/15

TID No. 4 Proposed Grant Payment

Preliminary Estimate @ 3.0%

Sources & Uses

Dated 04/01/2015 | Delivered 04/01/2015

Sources Of Funds

Par Amount of Notes	\$3,035,000.00
Reoffering Premium	60,123.35
Total Sources	\$3,095,123.35

Uses Of Funds

Proposed Grant Payment	\$3,000,000.00
Financial Advisor	1,035.00
Quarles & Brady Fee	12,500.00
S&P Rating Fee	8,550.00
Moody's Rating Fee	9,450.00
Underwriter's Discount	19,455.00
Capitalized Interest	22,133.35
Total Uses	\$3,095,123.35

2015 - TID4 \$3.0M GO Note | SINGLE PURPOSE | 10/29/2014 | 9:59 AM

Piper Jaffray & Co.
Milwaukee Public Finance

**CHANGES IN ZONING ORDINANCE, MASTER PLAN,
MAP, BUILDING CODE AND CITY ORDINANCES**

No changes to the City of Kenosha Zoning Ordinance, Master Plan, Map, Building Code or City Ordinances are anticipated to accommodate the activities planned for this Project Plan Amendment. All City ordinances and code documents are readily available for public inspection and are incorporated herein by reference.

LIST OF ESTIMATED NON-PROJECT COSTS

There are no non-project costs.

**STATEMENT OF THE PROPOSED METHOD FOR
THE RELOCATION OF PERSONS TO BE DISPLACED**

All individuals and businesses to be displaced as a result of the activities occurring within the district as a part of this Project Plan will be provided assistance in conformance with Chapter 32, Wisconsin Statutes, and in conformance with any other state and federal rules and regulations as applicable.

STATEMENT OF CONFORMITY TO CITY OF KENOSHA MASTER PLANS

The development of this Project Plan Amendment conforms to the City of Kenosha's *Comprehensive Land Use Plan: 2035*, as amended January 2014. The *Comprehensive Land Use Plan: 2035* is incorporated herein by reference.

STATEMENT OF ORDERLY DEVELOPMENT

Based upon the feasibility analysis of the proposed Project Plan Amendment and the goals established for the City as a part of the *Comprehensive Land Use Plan: 2035*, the amendment of this Tax Incremental District promotes the orderly development of the City.

The original construction of the Boys & Girls Club facility helped to stabilize a blighted area with a new building as well as services to area youth. Paying off the mortgage of the facility helps to strengthen the Boys & Girls Club's financial condition as well as it's original purpose of stabilizing the surrounding area and even encouraging future development.

OFFICE OF THE CITY ATTORNEY
MUNICIPAL BUILDING
625 - 52ND STREET, Room 201
Kenosha, Wisconsin 53140
PHONE (262) 653-4170
FAX (262) 653-4176



EDWARD R. ANTARAMIAN
CITY ATTORNEY
MATTHEW A. KNIGHT
DEPUTY CITY ATTORNEY
WILLIAM K. RICHARDSON
ASSISTANT CITY ATTORNEY
JONATHAN A. MULLIGAN
ASSISTANT CITY ATTORNEY
CHRISTINE M. GENTNER
ASSISTANT CITY ATTORNEY

November 14, 2014

Honorable Mayor
and Common Council
City of Kenosha
Kenosha, Wisconsin 53140

Re: Project Plan First Amendment for Tax Incremental
District Number 4 [TIF District No. 4]

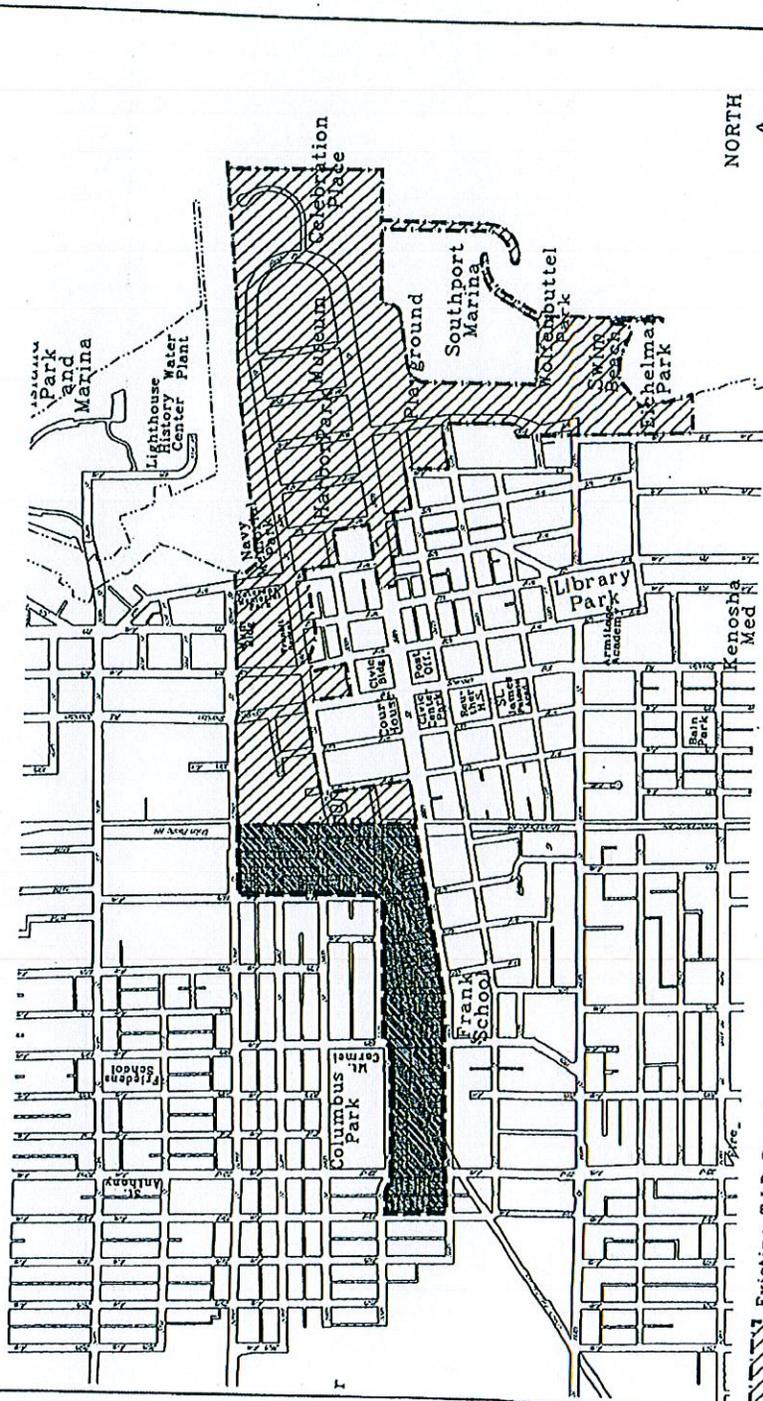
Dear Mayor and Members of the Common Council:

I have reviewed the above and conclude that it is complete and complies with Section
66.1105(4)(I), Wisconsin Statutes.

Respectfully submitted,


Edward R. Antaramian
City Attorney

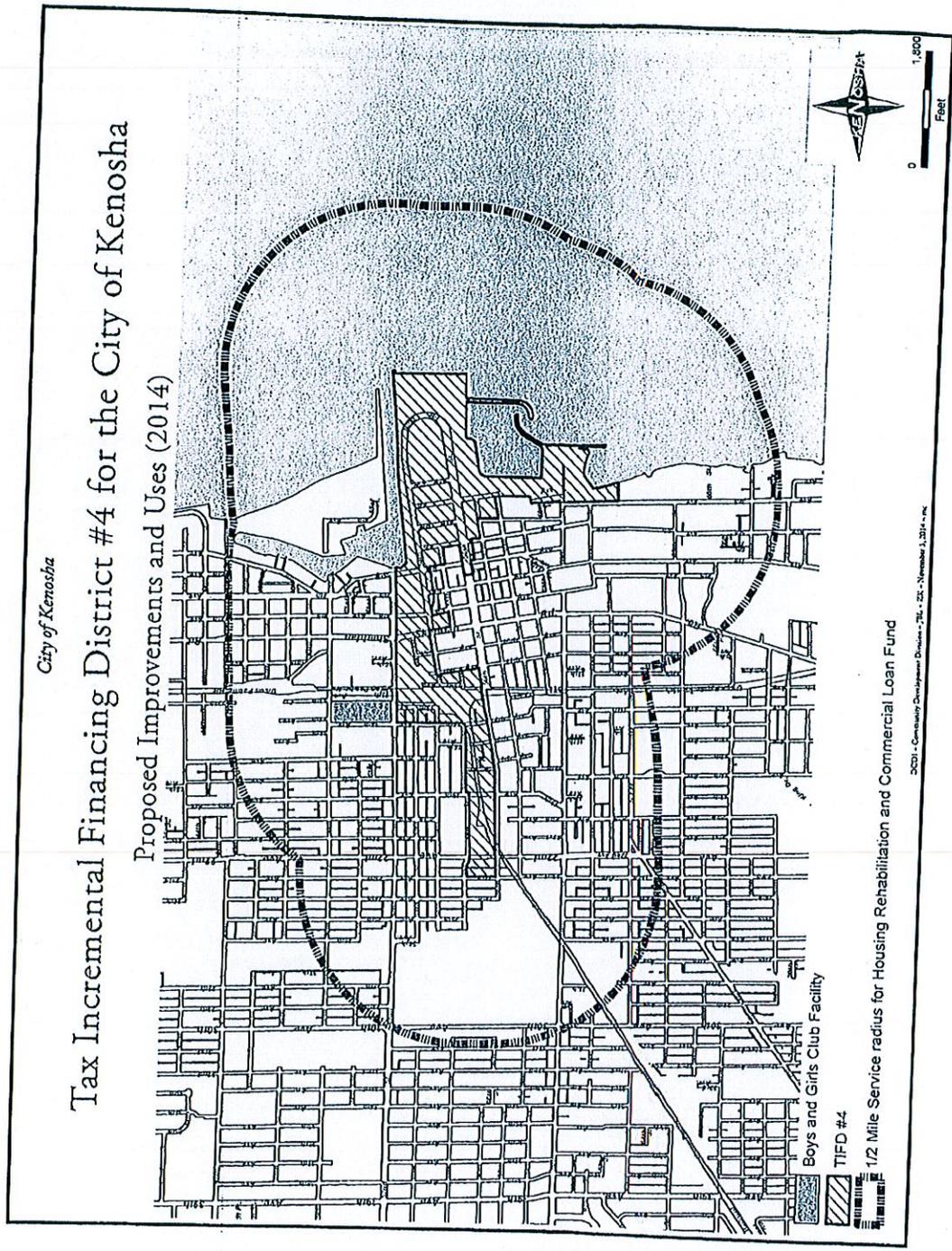
CITY OF KENOSHA
 Tax Incremental District #4
 for the City of Kenosha
 Amended Site Vicinity Map (2007)



Existing T.I.D. Boundary
 Proposed Addition to T.I.D. #4

12-223-31

DCD - City Plan Division - JBL - ZK - 6/8/07 - mc



Kenosha Police Department
Public Safety Building
1000 – 55th Street
Kenosha, WI 53140-3794
(262) 605-5200



JOHN W. MORRISSEY
Chief of Police

DANIEL G. MISKINIS
Deputy Police Chief

December 10, 2014

Kenosha Common Council Members:

Sixty-nine percent of police chiefs nationwide said after-school and summer programs are the most effective strategies for reducing juvenile crime. I am part of that sixty-nine percent. I have worked for the Kenosha Police Department for 25 plus years, served as the Chief of Police since January 1, 2008, and have served on the Board of Directors for the Kenosha Boys & Girls Club in excess of 15 years.

We know that the danger of modern gangs and juvenile crime is rooted in community-level activity. The gang problem of today is markedly different from what it was 10 years ago, and what it will be 10 years from now. Understanding the factors that contribute to gang or juvenile crime problems assist in developing key intervention programs.

A first step in preventing gang membership is preventing delinquency. Juveniles with a history of delinquency are more likely to join gangs and engage in higher rates of criminal activity than they would have otherwise. There are two primary types of delinquency-prevention programs: universal and selected. Universal prevention programs are applied to an entire population of children. Selected prevention programs "target high-risk children who may already show some level of antisocial behavior. Boys and Girls Clubs are a good example of a universal program.

For decades, Boys and Girls Clubs have helped to keep children off the streets across the country. Three separate evaluations of Boys and Girls Clubs indicate that these programs hold considerable promise in reducing delinquency. In one evaluation, areas with Boys and Girls Clubs in the neighborhood had lower incidences of criminal activity, property damage, and drug-related activity than did areas without the clubs.

The most successful and sustainable gang-prevention strategies include partnerships among law enforcement, schools, parents, community based organizations, such as Boys & Girls Clubs, faith-based organizations, and the youth themselves. The most effective response to youth gangs and juvenile crime is a combination of interdependent prevention and intervention programs. Participants of such programs will benefit immensely during the lifetime of that program.

Skills-oriented programs are among the most effective general strategies for reducing youth violence and risk factors for youth violence. Providing children with the opportunity to develop positive behaviors is the foundation of most efforts to prevent youth crime and violence.



The mission of the Kenosha Police Department is to serve all people with respect, fairness and compassion. We are committed to preserving peace, order and safety; enforcing laws and ordinances; and safeguarding constitutional rights.

December 15, 2014 Pg. 161

The Kenosha Boys & Girls Club offers many programs that have been and continue to be effective in reducing criminal activity of juveniles and in reducing the numbers of individuals that seek gang involvement. Some of the significant programs offered by the club are the Youth Employment program, which is a job-training program for youth ages 14-21. These youth work with local businesses while developing job skills to enable them to have better opportunities in the future. Participants attend workshops to increase employment and life skills. Members also receive various services such as mentoring, counseling, tutoring and much more.

On school days, 3-6 PM are the peak hours for teens to commit crimes, be victims of crime, and smoke, drink and use drugs. Self-care and boredom can increase the likelihood that a young person will experiment with drugs and alcohol by as much as 50 percent. Youth tend to develop patterns of alcohol, tobacco, and other drug use - or nonuse - from ages 12 to 15. The Youth Empowerment Department engages youth in positive activities during the hours that they are most likely to be involved in the negative lures of their communities. This program is designed to help youth build self-esteem, enhance communication with family members, manage anger and violent expression, enhance decision-making skills, become independent thinkers and create positive relationships with others.

The Kenosha Boys & Girls Club also offers many other programs such as Project Learn, which is an educational enhancement program that combines homework help and educational activities daily during the school year. Power Hours, which is a daily program, designed to help members of all ages be more successful in school by providing homework help and tutoring while encouraging members to become self-directed learners. Fine Arts, which is a program that encourages artistic expression through drawing, painting, printmaking, collage, mixed media and sculpture. Career Launch, which encourages Club members ages 13-18 to assess their skills and interests, explore careers, make sound educational decisions and prepare to join our nation's ever-changing work force.

The club offers many other programs such as Triple Play, Money Matters, Sport Fanatics, Skill Tech I & II, Game Masters, Web Design, Image Makers, Movie Tech, Net Smartz I & II.

Afterschool and summer programs are a powerful antidote to youth crime; they provide a safe haven that keeps kids away from violence. They provide an alternative to gangs and street life, allowing kids to develop new skills and interact positively with peers. They offer youth hope and opportunities, offsetting the sense of emptiness, which can cause youth to turn to crime. They contribute to economic opportunity by providing academic support and job skills.

Two out of three young people nationwide wish there were more places they could hang out where they could feel safe and have fun, Kenosha is lucky we have the Boys & Girls Club, without it Kenosha would be a much different place, and not for the better.

Sincerely,



John W. Morrissey
Chief of Police
Kenosha Police Department

Planning & Zoning Division 625 52nd Street - Room 308 Kenosha, WI 53140 262.653.4030	Kenosha City Plan Commission FACT SHEET	December 4, 2014	Item 2
City Plan Commission Resolution - To Adopt a Project Plan Amendment for Tax Incremental District #5, City of Kenosha, Wisconsin, Under Section 66.1105(4)(h)1., Wisconsin Statutes. (District #16) PUBLIC HEARING			

LOCATION/SURROUNDINGS:

Site: Area generally bounded by 52nd Street on the North, 88th Avenue on the East, 60th Street on the South and 99th Avenue on the West.

NOTIFICATIONS/PROCEDURES:

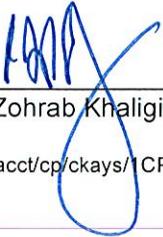
The alderperson of the district, Alderpersons Johnson, has been notified. This item will also be reviewed by the Finance Committee before final approval by the Common Council on December 15, 2014. A Notice announcing this hearing was published in the Kenosha News on November 14 and 21, 2014. This Notice was also sent to other local government units as required by Wisconsin Statute 66.1105.

ANALYSIS:

- Attached is the Project Plan Amendment for Tax Incremental District (TID) #5 to add \$1,050,000 for an up-front Cash Development Grant and additional public administrative, legal and other costs. The Amendment does not involve an Amendment to the TID #5 boundaries.
- The estimated cost of the up-front Cash Development Grant is \$1,000,000 and will attract a new manufacturing facility to the Business Park of Kenosha. Project costs will include building, parking lot and related site improvements and equipment purchases. The project will create up to 200 jobs with an average salary of up to \$21 per hour.
- The estimated cost of the public administrative, legal and other costs is \$50,000 and is added to cover any public costs associated with, but not limited to, processing the TID Project Plan Amendment, issuing G.O. Promissory Notes, preparing a Development Grant Agreement and any other activities associated with the Amendment.
- These added costs, as well as the added costs to TID #4, will delay the project termination of TID #5 from 2022 to 2024.

RECOMMENDATION:

A recommendation is made to approve the Resolution Adopting the Project Plan Amendment for TID #5.



 A. Zohrab Khaligian, Development Specialist



 Jeffrey B. Labahn, Director

/u2/acct/cp/ckays/CPC/2014/DEC4/Fact-TID5-bpok.odt

CITY PLAN COMMISSION RESOLUTION # _____-14

BY: THE CITY PLAN COMMISSION

TO ADOPT A PROJECT PLAN AMENDMENT
FOR TAX INCREMENTAL DISTRICT #5, CITY OF KENOSHA, WISCONSIN,
UNDER SECTION 66.1105(4)(h)1., WISCONSIN STATUTES

WHEREAS, Section 66.1105 of the Wisconsin Statutes, provides the authority and procedures for amending a Project Plan for a Tax Incremental District (TID); and

WHEREAS, the City Plan Commission, on December 4, 2014, at a duly authorized, noticed and convened meeting under Section 66.1105(4)(h)1., Wisconsin Statutes, held a public hearing which afforded interested parties a reasonable opportunity to express their views on the Project Plan Amendment for TID #5, City of Kenosha, Wisconsin; and

WHEREAS, the Project Plan Amendment involves adding \$1,050,000 for an up-front Cash Development Grant and additional public administrative, legal and other costs, as described in and attached hereto as Exhibit "A" and does not involve an amendment to the boundaries of TID #5 as shown in Exhibit "B"; and

WHEREAS, the purpose of the Development Grant is to attract a new manufacturing facility to the Business Park of Kenosha which will serve the purpose of promoting industrial development in TID #5, and

WHEREAS, the Project Plan Amendment is feasible and in conformity with the Master Plan of the City of Kenosha, Wisconsin.

NOW, THEREFORE, BE IT RESOLVED by the City Plan Commission, that it:

1. Finds the Project Plan Amendment for TID #5, City of Kenosha, Wisconsin, to be feasible and in conformity with the Master Plan of the City.
2. Adopts the Project Plan Amendment for TID #5, City of Kenosha, Wisconsin, as described in and attached hereto as Exhibit "A".
3. Recommends that the Common Council of the City of Kenosha also adopt this Project Plan Amendment.

Adopted this _____ day of _____, 2014

ATTEST:

Jeffrey B. Labahn, Secretary of City Plan Commission

APPROVED:

Keith G. Bosman, Chairman of City Plan Commission

EXHIBIT "A"

Project Plan Amendment Description Tax Incremental District #5

The Project Plan Amendment is to add \$1,050,000 for an up-front Cash Development Grant and additional public administrative, legal and other costs.

The estimated cost of the up-front Cash Development Grant is \$1,000,000 and will attract a new manufacturing facility to the Business Park of Kenosha. Project costs will include building, parking lot, related site improvements and equipment purchases. The project will create up to 200 jobs with an average salary of \$21 per hour.

The estimated cost of the public administrative, legal and other costs is \$50,000 and is added to cover any public costs associated with, but not limited to, processing the TID Project Plan Amendment, issuing G.O. Promissory Notes, preparing a Development Financing Agreement and any other activities associated with the district.

The Project Plan Amendment does not involve an amendment to the TID #5 boundaries as shown in Exhibit "B".

EXHIBIT "B"

**Project Plan Amendment Boundary Description
Tax Incremental District #5**

All of the Northeast Quarter and Northwest Quarter and part of the Southeast Quarter and Southwest Quarter of the Southeast Quarter; and part of the Northeast Quarter and Southeast Quarter of the Southwest Quarter; all in Section 32, Town 2 North, Range 22 East of the Fourth Principal Meridian, lying and being in the City of Kenosha, Kenosha County, Wisconsin and more particularly described as follows:

Beginning at the northeast corner of the Southeast Quarter of said Section 32, Town 2 North, Range 22 East; thence southeasterly along 88th Avenue, 2629.13 feet; thence southwesterly along 60th Street, 3392.95 feet; thence northwesterly 477.23 feet; thence southwesterly 26.77 feet; thence northwesterly 66.00 feet; thence northwesterly 200.28 feet, thence northwesterly 464.23 feet; thence northwesterly 377.63 feet; thence northeasterly 261.07 feet; thence northwesterly 66.00 feet; thence northeasterly 23.50 feet; thence northwesterly 23.50 feet; thence northeasterly 66.00 feet; thence northwesterly 76.50 feet; thence northwesterly 230.67 feet; thence northwesterly 270.65 feet; thence northeasterly 583.01 feet; thence northwesterly 430.00 feet; thence northeasterly along 52nd Street, 3035.50 feet, more or less, to the point of beginning.

City of Kenosha, Wisconsin

Proposed Project Plan Amendment for
Tax Incremental District #5

For Consideration by the Common Council on
December 15, 2014

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GOALS OF THE KENOSHA TID PROGRAM

The City of Kenosha Tax Incremental District Program has been undertaken because of concern over the community's economic stability. As a result of numerous community meetings, the following goals have been identified:

- Encourage development in the City that will increase its tax base and reduce individual tax burdens
- Encourage development in the City that will increase the number and the variety of employment opportunities
- Encourage development in the City that will diversify the economic mix of businesses
- Encourage the efficient and economical use of land, buildings, and community facilities
- Encourage private investment through an expanded community facilities program
- Encourage reduction and/or elimination of economic and physical blight in the area

CITY PLAN COMMISSION RESOLUTION # _____-14

BY: THE CITY PLAN COMMISSION

TO ADOPT A PROJECT PLAN AMENDMENT
FOR TAX INCREMENTAL DISTRICT #5, CITY OF KENOSHA, WISCONSIN,
UNDER SECTION 66.1105(4)(h)1., WISCONSIN STATUTES

WHEREAS, Section 66.1105 of the Wisconsin Statutes, provides the authority and procedures for amending a Project Plan for a Tax Incremental District (TID); and

WHEREAS, the City Plan Commission, on December 4, 2014, at a duly authorized, noticed and convened meeting under Section 66.1105(4)(h)1., Wisconsin Statutes, held a public hearing which afforded interested parties a reasonable opportunity to express their views on the Project Plan Amendment for TID #5, City of Kenosha, Wisconsin; and

WHEREAS, the Project Plan Amendment involves adding \$1,050,000 for an up-front Cash Development Grant and additional public administrative, legal and other costs, as described in and attached hereto as Exhibit "A" and does not involve an amendment to the boundaries of TID #5 as shown in Exhibit "B"; and

WHEREAS, the purpose of the Development Grant is to attract a new manufacturing facility to the Business Park of Kenosha which will serve the purpose of promoting industrial development in TID #5.

WHEREAS, the Project Plan Amendment is feasible and in conformity with the Master Plan of the City of Kenosha, Wisconsin.

NOW, THEREFORE, BE IT RESOLVED by the City Plan Commission, that it:

1. Finds the Project Plan Amendment for TID #5, City of Kenosha, Wisconsin, to be feasible and in conformity with the Master Plan of the City.
2. Adopts the Project Plan Amendment for TID #5, City of Kenosha, Wisconsin, as described in and attached hereto as Exhibit "A".
3. Recommends that the Common Council of the City of Kenosha also adopt this Project Plan Amendment.

Adopted this _____ day of _____, 2014

ATTEST:

Jeffrey B. Labahn, Secretary of City Plan Commission

APPROVED:

Keith G. Bosman, Chairman of City Plan Commission

Drafted by: Community Development & Inspections

EXHIBIT "A"

Project Plan Amendment Description Tax Incremental District #5

The Project Plan Amendment is to add \$1,050,000 for an up-front Cash Development Grant and additional public administrative, legal and other costs.

The estimated cost of the up-front Cash Development Grant is \$1,000,000 and will attract a new manufacturing facility to the Business Park of Kenosha. Project costs will include building, parking lot, related site improvements and equipment purchases. The project will create up to 200 jobs with an average salary of \$21 per hour.

The estimated cost of the public administrative, legal and other costs is \$50,000 and is added to cover any public costs associated with, but not limited to, processing the TID Project Plan Amendment, issuing G.O. Promissory Notes, preparing a Development Financing Agreement and any other activities associated with the district.

The Project Plan Amendment does not involve an amendment to the TID #5 boundaries as shown in Exhibit "B".

EXHIBIT "B"

**Project Plan Amendment Boundary Description
Tax Incremental District #5**

All of the Northeast Quarter and Northwest Quarter and part of the Southeast Quarter and Southwest Quarter of the Southeast Quarter; and part of the Northeast Quarter and Southeast Quarter of the Southwest Quarter; all in Section 32, Town 2 North, Range 22 East of the Fourth Principal Meridian, lying and being in the City of Kenosha, Kenosha County, Wisconsin and more particularly described as follows:

Beginning at the northeast corner of the Southeast Quarter of said Section 32, Town 2 North, Range 22 East; thence southeasterly along 88th Avenue, 2629.13 feet; thence southwesterly along 60th Street, 3392.95 feet; thence northwesterly 477.23 feet; thence southwesterly 26.77 feet; thence northwesterly 66.00 feet; thence northwesterly 200.28 feet, thence northwesterly 464.23 feet; thence northwesterly 377.63 feet; thence northeasterly 261.07 feet; thence northwesterly 66.00 feet; thence northeasterly 23.50 feet; thence northwesterly 23.50 feet; thence northeasterly 66.00 feet; thence northwesterly 76.50 feet; thence northwesterly 230.67 feet; thence northwesterly 270.65 feet; thence northeasterly 583.01 feet; thence northwesterly 430.00 feet; thence northeasterly along 52nd Street, 3035.50 feet, more or less, to the point of beginning.

RESOLUTION # _____

BY: THE MAYOR

**TO ADOPT A PROJECT PLAN AMENDMENT
FOR TAX INCREMENTAL DISTRICT #5, CITY OF KENOSHA, WISCONSIN,
UNDER SECTION 66.1105(4)(h)1., WISCONSIN STATUTES**

WHEREAS, Section 66.1105 of the Wisconsin Statutes, provides the authority and procedures for amending a Project Plan for a Tax Incremental District (TID); and

WHEREAS, the City Plan Commission, on December 4, 2014, at a duly authorized, noticed and convened meeting under Section 66.1105(4)(h)1., Wisconsin Statutes, held a public hearing which afforded interested parties a reasonable opportunity to express their views on the Project Plan Amendment for TID #5, City of Kenosha, Wisconsin; and

WHEREAS, the Project Plan Amendment, involves adding \$1,050,000 for an up-front Cash Development Grant and additional public administrative, legal and other costs, as described in and attached hereto as Exhibit "A" and does not involve an amendment to the boundaries of TID #5 as shown in Exhibit "B"; and

WHEREAS, at said meeting, the City Plan Commission, under Section 66.1105(4)(h)1., Wisconsin Statutes, found the Project Plan Amendment for TID #5, City of Kenosha, Wisconsin, to be feasible and in conformity with the Master Plan of the City of Kenosha, Wisconsin, adopted the Project Plan Amendment, and favorably recommended that the Common Council of the City of Kenosha adopt and approve the Project Plan Amendment.

NOW, THEREFORE, BE IT RESOLVED by the Common Council of the City of Kenosha, Wisconsin, that it:

1. Finds the Project Plan Amendment for TID #5, City of Kenosha, Wisconsin, to be feasible and in conformity with the Master Plan of the City; and
2. Deems the Project Plan Amendment to promote industrial development in the City of Kenosha, to be in the public interest and for a proper public purpose; and
3. Finds that the improvement of such area is likely to enhance significantly the value of substantially all of the other real property in the District; and
4. Confirms that not less than 50% by area of the real property within the district is suitable for "industrial uses" within the meaning of Section 66.1101, Wisconsin Statutes, and has been zoned for industrial uses; and
5. Finds that the project costs directly serve to promote industrial development within the District consistent with the purpose for which the Tax Incremental District was created; and
6. Confirms that the real property within the District has been found suitable for industrial sites, has been zoned for industrial use and will remain zoned for industrial use for the life of the tax incremental district; and
7. Confirms that the District is an Industrial District.

BE IT FURTHER RESOLVED that the Common Council of the City of Kenosha, Wisconsin, adopts the Project Plan Amendment for TID #5, City of Kenosha, Wisconsin, as recommended by the City Plan Commission and as described in and attached hereto as Exhibit "A".

Adopted this _____ day of _____, 2014

ATTEST:

Debra L. Salas, City Clerk/Treasurer

APPROVED:

Keith G. Bosman, Mayor

Drafted by: Community Development & Inspections

EXHIBIT "A"

Project Plan Amendment Description
Tax Incremental District #5

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The estimated cost of the public administrative, legal and other costs is \$50,000 and is added to cover any public costs associated with, but not limited to, processing the TID Project Plan Amendment, issuing G.O. Promissory Notes, preparing a Development Financing Agreement and any other activities associated with the district.

The Project Plan Amendment does not involve an amendment to the TID #5 boundaries as shown in Exhibit "B".

EXHIBIT "B"

**Project Plan Amendment Boundary Description
Tax Incremental District #5**

All of the Northeast Quarter and Northwest Quarter and part of the Southeast Quarter and Southwest Quarter of the Southeast Quarter; and part of the Northeast Quarter and Southeast Quarter of the Southwest Quarter; all in Section 32, Town 2 North, Range 22 East of the Fourth Principal Meridian, lying and being in the City of Kenosha, Kenosha County, Wisconsin and more particularly described as follows:

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RESOLUTION # 15-1

**BY: THE JOINT REVIEW BOARD FOR
TAX INCREMENTAL DISTRICT #5**

**TO APPROVE THE PROJECT PLAN AMENDMENT
FOR TAX INCREMENTAL DISTRICT# 5 CITY OF KENOSHA, WISCONSIN**

WHEREAS, Section 66.1105, Wisconsin Statutes, provides the authority and procedure for amending a Project Plan for a Tax Incremental District (TID); and

WHEREAS, a Joint Review Board was convened under the authority of Section 66.1105(4m), Wisconsin Statutes, for the purpose of reviewing the public record, planning documents and the Resolution passed by the Common Council of the City of Kenosha, Wisconsin, under 66.1105(4)(h)1., Wisconsin Statutes, relating to the proposed amendment of the Project Plan (the "Project Plan Amendment") of TID #5 of the City of Kenosha, Wisconsin (the "Tax Incremental District"); and

WHEREAS, the Joint Review Board has completed its review.

NOW, THEREFORE, BE IT RESOLVED by the Joint Review Board for TID #5, City of Kenosha, Wisconsin, that it approves Resolution # _____, adopted on December 15, 2014, by the Common Council of the City of Kenosha, Wisconsin, under Section 66.1105(4)(h)1., Wisconsin Statutes and the Project Plan Amendment, based on the following criteria:

1. That the development expected in the Tax Incremental District would not occur without the use of tax incremental financing.
2. That the economic benefits of the Tax Incremental District, as measured by increased employment, business and personal income and property value are sufficient to compensate for the cost of improvements.
3. That the benefits of the Tax Incremental District outweigh the anticipated loss in tax increments to be paid by the owners of property in the overlying taxing districts.
4. That, in its judgment, the development described in the Project Plan Amendment would not occur without the Project Plan Amendment

Adopted this _____ day of _____, 2014

ATTEST: _____, Staff

APPROVED: _____, Chairperson

Drafted by: Community Development & Inspections

**STATEMENT OF KIND, NUMBER AND LOCATION OF ALL PROPOSED
PUBLIC WORKS OR IMPROVEMENTS WITHIN THE DISTRICT AND A
DETAILED LIST OF ESTIMATED PROJECT COSTS AND
WHEN COSTS ARE EXPECTED TO BE INCURRED**

Development Grant costs include building, parking lot and related site improvements and equipment purchases. See attached map for location of all improvements. The Development Grant cannot be provided to the developer until a Development Grant Agreement per Wisconsin Statute 66.1105 (2)(f)2.d is executed.

City administrative, legal and related costs include amending the Project Plan, issuing the G.O. Promissory Notes, preparing the Development Grant Agreement and any other activities associated with the Amendment.

Description of Project Costs	2015	2016	2017	Total
Development Grant	\$1,000,000.00	\$0.00	\$0.00	\$1,000,000.00
City Administrative/Legal/ Related Costs	\$50,000.00	\$0.00	\$0.00	\$50,000.00
Total	\$1,050,000.00	\$0.00	\$0.00	\$1,050,000.00

Costs to be Recovered by TID	2015	2016	2017	Total
Project Costs	--	--	--	\$1,050,000.00
Financing Costs	--	--	--	\$390,366.67
Total	--	--	--	\$1,440,366.67

City of Kenosha
Cash Flow Projections - TID No. 5 - Industrial
Dissolution Date 04/15/94 - Expenditure Period 01/31/21
Creation Date 01/01/16 - Expenditure Period 01/31/21
Transfers Allowed Through 12/31/16 Without Board of Review Approval
Transfers Allowed Through 03/01/21 With Board of Review Approval
 Date Prepared: 10/27/14

Includes Proposed \$1,000,000 Grant Amendment

Cleaner Takes Place During Year	Value as of 01/01	Taxable Incremental Value	For Collection Year	Tax Rate	Tax Increment Collections	Other Revenues and Adjustments	Total All Revenues and Adjustments	Less Existing Debt Service	Proposed Amendment \$1,000,000 Taxable Through 12/31/14	Less Transfer To TID No. 4	Fund Balance 31-Dec	For Collection Year	Debt Principal Balance	
													12/31	12/31
1999	3,446,300	31,421,600	2001	36.150	831,248	13,369	835,027	(810,890)			472,991	2001	1,700,000	3,200,000
2000	3,624,600	34,865,400	2002	36.100	974,735	3,647,232	4,722,037	(4,750,735)			4,113	2002	0	1,700,000
2001	4,493,000	41,493,000	2003	35.500	1,122,801	20,901	1,212,801	(1,212,801)			41,130	2003	0	1,700,000
2002	5,771,100	57,371,100	2004	26.750	1,219,564	30,901	1,319,564	(1,241,099)			(689,654)	2004	0	1,700,000
2003	8,471,700	66,887,500	2005	23.970	1,397,523	(37)	1,397,486	(1,433,217)			(341,872)	2005	0	1,700,000
2004	8,949,700	66,887,500	2006	21.080	1,472,706	17,142	1,489,848	(1,486,026)			(275,240)	2006	0	1,700,000
2005	2,416,700	69,104,300	2007	21.360	1,482,961	13,441	1,496,402	(1,516,047)			(284,833)	2007	0	1,700,000
2006	2,893,100	78,093,300	2008	21.360	1,669,236	19,190	1,688,426	(1,688,426)			(185,249)	2008	0	1,700,000
2007	12,001,400	90,894,700	2009	21.000	2,225,329	1,020,613	3,245,942	(3,245,942)			1,809,439	2009	0	1,700,000
2008	5,653,300	95,815,200	2010	22.730	2,474,606	24,637	2,523,329	(2,523,329)			2,814,651	2010	0	1,700,000
2009	(9,930,400)	85,884,800	2011	27,240	2,944,023	22,035	2,966,096	(1,491,002)			4,338,423	2011	0	1,700,000
2010	(3,276,100)	82,608,700	2012	29,290	2,424,863	22,278	2,447,141	(1,641,968)			4,396,000	2012	0	1,700,000
2011	(3,686,600)	78,922,100	2013	30,950	2,448,666	2,300	2,450,966	(1,622,500)			0	2013	0	1,700,000
2012	2,169,200	81,091,300	2014	32,000	2,453,958	0	2,453,958	(1,742,300)			0	2014	0	1,050,000
2013	812,599	82,903,900	2015	32,000	2,472,498	0	2,472,498	0	(33,667)	(5,074,730)	0	2015	0	1,050,000
2014	2,820,695	85,724,600	2016	32,000	2,483,683	0	2,483,683	0	(42,000)	(2,420,591)	0	2016	0	1,050,000
2015	837,301	85,724,600	2017	32,000	2,510,310	0	2,510,310	0	(42,000)	(2,436,493)	0	2017	0	1,050,000
2016	365,965	85,724,600	2018	32,000	2,515,313	0	2,515,313	0	(42,000)	(2,521,683)	0	2018	0	1,050,000
2017	527,901	87,462,421	2019	32,000	2,613,273	0	2,613,273	0	(42,000)	(2,547,320)	0	2019	0	1,050,000
2018	874,624	89,337,045	2020	32,000	2,641,365	0	2,641,365	0	(42,000)	(2,599,320)	0	2020	0	1,050,000
2019	593,270	89,337,045	2021	32,000	2,667,779	0	2,667,779	0	(42,000)	(2,652,779)	0	2021	0	1,050,000
2020	892,204	90,112,619	2022	32,000	2,694,457	0	2,694,457	0	(42,000)	(2,652,457)	0	2022	0	1,050,000
2021	971,126	91,013,746	2023	32,000	2,721,401	0	2,721,401	0	(42,000)	(2,674,401)	0	2023	0	1,050,000
2022	979,213	92,002,959	2024	32,000	1,395,654	0	1,395,654	0	(1,071,000)	(324,654)	0	2024	0	1,050,000
2023	579,239	91,923,883	2025	32,000	0	0	0	0	0	0	0	2025	0	1,050,000
2024	528,431	92,341,122	2026	32,000	0	0	0	0	0	0	0	2026	0	1,050,000
2025	917,716	92,341,122	2027	32,000	0	0	0	0	0	0	0	2027	0	1,050,000
2026	947,093	94,709,209	2028	32,000	0	0	0	0	0	0	0	2028	0	1,050,000
2027	956,564	95,656,361	2029	32,000	0	0	0	0	0	0	0	2029	0	1,050,000
2028	956,564	96,612,925	2030	32,000	0	0	0	0	0	0	0	2030	0	1,050,000
2029	956,129	97,579,054	2031	32,000	0	0	0	0	0	0	0	2031	0	1,050,000

Amortization:
 Improvements amounts in years 2014 through 2029 include a 1.0% increase in taxable incremental values.
 (A) Actual
 (B) Rebuilding proceeds \$1,831,000 plus \$1,622 Mortgage Interest Income = \$3,453,022
 (C) Funds previously received for WTP#4 Land Contract payments of \$1,200,000 plus \$20,671 to adjust to 12/31/2016 address balance
 (D) Estimate
 (E) \$25,402 less 20% (5,080) = \$20,322
 (F) Estimate
 (G) To adjust to City fund report.
 Base Value = \$119,700

2015 - 2011 1916 Annual 45,000 sq. ft. 22,000,000 plus 1% Appreciation

City of Kenosha

\$1,050,000 Taxable G.O. Promissory Notes - Dated 12/15/14

TID No. 5 Developer Grant

Preliminary Estimate @ 4.0%

Debt Service Schedule -- Accrual Basis

Calendar Year	Principal	Coupon	Interest	Total P+I
2014	-	-	-	-
2015	-	-	33,366.67	33,366.67
2016	-	-	42,000.00	42,000.00
2017	-	-	42,000.00	42,000.00
2018	-	-	42,000.00	42,000.00
2019	-	-	42,000.00	42,000.00
2020	-	-	42,000.00	42,000.00
2021	-	-	42,000.00	42,000.00
2022	-	-	42,000.00	42,000.00
2023	-	-	42,000.00	42,000.00
2024	1,050,000.00	4.000%	42,000.00	42,000.00
			21,000.00	1,071,000.00
	\$1,050,000.00	-	\$390,366.67	\$1,440,366.67

Yield Statistics

Bond Year Dollars	\$9,759.17
Average Life	9.294 Years
Average Coupon	4.00000000%
Net Interest Cost (NIC)	4.1398685%
True Interest Cost (TIC)	4.1676749%
Bond Yield for Arbitrage Purposes	3.9976527%
All Inclusive Cost (AIC)	4.6035278%

IRS Form 8038

Net Interest Cost	4.00000000%
Weighted Average Maturity	9.294 Years

2014 - TID5 \$1.0M GO Note | SINGLE PURPOSE | 10/28/2014 | 10:51 AM

Piper Jaffray & Co.
Milwaukee Public Finance

City of Kenosha

\$1,050,000 Taxable G.O. Promissory Notes - Dated 12/15/14
TID No. 5 Developer Grant
Preliminary Estimate @ 4.0%

Sources & Uses

Dated 12/15/2014 | Delivered 12/15/2014

Sources Of Funds

Par Amount of Notes	<u>\$1,050,000.00</u>
Total Sources	<u>\$1,050,000.00</u>

Uses Of Funds

Grant Payment to Insinkerator	\$1,000,000.00
Quarles & Brady Fee	15,000.00
S&P Rating Fee	8,550.00
Moody's Rating Fee	9,450.00
Financial Advisor	1,050.00
Underwriter's Discount	13,650.00
Deposit to Debt Service Fund	<u>2,300.00</u>
	<u>\$1,050,000.00</u>

2014 - TIDS \$1.0M GO Note | SINGLE PURPOSE | 10/28/2014 | 10:51 AM

Piper Jaffray & Co.
Milwaukee Public Finance

**CHANGES IN ZONING ORDINANCE, MASTER PLAN, MAP,
BUILDING CODE AND CITY ORDINANCES**

No changes to the City of Kenosha Zoning Ordinance, Master Plan, Map, Building Code or City Ordinances are anticipated to accommodate the activities planned for this Project Plan Amendment. All City ordinances and code documents are readily available for public inspection and are incorporated herein by reference.

LIST OF ESTIMATED NON-PROJECT COSTS

There are no non-project costs.

**STATEMENT OF THE PROPOSED METHOD FOR THE
RELOCATION OF PERSONS TO BE DISPLACED**

All individuals and businesses to be displaced as a result of the activities occurring within the district as a part of this Project Plan will be provided assistance in conformance with Chapter 32, Wisconsin Statutes, and in conformance with any other state and federal rules and regulations as applicable.

STATEMENT OF CONFORMITY TO CITY OF KENOSHA MASTER PLANS

The development of this Project Plan Amendment conforms to the City of Kenosha's *Comprehensive Land Use Plan: 2035*, as amended January, 2014. The *Comprehensive Land Use Plan: 2035* is incorporated herein by reference.

STATEMENT OF ORDERLY DEVELOPMENT

Based upon the feasibility analysis of the proposed Project Plan Amendment and the goals established for the City as a part of the *Comprehensive Land Use Plan: 2035*, the amendment of this Tax Incremental District promotes the orderly development of the City.

OFFICE OF THE CITY ATTORNEY
MUNICIPAL BUILDING
625 - 52ND STREET, Room 201
Kenosha, Wisconsin 53140
PHONE (262) 653-4170
FAX (262) 653-4176



EDWARD R. ANTARAMIAN
CITY ATTORNEY
MATTHEW A. KNIGHT
DEPUTY CITY ATTORNEY
WILLIAM K. RICHARDSON
ASSISTANT CITY ATTORNEY
JONATHAN A. MULLIGAN
ASSISTANT CITY ATTORNEY
CHRISTINE M. GENTNER
ASSISTANT CITY ATTORNEY

November 14, 2014

Honorable Mayor
and Common Council
City of Kenosha
Kenosha, Wisconsin 53140

Re: Project Plan First Amendment for Tax Incremental
District Number 5 [TIF District No. 5]

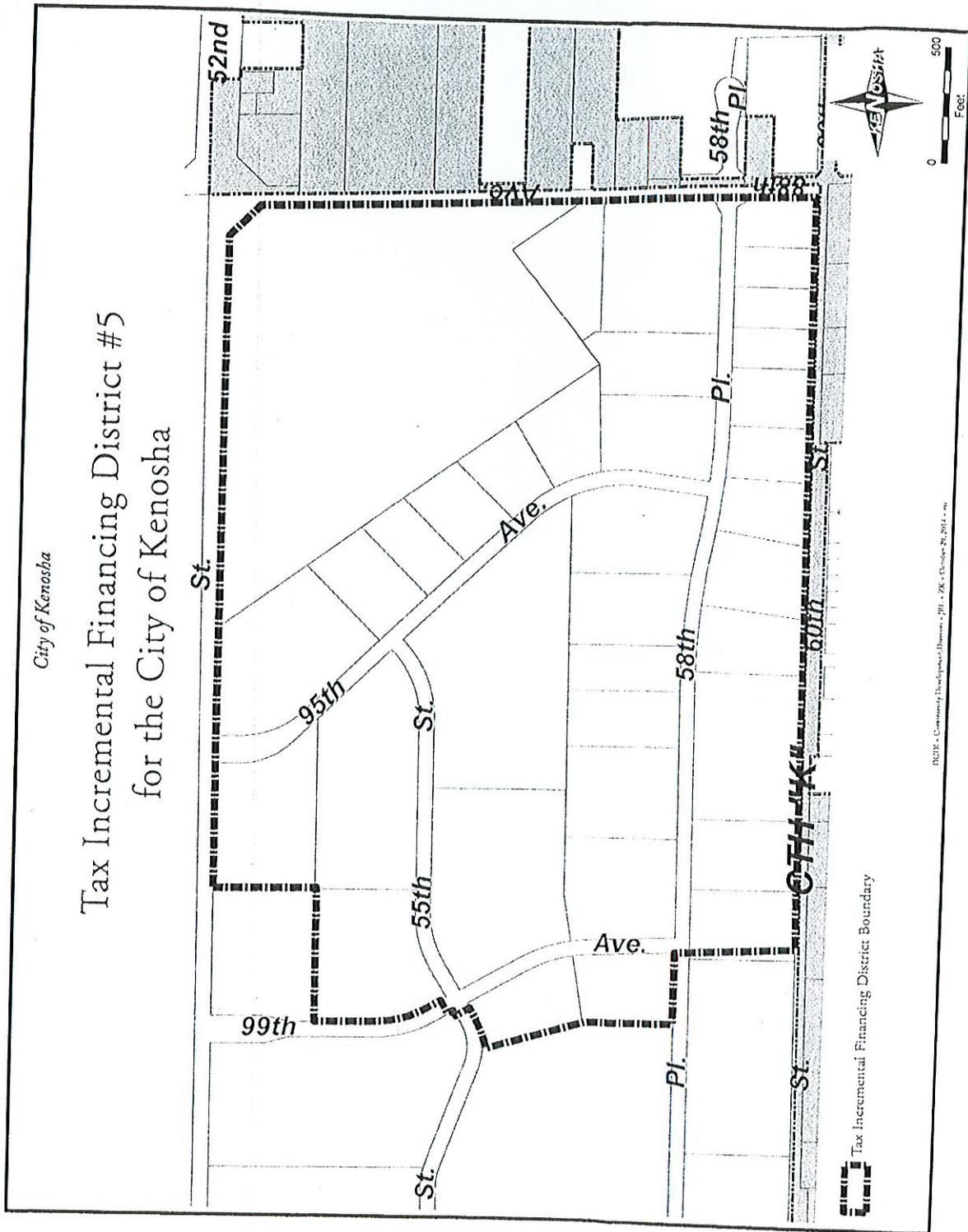
Dear Mayor and Members of the Common Council:

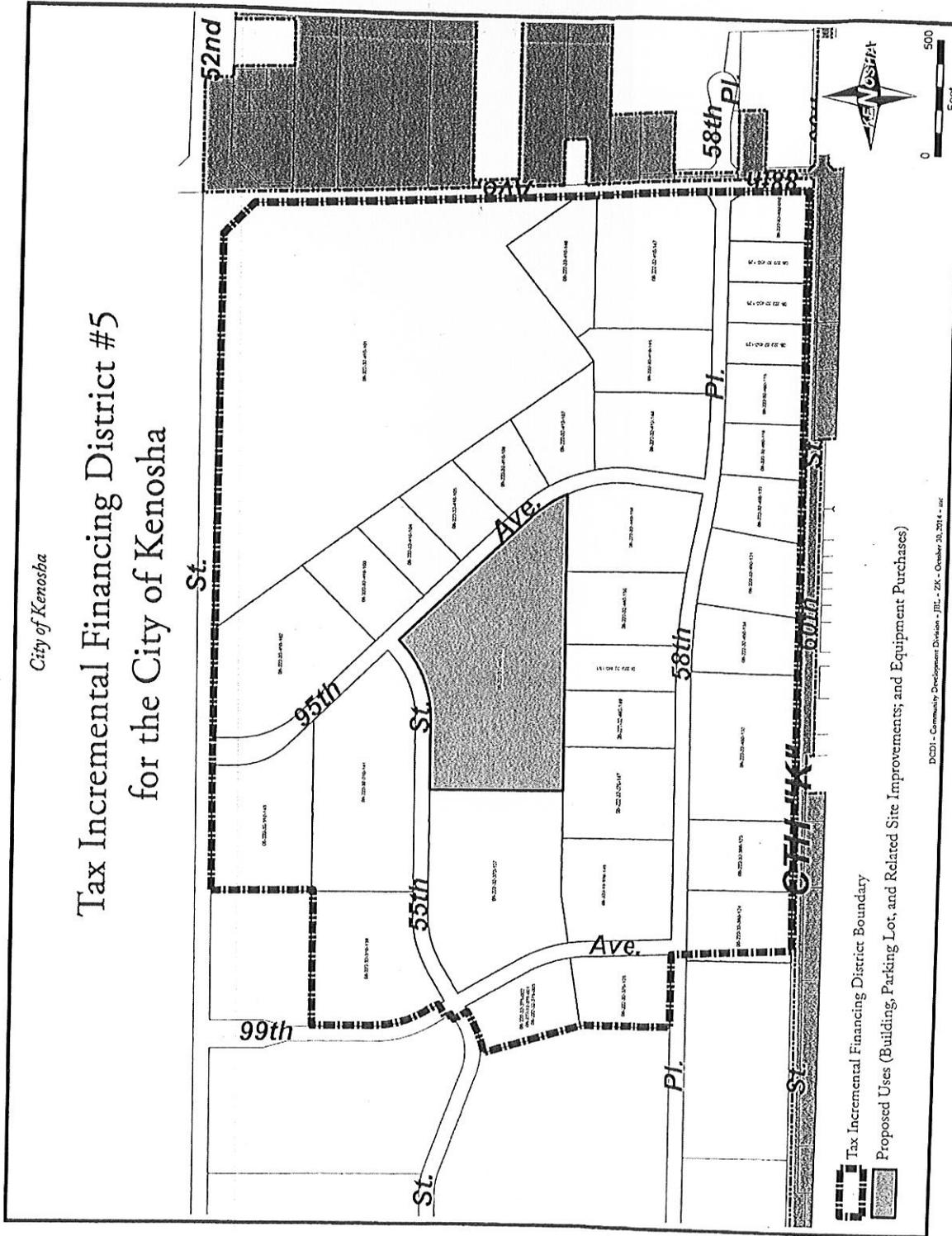
I have reviewed the above and conclude that it is complete and complies with Section
66.1105(4)(f), Wisconsin Statutes.

Respectfully submitted,


Edward R. Antaramian
City Attorney

City of Kenosha
 Tax Incremental Financing District #5
 for the City of Kenosha





RESOLUTION NO.

BY: THE MAYOR

**TO RESCIND THOSE PORTIONS OF RESOLUTION 75-11
THAT ESTABLISHED THE CITY SEAL AS THE LOGO AND
FLAG, AND ADOPT NEW CITY EMBLEMS AND A FLAG**

WHEREAS, cities, such as the City of Kenosha, have historically maintained city emblems or logos symbolically as a visual representation of their corporate and community identity, and practically for identification of their resources; and

WHEREAS, to maintain its identification function, consistency of display and uniformity of use, in a regulated manner, of symbolic emblems or logos is important; and

WHEREAS, the City of Kenosha has had a long history of using symbolic representations of the corporate body, in that prior to November 7, 1966, the City of Kenosha had an official city emblem that was a multi-color version of the City Seal; by Resolution 205-66, adopted by the Common Council on November 7, 1966, the City of Kenosha replaced its official city emblem with an irregular-shaped design containing a ship, a stylized factory, and a symbolic light of knowledge, until June 20, 2011, when by Resolution 75-11, the Common Council returned its official city emblem to the pre-November 7, 1966 version; and

WHEREAS, by Resolutions 205-66 and 75-11, the Common Council sequentially adopted official City flags, each consisting of a multi-colored representation of the then-current official city emblem as a central motif on a white background; and

WHEREAS, the Mayor recognized the need for a rebranding effort with a modern emblem to successfully market the City of Kenosha to a wide variety of critical audiences, including tourists, potential residents, investors, and companies; and

WHEREAS, by Resolution 165-13, the Common Council adopted the 2014-2018 Capital Improvement Plan that authorized a \$50,000 City contribution toward a \$100,000 total expenditure on a professionally-executed, City brand development project; and

WHEREAS, the City engaged the firm of Development Counsellors International for professional City brand development, which firm conducted interviews and surveys, and conducted other research before designing a modern emblem for the City; and

WHEREAS, Development Counsellors International has proposed three designs as contemporaneous, alternative modern emblems for use as official City emblems for the City of Kenosha, which are attached hereto as Exhibits A, B, and C; and

WHEREAS, Development Counsellors International has proposed that the three designs may be exhibited in either a gray-scale, monochrome aspect or a multi-colored aspect, but when used in the multi-colored aspect the logo colors are to be in the colors as indicated in Exhibit D, which is attached hereto, with color designations using the Pantone Matching System® (PMS) numbers, and when the phrase “City of Kenosha” is associated with the use of the multi-colored aspect, such phrase shall be in PMS number 7463.

NOW, THEREFORE, BE IT RESOLVED, that the Common Council for the City of Kenosha, Wisconsin, does hereby rescind only those portions of Resolution 75-11 that established the City seal as the official emblem and as the central motif for the official flag.

BE IT FURTHER RESOLVED, that the Common Council does hereby designate the emblems illustrated in Exhibits A, B, and C as alternate official emblems of the City of Kenosha to be used on letterhead, business cards, City internet web page, and all other documents, locations, equipment, or sites, where an official emblem is typically displayed.

BE IT FURTHER RESOLVED, that the alternate official emblems adopted herein shall be exhibited in either a gray-scale, monochrome aspect or a multi-colored aspect, but when used in the multi-colored aspect the logo colors shall be as indicated in Exhibit D, which is attached hereto, with color designations using the Pantone Matching System® numbers, and when the phrase “City of Kenosha” is associated with the use of the multi-colored aspect, such phrase shall be in Pantone Matching System number 7463.

BE IT FURTHER RESOLVED, that the official flag shall be the official emblem illustrated in Exhibit C in multi-colored aspect on a white background.

BE IT FURTHER RESOLVED, that the official emblems illustrated in Exhibits A, B, or C, in either the gray-scale, monochrome aspect, the multi-colored aspect, or a substantially similar version of the official emblems, will be used to the exclusion of all defunct emblems or logos on new supplies and equipment upon which the city logo or emblem appears.

Adopted this _____ day of _____, 2014.

ATTEST: _____ City Clerk

APPROVED: _____ Mayor

Date: _____

Drafted By:
EDWARD R. ANTARAMIAN
City Attorney

PLEASE REFER TO DOCUMENTS IN THE ENVELOPE PROVIDED SEPARATELY FOR TRUE COLOR REPRESENTATION OF THE LOGO CONCERNING EXHIBITS A,B,C, AND D.

**KEITH G. BOSMAN
MAYOR**

53140



*CITY OF KENOSHA
625 – 52nd Street
Kenosha, Wisconsin*

*(262) 653-4000
Fax (262) 653-4010*

Dec. 12, 2014

To: Aldermen
Re: City branding project

The Dec. 15, 2014 agenda includes a resolution seeking approval for a new city logo. The new logo was created as part of the city's Brand and Identity Development Project, with a goal of attracting new businesses and investments, increasing job opportunities and adding to the city's tax base. Funding was included in the 2014 budget for the branding project, with \$50,000 in city funds matched by an additional \$50,000 from community sponsors.

In April 2014, the City of Kenosha began its partnership with Development Counsellors International (DCI) through a contract to develop a Branding and Marketing Blueprint—complete with a new brand logo, tagline and marketing plan. It is important to note that the brand is not only represented visually by the logo, but also by the way the city represents itself through a marketing message. DCI conducted extensive research both within and outside the community to uncover key messages the City of Kenosha should use to promote its assets:

1. **Balance and having the best of all worlds:** Kenosha has small town charm and a Lake Michigan lifestyle with easy access to big city assets and world-class amenities in Chicago and Milwaukee.
2. **Adaption and reinvention:** Kenosha residents have a tenacious spirit with the proven ability to adapt and reinvent in the face of a changing global economic landscape.
3. **Personal fulfillment and giving:** Kenosha offers extraordinary cultural options in a community that values arts, entertainment, history, heritage, education and philanthropy.
4. **An express lane on the road to success.** Kenosha provides a pathway to the new American Dream with jobs, an affordable cost of living, high quality of life and the ability for citizens to make a difference.

DCI developed a marketing message which follows, incorporating those points under the tagline: **City of Kenosha: Chart a Better Course.**

The City of Kenosha's geographic location, less than an hour from both Chicago and Milwaukee, puts it right in the middle of opportunity, offering small town charm and a Lake Michigan lifestyle with easy access to big city assets and world-class amenities. Just as Kenosha's skilled workers once played a pivotal role in the U.S. auto industry,

the city's hardworking and tenacious residents and companies today epitomize Midwestern values, proving time and again that they can adapt and reinvent themselves and the community in the face of a constantly changing global economic landscape. With numerous unique and extraordinary cultural amenities, Kenosha is also a place where people prize and invest in the arts, entertainment, history, heritage, education and philanthropy.

The community's thriving economy provides diverse career options for the region's growing population in a location with an affordable cost of living, attractive housing options and the chance to make a difference in the community.

In sum, the City of Kenosha offers the chance to chart a better course on the road to the 21st century version of the American dream.

The logo visually emphasizes key assets of the marketing message, beginning with the color palette with two shades of blue signifying water and nautical images, and a golden yellow swirl representing the sun. The logo shape suggests forward motion, regeneration and pathways, while the negative space creates the letter K.

The 2015 budget includes \$100,000 to begin implementing the new brand. We anticipate updating the city web site as one of the first projects, along with stationary and other communication tools. Over time, the new logo will be phased in where appropriate on city equipment and assets.

Your support is appreciated as we move forward with updating the city's image.

RESOLUTION NO. _____

SPONSOR: ALDERPERSON SCOTT N. GORDON

**CO-SPONSORS: ALDERPERSON CURT WILSON
ALDERPERSON JAN MICHALSKI
ALDERPERSON ROCCO J. LAMACCHIA
ALDERPERSON KEITH ROSENBERG
ALDERPERSON PATRICK JULIANA
ALDERPERSON ERIC HAUGAARD**

**TO URGE THE WISCONSIN STATE MOOSE ASSOCIATION
TO SELECT THE CITY OF KENOSHA AS THE HOST CITY
FOR THE 2017 INTERNATIONAL YOUTH AWARENESS
CONGRESS**

WHEREAS, Moose International, which includes the Loyal Order of Moose and Women of the Moose, is a fraternal and service organization of men and women, dedicated to caring for young and old, bringing communities closer together and celebrating life; and

WHEREAS, for more than twenty-five (25) years, the Moose Youth Awareness Program has organized high school students into a highly effective speakers' bureau with the goal of educating preschool and elementary school-aged children on a variety of topics including drugs and alcohol abuse, stranger danger, bullying, peer pressure, health habits and nutrition; and

WHEREAS, each year Moose International conducts the International Youth Awareness Congress at which approximately sixty (60) high school students from throughout the United States and Canada are selected to attend the International Youth Awareness Congress; and

WHEREAS, the International Youth Awareness Congress is a student-run meeting over a four (4) day period, awarding \$30,000.00 in scholarships annually to participants; and

WHEREAS, the State of Wisconsin has been selected to host the 2017 International Youth Awareness Congress; and

WHEREAS, the Wisconsin State Moose Association will select the host city for the 2017 International Youth Awareness Congress; and

WHEREAS, the Loyal Order of Moose has had an active lodge operating in the City of Kenosha continuously since 1910 (104 years) with more than 2,500 members; and

WHEREAS, the City of Kenosha is located within close proximity to two international airports and provides highly desirable ADA compliant amenities including the waterfront, parks, museums, meeting spaces and lodging, making it an ideal location to host the International Awareness Congress.

NOW THEREFORE BE IT RESOLVED that the Common Council for the City of Kenosha urges the Wisconsin State Moose Association to consider and select the City of Kenosha as the host city for the 2017 International Youth Awareness Congress.

Adopted this _____ day of _____, 2014.

ATTEST: _____ City Clerk

APPROVED: _____ Mayor

Date: _____

Drafted By:
MATTHEW A. KNIGHT,
Deputy City Attorney



Engineering Division
Shelly Billingsley
Director of Engineering
Fleet Maintenance
Mauro Lenci
Superintendent
Park Division
Jeff Warnock
Superintendent

Street Division
John H. Prijic
Superintendent
Waste Division
Rocky Bednar
Superintendent

DEPARTMENT OF PUBLIC WORKS

Michael M. Lemens, P.E., Director
Shelly Billingsley, P.E., Deputy Director

Municipal Building · 625 52nd ST · RM 305 · Kenosha, WI 53140
Telephone (262) 653-4050 · Fax (262) 653-4056

Date: December 3, 2014

To: Alderperson Eric J. Haugaard, Chairman
Public Works Committee

Aldersperson Rocco J. LaMacchia Sr., Chairman
Public Safety and Welfare Committee

From: Shelly Billingsley, P.E.,
Deputy Director of Public Works / City Engineer

Subject: *Emergency Vehicle Pre-Emption System Agreements between the City and the Wisconsin Department of Transportation*

BACKGROUND INFORMATION:

Staff is working with the Wisconsin Department of Transportation (WisDOT) to install Emergency Vehicle Pre-Emption (EVP) on all WisDOT maintained traffic signals within the Kenosha Fire Department's jurisdiction. The following WisDOT signals are being updated and WisDOT has approached the City and asked if we would like to add EVP to these intersections:

- STH 31 and CTH S
- STH 31 and 45th Street

WisDOT will install and maintain infrared EVP equipment at all intersections and the City will install and maintain GPS EVP equipment at all intersections. Funding is available in the Capital Improvement Plan Project Number OT-09-006.

RECOMMENDATION:

Staff recommends approval of the EVP system agreements with WisDOT and authorize the Director of Public Works to execute the agreements.



**Division of Transportation
System Development**
Southeast Regional Office
141 N.W. Barstow Street
P.O. Box 798
Waukesha, WI 53187-0798

Scott Walker, Governor
Mark Gottlieb, P.E., Secretary
Internet: www.dot.wisconsin.gov

Telephone: (262) 548-5903
Facsimile (FAX): (262) 548-5662

E-Mail: waukesha.dtd@dot.wi.gov

NOVEMBER 10, 2014

CITY OF KENOSHA
ATTN: MR. CHASE KUFFEL
625 52ND STREET, ROOM 305
KENOSHA, WI 53140

Dear Mr. Kuffel:

Subject: EVP Request – Kenosha County
Location: STH 31 & CTH E – Northbound, Southbound, Eastbound and
Westbound, STH 31 & CTH L – Northbound, Southbound, Eastbound and
Westbound, STH 31 & CTH S – Northbound, Southbound, Eastbound and
Westbound, and STH 31 & 45th Street– Northbound, Southbound, Eastbound and
Westbound

This letter is in response to your request for Emergency Vehicle Pre-Emption (EVP) at the state maintained traffic signal located at; STH 31& CTH E, STH 31 & CTH L, STH 31 & CTH S and STH 31 & 45th St. The City of Kenosha will be responsible for providing all GPS EVP equipment and having a contractor install the equipment.

Enclosed please find three copies of the Emergency Vehicle Pre-emption System Agreement for each of the intersections stated above. Please review the agreements and, if conditions are satisfactory, sign and date all three copies and return them at your earliest convenience. One fully executed original of the agreement will be returned to you.

If you have any questions, please feel free to contact me at (262) 548-8736.

Sincerely,

A handwritten signature in cursive script that reads "David A. Brantner".

David A. Brantner, P.E.
Signal Operations Engineer

WISCONSIN DEPARTMENT OF TRANSPORTATION

Emergency Vehicle Pre-emption (EVP) System Agreement

This is a binding agreement between the Wisconsin Department of Transportation and the

City of Kenosha

This agreement stipulates the terms and conditions for use of Emergency Vehicle Pre-emption (EVP) systems at the state-owned traffic control signal located at the intersection of

STH 31 & CTH S

in the City of Kenosha/ Town of Somers

Description of route: Northbound, Southbound, Eastbound and Westbound

Listing of estimated number of vehicles to be outfitted: 32 Fire Department vehicles

Inventory of spare GPS EVP equipment shall be provided by the City of Kenosha.

The Department's Policy for *Use of Emergency Vehicle Pre-emption (EVP) Systems at State-Owned Traffic Control Signals* is hereby made a part of this agreement (copy attached). The following special terms or conditions also apply to this agreement:

ACCEPTED FOR THE

City of Kenosha

Local Government

BY _____ DATE _____

TITLE _____

APPROVED BY THE WISCONSIN DEPARTMENT OF TRANSPORTATION

BY _____ DATE _____

TITLE _____

Date August 2012

WISCONSIN DEPARTMENT OF TRANSPORTATION

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ACCEPTED FOR THE

City of Kenosha

Local Government

BY _____ DATE _____

TITLE _____

APPROVED BY THE WISCONSIN DEPARTMENT OF TRANSPORTATION

BY _____ DATE _____

TITLE _____

Date August 2012

STORMWATER MANAGEMENT PRACTICES
MAINTENANCE AGREEMENT FOR
STORMWATER MANAGEMENT FACILITIES
BETWEEN THE CITY OF KENOSHA, WISCONSIN,
AND GPT KENOSHA OWNER LLC

Document Number

Document Title

Return to:

Office of the City Attorney
City of Kenosha
625 52nd Street, RM 201
Kenosha, WI 53140

08-222-32-440-143

Parcel Identification Number

**STORMWATER MANAGEMENT PRACTICES
MAINTENANCE AGREEMENT FOR STORMWATER
MANAGEMENT FACILITIES**

Between

**THE CITY OF KENOSHA, WISCONSIN,
A Municipal Corporation,**

And

**GPT KENOSHA OWNER LLC
a Delaware Limited Liability Company**

THIS AGREEMENT, effective as of the last date of execution is entered into between the City of Kenosha, Wisconsin, a municipal corporation duly organized and existing under the laws of the State of Wisconsin (“CITY”) and GPT KENOSHA OWNER LLC, a Delaware limited liability company, c/o Gramercy Property Trust, 521 Fifth Avenue, 30th Floor, New York, New York 10175 (“OWNER”), collectively referred to as the Parties.

WITNESSETH:

WHEREAS, GPT KENOSHA OWNER LLC is the owner of real estate legally described on Exhibit A situated in the City of Kenosha, County of Kenosha, State of Wisconsin, hereinafter referred to as “REAL ESTATE”; and,

WHEREAS, the CITY, the OWNER, and the OWNER'S successors and assigns, including any owners' association, agree that the health, safety and welfare of the residents of the City of Kenosha, Wisconsin, require that on-site stormwater drainage facilities as shown on the plans approved as part of the Site Plan Review Approval hereinafter referred to as “Stormwater Management Facilities” be designed, constructed and maintained on the REAL ESTATE to properly manage stormwater runoff in accordance with Chapter XXXVI of the Code of General Ordinances for the City of Kenosha, as may be amended from time to time, the conditions of the Site Plan Review Approval and this Agreement; and

WHEREAS, the CITY requires that the on-site Stormwater Management Facilities are adequately maintained by the OWNER and the OWNER'S successors and assigns, including any owners' association, in accordance with Chapter XXXVI of the Code of General Ordinances for the City of Kenosha, as may be amended from time to time, the conditions of the Site Plan Review Approval and this Agreement.

AG StormWtr MngmntPracMaint_Final.110314

NOW, THEREFORE, in consideration of the mutual agreements of the Parties, CITY and OWNER agree as follows:

1. The OWNER and the OWNER'S successors and assigns, including any owners' association, shall regularly inspect the Stormwater Management Facilities on the REAL ESTATE as often as conditions require, but in any event at least twice each year. The Stormwater Inspection and Maintenance Checklist attached to this Agreement as Exhibit B, and by this reference made a part hereof, shall be used for the purpose of the regular inspections of the Stormwater Management Facilities on the REAL ESTATE. The OWNER and the OWNER'S successors and assigns, including any owners' association, shall keep the Stormwater Inspection and Maintenance Checklist from past inspections, as well as a log of maintenance activity indicating the date and type of maintenance completed for a period of three (3) years following such inspection or maintenance. The Stormwater Inspection and Maintenance Checklist and the Maintenance Log shall be made available to the City Stormwater Utility for review. The purpose of the inspections is to assure safe and proper functioning of the Stormwater Management Facilities on the REAL ESTATE. The inspections shall cover all Stormwater Management Facilities on the REAL ESTATE including, but not limited to, conveyance systems, berms, outlet structures, basin areas and access roads. Any deficiencies shall be noted in the Stormwater Inspection and Maintenance Checklist.

2. The OWNER and the OWNER'S successors and assigns, including any owners' association, shall adequately maintain all Stormwater Management Facilities on the REAL ESTATE, including, but not limited to, all pipes and channels built to convey stormwater to and from the Stormwater Management Facilities, as well as all structures, improvements and vegetation provided to control the quantity and quality of the stormwater. Adequate maintenance is herein defined as keeping the Stormwater Management Facilities in good working condition so that the Stormwater Management Facilities are performing their design functions and are maintained in accordance with the Stormwater Maintenance Standards attached to this Agreement as Exhibit C, hereinafter referred to as "Maintenance Standards".

3. The OWNER and the OWNER'S successors and assigns, including any owners' association, hereby grant permission to the CITY, its authorized agents and employees, to enter upon the REAL ESTATE to inspect the Stormwater Management Facilities whenever the CITY deems necessary. The purpose of inspection is to investigate reported deficiencies, respond to citizen complaints, and to determine compliance with Chapter XXXVI of the Code of General ordinances for the City of Kenosha, as may be amended from time to time, the conditions of the Site Plan Review Approval, and this Agreement. The Director of the CITY Stormwater Utility, or designee thereof, shall provide the OWNER and the OWNER'S successors and assigns, including any owners' association, copies of the inspection findings and a directive

AG StormWtr MngmntPracMaint_Final.110314

to commence with corrective actions, if necessary. Corrective actions shall be taken within a reasonable time frame as established by the Director of the CITY Stormwater Utility.

4. The OWNER and the OWNER'S successors and assigns may delegate the obligations imposed by this Agreement to any tenant of the REAL ESTATE, including Emerson Electric Co. d/b/a InSinkErator, the tenant of the REAL ESTATE as of the date of execution of this Agreement. The delegation of any obligations imposed by this Agreement to any tenant of the REAL ESTATE shall not relieve the OWNER or the OWNER'S successors and assigns from any obligations imposed upon the OWNER or the OWNER'S successors and assigns pursuant to this Agreement. The delegation of any obligations imposed by this Agreement to any tenant of the REAL ESTATE shall not be inconsistent with the terms of this Agreement.

5. If the OWNER or the OWNER'S successors and assigns, including any owners' association, fails to maintain the Stormwater Management Facilities on the REAL ESTATE in good working condition such that the Stormwater Management Facilities are not performing their designed control of the quantity and quality of stormwater acceptable to the Director of the CITY Stormwater Utility, or designee thereof, and does not perform the required corrective actions in the specified time following notice from the Director of the CITY Stormwater Utility, the CITY may take one or more of the following actions:

a. Issue a citation to the OWNER or the OWNER'S successors and assigns under Section 36.13 of the Code of General Ordinances for the City of Kenosha, as may be amended from time to time.

b. Perform the corrective actions identified in the Inspection Report and assess the OWNER or the OWNER'S successors and assigns, including any owners' association, for the cost of such work and all administrative costs associated with performing such work. The cost of such work shall be assessed against the REAL ESTATE as a special charge pursuant to Section 66.0627, Wisconsin Statutes. This provision shall not be construed to allow the CITY to erect any structure of a permanent nature on the land of the OWNER outside of the easement area for the Stormwater Management Facilities on the REAL ESTATE. It is expressly understood and agreed that the CITY is under no obligation to routinely maintain or repair the Stormwater Management Facilities on the REAL ESTATE, and in no event shall this Agreement be construed to impose any such obligation on the CITY.

c. Revoke the Stormwater Quality Credit and/or Stormwater Quantity Credit as defined in Chapter VIII of the Code of General Ordinances for the City of Kenosha, as may be amended from time to time, until OWNER submits a revised Stormwater Inspection and Maintenance Checklist or until the expiration of a minimum of one (1) year.

6. The OWNER and the OWNER'S successors and assigns, including any owners' association, will perform the work necessary to keep the Stormwater Management Facilities on the REAL ESTATE in good working order, as appropriate. The minimal amount of

maintenance required to be performed on the Stormwater Management Facilities shall be in accordance with the Maintenance Standards attached as Exhibit C which may be amended by CITY from time to time, provided Owner is given written notice of any such amendments.

7. In the event CITY, pursuant to this Agreement, performs work of any nature, or expends any funds in performance of said work for labor, use of equipment, supplies, materials and the like, the OWNER and the OWNER'S successors and assigns, including any owners' association, shall reimburse the CITY within thirty (30) days of receipt of written demand for payment of all actual costs incurred by the CITY hereunder. Failure of the OWNER and the OWNER'S successors and assigns, including any owners' association to reimburse the CITY within thirty (30) days shall result in the costs being assessed against the REAL ESTATE as a special charge pursuant to Section 66.0627, Wisconsin Statutes.

8. Under this Agreement, CITY assumes no responsibility or any liability in the event the Stormwater Management Facilities on the REAL ESTATE fail to operate properly and OWNER and the OWNER'S successors and assigns, including any owners' association, shall indemnify, defend and hold harmless CITY, its officers, employees and agents against any such claims.

9. This Agreement shall be attached as an exhibit to any document which creates an owners' association that is responsible for maintenance of the Stormwater Management Facilities on the REAL ESTATE, shall be recorded at the Kenosha County Register of Deeds, shall constitute a covenant running with the land, and shall be binding on the OWNER and the OWNER'S successors in interest, including any owners' association. The OWNER shall provide the Director of the CITY Stormwater Utility with a copy of any document which creates an owners' association that is responsible for maintaining the Stormwater Management Facilities on the REAL ESTATE.

10. All notices, requests, demands and other matters required to be given, or which may be given hereunder, shall be in writing and shall be deemed given when delivered in person or when deposited in the United States mail, certified, return receipt requested, postage prepaid, or equivalent private overnight delivery service, addressed to the respective Party at the addresses stated below:

a. OWNER:

GPT KENOSHA OWNER LLC
c/o Gramercy Property Trust
521 Fifth Avenue, 30th Floor
New York, New York 10175
Attention: Allan B. Rothschild

With copies to:

GPT KENOSHA OWNER LLC
c/o Gramercy Property Trust
521 Fifth Avenue, 30th Floor
New York, New York 10175
Attention: Office of the General Counsel

b. CITY:

City Clerk/Treasurer
City of Kenosha
625 52nd Street, Room 105
Kenosha, Wisconsin 53140

With copies to:

Director, Stormwater Utility
City of Kenosha
625 52nd Street, Room 305
Kenosha, Wisconsin 53140

and

Office of the City Attorney
City of Kenosha
625 52nd Street, Room 201
Kenosha, Wisconsin 53140

11. This Agreement shall be governed by and construed in accordance with the laws of the State of Wisconsin.

12. Nothing contained herein shall be deemed to be a dedication of the Stormwater Management Facilities on the REAL ESTATE to the public. OWNER reserves all rights to use the REAL ESTATE for all purposes not inconsistent with the rights granted to the CITY herein.

Signatures on following pages

IN WITNESS WHEREOF, the parties hereto have caused this instrument to be executed on the dates below given.

CITY OF KENOSHA, WISCONSIN,
A Wisconsin Municipal Corporation,

BY: _____
KEITH G. BOSMAN, Mayor

Date: _____

BY: _____
DEBRA SALAS, City Clerk/Treasurer

Date: _____

STATE OF WISCONSIN)
 :SS.
COUNTY OF KENOSHA)

Personally came before me this ____ day of _____, 20__, KEITH G. BOSMAN, Mayor, and DEBRA SALAS, City Clerk/Treasurer, of the CITY OF KENOSHA, WISCONSIN, a Wisconsin municipal corporation, to me known to be such Mayor and City Clerk/Treasurer of said municipal corporation, and acknowledged to me that they executed the foregoing instrument as such officers as the Agreement of said corporation, by its authority.

Notary Public, Kenosha County, Wisconsin
My Commission expires/is: _____

EXHIBIT A

LEGAL DESCRIPTION

Lot 36, excepting the West 108.00 feet thereof, and Lots 33, 34 and 35 of Business Park of Kenosha, recorded on June 21, 1994 in Volume 1689, Pages 640-642, as Document No. 966278, being a part of the Southeast 1/4 of Section 32, Township 2 North, Range 22 East of the Fourth Principal Meridian, in the City of Kenosha, Kenosha County, Wisconsin, being more particularly described as follows:

Commencing at the Southeast corner of said Lot 33; thence South 89 degrees 15 minutes 14 seconds West along the South line of Lots 33, 35 and 36 aforesaid 1292.56 feet to a point; thence North 00 degrees 31 minutes 32 seconds West parallel to the West line of Lot 36 aforesaid 564.07 feet to a point; thence North 89 degrees 28 minutes 28 seconds East along the South line of 55th Street 305.10 feet to a point; thence Northeasterly 383.32 feet along said South line of 55th Street and the arc of a curve whose center lies to the Northwest, whose radius is 495.54 feet and whose chord bears North 67 degrees 18 minutes 51 seconds East 373.83 feet to a point; thence South 44 degrees 50 minutes 46 seconds East along the West line of 95th Avenue 769.06 feet to a point; thence Southeasterly 183.24 feet along the West line of said 95th Avenue and the arc of a curve whose center lies to the Southwest, whose radius is 547.48 feet and whose chord bears South 35 degrees 15 minutes 28 seconds East 182.39 feet to the point of commencement.

EXHIBIT B

Stormwater Inspection and Maintenance Checklist

Owner: <u>GPT KENOSHA OWNER LLC</u>	Phone No.: _____			
Parcel No.: <u>08-222-32-440-143</u>	Address: <u>5612 95th Avenue</u>			
City: <u>Kenosha</u>	State: <u>Wisconsin</u>			
Zip: <u>53144</u>	Contact Name: _____			
Date of Inspection (mm/dd/yy): _____	Inspection <input type="checkbox"/> 6 Month <input type="checkbox"/> Other _____			
Time of Inspection Start: _____ End: _____	Name of Individual Performing Inspection (please print): _____			
Weather Conditions during Inspection: _____				
Stormwater Facility Inspection				
Condition	Good	Bad	Requires Maintenance	Notes: (Condition / Corrective Action)
General Site Conditions				
Greenspace				
Catch Basins (Must be Cleaned when 6" Sediment has accumulated)				
Storm Sewer				
Gutters/Downspouts				
Signature of Inspector _____		Date: _____		
Signature of Owner _____		Date: _____		

EXHIBIT C

Storm Water Maintenance Standards – 5612 95th Avenue

1. Greenspace: Vegetation shall be maintained to prevent erosion caused by stormwater runoff. An inspection shall be made at least every 6 months. If vegetation is no longer in good condition it shall be replanted.
2. Storm Sewer: All storm sewers shall be inspected once a year. This inspection shall include the condition of the main line storm sewers to ensure that the system is functioning according to the design requirements.
3. Catch Basins and inlets: All catch basins and inlets shall be inspected every 6 months and periodically cleaned to remove accumulated sediment
4. Gutters and Downspouts: All building's gutters and downspouts shall be inspected every 6 months and periodically cleaned to remove accumulated sediment.

**DEVELOPMENT FINANCING AGREEMENT
(TAX INCREMENTAL DISTRICT NO. 17)**

THIS AGREEMENT is entered into as of this ____ day of December, 2014 (the “Effective Date”), between the City of Kenosha, Wisconsin (the “City”), 5th Avenue Lofts, LLC, a Wisconsin limited liability company (the “Phase I Developer”), and Keno Wells LLC, a Wisconsin limited liability company (the “Phase II Developer” and together with the Phase I Developer, the “Developers” or “Developer”).

WHEREAS, the Phase I Developer will acquire from the Phase II Developer a portion of the property described on Exhibit A-1 and shown as “Phase I Property” on Exhibit A-3 (the “Phase I Property”) which the Phase I Developer intends to develop for residential uses as described on Exhibit B (the “Phase I Development”); and

WHEREAS, the Phase II Developer owns the property described on Exhibit A-2 and shown as “Phase II Property” on Exhibit A-3 (the “Phase II Property and together with the Phase I Property, the “Property”) which the Phase II Developer currently intends to develop in the future for residential uses as set forth on Exhibit B (the “Phase II Development” and together with the Phase I Development, the “Developments”); and

WHEREAS, the Phase II Developer intends to record a certified survey map which divides the Phase I Property into two lots as shown on Exhibit A-4 (the “Proposed CSM”); and

WHEREAS, after recording the Proposed CSM, the Phase I Developer intends to acquire from the Phase II Developer the portion of the property described as the “Phase I Property” on the copy of the Proposed CSM attached to this Agreement as Exhibit A-4; and

WHEREAS, acquisition of that property by the Phase I Developer is a condition to the City’s obligations under this Agreement; and

WHEREAS, the Property is located in the City’s Tax Incremental District No. 17 (the “District”) which the City has established in order to finance project costs related to eliminating blight within the District as permitted under Wis. Stats. Section 66.1105; and

WHEREAS, the Phase I Developer plans to expend certain costs to construct the Phase I Development on the Phase I Property, and the Phase II Developer may expend certain costs to construct the Phase II Development on the Phase II Property, all such costs as described on Exhibit C hereto (the “Project Costs”); and

WHEREAS, the Developments will serve the purpose of eliminating the blighted conditions which exist in the District in accordance with Section 66.1105(4)(gm)(4)(a)-(b) of the Wisconsin Statutes; and

WHEREAS, the City has determined that the Developments and the Bond Payments (defined below) related to them serve a public purpose by eliminating blighted conditions and encouraging residential development in the City, enhancing City’s tax base, promoting

employment opportunities, inducing appropriate development of the Property, and encouraging development of nearby parcels; and

WHEREAS, the Developers would not undertake the Developments without the availability of tax increment financing as provided in this Agreement.

NOW, THEREFORE, the City and the Developers, in consideration of the terms and conditions contained in this Agreement and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, agree as follows:

1. REPRESENTATIONS AND WARRANTIES OF THE DEVELOPERS.

(a) Phase I Developer makes the following representations and warranties, as of the Effective Date, which the City may rely upon in entering into this and all other agreements with Phase I Developer and in executing this Agreement and performing its obligations hereunder:

(i) 5th Avenue Lofts, LLC is a duly formed and existing limited liability company in good standing under the laws of the State of Wisconsin.

(ii) Phase I Developer will acquire fee ownership of the portion of the property described as the “Phase I Property” on Exhibit A-4 from the Phase II Developer as a condition precedent to the issuance of the Bond, as provided in Section 2.2 below.

(iii) The execution, delivery and performance of this Agreement and the consummation of the transactions contemplated hereby have been duly authorized and approved by the Phase I Developer, and no other or further acts or proceedings of Phase I Developer are necessary to authorize and approve the execution, delivery and performance of this Agreement and the matters contemplated hereby. This Agreement, and the exhibits, documents and instruments associated herewith and made a part hereof, have been duly executed and delivered by the Phase I Developer and constitute the legal, valid and binding agreement and obligation of the Phase I Developer, enforceable against it in accordance with its terms, except as the enforceability thereof may be limited by applicable bankruptcy, insolvency, reorganization or similar laws affecting the enforcement of creditors’ rights, generally, and by general equitable principles.

(iv) There are no lawsuits filed or pending, or to the knowledge of Phase I Developer, threatened against Phase I Developer that may in any way jeopardize or materially and adversely affect the ability of the Phase I Developer to perform its obligations hereunder.

(v) Subject to the terms of this Agreement, as of the Effective Date, the Phase I Developer has or will have, prior to the commencement of the Phase I Development, sufficient available funds and resources to enable the Phase I Developer to complete the Phase I Development, and to carry out Phase I Developer’s other obligations under this Agreement (the “Phase I Financing”). Upon the request of the City, the Phase I Developer agrees to make available to the City’s private financial advisor for inspection evidence of its financial resources reasonably sufficient to demonstrate its ability to complete the Phase I Development. The Phase I Developer shall promptly notify the City of any material adverse change in its financial condition that is reasonably likely to adversely affect the ability of the Phase I Developer to satisfy its

obligations under this Agreement. The City agrees to use reasonable safeguards to maintain the confidentiality of any financial or confidential information of Phase I Developer to the maximum extent permitted under applicable law.

(b) Phase II Developer makes the following representations and warranties, as of the Effective Date, which the City may rely upon in entering into this and all other agreements with Phase II Developer and in executing this Agreement and performing its obligations hereunder:

(i) Keno Wells LLC is a duly formed and existing limited liability company in good standing under the laws of the State of Wisconsin.

(ii) Phase II Developer is the fee owner of the Phase II Property. Unless ownership of the Phase I Property has been transferred to the Phase I Developer as of the Effective Date, the Phase II Developer is also the fee owner of the Phase I Property.

(iii) The execution, delivery and performance of this Agreement and the consummation of the transactions contemplated hereby have been duly authorized and approved by the Phase II Developer, and no other or further acts or proceedings of Phase II Developer are necessary to authorize and approve the execution, delivery and performance of this Agreement and the matters contemplated hereby. This Agreement, and the exhibits, documents and instruments associated herewith and made a part hereof, have been duly executed and delivered by the Phase II Developer and constitute the legal, valid and binding agreement and obligation of the Phase II Developer, enforceable against it in accordance with its terms, except as the enforceability thereof may be limited by applicable bankruptcy, insolvency, reorganization or similar laws affecting the enforcement of creditors' rights, generally, and by general equitable principles.

(iv) There are no lawsuits filed or pending, or to the knowledge of Phase II Developer, threatened against Phase II Developer that may in any way jeopardize or materially and adversely affect the ability of the Developer to perform its obligations hereunder.

2. CONSTRUCTION OF THE PHASE I DEVELOPMENT.

2.1 Construction of the Phase I Development. (a) The Phase I Developer shall, subject to and conditioned upon Phase I Developer's receipt of (i) all necessary governmental approvals and permits, including subdivision approvals, and (ii) an award of certain Section 42 tax credits to Developer from the Wisconsin Housing and Economic Development Authority, construct the Phase I Development on the Phase I Property in accordance with this Agreement, a Conditional Use Permit which must be approved by the City (the "Conditional Use Permit") and a Development Agreement to be approved by the City and entered into by Phase I Developer and the City (the "Development Agreement"). The Phase I Development shall be in compliance with all applicable municipal ordinances of the City, the requirements of Site Assessment Grant FY13-21910 the ("SAG"), and the terms of the Conditional Use Permit and the Development Agreement, and with any pertinent provisions of the Project Plan for Tax Incremental District No. 17, a copy of which is attached hereto as Exhibit D (the "Project Plan").

(b) The Developer shall be responsible for payment of the administrative costs of the City which are described on Exhibit C (the "Administrative Costs"). The Administrative Costs shall be included in Project Costs.

2.2 Issuance of Revenue Bond to Developer; Bond Payments. Provided that (i) the Phase I Developer has acquired fee ownership of the portion of the Property described as the "Phase I Property" on Exhibit A-4 and (ii) the Phase I Development has been constructed as described in Section 2.1(a) above and complies with all municipal ordinances of the City, the requirements of the SAG, the terms of the Conditional Use Permit and the Development Agreement, the City shall issue to the Phase I Developer, the Bond (defined below). In each year, beginning in 2016 and ending in 2037 (or sooner, if all of the outstanding principal and interest on the Bonds has been paid in full by the City in accordance with the Bonds), provided that the Developer is not delinquent in the payment of property taxes with respect to the Property, the City shall, subject to annual appropriation by the Common Council, make Bond Payments in an amount equal to the tax increment revenue generated by the Property (the "Tax Increments") to the Phase I Developer, in accordance with the terms of this Agreement and the Bond described below (or to any transferee of the Bond, in accordance with the terms of this Agreement or the Bond) (all such payments, collectively, the "Bond Payments"). The Tax Increments shall be calculated based on the tax incremental base value for the District determined by the Wisconsin Department of Revenue as of January 1, 2014. The City's obligation to make such Bond Payments to the Phase I Developer shall be evidenced by a revenue bond issued by the City to the Phase I Developer pursuant to Wis. Stats. Section 66.0621 (the "Bond"). The Bond shall be in substantially the form set forth on Exhibit E hereto, provided that, notwithstanding any payment schedule included in the Bond, or any other provision of this Agreement or the Bond to the contrary, the amount of the Bond Payments paid by the City to the Phase I Developer (or its transferee) each year shall be the full amount of the Tax Increments generated that year.

The Bond shall be in a principal amount equal to the actual Project Costs (which shall be determined in accordance with Section 2.3 below) but not to exceed \$1,525,000. The Bond shall be dated its date of issuance and shall bear interest from that date at the rate of [5.98%] per annum (subject to confirmation to the City by the Developers' lender that such rate represents the Developers' cost of capital at the start of the Phase I Development).

The City covenants and agrees as follows: (a) its staff will include payments on the Bond to be made each year in its annual budget as submitted to City's Common Council for approval, and further covenants that its staff will request the necessary appropriation from the Common Council for the full amount of the Tax Increment to be generated that year, will advise the Common Council of any effect on City's credit rating of any failure to appropriate sufficient funds toward payment of the Bonds, and will exhaust all available administrative reviews and appeals in the event that that portion of the budget is not approved; (b) if the City's proposed annual budget does not in any year provide for appropriation of amounts sufficient to make the payments due on the Bond in the full amount of the Tax Increment in that year, the City will notify the Developer (and, if the Bond or rights to payments thereunder has been transferred or assigned in accordance with the provisions of Section 8 of this Agreement, the owner or owners of the Bond or the party entitled to receive payments thereunder) of that fact prior to the date the budget is presented to the Common Council for final approval, (c) funds in the special fund of

the District shall not be used to pay any other project costs of the District or applied to any other purpose until the Bond Payments have been made, and (d) the City shall take no action to dissolve the District prior to October 1, 2037 or the payment of all principal and interest due under the Bonds (whichever occurs first).

2.3 Cost of Developer's Improvements; Principal Amount of the Bond. (a) As provided in Section 2.2 above, the principal amount of the Bond shall be equal to the actual Project Costs, but not to exceed \$1,525,000. The Project Costs, for purposes of this Agreement, shall be initially determined as of the date of issuance of the Bond and shall be recalculated by the City as of October 1, 2016, based on the procedure described in (b) below.

(b) On or before January 1, April 1, July 1 and October 1 of each of the years 2015 and 2016, the Developers shall provide the City with a statement of the Project Costs with respect to each phase of the Property in the preceding calendar quarter, including all contracts, invoices and other documentation relating to the Project Costs that are reasonably necessary to document the cost of the Project Costs ("Developer's Improvements Statement"). Following submission of each Developer's Improvements Statement, the City shall have a review period (the "Review Period") to confirm the amount of Project Costs. The "Review Period" shall consist of (A) thirty (30) calendar days after receipt of the Developer's Improvements Statement with respect to the period before the issuance of the Bond and with respect to each January 1, April 1 or July 1 and (B) fifteen (15) business days after receipt of the Developer's Improvements Statement with respect to each October 1. The City and the Developers shall work together with reasonable diligence to confirm the Project Cost amount. The City shall notify the Developers within five (5) business days after the expiration of the Review Period if it believes the Project Costs have not increased as set forth in the Developer's Improvements Statement. The City and the Developers shall cooperate in good faith to resolve any disagreements over the Project Costs. The Project Costs shall increase for purposes of this Agreement only if and to the extent the City reasonably determines based on the Developer's Improvement Statements that the Project Costs have increased; provided that, if the City fails to notify the Developers within five (5) business days after the expiration of the Review Period that the Project Costs have not increased as set forth in a Developer's Improvements Statement, such failure shall be deemed a determination by the City that the Project Costs have increased as stated in the Developer's Improvements Statement.

(c) The Bond shall be issued upon completion of the Phase I Development (but in any event no later than 30 days after the issuance by the City of a certificate of occupancy with respect to the Phase I Development) (the "Completion Date") based on the Project Costs as of the Completion Date, and interest shall accrue from the Completion Date on the principal amount of the Bond. A final determination of the Project Costs shall be made as of October 1, 2016, and the principal amount of the Bond shall be increased to an amount equal to the actual Project Costs (not to exceed \$1,525,000), and interest shall accrue from that October 1 on the increased principal amount of the Bond.

3. NO PROPERTY TAX EXEMPTION. The Developer shall not (a) apply for an exemption from property taxes with respect to the Property or (b) transfer the Property to an entity that is lawfully exempt from the payment of property taxes unless the transferee agrees to make a payment in lieu of taxes in an amount equal to the City portion of all property taxes that

would have been paid by such transferee were it not exempt from taxation. The Developers' obligation under this Section 3 shall survive any termination of this Agreement.

4. TERM AND TERMINATION. The term of this Agreement shall begin on the date of this Agreement set forth above and shall continue until October 1, 2037, unless sooner terminated in accordance with the termination by the City of Tax Incremental District No. 17 in accordance with this Agreement and pursuant to § 66.1105(7), Wis. Stats., as amended.

5. DEFAULT. In the event that either the City or the Developer defaults under any material terms or conditions of this Agreement, and such default continues for a period of ninety (90) days or more after receipt of written notice of the default from the non-defaulting party, the defaulting party shall be responsible for all costs and expenses incurred by reason of such default, including, but not limited to, any legal expenses incurred by the non-defaulting party. The rights and remedies of the non-defaulting party shall not be limited to those, if any, specified in this Agreement, but the non-defaulting party shall have the rights and remedies to which it may be entitled, either at law or in equity (provided that in no case shall either party be liable to the other for any indirect costs or consequential damages that result from an event of default hereunder).

6. ASSIGNMENT OF AGREEMENT. This Agreement shall not be assignable by the Developers without the prior written consent of the City; provided, however, that upon notice to the City, the Developers may assign this Agreement to a Lender in connection with a mortgage on the Property, subject to all terms and conditions of this Agreement. Notwithstanding the foregoing, upon notice to the City, the Phase II Developer may assign its interest in this Agreement to an affiliate of the Phase II Developer, as the owner of the Phase II Property, for purposes of constructing and owning the Phase II Development, or any portion thereof.

7. SUCCESSORS AND ASSIGNS. This Agreement shall be binding upon the successors and assigns of the Developers; however, this provision shall not constitute an authorization for the Developers to assign or transfer its rights and obligations under this Agreement except as provided in this Agreement and the Bond.

8. TRANSFER OR ASSIGNMENT OF BOND.

(a) Subject to subsection (b) and (c) below, the Bond may be transferred or assigned by the registered owner thereof (in whole or in part) only with the consent of the City by surrender of the Bond at the office of the City Clerk accompanied by an assignment duly executed by the registered owner or his attorney duly authorized in writing.

(b) The initial Bond will be issued to and in the name of the Phase I Developer. Notwithstanding Section 8(a) above, upon the request of the Phase I Developer to the City and payment by the Phase I Developer within thirty (30) days of invoice of any legal or other costs that result from such assignment, the Phase I Developer may, at one time during the term of this Agreement, assign its rights to payments on the Bond, in whole or in part, to the Phase II Developer (or an affiliate of the Phase II Developer to whom the Bond is assigned as permitted by the terms of Section 6 above), it being the intent that each of the Phase I Developer and Phase II Developer will be entitled to that portion of the Bond Payments up to the amount of the Tax Increment generated by each of the Phase I Property and Phase II Property as shown on

Exhibit A-4 respectively, provided, however in no event shall the aggregate amount of the Bond Payments made to the Developers in any year exceed the amount of the Tax Increment for the whole Property. In all events, the aggregate principal amount of the Bond Payments, and of the Bond issued, shall not exceed \$1,525,000.

(c) In accordance with Section 6 of this Agreement, upon notice to the City, the Developer may assign any Bond to any Lender as part of a mortgage loan to Developer.

9. MISCELLANEOUS.

9.1 Notices. All notices, demands, certificates or other communications under this Agreement shall be sufficiently given and shall be deemed given when hand delivered or when mailed by certified mail, postage prepaid, or sent by recognized commercial courier properly addressed as indicated below:

To the Phase I Developer: 5th Avenue Lofts, LLC
4011 80th Street
Kenosha, WI 53142

with a copy to:

Boston Capital Direct Placement, a Limited
Partnership
One Boston Place, 21st Floor
Boston, MA 02108
ATTN: Asset Management (5th Avenue Lofts)

To the Phase II Developer: Keno Wells LLC
4011 80th Street
Kenosha, WI 53142

To the City: City of Kenosha
ATTN: Director of Finance
625 – 52nd Street
Kenosha, WI 53140

Any party may, by written notice to the other party, designate a change for notice purposes.

9.2 No Waiver. No waiver of any provision of this Agreement shall be deemed or constitute a waiver of any other provision, nor shall it be deemed to constitute a continuing waiver unless expressly provided for by a written amendment to this Agreement, nor shall it be deemed or constitute a waiver of any subsequent default or defaults of the same type.

9.3 Mutual Assistance. The City and the Developers shall do all things reasonably necessary or appropriate to carry out the terms, provisions and obligations of this Agreement and to aid and assist each other in carrying out this Agreement, including, without limitation, the giving of notices, the holding of public hearings, the enactment by the City of resolutions and ordinances, and the execution and delivery of documents, instruments, petitions and certifications. The City and the Developers shall cooperate fully with each other in seeking from

any or all appropriate governmental bodies (whether federal, state, county or local) any approvals and permits that are reasonably necessary or desirable.

9.4 Governing Law. This Agreement concerns real property located in the State of Wisconsin, and shall be interpreted and construed according to the laws of the State of Wisconsin.

9.5 Captions. The captions in this Agreement are inserted only as matters of convenience and for reference and in no way define or limit the scope or intent of the various provisions, terms or conditions hereof.

9.6 Counterparts. This Agreement may be executed in one or more counterparts, each of which will be deemed an original.

9.7 No Third-Party Beneficiaries. This Agreement creates rights and obligations only for the parties hereto and their permitted successors and assigns, except as stipulated in this Agreement. This Agreement is not intended to and does not create any right in any third party, not expressly stated herein.

9.8 Legal Action. In the event that a party becomes involved in litigation or in the threat of litigation related to this Agreement because of the act or omission of the other party, the party which becomes so involved, if not the legal cause of the injury or damages, shall be entitled to recover reasonable attorneys' fees and out-of-pocket costs from the other party in defending against the litigation or threat of litigation.

9.9 Authority. The parties represent that the execution of this Agreement has been properly authorized and that the persons signing this Agreement have been properly authorized to sign this Agreement on behalf of the parties.

9.10 Independent Contractors. The City and the Developer are each entering into this Agreement on its own behalf and not as agent of the other, and this Agreement shall not be construed to create a partnership or joint venture between the parties, each of which is an independent contractor for the purposes of this Agreement.

9.11 Good Faith. Each of the parties hereto shall be subject to the duty of good faith and fair dealings in the implementation, execution and performance of the terms of this Agreement.

IN WITNESS WHEREOF, the parties have executed this Agreement as of the date stated in the first paragraph of this Agreement.

CITY OF KENOSHA

By: _____
Mayor

By: _____
City Clerk

STATE OF WISCONSIN)
) ss.
KENOSHA COUNTY)

Personally came before me this ____ day of _____, 2014, the above-named Keith G. Bosman, Mayor, and Debra Salas, City Clerk, to me known to be the persons who executed the foregoing instrument and acknowledged the same.

Notary Public, Wisconsin
My Commission expires: _____

[SIGNATURES CONTINUE ON FOLLOWING PAGE]

KENO WELLS LLC
By: Bear Development, LLC
Its: Sole Member

By: _____
Stephen R. Mills, Authorized Member

STATE OF WISCONSIN)
) ss
COUNTY OF _____)

The foregoing instrument was acknowledged before me this ____ day of _____, 2014, by Stephen R. Mills, the Authorized Member of Bear Development, LLC, the Sole Member of Keno Wells LLC, who is personally known to me.

Notary Public, Wisconsin
My Commission expires: _____

5th AVENUE LOFTS, LLC
By: 5th Avenue Lofts Member, LLC
Its: Managing Member
By: Bear Development, LLC
Its: Authorized Member

By: _____
Stephen R. Mills, Authorized Member

STATE OF WISCONSIN)
) ss
COUNTY OF _____)

The foregoing instrument was acknowledged before me this ____ day of _____, 2014, by Stephen R. Mills, the Authorized Member of Bear Development, LLC, the Authorized Member of 5th Avenue Lofts Member, LLC, the Managing Member of 5th Avenue Lofts, LLC, who is personally known to me.

Notary Public, Wisconsin
My Commission expires _____

**EXHIBIT A-1
TO
DEVELOPMENT FINANCING AGREEMENT**

Description of Property

Legal Description for Phase I Property:

All that part of Lots 2 and 3 in Block 45 in the Southeast Quarter of Section 31 in Town 2 North of Range 23 East of the Fourth Principal Meridian, more particularly described as follows: Commencing at the Southwest corner of Block 45 aforesaid at the Northeast corner of Exchange and South Streets; thence North along the East line of Exchange Street a distance of 70 feet; thence East on a line parallel with the North line of South Street a distance of 90 feet; thence North on a line parallel with the East line of Exchange Street a distance of 20 feet; thence East on a line parallel with the North line of South Street on the West line of Maiden Lane; thence Southerly along the West line of Maiden Lane and the North line of South Street; thence West along the North line of South Street and to the place of beginning, lying and being in the City of Kenosha, County of Kenosha and State of Wisconsin.

AND

Part of Lots 1, 2 and 3 in Block 45 in the Southeast Quarter of Section 31, Town 2 North, Range 23 East of the Fourth Principal Meridian, more particularly described as follows: Commencing on the West line of said Block 45 at a point which is 70 feet North of the North line of 59th Street (formerly South Street); thence East on a line parallel with the North line 59th Street a distance of 90 feet; thence North on a line parallel with the East line of 5th Avenue (formerly Exchange Street) which is the West line of said Block 45 to the South line of land owned by Arthur Gardiner, which line is 75 feet South of the North line of said Block; thence West along the South line of said Gardiner's land and on a line parallel with the North line of Lot 1 a distance of 90 feet and to the East line of 5th Avenue; thence South along the East line of 5th Avenue to the place of beginning. ALSO, part of Block 45, in the Southeast Quarter of Section 31, Town 2 North, Range 23 East of the Fourth Principal Meridian, more particularly described as follows: Commencing at a point on the East line of said Block at the Northeast corner of the land owned by Frank L. Wells Company, which point is about 90 feet North of the South line of said Block; thence West along the North line of the land of said Frank L. Wells Company, to the East line of land now owned by O.A. Arneson, which line is 90 feet East of the East line of 5th Avenue; thence North on the East line of said Arneson's land a distance of 90 feet more or less and to the South line of land owned by one George H. Haight which line is 90 feet South of the South line of 58th Street (formerly Wisconsin Street); thence East along the South line of said Haight's land to the East line of said

Block; thence Southerly along the East line of said Block to the place of beginning, all lying and being in the City of Kenosha, County of Kenosha and State of Wisconsin.

AND

That part of Lot 1, in Block 45 in the Southeast Quarter of Section 31, Town 2 North, Range 23 East of the Fourth Principal Meridian, described as: Beginning at the Northwest corner of said Block 45, being the Southeast corner of 58th Street and 5th Avenue and running thence South along the East line of 5th Avenue 75 feet; thence East parallel with the South line of 58th Street 90 feet; thence South 15 feet, more or less, to the South line of said Lot 1; thence East along the South line of said Lot 1 to the West line of 4th Avenue; thence Northeasterly with said West line to the North line of Lot 1, and thence West along the North line of said Lot 1 to the place of beginning. ALSO part of vacated 4th Avenue. Said land lying and being in the City of Kenosha, County of Kenosha and State of Wisconsin.

Street Address:

5821 5th Avenue, Kenosha, Wisconsin 53140

Tax Parcel No.: 12-223-31-487-003

**EXHIBIT A-2
TO
DEVELOPMENT FINANCING AGREEMENT**

Legal Description for Phase II Property:

Lots 5 and 6 in Block 11 in the Southwest 1/4 of Section 32, Township 2 North of Range 23 East of the Fourth Principal Meridian, and lying and being in the City of Kenosha, County of Kenosha and State of Wisconsin, and being a property and premises located on the Southwest corner of said Block 11 and being the 2 lots facing South Street and running North on Maiden Lane (so-called) and being the property and premises West of the old Whitaker Engine and Skein Company's Foundry, Machine and Blacksmith shops in said City of Kenosha; excepting therefrom the lands conveyed in Warranty Deed from Frank L. Wells Company to Charles Simelis and Mary Simelis, husband and wife, as joint tenants, dated March 30, 1945 and recorded in the Kenosha County Register of Deeds office on April 5, 1945, in Volume 269 of Deeds, page 546, as Document No. 276987; TOGETHER with the North 1/2 of vacated 59th Street vacated by Resolution No. 192-77 recorded in the Kenosha County Register of Deeds office on September 23, 1977 in Volume 999 of Records, page 532, as Document No. 623394.

Street Address:

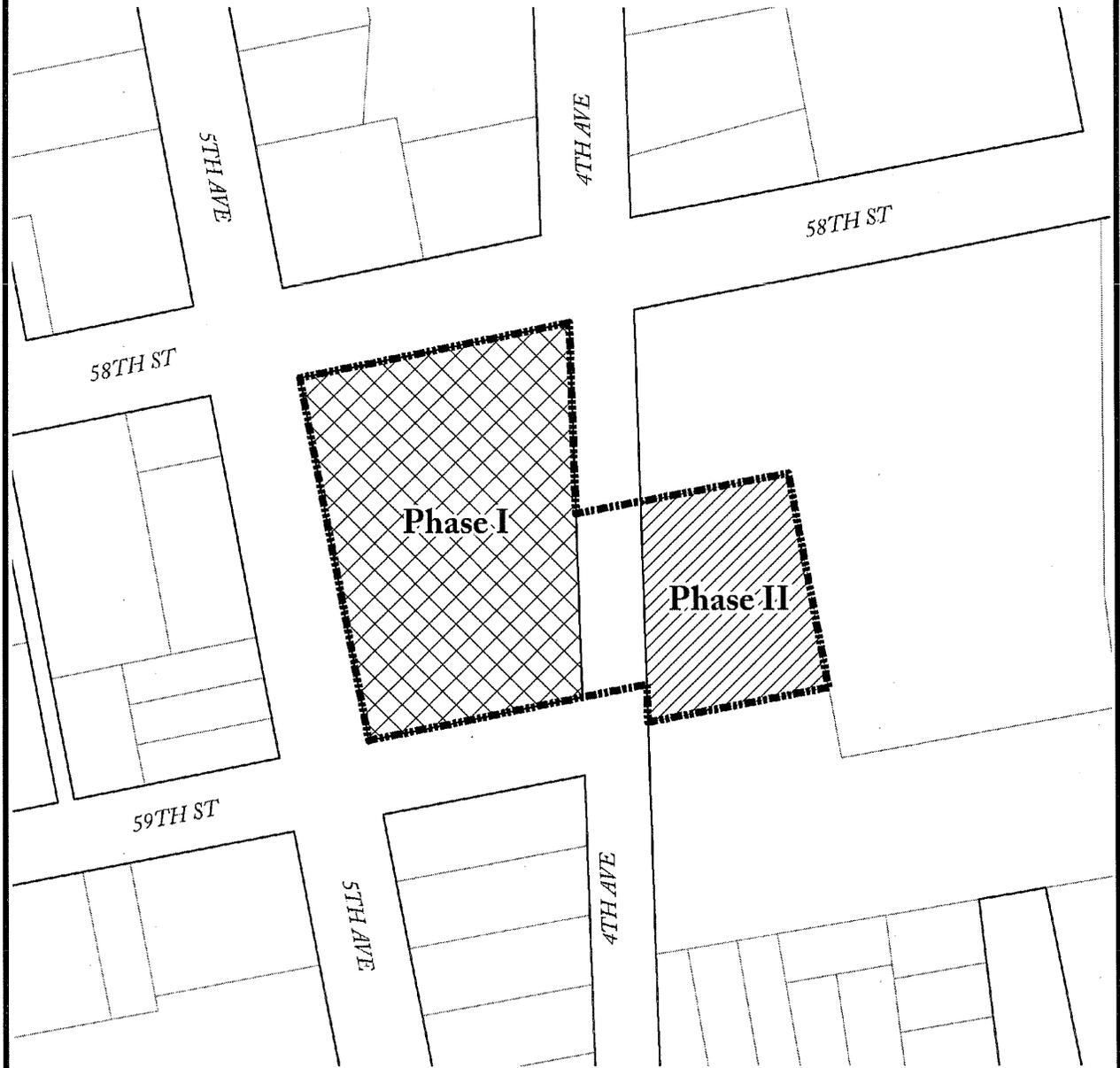
5825 4th Avenue, Kenosha, Wisconsin 53140

Tax Parcel No.: 12-223-32-352-006

**EXHIBIT A-3
TO
DEVELOPMENT FINANCING AGREEMENT**

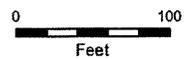
Phasing Plan for TID No. 17
(attached)

City of Kenosha
Tax Incremental District #17
for the City of Kenosha



Phasing Plan:

- TID #17
- ▣ Phase I property
- ▣ Phase II property



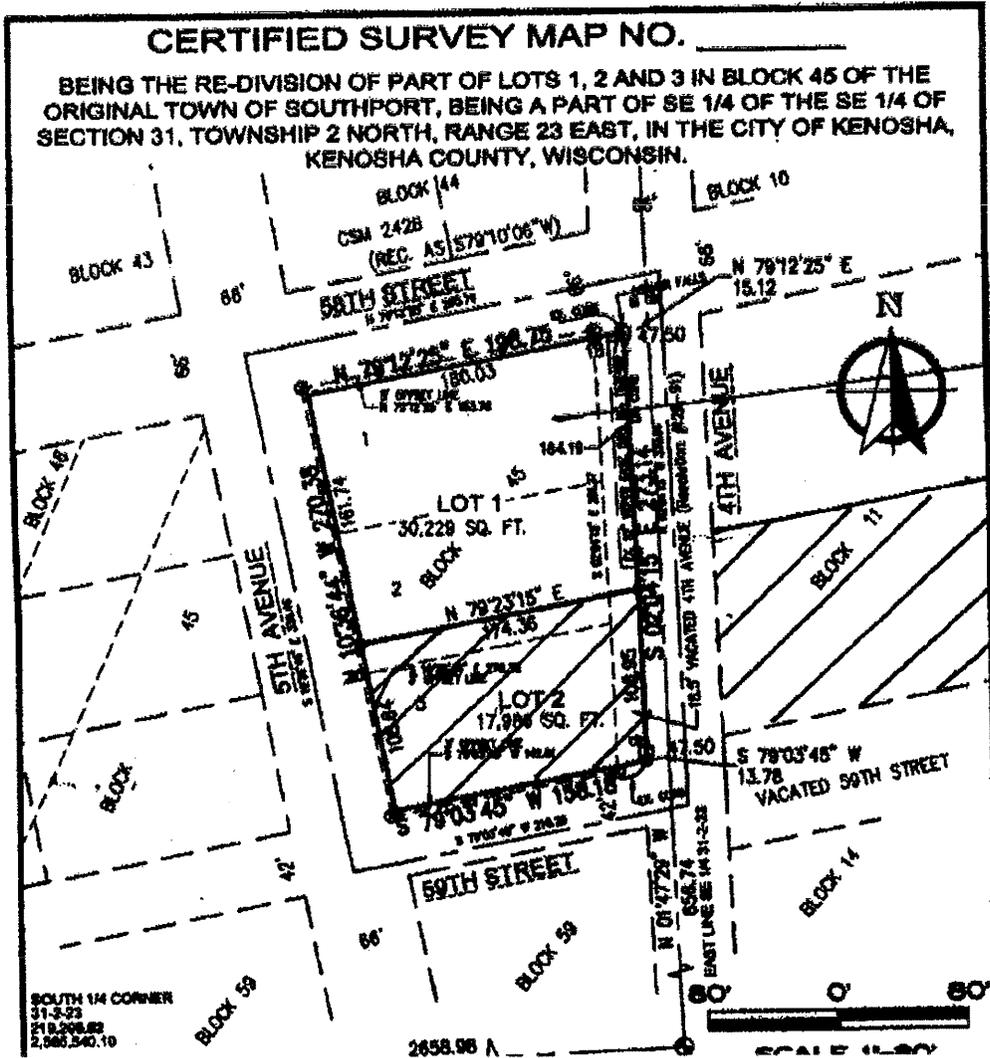
DKD1 ~ Community Development Division ~ JHL ~ ZK ~ December 10, 2014 ~ mc

**EXHIBIT A-4
TO
DEVELOPMENT FINANCING AGREEMENT**

Proposed CSM
(see attached)

CERTIFIED SURVEY MAP NO. _____

BEING THE RE-DIVISION OF PART OF LOTS 1, 2 AND 3 IN BLOCK 45 OF THE ORIGINAL TOWN OF SOUTHPORT, BEING A PART OF SE 1/4 OF THE SE 1/4 OF SECTION 31, TOWNSHIP 2 NORTH, RANGE 23 EAST, IN THE CITY OF KENOSHA, KENOSHA COUNTY, WISCONSIN.



Phase I Property

 = Phase II Property

**EXHIBIT B
TO
DEVELOPMENT FINANCING AGREEMENT**

Description of Developments

Phase I Development

60-unit multi-family residence with 20 market rate units and 40 units at 30%-60% median income rents.

Following completion of the 60-unit multi-family residential facility described above, any future development (whether as part of the Phase I Development or the Phase II Development) must consist of all market-rate multi-family residential units.

**EXHIBIT C
TO
DEVELOPMENT FINANCING AGREEMENT**

Project Costs

Capital costs to include, but not be limited to, demolition, environmental remediation, site preparation and building and parking lot construction.

Administrative costs, to include any City of Kenosha administrative, legal and other costs associated with the creation of TID #17, preparation of this Development Financing Agreement and the Development Agreement and any other activities associated with TID #17, this Agreement or the Development Agreement.

**EXHIBIT D
TO
DEVELOPMENT FINANCING AGREEMENT**

Project Plan

The Project Plan for Tax Incremental District No. 17 is on file in the office of the City Clerk and is incorporated herein by reference.

**EXHIBIT E
TO
DEVELOPMENT FINANCING AGREEMENT**

(Form of the Bond)

UNITED STATES OF AMERICA
STATE OF WISCONSIN
COUNTY OF KENOSHA
CITY OF KENOSHA

TAX INCREMENT PROJECT REVENUE BOND

<u>Number</u>	<u>Rate</u>	<u>Date of Original Issue</u>	<u>Amount</u>
R-	[5.98%]	October 1, 2015	Principal Amount, as defined herein

FOR VALUE RECEIVED, the City of Kenosha, Kenosha County, Wisconsin (the "City"), promises to pay to 5th Avenue Lofts, LLC, or registered assigns, but only in the manner, at the times, from the source of revenue and to the extent hereinafter provided, the Principal Amount (as defined below) together with interest thereon from the date of original issue set forth above, or the most recent payment date to which interest has been paid, to the stated due dates of the principal installments of this Bond, at the rate per annum set forth above.

The "Principal Amount" of this Bond shall be a principal amount equal to the actual Project Costs (as such term is defined in the Development Financing Agreement dated as of _____, 2014, between the City, 5th Avenue Lofts, LLC, and Keno Wells LLC, a Wisconsin limited liability company (the "Development Financing Agreement")) but not to exceed \$1,525,000. The Principal Amount shall be determined initially as of the date of issuance of the Bond based on the Project Costs as of that date. A final determination of the Principal Amount of the Bond shall be made as of October 1, 2016, as provided in Section 2.3 of the Development Financing Agreement.

For each Bond Year (defined below), interest shall accrue on the outstanding Principal Amount of the Bond and the outstanding interest on the Bond determined as of the first day of that Bond Year. The outstanding Principal Amount of the Bond as of any date shall be reduced by the amount of any principal payments previously made on the Bond. For purposes of this Bond, "Bond Year" shall mean the one year period commencing on each October 1 and ending on the following September 30, except that the first Bond Year shall commence on the effective date of original issue of this Bond and end on September 30, 2016.

Assuming that the Principal Amount of the Bond is equal to the maximum Principal Amount (\$1,525,000), this Bond shall be payable in installments of principal due on October 1, in each of the years and amounts as follows:

<u>Year</u>	<u>Principal</u>
2017	\$ 38,219
2018	40,504
2019	42,927
2020	45,494
2021	48,214
2022	51,097
2023	54,153
2024	57,391
2025	60,823
2026	64,461
2027	68,315
2028	72,401
2029	76,730
2030	81,319
2031	86,181
2032	91,335
2033	96,797
2034	102,585
2035	108,720
2036	115,221
2037	122,112

In the event that the total Project Costs and therefore the final Principal Amount of the Bond is less than \$1,525,000, there shall be a reduction in the principal installments of the Bond beginning with the final maturity and then proceeding to the next preceding maturity until the total of the principal installments on the Bond is equal to the cost of the Developer's Improvements.

Interest shall be payable on October 1 in each year, commencing on October 1, 2016 (the "Bond Payment Dates").

This Bond has been issued to finance projects which are a part of the City's blight elimination utility, pursuant to Article XI, Section 3 of the Wisconsin Constitution and Section 66.0621, Wisconsin Statutes and acts supplementary thereto, and is payable only from the income and revenues herein described, which income and revenues have been set aside as a special fund for that purpose and identified as the "Special Redemption Fund." This Bond is issued pursuant to a resolution adopted on _____, 2014, by the Common Council of the City (the "Resolution") and the Development Financing Agreement, and is subject to the terms and conditions of said Resolution and Development Financing Agreement. This Bond does not constitute an indebtedness of the City within the meaning of any constitutional or statutory limitation or provision. The principal of and interest on this Bond shall be payable solely in amounts that do not exceed Tax Increments (as defined in the Development Financing Agreement) received by the City with respect to its Tax Incremental District No. 17 (the "Revenues"). Reference is hereby made to said Resolution for a more complete statement of the

revenues from which and conditions under which this Bond is payable, and the general covenants and provisions pursuant to which this Bond has been issued.

Revenues shall be applied first to the payment of any interest due on the Bond Payment Date and then to the payment of any principal due on that Bond Payment Date.

If on any Bond Payment Date there shall be insufficient Revenues to pay the principal or interest due on this Bond, the amount due but not paid shall accumulate and be payable on the next Bond Payment Date until the final Bond Payment Date. Interest at the rate of [5.98%] per annum shall be paid on such unpaid amounts of principal and interest. The City shall have no obligation to pay any amount of principal or interest on this Bond which remains unpaid after October 1, 2037 and the owner of this Bond shall have no right to receive payment of such amounts.

This Bond (a) shall be prepaid on each Bond Payment Date in an amount equal to the amount by which the Tax Increments collected by the City in that Bond Year exceed the amount of principal and interest due on the Bond Payment Date and (b) is subject to prepayment in whole or from time to time in part at any time, at the option of the City.

Notwithstanding any payment schedule included in this Bond, or any other provision of the Development Financing Agreement or this Bond to the contrary, the amount to be paid by the City each year shall be the full amount of the Tax Increments generated that year; and in each case, the amount (if any) by which the Tax Increments collected that year exceed the interest due and the principal installment (as stated herein) to be paid that year, shall be regarded as a mandatory prepayment of the principal hereof.

The City makes no representation or covenant, express or implied, that the Tax Increments or other Revenues will be sufficient to pay, in whole or in part, the amounts which are or may become due and payable hereunder.

The City's payment obligations hereunder are subject to appropriation by the Common Council of amounts sufficient to make payments due on this Bond and are conditioned upon the Developers not being delinquent in the payment of property taxes with respect to the Property.

This Bond is a special, limited revenue obligation and not a general obligation of the City and is payable by the City only from the source and subject to the qualifications stated or referenced herein. This Bond is not a general obligation of the City, and neither the full faith and credit nor the taxing powers of the City are pledged to the payment of the principal of this Bond and no property or other asset of the City, except the above-referenced Revenues, is or shall be a source of payment of the City's obligations hereunder.

This Bond is issued by the City pursuant to and in full conformity with the Constitution and laws of the State of Wisconsin.

This Bond may be transferred or assigned in whole or in part, only with the consent of the City on the terms and conditions set forth in the Resolution and the Development Financing Agreement. In order to transfer or assign the Bond, the transferee or assignee shall surrender the same to the City either in exchange for a new fully registered bond or for transfer of this Bond on the registration records for the Bond maintained by the City. Each permitted transferee or assignee shall take this Bond subject to the foregoing conditions and subject to all provisions stated or referenced herein.

Notwithstanding the foregoing paragraph, upon the request of the holder of the Bond, the holder may assign its rights to payments on the Bond in accordance with the terms and provisions of Section 8(b) of the Development Financing Agreement, provided, however in no event shall the aggregate amount of the payments made to the holder or its assigns exceed the amount of the Tax Increment.

It is hereby certified and recited that all conditions, things and acts required by law to exist or to be done prior to and in connection with the issuance of this Bond have been done, have existed and have been performed in due form and time.

IN WITNESS WHEREOF, the Common Council of the City of Kenosha, Kenosha County, Wisconsin, has caused this Bond to be signed on behalf of said City by its duly qualified and acting Mayor and City Clerk, and its corporate seal to be impressed hereon, all as of the date of original issue specified above.

CITY OF KENOSHA,
KENOSHA COUNTY, WISCONSIN

(SEAL)

By _____
Mayor

By _____
City Clerk

REGISTRATION PROVISIONS

This Bond shall be registered in registration records kept by the City Clerk of the City of Kenosha, Kenosha County, Wisconsin, such registration to be noted in the registration blank below and upon said registration records, and this Bond may thereafter be transferred only upon presentation of this Bond together with a written instrument of transfer approved by the City and duly executed by the Registered Owner or his attorney, such transfer to be made on such records and endorsed hereon.

<u>Date of Registration</u>	<u>Name of Registered Owner</u>	<u>Signature of City Clerk</u>
_____	5 th Avenue Lofts, LLC	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____

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**CITY OF KENOSHA
SCHEDULES OF DISBURSEMENTS**

Disbursement Record 22

Approved by Council _____

The Finance Committee reviewed the attached listing of disbursements for the period from 11/16/14 through 11/30/14 and have approved the disbursements as follows:

1. Checks numbered from <u>140344</u> through <u>143337</u> as shown on attached listing consisting of:	
a. Debt Service	<u>-0-</u>
b. Investments	<u>9,543,075.10</u>
c. All Other Disbursements	<u>4,179,241.76</u>
SUBTOTAL	<u>13,722,316.86</u>
PLUS:	
2. City of Kenosha Payroll Wire Transfers from the same period:	<u>1,221,750.67</u>
TOTAL DISBURSEMENTS APPROVED	<u>14,944,067.53</u>

Daniel Prozanski Jr.

Anthony Kennedy

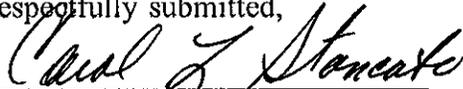
Dave Paff

Rocco LaMacchia Sr.

Bob Johnson

Curt Wilson

I have examined the vouchers listed on the attached sheets and have not found any unauthorized or improper payments. It must be understood that this statement in no way should be interpreted as a guarantee that errors do not exist. I have initially examined the attached vouchers for proper account classification. However, the account classifications as shown for the attached vouchers are subject to change upon subsequent review by both myself and respective department heads of the City of Kenosha.

Respectfully submitted,


FISCAL NOTE
CITY OF KENOSHA
DEPT. OF FINANCE

PREPARED FOR: Finance Committee
ITEM: Disbursement Record #22

ESTIMATED FINANCIAL IMPACT

No additional fiscal note needed.

Date Prepared: 12/08/14

Prepared By:



Reviewed By:



START DATE FOR SUMMARY: 11/16 END DATE FOR SUMMARY: 11/30

CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
143044	11/19	ACE HARDWARE	110-05-55109-246-000	10/14 PA-MERCHANDISE	399.50
			501-09-50105-353-000	10/14 SW-MERCHANDISE	324.35
			110-05-55109-353-000	10/14 PA-MERCHANDISE	147.20
			110-03-53113-361-000	10/14 ST-MERCHANDISE	65.97
			110-05-55109-357-000	10/14 PA-MERCHANDISE	56.43
			630-09-50101-393-000	10/14 CE-MERCHANDISE	45.00
			110-05-55109-386-000	10/14 PA-MERCHANDISE	40.90
			632-09-50101-389-000	10/14 SE-MERCHANDISE	24.22
			110-03-53109-389-000	10/14 ST-MERCHANDISE	12.48
			205-03-53119-353-000	10/14 ST-MERCHANDISE	8.99
			..... CHECK TOTAL	1,125.04	
143045	11/19	VIKING ELECTRIC SUPPLY	632-09-50101-246-000	10/14 SE ELECTRICAL	77.09
			110-03-53109-375-000	10/14 ST ELECTRICAL	37.33
			632-09-50101-246-000	10/14 SE ELECTRICAL	36.49
				..... CHECK TOTAL	150.91
143046	11/19	GENERAL FIRE EQUIPMENT CO	422-11-51305-561-000	SQUAD EQUIPMENT	1,892.26
			422-11-51405-561-000	SQUAD EQUIPMENT	378.73
			110-02-52103-365-000	12 VDC POWER ADAPTER	125.00
				..... CHECK TOTAL	2,395.99
143047	11/19	HWY C SERVICE	501-09-50105-235-000	10/14-SW SERVICE/PAR	320.00
143048	11/19	ICMA RETIREMENT TRUST	110-00-21572-000-000	11/1-15/14 CONTRIBS	47,924.96
			110-00-21599-000-000	11/1-15/14 CONTRIBS	8,659.16
			110-00-21524-000-000	11/1-15/14 CONTRIBS	100.00
				..... CHECK TOTAL	56,684.12
143049	11/19	INTERSTATE ELECTRIC SUPPLY	520-09-50201-347-000	10/14-TD ELECTRICAL	182.70
			110-03-53109-375-000	10/14-ST ELECTRICAL	43.00
			110-03-53109-375-000	11/14-ST ELECTRICAL	15.39
			110-03-53109-375-000	11/14-ST ELECTRICAL	6.63
				..... CHECK TOTAL	247.72
143050	11/19	CARDINAL HEALTH	206-02-52205-318-000	10/14 MEDICAL SUPPLI	579.28
143051	11/19	KRANZ, INC.	630-09-50101-393-000	11/14 PROD/MATERIALS	2,697.77
			630-09-50101-393-000	11/14 PROD/MATERIALS	796.55
			630-09-50101-393-000	11/14 PROD/MATERIALS	213.07
				..... CHECK TOTAL	3,707.39

START DATE FOR SUMMARY: 11/16 END DATE FOR SUMMARY: 11/30

CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
143052	11/19	KENOSHA NEWS	420-11-51415-589-000	10/14 74ST/123 AVE	107.88
			407-11-51402-219-000	10/14 14-1417 PRPSL	60.62
			110-01-51601-321-000	10/14 BLEASHKA MAP	46.32
			110-01-50301-219-000	10/14 SEC NATL MORT	21.76
				..... CHECK TOTAL	236.58
143053	11/19	SHERWIN WILLIAMS CO.	110-03-53103-389-000	10/14 ST PAINT/SUPPL	14.36
143054	11/19	MONROE TRUCK EQUIPMENT	630-09-50101-393-000	09/14 #3296 PARTS &	238.00
143055	11/19	SIMPLEX GRINNELL	521-09-50101-246-000	PUMP FAILURE CALL	349.00
143056	11/19	WILLKOMM INC., JERRY	630-09-50101-392-000	10/14 CE DIESEL FUEL	23,171.29
143057	11/19	PAYNE & DOLAN INC.	110-03-53103-355-000	10/14-ST ASPHALT MAT	389.57
143058	11/19	REINDERS INC.	110-05-55109-344-000	10/14 PA PARTS AND S	150.77
			110-05-55109-344-000	10/14 PA PARTS AND S	143.17
			110-05-55109-344-000	09/14 PA PARTS AND S	81.28
			110-05-55102-344-000	09/14 PA PARTS AND S	60.16
			110-05-55109-344-000	09/14 PA PARTS AND S	48.25
			630-09-50101-393-000	10/14 CE PARTS AND S	31.71
				..... CHECK TOTAL	515.34
143059	11/19	KENOSHA WATER UTILITY	461-11-51401-581-000	7/31-9/30/14 SWU	30.88
			461-11-51401-581-000	7/31-9/30/14 SWU	14.89
			461-11-51401-581-000	7/25-9/30/14 SWU	13.79
			461-11-51401-581-000	7/25-9/30/14 SWU	13.25
			461-11-51401-581-000	7/31-9/30/14 SWU	7.86
				..... CHECK TOTAL	80.67
143060	11/19	WISCONSIN FUEL & HEATING	630-09-50101-392-000	10/14-CE DIESEL FUEL	22,497.61
			630-09-50101-393-000	10/14-CE LUBRICANTS/	200.10
			501-09-50105-341-000	10/14-SW LUBRICANTS/	173.25
				..... CHECK TOTAL	22,870.96
143061	11/19	ZARNOTH BRUSH WORKS, INC.	501-09-50104-344-000	10/14-SWEEPER PARTS/	671.00
143062	11/19	FABCO EQUIPMENT, INC.	630-09-50101-393-000	10/14 SE #2832 PARTS	180.74

START DATE FOR SUMMARY: 11/16 END DATE FOR SUMMARY: 11/30

CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
143063	11/19	GOODYEAR TIRE & RUBBER CO.	520-09-50106-346-000	09/14-TD TIRE LEASE	3,887.37
143064	11/19	LARK UNIFORM, INC.	110-02-52103-367-000	10/14-PD#401 UNIFORM	159.90
143065	11/19	DWD-UI	110-09-56308-157-000	10/14 UNEMPLOYMENT	930.40
			110-00-15202-000-000	10/14 UNEMPLOYMENT	574.45
			631-09-50101-157-000	10/14 UNEMPLOYMENT	84.35
				..... CHECK TOTAL	1,589.20
143066	11/19	OFFICEMAX	110-03-53103-311-000	10/14 ST #3011 OFFC	216.32
			110-03-53101-311-000	10/14 PW #3013 OFFC	106.21
			110-02-52201-311-000	10/14 FD #3008 OFFC	40.37
			110-01-50301-311-000	10/14 LE #3009 OFFC	37.37
			110-01-51101-311-000	10/14 FN #3012 OFFC	32.89
			110-01-50101-311-000	10/14 LE #3010 OFFC	9.06
			110-03-53103-311-000	10/14 ST #3011 RTN	23.28CR
				..... CHECK TOTAL	418.94
143067	11/19	SWARTZ NURSERIES	501-09-50106-353-000	10/14-PA PLANT MATER	574.50
143068	11/19	INDUSTRIAL MARKETING	630-09-50101-393-000	11/14-SE#2993 PARTS	161.85
143069	11/19	NORTH AMERICAN SALT CO.	630-00-16122-000-000	ROAD SALT	1,457.89
143070	11/19	ALUMINUM FENCE CORPORATION	405-11-51317-589-824	MATERIALS-DOG PARK	517.39
143071	11/19	BENDLIN FIRE EQUIPMENT CO.	110-02-52203-344-000	11/14 PARTS/MATERIAL	77.16
			110-02-52206-344-000	10/14 FD PARTS/MATER	54.03
				..... CHECK TOTAL	131.19
143072	11/19	MANDLIK & RHODES	501-09-50102-219-000	10/14 YW WASTE PRG	412.52
			501-09-50102-219-000	10/14 YW WASTE ADMN	350.00
				..... CHECK TOTAL	762.52
143073	11/19	CICCHINI ASPHALT LLC	402-11-51401-585-000	10/14 ASPHALT SERVIC	6,502.50
			402-11-51401-585-000	10/14 ASPHALT SERVIC	5,802.75
				..... CHECK TOTAL	12,305.25
143074	11/19	5 ALARM FIRE & SAFETY EQUIP.	110-02-52203-369-000	10/14 PARTS & MAINT	847.07
			110-02-52203-369-000	10/14 FD PARTS & MAI	717.97
				..... CHECK TOTAL	1,565.04

START DATE FOR SUMMARY: 11/16 END DATE FOR SUMMARY: 11/30

CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
143075	11/19	PAUL CONWAY SHIELDS	110-02-52206-367-000	10/14-FD TURNOUT GEA	1,002.50
143076	11/19	VERIZON WIRELESS	110-03-53103-226-000	10/14 PHONE SRV/AIR	1,375.98
			631-09-50101-226-000	190/14 DATA PACKAGE	200.05
			110-02-52101-226-000	10/14 CELL SERVICE	173.64
			110-01-51301-226-000	10/14 CELL SERVICE	172.89
			501-09-50103-226-000	10/14 DATA CHARGES	120.03
			110-01-50301-226-000	10/14 CELL SERVICE	86.09
			110-01-51801-226-000	10/14 CELL SERVICE	84.73
			631-09-50101-226-000	10/14 DATA PLAN	80.02
			501-09-50106-226-000	10/14 DATA PLAN	80.02
			501-09-50103-226-000	10/14 DATA PLAN	80.02
			110-01-51201-226-000	10/14 CELL SERVICE	62.62
			110-02-52201-226-000	10/14 CELL SERVICE	61.42
			520-09-50301-226-000	10/14 CELL SERVICE	58.31
			110-01-51601-226-000	10/14 CELL SERVICE	58.31
			501-09-50103-226-000	10/14 CELL SERV/AIRT	57.68
			206-02-52205-226-000	10/14 CELL SERVICE	57.63
			110-03-53101-226-000	10/14 CELL SERVICE	57.63
			110-01-51303-226-000	10/14 CELL SERVICE	57.63
			110-05-55109-226-000	10/14 PHONE SRV/AIR	57.63
			110-05-55101-226-000	10/14 PHONE SRV/AIR	57.63
			631-09-50101-226-000	10/14 CELL SERVICE	54.20
			110-02-52102-226-000	10/14 CELL SERVICE	51.95
			110-02-52103-226-000	10/14 CELL AIRTIME	43.24
			521-09-50101-226-000	10/14 CELL SERVICE	38.10
			206-02-52205-226-000	10/14 DATA PLAN	36.01
			110-01-50901-226-000	10/14 CELL SERVICE	30.21
			110-05-55101-226-000	10/14 CELL SERVICE	30.09
			110-02-52103-226-000	10/14 CELL SERVICE	28.65
			110-01-51101-226-000	10/14 CELL SERVICE	27.78
			501-09-50101-226-000	10/14 CELL SERVICE	27.12
				..... CHECK TOTAL	3,407.31
143077	11/19	ADVANCED DISPOSAL	205-03-53118-253-000	10/14 410.19 TONS	7,022.48
			205-03-53118-253-000	09/14 BACK HAULS	6,788.23
			205-00-46397-000-000	09/14 REBATE	9,721.48CR
				..... CHECK TOTAL	4,089.23
143078	11/19	MALSACK, J	461-11-51401-581-000	10/14 WEED/GRASS-C	1,671.21
			463-11-51202-219-000	10/14 WEED/GRASS B	1,037.87
			110-09-56501-259-570	11/14 6821 156TH AV	855.85
			463-11-51302-219-000	10/14 WEED/GRASS-D	798.79
			110-09-56501-259-570	11/14 1505 60TH ST	532.00
			110-09-56501-259-570	11/14 1502 61ST ST	306.37
			110-09-56501-259-570	11/14 2019 61ST ST	275.50
			110-09-56501-259-570	11/4 1413 61ST ST	111.71
			463-11-51302-219-000	10/14 711/15 56TH ST	21.94
				..... CHECK TOTAL	5,611.24

START DATE FOR SUMMARY: 11/16 END DATE FOR SUMMARY: 11/30

CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
143079	11/19	JENSEN TOWING	110-02-52103-219-000	10/14-#14-147373 TOW	45.00
			110-02-52103-219-000	10/14-#14-142874 TOW	25.00
				..... CHECK TOTAL	70.00
143080	11/19	REGISTER OF DEEDS	110-01-50101-321-000	RECORD ORD 45-14	30.00
143081	11/19	WASTE MGMT OF MILWAUKEE	403-11-51102-588-000	10/16-31 STRM INSTL	298.95
143082	11/19	INSTY-PRINTS	110-02-52201-311-000	10/14 FD-BUS CARDS	65.85
143083	11/19	T & A INDUSTRIAL, LTD.	630-09-50101-393-000	11/14 CE SAFETY PROD	462.49
143084	11/19	MARTIN PETERSEN COMPANY, INC.	520-09-50201-246-000	4 OF 4 P.M. PROGRAM	1,884.00
143085	11/19	ABLE DISTRIBUTING COMPANY	110-05-55109-246-000	10/14 PLUMBING SUPL	37.10
143086	11/19	STAPLES	110-02-52103-311-000	10/14-PD OFFICE SUPP	179.37
			110-02-52103-311-000	10/14-PD OFFICE SUPP	39.70
				..... CHECK TOTAL	219.07
143087	11/19	MENARDS (KENOSHA)	110-05-55109-244-000	10/14-PA MERCHANDISE	260.23
			206-02-52205-361-000	10/14-FD#4 MERCHANDI	35.83
			521-09-50101-344-000	10/14-AR MERCHANDISE	30.98
			110-03-53109-389-000	10/14-ST MERCHANDISE	26.88
				..... CHECK TOTAL	353.92
143088	11/19	NEXTEL COMMUNICATIONS	110-02-52109-226-000	10/14 PHONE SERVICE	314.43
143089	11/19	GRAINGER	110-05-55103-246-000	09/14-PA PARTS/MATER	216.90
			110-05-55109-344-000	10/14-PA PARTS/MATER	129.10
			521-09-50101-344-000	10/14-AR PARTS/MATER	68.29
			520-09-50401-347-000	10/14-TD PARTS/MATER	55.26
			521-09-50101-344-000	10/14-AR PARTS/MATER	44.20
			521-09-50101-344-000	10/14-AR PARTS/MATER	40.56
				..... CHECK TOTAL	554.31
143090	11/19	ARAMARK	110-01-51801-246-000	10/14 MB-ENTRNC MATS	102.08
			520-09-50201-246-000	10/14 TD-ENTRNC MATS	41.64
			110-03-53116-246-000	10/14 WA-ENTRNC MATS	37.76
			632-09-50101-246-000	10/14 SE-ENTRNC MATS	15.10
				..... CHECK TOTAL	196.58

START DATE FOR SUMMARY: 11/16 END DATE FOR SUMMARY: 11/30

CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
143091	11/19	EZ PACK N SHIP ETC, INC	521-09-50101-344-000	10/14 AR-UPS SERVICE	191.60
			520-09-50106-311-000	10/14 TD-UPS SERVICE	40.20
			110-01-51306-312-000	10/14 PD-UPS SERVICE	23.20
				..... CHECK TOTAL	255.00
143092	11/19	SAFETY-KLEEN INC	520-09-50201-389-000	10/14-TD SOLVENT	168.93
143093	11/19	HAPPENINGS MAGAZINE	222-09-50101-259-000	10/14 FALL FEST-ADS	166.00
143094	11/19	GILLIG CORPORATION	520-09-50201-347-000	10/14-TD BUS PARTS	1,797.78
			520-09-50201-347-000	10/14-TD BUS PARTS	149.87
				..... CHECK TOTAL	1,947.65
143095	11/19	IAFF/NATIONWIDE	110-00-21574-000-000	11/1-15/14 CONTRIBS	22,447.99
143096	11/19	GREAT WEST RETIREMENT SERV.	110-00-21576-000-000	11/1-15/14 CONTRIBS	9,143.33
			110-00-21539-000-000	11/1-15/14 CONTRIBS	675.00
				..... CHECK TOTAL	9,818.33
143097	11/19	RADIO ENGINEERING INDUSTRIES	520-09-50201-347-000	320GB HARD DRIVE	2,404.62
143098	11/19	AURORA HEALTH CARE	110-09-56405-161-000	9/25/14 W/C	707.42
			110-09-56405-161-000	9/26/14 W/C	357.00
			110-09-56405-161-000	9/25/14 W/C	281.35
			110-09-56405-161-000	10/10/14 W/C	254.15
			110-09-56405-161-000	10/8/14 W/C	254.15
			110-09-56405-161-000	10/10/14 W/C	141.95
			110-09-56405-161-000	10/6/14 W/C	40.80
				..... CHECK TOTAL	2,036.82
143099	11/19	VICKERS, STORMIE N	110-00-21902-000-000	REISSUE CK #141716	61.20
143100	11/19	RAMIREZ, JORGE	110-00-21112-000-000	SPCL ASSESSMENT-OVR	6.48
143101	11/19	RIESELNANN, JOSEPH	110-02-52102-341-000	11/3-7 FT MCCOY	38.57
			110-02-52107-263-000	11/3-7 FT MCCOY	24.00
				..... CHECK TOTAL	62.57
143102	11/21	A & B PRO HARDWARE	110-01-51801-389-000	10/14 MB SUPPLIES &	9.85
			206-02-52205-385-000	10/14 FD SUPPLIES &	8.97
			110-05-55109-246-000	10/14 PA SUPPLIES &	8.80
			110-02-52203-382-000	10/14 FD SUPPLIES &	4.00
			630-09-50101-393-000	10/14 SE SUPPLIES &	2.90
			 CHECK TOTAL	34.52

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
143103	11/21	AMALGAMATED TRANSIT UN 998	110-00-21556-000-000	11/21/14 UNION DUES	2,549.78
143104	11/21	BINDELLI BROTHERS, INC	110-09-56501-259-569	10/14 5706 8 AVE	156.00
			110-09-56501-259-569	10/14 1403 68 ST	152.12
			110-09-56501-259-569	10/14 6561 7 AVE	90.12
			110-09-56501-259-569	10/14 3913 29 AVE	90.12
			110-09-56501-259-569	10/14 1913 57 ST #3	90.12
				..... CHECK TOTAL	578.48
143105	11/21	CLERK OF CIRCUIT COURT	110-01-50301-219-000	5 SMALL CLAIMS	25.00
143106	11/21	GENERAL COMMUNICATIONS, INC.	110-03-53103-231-000	10/14-ST SERVICE IT	508.50
			110-03-53103-231-000	10/14-ST SERVICE	275.00
			520-09-50201-231-000	10/14-TD SERVICE ITE	60.00
			110-02-52103-231-000	ANTENNA	14.00
			110-02-52103-231-000	ANTENNA	13.70
				..... CHECK TOTAL	871.20
143107	11/21	CARDINAL HEALTH	206-02-52205-318-000	10/14 MEDICAL SUPPLI	1,080.32
			206-02-52205-318-000	10/14 MEDICAL SUPPLI	112.84
			206-02-52205-318-000	10/14 MEDICAL SUPPLI	108.97
				..... CHECK TOTAL	1,302.13
143108	11/21	KENOSHA CITY EMPLOYEE'S	110-00-21562-000-000	11/21/14 CITY HRLY	10,889.55
			110-00-21562-000-000	11/21/14 WATER HRLY	3,170.87
			110-00-21562-000-000	11/21/14 MUSEUM HRLY	15.00
				..... CHECK TOTAL	14,075.42
143109	11/21	UNITED HOSPITAL SYSTEMS INC	110-09-56405-161-000	8/23/14 W/C	594.80
143110	11/21	KENOSHA NEWS	420-11-51310-589-000	10/14 KEP SOIL REMD	126.12
			403-11-51417-589-000	10/14 PW 14-1120 APL	55.93
			110-01-50101-321-000	10/20/14 1-2ND ORDS	17.75
			110-01-50101-321-000	10/14 PUBLIC HEARNG	17.08
			110-01-50101-321-000	10/14 CANVASS BOARD	16.41
				..... CHECK TOTAL	233.29
143111	11/21	PALMEN BUICK	206-02-52205-344-000	10/14-FD PARTS/MATER	316.91
			630-09-50101-393-000	10/14-SE PARTS/MATER	251.28
			 CHECK TOTAL	568.19

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
143112	11/21	M A TRUCK PARTS	630-09-50101-393-000	10/14-CE MATERIALS/S	8,092.50
			110-02-52203-344-000	10/14-FD MATERIALS/S	3,465.96
			520-09-50201-347-000	10/14-TD MATERIALS/S	1,532.34
			206-02-52205-344-000	10/14-FD MATERIALS/S	202.79
			110-03-53113-389-000	10/14-ST MATERIALS/S	49.38
				..... CHECK TOTAL	13,342.97
143113	11/21	WINGFOOT COMMERCIAL TIRE	520-09-50106-346-000	10/14-TD TIRE REPAIR	205.76
143114	11/21	SHOPKO STORES	110-02-52203-382-000	10/14 FD #4 MERCHAND	98.80
			206-02-52205-318-000	11/14 FD #1 MERCHAND	49.05
			110-02-52201-311-000	11/14 FD #1 MERCHAND	25.80
			110-02-52103-311-000	10/14 PD MERCHANDISE	24.96
				..... CHECK TOTAL	198.61
143115	11/21	VAN'S GAS SERVICE INC	110-03-53103-355-000	10/14-ST PROPANE GAS	60.00
143116	11/21	KENOSHA WATER UTILITY	110-05-55109-224-000	6/30-8/31/14 FIRELN	301.50
			110-05-55109-224-000	6/30-10/31/14 FIRELN	144.72
				..... CHECK TOTAL	446.22
143117	11/21	KENOSHA WATER UTILITY	521-00-13112-000-000	08-09/14 STORMWATER	21,508.93
			110-05-55109-223-000	08-09/14 STORMWATER	3,165.52
			110-03-53103-223-000	08-09/14 STORMWATER	2,999.94
			521-09-50101-223-000	08-09/14 STORMWATER	1,160.97
			205-03-53119-223-000	08-09/14 STORMWATER	1,079.74
			461-11-51401-581-000	08-09/14 STORMWATER	69.64
			463-11-51101-589-000	08-09/14 STORMWATER	66.70
			110-01-51802-223-000	8-9/14 4710 47 AV	57.18
			110-01-51802-223-000	8-9/14 47TH AVE	45.12
			110-01-51802-223-000	8-9/14 3604 67 ST	42.94
			110-01-51802-223-000	8-9/14 4722 47 AV	36.36
			520-09-50301-223-000	08-09/14 STORMWATER	4.58
				..... CHECK TOTAL	30,237.62
143118	11/21	KENOSHA WATER UTILITY	110-05-55109-223-000	11/14 #2 WATER/STRM	3,157.78
			110-05-55102-224-000	11/14 #2 WATER/STRM	2,460.27
			110-03-53103-224-000	11/14 #2 WATER/STRM	1,983.83
			110-05-55109-224-000	11/14 #2 WATER/STRM	1,774.16
			520-09-50301-223-000	11/14 #2 WATER/STRM	1,008.50
			110-02-52203-224-000	11/14 #2 WATER/STRM	855.65
			520-09-50301-224-000	11/14 #2 WATER/STRM	787.68
			110-03-53116-223-000	11/14 #5 WATER/STRM	547.10
			521-09-50101-224-000	11/14 #5 WATER/STRM	446.00
			110-01-51801-224-000	11/14 #4 WATER/STRM	371.49
			110-01-51801-223-000	11/14 #4 WATER/STRM	344.24
			110-01-51802-223-000	11/14 2210 52 ST	319.12
			110-02-52203-223-000	11/14 #2 WATER/STRM	299.58
			521-09-50101-224-000	11/14 #2 WATER/STRM	222.75

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
			110-05-55109-224-000	11/14 #5 WATER/STRM	196.00
			520-09-50301-224-000	11/14 #5 WATER/STRM	118.00
			110-02-52203-224-000	11/14 #5 WATER/STRM	92.00
			632-09-50101-224-000	11/14 #2 WATER/STRM	72.04
			110-03-53116-224-000	11/14 #5 WATER/STRM	72.00
			632-09-50101-224-000	11/14 #5 WATER/STRM	46.00
			110-05-55102-224-000	11/14 #5 WATER/STRM	46.00
			110-03-53103-224-000	11/14 #5 WATER/STRM	46.00
			110-05-55103-224-000	11/14 #2 WATER/STRM	31.22
			110-05-55109-223-000	11/14 #5 WATER/STRM	12.24
			110-01-51802-224-000	11/14 2210 52 ST	6.00
				..... CHECK TOTAL	15,315.65
143119	11/21	WELDCRAFT, INC.	630-09-50101-393-000	10/14-CE WELDING SER	61.91
143120	11/21	LEITCH PRINTING CORP.	632-09-50101-311-000	10/14 SE SERVICE REQ	234.00
143121	11/21	OAKES & SON, INC., A. W.	402-11-51402-589-000	EST 1 THRU 11/8/14	130,936.59
143122	11/21	SOUTHPORT VACUUM	110-02-52203-382-000	10/14 FD #7 REPAIRS/	17.50
143123	11/21	WEST GROUP	110-01-50301-322-000	10/14-LE ONLINE MATE	752.00
143124	11/21	BROOKS TRACTOR, INC.	630-09-50101-393-000	10/14 SE #2344 PARTS	1,435.57
143125	11/21	FABCO EQUIPMENT, INC.	630-09-50101-393-000	10/14 SE #2597 PARTS	613.62
			630-09-50101-393-000	10/14 SE #2476 PARTS	430.54
			630-09-50101-393-000	10/14 SE PARTS & MAT	19.51
				..... CHECK TOTAL	1,063.67
143126	11/21	LOWE'S	110-02-52203-382-000	10/14 FD MERCHANDISE	350.51
			110-05-55102-369-000	10/14 PA MERCHANDISE	294.10
			110-05-55109-357-000	10/14 PA MERCHANDISE	269.13
			110-02-52203-385-000	10/14 FD MERCHANDISE	258.82
			206-02-52205-344-000	10/14 FD MERCHANDISE	155.62
			110-02-52203-353-000	10/14 FD MERCHANDISE	125.53
			206-02-52205-361-000	10/14 FD MERCHANDISE	103.55
			110-05-55109-344-000	10/14 PA MERCHANDISE	74.70
			110-05-55109-361-000	10/14 PA MERCHANDISE	39.68
			110-05-55109-355-000	10/14 PA MERCHANDISE	18.90
			110-05-55109-386-000	10/14 PA MERCHANDISE	13.12
			 CHECK TOTAL	1,703.66

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
143127	11/21	CHASE BANK KENOSHA	110-00-21513-000-000	11/21/14 HRLY DEDCT	21,304.78
			110-00-21612-000-000	11/21/14 HRLY DEDCT	11,523.61
			110-00-21511-000-000	11/21/14 HRLY DEDCT	11,523.61
			110-00-21614-000-000	11/21/14 HRLY DEDCT	3,019.37
			110-00-21514-000-000	11/21/14 HRLY DEDCT	3,019.29
				..... CHECK TOTAL	50,390.66
143128	11/21	BADGER TRAILER & EQUIPMENT	520-09-50201-344-000	10/14 TD AIR CONDITI	417.81
143129	11/21	FEDEX	110-01-51306-312-000	11/14 PO 141086	23.81
143130	11/21	GARDA CL GREAT LAKES, INC	110-01-51201-219-000	11/14-CT ARMORED CAR	306.31
143131	11/21	LINCOLN CONTRACTORS SUPPLY	110-03-53110-361-000	10/14-ST TOOLS/SUPPL	229.99
			501-09-50105-361-000	10/14-SW TOOLS/SUPPL	134.99
			110-05-55109-386-000	09/14-PA TOOLS/SUPPL	33.98
				..... CHECK TOTAL	398.96
143132	11/21	HOLLAND SUPPLY, INC.	630-09-50101-393-000	11/14-CE HYDRAULIC F	818.88
			630-09-50101-393-000	10/14-CE HYDRAULIC F	150.48
			501-09-50105-344-000	11/14-SW HYDRAULIC F	29.88
			630-09-50101-393-000	10/14-CE HYDRAULIC F	12.00
				..... CHECK TOTAL	1,011.24
143133	11/21	WISCONSIN WOMEN'S BUSINESS	237-06-50402-259-000	#5752084 SUBGR AGMT	14,368.99
			237-06-50402-259-000	#5752074 SUBGR AGMT	7,554.98
				..... CHECK TOTAL	21,923.97
143134	11/21	ACCURATE PRINTING CO., INC.	110-01-51901-311-000	10/14 ABSENT BLT EP	698.00
143135	11/21	STANCATO, CAROL L.	110-01-51101-263-000	11/18/14 BUDG PIZZA	167.00
143136	11/21	CONCRETE SPECIALTIES CO.	403-11-51102-588-000	10/14 ST STRUCTURES/	385.00
			403-11-51102-588-000	10/14 ST STRUCTURES/	160.00
				..... CHECK TOTAL	545.00
143137	11/21	STRAND ASSOCIATES, INC.	110-03-53117-219-000	8-9/14 WELL REPLACE	1,613.81
143138	11/21	MESSERLI & KRAMER P.A.	110-00-21581-000-000	11/21/14 DEDUCTION	163.54

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
143139	11/21	JAMES IMAGING SYSTEMS, INC.	110-02-52201-311-000	10/14 FD-STAPLES	110.32
			110-01-51601-311-000	11/14 CD-STAPLES	110.32
				..... CHECK TOTAL	220.64
143140	11/21	KESSINGER, NANCY	110-01-51301-311-000	11/14 REPLENISH	83.38
			611-09-50102-259-000	11/14 REPLENISH	53.48
			110-02-52201-367-000	11/14 REPLENISH	26.00
			222-09-50101-259-000	11/14 REPLENISH	15.57
			110-02-52204-261-000	11/14 REPLENISH	10.50
			110-01-51303-263-000	11/14 REPLENISH	10.00
			206-02-52205-361-000	11/14 REPLENISH	8.15
			110-02-52203-382-000	11/14 REPLENISH	5.00
			110-02-52203-344-000	11/14 REPLENISH	2.39
				..... CHECK TOTAL	214.47
143141	11/21	CINTAS CORP.	110-01-51801-246-000	10/14 MB COLLECT/SHR	135.00
			110-01-51801-246-000	10/14 MB COLLECT/SHR	35.00
				..... CHECK TOTAL	170.00
143142	11/21	HUMANA CLAIMS	611-09-50101-155-527	11/14/14 MED CLAIMS	140,747.25
			611-09-50101-155-527	11/18/14 MED CLAIMS	77,128.18
			611-09-50101-155-527	11/20/14 MED CLAIMS	41,459.41
			611-09-50101-155-527	11/17/14 PHARMACY	13,931.34
			611-09-50101-155-527	11/14/14 PHARMACY	12,157.36
			611-09-50101-155-527	11/19/14 PHARMACY	9,152.54
			611-09-50101-155-527	11/20/14 PHARMACY	4,933.81
			611-09-50101-155-527	11/19/14 MED CLAIMS	3,438.32
			611-09-50101-155-527	11/18/14 PHARMACY	2,880.88
			611-09-50101-155-527	11/17/14 MED CLAIMS	1,142.40
				..... CHECK TOTAL	306,971.49
143143	11/21	RUEKERT & MIELKE, INC.	403-11-51212-589-000	9/6-10/3/14 SW PLAN	9,021.65
			402-11-51404-586-000	9/6-10/3/14 ARCGIS S	7,025.00
			501-09-50102-219-000	9/6-10/3/14 ILLICIT	4,080.00
			403-11-51312-589-000	9/6-10/3/14 AMENDMNT	1,372.42
			420-11-51411-589-000	9/6-10/3/14 ARCGIS S	200.00
				..... CHECK TOTAL	21,699.07
143144	11/21	PRAIRIE SIDE TRUE VALUE	110-05-55109-357-000	10/14-PA SUPPLIES	18.13

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143145	11/21	REGISTER OF DEEDS	250-06-50559-259-000	#5753533 1501 87 PL	30.00
			250-06-50559-259-000	#5753533 3830 48 AV	30.00
				..... CHECK TOTAL	60.00
143146	11/21	STARK ASPHALT	238-06-50407-259-000	EST 6 THRU 9/15/14	5,859.60
			403-11-51102-588-000	EST 6 THRU 9/15/14	5,000.00
			402-11-51301-585-000	EST 6 THRU 9/15/14	5,000.00
			402-11-51201-585-000	EST 6 THRU 9/15/14	5,000.00
				..... CHECK TOTAL	20,859.60
143147	11/21	JOHNSON BANK	110-00-21532-000-000	11/21/14 CITY HRLY	1,190.00
			110-00-21532-000-000	11/21/14 WATER HRLY	404.62
				..... CHECK TOTAL	1,594.62
143148	11/21	FASTENAL COMPANY	630-09-50101-393-000	10/14 SE TOOLS/MATER	167.07
			501-09-50105-344-000	10/14 SW TOOLS/MATER	22.03
			110-02-52203-344-000	10/14 FD TOOLS/MATER	9.64
				..... CHECK TOTAL	198.74
143149	11/21	HUMANA SPECIALTY BENEFITS	110-00-21538-000-000	11/14 DEDUCTIONS	1,629.89
143150	11/21	CARQUEST AUTO PARTS	520-09-50201-347-000	10/14 TD PARTS/MATER	1,477.16
			520-09-50401-347-000	10/14 TD PARTS/MATER	76.47
			630-09-50101-393-000	10/14 SE PARTS/MATER	42.37
			520-09-50201-317-000	10/14 TD PARTS/MATER	13.60
				..... CHECK TOTAL	1,609.60
143151	11/21	APEX PRINT TECHNOLOGIES	110-01-51306-312-000	12/14 MAILING	11,200.00
143152	11/21	CDW-G	206-02-52205-363-000	10/14 DP COMPUTER EQ	35.59
143153	11/21	DUECO, INC	630-09-50101-393-000	10/14 SE #3069 PARTS	88.28
143154	11/21	MCI SERVICE PARTS INC.	520-09-50201-347-000	10/14-GMC COACH PART	1,240.00
143155	11/21	CHAPTER 13 TRUSTEE	110-00-21581-000-000	11/21/14 DEDUCTION	104.00
			110-00-21581-000-000	11/21/14 DEDUCTION	87.00
			110-00-21581-000-000	11/21/14 DEDUCTION	45.00
			 CHECK TOTAL	236.00

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
143156	11/21	QUALITY MUDJACKING SERVICE	501-09-50105-219-000	MUDJACKING SERVICES	10,000.00
143157	11/21	KENO'S COLLISIONTEK	110-02-52103-711-000	REPAIR SQUAD 3233	5,785.52
143158	11/21	DEMARK, KOLBE & BRODEK, SC	110-01-50101-219-000	09-10/14 PE LEGAL SE	186.00
143159	11/21	BRICKYARD INC, THE	405-00-46907-713-000	CLEAN & STACK BRICKS	2,585.00
143160	11/21	U-HAUL CORPORATE SALES	630-09-50101-393-000	11/14-SE#2986 PROPAN	40.05
143161	11/21	PAYNE & DOLAN	402-11-51406-585-000	EST 1 THRU 10/31/14	263,700.56
			402-11-51401-585-000	EST 4 THRU 11/14/14	136,263.63
			402-11-51401-585-000	EST E THRU 10/26/14	108,610.95
			403-11-51202-588-000	EST 3 THRU 10/26/14	10,311.05
			403-11-51202-588-000	EST 4 THRU 11/14/14	3,000.00
				..... CHECK TOTAL	521,886.19
143162	11/21	DELL COMPUTERS	110-01-51102-539-000	DELL APP SERVER REPL	17,282.94
			110-01-51102-539-000	DELL APP SERVER REPL	17,282.94
			110-01-51102-539-000	DELL APP SERVER REPL	11,331.06
			110-01-51102-539-000	DELL APP SERVER REPL	5,757.31
				..... CHECK TOTAL	51,654.25
143163	11/21	FEHR GRAHAM ENGINEERING	420-11-50706-589-000	WELL ABANDONMENT	1,245.00
			420-11-50706-589-000	WELL ABANDONMENT	1,040.00
			420-11-50706-589-000	WELL ABANDONMENT	280.00
				..... CHECK TOTAL	2,565.00
143164	11/21	DYNAMIC RECYCLING, INC	110-03-53117-253-000	10/14 RECYCLE ELECTR	1,034.30
143165	11/21	DOCTORS OF LANDSCAPING	227-09-50101-249-000	10/14 GRASS CUTTING	6,600.00
143166	11/21	RESOURCE RECOVERY SYSTEMS	205-03-53119-219-000	RENTAL OF SCREENER	4,450.00
143167	11/21	VANTAGE POINT CORP	631-09-50101-363-000	LED MONITORS	1,059.52
143168	11/21	CHUBB & SON	761-09-50101-219-000	ETO/INTERNET LIAB	3,911.00
143169	11/21	WITMER PUBLIC SAFETY GROUP	110-02-52103-365-000	FEDERAL CARTRIDGE	3,850.00

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
143170	11/21	PLEASANT PRAIRIE FIRE DEPT	110-09-56405-161-000	6/21/14 W/C	656.00
143171	11/21	BELLE CITY FIRE EXTINGUISHER	110-02-52203-389-000 110-02-52103-389-000	10/14 FD #4 EXTINGUI 10/14 PD EXTINGUISHE CHECK TOTAL	41.35 33.45 74.80
143172	11/21	WIS SCTF	110-00-21581-000-000	11/21/14 HRLY DEDCT	1,594.50
143173	11/21	PREVOST CAR (US) INC	520-09-50201-347-000	10/14-BUS PARTS	328.20
143174	11/21	HALLMAN LINDSAY	521-09-50101-371-000	10/14-AR PAINT/PRODU	117.06
143175	11/21	CARE-PLUS DENTAL PLANS, INC	611-09-50101-155-525 611-09-50101-155-525	11/14 PREMIUM 11/14 ADJUSTMENT CHECK TOTAL	50,372.56 351.60CR 50,020.96
143176	11/21	TIME WARNER CABLE	110-01-51102-233-000 110-01-51102-233-000 110-00-15601-000-000 761-09-50101-233-000 761-09-50101-225-000	10/17-12/16 INTERNET 11/09-12/08 FIRE DEP 10/17-12/16 INTERNET 11/9-12/8 PHONE/RR 11/9-12/8 PHONE/RR CHECK TOTAL	1,721.84 839.94 121.00 69.63 60.75 2,813.16
143177	11/21	CINTAS CORP	632-09-50101-259-000 520-09-50201-367-000 110-02-52203-259-000	10/14 SE-UNIFORM/GLV 10/14 TD-UNIFORM/GLV 10/14 FD-UNIFORM/GLV CHECK TOTAL	675.15 490.35 262.15 1,427.65
143178	11/21	SCHMITT PROTECTIVE SERVICES	110-01-51801-246-000	10/14-MB SECURITY CH	72.00
143179	11/21	WHOLESALE DIRECT INC	630-09-50101-393-000 630-09-50101-393-000	10/14-CE PARTS/MATER 10/14-CE PARTS/MATER CHECK TOTAL	274.49 274.14 548.63
143180	11/21	NICOLET NATURAL SE	761-09-50101-389-000	11/14 WATER/ CUPS	31.50
143181	11/21	GILLIG CORPORATION	520-09-50201-347-000 520-09-50201-347-000 520-09-50201-347-000 520-09-50201-347-000	10/14-BUS PARTS 11/14-BUS PARTS 11/14-BUS PARTS 11/14-BUS PARTS CHECK TOTAL	9,746.28 948.64 662.88 168.92 11,526.72

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
143182	11/21	PLEASANT PRAIRIE UTILITIES	110-03-53116-223-000	10/14 SPRINGBRK (20)	98.68
			110-03-53103-223-000	10/14 80TH ST (6)	61.67
				..... CHECK TOTAL	160.35
143183	11/21	RIMKUS, JASON	761-09-50101-155-000	10/14 WPS HEALTH INS	551.22
143184	11/21	AIRGAS NORTH CENTRAL	206-02-52205-389-000	10/14 FD #4 OXYGEN C	115.64
			206-02-52205-389-000	10/14 FD #3 OXYGEN C	95.39
				..... CHECK TOTAL	211.03
143185	11/21	KUPFER LAW OFFICES	110-01-52001-219-000	11/12/14 SUBS JUDGE	150.00
143186	11/21	WE ENERGIES	461-11-51401-581-000	GAS DEMO 4603 37 AV	550.00
143187	11/21	IOD INCORPORATED	110-09-56405-161-000	10/14/14 W/C	3.60
143188	11/21	KENOSHA EMERGENCY PHYSICIANS	110-09-56405-161-000	10/17/14 W/C	352.80
143189	11/21	AURORA HEALTH CARE	110-09-56405-161-000	10/6/14 W/C	273.06
			110-09-56405-161-000	10/14/14 W/C	254.15
			110-09-56405-161-000	10/17/14 W/C	179.35
			110-09-56405-161-000	10/16/14 W/C	170.85
				..... CHECK TOTAL	877.41
143190	11/21	EQUIAN LLC	110-09-56405-161-000	9/25/14 W/C	25.51
143191	11/21	ESTES, STEPHEN F	501-00-13114-000-000	SWU 28630 OVERPAY	22.10
			501-00-13114-000-000	SWU 28629 OVERPAY	12.24
				..... CHECK TOTAL	34.34
143192	11/21	FRANKLIN FINANCIAL	110-00-21581-000-000	11/21/14 DEDUCTION	131.78
143193	11/21	RAMSDELL, CAROL	501-00-13114-000-000	SWU 17924 OVERPAY	60.03
143194	11/21	KIMPEL, SANDRA	206-00-13107-000-000	7/27/14 TRANSPORT	396.36
143195	11/21	BUCK, WAYDE B	521-09-50101-261-000	10/14 276 MILES	154.56
143196	11/21	NICCOLAI, DAVID J.	110-00-21533-000-000	LIFE INS. DEDCT	58.28

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
143197	11/21	MILLSAPS, NINA M.	611-09-50102-259-000	WELLNESS PROGRAM EXP	250.00
143198	11/21	MIFFLIN, BRIAN L.	110-00-21533-000-000	LIFE INS. DEDCT	56.76
143199	11/21	BROADWAY, LEE	110-09-56405-166-000	FULL/FINAL-ORDER	9,552.00
143200	11/21	POLTROCK, KERRY	110-00-21581-000-000	STATE TAX LEVY 10/31	724.76
143201	11/21	KOCHMAN, KRIS	222-09-50101-259-000	UNITED WAY EXP	108.48
143202	11/26	CROWN TROPHY OF KENOSHA	724-00-21933-000-000	YOUTH COMM AWARDS	27.00
143203	11/26	NEW FLYER	520-09-50201-347-000 520-09-50201-347-000	10/14 BUS PARTS 10/14 BUS PARTS CHECK TOTAL	720.15 483.24 1,203.39
143204	11/26	VIKING ELECTRIC SUPPLY	110-03-53109-375-000	10/14 ST ELECTRICAL	12.37
143205	11/26	BUMPER TO BUMPER	630-09-50101-393-000 110-02-52203-344-000 520-09-50201-317-000 520-09-50201-347-000 110-03-53103-389-000 630-09-50101-389-000	10/14 CE PARTS, MATE 10/14 FD PARTS, MATE 10/14 TD PARTS, MATE 10/14 TD PARTS, MATE 10/14 ST PARTS, MATE 10/14 CE PARTS, MATE CHECK TOTAL	1,440.91 411.11 151.10 54.16 11.89 3.78 2,072.95
143206	11/26	CORNERSTONE PAVERS LLC	402-11-51401-585-000	EST 1 THRU 10/31/14	104,247.00
143207	11/26	HWY C SERVICE	630-09-50101-393-000 501-09-50105-235-000 110-03-53113-389-000	10/14-SE SERVICE/PAR 11/14-SW SERVICE/PAR 11/14-ST SERVICE/PAR CHECK TOTAL	867.32 236.52 112.59 1,216.43
143208	11/26	LAKESIDE STEEL & MFG. CO.	403-11-51208-589-000	BALLARD POSTS	2,025.00
143209	11/26	KENOSHA CITY EMPLOYEE'S	110-00-21562-000-000 110-00-21562-000-000 110-00-21562-000-000 110-00-21562-000-000 110-00-21562-000-000 110-00-21562-000-000	11/27/14 CITY SAL 11/28/14 CITY HRLY 11/28/14 WATER SAL 11/28/14 LIBRARY SAL 11/28/14 WATER HRLY 11/28/14 MUSEUM HRLY CHECK TOTAL	38,573.86 10,679.55 6,744.00 4,723.50 3,170.87 15.00 63,906.78

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
			110-05-55109-221-000	#43 10/05-11/03	22.58
			110-05-55109-222-000	#43 09/09-11/06	17.98
			110-05-55102-221-000	#43 10/08-11/06	17.17
			110-05-55103-222-000	#43 10/02-11/02	16.82
			110-05-55109-222-000	#43 10/07-11/05	9.43
			110-05-55108-221-000	#43 10/06-11/04	9.00
				..... CHECK TOTAL	7,876.36
143219	11/26	WE ENERGIES	217-06-51602-259-000	#5750828 UTILITIES	67.02
			217-06-51603-259-000	#5750835 UTILITIES	55.86
			758-09-51608-259-000	9/28-10/29/14 UTILS	42.71
			217-06-51611-259-000	#5753543 UTILITIES	37.63
			217-06-51612-259-000	#5753541 UTILITIES	37.42
			217-06-51610-259-000	#5753537 UTILITIES	36.29
			217-06-51615-259-000	#5753545 UTILITIES	34.85
			217-06-51613-259-000	#5750820 UTILITIES	31.18
			758-09-51607-259-000	10/2-10/31/14 UTILS	29.98
				..... CHECK TOTAL	372.94
143220	11/26	WIS RETIREMENT SYSTEM	110-00-21625-000-000	10/14 PENSION	509,076.10
			110-00-21622-000-000	10/14 PENSION	213,647.07
			110-02-52203-153-000	10/14 PENSION	9,474.02
			110-00-21521-000-000	10/14 PENSION	4,830.00
			110-02-52103-153-000	10/14 PENSION	458.65
				..... CHECK TOTAL	737,485.84
143221	11/26	STATE OF WISCONSIN	110-00-21901-999-000	10/14 COURT COSTS	19,103.72
			110-00-21911-999-000	10/14 COURT COSTS	11,208.63
			110-00-45104-999-000	10/14 COURT COSTS	3,310.00
				..... CHECK TOTAL	33,622.35
143222	11/26	AMERICAN STUDENT ASSISTANCE	110-00-21581-000-000	11/28/14 DEDUCTION	251.01
143223	11/26	PAYNE & DOLAN INC.	110-03-53103-355-000	10/14-ASPHALT MATERI	820.87
143224	11/26	REINDERS INC.	630-09-50101-393-000	10/14 CE #2681 PARTS	267.83
143225	11/26	KENOSHA WATER UTILITY	420-11-51210-589-846	9/5-10/7 GW O&M	424.62
			497-11-50102-219-846	9/5-10/7 GW O&M	119.76
			205-03-53119-224-000	5/19-7/29/14 COMPOST	116.61
			110-05-55109-224-000	HYDRANT 42 ST/35 AV	86.74
			 CHECK TOTAL	747.73

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
143226	11/26	WISCONSIN FUEL & HEATING	630-09-50101-392-000	11/14-CE DIESEL FUEL	26,448.20
143227	11/26	A & R DOOR SERVICE	501-09-50105-246-000 110-03-53103-246-000	10/14 ST DOOR REPAIR 10/14 ST DOOR REPAIR CHECK TOTAL	249.00 249.00 498.00
143228	11/26	AT&T	110-01-51801-227-000 110-02-52103-227-000 110-02-52110-227-000 110-02-52108-225-000	11/7-12/6 CIRCUITS 11/7-12/6 CIRCUITS 11/7-12/6 CIRCUITS 11/7-12/6 CIRCUITS CHECK TOTAL	311.50 70.00 35.00 35.00 451.50
143229	11/26	MEDICAL COLLEGE OF WISCONSIN	206-02-52205-219-000	11/14-MED DIR SERVIC	5,712.75
143230	11/26	CHASE BANK KENOSHA	110-00-21513-000-000 110-00-21612-000-000 110-00-21511-000-000 110-00-21514-000-000 110-00-21614-000-000	11/28/14 DEDUCTIONS 11/28/14 DEDUCTIONS 11/28/14 DEDUCTIONS 11/28/14 DEDUCTIONS 11/28/14 DEDUCTIONS CHECK TOTAL	222,755.11 84,336.66 84,336.56 26,039.44 26,039.29 443,507.06
143231	11/26	WIS DEPT OF JUSTICE	110-01-51303-219-000 520-09-50101-219-000	10/14 SERVICE 10/14 SERVICE CHECK TOTAL	21.00 14.00 35.00
143232	11/26	ZILSKE LAW FIRM S C	110-09-56405-212-000	8/6-9/12/14 W/C	159.50
143233	11/26	OFFICEMAX	110-01-51901-311-000 110-01-51901-311-000 110-01-51901-362-000 110-02-52103-311-000 110-05-55101-311-000 501-09-50101-311-000 110-01-51901-311-000 110-03-53101-311-000	10/14 CT #3015 OFFC 10/14 CT #3014 MISC STANDARD CART 11/14 PD #3019 OFFC 10/14 PA #3017 OFFC 10/14 EN #3018 OFFC 10/14 CT #3015 OFFC 11/14 PW #3020 OFFC CHECK TOTAL	269.80 173.58 142.19 26.95 23.70 17.92 14.20 7.76 676.10
143234	11/26	FIREFIGHTERS ASSOC/KENOSHA	110-00-21515-000-000	11/28/14 SAL DEDUCT	4,210.00
143235	11/26	FIREFIGHTERS LOCAL 414	110-00-21554-000-000	11/28/14 SAL DEDUCT	11,385.92

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
143236	11/26	SWARTZ NURSERY & GARDEN SHOP	407-11-51301-353-000	2014 TREE PLANTING	7,575.00
			407-11-51301-353-000	CANADIAN HEMLOCK	950.00
			407-11-51301-353-000	EASTERN REDBUD	825.00
			407-11-51301-353-000	SWAMP WHITE OAK	750.00
			407-11-51301-353-000	MAJESTIC SUGAR MAPLE	750.00
				..... CHECK TOTAL	10,850.00
143237	11/26	LINCOLN CONTRACTORS SUPPLY	501-09-50105-361-000	10/14-SW TOOLS/SUPPL	42.68
143238	11/26	KPSOA	110-00-21552-000-000	11/28/14 SAL DEDUCT	800.00
143239	11/26	KENOSHA PROFESSIONAL POLICE	110-00-21557-000-000	11/28/14 SAL DEDUCT	9,151.20
143240	11/26	NATIONAL CONSTRUCTION RENTAL	110-09-56501-259-569	FENCE-6415 28TH AVE	2,090.28
143241	11/26	PETCO	213-09-50101-381-000	10/14-PD EDDIE SUPPL	94.79
			213-09-50101-381-000	10/14-PD CHICO SUPPL	46.47
				..... CHECK TOTAL	141.26
143242	11/26	NAPA AUTO PARTS CO.	630-09-50101-393-000	10/14 CE PARTS/FILTE	2,313.11
			520-09-50201-347-000	10/14 TD PARTS/FILTE	234.09
			110-05-55109-344-000	10/14 PA PARTS/FILTE	192.03
			110-02-52203-344-000	10/14 FD PARTS/FILTE	178.41
			206-02-52205-344-000	10/14 FD PARTS/FILTE	109.82
			110-02-52206-344-000	10/14 FD PARTS/FILTE	93.75
			520-09-50201-317-000	10/14 TD PARTS/FILTE	42.21
			110-05-55102-344-000	10/14 PA PARTS/FILTE	15.98
			110-02-52203-385-000	10/14 FD PARTS/FILTE	13.17
			501-09-50105-235-000	10/14 SW PARTS/FILTE	3.88
			110-03-53103-389-000	10/14 ST PARTS/FILTE	1.32
				..... CHECK TOTAL	3,197.77
143243	11/26	PITNEY BOWES	110-01-51306-282-000	11/14-MACHINE LEASE/	386.00
143244	11/26	SERWE IMPLEMENT MUNICIPAL	630-09-50101-393-000	11/14-SE#8524 PARTS/	885.86
143245	11/26	MG TRUST COMPANY	761-09-50101-151-000	11/14 PIRO/RIMKUS	243.30
			761-00-21599-000-000	11/14 PIRO/RIMKUS	243.30
			 CHECK TOTAL	486.60

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
143246	11/26	AECOM TECHNICAL SERVICES INC	420-11-51210-589-846	8/30-10/10 GW SYSTM	15,139.45
			420-11-51210-589-846	8/2-29 SW INVEST.	6,318.76
			420-11-51210-589-847	8/2-8/29 EXCAVATION	5,128.02
			497-11-50102-219-846	8/30-10/10 GW SYSTM	4,270.10
			497-11-50101-219-000	8/2-29 SW INVEST.	3,639.57
			420-11-51210-589-847	7/19-8/8 EXCAVATION	2,291.84
			420-11-51210-589-846	7/23-10/10 PRELIM OP	2,153.81
			497-11-50102-219-846	8/2-29 SW INVEST.	1,782.21
			497-11-50102-219-847	8/2-8/29 EXCAVATION	1,446.37
			420-11-51210-589-846	8/2-10/10 TOPO SURV	917.05
			420-11-51210-589-846	8/29-10/10 BLDG 53	844.84
			497-11-50102-219-847	7/19-8/8 EXCAVATION	646.42
			497-11-50102-219-846	7/23-10/10 PRELIM OP	607.48
			420-11-51210-589-847	7/19-8/8 EXCAVATION	506.17
			403-11-51102-588-000	7/5-10/10 SPOILS	265.94
			497-11-50102-219-846	8/2-10/10 TOPO SURV	258.64
			497-11-50102-219-846	8/29-10/10 BLDG 53	238.29
			420-11-51210-589-846	8/2-10/10 TOPO SURV	145.81
			497-11-50102-219-847	7/19-8/8 EXCAVATION	142.76
			497-11-50102-219-846	8/2-10/10 TOPO SURV	41.14
				..... CHECK TOTAL	46,784.67
143247	11/26	MESSERLI & KRAMER P.A.	110-00-21581-000-000	11/28/14 DEDUCTION	177.18
143248	11/26	MANDLIK & RHODES	501-09-50102-219-000	11/14 YW COUPON PRG	290.58
143249	11/26	MORRISSEY, JOHN W	110-02-52110-311-000	11/14 REPLENISH	452.81
			110-02-52103-311-000	11/14 REPLENISH	58.82
			110-02-52102-263-000	11/14 REPLENISH	56.42
			110-02-52103-367-000	11/14 REPLENISH	20.00
				..... CHECK TOTAL	588.05
143250	11/26	CICCHINI ASPHALT LLC	501-09-50105-219-000	11/14 SW ASPHALT INS	1,730.10
143251	11/26	AECOM TECHNICAL SERVICES INC	420-11-51310-589-000	8/30-10/10 ENV SUPPT	1,020.84
			405-00-46907-713-000	7/5-10/10 UST	376.09
				..... CHECK TOTAL	1,396.93
143252	11/26	JAMES IMAGING SYSTEMS, INC.	110-02-52201-232-000	11/14 MANGD PRINTER	308.02
			110-01-51601-232-000	11/14 MANGD PRINTER	184.68
			520-09-50301-232-000	11/14 MANGD PRINTER	102.60
			110-05-55101-232-000	11/14 MANGD PRINTER	102.60
			110-01-51201-232-000	11/14 MANGD PRINTER	102.60
			110-01-51101-232-000	11/14 MANGD PRINTER	102.60
			632-09-50101-232-000	11/14 MANGD PRINTER	82.08
			110-03-53103-232-000	11/14 MANGD PRINTER	82.08
			110-01-52001-232-000	11/14 MANGD PRINTER	82.08
			110-01-51303-232-000	11/14 MANGD PRINTER	82.08
			110-01-51102-232-000	11/14 MANGD PRINTER	82.08

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
			110-01-50901-232-000	11/14 MANGD PRINTER	61.56
			110-01-50301-232-000	11/14 MANGD PRINTER	61.56
			631-09-50101-232-000	11/14 MANGD PRINTER	41.04
			521-09-50101-232-000	11/14 MANGD PRINTER	41.04
			110-03-53116-232-000	11/14 MANGD PRINTER	41.04
			110-02-52103-232-000	11/14 MANGD PRINTER	41.04
			110-01-51301-232-000	11/14 MANGD PRINTER	41.04
			110-03-53101-232-000	11/14 MANGD PRINTER	20.52
			110-02-52201-232-000	11/14 MANGD PRINTER	20.52
				..... CHECK TOTAL	1,682.86
143253	11/26	SAM'S CLUB	110-01-50101-311-000	10/14-CT MERCHANDISE	48.80
			524-05-50101-397-000	10/14-PA MERCHANDISE	5.91
			524-05-50101-219-000	10/14-PA MERCHANDISE	2.47
				..... CHECK TOTAL	57.18
143254	11/26	AMERICAN FOUNDRY & FURNACE	633-09-50101-241-000	CARBON MONOXIDE CALL	962.00
143255	11/26	LEE PLUMBING, INC.	110-02-52203-246-000	10/14-FD#4 HVAC, PLU	2,001.68
			110-02-52203-241-000	10/14-FD#4 HVAC, PLU	223.00
				..... CHECK TOTAL	2,224.68
143256	11/26	LAKESIDE INTERNATIONAL TRUCK	630-09-50101-393-000	10/14-CE PARTS/MATER	8,089.18
			206-02-52205-344-000	10/14-FD PARTS/MATER	95.15
				..... CHECK TOTAL	8,184.33
143257	11/26	HUMANA CLAIMS	611-09-50101-155-527	11/21/14 MED CLAIMS	130,223.62
			611-09-50101-155-527	11/25/14 MED CLAIMS	107,553.75
			611-09-50101-155-527	11/24/14 MED CLAIMS	32,972.98
			611-09-50101-155-527	11/24/14 PHARMACY	9,340.10
			611-09-50101-155-527	11/21/14 PHARMACY	4,116.24
			611-09-50101-155-527	10/14 CLINIC FEES	3,219.00
			611-09-50101-155-527	09/14 BEST DR'S	1,498.55
			611-09-50101-155-527	10/14 BEST DOCTORS	1,489.95
			611-09-50101-155-527	10/14 PR YR STP LOS	953.11
			611-09-50101-155-527	10/14 ADMN PR AUTH	840.00
			611-09-50101-155-527	11/25/14 PHARMACY	701.24
			611-09-50101-155-527	10/14 SHARED SAVING	519.31
			611-09-50101-155-527	10/14 VOIDS	6,440.97CR
			611-09-50101-155-527	10/14 FINCL RECOVERY	45,427.22CR
			 CHECK TOTAL	241,559.66

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
143258	11/26	PIONEER COMMERCIAL CLEANING	110-01-51801-243-000	11/14 JANITORIAL SER	3,735.00
			632-09-50101-243-000	11/14 JANITORIAL SER	180.00
				..... CHECK TOTAL	3,915.00
143259	11/26	HUMANA INSURANCE CO	611-09-50101-155-517	11/14 PREMIUM	103,419.40
			611-09-50101-155-518	11/14 PREMIUM	34,755.70
			611-09-50101-155-519	11/14 PREMIUM	3,875.20
			611-09-50101-155-517	10/14 ADJUSTMENT	239.12
			611-09-50101-155-518	10/14 ADJUSTMENT	80.36
			611-09-50101-155-519	10/14 ADJUSTMENT	8.96
			611-09-50101-155-518	11/14 PREMIUM	5.60CR
				..... CHECK TOTAL	142,373.14
143260	11/26	US CELLULAR	631-09-50101-226-000	11/14 EN-CELL AIRTM	203.16
			206-02-52205-226-000	11/14 FD-DATA SERVC	142.93
			206-02-52205-226-000	11/14 FD-CELL SERVC	77.12
			206-02-52205-226-000	11/14 FD-CELL SERVC	38.36
			205-03-53119-226-000	11/14 ST-CELL AIRTM	3.76
			205-03-53118-226-000	11/14 WA CELL AIRTM	1.26
			110-03-53103-226-000	11/14 ST-CELL AIRTM	1.26
				..... CHECK TOTAL	467.85
143261	11/26	WASTE MANAGEMENT OF WI	110-03-53117-253-416	11/14 1042.83 TONS	25,236.49
			110-03-53117-253-416	11/14 WDNR TONNAGE	13,556.79
			501-09-50104-253-000	11/14 230.18 TONS	5,570.36
			501-09-50104-253-000	11/14 WDNR TONNAGE	2,929.81
			110-03-53117-253-416	11/15 FUEL SURCHARGE	2,063.87
			110-03-53117-253-417	11/14 70.82 TONS	1,713.84
			110-03-53117-253-417	11/14 9 CMPCT PULLS	1,564.20
			501-09-50105-253-000	11/14 49.78 TONS	1,204.68
			110-03-53117-253-417	11/14 WDNR TONNAGE	920.66
			501-09-50105-253-000	11/14 WDNR TONNAGE	647.14
			501-09-50104-253-000	11/14 FUEL SURCHARGE	472.12
			110-03-53117-253-416	11/14 ENVIRO SURCHG	288.00
			501-09-50104-253-000	11/14 ENVIRO SURCHG	282.00
			110-03-53117-253-417	11/14 FUEL SURCHARGE	270.47
			501-09-50105-253-000	11/15 FUEL SURCHARGE	103.28
			501-09-50105-253-000	11/14 ENVIRO SURCHG	72.00
			110-03-53117-253-417	11/14 ENVIRO SURCHG	54.00
				..... CHECK TOTAL	56,949.71

START DATE FOR SUMMARY: 11/16 END DATE FOR SUMMARY: 11/30

CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
143262	11/26	HEALTHSTAT	611-09-50101-155-504	10/14 MID LVL PROV	14,852.54
			611-09-50101-155-504	10/14 PROG ADMN FEE	10,118.40
			611-09-50101-155-504	10/14 REF LAB FEES	7,806.15
			611-09-50101-155-504	10/14 MEDCL OFC AST	5,915.13
			611-09-50101-155-504	9/25-10/24 MED SUPL	875.03
			611-09-50101-155-504	9/14 BANK FEES	24.33
			611-09-50101-155-504	9/27-10/31 CO PAYS	280.00CR
				..... CHECK TOTAL	39,311.58
143263	11/26	ARTHUR J GALLAGHER & CO, INS	521-00-16250-000-000	11/14-10/15 AIR G.L.	8,500.00
143264	11/26	MALSACK, J	463-11-51102-219-000	10/14 PARCELS MTN-A	341.28
			463-11-51102-219-000	10/14 PARCELS A	248.78
			217-06-51615-259-000	#5752040 - GRASS	70.00
			217-06-51613-259-000	#5752040 - GRASS	70.00
			217-06-51612-259-000	#5752040 - GRASS	70.00
			217-06-51611-259-000	#5752040 - GRASS	70.00
			217-06-51610-259-000	#5752040 - GRASS	70.00
			217-06-51603-259-000	#5752040 - GRASS	70.00
			217-06-51602-259-000	#5752040 - GRASS	70.00
				..... CHECK TOTAL	1,080.06
143265	11/26	WISCONSIN COUNCIL 40	110-00-21553-000-000	11/28/14 CITY HRLY	162.50
143266	11/26	WASTE MGMT OF MILWAUKEE	110-05-55108-282-000	10/14-S PIER PORTABL	270.00
			110-05-55108-282-000	09/14-S PIER PORTABL	270.00
				..... CHECK TOTAL	540.00
143267	11/26	HOLIDAY INN EXPRESS & SUITES	110-02-52201-263-000	10/21/14 J ROEMER	89.00
143268	11/26	PELION BENEFITS, INC.	110-00-21517-000-000	11/16-30/14 DEDUCTS	4,025.35
143269	11/26	MARTIN PETERSEN COMPANY, INC.	520-09-50201-246-000	TRANE ROOF TOP UNITS	1,000.00
			520-09-50201-246-000	10/14-TD HVAC, PLUMB	252.60
				..... CHECK TOTAL	1,252.60
143270	11/26	JOHNSON BANK	110-00-21532-000-000	11/28/14 CITY SAL	25,827.54
			110-00-21532-000-000	11/28/14 WATER SAL	3,110.25
			110-00-21532-000-000	11/28/14 CITY HRLY	1,190.00
			110-00-21532-000-000	11/28/14 LIBRARY SAL	1,150.00
			110-00-21532-000-000	11/28/14 WATER HRLY	404.62
				..... CHECK TOTAL	31,682.41

START DATE FOR SUMMARY: 11/16 END DATE FOR SUMMARY: 11/30

CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
143271	11/26	MOORE OIL COMPANY	520-09-50106-341-000	10/14 LUBRICATION PR	369.97
143272	11/26	MOHAWK MFG. & SUPPLY CO.	520-09-50201-347-000	MISC. BUS PARTS	2,378.16
			520-09-50201-347-000	MISC. BUS PARTS	44.84
				..... CHECK TOTAL	2,423.00
143273	11/26	PROFESSIONAL SERVICE IND, INC	461-11-51301-581-000	10/14 4603 37TH AV	2,376.00
			110-09-56501-259-565	10/14 4308 6TH AV	2,284.00
				..... CHECK TOTAL	4,660.00
143274	11/26	CHAPTER 13 TRUSTEE	110-00-21581-000-000	11/28/14 DEDUCTION	743.00
			110-00-21581-000-000	11/28/14 DEDUCTION	419.00
			110-00-21581-000-000	11/28/14 DEDUCTION	400.00
			110-00-21581-000-000	11/28/14 DEDUCTION	104.00
			110-00-21581-000-000	11/28/14 DEDUCTION	87.00
			110-00-21581-000-000	11/28/14 DEDUCTION	45.00
				..... CHECK TOTAL	1,798.00
143275	11/26	DELFRATE, KRISTINA	520-09-50201-347-000	11/14 PETTY CASH	21.92
143276	11/26	STAPLES	110-02-52103-311-000	11/14 PD MISC OFFICE	53.09
143277	11/26	WAUSAU EQUIPMENT CO.	630-09-50101-393-000	10/14-SE PARTS/MATER	1,470.66
143278	11/26	ULINE	501-09-50105-344-000	FORK EXTENSION	445.00
			501-09-50105-344-000	SAFETY DRUM FUNNEL	239.00
				..... CHECK TOTAL	684.00
143279	11/26	OLIVER ADJUSTMENT COMPANY	110-00-21581-000-000	11/28/14 DEDUCTION	203.46
143280	11/26	GEMPLER'S, INC	501-09-50106-367-000	RAIN GEAR	406.70
143281	11/26	MENARDS (KENOSHA)	110-01-51802-357-000	10/14-MB MERCHANDISE	484.90
			520-09-50401-369-000	10/14-TD MERCHANDISE	413.98
			501-09-50105-361-000	10/14-SW MERCHANDISE	182.78
			110-05-55109-244-000	10/14-PA MERCHANDISE	173.88
			110-03-53110-389-000	10/14-ST MERCHANDISE	95.11
			110-02-52203-382-000	11/14-FD#2 MERCHANDI	39.94
			520-09-50401-347-000	10/14-TD MERCHANDISE	26.08
			206-02-52205-344-000	11/14-FD#4 MERCHANDI	25.21
			110-05-55109-389-000	10/14-PA MERCHANDISE	24.65
			630-09-50101-393-000	10/14-CE#2258 MERCHA	21.98
			630-09-50101-393-000	10/14-CE#2258 MERCHA	11.99
			110-05-55111-361-000	10/14-PA MERCHANDISE	6.58
				..... CHECK TOTAL	1,507.08

START DATE FOR SUMMARY: 11/16 END DATE FOR SUMMARY: 11/30

CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
143282	11/26	J & J BEARING & TRUCK, INC	630-09-50101-393-000	DRILL BITS	631.58
143283	11/26	H & H CIVIL CONSTRUCTION	405-11-51217-589-826 403-11-51217-589-000	FINAL THRU 7/3/14 FINAL THRU 7/03/14 CHECK TOTAL	6,027.00 6,027.00 12,054.00
143284	11/26	CONSOLIDATED DOORS INC	405-11-51311-589-000	OVERHEAD DOORS	7,678.00
143285	11/26	FAMILY SUPPORT PAYMENT CTR	110-00-21581-000-000	11/28/14 DEDUCTION	55.30
143286	11/26	BELLE CITY FIRE EXTINGUISHER	524-05-50101-246-000	10/14 PA-EXTINGUISHR	675.00
143287	11/26	WIS SCTF	110-00-21581-000-000 110-00-21581-000-000 110-00-21581-000-000	11/28/14 SAL DEDUCT 11/28/14 HRLY DEDCT 11/25/14 DEDUCTIONS CHECK TOTAL	11,551.47 1,635.10 81.67 13,268.24
143288	11/26	ILLINOIS DEPT OF PUBLIC AID	110-00-21581-000-000	11/28/14 DEDUCTION	375.00
143289	11/26	KENOSHA COUNTY TREASURER	110-00-21910-999-000 110-00-21901-999-000 110-00-21910-999-000	10/14 FEES COLLECTED 10/14 FEES COLLECTED 10/14 FEES COLLECTED CHECK TOTAL	7,682.49 2,039.69 176.16 9,898.34
143290	11/26	AUTO GLASS SPECIALISTS, INC.	630-09-50101-393-000	10/14 SE GLASS & ACC	226.89
143291	11/26	WAAO	110-01-50901-264-000	12/1/14 WAAO QRTLY	70.00
143292	11/26	BUSCHE, JUDY LLC	110-01-50301-219-000	10/14 PROCESS SERVC	390.00
143293	11/26	GILLIG CORPORATION	520-09-50201-347-000 520-09-50201-347-000 520-09-50201-347-000 520-09-50201-347-000	10/14-TD BUS PARTS 11/14-BUS PARTS MISC. BUS PARTS 10/14-TD CREDIT BUS CHECK TOTAL	1,586.90 685.08 111.40 137.38CR 2,246.00
143294	11/26	SAFEWAY PEST CONTROL CO.,INC	110-02-52203-246-000 520-09-50201-246-000 110-01-51801-246-000 110-03-53116-246-000 110-05-55109-246-000 520-09-50401-246-000	10/14-FD EXTERMINATI 10/14-TD EXTERMINATI 10/14-MB EXTERMINATI 10/14-WA EXTERMINATI 10/14-PA EXTERMINATI 10/14-TD EXTERMINATI CHECK TOTAL	171.00 55.00 35.00 30.00 26.00 24.00 341.00

START DATE FOR SUMMARY: 11/16 END DATE FOR SUMMARY: 11/30

CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
143295	11/26	FOX VALLEY CHEMICAL CO	110-02-52203-382-000	11/14 FD#4 CONSUMABL	40.20
143296	11/26	ERICKSON AUTO TRIM	630-09-50101-393-000	10/31 SE #2064 UPHOL	150.00
143297	11/26	MILWAUKEE TRUCK SALES INC	630-09-50101-393-000	10/14 #3045 REPAIR P	212.27
			630-09-50101-393-000	10/14 #2064 REPAIR P	13.33
				..... CHECK TOTAL	225.60
143298	11/26	RIMKUS, JASON	761-09-50101-111-000	11/16-30/14 SERVICE	1,933.04
			761-00-21514-000-000	11/16-30/14 SERVICE	28.03CR
			761-00-21512-000-000	11/16-30/14 SERVICE	95.80CR
			761-00-21599-000-000	11/16-30/14 SERVICE	96.65CR
			761-00-21511-000-000	11/16-30/14 SERVICE	119.85CR
			761-00-21513-000-000	11/16-30/14 SERVICE	220.00CR
				..... CHECK TOTAL	1,372.71
143299	11/26	PIRO, RALPH	761-09-50101-111-000	11/16-30/14 SERVICE	916.45
			761-00-21514-000-000	11/16-30/14 SERVICE	13.29CR
			761-00-21599-000-000	11/16-30/14 SERVICE	25.00CR
			761-00-21512-000-000	11/16-30/14 SERVICE	30.80CR
			761-00-21511-000-000	11/16-30/14 SERVICE	56.82CR
			761-00-21513-000-000	11/16-30/14 SERVICE	76.00CR
				..... CHECK TOTAL	714.54
143300	11/26	MUNCIE TRANSIT SUPPLY	520-09-50201-347-000	10/14-TD COACH PARTS	1,646.60
			520-09-50201-347-000	11/14-TD COACH PARTS	32.36
				..... CHECK TOTAL	1,678.96
143301	11/26	AIRGAS NORTH CENTRAL	632-09-50101-389-000	10/14 SE INDUSTRIAL	229.60
			206-02-52205-389-000	10/14 FD #4 OXYGEN C	81.80
			110-05-55109-235-000	10/14 PA-INDSTL GAS	81.40
			110-05-55109-235-000	10/14 PA-INDSTL GAS	78.49
			520-09-50201-317-000	10/14 TD INDUSTRIAL	66.80
			110-05-55109-235-000	10/14 PA-INDSTL GAS	37.75
			206-02-52205-389-000	10/14 FD #5 OXYGEN C	37.60
			206-02-52205-389-000	10/14 FD #3 OXYGEN C	37.60
			206-02-52205-344-000	10/14 FD #4 OXYGEN C	37.20
			206-02-52205-389-000	10/14 FD #7 OXYGEN C	33.60
			521-09-50101-344-000	10/14 AR INDUSTRIAL	20.80
			206-02-52205-344-000	10/14 FD #7 OXYGEN C	18.60
				..... CHECK TOTAL	761.24

START DATE FOR SUMMARY: 11/16 END DATE FOR SUMMARY: 11/30

CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
143302	11/26	NORTHWAY FENCING, INC.	405-11-51317-219-826	FINAL THRU 10/3/14	658.27
143303	11/26	MAGILL CONSTRUCTION CO., INC.	414-11-51308-583-000	DRAW 4 STATION #4 AD	214,443.00
143304	11/26	MIDWEST PHYS ANES SERVICES	110-09-56405-161-000	6/18/14 W/C	911.40
143305	11/26	IHC - KENOSHA RADIOLOGY LLC	110-09-56405-161-000	9/19/14 W/C	377.10
			110-09-56405-161-000	9/10/14 W/C	52.20
			110-09-56405-161-000	8/23/14 W/C	46.80
				..... CHECK TOTAL	476.10
143306	11/26	KENOSHA EMERGENCY PHYSICIANS	110-09-56405-161-000	6/14/14 W/C	709.00
			110-09-56405-161-000	9/10/14 W/C	303.30
				..... CHECK TOTAL	1,012.30
143307	11/26	UNITED OCC MEDICINE	110-09-56405-161-000	10/7/14 W/C	167.40
			110-09-56405-161-000	9/25/14 W/C	167.40
			110-09-56405-161-000	9/10/14 W/C	167.40
			110-09-56405-161-000	8/28/14 W/C	167.40
				..... CHECK TOTAL	669.60
143308	11/26	AURORA HEALTH CARE	110-01-51303-216-000	10/14 SCREENS	824.00
			110-09-56405-161-000	10/9/14 W/C	624.75
			110-09-56405-161-000	10/9/14 W/C	287.30
			110-09-56405-161-000	10/15/14 W/C	254.15
			110-09-56405-161-000	10/15/14 W/C	228.65
			520-09-50101-216-000	10/14 SCREENS	147.00
			110-09-56405-161-000	10/9/14 W/C	63.75
				..... CHECK TOTAL	2,429.60
143309	11/26	ATHLETIC & THERAPEUTIC INST.	110-09-56405-161-000	10/1/14 W/C	526.57
			110-09-56405-161-000	9/24/14 W/C	509.94
			110-09-56405-161-000	10/3/14 W/C	417.72
			110-09-56405-161-000	9/29/14 W/C	401.09
			110-09-56405-161-000	9/25/14 W/C	401.09
				..... CHECK TOTAL	2,256.41
143310	11/26	GENEX SERVICES INC	110-09-56405-161-000	10/16-28/14 W/C	726.49
143311	11/26	COMPREHENSIVE CLINICAL AND	110-09-56405-161-000	10/8/14 W/C	102.37
			110-09-56405-161-000	10/22/14 W/C	102.37
			110-09-56405-161-000	9/24/14 W/C	102.37
				..... CHECK TOTAL	307.11

START DATE FOR SUMMARY: 11/16 END DATE FOR SUMMARY: 11/30

CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
143312	11/26	SMARTCOMP LLC	110-09-56405-161-000	8/19-21/14 W/C	302.40
			110-09-56405-161-000	8/11-14/14 W/C	277.20
			110-09-56405-161-000	7/16/14 W/C	127.68
				..... CHECK TOTAL	707.28
143313	11/26	AURORA ADVANCED HEALTHCARE	110-09-56405-161-000	9/22/14 W/C	252.45
143314	11/26	KENOSHA HAND/PLASTIC SURGERY	110-09-56405-161-000	6/18/14 W/C	1,626.00
143315	11/26	LGIP-INVESTMENTS CITY	110-00-11301-000-000	NOV SHARED REVENUE	9,543,075.10
143316	11/26	DUCHENE, DENNIS	222-09-50101-259-908	11/28 TREE LIGHTING	250.00
143317	11/26	BUELOW, VETTER, BUIKEMA,	611-09-50101-219-000	10/14 SERVICES	1,017.50
			110-01-51303-212-000	10/14 SERVICES	110.00
			110-01-51001-212-000	10/14 SERVICES	55.00
				..... CHECK TOTAL	1,182.50
143318	11/26	JP MORGAN CHASE BANK	110-00-21112-000-000	SPCL ASMT 9908 63 ST	1.79
143319	11/26	FRANKLIN FINANCIAL	110-00-21581-000-000	11/28/14 DEDUCTION	131.78
143320	11/26	JOHNSON, DOUGLAS Q	110-09-56405-212-000	L BROADWAY/PER ORD	2,388.00
143321	11/26	MIDWEST COMMERCIAL FUNDING	110-00-21112-000-000	SPCL ASMT 1919 38 ST	2.19
143322	11/26	PACE, JANICE	110-00-21905-000-000	BEACH HOUSE-11/9/14	100.00
143323	11/26	TENUTA, KATHLEEN	402-11-51404-586-000	SIDEWALK REPAIR	706.10
143324	11/26	SWIFT, MIKE	402-11-51404-586-000	SIDEWALK REPAIR	601.60
143325	11/26	MONTE EWING CONSULTING	110-03-53109-264-000	12/11/14 TRAINING	300.00
143326	11/26	SALAS, DEBRA	110-01-51901-263-000	ELECTION VOL LUNCH	28.23
143327	11/26	WAMBOLDT, JEFFREY	110-02-52110-311-000	MEETING SUPPLIES	84.32
143328	11/26	FRANCIS, RONALD	110-02-52110-311-000	MEETING SUPPLIES	55.48

START DATE FOR SUMMARY: 11/16 END DATE FOR SUMMARY: 11/30

CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
143329	11/26	FLAHIVE, CHRISTINE	110-02-52107-263-000	11/16-17 GREEN BAY	25.00
143330	11/26	BENVENUTO, NICHOLAS	110-02-52103-263-000	11/12/14 WINNEBAGO	12.00
143331	11/26	HAMILTON, WILLIE	110-02-52103-263-000	11/12/14 WINNEBAGO	12.00
143332	11/26	REED, EMMA	501-09-50103-261-000	10/21-23 WI DELLS	201.04
			501-09-50103-263-000	10/21-23 WI DELLS	140.00
			501-09-50103-263-000	10/21-23 WI DELLS	50.18
				..... CHECK TOTAL	391.22
143333	11/26	NELSON, MICHELLE	110-01-51901-261-000	DIST 5 MTG-MILEAGE	43.04
			110-01-51201-261-000	DIST 5 MTG-MILEAGE	29.76
				..... CHECK TOTAL	72.80
143334	11/26	KUHLMEY, KILE	501-09-50103-261-000	11/12-14 HOFFMAN EST	71.68
143335	11/26	CARLS, FRANCA	110-01-51301-311-000	CERTIFICATE JACKETS	42.16
143336	11/26	DIDOMENICO, DEBBY	110-01-51901-263-000	ELECTION VOL LUNCH	40.18
143337	11/26	KENOSHA COUNTY	110-00-21109-000-000	2014 INSTL 10CV3329	50,000.00
GRAND TOTAL FOR PERIOD *****					13,722,316.86



ENGINEERING DIVISION
SHELLY BILLINGSLEY, P.E.
CITY ENGINEER

PARK DIVISION
JEFF WARNOCK
SUPERINTENDENT

FLEET MAINTENANCE
MAURO LENCI
SUPERINTENDENT

STREET DIVISION
JOHN H. PRIJIC
SUPERINTENDENT

WASTE DIVISION
ROCKY BEDNAR
SUPERINTENDENT

DEPARTMENT OF PUBLIC WORKS

MICHAEL M. LEMENS, P.E., DIRECTOR

SHELLY BILLINGSLEY, P.E., DEPUTY DIRECTOR

MUNICIPAL BUILDING · 625 - 52ND ST · RM 305 · KENOSHA, WI 53140
TELEPHONE (262) 653-4050 · FAX (262) 653-4056
EMAIL PUBLICWORKS@KENOSHA.ORG

December 8, 2014

To: Eric Haugaard, Chairman
Public Works Committee

From: Shelly Billingsley, P.E. *Shelly Billingsley*
Deputy Director of Public Works / City Engineer

CC: Rhonda Jenkins
District 2

Barbara Brattin
Library Director

Subject: ***Change Order for Project 12-1526 Simmons Library Roof Replacement (Change of Contract Deadline Only)***

BACKGROUND INFORMATION

Staff and the Contractor are requesting the extension of the Simmons Library Roof Replacement to be extended August 4, 2015 with the unseasonably cold weather in November.

RECOMMENDATION

Approve the Change Order extending the contract deadline to August 4, 2015.

THE CITY OF KENOSHA

CHANGE ORDER

Project Name: Simmons Library Roof Replacement
Project Number: 12-1526
C.I.P. Line Item: LI-08-001
Purchase Order #: 141116
Contractor: Carlson Racine Roofing & Sheet Metal, Inc.
Public Works Committee Action: **12/15/14**
Finance Committee: N/A
Date of Common Council Action: **12/15/14**

City and contractor agree that the above contract is amended to specify that contract completion deadline will extended 179 days. The project will be completed no later than **August 4, 2015**.

This change order is approved by:

Carlson Racine Roofing & S.M. Inc.

CONTRACTOR

CITY OF KENOSHA, MAYOR

DATE

DATE

12/8/14



ENGINEERING DIVISION
SHELLY BILLINGSLEY, P.E.
CITY ENGINEER
PARK DIVISION
JEFF WARNOCK
SUPERINTENDENT
FLEET MAINTENANCE
MAURO LENCI
SUPERINTENDENT

STREET DIVISION
JOHN H. PRIJIC
SUPERINTENDENT
WASTE DIVISION
ROCKY BEDNAR
SUPERINTENDENT

DEPARTMENT OF PUBLIC WORKS
MICHAEL M. LEMENS, P.E., DIRECTOR
SHELLY BILLINGSLEY, P.E., DEPUTY DIRECTOR

MUNICIPAL BUILDING · 625 - 52ND ST · RM 305 · KENOSHA, WI 53140
TELEPHONE (262) 653-4050 · FAX (262) 653-4056
EMAIL PUBLICWORKS@KENOSHA.ORG

December 5, 2014

To: Scott Gordon, Chairman
Parks Committee

Eric Haugaard, Chairman
Public Works Committee

From: Shelly Billingsley, P.E. *Shelly Billingsley*
Deputy Director of Public Works / City Engineer

CC: Keith Rosenburg
District 9

Subject: *Change Order for Project 13-1419 Anderson Park Fishing Pier (Change of Contract Deadline Only)*

BACKGROUND INFORMATION

Staff and the Contractor are requesting the extension of the Anderson Park Fishing Pier to be extended to March 20, 2015 with the unseasonably cold weather in November.

RECOMMENDATION

Approve the Change Order extending the contract deadline to March 20, 2015.

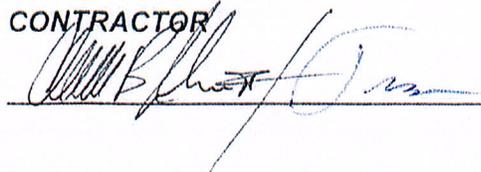
THE CITY OF KENOSHA

CHANGE ORDER

Project Name: Anderson Park Fishing Pier
Project Number: 13-1419
C.I.P. Line Item: PK-11-001
Purchase Order #: 141128
Contractor: NuGen Johnson, LLC
Public Works Committee Action: 12/15/14
Finance Committee: N/A
Date of Common Council Action: 12/15/14

City and contractor agree that the above contract is amended to specify that contract completion deadline will be extended 120 days. The project will be completed no later than **March 20, 2015**.

This change order is approved by:

CONTRACTOR


CITY OF KENOSHA, MAYOR

DATE
3 Dec 2014 / 3-Dec-2014

DATE



ENGINEERING DIVISION
SHELLY BILLINGSLEY, P.E.
CITY ENGINEER
CATHY AUSTIN, P.E.
ASSISTANT CITY ENGINEER
KILE KUHLMEY
SOIL EROSION SPECIALIST

STREET DIVISION
JOHN H. PRIJIC
SUPERINTENDENT

DEPARTMENT OF STORMWATER UTILITY
MICHAEL M. LEMENS, P.E., DIRECTOR
SHELLY BILLINGSLEY, P.E., DEPUTY DIRECTOR

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December 5, 2014

To: Patrick Juliana, Chairman
Stormwater Utility Committee

Scott Gordon, Chairman
Parks Committee

Eric Haugaard, Chairman
Public Works Committee

From: Shelly Billingsley, P.E. *Shelly Billingsley*
Deputy Director of Public Works / City Engineer

CC: Rhonda Jenkins
District 2

Subject: ***Change Order for Project 14-1120 Eichelman Park Beach Water Quality Improvements Phase I & II (Change of Contract Deadline Only)***

BACKGROUND INFORMATION

Staff and the Contractor are requesting the extension of the Eichelman Park Beach Water Quality Improvements Phase I & II to be extended to May 15, 2015 with the unseasonably cold weather planting will have to take place this spring.

RECOMMENDATION

Approve the Change Order extending the contract deadline to May 15, 2015.

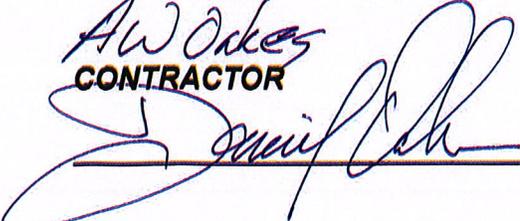
THE CITY OF KENOSHA

CHANGE ORDER

Project Name: Eichelman Park Beach Water Quality Improvements Phases I & II
Project Number: 14-1120
C.I.P. Line Item: SW-14-002
Purchase Order #: 14-1120
Contractor: A.W. Oakes & Son, Inc.
Public Works Committee Action: 12/15/14
Finance Committee: N/A
Date of Common Council Action: 12/15/14

City and contractor agree that the above contract is amended to specify that contract completion deadline will be extended 181 days. The project will be completed no later than **May 15, 2015.**

This change order is approved by:

A.W. Oakes
CONTRACTOR


CITY OF KENOSHA, MAYOR

DATE

DATE

12-3-14



ENGINEERING DIVISION
SHELLY BILLINGSLEY, P.E.
CITY ENGINEER

PARK DIVISION
JEFF WARNOCK
SUPERINTENDENT

FLEET MAINTENANCE
SUPERINTENDENT

STREET DIVISION
JOHN H. PRIJIC
SUPERINTENDENT

WASTE DIVISION
ROCKY BEDNAR.
SUPERINTENDENT

DEPARTMENT OF PUBLIC WORKS

MICHAEL M. LEMENS, P.E., DIRECTOR
SHELLY BILLINGSLEY, P.E., DEPUTY DIRECTOR

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December 8, 2014

To: Eric Haugaard, Chairman,
Public Works Committee

From: Shelly Billingsley, P.E. *Shelly Billingsley*
Deputy Director of Public Works/City Engineer

Subject: Acceptance of Project 14-2002 Overpass Painting Phase IV

Location: 1200 Block of 43rd Street, 1300 Block of 57th Street, 1300 Block of 68th Street

Please be advised that the above referenced project has been satisfactorily completed by Mill Coatings, Inc., Suamico, Wisconsin. This project consisted of cleaning and painting approximately 7,550 square feet of steel railroad overpass structures and removing graffiti and applying anti-graffiti coating to approximately 9,550 square feet of concrete surface (anti-graffiti areas: 43rd Street, 50th Street, 57th Street, and 68th Street).

It is recommended that the project be accepted in the final amount of \$133,315.00. Original contract amount was \$189,115.00 plus \$5,885.00 for contingency for a total of \$195,000.00 Funding was from CIP Line Item OT-10-001.

SAB/kjb