

Municipal Building 625 52nd Street – Room 202	Kenosha City Plan Commission Agenda	Thursday, October 23, 2014 5:00 p.m.
<p style="text-align: center;"><i>Mayor Keith Bosman - Chairman, Alderperson Scott Gordon - Vice-Chairman Alderperson Jan Michalski, Alderperson Kurt Wicklund, Patrick DeGrace, Anita Faraone, Robert Hayden, Bradley Kleba, Anderson Lattimore and Jessica Olson</i></p>		

Call to Order and Roll Call

Approval of Minutes from September 18, 2014

1. Petition to vacate a portion of 55th Street right-of-way west of 22nd Avenue. (City of Kenosha/Juliana) (District #7) PUBLIC HEARING
2. Conditional Use Permit for a 60 unit apartment building to be located at 5821 5th Avenue. (5th Avenue Lofts) (District #2) PUBLIC HEARING
3. City Plan Commission Resolution - To Amend the Land Use Plan Map for the *Comprehensive Plan for the City of Kenosha: 2035*, regarding property at 6300 3rd Avenue. (Clark) (District #2) PUBLIC HEARING
4. By the City Plan Commission - To Create Subsection 18.02 jj. of the Zoning Ordinance to Amend the Land Use Plan Map for the City of Kenosha: 2035. (Clark) (District #2) PUBLIC HEARING
5. By the Mayor - Petition to rezone property at 6300 3rd Avenue from IP Institutional Park District to RS-1 Single-Family Residential District. (Clark) (District #2) PUBLIC HEARING
6. City Plan Commission Resolution - To Amend the Land Use Plan Map for the *Comprehensive Plan for the City of Kenosha: 2035*, regarding property at 7505 38th Avenue. (MLR Properties) (District #13) PUBLIC HEARING
7. By the City Plan Commission - To Create Subsection 18.02 kk. of the Zoning Ordinance to Amend the Land Use Plan Map for the City of Kenosha: 2035. (MLR Properties) (District #13) PUBLIC HEARING
8. By the Mayor - Petition to rezone property at 7505 38th Avenue from RG-1 General Residential District to B-1 Neighborhood Business District. (MLR Properties, LLC) (District #13) PUBLIC HEARING
9. City Plan Commission Resolution - To Amend the *Comprehensive Plan for the City of Kenosha: 2035* regarding the *Bristol Neighborhood Plan*. (District #16) PUBLIC HEARING
10. By the City Plan Commission - To Create Subsection 18.02 ii. of the Zoning Ordinance to Amend the *Bristol Neighborhood Plan* as referenced in the *Comprehensive Plan for the City of Kenosha: 2035*. (District #16) PUBLIC HEARING
11. City Plan Commission Resolution - To Amend Chapter 6 entitled Existing Plans & Ordinances for the *Comprehensive Plan for the City of Kenosha: 2035* by revising the *City of Kenosha Downtown Strategic Development Plan* dated August 2012. (District #2) PUBLIC HEARING
12. By the City Plan Commission - To Create Subsection 18.02 ll. of the Zoning Ordinance to Amend the *City of Kenosha Downtown Strategic Development Plan* dated August 2012 and as Referenced in the *Comprehensive Plan for the City of Kenosha: 2035*. (District #2) PUBLIC HEARING

13. Resolution By the Mayor: To Amend the Official Map for the City of Kenosha, Wisconsin, To Include the Attachment of Parcel #80-4-122-032-0085, South of 60th Street and West of STH 31 in the Town of Somers, Kenosha County, Wisconsin, in accordance with the approved City of Kenosha/Town of Somers Cooperative Plan Under Section 66.0307 of the Wisconsin Statutes (Bleashka) (District #16) PUBLIC HEARING
14. By the Mayor - To Repeal and Recreate Various Sections of the Zoning Ordinance for the City of Kenosha, Wisconsin regarding Review Authority of the City Plan Commission. PUBLIC HEARING
15. By the Mayor - To Repeal and Recreate Sections IV and XIV of the Zoning Ordinance for the City of Kenosha, WI to reflect the change in name by substituting the term "Lawn Park" in place of "Parkway" wherever that term appears and to Repeal and Recreate Subparagraph 4.06 B.16 regarding self-service storage facilities. PUBLIC HEARING
16. By the City Plan Commission - To Repeal and Recreate the Definition of Community Living Arrangements as defined in Section 12, To Amend, Repeal and Recreate Various Provisions of Section 3 of the Zoning Ordinance regarding Community Living Arrangements. PUBLIC HEARING

Public Comments

Commissioner Comments

Staff Comments

Adjournment

CITY PLAN COMMISSION
Minutes
September 18, 2014

MEMBERS PRESENT: Mayor Bosman, Alderperson Michalski, Alderperson Wicklund, Anita Faraone, Robert Hayden, Anderson Lattimore and Jessica Olson

MEMBERS EXCUSED: Alderperson Gordon, Patrick DeGrace and Bradley Kleba

STAFF PRESENT: Rich Schroeder and Pa Phouala Vang

Others Present: Shelly Billingsley, Public Works

The meeting was called to order at 5:00 p.m. by Mayor Bosman and roll call was taken.

A motion was made by Alderperson Michalski and seconded by Mr. Lattimore to approve the minutes of the September 4, 2014 meeting. The motion passed. (Ayes 7, Noes 0)

1. Conditional Use Permit for a 45-unit apartment building to be located at 720 59th Place. (Residences at Library Park) (District #2) PUBLIC HEARING

Public hearing opened.

Tom O'Connell, Partners In Design Architects, 600 52nd Street, architect for the project was available for questions.

Public hearing closed.

Alderperson Michalski said this item came before the Historic Preservation Commission for review. The project complies with State Historic requirements and Alderperson Michalski supports the project.

A motion was made by Alderperson Michalski and seconded by Ms. Faraone to approve the Conditional Use Permit.

Ms. Faraone asked for the size of the "affordable" units. Mr. O'Connell said there will be all sizes (studio, 1 BDRM, 2 BDRM and 3 BDRM).

The motion passed. (Ayes 7, Noes 0)

2. By the Mayor - Resolution to Approve a Two-Lot Certified Survey Map for property at 3615 Washington Road. (Local 72 UAW) (District #10) PUBLIC HEARING

Public hearing open.

William Thomas, 5510 17th Avenue, representing Local 72 UAW was available for questions.

Public hearing closed.

Aldersperson Michalski asked the reason for the Certified Survey Map. Mr. Thomas said they will be selling one of the lots.

A motion to approve was made by Ms. Faraone and seconded by Mr. Lattimore. The motion passed. (Ayes 7, Noes 0)

3. City Plan Resolution - To Amend Chapter 6 entitled Existing Plans and Ordinances for the Comprehensive Plan for the City of Kenosha: 2035 Adopting a Master Plan for Pennoyer Park. (District #1) PUBLIC HEARING

Public hearing opened, no comments, public hearing closed.

Aldersperson Wicklund said this Master Plan was reviewed and approved at a Special Parks Commission meeting.

A motion was made by Aldersperson Wicklund and seconded by Mr. Lattimore to approve the City Plan Commission Resolution.

Mr. Hayden asked if an amphitheater was being considered. Aldersperson Wicklund said they will be adding lawn seating and ramps to the band shell area. Mayor Bosman added that the City will be applying for Grants to do some of the things on the Master Plan.

Shelly Billingsley, Public Works- Parks Division, said once the Master Plan is adopted the City can research what grants are available for different projects.

Ms. Faraone asked if the band shell will be expanding. Aldersperson Wicklund said no, not at this time.

Aldersperson Michalski asked where the foot bridge over the Pike River will be located. Ms. Billingsley said it is shown on Exhibit F., shoreline protection would be in place to prevent erosion in that area.

The motion passed. (Ayes 7, Noes 0)

4. By the City Plan Commission - To Create Subsection 18.02 gg. of the Zoning Ordinance to Amend the Comprehensive Plan to Include a Master Plan for Pennoyer Park. (District #1) PUBLIC HEARING

Public hearing opened, no comments, public hearing closed.

A motion was made by Ms. Faraone and seconded by Ms. Olson to approve the Zoning Ordinance. The motion passed. (Ayes 7, Noes 0)

5. By the Mayor - To Repeal and Recreate Subparagraph 2.04 A.2 of the Zoning Ordinance for the City of Kenosha, Wisconsin regarding height regulations. PUBLIC HEARING

Public hearing opened, no comments, public hearing closed.

A motion was made by Ms. Faraone and seconded by Mr. Hayden to approve the Zoning Ordinance. The motion passed. (Ayes 7, Noes 0)

Public Comments

No public comments.

Commissioner Comments

No Commissioner comments.

Staff Comments

Rich Schroeder, Deputy Director, introduced Pa Phouala Vang, a new planner in the City Development & Inspections Department.

A motion to adjourn was made by Alderperson Michalski and seconded by Ms. Faraone. The motion passed. (Ayes 7, Noes 0) The meeting adjourned at 5:25 p.m.

Minutes Prepared by: Kay Schueffner, Department of Community Development & Inspections

Planning & Zoning Division 625 52nd Street - Room 308 Kenosha, WI 53140 262.653.4030	Kenosha City Plan Commission FACT SHEET	October 23, 2014	Item 1
Petition to vacate a portion of 55th Street right-of-way west of 22nd Avenue. (City of Kenosha/Juliana) (District #7) PUBLIC HEARING			

LOCATION/SURROUNDINGS:

Site: Portion of 55th Street, immediately west of 22nd Avenue
 Zoned: RG-2 General Residential

NOTIFICATIONS/PROCEDURES:

The Vacation has been initiated by a Resolution of the Common Council. A Lis Pendens has been filed with the Register of Deeds. Abutting property owners have been notified by Certified Mail. A Class III notice will be published by Community Development & Inspections for the Common Council meeting. The alderperson of the district, Alderperson Juliana, has been notified. This item will also be reviewed by the Public Works Committee before final approval by the Common Council.

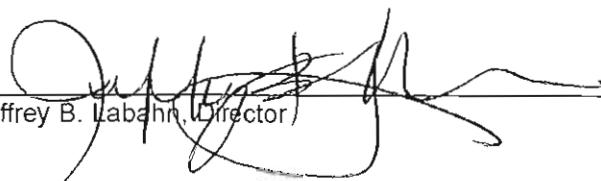
ANALYSIS:

- Several years ago, the 55th Street pavement, west of 22nd Avenue was redirected south to match the centerline of 55th Street, east of 22nd Avenue. Land for right-of-way was acquired from the property to the south to accommodate this redirection. However, the right-of-way for the previous alignment of 55th Street remains, even though the pavement was realigned.
- This vacation is to vacate the portion of the unused right-of-way that was left over after the realignment.
- By State Statutes, a portion of the vacated right-of-way would attach to the property to the north, and a portion would attach to the property to the south. Since the City owns property on both sides of the right-of-way, the City will Quit Claim the portion of the right-of-way that goes with the south property to the north property.
- City Departments and utilities have reviewed the vacation. The proposed vacation is in compliance with City Ordinances.

RECOMMENDATION:

A recommendation is made to approve the vacation, subject to the recording of all required Easements.


 Brian R. Wilke, Development Coordinator


 Jeffrey B. Labahn, Director

RESOLUTION TO VACATE A PORTION OF 55TH
STREET FROM ITS LIMITS AT THE WEST SIDE
OF 22ND AVENUE. DISTRICT 7
[CITY OF KENOSHA//JULIANA]

Document Number

Document Title

Please see attached:

This space is reserved for recording data

Return to

Jonathan A. Mulligan
Office of the City Attorney
625 52nd Street, Room 201
Kenosha, WI 53140

Parcel Identification Numbers

09-222-36-410-011

09-222-36-410-012

09-222-36-476-024

RESOLUTION NO. _____

BY: COMMITTEE ON PUBLIC WORKS

TO VACATE A PORTION OF 55th STREET FROM ITS LIMITS
AT THE WEST SIDE OF 22nd AVENUE
DISTRICT 7 [CITY OF KENOSHA/JULIANA]

WHEREAS, the public interest requires the vacation of a portion of 55th Street from its limits at the west side of 22nd Avenue.

NOW, THEREFORE, BE IT RESOLVED by the Common Council of the City of Kenosha, Wisconsin, that pursuant to Section 66.1003(4), Wisconsin Statutes, and by direct action of said Council, a portion of 55th Street legally described on attached Exhibit A and shown on attached Exhibit B be, and hereby is, vacated, subject to the following easements which are herein and hereby granted, or created by a reservation of rights.

Any and all provider of utilities, including the City (hereinafter collectively referred to as "Utilities"), furnishing gas, sewer, water, electric, telephone, cable television and any related services shall have reserved to them or are hereby and herein given and granted the right, permission, and authority to inspect, repair and maintain their respective existing installation in, above and under the above described parcel of property for as long as said installations and facilities are being operated and utilized by them.

Said Utilities are also given and granted the right, permission and authority to improve and expand the scope of the above easements in, above and under the above described parcel of property, and thereafter to inspect, repair and maintain said new additional installations and facilities. Utilities shall, at all times, have reasonable access to their respective installations and facilities, and owners of said parcel of land vacated by this Resolution, shall not interfere with easement rights herein specified or be entitled to compensation for anything placed by owners upon said vacated property which may have to be destroyed or removed by Utilities to effectively use their easements, although Utilities shall have the obligation to restore the turf to its original condition should it be destroyed or damaged through the exercise of easement rights.

IT IS FURTHER UNDERSTOOD that the area vacated will belong to the abutting property owners according to law.

BE IT FURTHER RESOLVED that the City Clerk shall record a certified copy of this Resolution in the Office of the Kenosha County Register of Deeds and forward a copy of same to all listed Utilities and the City Assessor's Office.

BE IT FURTHER RESOLVED that upon recordation of this Resolution, the City of Kenosha Official Map, as initially established by Resolution No. 122-06, adopted on November 6, 2006, and as subsequently amended to the time of recordation of this Resolution, will hereby be amended to include

Exhibit A

Legal Description of Property

A portion of 55th Street right-of-way as platted as *Pearl Street* in Blocks 9 and 16 of Bain's Subdivision, lying westerly of the west line of 22nd Avenue extended; lying southerly and adjacent to Lot 7 in said Block 9; and being more particularly described as: commencing at the southeast corner of Lot 7 in Block 9 of Bain's Subdivision, a subdivision of record and on file in the Kenosha County Register of Deeds office; thence westerly along the south line of said Block 9 a distance of 16.00 feet to the Point of Beginning; thence continuing westerly along the south line of said Lot 7 a distance of 127.00 feet to the southwest corner of said Lot 7; thence southeasterly along the arc of a circular curve which is concave southeasterly, 107.92 feet, said curve having a radius of 175.93 feet, a central angle of 35°10'8.6", and a chord which bears S73°3'41"E a distance of 106.23 feet to a point of reverse curvature; thence southeasterly along the arc of a circular curve which is concave northeasterly, a distance of 26.95 feet, said curve having a radius of 43.93 feet, a central angle of 35°9'2.1", and a chord which bears S73°3'41"E a distance of 26.53 feet; thence northerly parallel to and 16.00 feet west of the west line of 22nd Avenue extended, which line is also here the Range line separating Ranges 22 and 23 of the Fourth Principal Meridian, a distance of 40.08 feet to the Point of Beginning, containing 1,997.29 square feet (0.046 acres) of land, more or less. All located in the Southeast ¼ of Section 36, Town 2 North, Range 22 East of the Fourth Principal Meridian, City of Kenosha, County of Kenosha, State of Wisconsin.

Exhibit B

City of Kenosha

District Map
Vacation

Supplement No. _____

Ordinance No. _____

City of Kenosha petition

54TH ST

23RD AVE

22ND AVE

55TH ST

09-222-36-410-011

09-222-36-410-012

09-222-36-476-024



Portion of street requested to be vacated



0 25 50 75 100 Feet

LIS PENDENS
STATE OF WISCONSIN

Document Number

PLEASE TAKE NOTICE that an application is now pending before the Common Council of the City of Kenosha, Wisconsin, the object of which is discontinued interest of the City of Kenosha, a Municipal Corporation, in a portion of the street, more particularly described as follows:

A portion of 55th Street right-of-way as platted as *Pearl Street* in Blocks 9 and 16 of Bain's Subdivision, lying westerly of the west line of 22nd Avenue extended; lying southerly and adjacent to Lot 7 in said Block 9; and being more particularly described as: commencing at the southeast corner of Lot 7 in Block 9 of Bain's Subdivision, a subdivision of record and on file in the Kenosha County Register of Deeds office; thence westerly along the south line of said Block 9 a distance of 16.00 feet to the Point of Beginning; thence continuing westerly along the south line of said Lot 7 a distance of 127.00 feet to the southwest corner of said Lot 7; thence southeasterly along the arc of a circular curve which is concave southeasterly, 107.92 feet, said curve having a radius of 175.93 feet, a central angle of 35°10'8.6", and a chord which bears S73°3'41"E a distance of 106.23 feet to a point of reverse curvature; thence southeasterly along the arc of a circular curve which is concave northeasterly, a distance of 26.95 feet, said curve having a radius of 43.93 feet, a central angle of 35°9'2.1", and a chord which bears S73°3'41"E a distance of 26.53 feet; thence northerly parallel to and 16.00 feet west of the west line of 22nd Avenue extended, which line is also here the Range line separating Ranges 22 and 23 of the Fourth Principal Meridian, a distance of 40.08 feet to the Point of Beginning, containing 1,997.29 square feet (0.046 acres) of land, more or less. All located in the Southeast ¼ of Section 36, Town 2 North, Range 22 East of the Fourth Principal Meridian, City of Kenosha, County of Kenosha, State of Wisconsin.

Recording Area

Name and Return Address:
Brian Wilke
Community Development & Inspections
625 52nd Street - Room 308
Kenosha, WI 53140

Parcel Identification Number (PIN)

09-222-36-410-011, 09-222-26-410-012

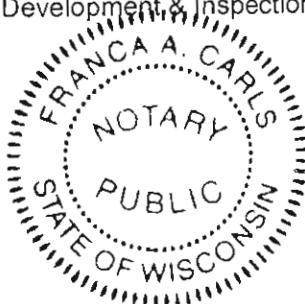
09-222-36-476-024

Dated at Kenosha this 1st day of Oct., 2014



Rich Schroeder, Deputy Director, Community Development & Inspections

Personally came before me this 1st day of Oct., 2014, Rich Schroeder, Deputy Director of Community Development & Inspections, and acknowledged to me that he executed the foregoing instrument as such Deputy Director of Community Development & Inspections of the City of Kenosha by its authority.



Franca A. Carls

Notary Public, Kenosha County, Wisconsin

My commission expires: 5/21/2017

Planning & Zoning Division
625 52nd Street - Room 308
Kenosha, WI 53140
262.653.4030

Kenosha City Plan Commission

FACT SHEET

October 23, 2014

Item 2

Conditional Use Permit for a 60 unit apartment building to be located at 5821 5th Avenue. (5th Avenue Lofts) (District #2) PUBLIC HEARING

LOCATION/SURROUNDINGS:

Site: 5821 5th Avenue Zoned: B-4 Mixed Use District

NOTIFICATIONS/PROCEDURES:

The alderperson of the district, Alderperson Jenkins, has been notified. The Common Council is the final review authority.

ANALYSIS:

- The applicant proposes to construct a 5-story, 60-unit apartment building on the former Wells Manufacturing property at 5821 5th Avenue. The existing vacant industrial building would be razed and the site cleaned up to allow for the new construction.
- Forty (40) of the sixty (60) apartment units would be classified as WHEDA tax-credit affordable housing units. The other twenty (20) units will be market rate units. The development must provide sixty (60) off-street spaces. The layout, as submitted, does not comply with City Ordinances.
- The exterior building materials are stone and cement board siding.
- This project is part of potentially a three-phase development. The Concept Plan that was approved when this property was rezoned to B-4 Mixed Use District included a forty-eight (48) unit market rate apartment on the south end of this block and a forty-two (42) unit market rate apartment on the property on the east of 4th Avenue, also owned by the applicant.
- A Developer's Agreement will be required that will include a requirement that the applicant resurface 4th Avenue from 58th Street to 59th Street. Currently, the pavement edge is at the right-of way line on the west side of 4th Avenue. The applicant is proposing to construct a grass lawn park area, sidewalk and new curb in the existing 4th Avenue right-of-way. The rest of the pavement will be resurfaced. That Developer's Agreement is being prepared and will be on a future agenda.
- Plans were sent to other City Departments for their review. Their comments are included in the attached Conditions of Approval.
- The plans generally comply with Sections 4 and 14 of the Zoning Ordinance.

RECOMMENDATION:

A recommendation is made to approve the Conditional Use Permit, subject to the attached Conditions of Approval.



Brian R. Wilke, Development Coordinator



Jeffrey B. Labahn, Director

1. The following Conditions of Approval will run with the land and shall be included in a document recorded with the Kenosha County Register of Deeds:
 - a. The applicant shall obtain all required construction permits from the Department of Community Development & Inspections. This includes, but is not limited to Raze, Erosion Control, Building, Plumbing, Electrical and Occupancy permits.
 - b. The applicant shall obtain a Driveway, Sidewalk, Street Opening and Parking Lot permit from the Department of Public Works.
 - c. All signs shall comply with Chapter 15 of the Code of General Ordinances and the applicant shall obtain sign permits for all new signs. A separate submission and permits are required for all signs. Sign information provided under the Conditional Use Permit is for reference only and does not constitute sign permit approval.
 - d. The development shall be constructed per the approved plans on file with the Department of Community Development & Inspections, Room 308, 625 52nd Street, Kenosha, WI 53140. Any changes to the approved plans shall require an amendment to the Conditional Use Permit. All changes shall be submitted to the Department of Community Development & Inspections for review and approval.
 - e. Prior to the issuance of any Occupancy permits, all parking areas, drives and designated paved areas shall have the initial lift of asphalt installed. The building exterior shall be completed per the approved plans, the exterior lighting shall be installed and the Conditional Use Permit shall be recorded with the Kenosha County Register of Deeds. All improvements indicated on the plans, including landscaping, shall be installed prior to the issuance of a final Occupancy permit. The recording fees for the Conditional Use Permit shall be submitted by the applicant.
 - f. Compliance with City and State and/or Federal Codes and Ordinances and any Conditions noted in the recorded Developers Agreement. The buildings shall comply with the current Code standards in effect upon application for a building permit.
 - g. All trash containers shall be stored within the enclosure or building. The applicant/owner shall be responsible for waste collection and removal for the development. The City of Kenosha shall not provide waste collection or removal services or incur any cost in this regard.
 - h. The applicant shall meet all applicable Conditions of Approval and obtain a building permit within six (6) months of Common Council approval of the Conditional Use Permit or the Conditional Use Permit shall be null and void.
 - i. All vehicles shall be parked within the designated paved areas.
 - j. All improvements, including landscaping, shall be maintained per the approved plans. Any damaged fencing, landscaping or building shall be replaced or reconstructed per the approved plans.
 - k. Cross access shall be provided to adjacent parcels if required at a future date by the City.

- I. Compliance with the Operational Plan.
- m. The entirety of the Wells building shall be razed prior to the issuance of any Construction permits.
2. The following conditions of approval shall be satisfied with City Staff prior to the issuance of any construction permits.
 - a. The Drainage Plan shall be revised and resubmitted for review and approval addressing comments listed in the Public Works memo dated September 24, 2014.
 - b. The Utility Plan shall be revised and resubmitted for review and approval addressing the comments listed in the Kenosha Water Utility Memo dated September 4, 2014.
 - c. An Operational Plan shall be submitted indicating construction commencement and completion dates, management and operational control, Deed Restrictions (if any) and By Laws or Property Owner's Association Articles of Incorporation.
 - d. The lawn park areas must be landscaped in accordance with the Zoning Ordinance. The existing trees will probably be destroyed or damaged during demolition of the existing structure. The grass in the lawn park area will be damaged. The Plan shall indicated that the lawn park areas will be restored.
 - e. The Site Plan shall include dimensioned exterior wall measurements for the building footprint.
 - f. The Fire Protection Plan shall include:
 - i. A remote Fire Department Connection.
 - ii. A standpipe system to be included in the sprinkler system.
 - iii. An alarm system to be installed per code including a command post.
 - g. The Building Plan must be revised to show compliance with the Vision Clearance Triangle at the driveway onto 4th Avenue. The Site Plan must also indicate what the "T" symbol with square around it is. Whatever this items is, if it is taller than three (3) feet, it shall be removed from the Vision Clearance Triangle.
 - h. A Construction Phasing Plan shall be submitted that shall include the construction staging area location.
 - i. A Developer's Agreement shall be approved and executed prior to the issuance of a Footings and Foundation Permit.
 - j. A letter shall be submitted for the file that indicates that the project will not seek a tax-exempt status.
 - k. The Site Plan shall show that the sidewalk around the entire block shall either be fully installed, repaired or replaced before a final Occupancy Permit is approved for Phase One.



ENGINEERING DIVISION
 SHELLY BILLINGSLEY, P.E.
 CITY ENGINEER

PARK DIVISION
 JEFF WARNÖCK
 SUPERINTENDENT

FLEET MAINTENANCE
 MAURO LENCI
 SUPERINTENDENT

STREET DIVISION
 JOHN H. PRIJIC
 SUPERINTENDENT

WASTE DIVISION
 ROCKY BEDNAR
 SUPERINTENDENT

DEPARTMENT OF PUBLIC WORKS

MICHAEL M. LEMENS, P.E., DIRECTOR
 SHELLY BILLINGSLEY, P.E., DEPUTY DIRECTOR

MUNICIPAL BUILDING · 625 - 52ND ST · RM 305 · KENOSHA, WI 53140
 TELEPHONE (262) 653-4050 · FAX (262) 653-4056
 EMAIL PUBLICWORKS@KENOSHA.ORG

TO: Brian Wilke, Development Coordinator

FROM: Michael M. Lemens, P.E.
 Director of Public Works

Shelly Billingsley, P.E.
 City Engineer

Shelly Billingsley
 9-26-14



DATE: September 24, 2014
SUBJECT: PLAN REVIEW COMMENTS
Project Description: 5th Avenue Lofts
Location: 5821 5th Avenue

Our staff has reviewed the plans for this project. The following comments are provided:

Parking Lot Ordinance Compliance	Sufficient	Deficient	Not Applicable
Parking Lot Paved	X		
Standard Stall Width		X	
Parking Lot Layout		X	
Parking Lot Lighting Shown		X	
Parking Lot Lighting Adequate		X	
Handicapped Parking		X	
Driveway Locations		X	
Driveway Width		X	
Passing Blister or Accel/Decel Lanes			X
Sidewalks Adequate		X	
Drive Thru Lane Design			X

Public Streets	Sufficient	Deficient	Not Applicable
Geometric Design			X
Pavement Width		X	
Pavement Thickness Design		X	
Established Grades		X	
Plan Details		X	
Sidewalks		X	
Street Lights		X	

Site Grading/Drainage	Sufficient	Deficient	Not Applicable
Drainage Plan		X	
Storm Sewer		X	
Storm Water Detention		X	
Drainage Calculations		X	

Project Approval/Permits Needed	Yes	No	Not Applicable
Project Approved for Permitting		X	
Withhold Permits: See Comments	X		
Approve Footing/ Foundation Only (per condition)		X	
Parking Lot Permit Required	X		
Driveway Permits Required	X		
Sidewalk Permit Required	X		
Street Opening Permit Required	X		
Stormwater Permit Required	?		
Erosion Control Required	X		
State Permit Required	X		

Grading & Drainage Comments:

1. On sheet C-4.0 it states that the parcel is 1.11 acres and the disturbed area will be 0.83 acres. From the plans it appears that the entire parcel will be disturbed. Show a limits of disturbance line on the plans to show what is proposed to be disturbed.
2. If project is to disturb more than one acre then a stormwater permit is required. The disturbed area will be subject to the City's post-construction stormwater requirements for a redevelopment site which include a 40% total suspended solids reduction. If the current phase of the development involves less than one acre of disturbance then no post construction stormwater requirements would have to be met now, but when the next phase is constructed the requirements would have to be met for both phases. It is recommended that the current plan be designed to accommodate this so that phase 1 improvements would not need to be redone in future phases.
3. Provide storm sewer sizing calculations.
4. Storm manhole 1 is called out on sheet C-6.0 as a doghouse manhole. This should be a standard type A manhole per the City's standard detail.

5. Proposed grading plan calls for lot 2 to be graded so that runoff is directed over the sidewalk in the southeast corner of the lot. Install a catch basin in this corner of the lot and direct runoff to the catch basin so runoff does not drain over the sidewalk.
6. Proposed grading plan shows some water from lot 2 being drained onto lot 1 and being collected by catch basin 2.1. If runoff from lot 2 is to be drained onto lot 1 then a drainage easement will be required between the two lots.
7. Provide more detailed plans on the inlet relocation and storm sewer work within 4th Avenue.

Traffic Comments:

8. New sidewalk around entire block.
9. First floor garage parking stall dimensions to be per ordinance table 1 and 2 in section V page 40-41.
10. Remove existing unused approaches and replace with full head curb.
11. East side of 4th Av remove unused approaches and gravel and replace with new sidewalk.
12. Conduct Phase I Report and remediate any identified areas.
13. Install no parking signs on west side of 4th Av.
14. Wheel stops missing on parking stalls.
15. With 105 bedrooms in development, only 60 parking stalls seems inadequate
16. One handicap stall for every 25 stalls, with only 2 shown on plan need one more handicap parking stall.
17. In surface parking lot, west most parking stall may require driver to back entirely out of lot and into street.
18. Where is trash truck supposed to park to load trash from trash room?
19. Manhole adjustments should be made using rings not bricks.
20. Reconstruct 4th Av pavement curb to curb not just 11 feet.
21. Sheets C 9 through STD 10 missing from submittal.

cc: **Jeff Hansen**
Shelly Billingsley
Greg Holverson
Kile Kuhlmeier
Gerard Koehler
Anthony Stupar
Chase Kuffel

Engineering Services
4401 Green Bay Road
Kenosha WI 53144

Phone (262) 653-4315
Fax (262) 653-4303



"Providing and Protecting Kenosha's Greatest Natural Resource"

MEMO

To: Brian Wilke, Development Coordinator

From: Ian C. Bagley, P.E., Water Engineer

Date: September 4, 2014

Subject: 5th Avenue Lofts

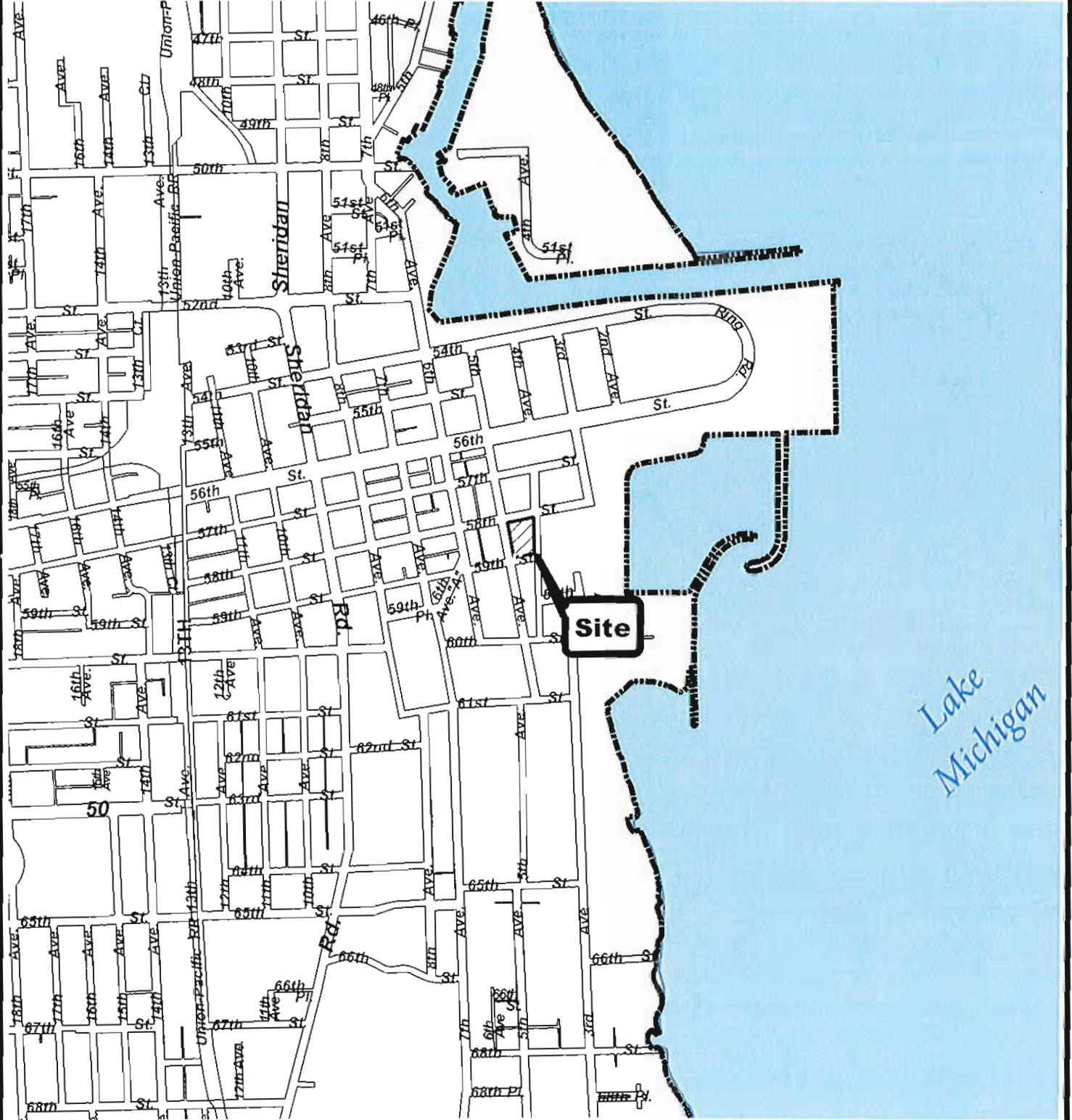
Location: 5821 5th Avenue

The Kenosha Water Utility (KWU) has reviewed the submittal for the above referenced project. Further information from the Developer is required before the Utility can complete this review. Please withhold all permits until the following information is submitted.

1. The plans provided were not to a discernible scale, making a detailed review difficult. Plans printed to scale shall be provided with the resubmittal.
2. Show the water meter size and location, including a detail or diagram, on the construction plans, not with the MEP submittal. The water meter shall have unobstructed access, twelve inches (12") from the inside wall, twelve to twenty-four inches (12"-24") above the floor. The meter shall have a valve, preferably a ball valve, on the inlet and outlet pipe.
3. Water services larger than two inches (2") shall be flushed and bacteria tested in accordance with Rule 06-34 of the Kenosha Water Utility Rules and Regulations.
4. KWU will need to inspect the existing water and sanitary sewer service removals or abandonments.
5. The water service connection will require a tapping sleeve and valve, to be provided by KWU. As the tapping valve is greater than ten feet (10') from the property line, an additional valve will be required between the curb & gutter and the sidewalk in accordance with Rule 06-03 of the Kenosha Water Utility Rules and Regulations. This second valve will function as the service valve for the development.
6. Please note that the water service connection will require a deposit of \$1,800.00 which must be paid prior to scheduling the connection.

CC: Mr. Robert Carlson, P.E., Director of Engineering Services

City of Kenosha
Vicinity Map
5th Avenue Lofts CUP



Site

Lake Michigan

----- Municipal Boundary



**Development Review Application
City of Kenosha, Wisconsin**

MAILING INFORMATION

NAME OF PROJECT: 5th Avenue Lofts

Check one (1) of the following boxes to indicate the recipient of all correspondence:

<input checked="" type="radio"/>	Name and Address of Applicant (Please print): Bear Development S.R. Mills 4011 80th Street Kenosha, WI 53142	Phone: (262) 842-0452 Fax: (262) 842-0453 E-Mail: smills@beardevelopment.com
<input type="radio"/>	Name and Address of Architect/Engineer (Please print): Knothe & Bruce Kevin Burow 7601 University Avenue Middleton, WI 53562	Phone: (608) 836-3690 Fax: E-Mail: kburow@knothebruce.com
<input type="radio"/>	Name and Address of Property Owner (if other than applicant)(Please print): 5TH AVENUE LOFTS, LLC S.R. Mills 4011 80th Street Kenosha, WI 53142	Phone: (262) 842-0452 Fax: (262) 842-0453 E-Mail: smills@beardevelopment.com

PROJECT LOCATION

Location of Development (street address and / or parcel number): 5821 5th Avenue (Part of Parcel # 12-223-31-487-003)
 (Southeast corner of 5th Avenue & 58th Street)

TYPE OF LAND DEVELOPMENT

Check all that apply. Note: Additional information may be required within individual Sections.

<input checked="" type="checkbox"/>	Certified Survey Map	Section 1	Page 3
<input type="checkbox"/>	Concept Review (<i>Land Division</i>)	Section 2	Page 4
<input type="checkbox"/>	Concept Review (Multi-Family Residential or Non-Residential)	Section 3	Page 5
<input checked="" type="checkbox"/>	Conditional Use Permit	Section 4	Pages 6 & 7
<input type="checkbox"/>	Developer's Agreement	Section 5	Page 8
<input type="checkbox"/>	Final Plat	Section 6	Pages 9 & 10
<input type="checkbox"/>	Lot Line Adjustment Survey	Section 7	Page 11
<input type="checkbox"/>	Preliminary Plat	Section 8	Pages 12 & 13
<input type="checkbox"/>	Rezoning	Section 9	Pages 14 & 15
<input type="checkbox"/>	Site Plan Review	Section 10	Pages 16 & 17

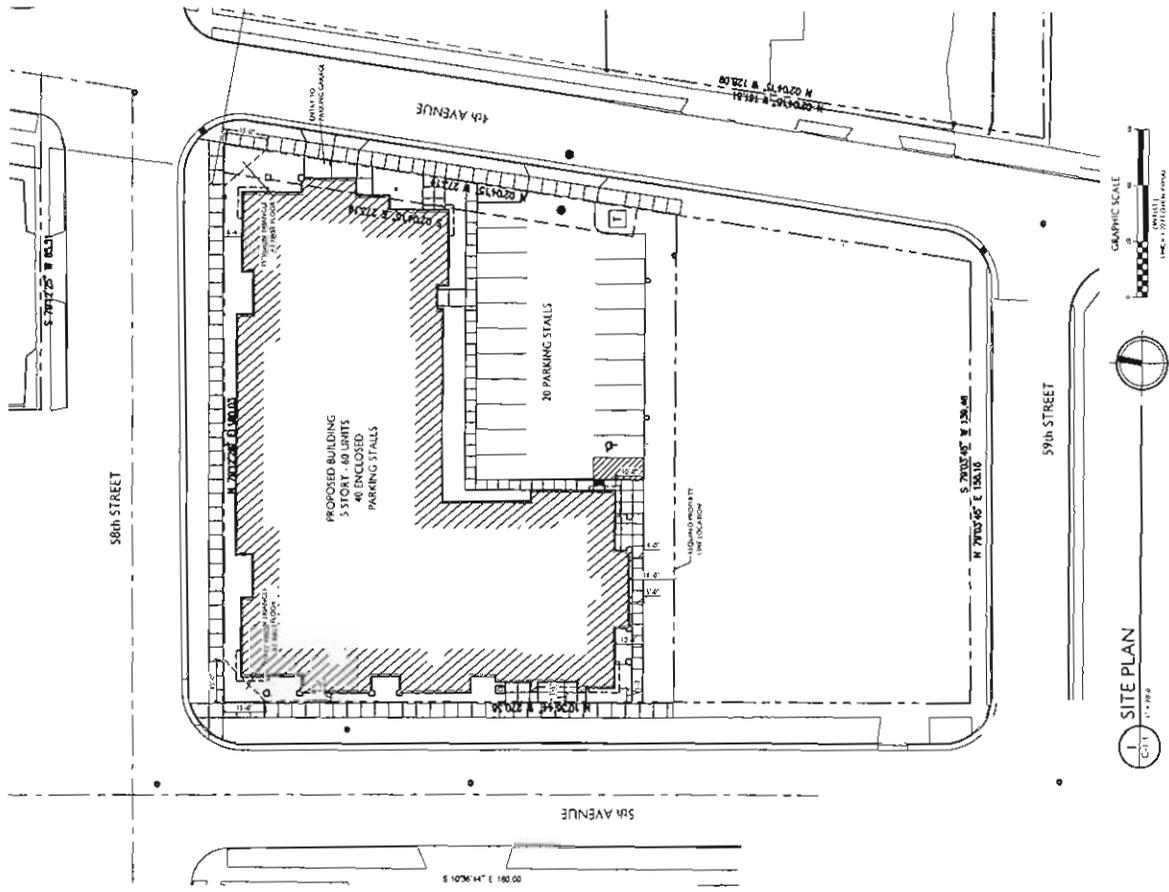
**PRIOR TO SUBMITTING THIS APPLICATION TO THE DEPARTMENT OF CITY DEVELOPMENT,
PLEASE REVIEW THE APPROPRIATE SECTION(S) FOR FEES, REQUIREMENTS AND APPROPRIATE APPENDICES.**

*Submit this cover page, completed application, applicable section(s) and appendices
along with ALL required plans, information and fees to:*

Department of Community Development & Inspections Planning Division 625 52nd Street, Room 308 Kenosha, WI 53140	Phone: 262.653.4030 Fax: 262.653.4045 Office Hours: M - F 8:00 am – 4:30 pm
--	--

**SECTION 4
CONDITIONAL USE PERMIT**

Additional Information Required:	Building or Addition Square Footage: <u>83,323 SF (68,307 residential SF) new construction</u> Existing Building Size: <u>approximately 36,031 to be demolished for 5th Ave Lofts project</u> Site Size: <u>Lot 1: 28,352 SF (~.65 acres) for 5th Avenue Lofts project</u> Current # of Employees <u>0</u> Anticipated # of New Employees <u>2</u> Anticipated Value of Improvements <u>\$6,500,000</u>			
Submittal Requirements:	<ul style="list-style-type: none"> ➤ Ten (10) full size scaled copies of Specified Plans indicated below drawn at a standard engineering scale ➤ Developer Site Plan/Conditional Use Permit Checklist (Appendix A) 			
If Item to be Reviewed by Plan Commission/Common Council must Submit:	<ul style="list-style-type: none"> ➤ One (1) 8 1/2" x 11" reduction <i>or</i> forty (40) 11" x 17" reductions of the Site/Landscape Plan, Floor Plan and Colored Building Elevations (all sides) ➤ Sample Board containing colored samples of all exterior building materials 			
Fees:	Level	Building or Addition Size	Site size	Review Fee
	Level 1	<= 10,000 sq. ft.	<= 1 acre	\$900 = City Plan Dept. <i>or</i> \$1,025 = CPC/CC
	Level 2	10,001 - 50,000 sq. ft.	1.01 - 10 acres	\$1,175 = City Plan Dept. <i>or</i> \$1,300 = CPC/CC
	Level 3	50,001 - 100,000 sq. ft.	10.01 - 25 acres	\$1,600 = City Plan Dept. <i>or</i> \$1,725 = CPC/CC
	Level 4	> 100,001 sq. ft.	> 25.01 acres	\$2,000 = City Plan Dept. <i>or</i> \$2,125 = CPC/CC
	<ul style="list-style-type: none"> ➤ If building size or addition and gross acreage of the site determine two (2) different fees, the greater of the two fees will be assessed. ➤ Application fee entitles applicant to an initial review and one re-submittal. ➤ Re-submittal fee = \$425 per re-submittal after two (2) permitted reviews. ➤ CUP Amendment = 50% of the applicable fee as determined above. 			
Appendices to Review:	➤ All			
Approximate Review Time:	<ul style="list-style-type: none"> ➤ 30 days for Staff Review ➤ 45-60 days for City Plan Commission/Common Council Review 			
The conditional use permit plans, <i>prepared to a standard engineering scale</i> , shall be submitted with this application & shall include the following information:				
Building Plan:	<ul style="list-style-type: none"> ➤ Layout of building(s) including size and layout of rooms ➤ Design and architecture ➤ Plans and details on fire suppression and/or standpipe ➤ Plans and details on fire detection, fire alarm and other safety devices 			
Site Plan (based on a plat of survey)	<ul style="list-style-type: none"> ➤ Legal description of property ➤ Location and footprint of building(s) and structure(s) ➤ Locations of existing and proposed streets, drives, alleys, easements, rights-of-way, parking as required, vehicular and pedestrian access points, and sidewalks ➤ Outline of any development stages ➤ Location and details on any required emergency access roads ➤ A calculation of square footage devoted to building, paving and sidewalks, and landscaped/open space 			
Drainage Plan	<ul style="list-style-type: none"> ➤ Existing topography, including spot elevations of existing buildings, structures, high points, and wet areas, with any previous flood elevations ➤ Floodplain boundaries, if applicable ➤ Soil characteristics, where applicable ➤ Proposed topography of the site denoting elevations and natural drainage after construction and any proposed stormwater retention areas 			



LIGHTING SCHEDULE

Symbol	Code	Qty	Manufacturer	Comments/Notes	Location	Scale	Notes
□	A	10000	OSRAM	OSRAM PAR 30 100W	ROOF MOUNTED	1:100	FOR OFFICE USE ONLY
○	B	10000	OSRAM	OSRAM PAR 30 100W	ROOF MOUNTED	1:100	FOR OFFICE USE ONLY

LIGHTING STATISTICS

Symbol	Qty	Wattage	Wattage	Wattage	Wattage
A	10000	100W	10000W	10000W	10000W
B	10000	100W	10000W	10000W	10000W
Total	20000	2000W	20000W	20000W	20000W

ISSUED
 Continued Last Page, Page 1 of 2

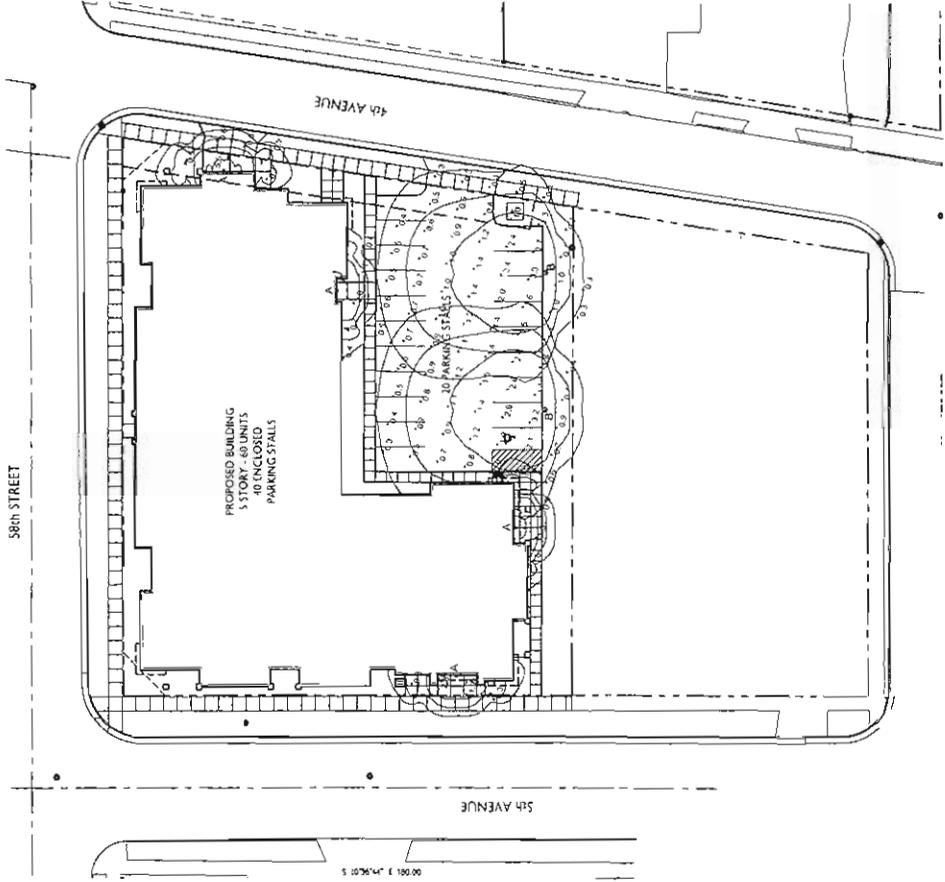
PROJECT TITLE
**5TH AVENUE
 LOFTS**

8821 5th Avenue
 Kenosha, WI
 SHEET TITLE
Site Lighting Plan

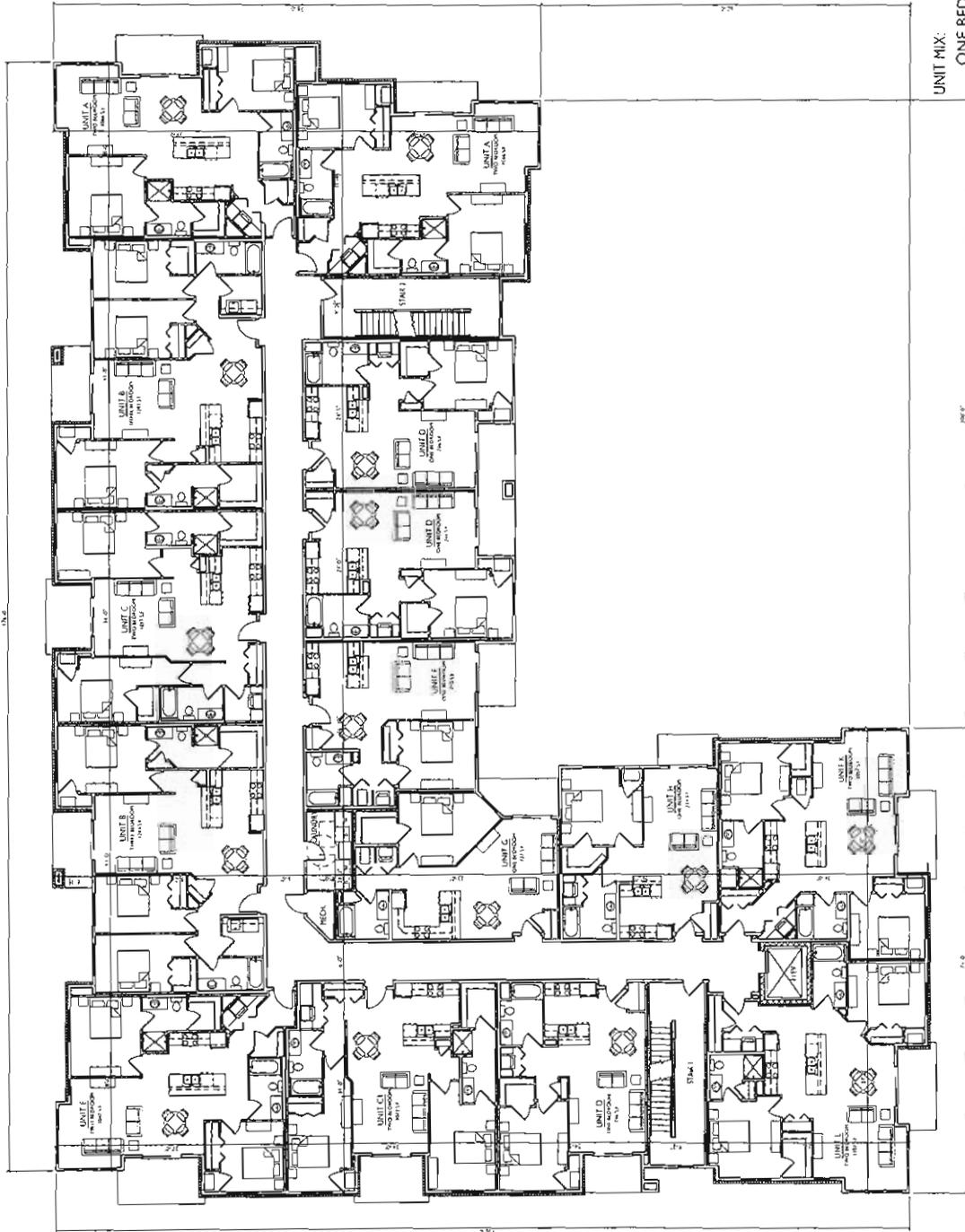
SHEET NUMBER

C-1.2

PROJECT NO
1227
 © 2011 Knothe + Bruce Architects, LLC



1 SITE LIGHTING PLAN
 C-1.2 11/10/11



UNIT MIX:

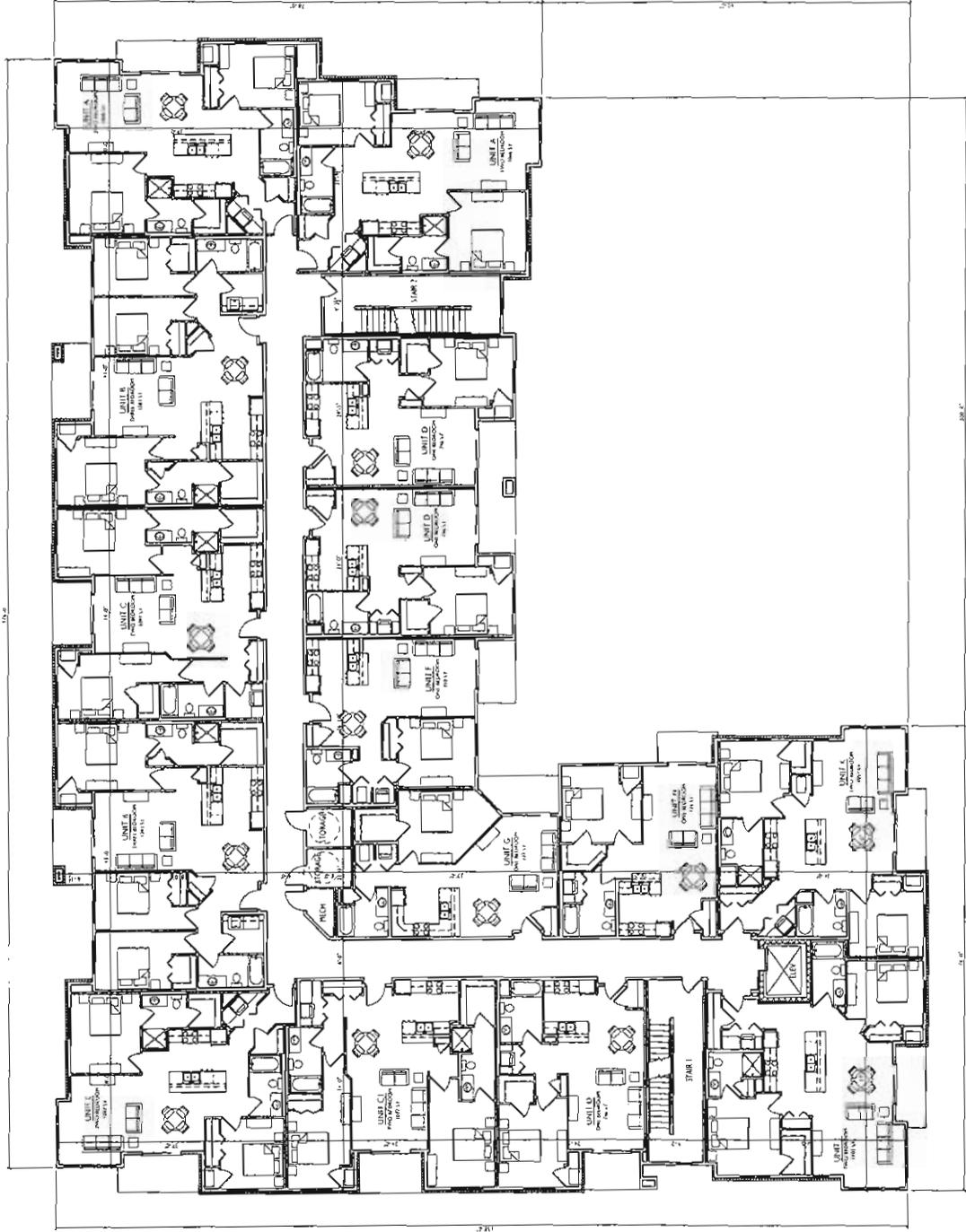
ONE BEDROOM	26
TWO BEDROOM	23
THREE BEDROOM	11
TOTAL	60

GROSS AREA = 16,616 SQ.FT.



1 SECOND FLOOR PLAN

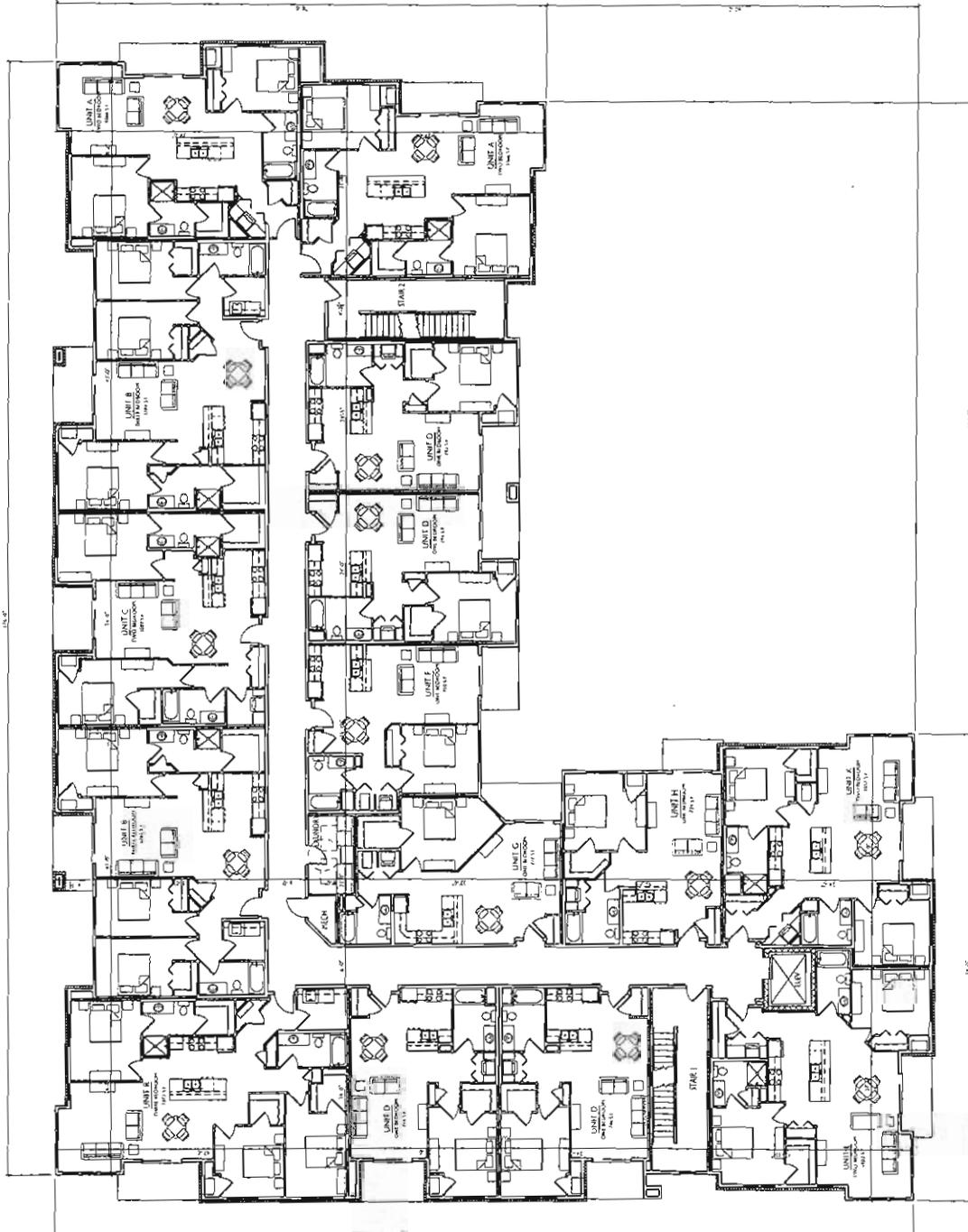




GROSS AREA = 16,616 SQ. FT.

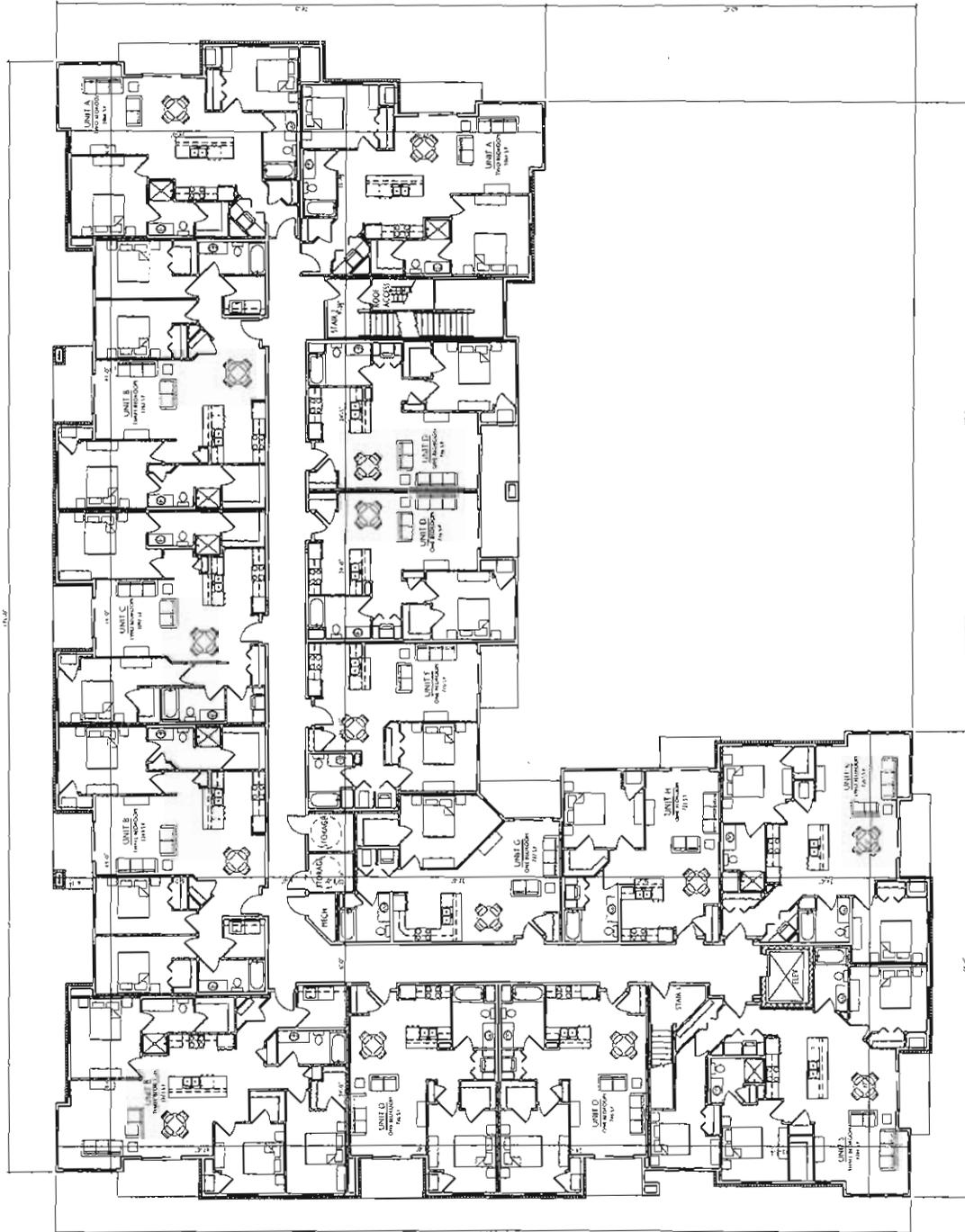


1 THIRD FLOOR PLAN



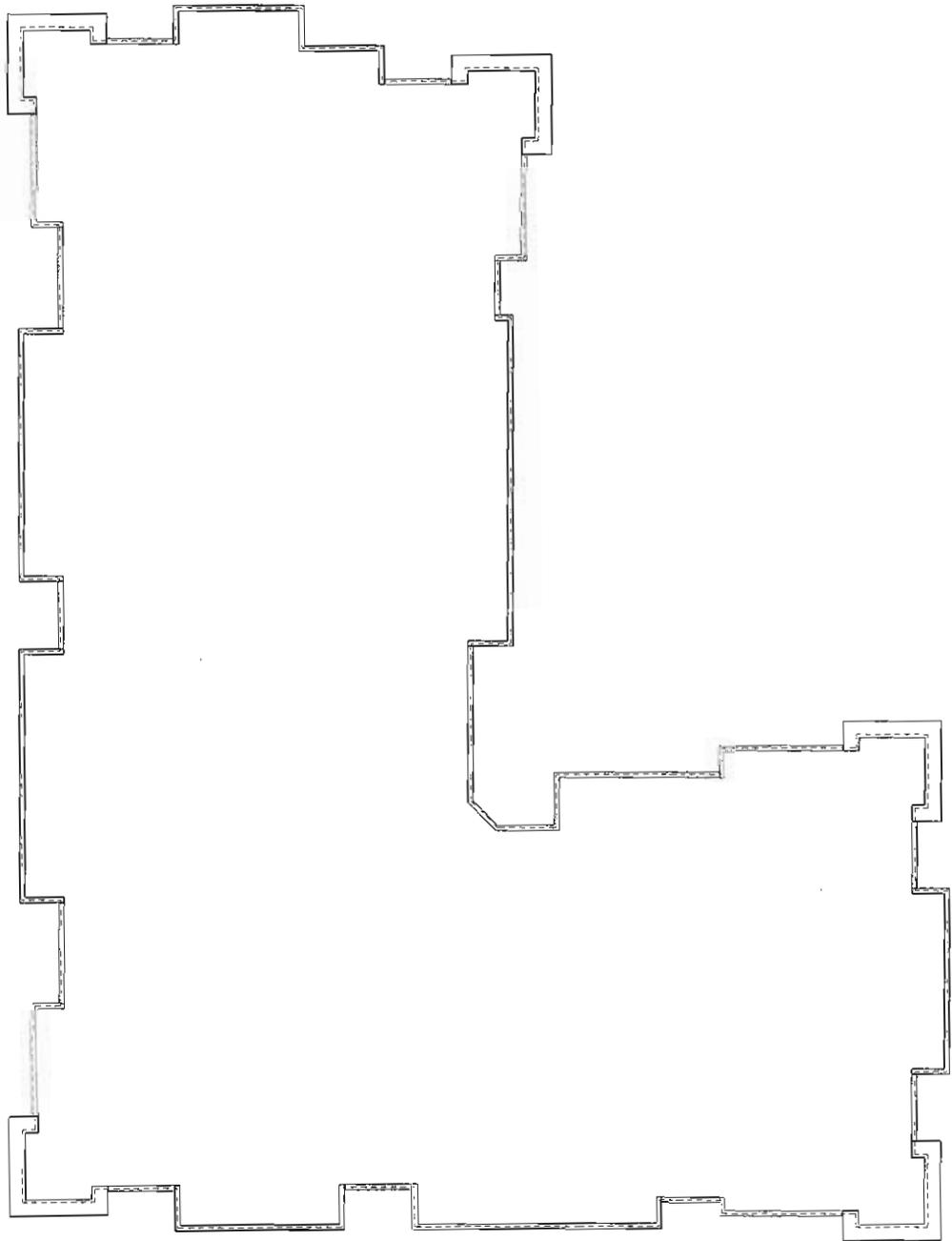
1 FOURTH FLOOR PLAN
 1/4" = 1'-0"

GROSS AREA = 16,616 SQ. FT.

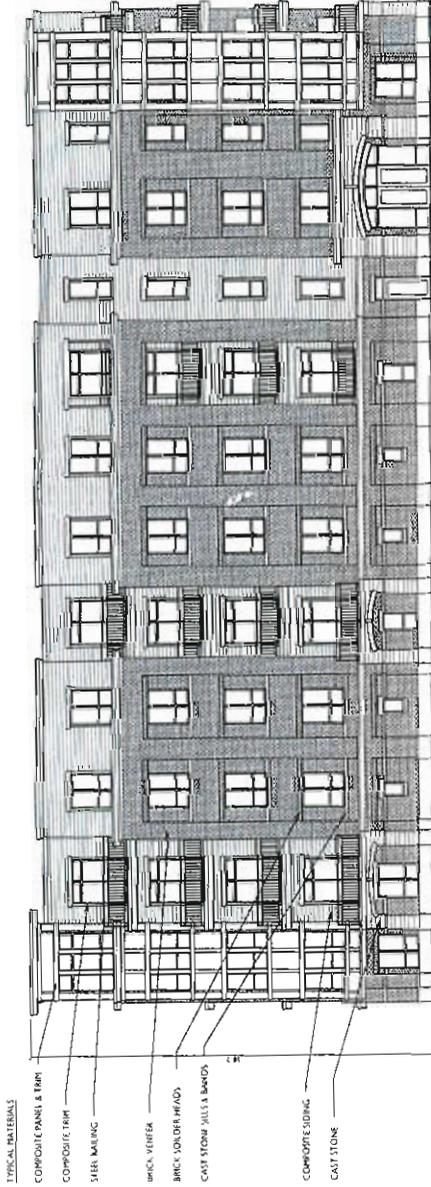


1 FIFTH FLOOR PLAN
 1/8" = 1'-0"

GROSS AREA = 16,616 SQ. FT.

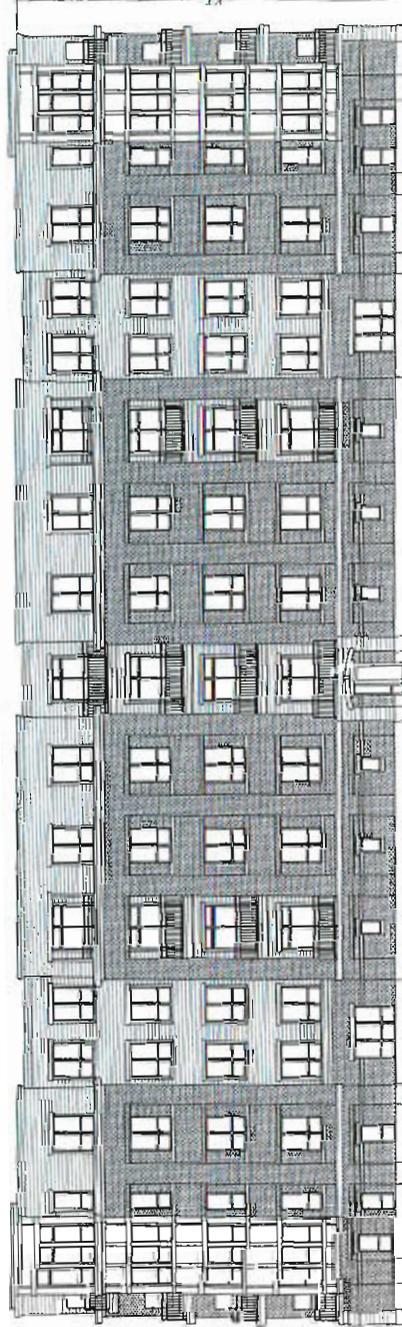


ROOF PLAN
A-1.6



05/2010
 Construction Notes, Page 10 of 10

1 WEST ELEVATION
 A-2.1 10'-0" x 4'-0"



2 NORTH ELEVATION
 A-2.1 10'-0" x 4'-0"

PROJECT TITLE
**5TH AVENUE
 LOFTS**

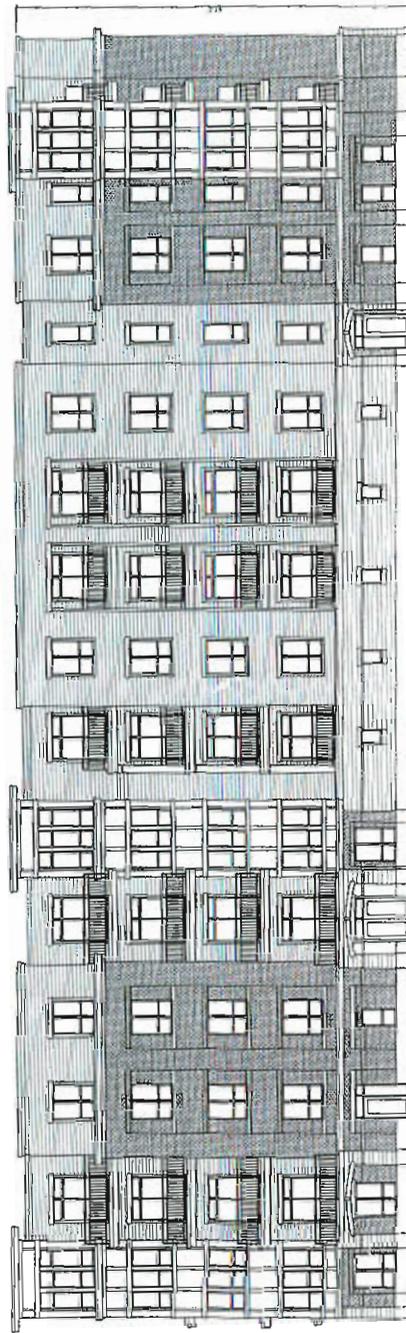
5821 5th Avenue
 Kenosha, WI
 SHEET TITLE
**Exterior
 Elevations**

SHEET NUMBER

A-2.1

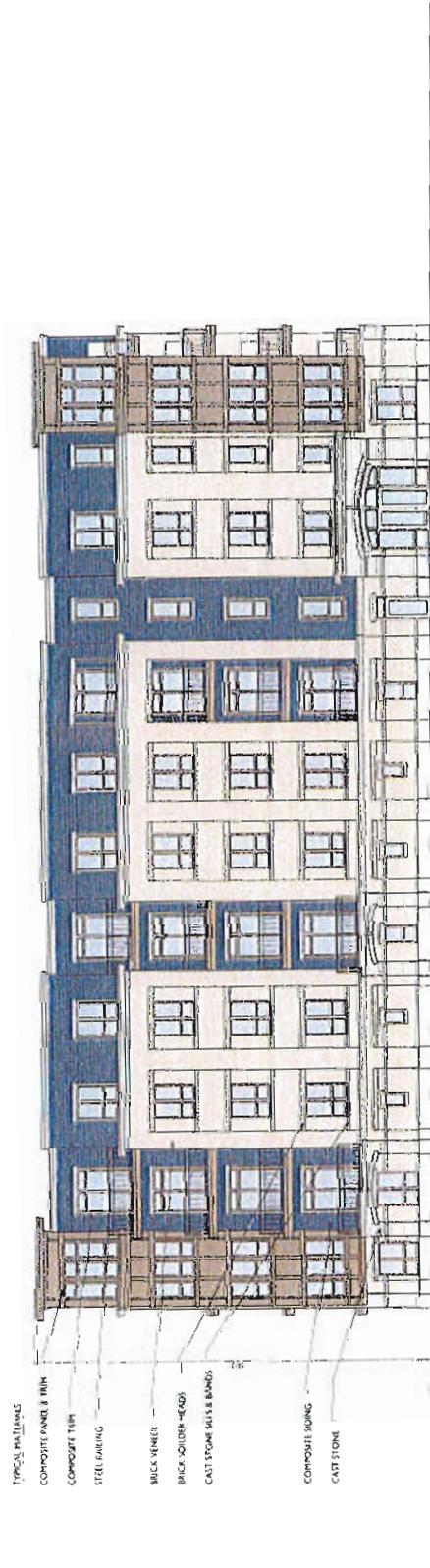


1 EAST ELEVATION
 A2.2 10'-11.2"

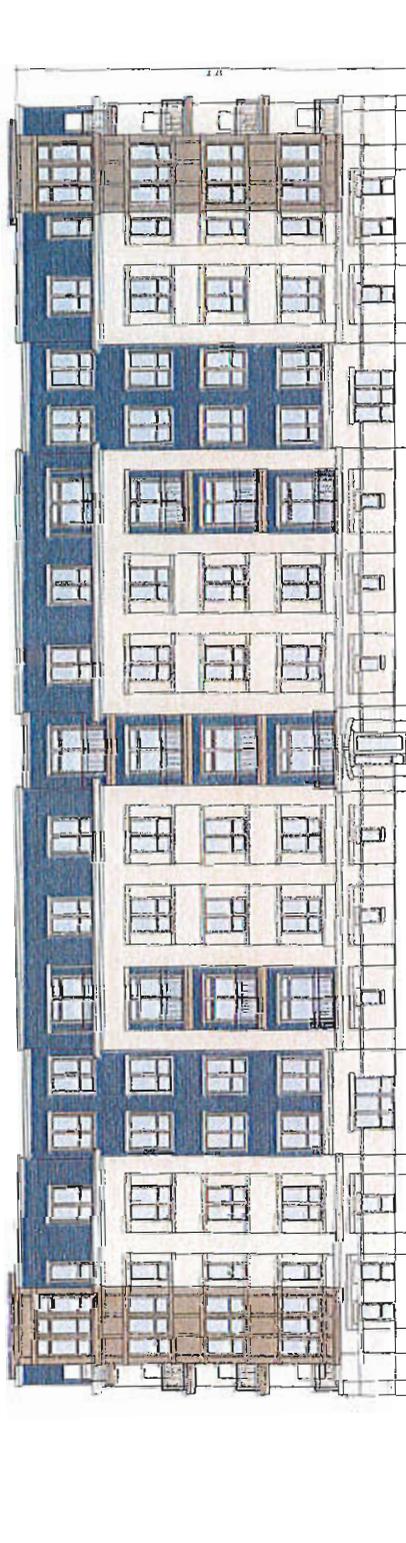


1 SOUTH ELEVATION
 A2.3 10'-11.2"



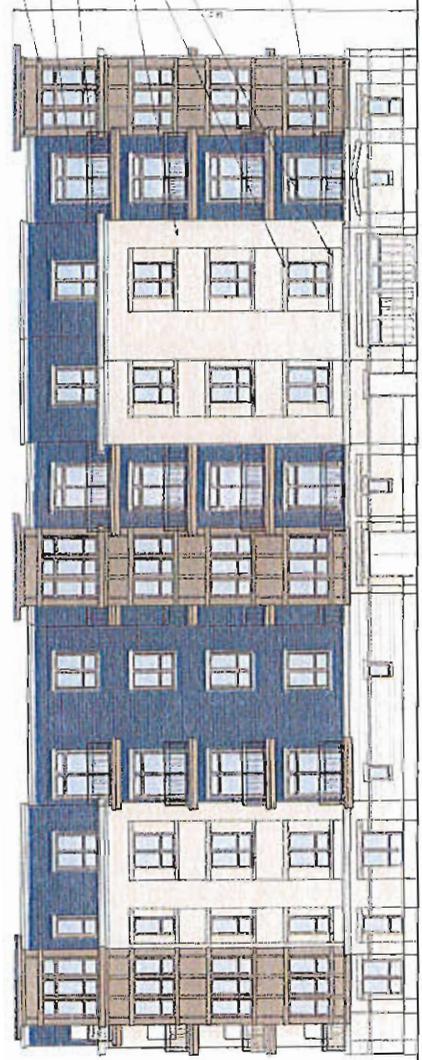


1 WEST ELEVATION
 100-100-100-100-100-100



2 NORTH ELEVATION
 100-100-100-100-100-100

- TYPICAL MATERIALS
- COMPOSITE FINISH & TRIM
- COMPOSITE TRIM
- STEEL BRACING
- BRICK VENEER
- BACK SILLER HEADS
- CAST STONE SILL & BANDS
- COMPOSITE SIDING



1 EAST ELEVATION
 A-2.1 1/8" = 1'-0"

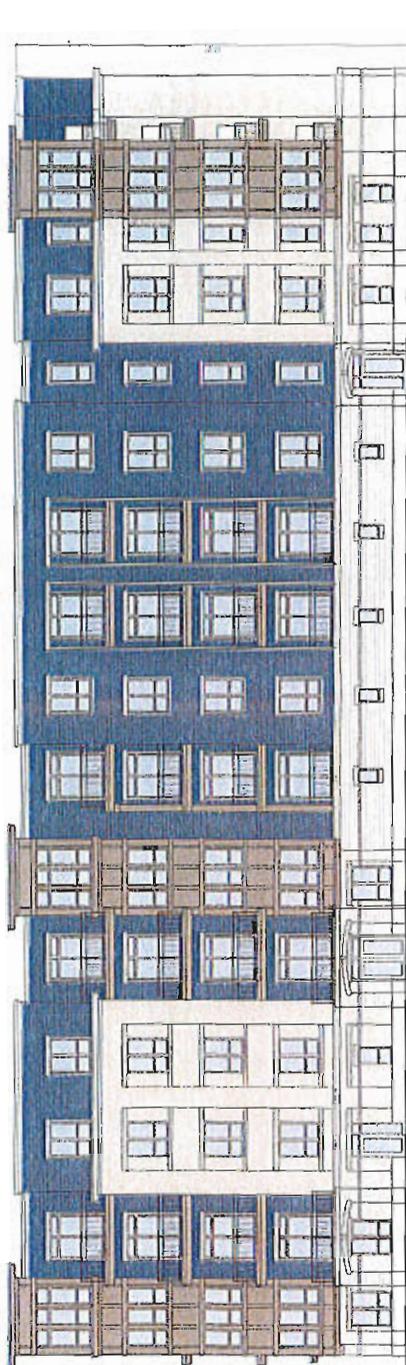
CSUED
 Group of 116 Units August 15, 2016

PROJECT TITLE
**5TH AVENUE
 LOFTS**

5821 5th Avenue
 Kenosha, WI
 SHEET TITLE
**Exterior
 Elevations**

SHEET NUMBER

A-2.2
 PROJECT NO **1227**
 © 2017 KNOthe-bruce ARCHITECTS, S.C.



2 SOUTH ELEVATION
 A-2.1 1/8" = 1'-0"



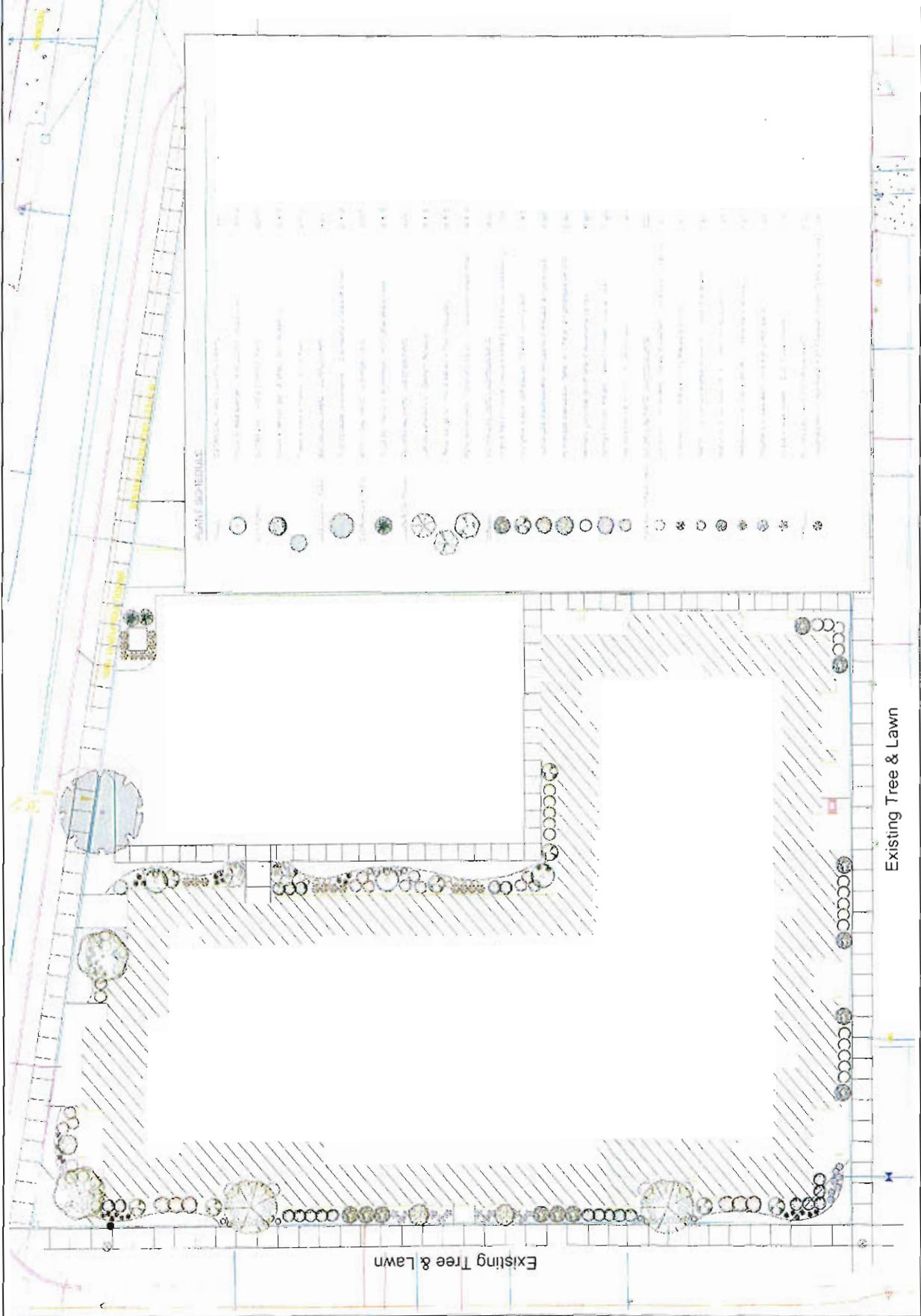
CMA - 5th Ave. Lofts

Kenosha, WI



Designed by: Julie Kucala
Drawn by: Julie Kucala
Project No.: 1011

Sheet
LI



Planning & Zoning Division 625 52nd Street - Room 308 Kenosha, WI 53140 262.653.4030	Kenosha City Plan Commission FACT SHEET	October 23, 2014	Item 3
City Plan Commission Resolution - To Amend the Land Use Plan Map for the Comprehensive Plan for the City of Kenosha: 2035, regarding property at 6300 3rd Avenue. (Clark) (District #2) PUBLIC HEARING			

LOCATION/SURROUNDINGS:

Site: 6300 3rd Avenue

NOTIFICATIONS/PROCEDURES:

The alderman of the district, Alderperson Jenkins, has been notified. This City Plan Commission Resolution recommends the Common Council approve the Amendment through a Zoning Ordinance Amendment.

ANALYSIS:

- Wisconsin Statutes require the City Plan Commission to adopt a City Plan Commission Resolution to recommend that the Common Council adopt amendments to the Comprehensive Plan.
- The attached Resolution satisfies this requirement and will be attached to the Zoning Ordinance to create Subsection 18.02 jj. to Amend the *Land Use Plan for the City of Kenosha: 2035* for the referenced properties from *Government and Institutional* to *Medium Density Residential*.
- The adopted Comprehensive Plan designated this site, along with the surrounding area, as mostly residential. This area has developed as residential.
- The property was previously owned and used by Kenosha County. The County sold the property and the new owners wish to change the land use *Institutional* to *Medium Density Residential* as they intend to use the building as a residence.
- The Amendment requires six (6) affirmative votes from the Commission to pass.

RECOMMENDATION:

A recommendation is made to approve the City Plan Commission Resolution amending the Comprehensive Plan.


 Brian R. Wilke, Development Coordinator


 Jeffrey B. Labahn, Director

CITY PLAN COMMISSION RESOLUTION # __-14

By: City Plan Commission

**To Amend the Land Use Plan Map for the Comprehensive Plan for the City of Kenosha: 2035
Property at 6300 3rd Avenue (Clark)**

WHEREAS, the City of Kenosha, pursuant to Section 62.23 of the Wisconsin Statutes, has established the City Plan Commission; and

WHEREAS, the Common Council adopted a *Comprehensive Plan for the City of Kenosha: 2035* on April 19, 2010, following extensive public participation; and

WHEREAS, a property owner has submitted a request to amend the Land Use designation for the referenced properties from *Government and Institutional* to *Medium Density Residential*, as mapped on the attached Map C10-14 and on the Land Use Plan map adopted by the Common Council as part of the Comprehensive Plan; and

WHEREAS, the City Plan Commission finds that the Comprehensive Plan, with the proposed amendment, contains all of the required elements specified in Section 66.1001(2) of the Wisconsin Statutes and the Comprehensive Plan, with the proposed amendment, is internally consistent; and

WHEREAS, the City has duly noticed and will hold a public hearing on the proposed amendment, following the procedures in Section 66.1001(4)(d) of the Wisconsin Statutes.

NOW, THEREFORE BE IT RESOLVED that pursuant to Section 66.1001(4)(b), the City Plan Commission for the City of Kenosha, Wisconsin, hereby approves the amendment to a *Comprehensive Plan for the City of Kenosha: 2035* as shown on the attached Map C10-14.

BE IT FURTHER RESOLVED, that the City Plan Commission, for the City of Kenosha, Wisconsin, does hereby recommend that the Common Council enact a Zoning Ordinance adopting the Comprehensive Plan Amendment.

Adopted this ____ day of _____, 2014

ATTEST:

Jeffrey B. Labahn, Secretary of City Plan Commission

APPROVE:

Mayor Keith Bosman, Chairman of City Plan Commission

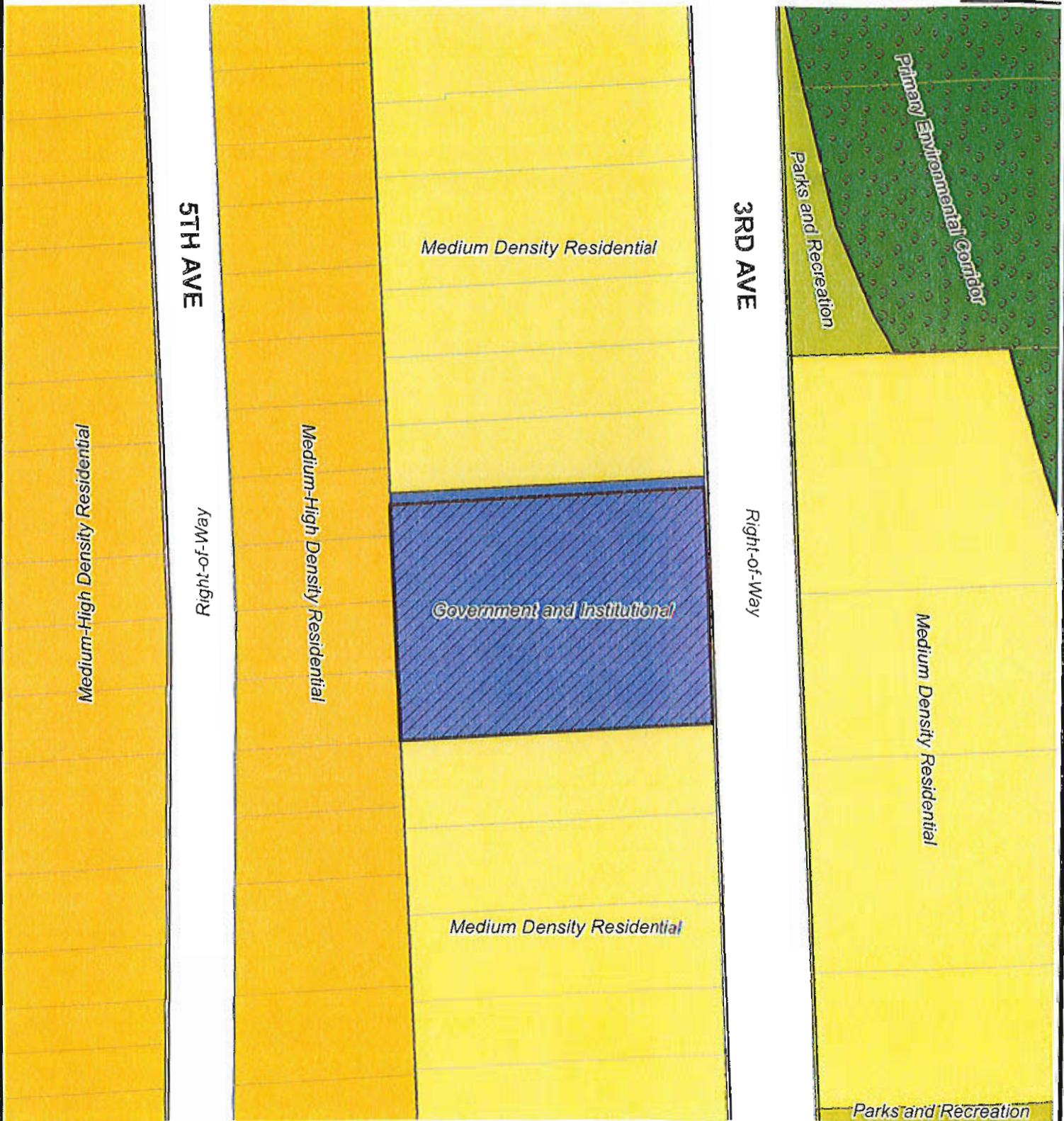
City of Kenosha

Comprehensive Plan Amendment

Supplement No. C10-14

Ordinance No. _____

Clark Petition



Property requested to be changed from
Government and Institutional to Medium Density Residential



Planning & Zoning Division 625 52nd Street - Room 308 Kenosha, WI 53140 262.653.4030	Kenosha City Plan Commission FACT SHEET	October 23, 2014	Item 4
By the City Plan Commission - To Create Subsection 18.02 jj. of the Zoning Ordinance to Amend the Land Use Plan Map for the City of Kenosha: 2035. (Clark) (District #2) PUBLIC HEARING			

LOCATION/SURROUNDINGS:

Site: 6300 3rd Avenue

NOTIFICATIONS/PROCEDURES:

The alderperson of the district, Alderperson Jenkins, has been notified. The Common Council is the final review authority.

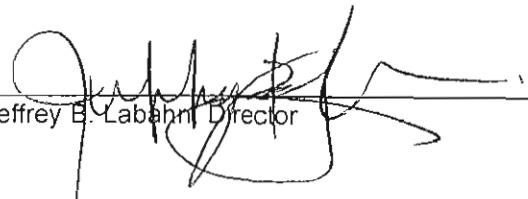
ANALYSIS:

- The Common Council adopted *A Comprehensive Plan for the City of Kenosha: 2035* on April 19, 2010.
- Wisconsin Statutes require the Common Council to adopt an Ordinance for Amendments to the Comprehensive Plan.
- The attached Zoning Ordinance references Map C10-14, which identifies the Amendment to the Land Use Plan located in the Comprehensive Plan. The Amendment will change the land use designation for the referenced properties from *Government and Institutional* to *Medium Density Residential*.

RECOMMENDATION:

A recommendation is made to approve the proposed Zoning Ordinance.


 Brian R. Wilke, Development Coordinator


 Jeffrey B. Labahn, Director

ORDINANCE NO. _____

SPONSOR: CITY PLAN COMMISSION

**TO CREATE SUBSECTION 18.02 jj. OF THE ZONING
ORDINANCE TO AMEND THE LAND USE PLAN MAP
FOR THE CITY OF KENOSHA: 2035**

The Common Council of the City of Kenosha, Wisconsin, do ordain as follows:

Section One: Subsection 18.02 jj. of the Zoning Ordinance for the City of Kenosha, Wisconsin, is hereby created as follows:

jj. By map C10-14 on file with the Department of Community Development and Inspections.

Section Two: This Ordinance shall become effective upon passage and publication.

ATTEST: _____ City Clerk

APPROVED: _____ Mayor

Passed:

Published:

Drafted By:
JONATHAN A. MULLIGAN
Assistant City Attorney

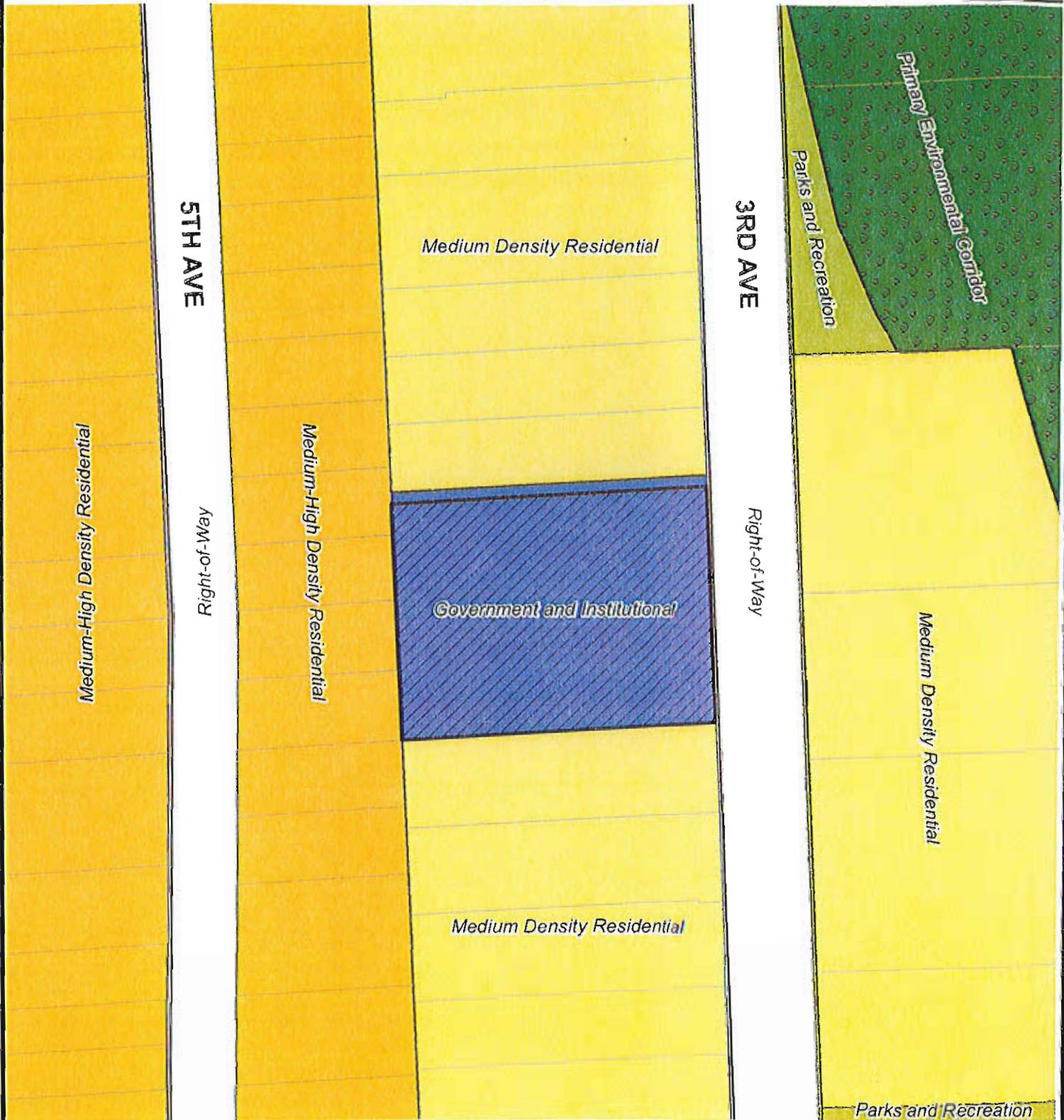
City of Kenosha

Comprehensive Plan Amendment

Supplement No. C10-14

Ordinance No. _____

Clark Petition



Property requested to be changed from
Government and Institutional to Medium Density Residential



Planning & Zoning Division 625 52nd Street - Room 308 Kenosha, WI 53140 262.653.4030	Kenosha City Plan Commission FACT SHEET	October 23, 2014	Item 5
By the Mayor - Petition to rezone property at 6300 3rd Avenue from IP Institutional Park District to RS-1 Single-Family Residential District. (Clark) (District #2) PUBLIC HEARING			

LOCATION/SURROUNDINGS:

Site: 6300 3rd Avenue Neighborhood: Allendale

Vicinity Zoning/Land Use

North: RS-1/Single-Family Residential East: RS-1/Single-Family Residential
 South: RS-1/Single-Family Residential West: RS-3/Single-Family Residential

NOTIFICATIONS/PROCEDURES:

The alderperson of the district, Alderperson Jenkins, has been notified. Property owners within 100 feet of the proposed rezoning were notified. The Common Council is the final review authority.

ANALYSIS:

- The owner of the property is requesting to rezone the property from IP Institutional Park District to RS-1 Single-Family Residential District. The purpose of the rezoning is to allow for the existing building on the site to be used as a residence. The building is known as the former office of the County Corp Counsel and was also referred to as the Yule House.
- Rezoning of the property to RS-1 Single-Family Residential District is not consistent with the adopted *Comprehensive Plan for the City of Kenosha: 2035* which lists this site as *Government and Institutional*. An Amendment to that Plan is required for the City to approve the rezoning. That Amendment has been included on this agenda as well.
- The development of the property will have to be consistent with all City, State and Federal Ordinances and regulations. The owner does not intend to make any exterior changes to the property.

RECOMMENDATION:

Since the proposed rezoning will be compatible with the amended *Comprehensive Plan for the City of Kenosha: 2035*, a recommendation is made to approve the rezoning in accordance with Section 10.05 of the Zoning Ordinance



Brian R. Wilke, Development Coordinator



Jeffrey B. Labank, Director

REZONING ORDINANCE NO. _____

SPONSOR: THE MAYOR

To Rezone Property at 6300 3rd Avenue from IP Institutional Park District to RS-1 Single Family Residential District in Conformance with Section 10.02 of the Zoning Ordinance (Clark) (District #2)

The Common Council of the City of Kenosha, Wisconsin, do ordain as follows:

Section One: That the land shown on the attached Supplement Map No. Z8-14 be, and the same hereby is, zoned and districted as indicated on said map.

Section Two: This Ordinance shall be in full force and effect upon passage and the day after its publication.

ATTEST: _____ City Clerk

APPROVED: _____ Mayor Date: _____

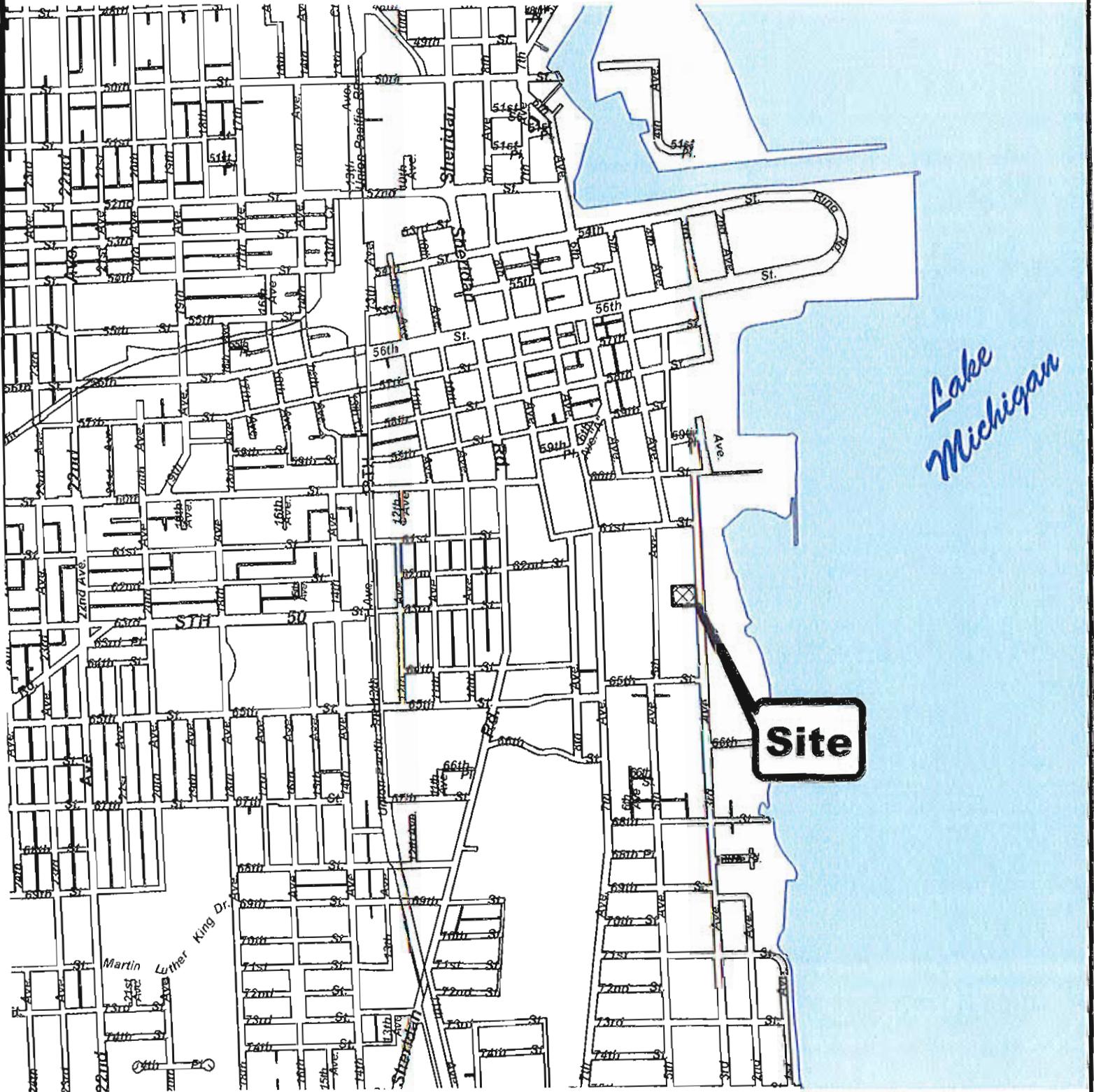
Passed:

Published:

Drafted by:
JONATHAN A. MULLIGAN
Assistant City Attorney

City of Kenosha

Vicinity Map
Clark rezoning



Lake Michigan

Site



Property requested to be rezoned



City of Kenosha

District Map Rezoning

Supplement No. 28-14

Ordinance No. _____

Clark petition



Property requested to be rezoned from:



IP Institutional Park

RS-1 Single Family Residential



0 25 50 75 100 Feet

City of Kenosha

Land Use Map
Clark Rezoning



Property requested to be rezoned



0 25 50 75 100 Feet

The Honorable Mayor
And Members of the Common Council
Kenosha Wisconsin

Dear Members of the Common Council;

It is requested that my property located at 6300 3rd Avenue from business to single family residential. The purpose of the rezoning is to permit us to live in the property.

There are no attached development plans attached because according to the form of section 9 *rezoning* none are needed. A receipt of the rezoning fee is attached. We understand the development of the referenced property proposed for rezoning is required to be consistent with the designated zoning.

Please inform me of the date this item will be reviewed by the City Plan Commission. The meeting notice should be sent to 3324 85th Place Kenosha Wisconsin 53142. We can be reached at (619) 778-3656 (Robert) or (619) 719-7295 (Donna) if there are any questions regarding our request for the rezoning.

Sincerely,

The image shows two handwritten signatures in black ink. The top signature is more stylized and appears to be 'Robert Clark'. The bottom signature is written in a cursive script and clearly reads 'Donna Clark'.

Robert and Donna Clark
(619) 778-3656 Robert
rclark8400@gmail.com
(619) 719-7295 Donna
springsaria@gmail.com

**SECTION 9
REZONING**

Additional Information Required:	Current Zoning District: <u>IP</u>
	Proposed Zoning District: <u>RS1</u>
	Proposed Type of Rezoning: (Check all applicable) <input checked="" type="checkbox"/> Single-family Residential <input type="checkbox"/> Two-family Residential <input type="checkbox"/> Multi-family Residential (3 or more units) <input type="checkbox"/> Institutional, Commercial or Industrial

Submittal Requirements:	<ul style="list-style-type: none"> ➤ Rezoning Petition (sample below) filled out according to the particular situation. The current owner(s) of the property must sign the petition. ➤ Building and Site Development Plans as indicated below.
-------------------------	--

Fees:	<ul style="list-style-type: none"> ➤ Rezoning Fee = \$550 (For projects that <i>do not</i> require building and site development plans) <u>OR</u> ➤ Rezoning with Concept Plan = \$1,150 (For projects that require building and site development plans) <p><i>The City retains the fee whether the rezoning is approved or denied. The applicant should contact Community Development and Inspections – Planning Division to verify the total fee before submitting the rezoning application.</i></p>
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Appendices to Review:	➤ N/A
-----------------------	-------

Approximate Review Time:	➤ 60-75 days (Reviewed by City Plan Commission and Common Council)
--------------------------	--

A rezoning request can be initiated by:

- The City Plan Commission
- The Common Council
- A petition of 50 percent or more of the owners of property within the area proposed to be rezoned

SAMPLE REZONING PETITION

The Honorable Mayor
and Members of the Common Council
Kenosha, WI

Dear Members of the Common Council:

It is requested that my property located at *(address or parcel number)* be rezoned from *(present zoning)* to *(proposed rezoning)*. The purpose of the rezoning is to permit *(proposed use of the property)*.

Attached is a conceptual development plan including building, site development, land use and operational plans as required by Section 10 of the City of Kenosha Zoning Ordinance, and a receipt of the rezoning fee. I understand that development of the referenced property proposed for rezoning is required to be consistent with the conceptual development plans submitted with my rezoning petition.

Please inform me of the date this item will be reviewed by the City Plan Commission. The meeting notice should be sent to *(list one name only)* at *(address)*. I can be reached at *(phone number)* if there are any questions regarding my request for the rezoning.

Sincerely,

Current Property Owner

·Planning & Zoning
·Community Development
262.653.4030
262.653.4045 FAX
Room 308



·Building Inspections
·Property Maintenance
262.653.4263
262.653.4254 FAX
Room 100

DEPARTMENT OF COMMUNITY DEVELOPMENT & INSPECTIONS

Municipal Building · 625 52nd Street · Kenosha, WI 53140
www.kenosha.org

Jeffrey B. Labahn, Director

Richard Schroeder, Deputy Director

September 25, 2014

Notice of Public Hearing

Rezoning of property located at 6300 3rd Avenue (Clark)

The City Plan Commission will hold a public hearing on a Petition submitted by Robert and Donna Clark to rezone their property at 6300 3rd Avenue. The proposed rezoning would amend the zoning on the property from *IP Institutional Park* to *RS-1 Single Family Residential District*. The rezoning is to allow the existing building on the property to be used as a residence.

An Amendment to the City's Adopted *Comprehensive Land Use Plan for the City of Kenosha: 2035* is also required. The Amendment would change the land use from *Government and Institutional* to *Medium Density Residential*.

The public hearing will be held at the City Plan Commission meeting as follows:

Thursday, October 9, 2014 at 5:00 p.m.
Municipal Building
625 52nd Street - Room 202
Kenosha, WI 53140

You are being notified of these public hearings because, as the owner of property located within 100-feet of the proposed zoning change, you are eligible to file a Protest Petition pursuant to Wisconsin State Statutes. The proposed rezoning **will not** change the zoning of your property. The enclosed map identifies the boundaries of the proposed rezoning and the location of your property has been highlighted.

The City Plan Commission will make a recommendation to the Common Council on the zoning petition. The Common Council is tentatively scheduled to hold a public hearing and take final action on this item at their meeting on Monday, November 17, 2014 at 7:00 p.m. in Room 200 of the Municipal Building.

Additional information regarding this petition is on file with the Department of Community Development & Inspections in Room 308 of the Municipal Building. For additional information or related questions, please contact Brian Wilke via email at bwilke@kenosha.org or at 262.653.4049.

BW:kas
Enclosure

Planning & Zoning Division 625 52nd Street - Room 308 Kenosha, WI 53140 262.653.4030	Kenosha City Plan Commission FACT SHEET	October 23, 2014	Item 6
City Plan Commission Resolution - To Amend the Land Use Plan Map for the Comprehensive Plan for the City of Kenosha: 2035, regarding property at 7505 38th Avenue. (MLR Properties) (District #13) PUBLIC HEARING			

LOCATION/SURROUNDINGS:

Site: 7505 38th Avenue

NOTIFICATIONS/PROCEDURES:

The alderman of the district, Alderperson Wilson, has been notified. This City Plan Commission Resolution recommends the Common Council approve the Amendment through a Zoning Ordinance Amendment.

ANALYSIS:

- Wisconsin Statutes require the City Plan Commission to adopt a City Plan Commission Resolution to recommend that the Common Council adopt amendments to the Comprehensive Plan.
- The attached Resolution satisfies this requirement and will be attached to the Zoning Ordinance to create Subsection 18.02 kk. to Amend the *Land Use Plan for the City of Kenosha: 2035* for the referenced properties from *Medium-High Density Residential* to *Commercial*.
- The adopted Comprehensive Plan designated this site, as residential and commercial. This area has developed as residential with some commercial uses to the west of 38th Avenue.
- The owner of the property has requested the land use change to *Commercial* to allow for the existing building to be used as a photography studio.
- The Amendment requires six (6) affirmative votes from the Commission to pass.

RECOMMENDATION:

A recommendation is made to approve the City Plan Commission Resolution amending the Comprehensive Plan.



 Brian R. Wilke, Development Coordinator



 Jeffrey B. Labahn, Director

CITY PLAN COMMISSION RESOLUTION # __-14

By: City Plan Commission

To Amend the Land Use Plan Map for the Comprehensive Plan for the City of Kenosha: 2035 Property at 7505 38th Avenue (MLR Properties)

WHEREAS, the City of Kenosha, pursuant to Section 62.23 of the Wisconsin Statutes, has established the City Plan Commission; and

WHEREAS, the Common Council adopted a *Comprehensive Plan for the City of Kenosha: 2035* on April 19, 2010, following extensive public participation; and

WHEREAS, a property owner has submitted a request to amend the Land Use designation for the referenced properties from *Medium-High Density Residential to Commercial*, as mapped on the attached Map C11-14 and on the Land Use Plan map adopted by the Common Council as part of the Comprehensive Plan; and

WHEREAS, the City Plan Commission finds that the Comprehensive Plan, with the proposed amendment, contains all of the required elements specified in Section 66.1001(2) of the Wisconsin Statutes and the Comprehensive Plan, with the proposed amendment, is internally consistent; and

WHEREAS, the City has duly noticed and will hold a public hearing on the proposed amendment, following the procedures in Section 66.1001(4)(d) of the Wisconsin Statutes.

NOW, THEREFORE BE IT RESOLVED that pursuant to Section 66.1001(4)(b), the City Plan Commission for the City of Kenosha, Wisconsin, hereby approves the amendment to a *Comprehensive Plan for the City of Kenosha: 2035* as shown on the attached Map C11-14.

BE IT FURTHER RESOLVED, that the City Plan Commission, for the City of Kenosha, Wisconsin, does hereby recommend that the Common Council enact a Zoning Ordinance adopting the Comprehensive Plan Amendment.

Adopted this _____ day of _____, 2014

ATTEST:

Jeffrey B. Labahn, Secretary of City Plan Commission

APPROVE:

Mayor Keith Bosman, Chairman of City Plan Commission

City of Kenosha

Comprehensive Plan Amendment

Supplement No. C11-14

Ordinance No. _____

MLR Properties Petition



Property requested to be changed from
Medium-High Density Residential to Commercial



Planning & Zoning Division 625 52nd Street - Room 308 Kenosha, WI 53140 262.653.4030	Kenosha City Plan Commission FACT SHEET	October 23, 2014	Item 7
By the City Plan Commission - To Create Subsection 18.02 kk. of the Zoning Ordinance to Amend the Land Use Plan Map for the City of Kenosha: 2035. (MLR Properties) (District #13) PUBLIC HEARING			

LOCATION/SURROUNDINGS:

Site: 7505 38th Avenue

NOTIFICATIONS/PROCEDURES:

The alderperson of the district, Alderperson Wilson, has been notified. The Common Council is the final review authority.

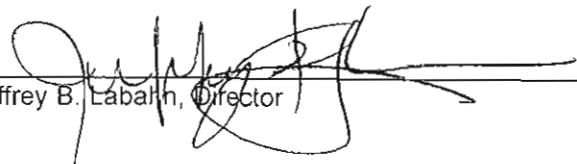
ANALYSIS:

- The Common Council adopted *A Comprehensive Plan for the City of Kenosha: 2035* on April 19, 2010.
- Wisconsin Statutes require the Common Council to adopt an Ordinance for Amendments to the Comprehensive Plan.
- The attached Zoning Ordinance references Map C11-14, which identifies the Amendment to the Land Use Plan located in the Comprehensive Plan. The Amendment will change the land use designation for the referenced properties from *Medium-High Density Residential* to *Commercial*.

RECOMMENDATION:

A recommendation is made to approve the proposed Zoning Ordinance.


 Brian R. Wilke, Development Coordinator


 Jeffrey B. Labahn, Director

ORDINANCE NO. _____

SPONSOR: CITY PLAN COMMISSION

**TO CREATE SUBSECTION 18.02 kk. OF THE ZONING
ORDINANCE TO AMEND THE LAND USE PLAN MAP
FOR THE CITY OF KENOSHA: 2035**

The Common Council of the City of Kenosha, Wisconsin, do ordain as follows:

Section One: Subsection 18.02 kk. of the Zoning Ordinance for the City
of Kenosha, Wisconsin, is hereby created as follows:

kk. By map C11-14 on file with the Department of Community Development and
Inspections.

Section Two: This Ordinance shall become effective upon passage and
publication.

ATTEST: _____ City Clerk

APPROVED: _____ Mayor

Passed:

Published:

Drafted By:
JONATHAN A. MULLIGAN
Assistant City Attorney

City of Kenosha

Comprehensive Plan Amendment

Supplement No. C11-14
Ordinance No. _____

MLR Properties Petition



Property requested to be changed from
Medium-High Density Residential to Commercial



Planning & Zoning Division 625 52nd Street - Room 308 Kenosha, WI 53140 262.653.4030	Kenosha City Plan Commission FACT SHEET	October 23, 2014	Item 8
By the Mayor - Petition to rezone property at 7505 38th Avenue from RG-1 General Residential District to B-1 Neighborhood Business District. (MLR Properties, LLC) (District #13) PUBLIC HEARING			

LOCATION/SURROUNDINGS:

Site: 7505 38th Avenue Neighborhood: Lance

Vicinity Zoning/Land Use

North: RS-3/Single-Family Residential East: RG-1/Single-Family Residential
 South: RG-1/Single-Family Residential West: B-2/Commercial

NOTIFICATIONS/PROCEDURES:

The alderperson of the district, Alderperson Wilson, has been notified. Property owners within 100 feet of the proposed rezoning were notified. The Common Council is the final review authority.

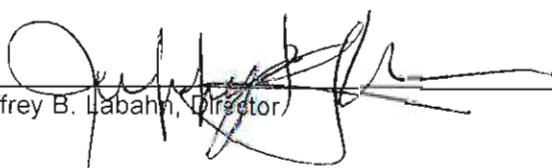
ANALYSIS:

- The owner of the property is requesting to rezone the property from *RG-1 General Residential District* to *B-1 Neighborhood Business District*. The purpose of the rezoning is to allow for the existing building on the site to be used as a photography studio. The current building had been used as a dental office until the business closed. That use was considered a permitted use in the *RG-1 General Residential District*.
- Rezoning of the property to *B-1 Neighborhood Business District* is not consistent with the adopted *Comprehensive Plan for the City of Kenosha: 2035* which lists this site as *Medium-High Density Residential*. An Amendment to that Plan is required for the City to approve the rezoning. That Amendment has been included on this agenda.
- The development of the property shall be consistent with all City, State and Federal Ordinances, and regulations. The owner does not intend to make any exterior changes to the property. The owner will need to obtain an Occupancy Permit from the City.

RECOMMENDATION:

A recommendation is made to approve the rezoning in accordance with Section 10.05 of the Zoning Ordinance


 Brian R. Wilke, Development Coordinator


 Jeffrey B. Labahn, Director

REZONING ORDINANCE NO. _____

SPONSOR: THE MAYOR

To Rezone Property at 7505 38th Avenue from RG-1 General Residential District to B-1 Neighborhood Business District in Conformance with Section 10.02 of the Zoning Ordinance. (MLR Properties, LLC) (District #13)

The Common Council of the City of Kenosha, Wisconsin, do ordain as follows:

Section One: That the land shown on the attached Supplement Map No. Z9-14 be, and the same hereby is, zoned and districted as indicated on said map.

Section Two: This Ordinance shall be in full force and effect upon passage and the day after its publication.

ATTEST: _____ City Clerk

APPROVED: _____ Mayor Date: _____

Passed:

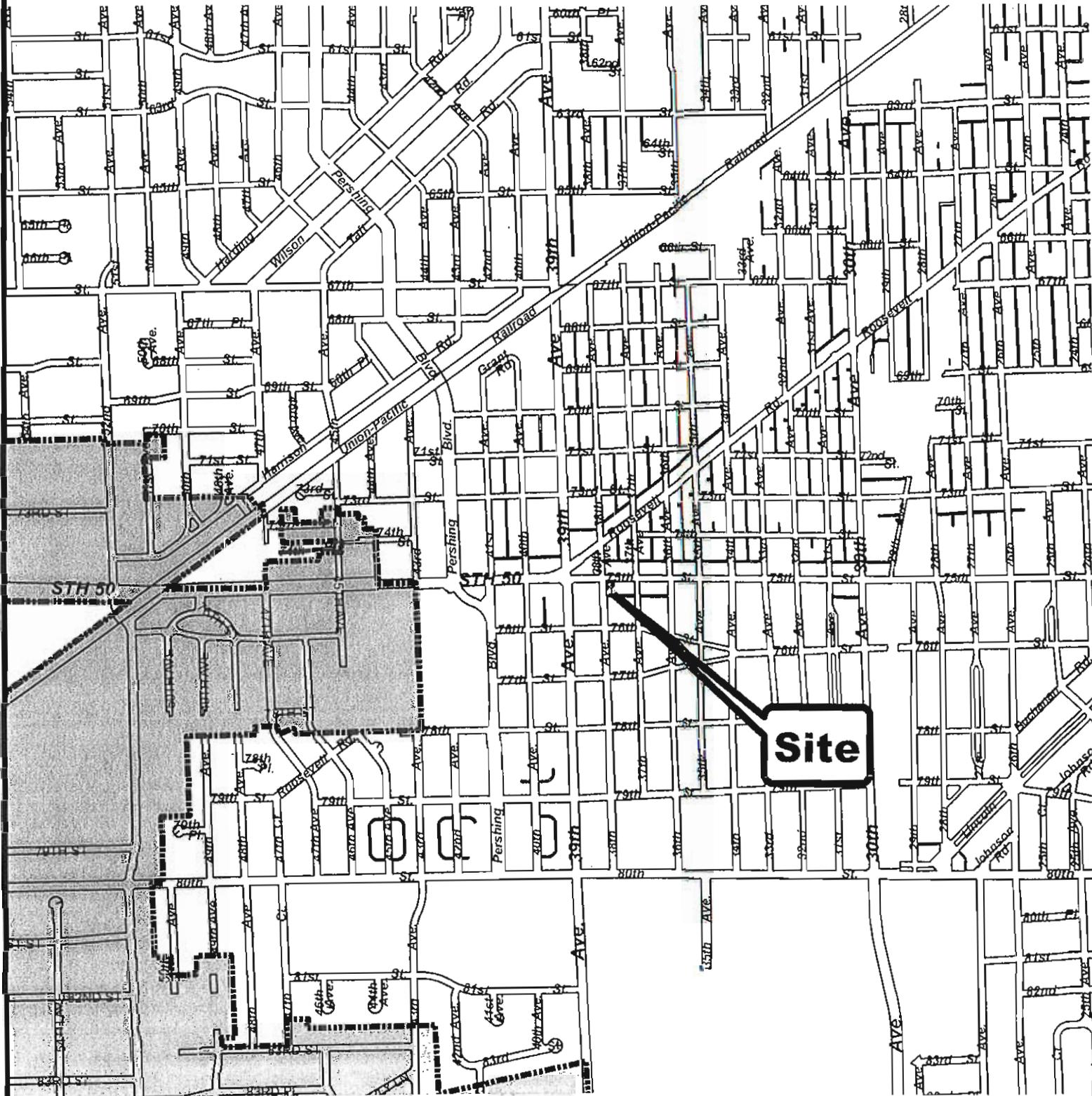
Published:

Drafted by:
JONATHAN A. MULLIGAN
Assistant City Attorney

City of Kenosha

Vicinity Map

MLR Properties rezoning



Property requested to be rezoned



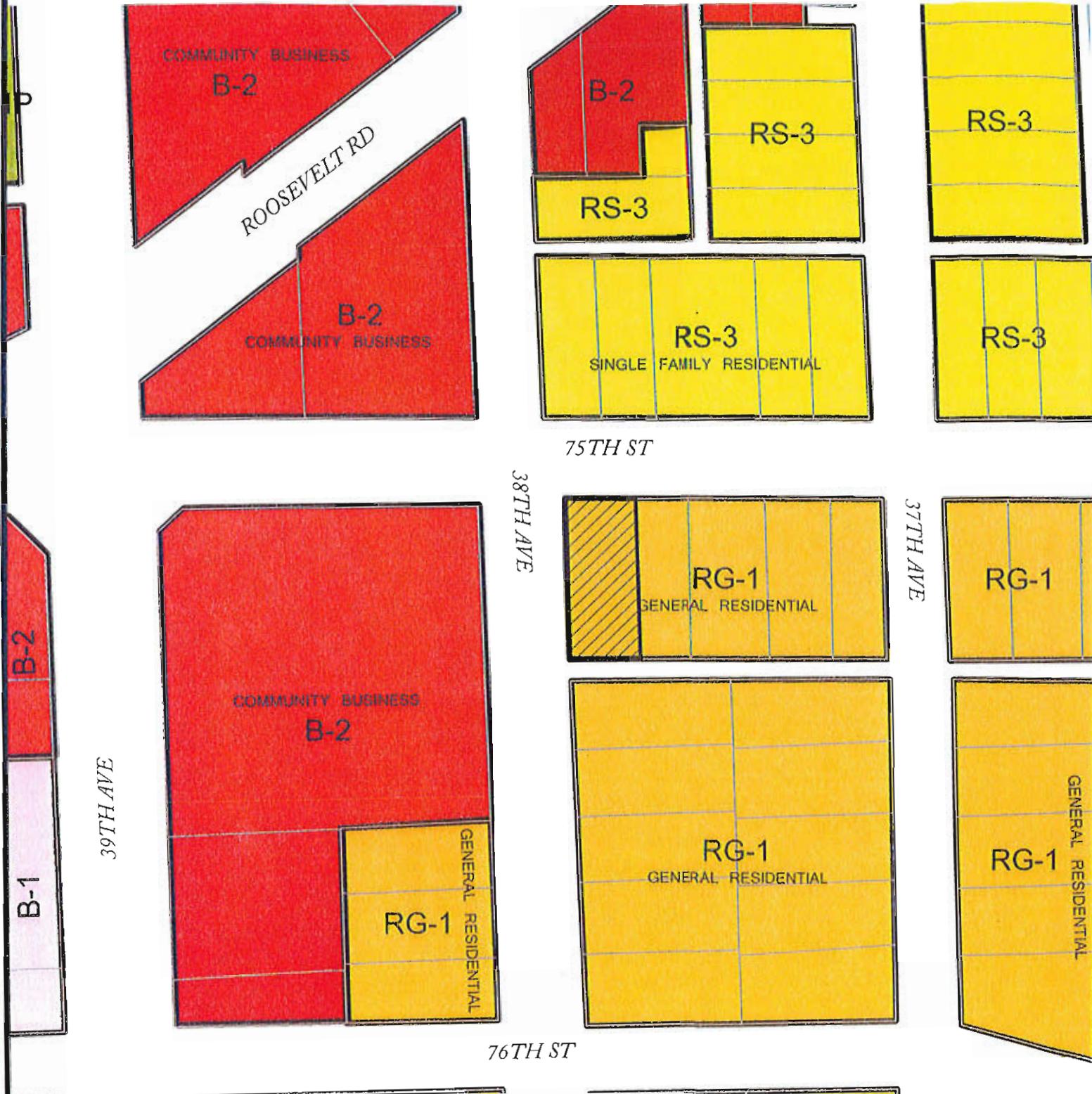
City of Kenosha

District Map Rezoning

Supplement No. 29-14

Ordinance No. _____

MLR Properties petition



Property requested to be rezoned from:



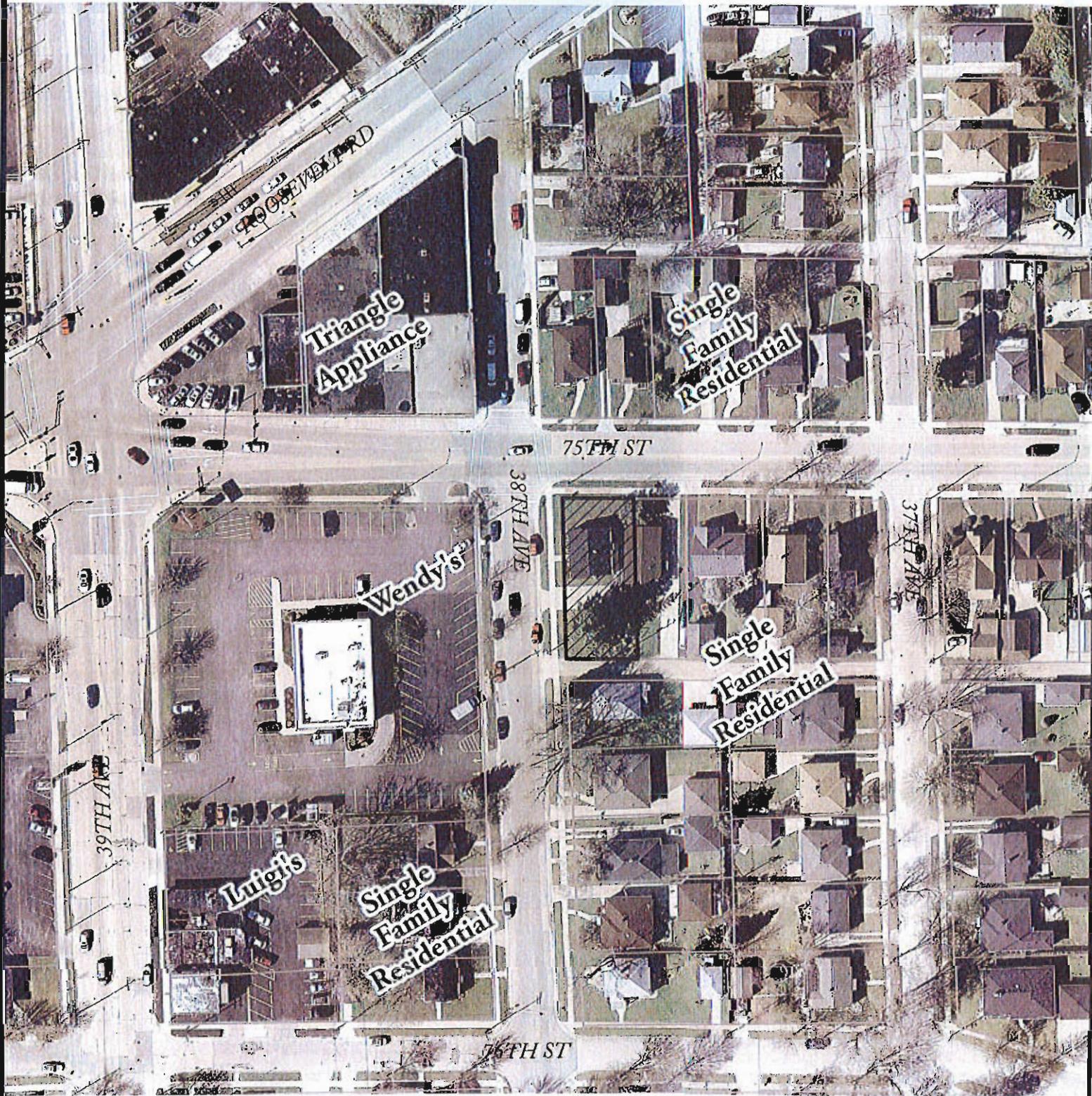
RG-1 General Residential to
B-1 Neighborhood Business



City of Kenosha

Land Use Map

MLR Properties Rezoning



Property requested to be rezoned



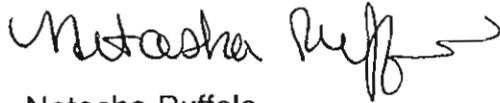
The Honorable Mayor
and Members of the Common Council
Kenosha, WI

Dear Members of the Common Council:

It is requested that my property located at 7505 38th Ave be rezoned from RG-1 to B-1. The purpose of the rezoning is to permit a photography studio. This building has been the home of a dental office in Kenosha for many years and will be an excellent location and easy conversion to suit the needs of a photography studio.

I've attached a receipt of my rezoning fee payment. Please inform me of the date this item will be reviewed by the City Plan Commission. The meeting notice should be sent to Netasha Ruffolo at 3308 29th St. Kenosha, WI 53144. I can be reached at 262-818-0154 if there are any questions regarding my request for the rezoning.

Sincerely,

A handwritten signature in black ink that reads "Netasha Ruffolo". The signature is written in a cursive style with a long horizontal flourish extending to the right.

Netasha Ruffolo



Site

**Development Review Application
City of Kenosha, Wisconsin**

MAILING INFORMATION

NAME OF PROJECT: Ruffolo Rezoning

Check one (1) of the following boxes to indicate the recipient of all correspondence:

<input checked="" type="checkbox"/>	Name and Address of Applicant [Please print]: <u>Netasha + Michael Ruffolo</u> <u>MLR Properties LLC</u> <u>3308-29 Street</u> <u>Kenosha WI 53144</u>	Phone: <u>262-818-0154</u> Fax: _____ E-Mail: <u>netasharuffolo@gmail.com</u>
<input type="checkbox"/>	Name and Address of Architect/Engineer [Please print]: _____ _____ _____	Phone: _____ Fax: _____ E-Mail: _____
<input type="checkbox"/>	Name and Address of Property Owner (if other than applicant)[Please print]: _____ _____ _____	Phone: _____ Fax: _____ E-Mail: _____

PROJECT LOCATION

Location of Development (street address and / or parcel number): 7505-38 AVE
Parcel # 09-122-12-229-005

TYPE OF LAND DEVELOPMENT

Check all that apply. Note: Additional information may be required within individual Sections.

- | | | |
|---|------------|---------------|
| <input type="checkbox"/> Certified Survey Map | Section 1 | Page 3 |
| <input type="checkbox"/> Concept Review (<i>Land Division</i>) | Section 2 | Page 4 |
| <input type="checkbox"/> Concept Review (Multi-Family Residential or Non-Residential) | Section 3 | Page 5 |
| <input type="checkbox"/> Conditional Use Permit | Section 4 | Pages 6 & 7 |
| <input type="checkbox"/> Developer's Agreement | Section 5 | Page 8 |
| <input type="checkbox"/> Final Plat | Section 6 | Pages 9 & 10 |
| <input type="checkbox"/> Lot Line Adjustment Survey | Section 7 | Page 11 |
| <input type="checkbox"/> Preliminary Plat | Section 8 | Pages 12 & 13 |
| <input checked="" type="checkbox"/> Rezoning | Section 9 | Pages 14 & 15 |
| <input type="checkbox"/> Site Plan Review | Section 10 | Pages 16 & 17 |

**PRIOR TO SUBMITTING THIS APPLICATION TO THE DEPARTMENT OF CITY DEVELOPMENT,
PLEASE REVIEW THE APPROPRIATE SECTION(S) FOR FEES, REQUIREMENTS AND APPROPRIATE APPENDICES.**

*Submit this cover page, completed application, applicable section(s) and appendices
along with ALL required plans, information and fees to:*

Department of Community Development & Inspections
 Planning Division
 625 52nd Street, Room 308
 Kenosha, WI 53140

Phone: 262.653.4030
 Fax: 262.653.4045

Office Hours:
 M - F 8:00 am - 4:30 pm

**SECTION 9
REZONING**

Additional Information Required:	Current Zoning District: <u>RG-1</u> Proposed Zoning District: <u>B-1</u> Proposed Type of Rezoning: (Check all applicable) <input type="checkbox"/> Single-family Residential <input type="checkbox"/> Two-family Residential <input type="checkbox"/> Multi-family Residential (3 or more units) <input checked="" type="checkbox"/> Institutional, Commercial or Industrial
Submittal Requirements:	<ul style="list-style-type: none"> ➤ Rezoning Petition (sample below) filled out according to the particular situation. The current owner(s) of the property must sign the petition. ➤ Building and Site Development Plans as indicated below.
Fees:	<ul style="list-style-type: none"> ➤ Rezoning Fee = \$550 (For projects that <i>do not</i> require building and site development plans) <u>OR</u> ➤ Rezoning with Concept Plan = \$1,150 (For projects that require building and site development plans) <p><i>The City retains the fee whether the rezoning is approved or denied. The applicant should contact Community Development and Inspections – Planning Division to verify the total fee before submitting the rezoning application.</i></p>
Appendices to Review:	➤ N/A
Approximate Review Time:	➤ 60-75 days (Reviewed by City Plan Commission and Common Council)
A rezoning request can be initiated by: <ul style="list-style-type: none"> ➤ The City Plan Commission ➤ The Common Council ➤ A petition of 50 percent or more of the owners of property within the area proposed to be rezoned 	

SAMPLE REZONING PETITION

The Honorable Mayor
and Members of the Common Council
Kenosha, WI

Dear Members of the Common Council:

It is requested that my property located at *(address or parcel number)* be rezoned from *(present zoning)* to *(proposed rezoning)*. The purpose of the rezoning is to permit *(proposed use of the property)*.

Attached is a conceptual development plan including building, site development, land use and operational plans as required by Section 10 of the City of Kenosha Zoning Ordinance, and a receipt of the rezoning fee. I understand that development of the referenced property proposed for rezoning is required to be consistent with the conceptual development plans submitted with my rezoning petition.

Please inform me of the date this item will be reviewed by the City Plan Commission. The meeting notice should be sent to *(list one name only)* at *(address)*. I can be reached at *(phone number)* if there are any questions regarding my request for the rezoning.

Sincerely,

Current Property Owner

·Planning & Zoning

·Community Development

262.653.4030
262.653.4045 FAX
Room 308



·Building Inspections

·Property Maintenance

262.653.4263
262.653.4254 FAX
Room 100

DEPARTMENT OF COMMUNITY DEVELOPMENT & INSPECTIONS

Municipal Building · 625 52nd Street · Kenosha, WI 53140
www.kenosha.org

Jeffrey B. Labahn, Director

Richard Schroeder, Deputy Director

September 25, 2014

Notice of Public Hearing

Rezoning of property at 7505 38th Avenue (MLR Properties)

The City Plan Commission will hold a public hearing on a Petition submitted by MLR Properties, Netasha Ruffolo, agent, to rezone the property at 7505 38th Avenue. The proposed rezoning would amend the zoning of the property from *RG-1 General Residential* to *B-1 Neighborhood Business District*. The rezoning is to allow the operation of a photography studio in the existing building on the property.

An Amendment to the City's Adopted *Comprehensive Land Use Plan for the City of Kenosha: 2035* is also required. The Amendment would change the land use from *Medium High Density Residential* to *Commercial*.

The public hearing will be held at the City Plan Commission meeting as follows:

***Thursday, October 9, 2014 at 5:00 p.m.
Municipal Building
625 52nd Street - Room 202
Kenosha, WI 53140***

You are being notified of these public hearings because, as the owner of property located within 100-feet of the proposed zoning change, you are eligible to file a Protest Petition pursuant to Wisconsin State Statutes. The proposed rezoning **will not** change the zoning of your property. The enclosed map identifies the boundaries of the proposed rezoning and the location of your property has been highlighted.

The City Plan Commission will make a recommendation to the Common Council on the zoning petition. The Common Council is tentatively scheduled to hold a public hearing and take final action on this item at their meeting on Monday, November 17, 2014 at 7:00 p.m. in Room 200 of the Municipal Building.

Additional information regarding this petition is on file with the Department of Community Development & Inspections in Room 308 of the Municipal Building. For additional information or related questions, please contact Brian Wilke via email at bwilke@kenosha.org or at 262.653.4049.

BW:kas
Enclosure

Planning & Zoning Division 625 52nd Street - Room 308 Kenosha, WI 53140 262.653.4030	Kenosha City Plan Commission FACT SHEET	October 23, 2014	Item 9
City Plan Commission Resolution - To Amend the Comprehensive Plan for the City of Kenosha: 2035 regarding the Bristol Neighborhood Plan. (District #16) PUBLIC HEARING			

LOCATION/SURROUNDINGS:

Site: Bristol Neighborhood - 60th Street to 75th Street, Interstate 94 to CTH MB

NOTIFICATIONS/PROCEDURES:

The alderman of the district, Alderperson Johnson has been notified. This City Plan Commission Resolution recommends the Common Council approve the Amendment through a Zoning Ordinance Amendment.

ANALYSIS:

- Wisconsin Statutes require the City Plan Commission to adopt a City Plan Commission Resolution to recommend that the Common Council adopt amendments to the Comprehensive Plan.
- The attached Resolution satisfies this requirement and will be attached to the Zoning Ordinance to create Subsection 18.02 ii. to Amend the *Land Use Plan for the City of Kenosha: 2035* relating to the *Bristol Neighborhood Plan*.
- The Amendment requires six (6) affirmative votes from the Commission to pass.
- Details on the various plan changes are noted in the next agenda item report.

RECOMMENDATION:

A recommendation is made to approve the City Plan Commission Resolution amending the Comprehensive Plan.


 Brian R. Wilke, Development Coordinator


 Jeffrey B. Labahn, Director

CITY PLAN COMMISSION RESOLUTION # ____ - 14

By: City Plan Commission

To Amend Chapter 6 entitled Existing Plans and Ordinances
for the *Comprehensive Plan for the City of Kenosha: 2035*
amending the *Bristol Neighborhood Plan*

WHEREAS, the City of Kenosha, pursuant to Section 62.23 of the Wisconsin Statutes, has established the City Plan Commission; and

WHEREAS, the Common Council adopted *A Comprehensive Plan for the City of Kenosha: 2035* at their meeting on April 19, 2010, following extensive public participation; and

WHEREAS, the City of Kenosha has prepared an amended plan for the *Bristol Neighborhood Plan*; and

WHEREAS, the City Plan Commission finds that the Comprehensive Plan, with the proposed Amendment, contains all of the required elements specified in Section 66.1001(2) of the Wisconsin Statutes and the Comprehensive Plan, with the proposed Amendment, is internally consistent; and

WHEREAS, the City has duly noticed and will hold a public hearing on the proposed Amendment, following the procedures in Section 66.1001(4)(d) of the Wisconsin Statutes.

NOW, THEREFORE BE IT RESOLVED, that pursuant to Section 66.1001(4)(b), the City Plan Commission for the City of Kenosha, Wisconsin, hereby approves the Amendment to Chapter 6 of *A Comprehensive Plan for the City of Kenosha: 2035* by amending the *Bristol Neighborhood Plan* dated September 30, 2014.

Adopted this ____ day of _____, 2014

ATTEST:

Jeffrey B. Labahn, Secretary of City Plan Commission

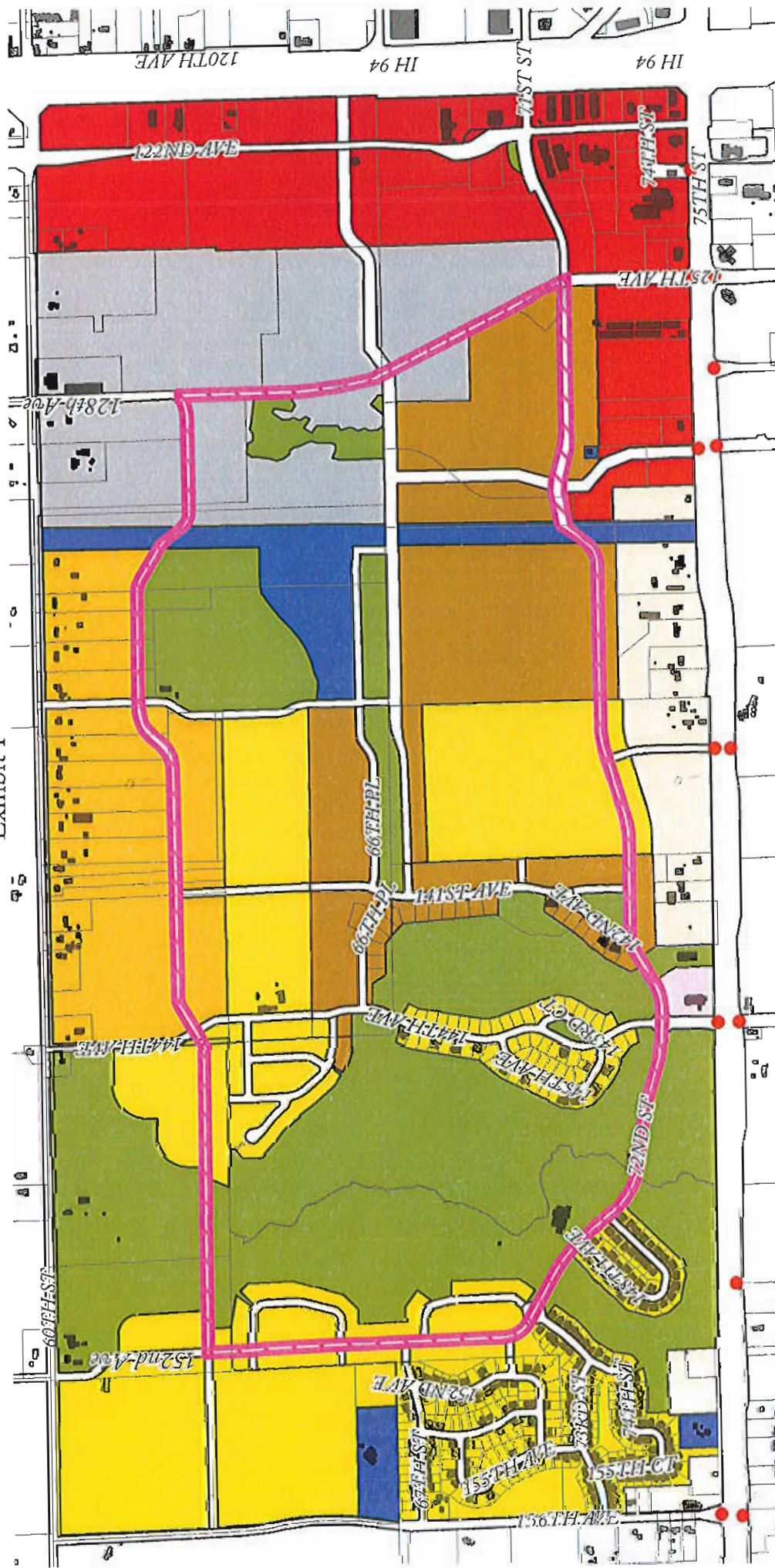
APPROVE:

Mayor Keith Bosman, Chairman of City Plan Commission

Bristol Neighborhood Plan

Revised Recommended Plan

Exhibit I



- Single Family Residential
- Multiple Family Residential (TRD-2)
- Multiple Uses for Traditional Buildings
- Rural (Highway) Single-Family Residential
- Institutional / Utilities
- Open Space / Park
- Neighborhood Commercial
- Community & Regional Commercial
- Industrial Uses
- Ring Road
- Planned Public Street Access Locations for STH 50

Planning & Zoning Division 625 52nd Street - Room 308 Kenosha, WI 53140 262.653.4030	Kenosha City Plan Commission FACT SHEET	October 23, 2014	Item 10
By the Mayor - To Create Subsection 18.02 ii. of the Zoning Ordinance to Amend the Bristol Neighborhood Plan as referenced in the Comprehensive Plan for the City of Kenosha: 2035. (District #16) PUBLIC HEARING			

LOCATION/SURROUNDINGS:

Site: Bristol Neighborhood - 60th Street to 75th Street, Interstate 94 to CTH MB

NOTIFICATIONS/PROCEDURES:

Aldersperson Johnson, alderperson of the district, has been notified. The Common Council is the final review authority.

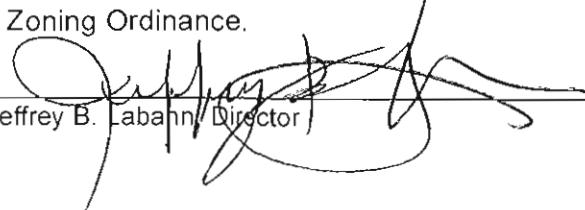
ANALYSIS:

- The Common Council adopted *A Comprehensive Plan for the City of Kenosha: 2035* on April 19, 2010.
- Wisconsin Statutes require the Common Council to adopt an Ordinance for Amendments to the Comprehensive Plan. The *Bristol Neighborhood Plan* is adopted by reference in the Comprehensive Plan.
- In May of this year the City Plan Commission reviewed Concept Plan for Industrial for a portion of the neighborhood. The Commission was supportive of the use, although the Concept Plan that was submitted would require revisions before any rezoning would be considered.
- The attached Zoning Ordinance references an Amendment to the adopted Bristol Neighborhood Plan. Based on two (2) recent Concept Plan reviews submitted in this area, Staff has looked at a larger area within the neighborhood and has proposed the following *Bristol Neighborhood Plan* changes:
 - a. The properties generally located east of the tower line, indicated in blue on the map, extending to the west boundary of the commercial land use will be amended from Residential uses to Light Industrial uses. The previous road alignment is being modified to create a public road access to 60th Street in alignment with 128th Avenue, versus the current plan where the road alignment is off-set.
 - b. Properties generally west of 125th Avenue extended and south of 67th Street extended would be amended from a mix of commercial and multiple-family residential to all multiple-family residential.
 - c. The Floodplain Land Use is being added to the Land Use Map to be consistent with the FEMA Flood Insurance Rate Maps adopted in 2012.
 - d. The text of the *Bristol Neighborhood Plan* is also proposed to change. Since the existing plan does not show any proposed industrial uses, Staff is proposing to add text that will provide design guidelines for orderly and appropriate industrial development.
- Although Staff supports the Land Use Plan changes, acceptable plans will need to be submitted before the Staff will be able to support any rezoning within the area, as required by the Zoning Ordinance.

RECOMMENDATION:

A recommendation is made to approve the proposed Zoning Ordinance.


 Brian R. Wilke, Development Coordinator
 /u2/acct/cp/ckays/1CPC/2014/OCT23/10Fact-zo-1802ii-Bristol.odt


 Jeffrey B. Labahn, Director

ZONING ORDINANCE NO. _____

BY: CITY PLAN COMMISSION

**TO CREATE SUBSECTION 18.02 ii. OF THE ZONING ORDINANCE
TO AMEND THE BRISTOL NEIGHBORHOOD PLAN AS REFERENCED
IN THE COMPREHENSIVE PLAN FOR THE CITY OF KENOSHA: 2035**

The Common Council of the City of Kenosha, Wisconsin, do ordain as follows:

Section One: Subsection 18.02 ii. of the Zoning Ordinance for the City of Kenosha, Wisconsin, is hereby created as follows:

18.02 The comprehensive plan adopted in subsection 18.01 is amended by the following:

ii. By Common Council Resolution _____ on file with the City Clerk.

Section Two: This Ordinance shall become effective upon passage and publication.

ATTEST: _____ City Clerk

APPROVED: _____ Mayor

Passed:

Published:

Drafted By:
JONATHAN A. MULLIGAN
Assistant City Attorney

Bristol Neighborhood Plan
Industrial Use Section - Revised Text Amendments
October 1, 2014

Industrial Uses

Industrial land uses account for almost 100 acres, or about 7 percent of the total land that can be developed in the neighborhood. The industrial use category is intended to provide for office, research and development, assembly and manufacturing uses with warehouse and distribution uses within an enclosed structure. No high hazard uses are allowed, and the method of manufacturing shall not be injurious to the point of constituting a nuisance to the occupants of adjacent properties by reason of the emission or creation of noise, vibration, smoke, dust or particle matters, toxic or noxious materials, odors, fire or explosive hazards, glare or heat.

The plan recommends that the City adopt a new industrial district that incorporates the design requirements for this land use category. This district will allow for manufacturing, assembly, warehouse, distribution, and research and development uses as well as office campuses and individual office buildings. These areas will be developed in an attractive setting with consistent landscaping, signage, and building materials designed to present an integrated image to the general public.

Design Requirements

1. All building facades shall require indentations, relief and/or architectural details to avoid blank walls. Exclusively flat and blank wall areas shall not be permitted on all building facades.
2. Recesses and/or projections shall comprise at least twenty (20%) percent of the linear feet on each building facade. No building facade shall be allowed to extend more than two-hundred (200') feet in linear length without incorporating the use of a recess and/or a projection.
3. The exterior wall materials of all buildings shall be constructed entirely of architectural masonry, architectural composite aluminum panels, glass or a combination of materials, which will withstand abuse by vandals or accidental damage by machinery. Other decorative and/or textured materials may be considered to meet these requirements.
4. Smooth face concrete blocks shall not be permitted on any building facade, except when used for accent banding. The accent banding shall not be wider than three (3) adjacent courses and no more than a total of six (6) courses on any building facade.
5. Exterior building walls constructed entirely of split-faced or decorative concrete block shall not be painted or stained after being installed on the building facade.
6. Rooftop mechanicals shall not be visible from grade level as measured from all lot lines, and all screening of rooftop mechanicals shall be compatible with the design, color and materials of all building facades.

7. Mechanical and utility equipment, including rooftop mechanicals, shall be screened from view of all public streets and adjacent residential areas. The development of new industrial, warehouse, distribution, and office uses shall incorporate visual and acoustic mitigation alternatives through the use of natural screening along all public streets and adjacent residential areas.
8. Loading and storage facilities for industrial, warehouse, distribution, and office uses shall not be located on the side(s) of the building facing all public streets, unless such loading and storage facilities are located a minimum of one-hundred (100') feet from all public streets.
9. All loading and storage facilities for industrial, warehouse, distribution, and office uses shall be limited to a maximum of sixty (60%) percent of the linear feet of all building facades. Such facilities shall be recessed at least twenty (20') feet behind the longest length on the ground level of all building facades.
10. Loading and storage facilities, including service and dumpster areas shall be, to the maximum extent possible, located in the rear of the lot or behind the principal building. The design of the screening of such facilities and areas shall be architecturally integrated into the principal building and into the overall design of the project in terms of materials, colors, shape and size..
11. Loading and storage facilities, including service and dumpster areas, not architecturally integrated into the principal building, shall be screened with a decorative masonry fencing of six (6') feet in height with trees and shrubs. A solid, single or double access gate shall be allowed on one side only. Such facilities and areas shall be designed to include the screening of large items (e.g. skids and pallets) as well as the trash bin(s) that are needed for the facility, unless such screening is otherwise architecturally integrated into the principal structure.
12. Except for visitor parking lots, all parking lots adjacent to, or visible from, public streets or adjacent residential areas shall be screened from view through the use of rolling earth berms, low screen walls, landscape hedges or combinations thereof.
13. Fencing, walls and berms shall be used as buffers between different land uses and shall be integrated into all proposed future development and redevelopment activities. Fence materials, such as decorative blocks, brick, stone, treated wood, and ornamental metal, shall be used at key locations with respect to screening of outdoor storage and parking lots.

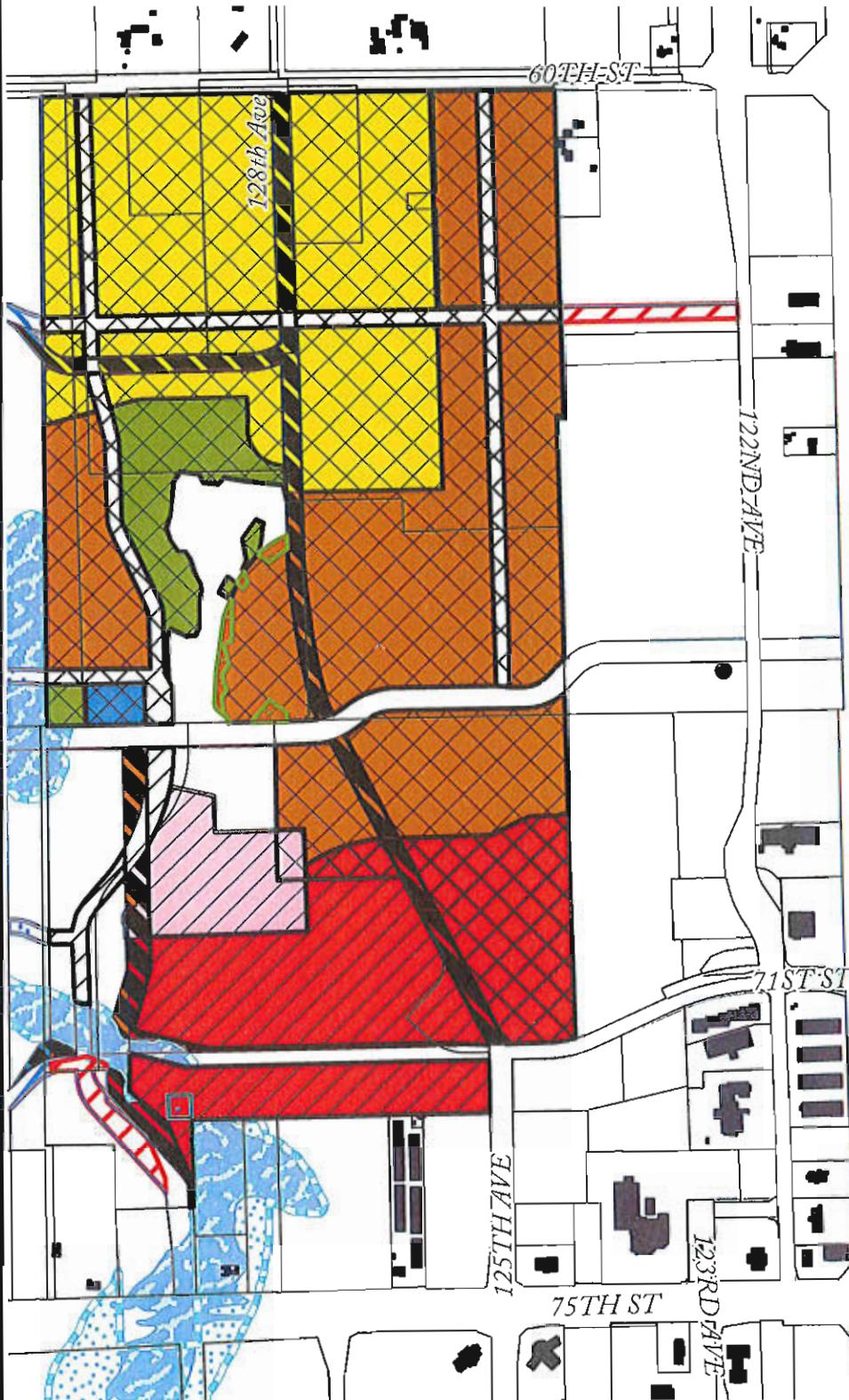
Design Guidelines

1. Entries to each building should portray a quality appearance while being architecturally related to the overall building composition.
2. The use of siding materials, such as metal, masonry, concrete texturing, concrete or plaster, should vary to produce effects of texture and relief that provide architectural interest.

3. Consider the blending of compatible colors in a single facade or composition to add interest and variety while reducing building scale and breaking up plain walls.
4. Consider the use of light, neutral colors on all large buildings to help reduce their perceived size. Contrasting trim and horizontal color bands should be used to break up the vertical monotony of tall flat walls. Unique and creative solutions are encouraged.
5. A variety of building indentations and architectural details, building entry accentuation, screening of equipment and storage areas, and landscaping should be used to soften building exteriors and to provide a buffer between incompatible uses, particularly for adjacent residential areas.
6. Avoid the use of large, blank, flat surfaces; exposed, untreated concrete and block walls (except split faced and other architectural block materials); and exposed roof drains.
7. Preferred building materials include: full veneer brick, architectural concrete (with recessed panels and reveal lines), colored Concrete Masonry Units (CMU) block and architectural CMU block (i.e. split face, fluted, scored, honed, etc), architectural metals and standing seam metal roofing, and insulated architectural metal panels, i.e. aluco bond.
8. Preferred accent materials for vertical surfaces include: precast concrete accents, Exterior Insulation and Finish System (EIFS), and limited amounts of stucco.
9. Discouraged primary building materials include: plain, grey, **flat**-faced Concrete Masonry Units (CMU) block, brick tiles, metal walls (unless it is an **insulated architectural metal panel** such as aluco bond), stucco, and Exterior Insulation and Finish System (EIFS).
10. Parking lots and loading facilities should be designed with the consideration of each other and should not dominate the site.
11. Parking lots and motorized vehicles should not be the dominant visual element of the site. Large expansive paved areas located between the street and the building should be avoided in favor of smaller parking areas separated by landscaping and buildings.
12. Promote appropriately designed signage that appeals to pedestrians and motorists alike, as well as signage that creates an aesthetically pleasing environment.

Proposed amendments to the

Bristol Neighborhood Plan



Properties requested to be changed

From:

- Single & Two-Family Residential
- Multiple-Family Residential
- Institutional / Utilities
- Open Space / Parks
- Neighborhood Commercial
- Community & Regional Commercial
- Roadways

To:

- Multiple-Family Residential
- Institutional / Utilities
- Open Space / Parks
- Community & Regional Commercial
- Light Industrial Uses
- Roadways

Environmental Areas to remain:

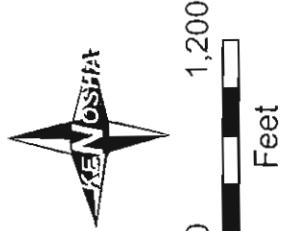
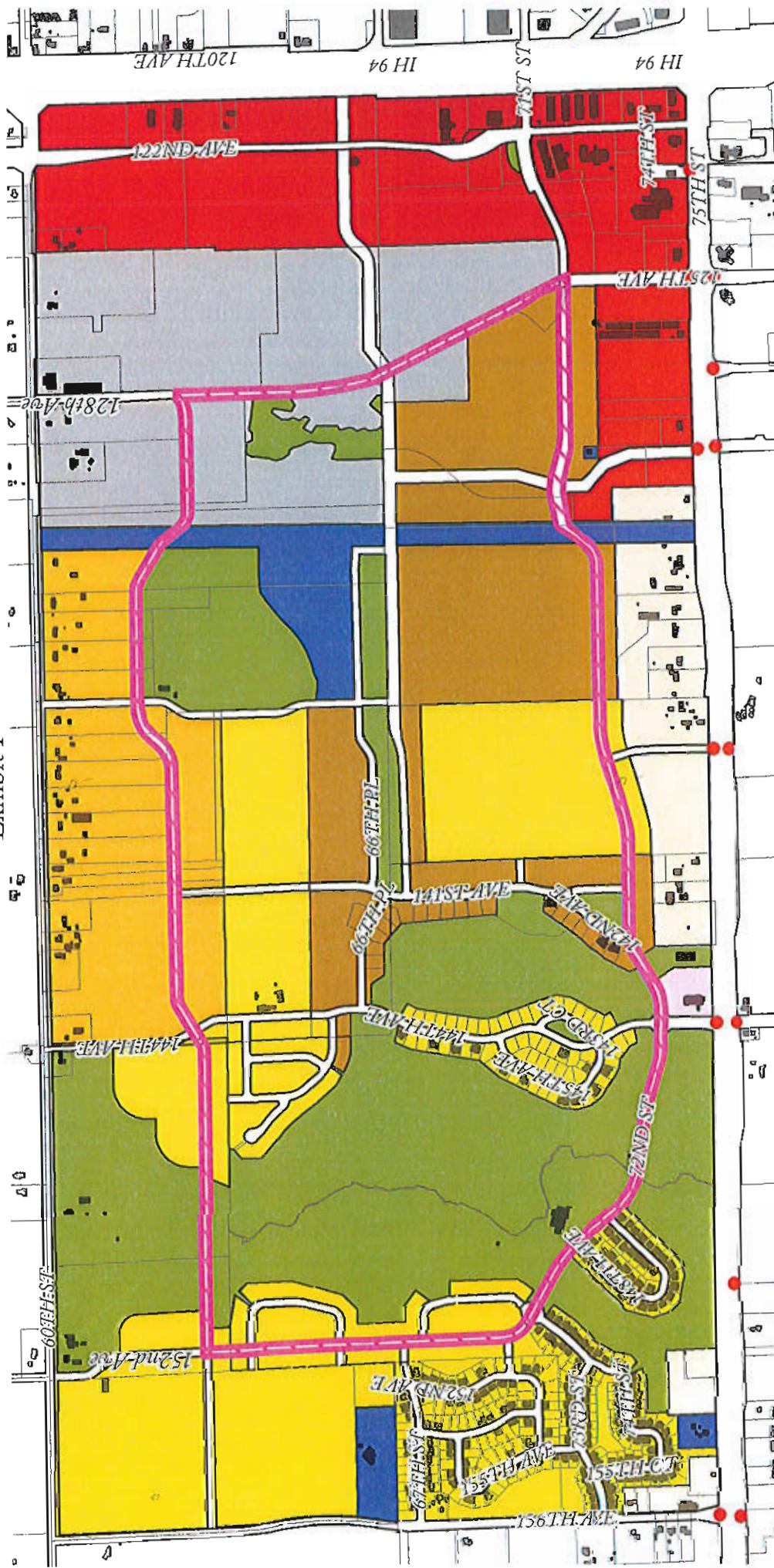
- Floodplains
- Shoreland-Wetland Overlay



Bristol Neighborhood Plan

Revised Recommended Plan

Exhibit I



- Single Family Residential
- Multiple Family Residential (TRD-2)
- Multiple Uses for Traditional Buildings
- Rural (Highway) Single-Family Residential
- Institutional / Utilities
- Open Space / Park
- Neighborhood Commercial
- Community & Regional Commercial
- Industrial Uses
- Ring Road
- Planned Public Street Access Locations for STH 50

Planning & Zoning Division
625 52nd Street - Room 308
Kenosha, WI 53140
262.653.4030

Kenosha City Plan Commission

FACT SHEET

October 23, 2014

Item 11

City Plan Commission Resolution - To Amend Chapter 6 entitled Existing Plans & Ordinances for the Comprehensive Plan for the City of Kenosha: 2035 by revising the Kenosha Downtown Strategic Development Plan dated August 2012. (District #2) PUBLIC HEARING

LOCATION/SURROUNDINGS:

Site: Kenosha Downtown

NOTIFICATIONS/PROCEDURES:

The alderman of the district, Alderman Jenkins, has been notified. This City Plan Commission Resolution recommends the Common Council approve the Amendment through a Zoning Ordinance Amendment.

ANALYSIS:

- Wisconsin Statutes require the City Plan Commission to adopt a City Plan Commission Resolution to recommend that the Common Council adopt amendments to the Comprehensive Plan.
- The attached Resolution satisfies this requirement and will be attached to the Zoning Ordinance to create Subsection 18.02 II. to Amend the *Kenosha Downtown strategic Development Plan*.
- The Amendment requires six (6) affirmative votes from the Commission to pass.
- The changes proposed on the attached Resolution would amend the *Kenosha Downtown Strategic Development Plan* in several areas that refer to Parcel A of HarborPark. Parcel A is the block bounded by 54th and 55th Streets and 5th and 6th Avenues.
- The adopted plan referenced this site as a civic park/open space. The *HarborPark Neighborhood Code*, which was adopted by the City Plan Commission on February 4, 1999, showed Parcel A as being developed potentially with a mixed-use type of building. Staff felt it was appropriate to amend the *Kenosha Downtown Strategic Development Plan* to match the recommendation of the *HarborPark Neighborhood Code* to show Parcel A available for development.

RECOMMENDATION:

A recommendation is made to approve the City Plan Commission Resolution amending the Comprehensive Plan.



Brian R. Wilke, Development Coordinator



Jeffrey B. Labahn, Director

CITY PLAN COMMISSION RESOLUTION # ____ - 14

By: City Plan Commission

To Amend Chapter 6 entitled Existing Plans & Ordinances for the *Comprehensive Plan for the City of Kenosha: 2035* by revising the *Kenosha Downtown Strategic Development Plan* dated August 2012

WHEREAS, the City of Kenosha, pursuant to Section 62.23 of the Wisconsin Statutes, has established the City Plan Commission; and

WHEREAS, the Common Council adopted a *Comprehensive Plan for the City of Kenosha: 2035* at their meeting on April 19, 2010, following extensive public participation; and

WHEREAS, the City of Kenosha Common Council adopted the *Kenosha Downtown Strategic Development Plan* dated August 2012 per Resolution 139-12; and

WHEREAS, the City has duly noticed and will hold a public hearing on the proposed Amendment, following the procedures in Section 66.1001(4)(d) of the Wisconsin Statutes.

NOW, THEREFORE BE IT RESOLVED, that pursuant to Section 66.1001(4)(b), the City Plan Commission for the City of Kenosha, Wisconsin, hereby approves the Amendment to Chapter 6 of a *Comprehensive Plan for the City of Kenosha: 2035* by amending the *Kenosha Downtown Strategic Development Plan* dated August 2012 as follows:

1. Page 101, "*Figure 6-2: Downtown Strategic Development Plan*", is amended by adding the words "with Park" to the end of letter "K" in the Notes.
2. Page 101, "*Figure 6-2: Downtown Strategic Development Plan*", is amended by changing letter "N" in the Notes from "City Center Park" to "Mixed-use development, ground-level retail and upper-level residential."
3. Page 101, "*Figure 6-2: Downtown Strategic Development Plan*", is amended to remove the representation of a park/open space on the block located between 54th and 55th Streets and 5th and 6th Avenues and replace it with the representation shown in *Figure 6-13 (bottom) "Conceptual Plan for City Hall Redevelopment Site"* found on page 107.
4. Page 106, "K. City Hall Redevelopment Site", is amended by changing the second paragraph of the Section to add an additional bullet point which reads: "Civic Park"
5. Page 106, "K. City Hall Redevelopment Site", is amended by changing the third paragraph of the Section to read: "These elements can be accomplished in a variety of ways, as shown on the following page. Figure 6-13 is the recommended conceptual plan for the City Hall Redevelopment Site. In this scheme, the City Hall is shown relocated adjacent to the Police Station parking deck, with frontage on Sheridan Road. The Harbor walk open space is shown continuing through the site with the relocated City Hall as the terminus of this space in a civic park. The mixed-use buildings along 52nd Street are supported by a new loop drive that connects 7th and 8th Avenues internally within the development. The existing streetcar maintenance building is shown to remain. It could continue to serve its current purpose, or it could function as more of a museum/display space for the streetcars when they are not in use, or as a home to the indoor market."

6. Page 107, "Figure 6-12 (top): Conceptual Plan for City Hall Redevelopment Site" is amended to read "Figure 6-12 (top): Conceptual Plan Alternative for City Hall Redevelopment Site" and "Figure 6-13 (bottom): Conceptual Plan Alternative for City Hall Redevelopment Site" is amended to read "Figure 6-13 (bottom): Recommended Conceptual Plan for City Hall Redevelopment Site".
7. Page 109, "N. City Center Open Space" is recreated to read: "Throughout the process the concept of a central civic open space has been discussed as a unifying element that serves as the "heart" of the City. Much like several other key elements, this use could be located in one of several locations. The recommended location is shown in Figure 6-18. In this scheme, the central open space is the extension of the harbor walk on the west side of 6th Avenue. The challenge in any scheme is to design the park appropriately so that it creates pedestrian interest and does not increase the divide between the north and south portions of 6th Avenue.

The alternate location is shown in Figure 6-17. While the HarborPark Master Plan envisions this site for development, the current grass lawn has been used as an area for various outdoor events.

8. Page 109, "Figure 6-17: Conceptual Plan for City Center Open Space" is amended to read "Figure 6-17: Conceptual Plan Alternative for City Center Open Space." and "Figure 6-18: Conceptual Plan Alternative for City Center Open Space" is amended to read "Figure 6-18: Recommended Conceptual Plan for City Center Open Space."
9. Page 111, "Figure 6-23: Potential Indoor Market locations marked with blue star" is amended to remove the representation of a park/open space on HarborPark Parcel A and replace it with the representation shown in the amended "Figure 6-13 (bottom): Recommended Conceptual Plan for City Hall Redevelopment Site" found on page 107.

BE IT FURTHER RESOLVED, that the City Plan Commission for the City of Kenosha, Wisconsin, does hereby recommend that the Common Council enact a Zoning Ordinance adopting the Comprehensive Plan Amendment.

Adopted this _____ day of _____, 2014

ATTEST:

Jeffrey B. Labahn, Secretary of City Plan Commission

APPROVE:

Mayor Keith Bosman, Chairman of City Plan Commission

DRAFTED BY: Community Development & Inspections

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SECTION 6: THE PLAN

The Kenosha Strategic Development Plan envisions a more vibrant and active Downtown Core, supported by increased density on adjacent, currently underdeveloped sites within the greater Downtown area.

STRATEGIC DEVELOPMENT

The planning and community outreach process began by determining the overall Downtown study area. As discussed previously, this area was defined through a community survey. This area, which represents approximately 575 acres, was analyzed for land use, zoning and general physical conditions. Throughout the process, it became apparent that to achieve a “Strategic Development” plan that was realistic and achievable, the focus of the plan would need to be condensed.

The development of this more focused area was reached through the analysis of several factors including:

- Key Downtown Roadways
 - 52nd Street
 - 6th Avenue
 - 8th Avenue
 - Sheridan Road
 - 54th Street
 - 56th Street
 - 63rd Street
- Existing clusters of retail/restaurant uses
- Existing streetcar route
- Potential streetcar expansion
- Civic uses and Civic Center cluster
- Vacant or underdeveloped properties

Through this analysis, a more focused core of 165 acres was developed, and later identified as the “Secondary Downtown Investment Zone”. Within this core, two zones, shown in Figure 6-1, have been identified as priority areas of redevelopment. These “Primary Downtown Investment Zones” encompass roughly 35 acres.

While these two priority zones represent where the higher priority projects should occur within the next several years, the overall plan presented in Figure 6-2 does show concepts for properties and projects throughout the greater Downtown.

These concepts and ideas indicate conceptual development densities, site plans, landscape/streetscape design and parking layouts. Actual building locations, heights, and densities as well as site designs will vary as property owners, businesses and developers generate more specific site plans.

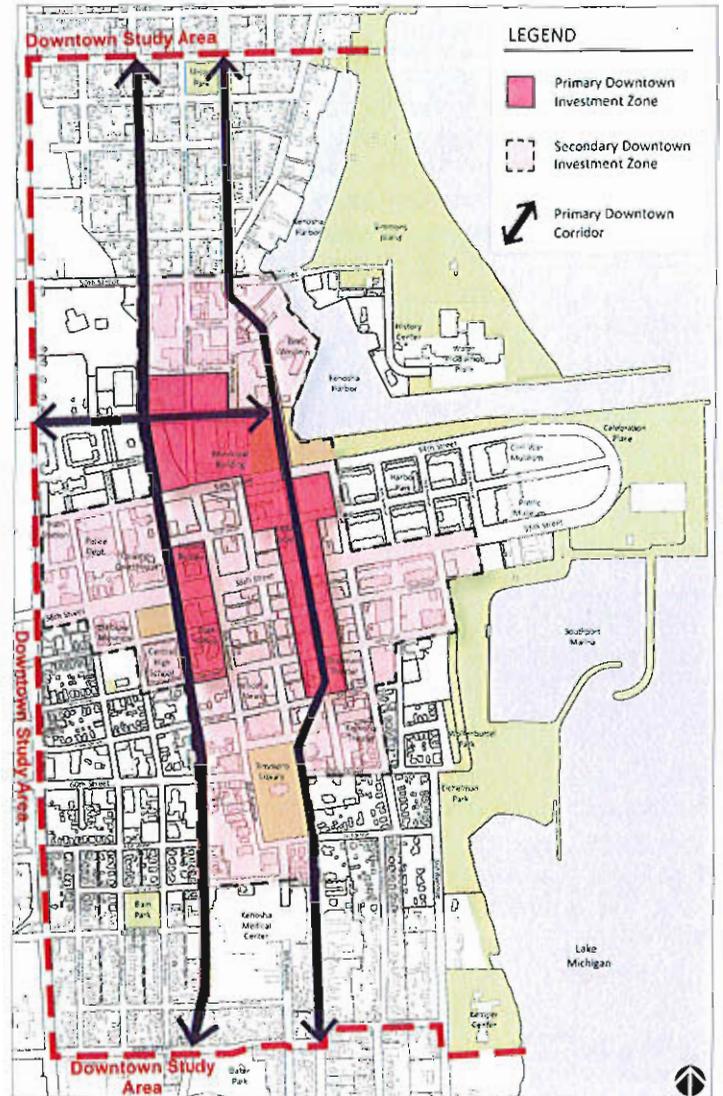
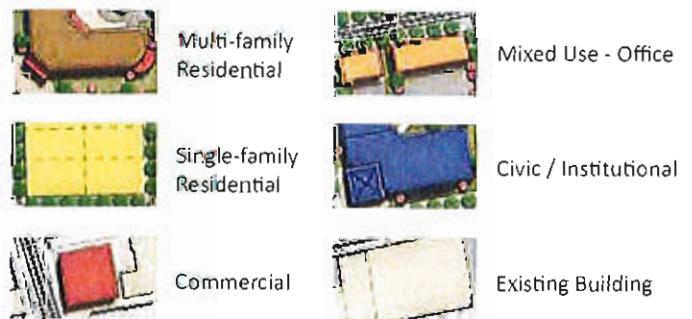
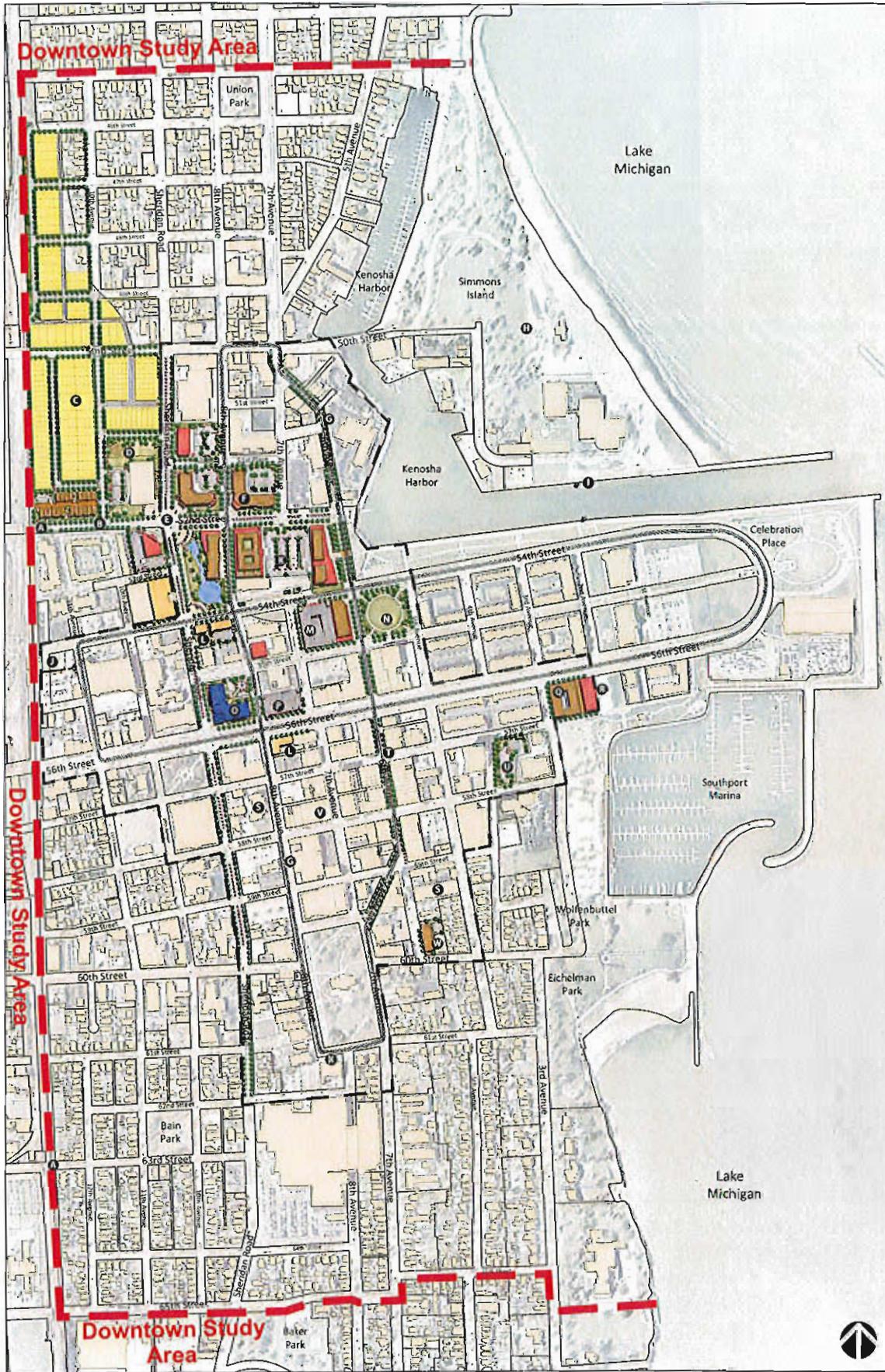


Figure 6-1: Downtown Investment Priority Map with Primary Corridors

PLAN LEGEND





NOTES

- Secondary Downtown Investment Zone
- A** Enhanced viaduct and arrival gateway
- B** Attached residential/ rowhomes
- C** Infill, small lot single-family residential
- D** Neighborhood Pocket Park
- E** Gateway Corner Development
- F** Mid-rise, mixed-use building - commercial/ residential
- G** New north-south streetcar loop
- H** Simmons Island Master Plan enhancements
- I** Harbor shuttle docks
- J** Enhanced/covered, bus/ street car transfer hub
- K** Mixed-use development of City Hall site - retail, residential and office (10-story maximum)
- L** Commercial infill of vacant properties
- M** Mid-rise (5 to 8 story) mixed-use development - retail, and residential/office with structured parking
- N** City Center park
- O** New City Hall
- P** Shared public parking deck
- Q** 3-story loft units
- R** Retail/indoor market
- S** Adaptive use of Elk's Club and Kenosha Theater
- T** Enhanced Downtown streetscapes
- U** Shared public parking lots
- V** Rehabilitation and adaptive use of historic buildings
- W** Infill residential
- X** Hospital access point to new street car line

Figure 6-2. Downtown Strategic Development Plan

SECTION 6: THE PLAN

STRATEGIC DEVELOPMENT CONCEPTS

A. Enhanced Viaduct and Arrival Gateways

The entrances to the Downtown at 52nd and 63rd Streets are shown with enhanced landscape and gateway signage, with 52nd Street as the primary entrance. These, and potentially other, key gateways should help announce the arrival into the Downtown. The improvements should build off of recommendations from the currently underway Wayfinding and Signage study.

B. C. D. New Downtown Residential Neighborhood

The vacant and underdeveloped sites north of 52nd Street, between Sheridan Road and the railroad embankment, are an opportunity for increased residential infill overtime. While there are several opportunities for apartment or condominium living within the Downtown, there may be a demand in the future for other types of residential housing, such as the small lot neighborhood depicted in the plan. The Strategic Development Plan shows 111 single-family homes (B) organized around the existing grid roadway system. Twenty rowhomes (C) are shown along the 52nd frontage as a balance to the development on the south side of the road. A small park with a tor-lot and parking (D) is envisioned as supporting element to the infill residential neighborhood.

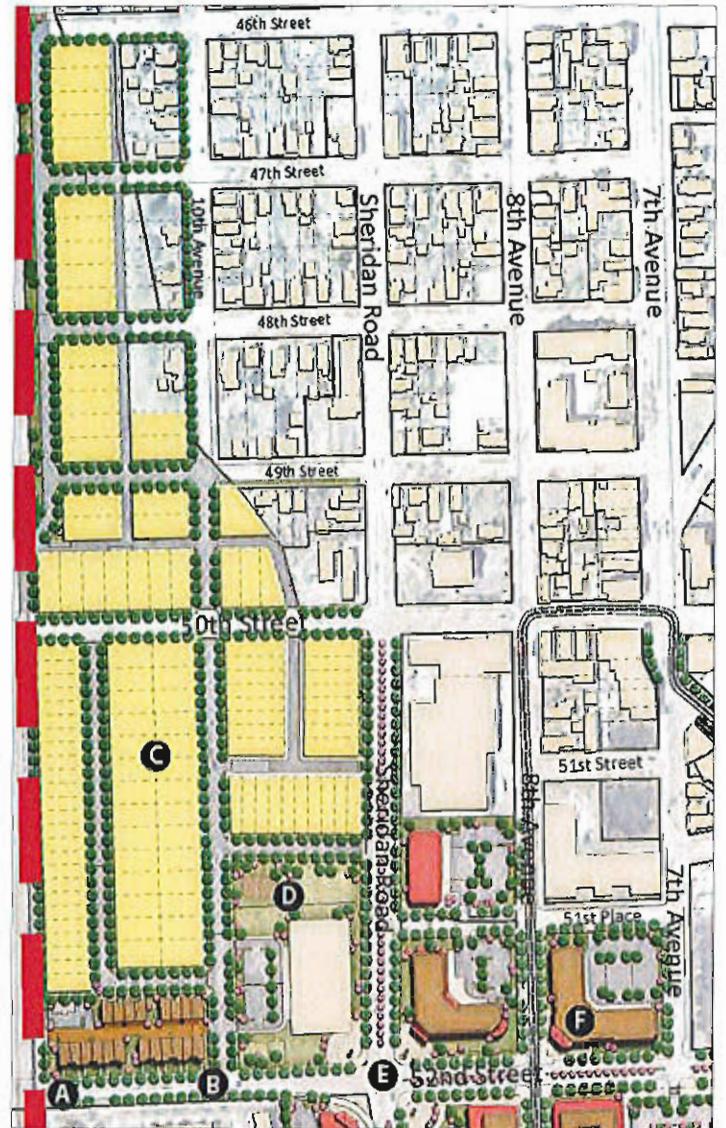


Fig. 6-4: Strategic Development Concepts A - D

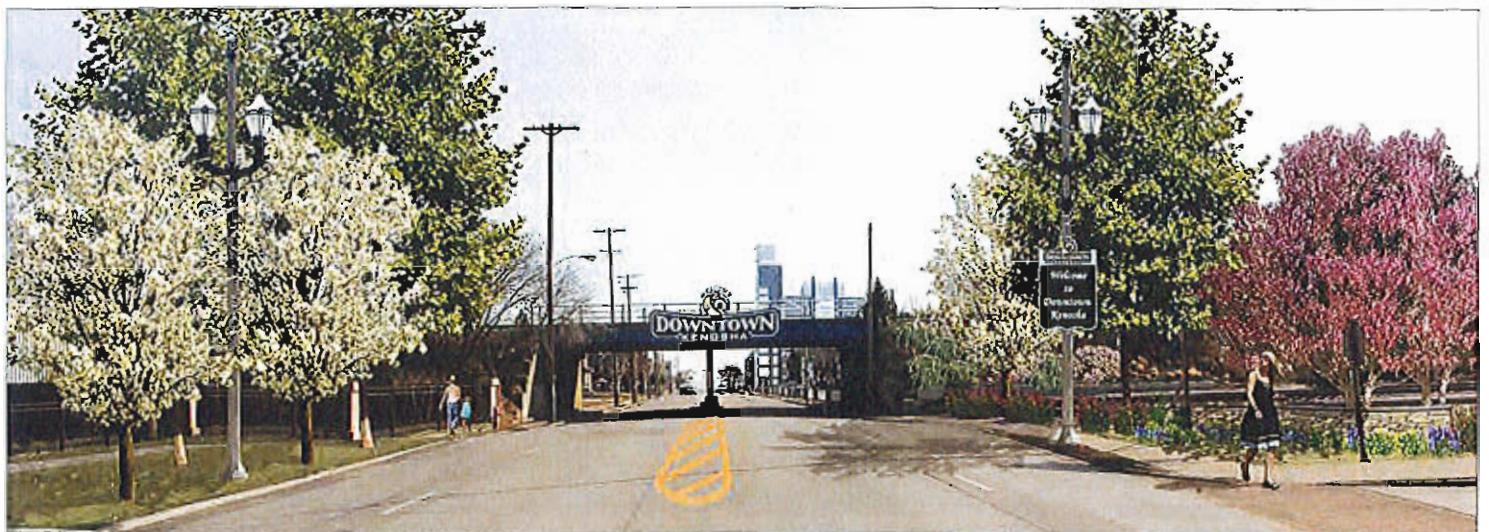


Fig. 6-3: Envisioned Concept Rendering of the 52nd St. Approach to Downtown - looking East.

E. Gateway Corner Development

The intersection of 52nd St. and Sheridan Rd. is one of the major intersections within the Downtown. Overtime, buildings with gateway/significant architecture should be encouraged to help establish the character of the Downtown. Redevelopment of these sites should allow adequate room for generous sidewalks, corner landscaping and preservation of views to the harbor. While some of these sites are currently occupied, it is envisioned that as momentum builds throughout the Downtown, these properties may redevelop.

- On the northwest corner of the intersection, the existing warehouse building has a unique character. The plan recommends preserving the building and incorporating a use that is consistent with either the residential neighborhood to the northwest or the mixed-use retail/residential character of the intersection.
- The plan shows a mid-rise, mixed-use building of residential and retail on the northeast corner. The concept envisions this as a 5-story building with 10,000 square feet of commercial and 48 residential units. Stand-alone retail uses holding the Sheridan Road frontage may infill over time to the north.
- At the southeast corner, the plan shows another mid-rise, mixed-use building including residential and retail uses. Due to the environmental characteristics of this corner, it may be an appropriate place to incorporate stormwater and environmental management features.
- The plan envisions a retail development addressing the street frontage at the southwest corner of the intersection. South of this building, between 53rd and 54th Streets, the plan shows an office use between Sheridan Road and the existing parking deck.

F. Mid-rise. Mixed-use building - Commercial/Residential

Similar to the previous site, this vacant site has the opportunity to strengthen the character of the 52nd Street corridor and the arrival sequence into the Downtown. Redevelopment of this site also can support the Downtown through increased residential density and support commercial uses. The plan shows a 5-story mixed-use building with 12,000 square feet of commercial and 64 residential units.

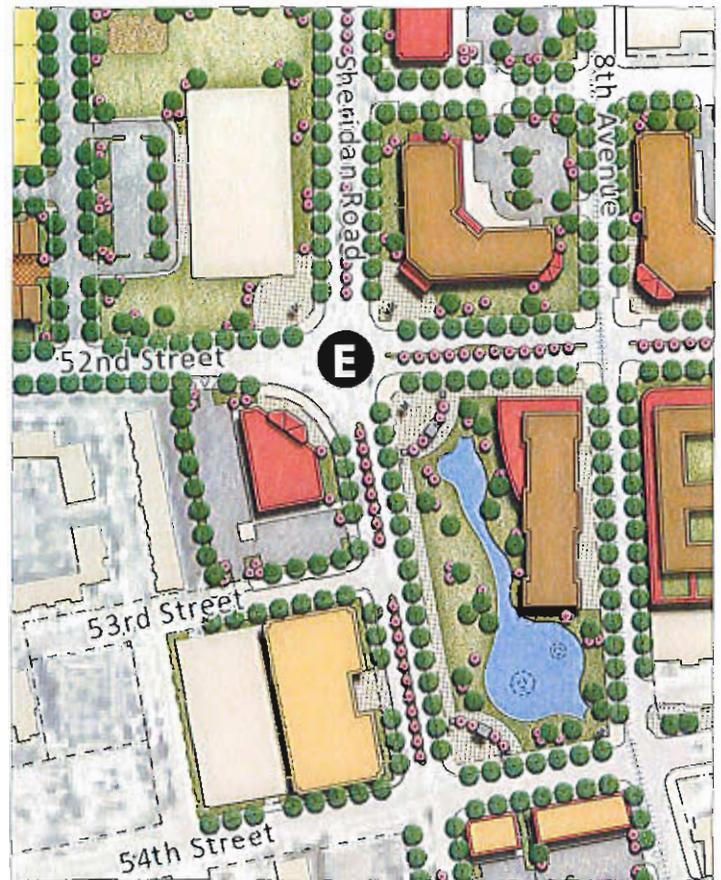


Fig. 6-5: Strategic Development Concept E

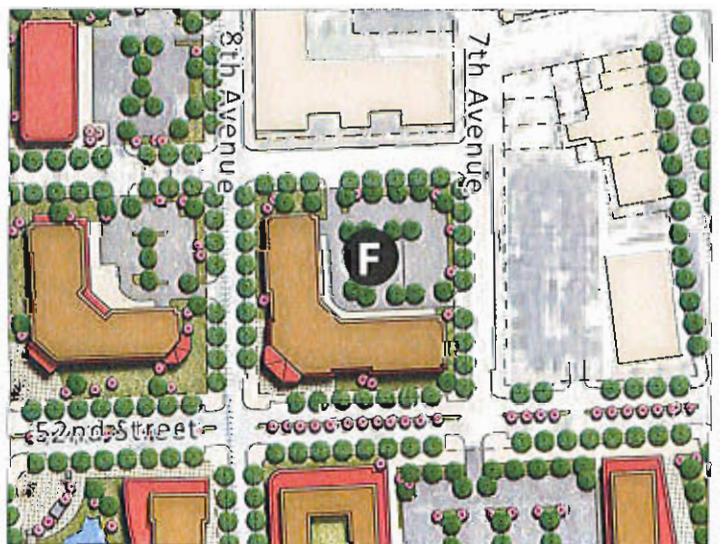


Fig. 6-6: Strategic Development Concept F

SECTION 6: THE PLAN

G. New North-South Streetcar Loop

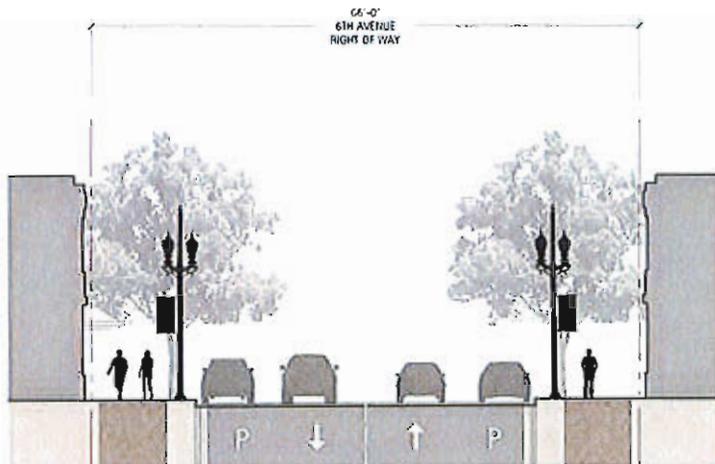
The plan envisions a new north/south loop of the streetcar network (see Figure 6-9). This circuit would run in a shared lane, similar to portions of the existing loop, such as 11th Avenue and parts of 54th Street. The plan shows the streetcar traveling northbound on 6th Avenue, west at 50th Street, south on 8th Avenue, around Library Park by traveling east on 61st Street and north on 7th Avenue, and then reconnecting with 6th Avenue at the north end of Library Park.

The goal is that the north/south loop would connect additional businesses, the Kenosha Medical Center, and adjacent residential neighborhoods into the transit network. The final routing would require additional study and evaluation to determine the best route.



Fig. 6-8: Eye-level Sketch of Envisioned 6th Avenue Streetcar Line - view from 56th Street looking south down 6th Avenue

Existing



Proposed

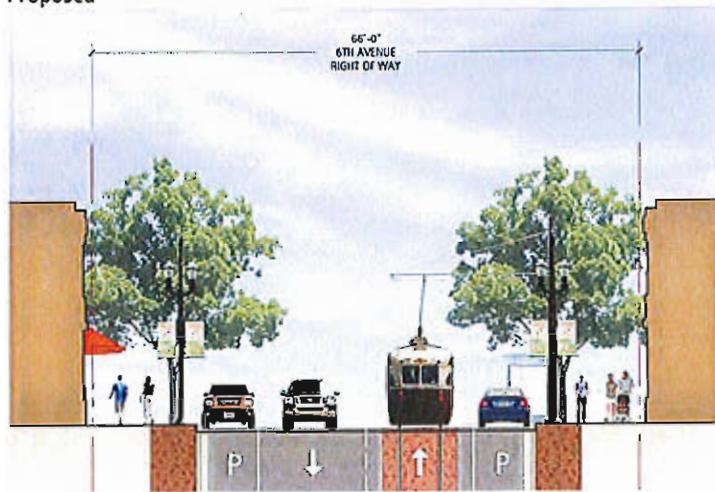


Figure 6-7: Envisioned 6th Avenue Streetscape, with Northbound shared travel lane

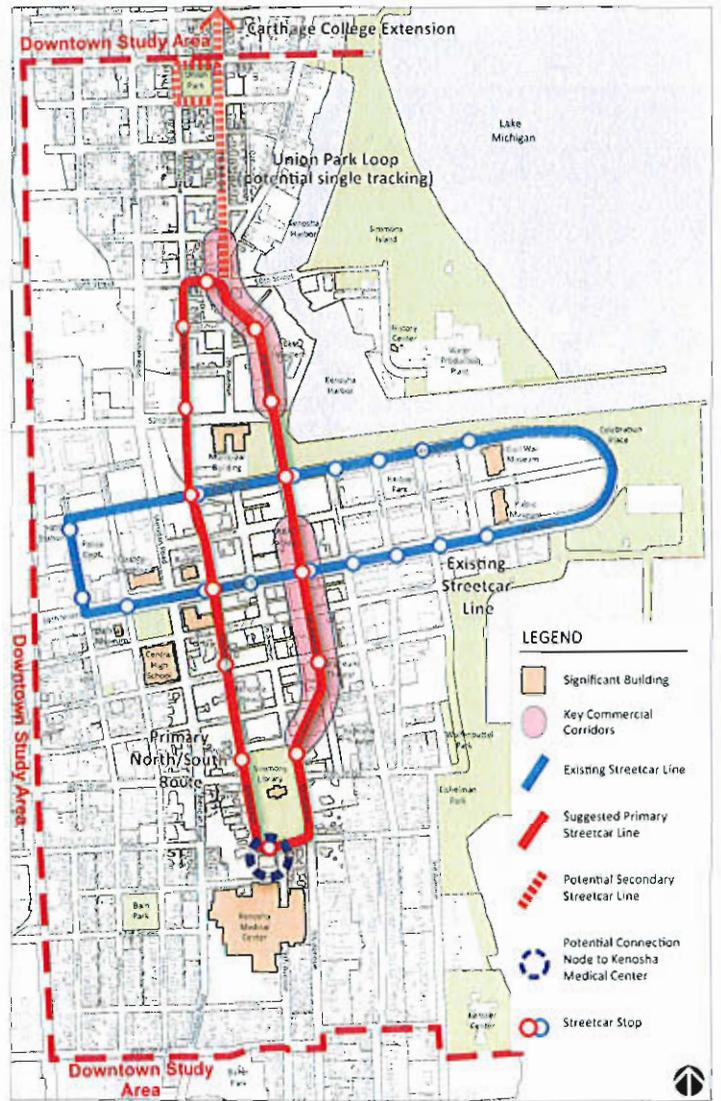


Figure 6-9: Envisioned Future Streetcar Network

H. Simmons Island Master Plan Improvements

The previously completed *Simmons Island Master Plan* should continue to be funded and phased in over time. The preservation and enhancement of this unique public open space is important to the character of the Downtown. Key items in the Master Plan, including improvements to the 50th Street bridge, will strengthen the relationship between Simmons Island and the Downtown, benefiting both areas.

I. Harbor Shuttle Docks

As a further strengthening of the connection between Simmons Island and the Downtown, the Plan suggests a harbor shuttle or harbor taxi as a means of moving people across the harbor. Currently, the travel distance from the Downtown to Simmons Island beach is over half a mile. A shuttle could help to encourage exploration of the island and increase activity. Additionally, the shuttle could serve Kenosha's North Harbor and Southport Marina providing additional means for visitors to experience more of the Downtown's amenities without being dependant on their cars.

J. Enhanced Transit Transfer Hub

Throughout the Plan, significant attention has been given to ways that the transit system can be enhanced. As redevelopment occurs, the demand for parking will increase, which is expensive and land intensive to address. Through appropriate transit systems and complete streets design, parking needs can be reduced.

One of the key opportunities is the Metra station. This is a unique feature to Downtown Kenosha, which provides connections to the City of Chicago as well as the northern suburbs of Chicago. Collaborations with Metra should be explored in the future to see how additional service times could be implemented to support Downtown festivals. Enhancements to the existing building should be studied further, including bathrooms within the facility, and the addition of a cafe, which is currently seeking funding to move forward.

Additional enhancements could help link the Metra to the City's transit network. Currently the hub of the bus system's pulse network is at the northeast corner of 54th Street and 8th Avenue, over three blocks away from the Metra station. The plan envisions that in the long term, the bus transit center could be relocated to 11th Avenue with covered walkway connecting to the Metra station, creating a transfer hub between the bus, the streetcar and Metra trains.

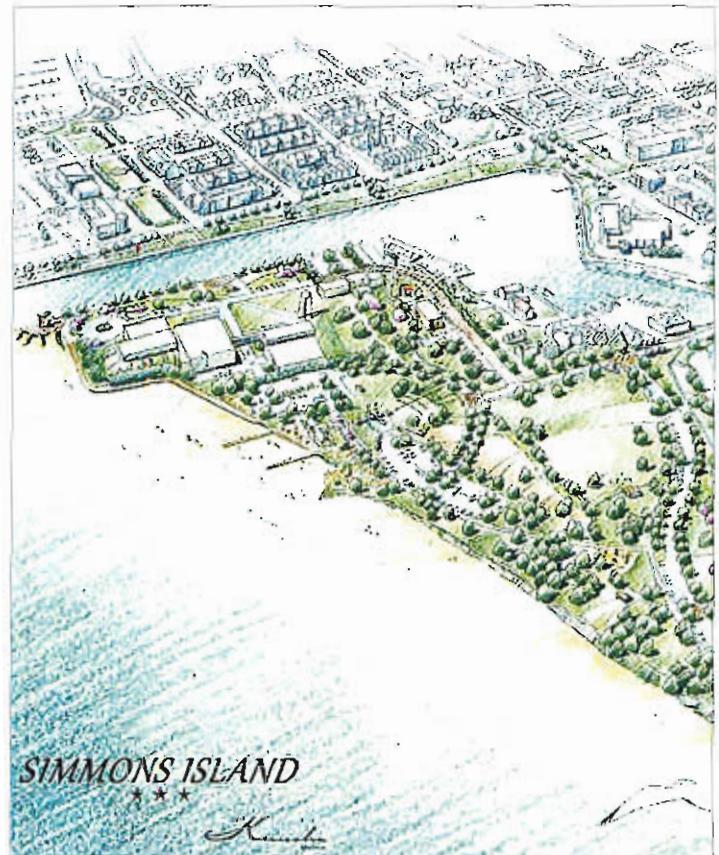


Fig. 6-10: Birds Eye Concept Rendering of Simmons Island - provided by SAA Design Group



A new covered bus stop in Kansas City, Missouri.

SECTION 6: THE PLAN

K. City Hall Redevelopment Site

City Hall is located on a key site for the future of the Downtown. While not the highest priority site, it is at the southwest corner of 52nd St. and 6th Ave. – a major intersection – and is directly across from the harbor offering spectacular views of the lake. Additionally, the existing municipal buildings, set far back from the 6th Avenue frontage, create a void in the commercial and pedestrian energy that is present both to the north and south on 6th Avenue.

There are many potential uses that could occupy the site, but the critical elements include the following:

- Retail frontage along 6th Avenue
- Gateway architecture with the potential for significant height relative to other locations within the Downtown
- Upper floor residential or office uses to create increased density within Downtown to support other desired uses.
- Integration with existing and future transit, including the existing transit bus on 54th and potential street car lines on 6th and 8th Avenues.
- Potential for integration with local institutions, such as student housing for local colleges and a welcome center for the Kenosha Area Convention and Visitors Bureau.
- Stormwater and environmental management features.

These elements can be accomplished in a variety of ways, as the alternate concept for this site shows (see Figure 6-13, at the bottom of the facing page). In this scheme, the City Hall is shown relocated adjacent to the Police Station parking deck, with frontage on Sheridan Road. The Harbor walk open space is shown continuing through the site with the relocated City Hall as the terminus to this space. The mixed-use buildings along 52nd are supported by a new loop drive that connects 7th and 8th Avenues internally within the development. The existing streetcar maintenance building is shown to remain. It could continue to serve its current purpose, or it could function as more of a museum/display space for the streetcars when they are not in use, or as a home to the indoor market.

Both concepts would clearly impact the existing Veteran's Memorial. This element would need to be sensitively and appropriately relocated into a new or existing open space within the Downtown.

The total for the City Hall site, including the adjacent property at the southeast corner of 52nd and Sheridan is shown in these concepts to have about 40,000 to 70,000 square feet of retail, and 300 to 380 units of residential.

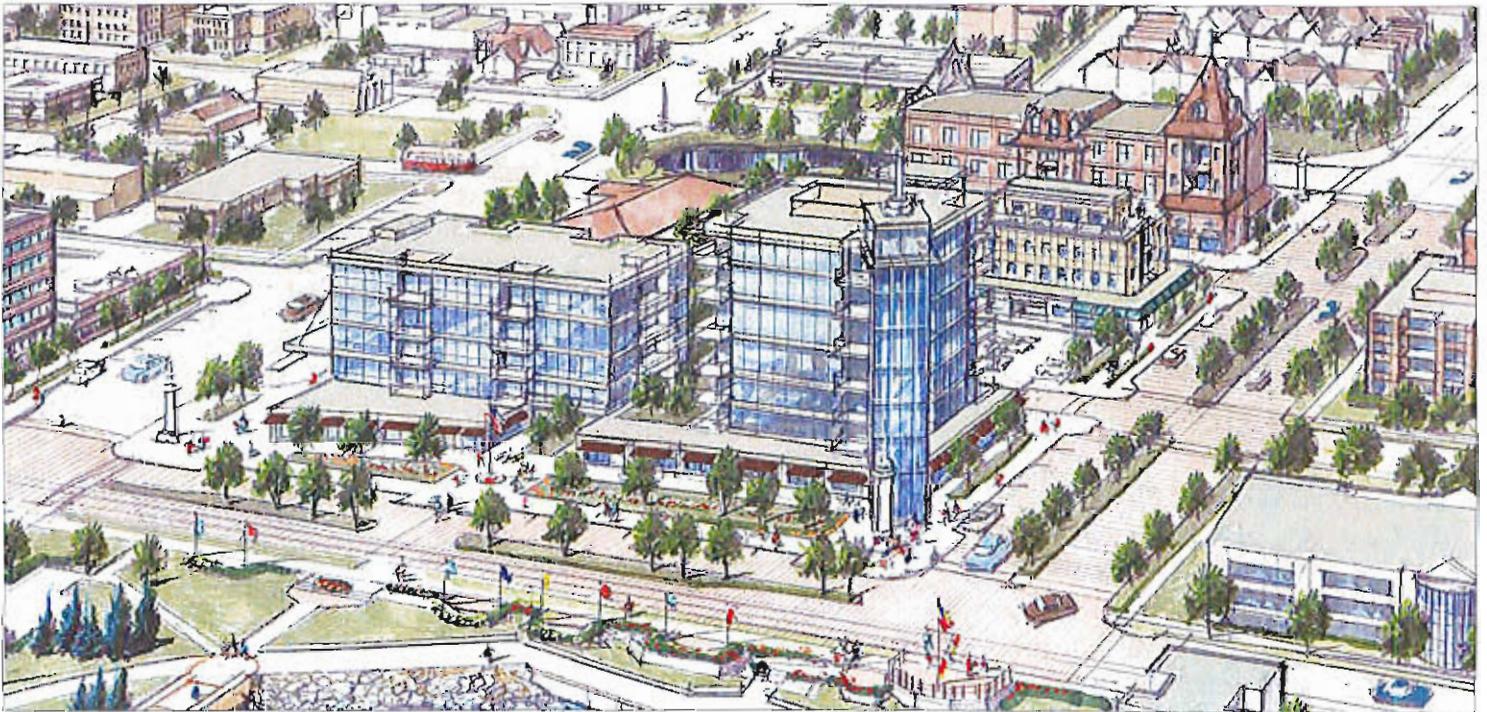


Fig. 6-11. Bird's Eye Rendering of Envisioned City Hall Redevelopment Site - viewed from Kenosha Harbor looking west



Fig. 6-12 (top): Conceptual Plan for City Hall Redevelopment Site. Fig. 6-13 (bottom): Conceptual Plan Alternative for City Hall Redevelopment Site.

L. Infill of Vacant/Underdeveloped Properties

Throughout the Plan, there are under-developed sites that could support commercial/office infill in the future. The two lots shown on the plan, the southwest corner of 54th Street and 8th Avenue and the southeast corner of 56th Street and 8th Avenue, would help maintain frontage and pedestrian character along key roadways that support the street car network. While these are not high priority sites, it is envisioned that as momentum builds in the Downtown, these sites would develop through market demand. One way that the City can positively influence this is to provide centralized shared parking. Many of these underdeveloped sites are surface parking lots. With shared parking facilities, these lots would be able to redevelop into other uses.

M. Mid-rise, Mixed-use Development

Another key catalytic site within the Downtown is located between 6th and 7th Avenues, and between 54th and 55th Streets. The site is primarily occupied by City owned parking lots. The other property owner, LaMacchia Travel Agency, is the sole tenant in their building. The site could be developed with or without the LaMacchia parcel. As part of a mixed-use building, the first floor should include retail frontage to span between the north and south commercial sections of 6th. Additionally, this site, with its proximity to the harbor, has the potential to be a more acceptable place for a taller building with either residential or office upper floors – with a maximum of ten stories total. The concept plan shows 12,000 square feet of retail and 100,000 square feet of office supported by 800 spaces of structured parking.

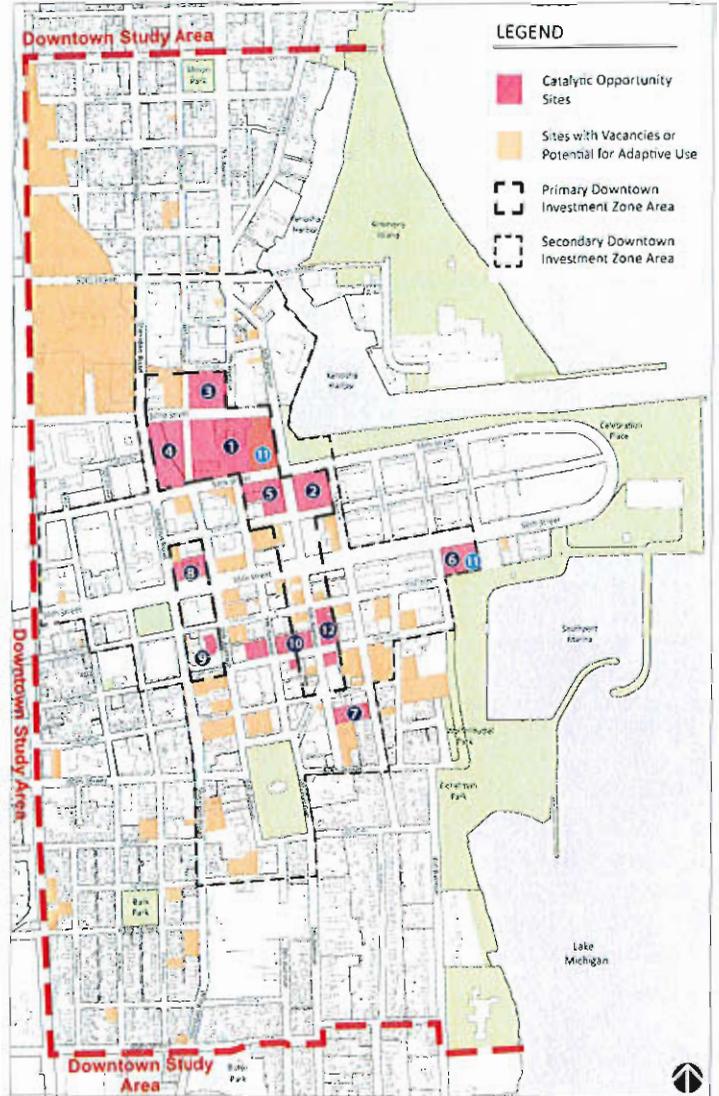


Figure 6-14: Redevelopment Opportunity Sites Map



Fig. 6-15: Strategic Development Concepts L & M

N. City Center Open Space

Throughout the process the concept of a central civic open space has been discussed as a unifying element that serves as the “heart” of the City. Much like several other key elements, this use could be located in one of several locations. The Plan shows it located on the vacant HarborPark Parcel A (Figure 6-17). While the HarborPark Master Plan envisions this site for development, the current grass lawn has been used as overflow space for crowds listening to music at the Peanut Butter N’ Jams events. The proximity to the back of the Rhode Theater, with its large blank wall, offers opportunities for movies in the park. Also, the general size, central location and proximity to the harbor make it a potential candidate for a City Center park. A range of uses could be accommodated within the site, including the outdoor component of the Harbor Market, a small playground for children, winter uses such as an ice-skating rink, a relocated Veteran’s Memorial and festival components.

Again, these elements could be incorporated into other locations, as the alternate concept shows (Figure 6-18). In this scheme, the central open space is the extension of the harbor walk on the west side of 6th Avenue. The challenge in either of these schemes is to design the park appropriately so that it creates pedestrian interest and does not increase the divide between the north and south portions of 6th.

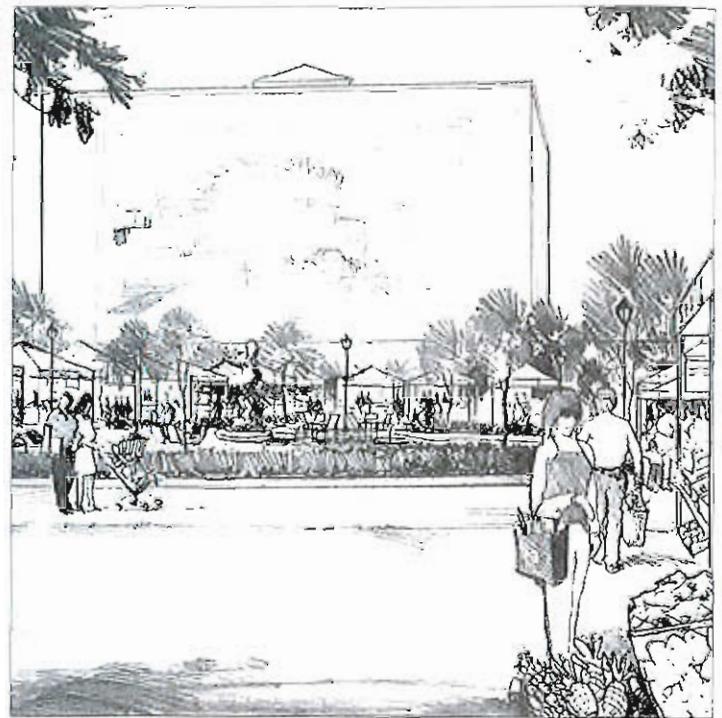


Fig. 6-16. Eye-level Sketch of Envisioned City Center Open Space - view looking south with Rhode Theater in the background

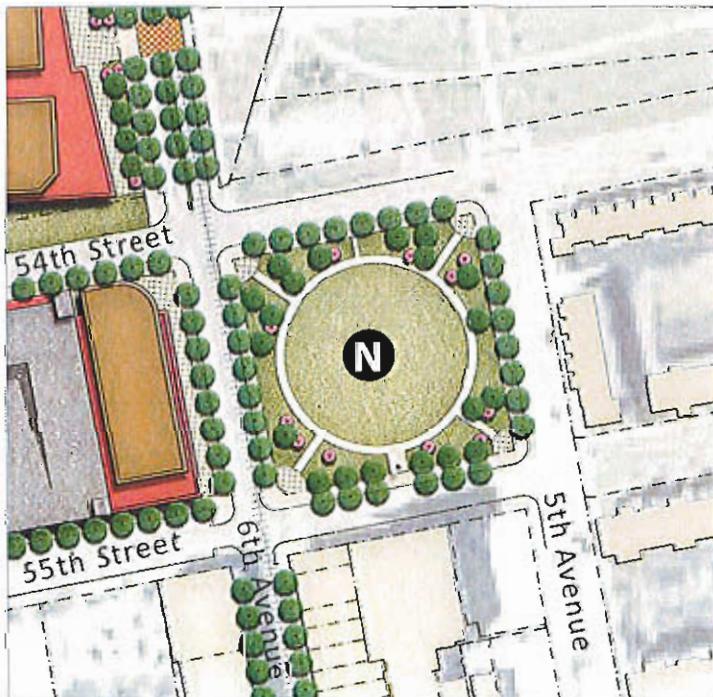


Fig. 6-17. Conceptual Plan for City Center Open Space

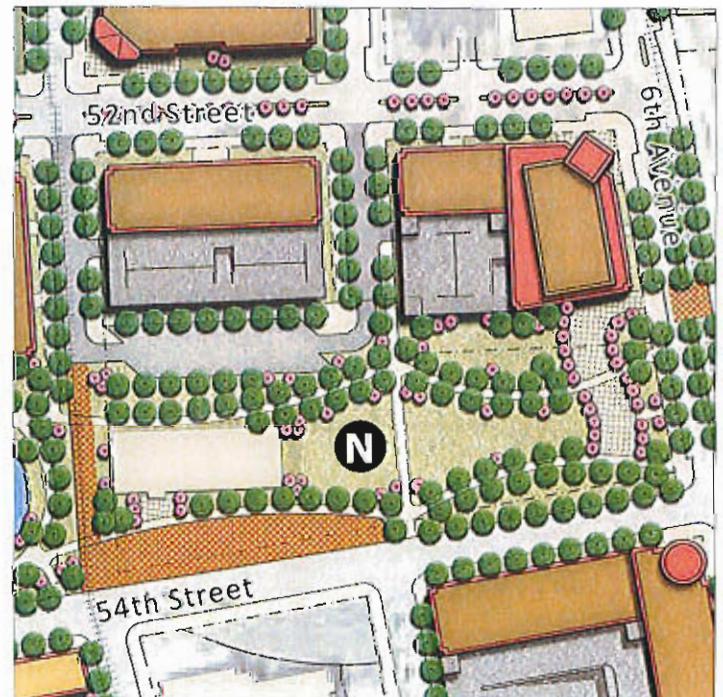


Fig. 6-18. Conceptual Plan Alternative for City Center Open Space

SECTION 6: THE PLAN

O. New City Hall

The plan accommodates for the relocation of City Hall to the block between Sheridan Road and 8th Avenue, and 55th and 56th Streets (see Figure 6-20 below). This location currently houses the Kenosha Area Convention and Visitors Bureau in an outdated building that was the former police station. The building occupies a site within the Civic Center, diagonally across from the Park. It has a prominent location on Sheridan Road and 56th Street, but also offers access to 8th Avenue, which could be the location of a future streetcar line. The concept shows a four story building with approximately 100,000 to 120,000 square feet to house municipal uses.

Similar to other key uses, there are several possible sites for the City Hall if it were to be relocated. The alternate concept shows the use with frontage along the west side of Sheridan Road between 53rd and 54th streets (Figure 6-21). City Hall is a large employer that attracts many visitors, so if it is relocated, it should remain centrally located within the Downtown as an activity generator.

P. Shared Public Parking Deck

The concept plan envisions a shared public parking deck adjacent to a new City Hall site, along 56th Street between 7th and 8th Avenues. This site would provide parking to support the City Hall, while also providing additional parking to support Downtown uses. As discussed previously, a central parking deck that supports a range of land uses is more efficient than smaller surface lots that support one use, and it frees up space for future development. The design of the deck should incorporate liner retail or an active 1st floor use to maintain a pedestrian friendly character along 56th Street.

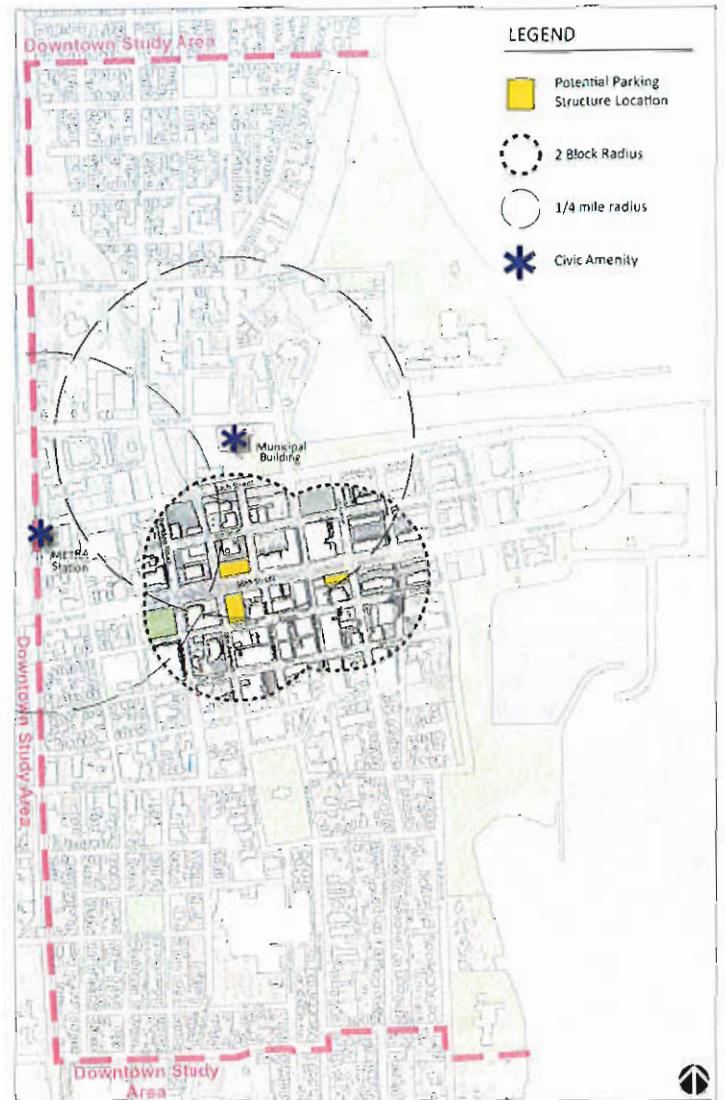


Figure 6-19: Potential Public Parking Deck Location Map



Fig. 6-20: Strategic Development Concepts O & P



Fig. 6-21: Strategic Development Concept O Alternative

Q. Harbor Park Parcel 'J' Loft Units

Harbor Park's Parcel J is another site that has remained vacant. While not a high priority development site, it may develop in the future once there is momentum in the Downtown. The concept plan shows a three-story loft residential building of 54 units to provide an alternate residential product type to the apartments, condominiums and rowhomes found in the Downtown.

R. Indoor Market

Parcel J can also support additional uses on the east edge of the site. This location fronts on the plaza that is the extension of 2nd Avenue. This is a challenging site for any non-residential use, as the distance of four blocks from the Downtown Core discourages walking and exploration. However, one potential use is to house a future indoor market. As the Harbor Market already operates along 2nd Avenue, this location would be a logical site based on existing patterns. The concept shows a 15,000 square foot space that could serve as retail, restaurant or house the indoor market.

An indoor market was heavily supported throughout the public process and should be incorporated into the future of the Downtown. While the Harbor Market currently operates along 2nd Avenue, there are potential synergies associated with locating the Indoor Market, and potentially a relocated Harbor Market, closer to the 6th Avenue corridor (Figure 6-23, below).

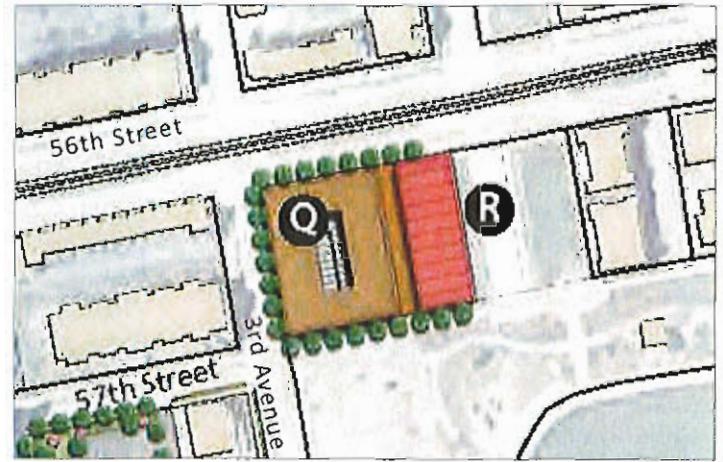


Fig. 6-22: Strategic Development Concepts Q & R



Eastern Market in Washington D.C.

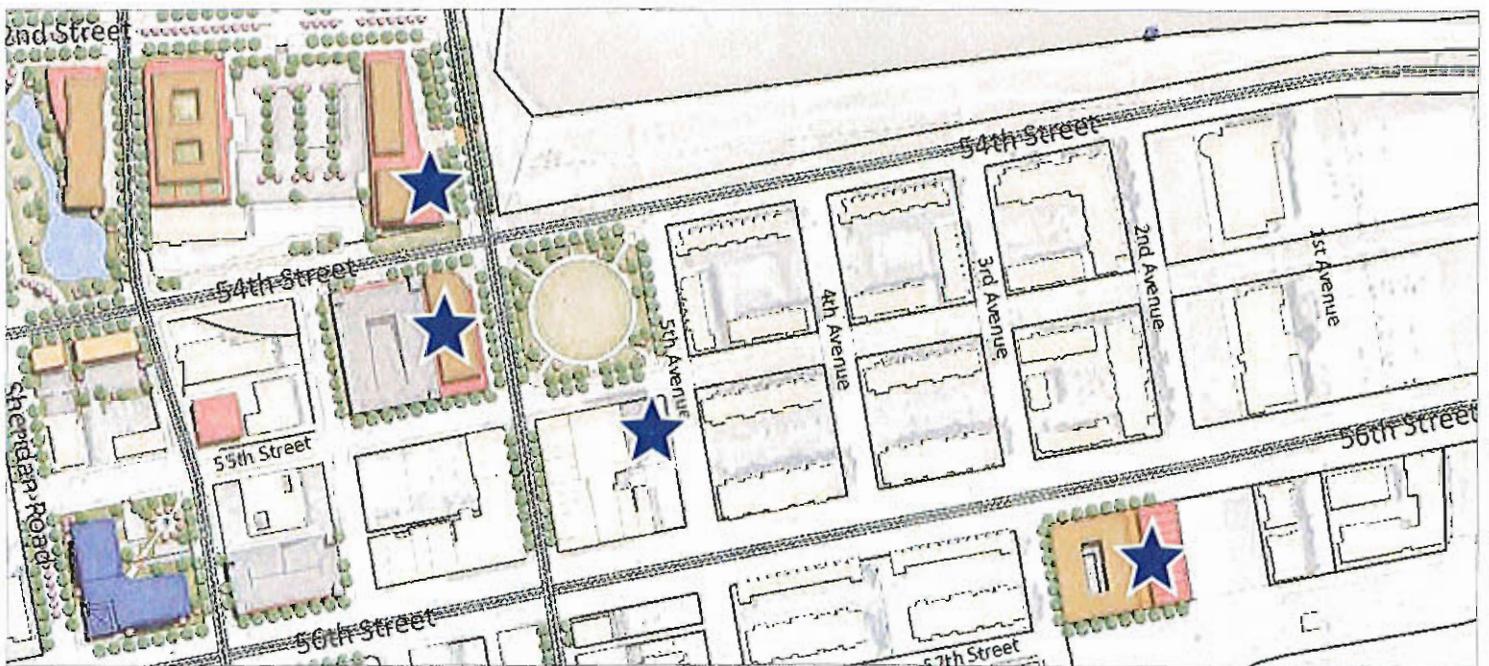
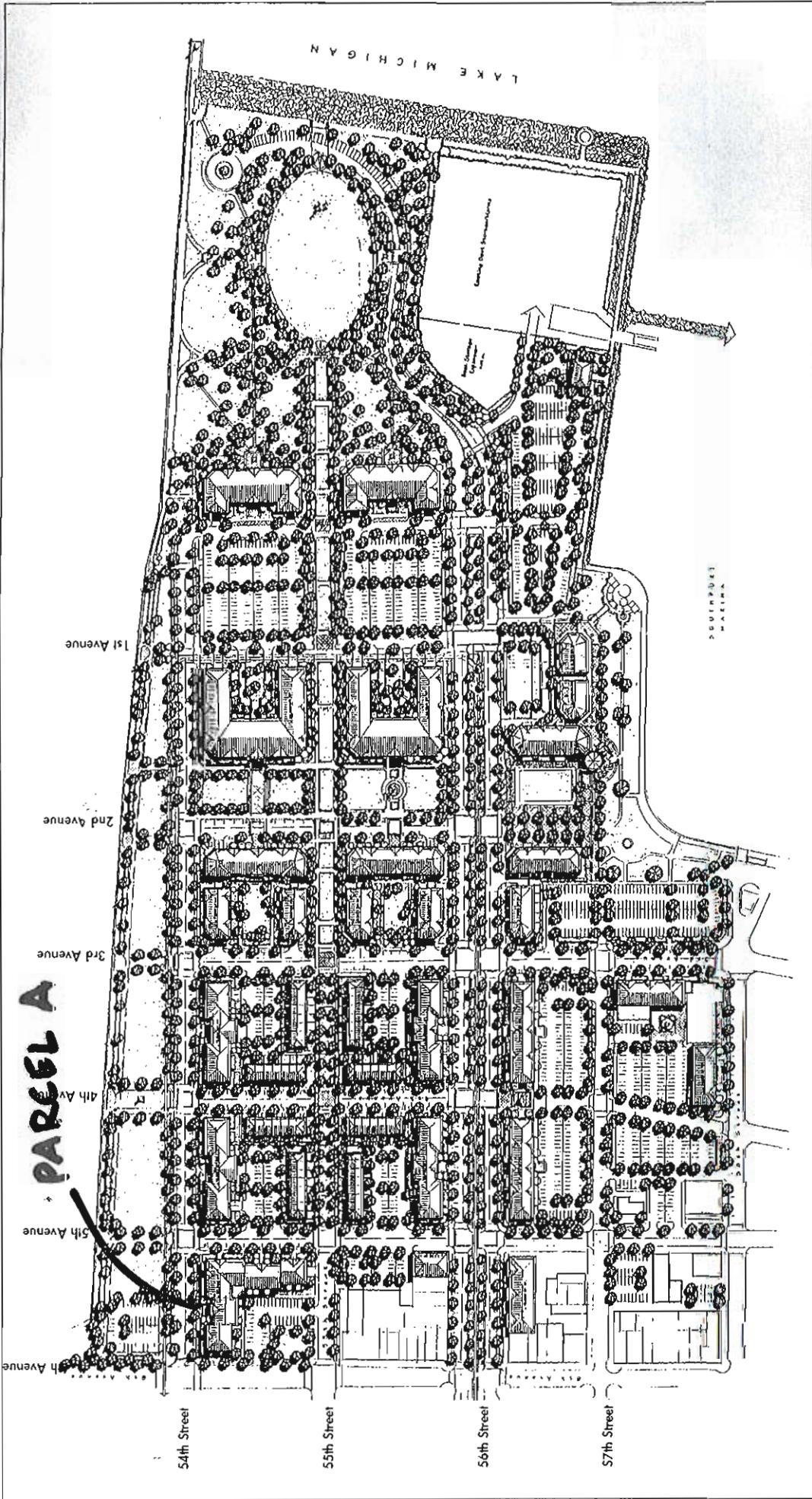


Fig. 6-23: Potential Indoor Market locations marked with blue star



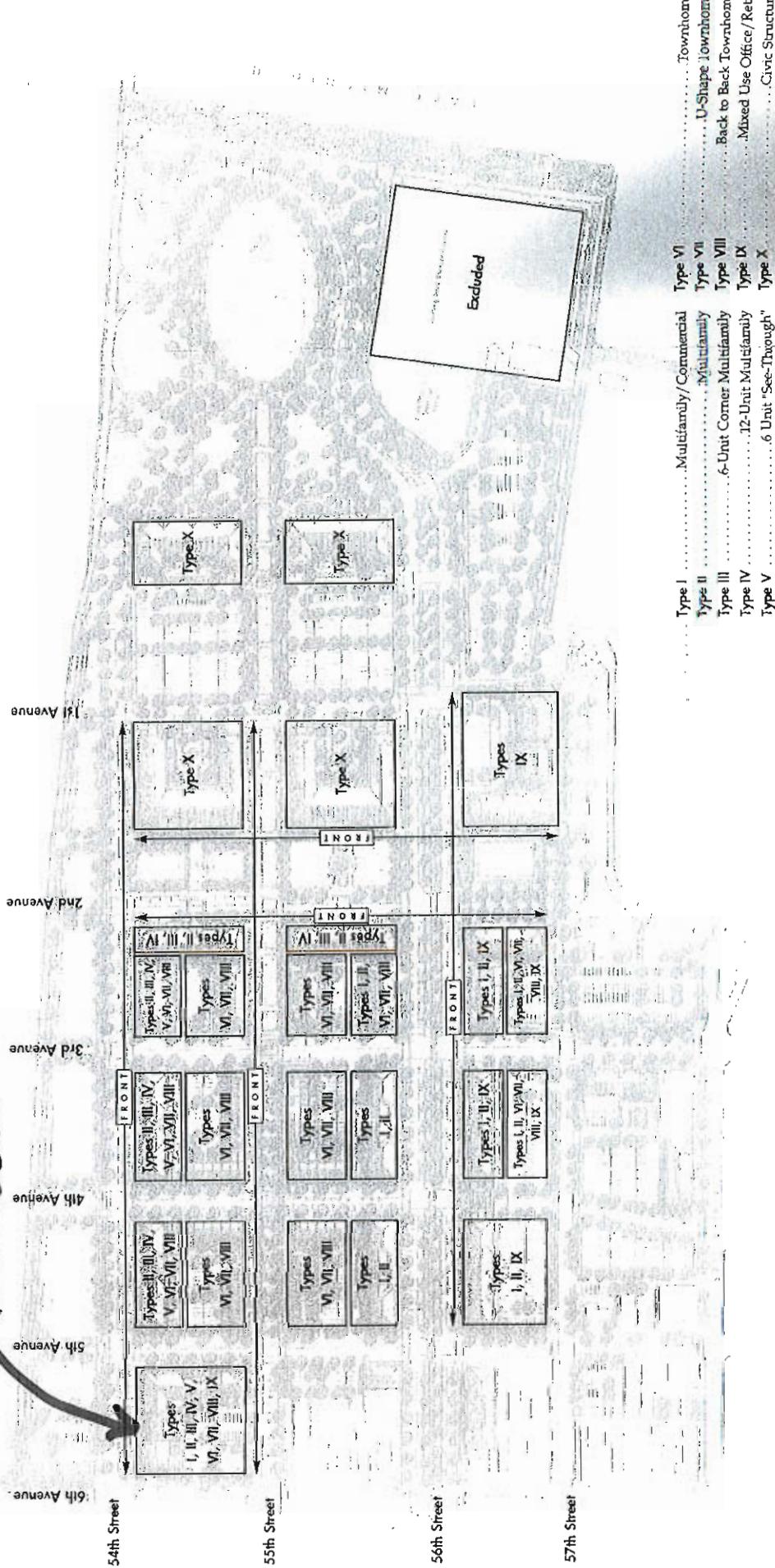
HARBOR PARK

HARBORPARK MASTER PLAN

Earlier version created by IDR

HARBORPARK
NEIGHBORHOOD
CODE

PARCEL A



- Type I Multifamily/Commercial
- Type II Multifamily
- Type III 6-Unit Corner Multifamily
- Type IV 12-Unit Multifamily
- Type V 6 Unit "See-Through"
- Type VI Townhomes
- Type VII U-Shape Townhomes
- Type VIII Back to Back Townhomes
- Type IX Mixed Use Office/Retail
- Type X Civic Structures

HarborPark

DEVELOPMENT PLAN

HARBOR PARK NEIGHBORHOOD CODE

Planning & Zoning Division 625 52nd Street - Room 308 Kenosha, WI 53140 262.653.4030	Kenosha City Plan Commission FACT SHEET	October 23, 2014	Item 12
By the City Plan Commission - To Create Subsection 18.02 II. of the Zoning Ordinance to Amend the City of Kenosha Downtown Strategic Development Plan dated August 2012 and as referenced in the Comprehensive Plan for the City of Kenosha: 2035. (District #2) PUBLIC HEARING			

LOCATION/SURROUNDINGS:

Site: Kenosha Downtown

NOTIFICATIONS/PROCEDURES:

The alderperson of the district, Alderperson Jenkins, has been notified. The Common Council is the final review authority.

ANALYSIS:

- The Common Council adopted *A Comprehensive Plan for the City of Kenosha: 2035* on April 19, 2010.
- Wisconsin Statutes require the Common Council to adopt an Ordinance for Amendments to the Comprehensive Plan.
- The attached Zoning Ordinance references a Common Council Resolution that would amend the *Kenosha Downtown Strategic Development Plan*.

RECOMMENDATION:

A recommendation is made to approve the proposed Zoning Ordinance.


 Brian R. Wilke, Development Coordinator


 Jeffrey B. Labahr, Director

ORDINANCE NO. _____

SPONSOR: CITY PLAN COMMISSION

TO CREATE SUBSECTION 18.02 II. OF THE ZONING ORDINANCE TO AMEND THE CITY OF KENOSHA DOWNTOWN STRATEGIC DEVELOPMENT PLAN DATED AUGUST 2012 AND AS REFERENCED IN THE COMPREHENSIVE PLAN FOR THE CITY OF KENOSHA: 2035

The Common Council of the City of Kenosha, Wisconsin, do ordain as follows:

Section One: Subsection 18.02 II. of the Zoning Ordinance for the City

of Kenosha, Wisconsin, is hereby created as follows:

18.02 The comprehensive plan adopted in subsection 18.01 is amended by the following:

II. By Common Council Resolution _____ on file with the City Clerk.

Section Two: This Ordinance shall become effective upon passage and

publication.

ATTEST: _____ City Clerk

APPROVED: _____ Mayor

Passed:

Published:

Drafted By:
JONATHAN A. MULLIGAN
Assistant City Attorney

CITY PLAN COMMISSION RESOLUTION # ____ - 14

By: City Plan Commission

To Amend Chapter 6 entitled Existing Plans & Ordinances for the *Comprehensive Plan for the City of Kenosha: 2035* by revising the *Kenosha Downtown Strategic Development Plan* dated August 2012

WHEREAS, the City of Kenosha, pursuant to Section 62.23 of the Wisconsin Statutes, has established the City Plan Commission; and

WHEREAS, the Common Council adopted a *Comprehensive Plan for the City of Kenosha: 2035* at their meeting on April 19, 2010, following extensive public participation; and

WHEREAS, the City of Kenosha Common Council adopted the *Kenosha Downtown Strategic Development Plan* dated August 2012 per Resolution 139-12; and

WHEREAS, the City has duly noticed and will hold a public hearing on the proposed Amendment, following the procedures in Section 66.1001(4)(d) of the Wisconsin Statutes.

NOW, THEREFORE BE IT RESOLVED, that pursuant to Section 66.1001(4)(b), the City Plan Commission for the City of Kenosha, Wisconsin, hereby approves the Amendment to Chapter 6 of a *Comprehensive Plan for the City of Kenosha: 2035* by amending the *Kenosha Downtown Strategic Development Plan* dated August 2012 as follows:

1. Page 101, "*Figure 6-2: Downtown Strategic Development Plan*", is amended by adding the words "with Park" to the end of letter "K" in the Notes.
2. Page 101, "*Figure 6-2: Downtown Strategic Development Plan*", is amended by changing letter "N" in the Notes from "City Center Park" to "Mixed-use development, ground-level retail and upper-level residential."
3. Page 101, "*Figure 6-2: Downtown Strategic Development Plan*", is amended to remove the representation of a park/open space on the block located between 54th and 55th Streets and 5th and 6th Avenues and replace it with the representation shown in *Figure 6-13 (bottom) "Conceptual Plan for City Hall Redevelopment Site"* found on page 107.
4. Page 106, "K. City Hall Redevelopment Site", is amended by changing the second paragraph of the Section to add an additional bullet point which reads: "Civic Park"
5. Page 106, "K. City Hall Redevelopment Site", is amended by changing the third paragraph of the Section to read: "These elements can be accomplished in a variety of ways, as shown on the following page. Figure 6-13 is the recommended conceptual plan for the City Hall Redevelopment Site. In this scheme, the City Hall is shown relocated adjacent to the Police Station parking deck, with frontage on Sheridan Road. The Harbor walk open space is shown continuing through the site with the relocated City Hall as the terminus of this space in a civic park. The mixed-use buildings along 52nd Street are supported by a new loop drive that connects 7th and 8th Avenues internally within the development. The existing streetcar maintenance building is shown to remain. It could continue to serve its current purpose, or it could function as more of a museum/display space for the streetcars when they are not in use, or as a home to the indoor market."

6. Page 107, "Figure 6-12 (top): Conceptual Plan for City Hall Redevelopment Site" is amended to read "Figure 6-12 (top): Conceptual Plan Alternative for City Hall Redevelopment Site" and "Figure 6-13 (bottom): Conceptual Plan Alternative for City Hall Redevelopment Site" is amended to read "Figure 6-13 (bottom): Recommended Conceptual Plan for City Hall Redevelopment Site".
7. Page 109, "N. City Center Open Space" is recreated to read: "Throughout the process the concept of a central civic open space has been discussed as a unifying element that serves as the "heart" of the City. Much like several other key elements, this use could be located in one of several locations. The recommended location is shown in Figure 6-18. In this scheme, the central open space is the extension of the harbor walk on the west side of 6th Avenue. The challenge in any scheme is to design the park appropriately so that it creates pedestrian interest and does not increase the divide between the north and south portions of 6th Avenue.

The alternate location is shown in Figure 6-17. While the HarborPark Master Plan envisions this site for development, the current grass lawn has been used as an area for various outdoor events.

8. Page 109, "Figure 6-17: Conceptual Plan for City Center Open Space" is amended to read "Figure 6-17: Conceptual Plan Alternative for City Center Open Space." and "Figure 6-18: Conceptual Plan Alternative for City Center Open Space" is amended to read "Figure 6-18: Recommended Conceptual Plan for City Center Open Space."
9. Page 111, "Figure 6-23: Potential Indoor Market locations marked with blue star" is amended to remove the representation of a park/open space on HarborPark Parcel A and replace it with the representation shown in the amended "Figure 6-13 (bottom): Recommended Conceptual Plan for City Hall Redevelopment Site" found on page 107.

BE IT FURTHER RESOLVED, that the City Plan Commission for the City of Kenosha, Wisconsin, does hereby recommend that the Common Council enact a Zoning Ordinance adopting the Comprehensive Plan Amendment.

Adopted this _____ day of _____, 2014

ATTEST:

 Jeffrey B. Labahn, Secretary of City Plan Commission

APPROVE:

 Mayor Keith Bosman, Chairman of City Plan Commission

DRAFTED BY: Community Development & Inspections

/u2/acct/cp/ckays/1CPC/2014/OCT23/11resol-cpc-dwntwn-ParcA.odt

SECTION 6: THE PLAN

The Kenosha Strategic Development Plan envisions a more vibrant and active Downtown Core, supported by increased density on adjacent, currently underdeveloped sites within the greater Downtown area.

STRATEGIC DEVELOPMENT

The planning and community outreach process began by determining the overall Downtown study area. As discussed previously, this area was defined through a community survey. This area, which represents approximately 575 acres, was analyzed for land use, zoning and general physical conditions. Throughout the process, it became apparent that to achieve a “Strategic Development” plan that was realistic and achievable, the focus of the plan would need to be condensed.

The development of this more focused area was reached through the analysis of several factors including:

- Key Downtown Roadways
 - 52nd Street
 - 6th Avenue
 - 8th Avenue
 - Sheridan Road
 - 54th Street
 - 56th Street
 - 63rd Street
- Existing clusters of retail/restaurant uses
- Existing streetcar route
- Potential streetcar expansion
- Civic uses and Civic Center cluster
- Vacant or underdeveloped properties

Through this analysis, a more focused core of 165 acres was developed, and later identified as the “Secondary Downtown Investment Zone”. Within this core, two zones, shown in Figure 6-1, have been identified as priority areas of redevelopment. These “Primary Downtown Investment Zones” encompass roughly 35 acres.

While these two priority zones represent where the higher priority projects should occur within the next several years, the overall plan presented in Figure 6-2 does show concepts for properties and projects throughout the greater Downtown.

These concepts and ideas indicate conceptual development densities, site plans, landscape/streetscape design and parking layouts. Actual building locations, heights, and densities as well as site designs will vary as property owners, businesses and developers generate more specific site plans.

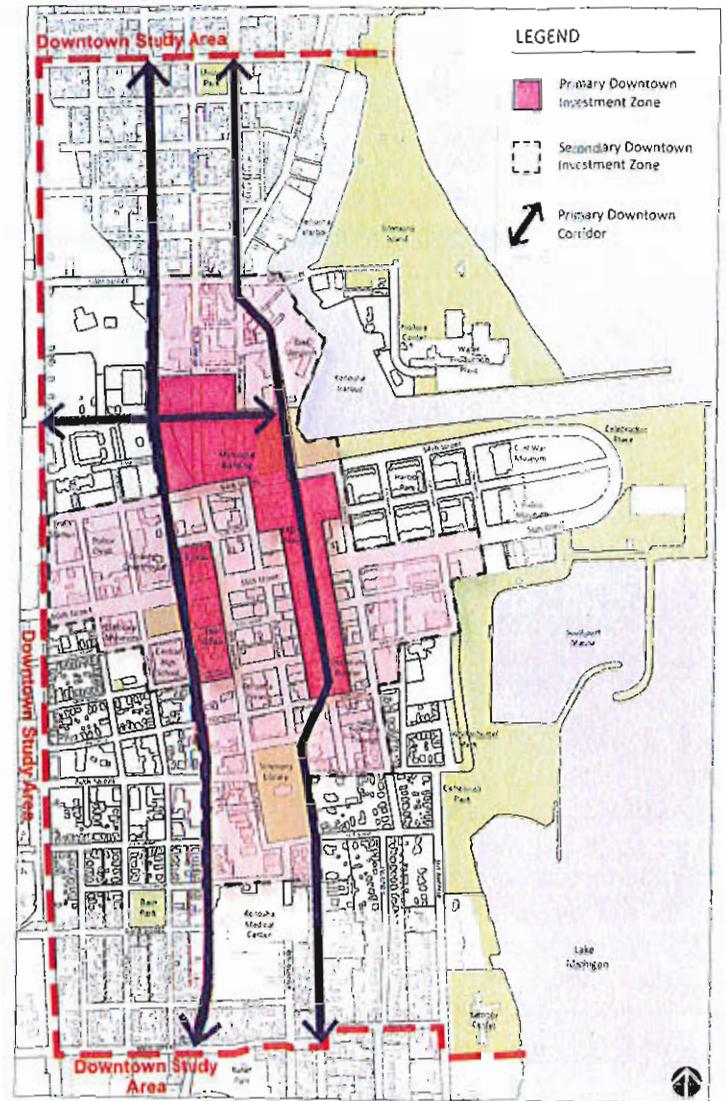
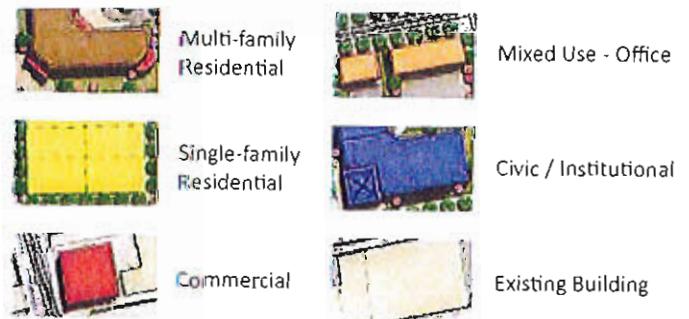
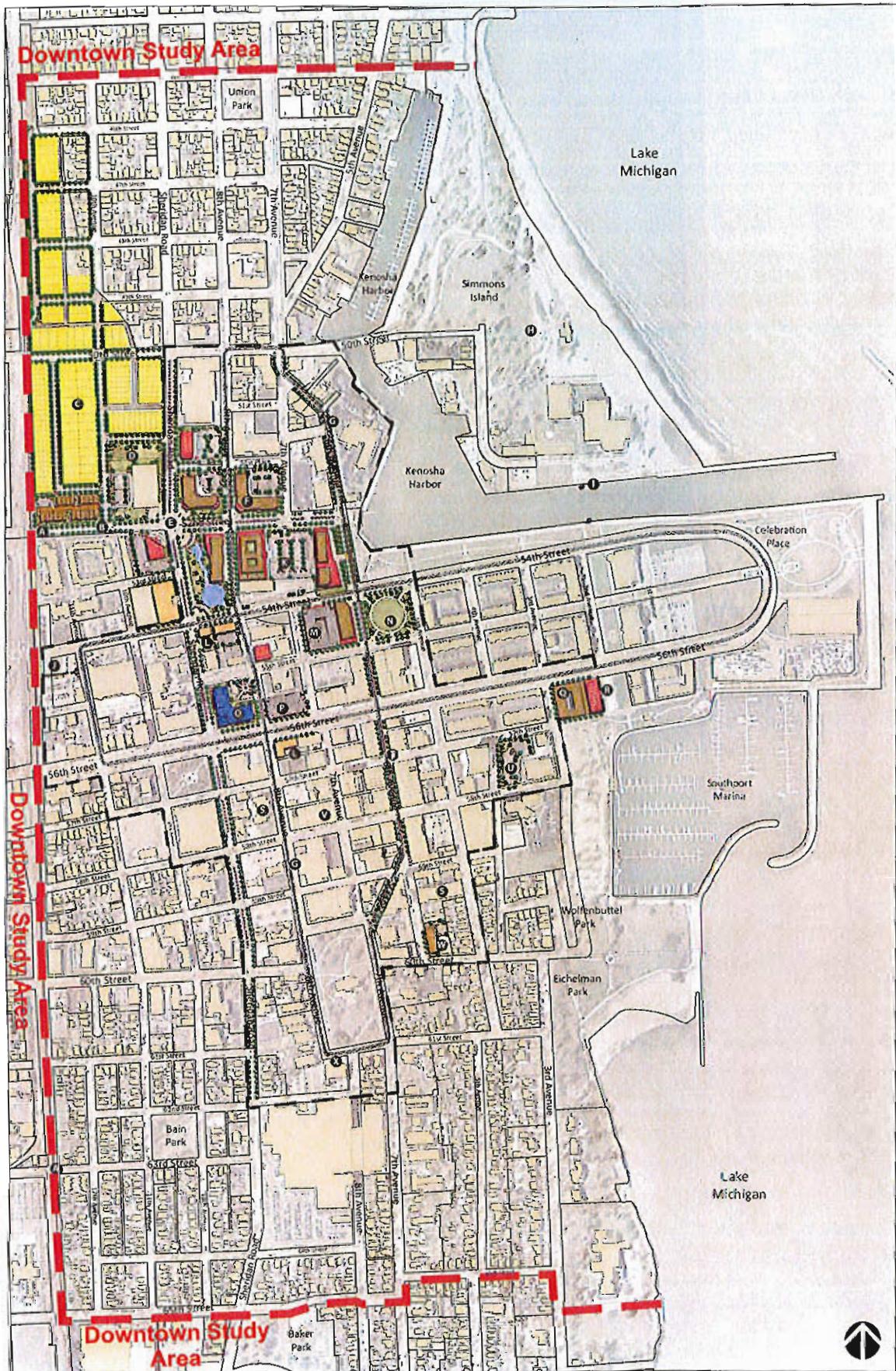


Figure 6-1: Downtown Investment Priority Map with Primary Corridors

PLAN LEGEND





- NOTES**
- Secondary Downtown Investment Zone
 - A** Enhanced viaduct and arrival gateway
 - B** Attached residential/rowhomes
 - C** Infill, small lot single-family residential
 - D** Neighborhood Pocket Park
 - E** Gateway Corner Development
 - F** Mid-rise, mixed-use building - commercial/residential
 - G** New north-south streetcar loop
 - H** Simmons Island Master Plan enhancements
 - I** Harbor shuttle docks
 - J** Enhanced/covered, bus/street car transfer hub
 - K** Mixed-use development of City Hall site - retail, residential and office (10-story maximum)
 - L** Commercial infill of vacant properties
 - M** Mid-rise (5 to 8 story) mixed-use development - retail, and residential/office with structured parking
 - N** City Center park
 - O** New City Hall
 - P** Shared public parking deck
 - Q** 3-story loft units
 - R** Retail/indoor market
 - S** Adaptive use of Elk's Club and Kenosha Theater
 - T** Enhanced Downtown streetscapes
 - U** Shared public parking lots
 - V** Rehabilitation and adaptive use of historic buildings
 - W** Infill residential
 - X** Hospital access point to new street car line

Figure 6-2: Downtown Strategic Development Plan

SECTION 6: THE PLAN

STRATEGIC DEVELOPMENT CONCEPTS

A. Enhanced Viaduct and Arrival Gateways

The entrances to the Downtown at 52nd and 63rd Streets are shown with enhanced landscape and gateway signage, with 52nd Street as the primary entrance. These, and potentially other, key gateways should help announce the arrival into the Downtown. The improvements should build off of recommendations from the currently underway Wayfinding and Signage study.

B. C. D. New Downtown Residential Neighborhood

The vacant and underdeveloped sites north of 52nd Street, between Sheridan Road and the railroad embankment, are an opportunity for increased residential infill over time. While there are several opportunities for apartment or condominium living within the Downtown, there may be a demand in the future for other types of residential housing, such as the small lot neighborhood depicted in the plan. The Strategic Development Plan shows 111 single-family homes (B) organized around the existing grid roadway system. Twenty rowhomes (C) are shown along the 52nd frontage as a balance to the development on the south side of the road. A small park with a tor-lot and parking (D) is envisioned as supporting element to the infill residential neighborhood.

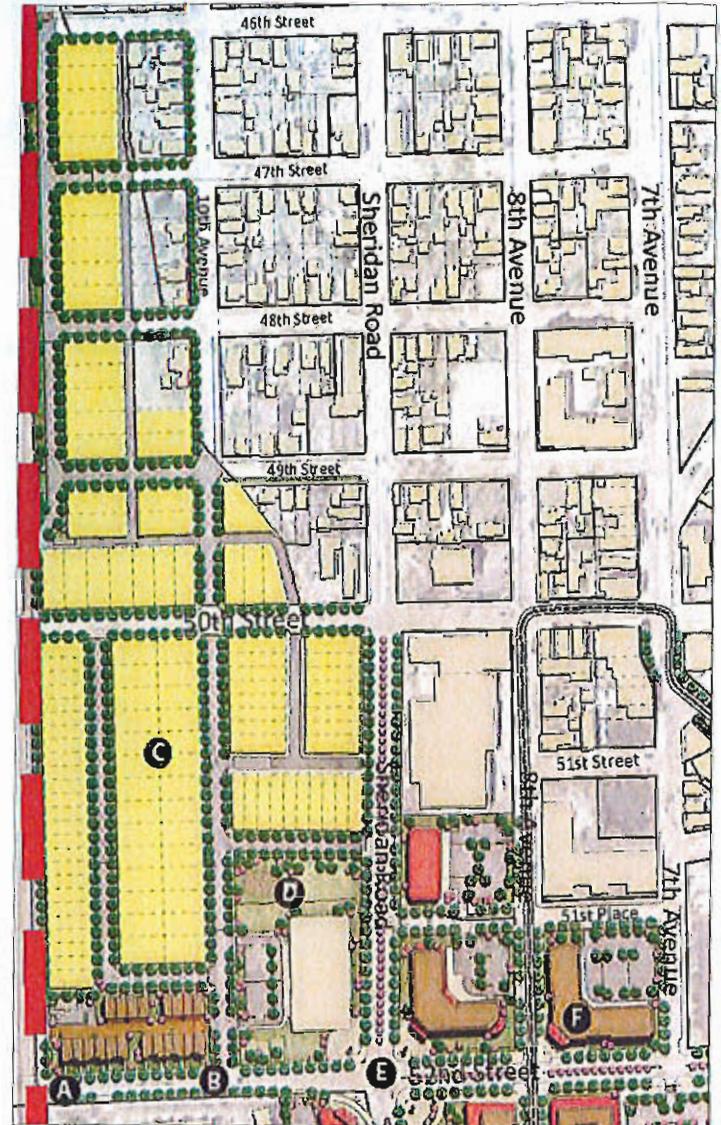


Fig. 6-4: Strategic Development Concepts A - D

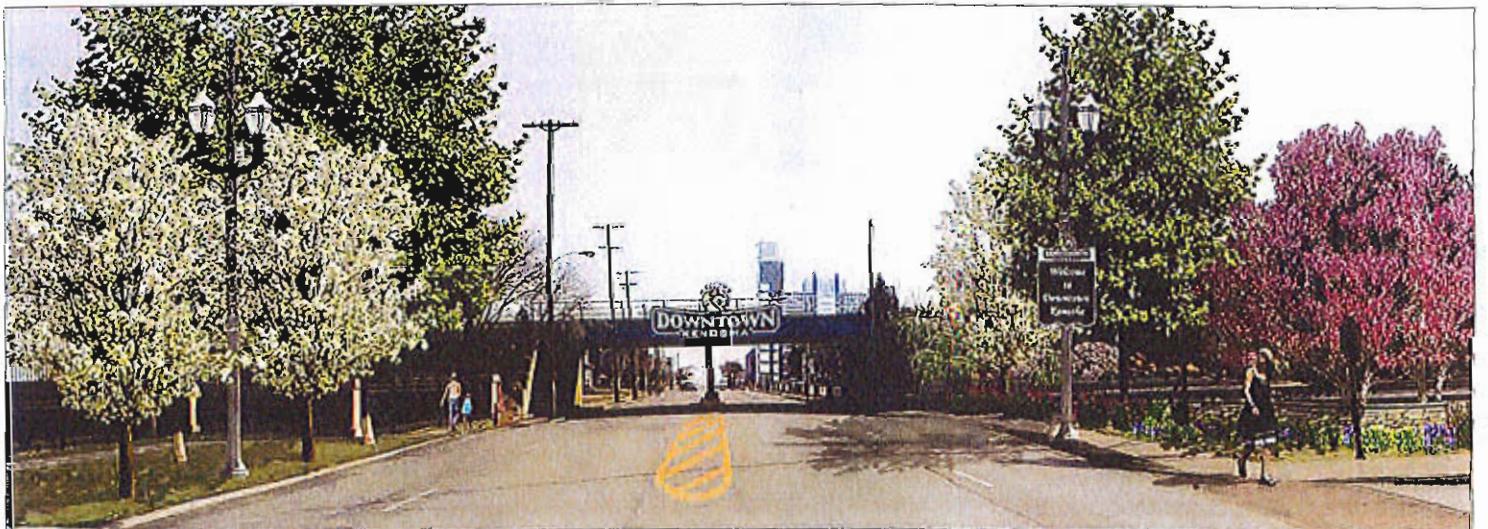


Fig. 6-3: Envisioned Concept Rendering of the 52nd St. Approach to Downtown - looking East

E. Gateway Corner Development

The intersection of 52nd St. and Sheridan Rd. is one of the major intersections within the Downtown. Overtime, buildings with gateway/significant architecture should be encouraged to help establish the character of the Downtown. Redevelopment of these sites should allow adequate room for generous sidewalks, corner landscaping and preservation of views to the harbor. While some of these sites are currently occupied, it is envisioned that as momentum builds throughout the Downtown, these properties may redevelop.

- On the northwest corner of the intersection, the existing warehouse building has a unique character. The plan recommends preserving the building and incorporating a use that is consistent with either the residential neighborhood to the northwest or the mixed-use retail/residential character of the intersection.
- The plan shows a mid-rise, mixed-use building of residential and retail on the northeast corner. The concept envisions this as a 5-story building with 10,000 square feet of commercial and 48 residential units. Stand-alone retail uses holding the Sheridan Road frontage may infill over time to the north.
- At the southeast corner, the plan shows another mid-rise, mixed-use building including residential and retail uses. Due to the environmental characteristics of this corner, it may be an appropriate place to incorporate stormwater and environmental management features.
- The plan envisions a retail development addressing the street frontage at the southwest corner of the intersection. South of this building, between 53rd and 54th Streets, the plan shows an office use between Sheridan Road and the existing parking deck.

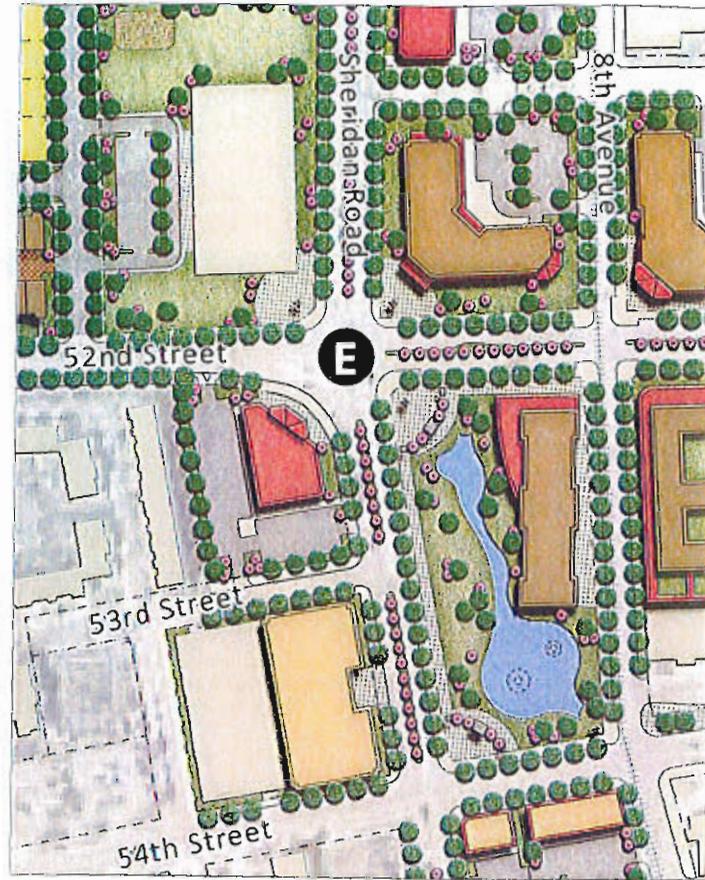


Fig 6-5: Strategic Development Concept E

F. Mid-rise, Mixed-use building - Commercial/Residential

Similar to the previous site, this vacant site has the opportunity to strengthen the character of the 52nd Street corridor and the arrival sequence into the Downtown. Redevelopment of this site also can support the Downtown through increased residential density and support commercial uses. The plan shows a 5-story mixed-use building with 12,000 square feet of commercial and 64 residential units.

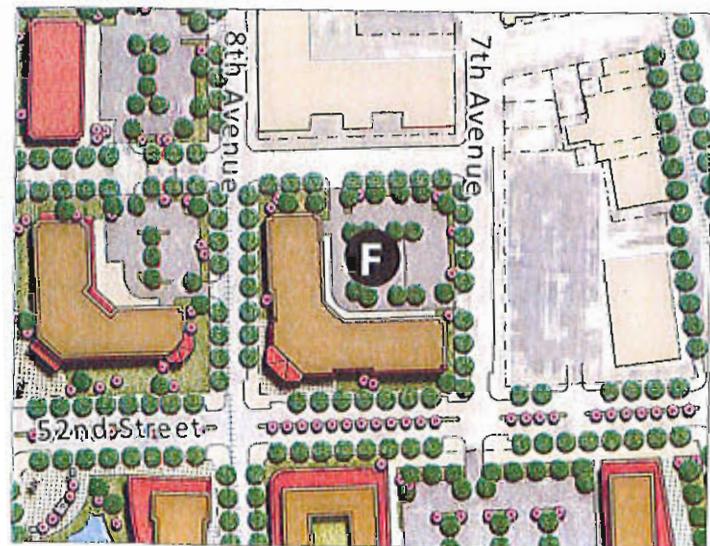


Fig 6-6: Strategic Development Concept F

SECTION 6: THE PLAN

G. New North-South Streetcar Loop

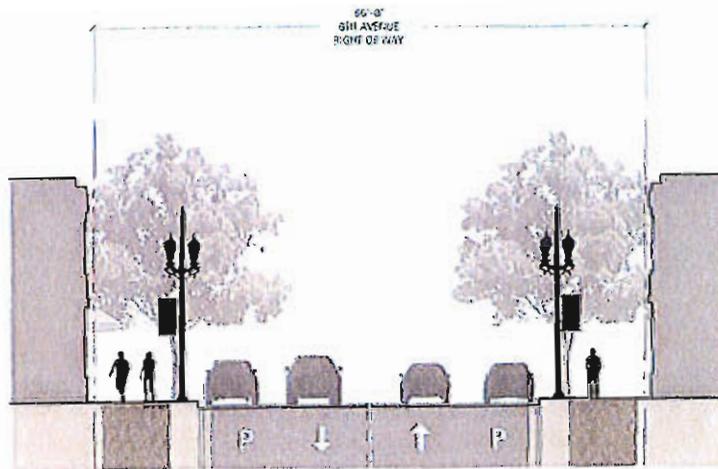
The plan envisions a new north/south loop of the streetcar network (see Figure 6-9). This circuit would run in a shared lane, similar to portions of the existing loop, such as 11th Avenue and parts of 54th Street. The plan shows the streetcar traveling northbound on 6th Avenue, west at 50th Street, south on 8th Avenue, around Library Park by traveling east on 61st Street and north on 7th Avenue, and then reconnecting with 6th Avenue at the north end of Library Park.

The goal is that the north/south loop would connect additional businesses, the Kenosha Medical Center, and adjacent residential neighborhoods into the transit network. The final routing would require additional study and evaluation to determine the best route.



Fig. 6-8: Eye-level Sketch of Envisioned 6th Avenue Streetcar Line - view from 56th Street looking south down 6th Avenue

Existing



Proposed

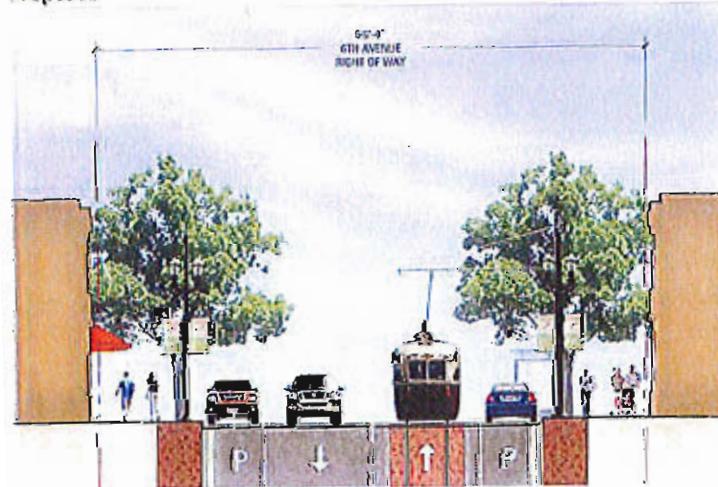


Figure 6-7: Envisioned 6th Avenue Streetscape, with Northbound shared travel lane

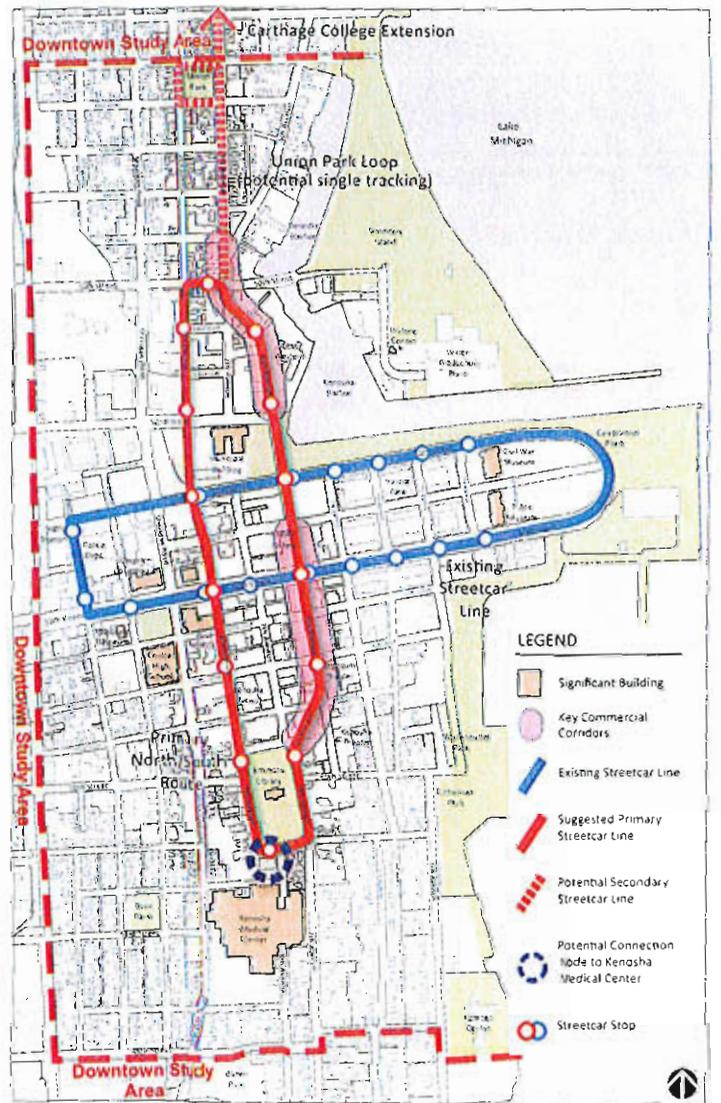


Figure 6-9: Envisioned Future Streetcar Network

H. Simmons Island Master Plan Improvements

The previously completed *Simmons Island Master Plan* should continue to be funded and phased in over time. The preservation and enhancement of this unique public open space is important to the character of the Downtown. Key items in the Master Plan, including improvements to the 50th Street bridge, will strengthen the relationship between Simmons Island and the Downtown, benefiting both areas.

I. Harbor Shuttle Docks

As a further strengthening of the connection between Simmons Island and the Downtown, the Plan suggests a harbor shuttle or harbor taxi as a means of moving people across the harbor. Currently, the travel distance from the Downtown to Simmons Island beach is over half a mile. A shuttle could help to encourage exploration of the island and increase activity. Additionally, the shuttle could serve Kenosha's North Harbor and Southport Marina providing additional means for visitors to experience more of the Downtown's amenities without being dependant on their cars.

J. Enhanced Transit Transfer Hub

Throughout the Plan, significant attention has been given to ways that the transit system can be enhanced. As redevelopment occurs, the demand for parking will increase, which is expensive and land intensive to address. Through appropriate transit systems and complete streets design, parking needs can be reduced.

One of the key opportunities is the Metra station. This is a unique feature to Downtown Kenosha, which provides connections to the City of Chicago as well as the northern suburbs of Chicago. Collaborations with Metra should be explored in the future to see how additional service times could be implemented to support Downtown festivals. Enhancements to the existing building should be studied further, including bathrooms within the facility, and the addition of a cafe, which is currently seeking funding to move forward.

Additional enhancements could help link the Metra to the City's transit network. Currently the hub of the bus system's pulse network is at the northeast corner of 54th Street and 8th Avenue, over three blocks away from the Metra station. The plan envisions that in the long term, the bus transit center could be relocated to 11th Avenue with covered walkway connecting to the Metra station, creating a transfer hub between the bus, the streetcar and Metra trains.

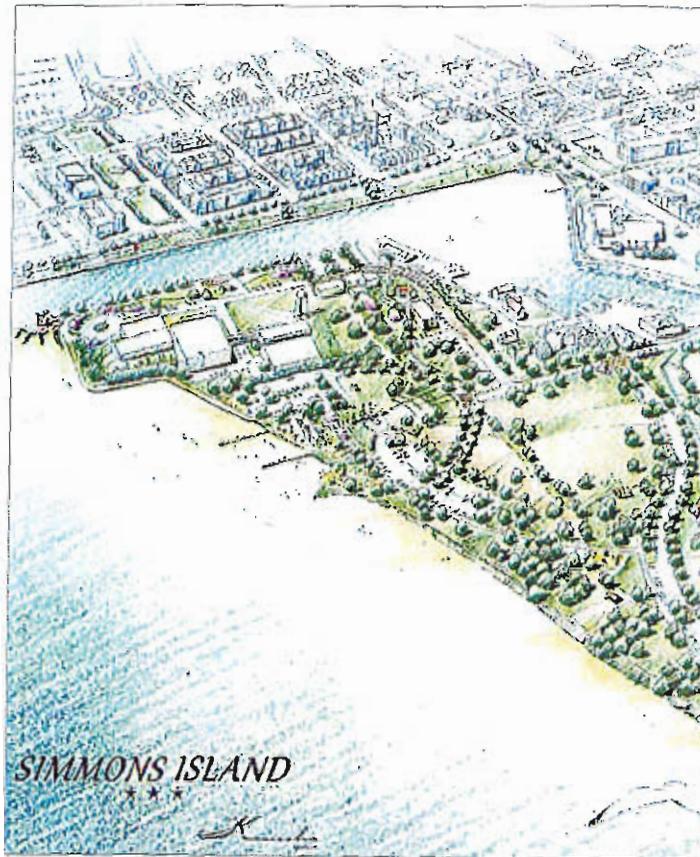


Fig. 6-10. Birds Eye Concept Rendering of Simmons Island - provided by SAA Design Group



A new, covered bus stop in Kansas City, Missouri.

K. City Hall Redevelopment Site

City Hall is located on a key site for the future of the Downtown. While not the highest priority site, it is at the southwest corner of 52nd St. and 6th Ave. – a major intersection – and is directly across from the harbor offering spectacular views of the lake. Additionally, the existing municipal buildings, set far back from the 6th Avenue frontage, create a void in the commercial and pedestrian energy that is present both to the north and south on 6th Avenue.

There are many potential uses that could occupy the site, but the critical elements include the following:

- Retail frontage along 6th Avenue
- Gateway architecture with the potential for significant height relative to other locations within the Downtown
- Upper floor residential or office uses to create increased density within Downtown to support other desired uses.
- Integration with existing and future transit, including the existing transit hub on 54th and potential street car lines on 6th and 8th Avenues.
- Potential for integration with local institutions, such as student housing for local colleges and a welcome center for the Kenosha Area Convention and Visitors Bureau.
- Stormwater and environmental management features.

These elements can be accomplished in a variety of ways, as the alternate concept for this site shows (see Figure 6-13, at the bottom of the facing page). In this scheme, the City Hall is shown relocated adjacent to the Police Station parking deck, with frontage on Sheridan Road. The Harbor walk open space is shown continuing through the site with the relocated City Hall as the terminus to this space. The mixed-use buildings along 52nd are supported by a new loop drive that connects 7th and 8th Avenues internally within the development. The existing streetcar maintenance building is shown to remain. It could continue to serve its current purpose, or it could function as more of a museum/display space for the streetcars when they are not in use, or as a home to the indoor market.

Both concepts would clearly impact the existing Veteran's Memorial. This element would need to be sensitively and appropriately relocated into a new or existing open space within the Downtown.

The total for the City Hall site, including the adjacent property at the southeast corner of 52nd and Sheridan is shown in these concepts to have about 40,000 to 70,000 square feet of retail, and 300 to 380 units of residential.

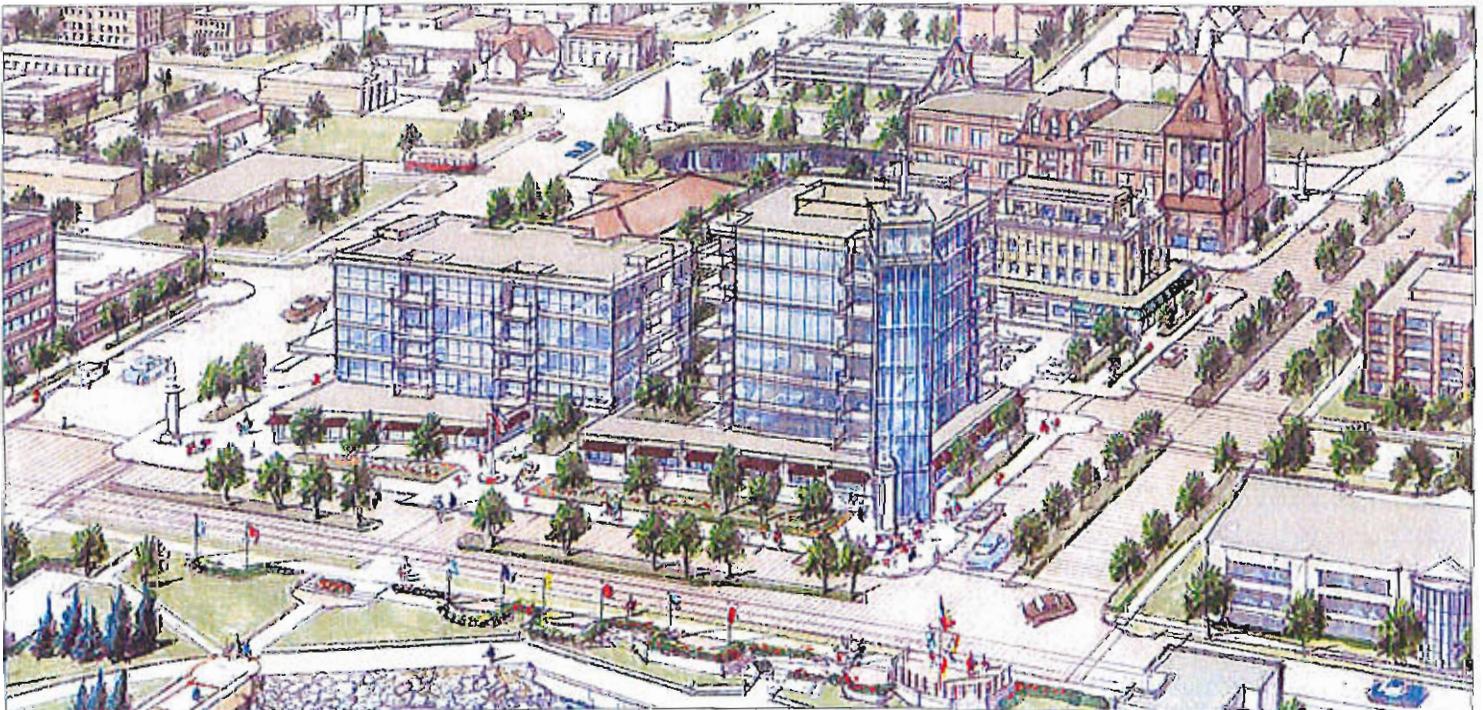


Fig. 6-11: Bird's Eye Rendering of Envisioned City Hall Redevelopment Site - viewed from Kenosha Harbor looking west



Fig. 6-12 (top): Conceptual Plan for City Hall Redevelopment Site. Fig. 6-13 (bottom): Conceptual Plan Alternative for City Hall Redevelopment Site.

L. Infill of Vacant/Underdeveloped Properties

Throughout the Plan, there are under-developed sites that could support commercial/office infill in the future. The two lots shown on the plan, the southwest corner of 54th Street and 8th Avenue and the southeast corner of 56th Street and 8th Avenue, would help maintain frontage and pedestrian character along key roadways that support the street car network. While these are not high priority sites, it is envisioned that as momentum builds in the Downtown, these sites would develop through market demand. One way that the City can positively influence this is to provide centralized shared parking. Many of these underdeveloped sites are surface parking lots. With shared parking facilities, these lots would be able to redevelop into other uses.

M. Mid-rise, Mixed-use Development

Another key catalytic site within the Downtown is located between 6th and 7th Avenues, and between 54th and 55th Streets. The site is primarily occupied by City owned parking lots. The other property owner, LaMacchia Travel Agency, is the sole tenant in their building. The site could be developed with or without the LaMacchia parcel. As part of a mixed-use building, the first floor should include retail frontage to span between the north and south commercial sections of 6th. Additionally, this site, with its proximity to the harbor, has the potential to be a more acceptable place for a taller building with either residential or office upper floors – with a maximum of ten stories total. The concept plan shows 12,000 square feet of retail and 100,000 square feet of office supported by 800 spaces of structured parking.

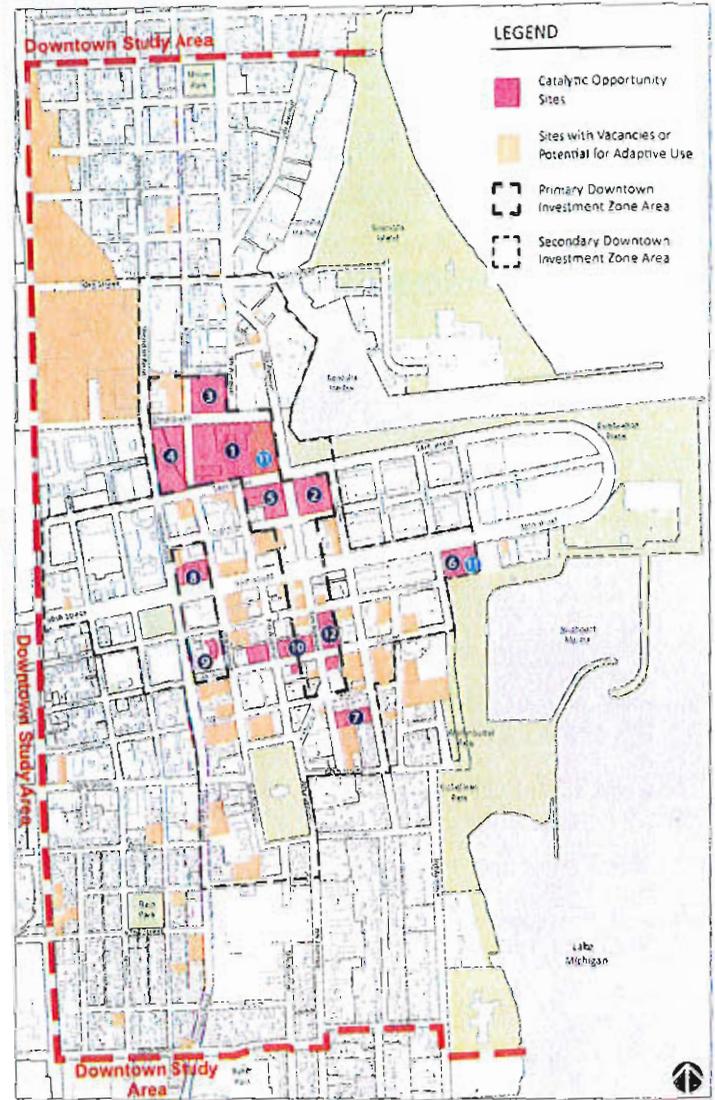


Figure 6-14: Redevelopment Opportunity Sites Map



Fig 6-15: Strategic Development Concepts L & M

N. City Center Open Space

Throughout the process the concept of a central civic open space has been discussed as a unifying element that serves as the “heart” of the City. Much like several other key elements, this use could be located in one of several locations. The Plan shows it located on the vacant HarborPark Parcel A (Figure 6-17). While the HarborPark Master Plan envisions this site for development, the current grass lawn has been used as overflow space for crowds listening to music at the Peanut Butter N’ Jams events. The proximity to the back of the Rhode Theater, with its large blank wall, offers opportunities for movies in the park. Also, the general size, central location and proximity to the harbor make it a potential candidate for a City Center park. A range of uses could be accommodated within the site, including the outdoor component of the Harbor Marker, a small playground for children, winter uses such as an ice-skating rink, a relocated Veteran’s Memorial and festival components.

Again, these elements could be incorporated into other locations, as the alternate concept shows (Figure 6-18). In this scheme, the central open space is the extension of the harbor walk on the west side of 6th Avenue. The challenge in either of these schemes is to design the park appropriately so that it creates pedestrian interest and does not increase the divide between the north and south portions of 6th.

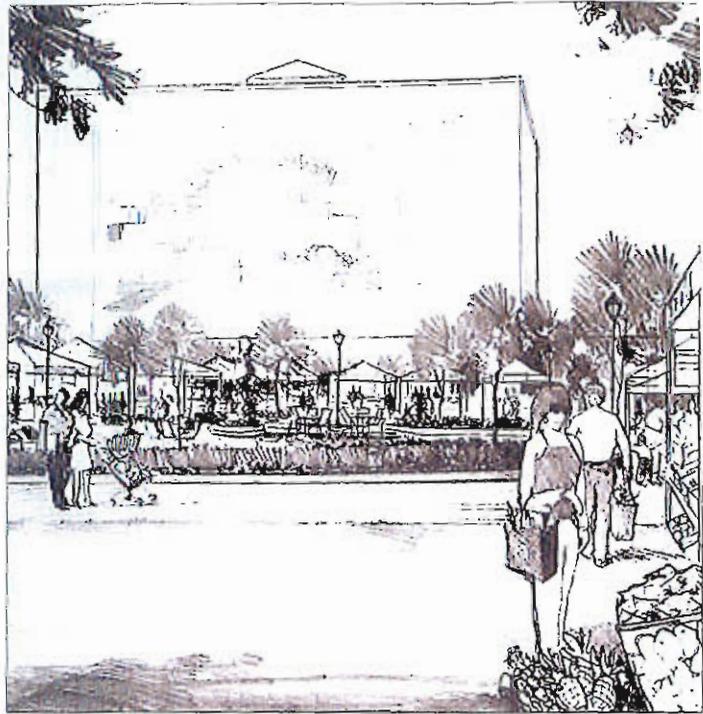


Fig. 6-16. Eye-level Sketch of Envisioned City Center Open Space - view looking south with Rhode Theater in the background

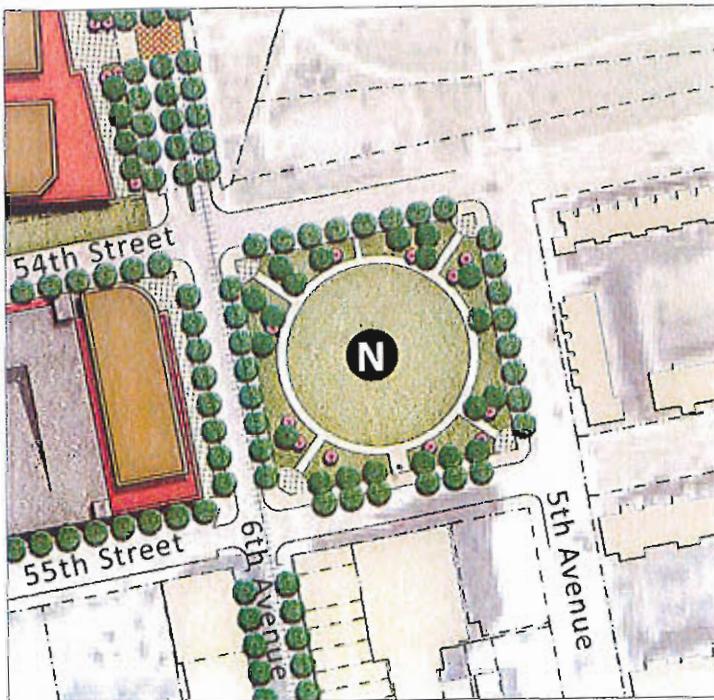


Fig. 6-17. Conceptual Plan for City Center Open Space

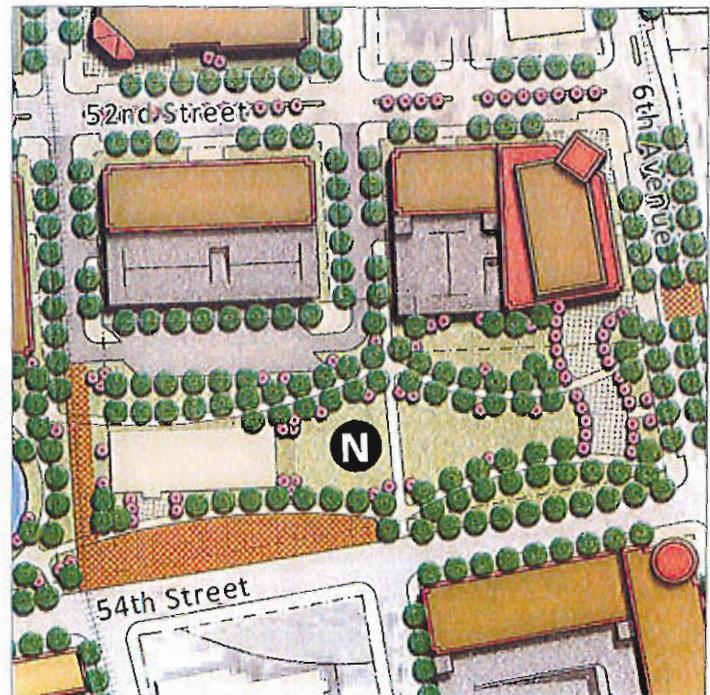


Fig. 6-18. Conceptual Plan Alternative for City Center Open Space

SECTION 6: THE PLAN

O. New City Hall

The plan accommodates for the relocation of City Hall to the block between Sheridan Road and 8th Avenue, and 55th and 56th Streets (see Figure 6-20 below). This location currently houses the Kenosha Area Convention and Visitors Bureau in an outdated building that was the former police station. The building occupies a site within the Civic Center, diagonally across from the Park. It has a prominent location on Sheridan Road and 56th Street, but also offers access to 8th Avenue, which could be the location of a future streetcar line. The concept shows a four story building with approximately 100,000 to 120,000 square feet to house municipal uses.

Similar to other key uses, there are several possible sites for the City Hall if it were to be relocated. The alternate concept shows the use with frontage along the west side of Sheridan Road between 53rd and 54th streets (Figure 6-21). City Hall is a large employer that attracts many visitors, so if it is relocated, it should remain centrally located within the Downtown as an activity generator.

P. Shared Public Parking Deck

The concept plan envisions a shared public parking deck adjacent to a new City Hall site, along 56th Street between 7th and 8th Avenues. This site would provide parking to support the City Hall, while also providing additional parking to support Downtown uses. As discussed previously, a central parking deck that supports a range of land uses is more efficient than smaller surface lots that support one use, and it frees up space for future development. The design of the deck should incorporate liner retail or an active 1st floor use to maintain a pedestrian friendly character along 56th Street.



Figure 6-19. Potential Public Parking Deck Location Map

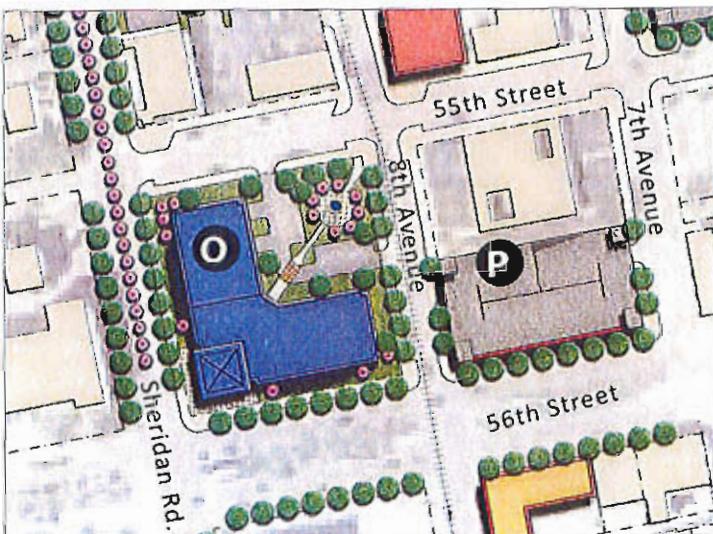


Fig. 6-20: Strategic Development Concepts O & P



Fig. 6-21: Strategic Development Concept O Alternative

Q. Harbor Park Parcel 'J' Loft Units

Harbor Park's Parcel J is another site that has remained vacant. While not a high priority development site, it may develop in the future once there is momentum in the Downtown. The concept plan shows a three-story loft residential building of 54 units to provide an alternate residential product type to the apartments, condominiums and rowhomes found in the Downtown.

R. Indoor Market

Parcel J can also support additional uses on the east edge of the site. This location fronts on the plaza that is the extension of 2nd Avenue. This is a challenging site for any non-residential use, as the distance of four blocks from the Downtown Core discourages walking and exploration. However, one potential use is to house a future indoor market. As the Harbor Market already operates along 2nd Avenue, this location would be a logical site based on existing patterns. The concept shows a 15,000 square foot space that could serve as retail, restaurant or house the indoor market.

An indoor market was heavily supported throughout the public process and should be incorporated into the future of the Downtown. While the Harbor Market currently operates along 2nd Avenue, there are potential synergies associated with locating the Indoor Market, and potentially a relocated Harbor Market, closer to the 6th Avenue corridor (Figure 6-23, below).

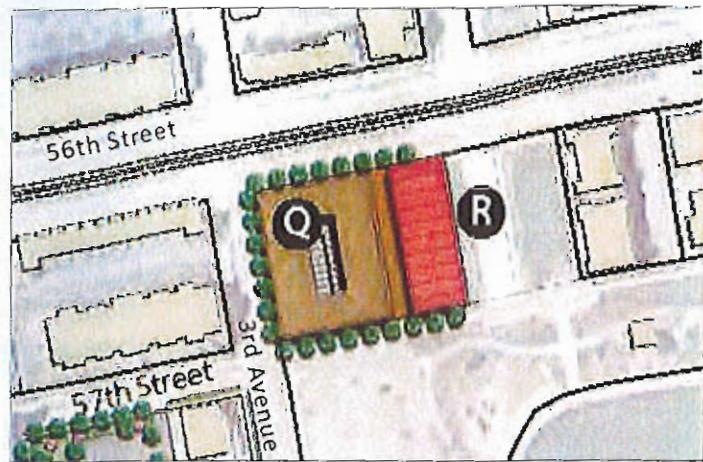


Fig. 6-22: Strategic Development Concepts Q & R



Eastern Market in Washington D.C.

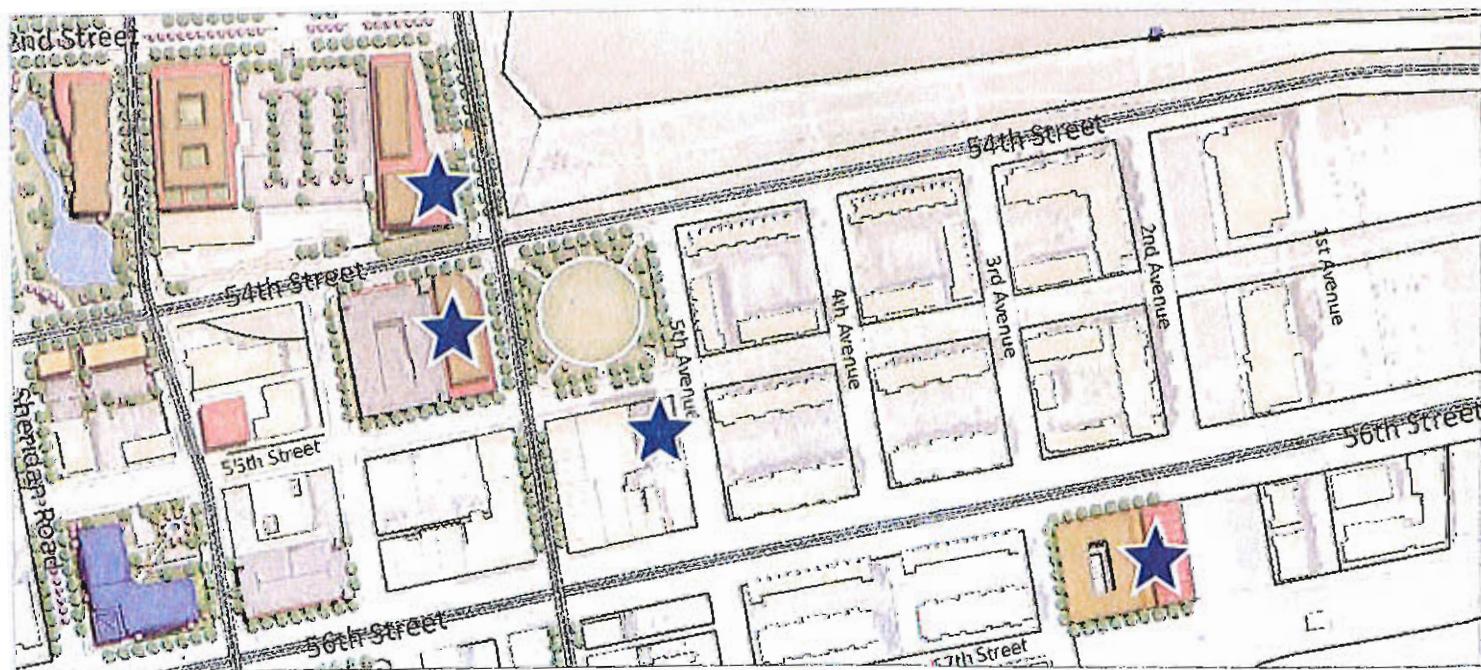
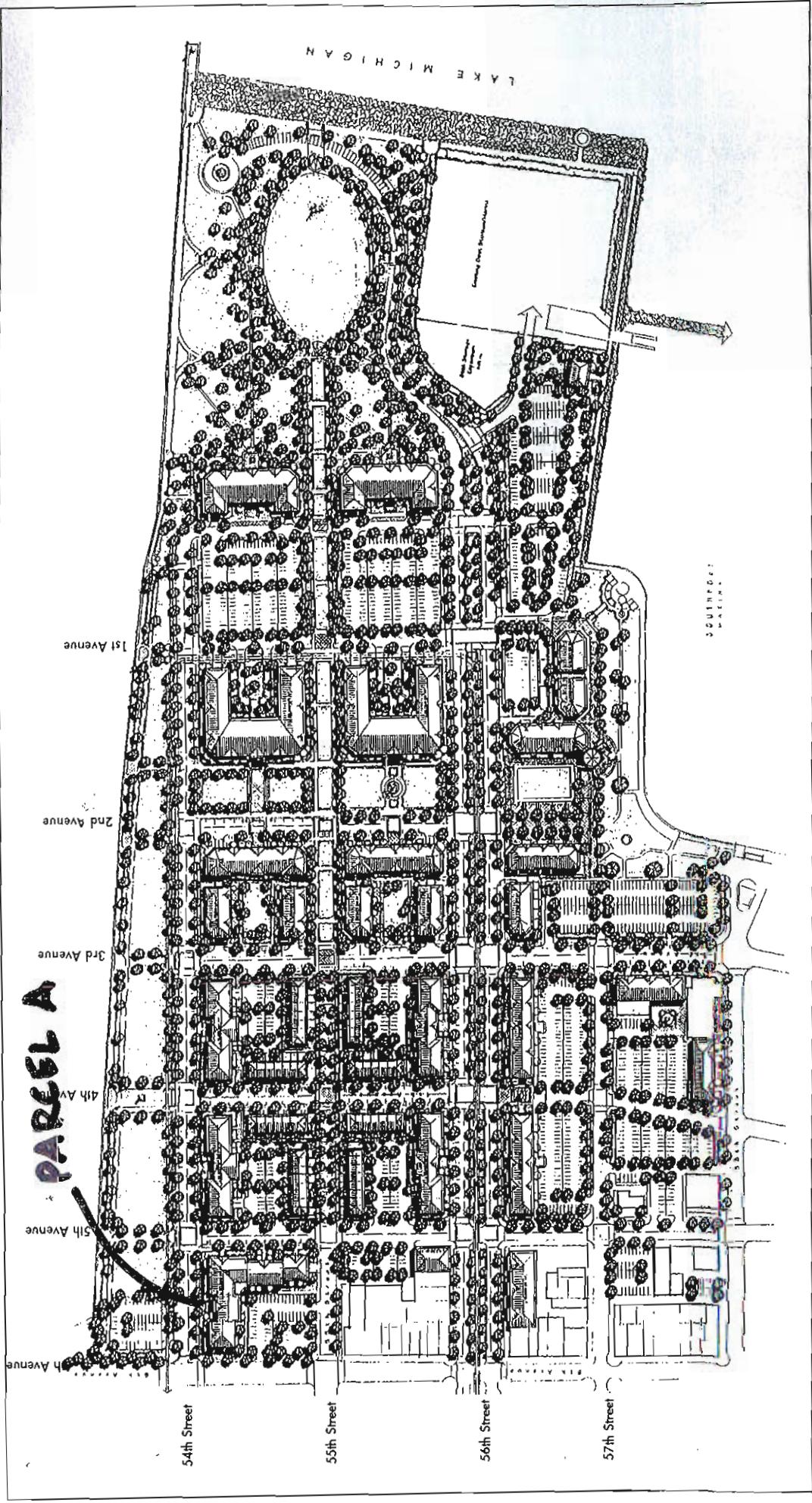


Fig. 6-23: Potential Indoor Market locations marked with blue star



HarborPark

HARBORPARK MASTER PLAN Earlier version created by IDR

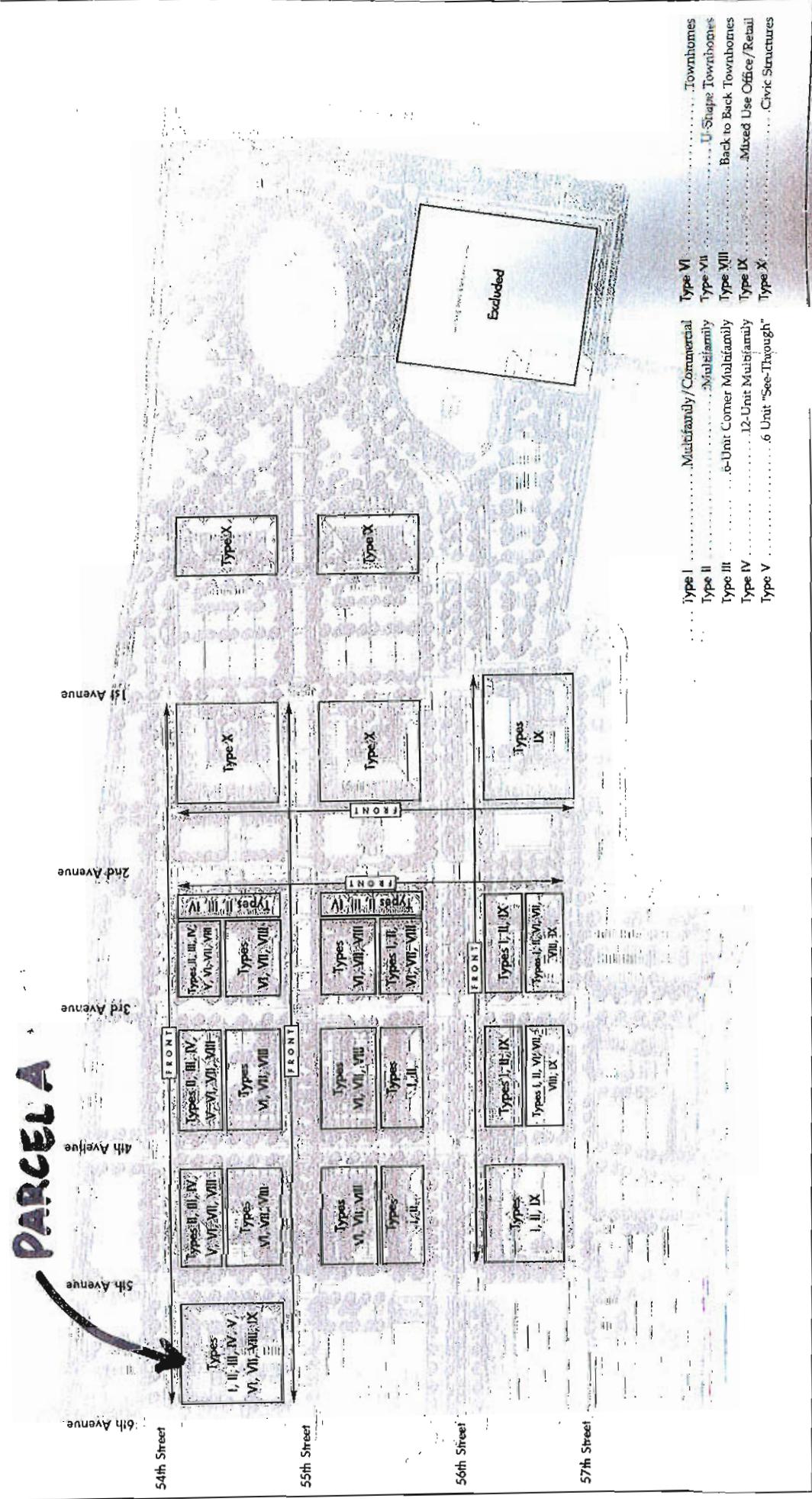
**HARBORPARK
NEIGHBORHOOD
CODE**

Harbor Park

DEVELOPMENT PLAN

HARBOR PARK NEIGHBORHOOD CODE

- Type I Multifamily/Commercial
- Type II Multifamily
- Type III 6-Unit Corner Multifamily
- Type IV 12-Unit Multifamily
- Type V 6 Unit "See-Through"
- Type VI Townhomes
- Type VII U-Shape Townhomes
- Type VIII Back to Back Townhomes
- Type IX Mixed Use Office/Retail
- Type X Civic Structures



PARCELA

Planning & Zoning Division 625 52nd Street - Room 308 Kenosha, WI 53140 262.653.4030	Kenosha City Plan Commission FACT SHEET	October 23, 2014	Item 13
Resolution By the Mayor: To Amend the Official Map for the City of Kenosha, Wisconsin, To Include the Attachment of Parcel #80-4-122-032-0085, South of 60th Street and West of STH 31 in the Town of Somers, Kenosha County, Wisconsin, in accordance with the approved City of Kenosha/Town of Somers Cooperative Plan Under Section 66.0307 of the Wisconsin Statutes (Bleashka) (District #16) PUBLIC HEARING			

LOCATION/SURROUNDINGS:

Site: South of 60th Street and west of STH 31

NOTIFICATIONS/PROCEDURES:

The alderperson of the district, Alderperson Johnson, has been notified. The Common Council is the final review authority.

ANALYSIS:

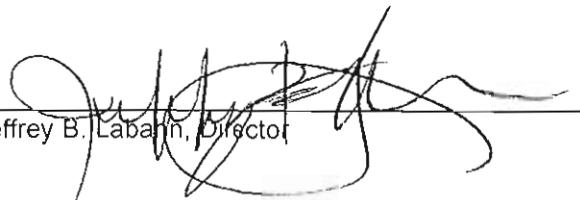
- The City has received a request to Attach a vacant parcel from the Town of Somers to the City of Kenosha.
- The Common Council is scheduled to act on the Attachment petition on November 3, 2014.
- As a part of the Attachment, the City will need to amend its Official Map to show this property as being located in the City of Kenosha, which is accomplished by the attached Resolution.

RECOMMENDATION:

A recommendation is made to approve the Official Map Amendment.



Rich Schroeder, Deputy Director



Jeffrey B. Labarh, Director

RESOLUTION NO. _____

BY: THE MAYOR

TO AMEND THE OFFICIAL MAP FOR THE CITY OF KENOSHA, WISCONSIN, TO INCLUDE THE ATTACHMENT OF

Parcel No(s): 80-4-122-032-0085

Located at: South of 60th Street and West of STH 31

IN THE TOWN OF SOMERS, KENOSHA COUNTY, WISCONSIN, IN ACCORDANCE WITH THE APPROVED CITY OF KENOSHA/TOWN OF SOMERS COOPERATIVE PLAN UNDER SECTION 66.0307 OF THE WISCONSIN STATUTES [Bleashka, Property Owner]

WHEREAS, the City of Kenosha, Wisconsin, has established an Official Map pursuant to Section 62.23(6), Wisconsin Statutes; and,

WHEREAS, the City of Kenosha, Wisconsin, and the Town of Somers, Wisconsin, entered into the City of Kenosha/Town of Somers Cooperative Plan Under Section 66.0307, Wisconsin Statutes, which was approved by the Wisconsin Department of Administration, Intergovernmental Relations, Municipal Boundary Review, on August 8, 2005; and,

WHEREAS, it was in the best interest for the public health, safety, and welfare of the City of Kenosha/Town of Somers to attach territory known as Parcel No. 80-4-122-032-0085 located South of 60th Street and West of STH 31, in the Town of Somers, Kenosha County, Wisconsin, to the City of Kenosha, Wisconsin; and,

WHEREAS, on November 3, 2014, the Common Council for the City of Kenosha, Wisconsin, approved an Attachment and Zoning District Classification

Ordinance under Section 66.0307, Wisconsin Statutes, for Parcel No. 80-4-122-032-0085, located South of 60th Street and West of STH 31, in the Town of Somers, Kenosha, Wisconsin, to be attached to the City of Kenosha, Wisconsin, with the Zoning District Classifications designated therein.

NOW, THEREFORE, BE IT RESOLVED by the Common Council of the City of Kenosha, Wisconsin, that pursuant to the authority of Section 62.23(6)(c), Wisconsin Statutes, the Official Map of the City of Kenosha, Wisconsin, be and hereby is amended to include the designation of the attachment of territory formerly of the Town of Somers, County of Kenosha, Wisconsin, known as Parcel No. 80-4-122-032-0085 located South of 60th Street and West of STH 31, Kenosha, Wisconsin, as depicted on the Attachment and Zoning District Classification Ordinance, which is incorporated herein by reference.

Adopted this _____ day of _____, 2014.

ATTEST: _____ City Clerk

APPROVED: _____ Mayor

Date: _____

Drafted By:
JONATHAN A. MULLIGAN
Assistant City Attorney

City of Kenosha
Official Map Amendment
Bleashka Attachment

60TH ST

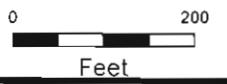
GREEN BAY RD

63RD AVE

63RD ST



 Property to be Attached to the City



By the Mayor - To Repeal and Recreate Various Sections of the Zoning Ordinance for the City of Kenosha, Wisconsin regarding Review Authority of the City Plan Commission. PUBLIC HEARING

LOCATION/SURROUNDINGS:

Site: City-Wide

NOTIFICATIONS/PROCEDURES:

The Common Council is the final review authority for Zoning Ordinance Amendments.

ANALYSIS:

- **Background:** The existing City of Kenosha Zoning Ordinance was adopted in 1984. During the past thirty (30) years, periodic revisions have been made to the Ordinance. However, a number of significant revisions were made between 2009-2010. One of the key components of the Ordinance has been a three-tier review authority system for Conditional Use Permits (CUP's). Depending upon the type, complexity and potential impact, each CUP is assigned a review authority at one of the following levels: Department Staff, City Plan Commission or Common Council.
- A previous Ordinance Amendment had removed the City Plan Commission from a designated CUP review authority level, requiring the final review by the Common Council. This Amendment also addresses a number of other Ordinance sections which currently require Common Council as the final review authority for such items as temporary buildings, structures and special exceptions.
- The intent of the Zoning Ordinance Amendment is to modify the final review authority of several review types of the Zoning Ordinance. The following descriptions refer to the individual Sections of the attached Zoning Ordinance:
 - **Section One:** The City Plan Commission replaces the Common Council as the review authority for temporary buildings and structures.
 - **Section Two:** The City Plan Commission replaces the Common Council as the review authority for any projects in the HarborPark Overlay District.
 - **Section Three:** The City Plan Commission replaces the Common Council as the review authority for any projects in the Pike Creek Neighborhood Overlay District.
 - **Section Four:** The City Plan Commission replaces the Common Council as the review authority for a Special Exception Request in the TRD-1 Traditional Single and Two-family Residential District.
 - **Section Five:** Establishes the City Plan Commission (CPC) as a third level of review authority for Conditional Use Permits, between the Department of Community Development & Inspections Review Authority (DCDI) and the Common Council Review Authority (CC). The Zoning Ordinance Amendment establishes review authorities for all of the various Conditional Use Permits with one of the three review authorities.

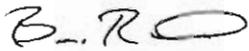
By the Mayor - To Repeal and Recreate Various Sections of the Zoning Ordinance for the City of Kenosha, Wisconsin regarding Review Authority of the City Plan Commission. PUBLIC HEARING

- **Section Six:** Requires additional information from the applicant on a Conditional Use Permit application, such as a phone number and property owner consent. Staff is already requesting this information with an application, the proposed Ordinance Amendment would make it a requirement.
- **Section Seven and Eight:** Additional language to restore the City Plan Commission as a third review authority.
- **Section Nine and Nineteen:** Establishes that an Appeal of a Department of Community Development & Inspections (DCDI) decision related to the Conditional Use Permit or Site Plan Review is appealed to the City Plan Commission (CPC). The review of a City Plan Commission (CPC) decision is then appealed to the Common Council (CC).
- **Section Ten and Twenty:** Currently, when a Conditional Use Permit or Site Plan Review is approved the applicant has six (6) months to obtain a Building Permit for a single-phase project and twenty-four (24) months for all permits for a multi-phase project. The proposed Ordinance Amendment would give the applicant twelve (12) months to obtain the first construction (not building) permit for a single-phase project and twenty-four (24) months for a multi-phase project. Each of those time lines can be extended once up to twelve (12) months by the review authority.
- **Section Eleven:** The City Plan Commission may establish additional standards or conditions for Conditional Use Permit reviews.
- **Section Twelve:** In the event of a communication tower that utilizes stealth design, the City Plan Commission replaces the Common Council as the review authority that can authorize reduced setback requirements.
- **Section Thirteen, Fourteen and Fifteen:** These three (3) Sections replace the Common Council with the City Plan Commission for exceptions to the parking and loading requirements of Section 6 of the Zoning Ordinance. Specifically, the loading zone requirements in the B-3 and B-4 Districts and relief to the number of parking spaces required in any Zoning District.
- **Section Sixteen:** Allows for any building that has been vacant for longer than ninety (90) days to be subject to a new Occupancy Permit upon a new occupancy of that building.
- **Section Seventeen:** In the event that the City Plan Commission recommends denial of a rezoning Petition, the Rezoning can only pass the Common Council by a minimum vote of three-fourths (3/4's) of the members of the Common Council voting on the Rezoning Petition, instead of a simple majority.
- **Section Eighteen:** Establishes a definition of *Construction Permit* that is used in Sections Ten and Twenty of the proposed Zoning Ordinance Amendment.
- **Section Twenty-One:** The City Plan Commission replaces the Common Council as the review authority for establishing additional decorative materials allowed for the building exterior of a new industrial building.

Planning & Zoning Division 625 52nd Street - Room 308 Kenosha, WI 53140 262.653.4030	Kenosha City Plan Commission FACT SHEET	October 23, 2014	Item 14 Page 3
By the Mayor - To Repeal and Recreate Various Sections of the Zoning Ordinance for the City of Kenosha, Wisconsin regarding Review Authority of the City Plan Commission. PUBLIC HEARING			

RECOMMENDATION:

A recommendation is made to approve the Zoning Ordinance Amendment.



 Brian R. Wilke, Development Coordinator



 Jeffrey B. Labahn, Director

Draft 10/14/14

SPONSOR: THE MAYOR

**TO REPEAL AND RECREATE VARIOUS SECTIONS OF THE ZONING
ORDINANCE FOR THE CITY OF KENOSHA, WISCONSIN REGARDING
REVIEW AUTHORITY OF THE CITY PLAN COMMISSION**

The Common Council of the City of Kenosha, Wisconsin, do ordain as follows:

Section One: Subparagraph 2.02 A.4.b. of the Zoning Ordinance for the City of

Kenosha, Wisconsin is hereby repealed and recreated as follows:

b. The temporary use of a building or trailer for the purpose of operating a business or a building accessible to the public until a permanent conforming building is constructed shall be permitted only upon petition to and approval by the ~~Common Council~~ **City Plan Commission**, subject to the imposition of reasonable conditions, including, but not limited to, duration of use, operational plan and compliance with all City Codes and Ordinances. The ~~Common Council~~ **City Plan Commission** may approve a temporary use and renewals thereof. The temporary use and each renewal thereof may be for a period not to exceed twelve (12) months.

Section Two: Subparagraph 3.29 H.3. of the Zoning Ordinance for the City of

Kenosha, Wisconsin is hereby repealed and recreated as follows:

3. City Plan Commission. The City Plan Commission will review the development application using the standards referenced in this Section after considering the recommendation from the Harborpark Management Team and ~~recommend to the Common Council that it~~ either approve, deny or modify the application. The City Plan Commission, during the review process, may request the applicant or City departments or agents to furnish additional information and reports relevant to the scope and standard of review.

Section Three: Paragraph 3.30 H. of the Zoning Ordinance for the City of

Kenosha, Wisconsin is hereby repealed and recreated as follows:

H. Review and Decision Process. Department of Community Development and Inspections and City Department Review. The Department of Community Development and Inspections and applicable City departments will review the development application using the standards referenced in this Section, make a written recommendation and forward the recommendation to the ~~Common Council~~ **City Plan Commission.**

Section Four: Paragraph 3.31 M. of the Zoning Ordinance for the City of

Kenosha, Wisconsin is hereby repealed and recreated as follows:

M. Special Exceptions.

1. Procedure. Special exception requests shall be made in writing to the Department of Community Development and Inspections. Any special exception granted shall be considered unique to the project and will not set any precedent for future decisions. The **Common Council City Plan Commission** is designated the authority for granting a special exception from the requirements of the District. The special exception shall only be granted to the minimum extent practical in order to provide relief to the requirements of the District.

2. Criteria. The **Common Council City Plan Commission** may consider granting a special exception from the requirements of the District, provided that all of the following criteria are met:

Section Five: Subsection 4.02 of the Zoning Ordinance for the City of Kenosha,

Wisconsin is hereby repealed and recreated as follows:

4.02 REVIEW AUTHORITY - DEPARTMENT OF COMMUNITY DEVELOPMENT AND INSPECTIONS, CITY PLAN COMMISSION OR COMMON COUNCIL

A. Review Authority. Depending on the type of development, one of the following review authorities shall have final decision in the Development Standards Review of Conditional Use Permits.

Development Standards Review Authority-Department of Community Development and Inspections-DCDI : Development Standards Review and decision by the Department of Community Development and Inspections.

Development Standards Review Authority-City Plan Commission-CPC: Development Standards Review and decision by the City Plan Commission.

Development Standards Review Authority Common Council-CC: Development Standards Review and decision by the Common Council.

B. Classification of Conditional Uses. Table 4.01 below, indicates the appropriate Review Authority, DCDI, **CPC** or CC for each development type.

**TABLE 4.01
DEVELOPMENT STANDARDS REVIEW
AUTHORITY - - CLASSIFICATION OF
CONDITIONAL USES**

**GROUP 1
RESIDENTIAL CONDITIONAL USES**

<u>Development Type</u>	<u>Review Authority</u>
Community L iving A rrangements with a capacity for greater than eight (8) persons in the Rs-1, Rs-2, Rs-3, Rd and Rg-1 Districts.	EE CPC
Community L iving A rrangements with a capacity for greater than fifteen (15) persons in the Rg-2, Rm-1 and Rm-2 Districts.	EE CPC
Community L iving A rrangements with a capacity for fifteen (15) or fewer persons in the RR-1, RR-2, A-1, and A-2 Districts.	EE CPC
Elderly Campus Housing in the Rm-3 District.	EE CPC

Manufactured/Mobile Home Parks in the Rm-1 & Rm-2 Districts.		CC
Multiple-family 11 units or less in the Rm-1 District		DCDI
Multiple-family 11 units or less in the Rm-2 District		DCDI
Multiple-family 12 units or greater in the Rm-2 District	€€	CPC
Multiple-family 5 units or less in the Rg-2 District		DCDI
Planned developments in the Rs-1, Rs-2, Rd, Rm-1, and Rm-2 Districts		CC
Residential structures in the FFO District	€€	DCDI
Rooming and boarding houses in the Rg-1, Rg-2, Rm-1, and Rm-2 Districts		CC
Storm Water Detention & Retention Basins		DCDI
Transitional parking for business, manufacturing and institutional uses in the Rs-3, Rg-1 and Rg-2 Districts		DCDI
Transitional two-family residence in the Rs-3 District		DCDI
Utility substations		DCDI
Residential development in the HRPO District	€€	CPC
Residential development in the PCNO District	€€	CPC
Single Family attached residences in the B-4 District	€€	CPC
Continuous non-conforming uses in all residential zoning districts	€€	CPC

GROUP 2
BUSINESS CONDITIONAL USES

<u>Development Type</u>	<u>Review Authority</u>	
Aluminum collection center in the B-1, B-2 and B-3 Districts		CC
Automobile body shop in the B-2 and B-3 Districts	€€	CPC
Automobile or truck wash in the B-2 and B-3 Districts	€€	CPC
Brewpub or winery, accessory for a restaurant, tavern, cocktail lounge or package store in the B-2, B-3 and B-4 Districts		DCDI
Business structure in the FFO District	€€	CPC
Community living arrangements in the B-1, B-2, B-3, and B-4 Districts	€€	CPC
Commercial developments, such as shopping centers and malls in the B-2 District:		
(a) New developments	€€	CPC
(b) Additions, enlargements or expansions		DCDI
(c) Buildings detached from a principal building		DCDI
(d) Unified Business District	€€	CPC
(e) Large-Scale Commercial Development		CPC
Convention center in the B-3 and B-4 District		CC
Drive-in theaters in the B-2 District	€€	CPC
Drive-thru facilities in the B-2, B-3 and B-4 Districts	€€	CPC
Hotel or motel in the B-2, B-3 and B-4 Districts	€€	CPC
Multiple-family residences at or above the second story containing 4 units or less in the B-1 District		DCDI
Multiple-family residences at or above the second story containing 11 units or less in the B-2 District		DCDI
Multiple-family residences at or above the second story containing 12 units or greater in the B-2 District	€€	CPC

Multiple-family residences at or above the second story containing 11 units or less in the B-3 District		DCDI
Multiple-family residences at or above the second story containing 12 units or greater in the B-3 District	EE	CPC
Off-Premise Signs in the B-2 District	EE	CPC
Outdoor commercial and recreational uses in the B-2 District	EE	CPC
Public Safety Communication Towers and Antennas in the B-2 District	EE	CPC
Public Safety Communication Antennae in the B-2 District		DCDI
Recycling collection center in the B-1, B-2 and B-3 Districts	DCDI	CC
Rooming and boarding houses in the B-1, B-2 and B-3 Districts		CC
Storm Water Detention and Retention Basins		DCDI
Utility substations		DCDI
Communication towers and antennas in the B-2 District	DCDI	CPC
Communication antennae in the B-2 and B-3 Districts		DCDI
Self-service storage facilities in the B-2 District	EE	CPC
Automobile fuel station or automobile fuel and service station, including combination convenience store in the B-2 and B-3 Districts	EE	CPC
Commercial development in the HRPO District	EE	CPC
Body-Piercing Establishment in the B-2 and B-3 Districts		CC
Tattoo Establishment in the B-2 and B-3 Districts		CC
Sexually-Oriented Business, as defined, in the B-2 District		CC
Mixed-Use Development in B-4 District	EE	CPC
Radio/Television/Relay Towers and Antennas in the B-2 and B-3 Districts	DCDI	CPC
Radio/Television/Relay Antennae in the B-2 and B-3 Districts		DCDI
Unified Business Center in the B-2, B-3 and B-4 Districts	EE	CPC
Large Scale Commercial Development in the B-2, B-3 and B-4 Districts	EE	CPC
Convenient Cash Businesses in the B-2 Districts		CC
Indoor Kennel	EE	CPC
Pawnbroker in the B-2, B-3 and B-4 Districts		CC
Secondhand Jewelry Dealer in the B-2, B-3 and B-4 Districts		CC

GROUP 3

MANUFACTURING ~~CONDITIONAL~~ USES

<u>Development Type</u>	<u>Review Authority</u>
Acid manufacturing in the M-2 District	CC
Airports and commercial heliports in the M-1 and M-2 Districts	CC
Aluminum collection center in the M-1 and M-2 Districts	CC
Blast furnace or coke oven in the M-2 District	CC
Boiler works in the M-2 District	CC
Cement, lime and gypsum manufacturing in the M-2 District	CC
Ceramic base and pottery material mixing in the M-2 District	CC
Communication towers and antennas in the M-1 and M-2 Districts	DCDI CPC
Communication antennae in the M-1 and M-2 Districts	DCDI
Concrete mixing plant in the M-2 District	CC
Construction of manufactured/Mobile Homes and modular buildings and structures in the M-2 District	CC
Explosives manufacturing in the M-2 District	CC

Fat & oil rendering & refining in the M-2 District	CC
Feed mill in the M-2 District	CC
Fertilizer manufacturing in the M-2 District	CC
Foundry or forge plant in the M-2 District	CC
Glue manufacturing in the M-2 District	CC
Golf Range, Batting Range, Batting Cage, or Golf and/or Batting Simulator	EE CPC
Grain storage and processing in the M-2 District	CC
Hazardous waste sites and facilities in the M-2 District	CC
Incinerator in the M-2 District	CC
Leather tanning & finishing in the M-2 District	CC
Machine or welding shop with presses over twenty (20) tons rated capacity and/or drop hammers in the M-2 District	CC
Manufacturing structures in the FFO District	EE CPC
Manufacturing, processing and/or storage of the following in the M-2 District:	CC
(a) Abrasive and asbestos.	
(b) Acetylene gas.	
(c) aircraft and aircraft supplies	
(d) automobiles and automobile parts.	
(e) Battery plant, only with previously processed acid and acidic products.	
(f) Brick, tile or terra cotta.	
(g) Chemicals, soaps, alcohol, and vinegar products.	
(h) Graphite.	
(i) Household appliances.	
(j) Insulating materials.	
(k) Linoleum, other hard surface floor coverings, ceramic floor and wall tile.	
(l) Machinery, tools and dies.	
(m) Motor vehicles and motor vehicle equipment.	
(n) Paint and paint products.	
(o) Paper and allied products, including potash and charcoal.	
(p) Primary metals.	
(q) Pyroxylin.	
(r) Rubber and miscellaneous plastic products.	
(s) Stone, glass and concrete products.	
(t) Transportation equipment.	
(u) Wire, rope, cord, twine and other cordage products.	
Metal and ore reduction and refinement in the M-2 District	CC
Mining operations in the M-2 District	CC
Off-Premise Signs in the M-1 and M-2 Districts	EE CPC
Petroleum manufacturing, refining and storage in the M-2 District	CC
Physical Fitness Center	EE CPC
Planing mill, as a principal use in the M-2 District	CC
Plating works in the M-2 District	CC
Power generating plant in the M-2 District	CC
Public Safety Communication Towers and Antennas in the M-1 and M-2 District	EE CPC
Public Safety Communication Antennae in the M-1 and M-2 District	DCDI
Radio/Television/Relay Towers and Antennas in the M-1-2 and M-2 Districts	DCDI CPC
Radio/Television/Relay Antennae in the M-1 and M-2 Districts	DCDI

Railroad repair or freight yard, shop or terminal in the M-2 District		CC
Recycling collection center in the M-1 and M-2 Districts		CC
Resource recovery plant in the M-2 Districts		CC
Rolling Mills in the M-2 District		CC
Salt works in the M-2 District		CC
Salvage dealers, shops and yards in the M-2 District		CC
Self-service storage facilities in the M-1 and M-2 Districts	ee	CPC
Ship building and repair in the M-2 District		CC
Smelting of metals, ores or alloys in the M-2 District		CC
Stockyards or slaughter houses in the M-2 District		CC
Storage yard for construction equipment and materials used by a contractor in the M-1 and M-2 Districts	ee	CPC
Storm Water Detention & Retention Basins in M-1 and M-2 Districts		DCDI
Tar and asphalt, including refining and batch plants in the M-2 District		CC
Truck or freight terminal and/or bulk intermodal distribution center related to air, water and/or land transportation in the M-1 and M-2 Districts		CC
Utility substations in M-1 and M-2 Districts		DCDI
Waste disposal, treatment and transportation facility in the M-2 District		CC

**GROUP 4
INSTITUTIONAL AND OTHER
CONDITIONAL USES**

<u>Development Type</u>	<u>Review Authority</u>	
Accessory structures in the FW and FFO Districts	ee	DCDI
Arena, auditorium, exhibition hall and stadium in the IP District		CC
Bed and breakfast establishments in the Rd, B-1, B-2, B-3, B-4 and IP Districts		DCDI
Community living arrangements in the IP District	ee	CPC
Conditional uses within the C-2 Lowland Resource Conservancy District		DCDI
Conference centers		CC
Filling within the FFO District	ee	CPC
Institutional structures in the FFO District	ee	CPC
Medical transportation offices used exclusively for arranging transportation of individuals to and from health care providers as defined in §146.81, Wisconsin Statutes but excluding taxicab offices and vehicle maintenance facilities	ee	CPC
Municipal water supply and sanitary sewerage systems in the FW and FFO Districts	ee	CPC
Open space & related uses in the FW District	ee	CPC
Penal, disciplinary, mental health and reform institutions in the IP District		CC
Public Safety Communication Towers and Antennas in the IP District	ee	CPC
Public Safety Communication Antennas in the IP District		DCDI
Rental or lease of pier or dock space in the Rg-2, Rm-1, Rm-2 and IP Districts		CC
Shelter facility in the IP District		CC
Storm Water Detention & Retention Basins		DCDI
Utility substations		DCDI
Financial institutions, including related drive-thru facilities in the IP District	ee	CPC
Communication towers and antennas in the IP District	DCDI	CPC
Communication antennae in the IP Districts		DCDI
Institutional development in the HRPO District	ee	CPC

Radio/Television/Relay Towers and Antennas in the IP District	DCDI CPC
Radio/Television/Relay Antennae in the IP District	DCDI
Development consisting of 2 or more Buildings on a single parcel or contiguous parcels in the IP District	EE CPC
A building with 20,000 gross sq. ft. or greater of floor area located in the IP District	EE CPC

**GROUP 5
AGRICULTURAL RELATED
CONDITIONAL USES**

<u>Development Type</u>	<u>Review Authority</u>
Air strips, landing fields, & hangars for personal or agricultural related uses in the A-1 and A-2 Districts	CC
Community living arrangements with a capacity for greater than fifteen (15) persons in the A-1 and A-2 Districts	EE CPC
Housing for farm laborers, seasonal or migratory farm workers in the A-1 and A-2 Districts	EE CPC
Second single-family farm related residential dwellings in the A-1 and A-2 Districts	DCDI
Storm Water Detention & Retention Basins	DCDI
Utility substations	DCDI
Wind energy conversion system	DCDI
Communication towers and antennas in the A-1 and A-2 Districts	DCDI CPC
Communication antennae in the A-1 and A-2 Districts	DCDI

Section Six: Paragraph 4.03 A.1. of the Zoning Ordinance for the City of Kenosha, Wisconsin is hereby repealed and recreated as follows:

4.03 APPLICATION PROCEDURES AND REQUIRED DOCUMENTS

A. Application. Applications for Conditional Use Permits, other than those for nonconforming residential uses which shall be exempt from the requirement, shall be made in duplicate to the Department of Community Development and Inspections on forms furnished by the Department of Community Development and Inspections and shall include the following:

1. Name, ~~s and~~ addresses ~~and phone numbers~~ of the applicant, owner of site, architect, professional engineer, and contractor, ~~and~~. **If the applicant is not the owner of the property subject to the Conditional Use Permit request, include a letter signed by the owner of the property consenting to the filing of the application on his or her behalf;** and,

Section Seven: Paragraph 4.04 F. of the Zoning Ordinance for the City of Kenosha, Wisconsin is hereby repealed, recreated and renumbered as follows:

F. Review Authority Decision. Depending on the type of development, the appropriate Review Authority will review the application and shall either approve or ~~deny~~ the application utilizing §4.05 "Development Standards" of this Ordinance as a review guide. Refer to **Table 4.01** of this Section for the appropriate Review Authority. The Review Authority shall use the following procedures in making

its decision:

1. Decision Authority.

a. Development Standards Review Authority-Department of Community Development and Inspections-DCDI. For developments with conditional uses designated as DCDI in Table 4.01, the Director of Community Development and Inspections will consider the recommendation from the Department of Community Development and Inspections and either approve or deny the application.

b. Development Standards Review Authority-City Plan Commission-CPC. For developments with conditional uses designated as CPC in Table 4.01, the City Plan Commission will hold a public hearing, consider the recommendation from the Department of Community Development and Inspections, and approve or deny the application. Final action on floodland conditional uses shall not be taken for thirty (30) days or until the Wisconsin DNR has given its recommendation, whichever comes first. Copies of all decisions on conditional uses in a floodland district shall be transmitted to the DNR within ten (10) days following the decision.

bc. Development Standards Review Authority-Common Council-CC. For developments with conditional uses designated as CC in Table 4.01, the Common Council will hold a public hearing, consider the recommendation from the Department of Community Development and Inspections and the City Plan Commission, and approve or deny the application. Final action on floodland conditional uses shall not be taken for thirty (30) days or until the Wisconsin DNR has given its recommendation, whichever comes first. Copies of all decisions on conditional uses in a floodland district shall be transmitted to the DNR within ten (10) days following the decision.

2. Recommendations.

a. Department of Community Development and Inspections. As a part of the review process for the application subject to approval consideration by the **City Plan Commission or** Common Council, the Department of Community Development and Inspections shall make a recommendation to the City Plan Commission.

b. City Plan Commission. As a part of the review process for the application subject to approval consideration by the Common Council, the City Plan Commission shall make a recommendation to the Common Council, which recommendation shall include reference to the recommendation of the Department of Community Development and Inspections.

A copy of the decision of the Review Authority shall be mailed to the applicant.

Section Eight:

Paragraph 4.04 G. of the Zoning Ordinance for the City of

Kenosha, Wisconsin is hereby repealed and recreated as follows:

G. Approval. No building or construction permits shall be issued by the Administrator until the appropriate Review Authority (City Council, **City Plan Commission** or Department of Community Development and Inspections) has reviewed and approved the Conditional Use Permit plan. Footing and foundation permits may only be granted if each of the following conditions are met:

Section Nine:

Paragraph 4.04 H. of the Zoning Ordinance for the City of

Kenosha, Wisconsin is hereby repealed and recreated as follows:

H. Appeals. Any petitioner/applicant objecting to any decision of Review Authority-

Department of Community Development and Inspections-DCDI related to the Conditional Use Permit may appeal the decision to the **City Plan Commission**. **Any petitioner/applicant objecting to any decision of Review Authority-City Plan Commission-CPC related to the Conditional Use Permit may appeal the decision to the** Common Council. Such appeals shall be filed with the City Clerk/Treasurer within thirty (30) days of the decision by the Department of Community Development and Inspections **or City Plan Commission**, and shall include the payment of the fee therefor established by the Common Council, from time to time, by Resolution.

The **City Plan Commission or** Common Council shall fix a reasonable time for the hearing of an appeal. The **City Plan Commission or** Common Council shall notify the appellant of the hearing by mail. At the hearing the appellant shall appear in person or by agent or attorney.

Section Ten: Paragraph 4.04 I. of the Zoning Ordinance for the City of

Kenosha, Wisconsin is hereby repealed and recreated as follows:

I. ~~Expiration of Conditional Use Permits for Failure to Timely Obtain a Building Construction Permit or Obtain an Occupancy Permit.~~

1. Conditional Use Permit With a Single Building or Use. ~~Either the first R~~required **Building Construction** Permits ~~shall be obtained or in the event that no Construction Permit is required, the Occupancy Permit, must be obtained,~~ within ~~six (6)~~ **twelve (12)** months of the date of the Conditional Use Permit approval by the Review Authority. **The twelve-month period from approval may be extended by the Review Authority once, for up to an additional twelve (12) months.**

2. Conditional Use Permit With Multiple Buildings. The first **Building required Construction** Permit ~~must~~ shall be obtained within ~~six (6)~~ **twelve (12)** months of the date of Conditional Use Permit approval by the Review Authority. Required **Building Construction** Permits shall be obtained for all remaining buildings within twenty-four (24) months of the date of Conditional Use Permit approval by the Review Authority, **or within an extension of unless otherwise specified the twenty-four-month period from approval** by the Review Authority; **Only one extension of the twenty-four-month period from approval may be granted and such extension which in no event may not shall exceed an additional twelve** ~~thirty-six (36)~~ months.

3. Expiration of Conditional Use Permits for Failure to Timely Obtain a Construction Permit or Obtain an Occupancy Permit. **If neither a first required Construction Permit nor an Occupancy Permit has been issued within the time periods required in this paragraph 4.04 I., the Conditional Use Permit expires.** ~~3. Failure To Obtain All Required Building Permits.~~

The failure of permittee to obtain all required Building Permits in a timely manner shall result in the expiration of the Conditional Use Permit for all unconstructed buildings and all future development shall cease unless the Review Authority extends the time to obtain Building Permits or unless a new Conditional Use Permit is applied for and approved.

4. Planned Developments. Planned Developments are governed by Section 3.22 of the Zoning Ordinance.

Section Eleven: Paragraph 4.05 A.1. of the Zoning Ordinance for the City

of Kenosha, Wisconsin is hereby repealed and recreated as follows:

A. General Provisions.

1. These Development Standards are minimum standards and additional standards or conditions may be required for individual developments when such have a unique set of circumstances. The ~~Common Council City Plan Commission~~ may establish and adopt additional standards or conditions for conditional uses, and a copy of such additional standards and conditions shall be on file in the Department of Community Development and Inspections office and available to the public.

Section Twelve: Subparagraph 4.06 ~~D.13.g.(5)~~ of the Zoning Ordinance for

the City of Kenosha, Wisconsin is hereby repealed and recreated as follows:

(5) New Communication Towers Utilizing Stealth Design. New Communication Towers utilizing Stealth Design, which do not meet the yard requirements or spacing requirements of **Sections 4.06 D.13.g.(1)** through **(4)** may be constructed when so authorized by the ~~Common Council City Plan Commission~~. All equipment facilities constructed under authorization of this ~~Section-Paragraph~~ shall be located underground or within the principal structure on the Site.

Section Thirteen: Subparagraph 6.02 A.4.b. of the Zoning Ordinance for the

City of Kenosha, Wisconsin is hereby repealed and recreated as follows:

b. New construction within the B-3 District requires loading spaces equal to fifty (50%) percent of the loading requirements of **6.02 D.** of this Ordinance, unless reduced loading requirements are authorized by the ~~Common Council City Plan Commission~~ through the approval of a Conditional Use Permit. (Refer to Section 4.0 of this Ordinance for the conditional use review procedures.) New construction shall be defined as any new principal building or structure, or any addition to an existing building or structure which exceeds fifty (50%) percent of the total assessed value of the existing building or structure.

Section Fourteen: Paragraph ~~6.02 A.5.a.~~ of the Zoning Ordinance for the

City of Kenosha, Wisconsin is hereby repealed and recreated as follows:

a. New construction within the B-4 District requires loading spaces equal to fifty (50%) percent of the loading requirements of ~~Section-Paragraph 6.02 D.~~ of this Ordinance, unless reduced loading requirements are authorized by the ~~Common Council City Plan Commission~~ through the Conditional Use Permit.

Section Fifteen: Section 6.03 of the Zoning Ordinance for the City of Kenosha,

Wisconsin is hereby repealed and recreated as follows:

6.03 RELIEF FROM PARKING AND LOADING REQUIREMENTS Reduced parking and loading requirements may be approved under a Conditional Use Permit or Site Plan Review, when so authorized by the ~~Common Council City Plan Commission~~. The ~~Common Council City Plan Commission~~ shall hold a public hearing on the request and all owners within one hundred (100') feet of the property, excluding street rights-of-ways, shall be notified by mail of the hearing.

Section Sixteen: Paragraph 8.04 A. of the Zoning Ordinance for the City of

Kenosha, Wisconsin is hereby repealed and recreated as follows:

8.04 CERTIFICATE OF OCCUPANCY

A. Certificate of Occupancy Required. A Certificate of Occupancy from the Administrator shall be required as a condition of any person occupying:

1. A building which has been the subject of new construction or erection.
2. A building which has been moved to another foundation on the same or any other parcel of property.
3. A building which has been the subject of an expansion, addition, alteration or reconstruction, except a single-family or two-family residential building which has been the subject of an alteration.
4. A building, or portion thereof located in the B-1, B-2, B-3, or B-4 Business District, or in the M-1 or M-2

Manufacturing District, or IP Institutional Park District, which is not used for residential purposes and is subject

to a new occupancy, whether owner or tenant.

5. A parcel of land, unimproved by a building, which is used for a business or manufacturing purpose.
6. A residential building used for a Home Occupation under **Section Paragraph 3.03 E.** of the Zoning Ordinance.

7. A **non-residential** building which has been vacant ~~and unoccupied~~ for more than ninety (90) days **and which has an open Order to Repair.**

~~8. A residential building of four (4) or more units in which all the units have been vacant and unoccupied for more than ninety (90) days.~~

98. A building subject to a business license under Chapters 10, 12, ~~or~~ 13 of the Code of General Ordinances.

Section Sevnteen: Paragraph 10.05 A. of the Zoning Ordinance for the City of

Kenosha, Wisconsin is hereby repealed and recreated as follows:

10.05 COMMON COUNCIL'S ACTIONS

A. Common Council Action. Following such hearing and after careful consideration of the City Plan Commission's recommendations, the Common Council shall vote on the passage of the proposed rezoning. **The City Plan Commission's unfavorable recommendations may only be overruled by three-fourths (3/4ths) of the members of the Common Council voting on the proposed rezoning.** Other rezonings, except where a valid protest petition is filed, shall require a simple majority vote of the members of the Common Council voting on the proposed rezoning.

Section Eighteen: Section 12 is hereby amended to include:

Construction Permit. A City permit that is required by prevailing law before a person may demolish, raze, change grade, excavate, erect, plumb, electrify, heat, cool, ventilate, or remodel, with respect to any existing or proposed structure.

Section Nineteen: Paragraph 14.06 K. of the Zoning Ordinance for the City of

Kenosha, Wisconsin is hereby repealed and recreated as follows:

K. Appeals. Any petitioner/applicant objecting to any decision of Review Authority - Department of Community Development and Inspections - DCDI related to Site Plan Review may appeal the decision to the ~~Common Council~~ **City Plan Commission**. ~~Any petitioner/applicant objecting to any decision of Review Authority – City Plan Commission - CPC related to Site Plan Review may appeal the decision to the Common Council.~~ Such appeals shall be filed, accompanied by the fee therefor established by the Common Council, from time to time, by Resolution, with the City Clerk/Treasurer within thirty (30) days of the decision with the Department of Community Development and Inspections **or City Plan Commission**.

The **City Plan Commission** or Common Council shall hold a hearing of an appeal within forty-five (45) days of the filing of the appeal. The **City Plan Commission** or Common Council shall notify the appellant of the hearing by mail. At the hearing, the appellant shall appear in person or by agent or attorney

Section Twenty: Paragraph 14.06 L. of the Zoning Ordinance for the City of

Kenosha, Wisconsin is hereby repealed and recreated as follows:

L. Revocation: Expiration of Site Plan Review Approvals for Failure to Timely Obtain a Construction Permit or Obtain an Occupancy Permit.

1. Site Plan Review with a Single Building or Use. ~~A Building~~ Either the first required Construction Permit, if required, must be or in the event that no Construction Permit is required, the Occupancy Permit, must be obtained - secured by the permittee within ~~six (6)~~ **twelve (12)** months of the date of approval of the Site Plan Review by the Review Authority. ~~The twelve-month period from Site Plan Review approval may be extended by the Review Authority may authorize the issuance of a Building Permit subject to an extended period of time for condition compliance in the case of a phased development or when deemed appropriate by the authority. The Site Plan approval shall expire and be null and void in the event the permittee does not obtain a Building Permit.~~ **Once for up to an additional twelve (12) months.** ~~If an approved Site Plan expires for such reason, any subsequent development or use of the property shall require a new permit application.~~ This provision does not apply to planned developments which are governed by the revocation procedure outlined in §3.22 of this Ordinance.

2. Site Plan Review With Multiple Buildings. The first required Construction Permit must be obtained within twelve (12) months of the date of Site Plan Review approval by the Review Authority. Required Construction Permits shall be obtained for all remaining buildings within twenty-four (24) months of the date of the Site Plan Review approval by the Review Authority, or within an extension of the twenty-four-month period from approval by the Review Authority. Only one extension of the twenty-four-month period from approval may be granted, and such extension may not exceed an additional twelve (12) months.

3. Expiration. If neither a first required Construction Permit nor an Occupancy Permit has been issued within the time periods required in this paragraph 14.06 L., the Site Plan Review approval expires.

Section Twenty One:

Paragraph 14.07 B.12. of the Zoning Ordinance for the

City of Kenosha, Wisconsin is hereby repealed and recreated as follows:

12. Industrial buildings authorized to be constructed within the City shall conform with the design guidelines hereinafter set forth:

a. Building exteriors of all new industrial buildings shall be constructed entirely of architectural masonry, Exterior Insulated Finish System, architectural composite aluminum or steel panels, glass, or any combination of these materials. Other decorative and textured materials may also be used to meet these requirements when authorized by the **Common Council City Plan Commission**. Aviation related buildings located at the Kenosha Regional Airport are exempt from these requirements.

b. Additions to industrial buildings shall be constructed entirely with materials that are comparable with the materials of the existing building. On an existing industrial building that does not have architectural masonry, Exterior Insulated Finish System, architectural composite aluminum or steel panels, glass, or any combination of these materials on a minimum of two-thirds (2/3rds) of the exterior of any side which abuts a public street or residential district, building additions shall comply with the following requirements:

(1) Any addition to an existing building which creates an exterior side which abuts a public street or a residential district shall consist of architectural masonry, Exterior Insulated Finish System, architectural composite aluminum or steel panels, glass, or any combination of these materials on a minimum of the lower two-thirds (2/3rds) of the building exterior sides of both the addition and existing building which abuts a public street or a residential district. Exceptions to the two-thirds (2/3rds) requirement for any existing building exterior side which abuts a public street or residential district that has less than two-thirds (2/3rds), but at least one-third (1/3rd) architectural masonry, Exterior Insulated Finish System, architectural composite aluminum or steel panels, glass or any combination of these materials, may be granted when so authorized by the **Common Council City Plan Commission**.

(2) Any additions to existing buildings which are subject to the requirements of Paragraph 12.b. (1) above, and have an exterior side which abuts an interior side lot line and is adjacent to the front exterior shall be constructed with architectural masonry, Exterior Insulated Finish System, architectural composite aluminum or steel panels, glass, or any combination of these materials on the lower two-thirds (2/3rds) of the building exterior for a minimum of twenty (20') feet from the building front or to a natural dividing point approved by the City Plan Department. Exceptions to the twenty (20') foot requirement for any existing building exterior side which abuts an interior side lot line and is adjacent to the front exterior that has less than two-thirds (2/3rds), but at least one-third (1/3rd) architectural masonry, Exterior Insulated Finish System, architectural composite aluminum or steel panels, glass or any combination of these materials on the front twenty (20') feet may be granted when so authorized by the **Common Council City Plan Commission**.

Section Twenty-Two: This Ordinance shall become effective upon passage and publication for initial review and decision of Conditional Use Permit, Site Plan Review and Occupancy Permit applications filed on or after the effective date of this Ordinance, and for appeals filed on or after the effective date of this Ordinance.

ATTEST: _____ City Clerk

APPROVED: _____ Mayor

Passed:

Published:

Drafted By:
EDWARD R. ANTARAMIAN
City Attorney

Planning & Zoning Division
625 52nd Street - Room 308
Kenosha, WI 53140
262.653.4030

Kenosha City Plan Commission

FACT SHEET

October 23, 2014

Item 15

By the Mayor - To Repeal and Recreate Sections IV and XIV of the Zoning Ordinance for the City of Kenosha, WI to reflect the change in name by substituting the term "Lawn Park" in place of "Parkway" wherever that term appears and to Repeal and Recreate Subparagraph 4.06 B.16 regarding self-service storage facilities. PUBLIC HEARING

LOCATION/SURROUNDINGS:

Site: City-Wide

NOTIFICATIONS/PROCEDURES:

The Common Council is the final review authority for Zoning Ordinance Amendments.

ANALYSIS:

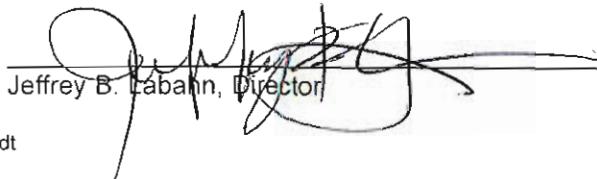
- Self-service storage facilities in the City of Kenosha are considered a conditional use in the B-2, M-1 and M-2 Zoning District.
- As part of the conditional use standards, Chapter 4 of the Zoning Ordinance, any fencing for a self-service storage facility must be constructed of a site-obscuring wood fence or masonry wall.
- The attached Zoning Ordinance Amendment would allow for self-service storage facilities in the M-1 and M-2 Zoning District that are not located on a Major Street (as defined by the Zoning Ordinance) and not located adjacent to or across the street from a residential district to be able to use a decorative wrought-iron fence as an alternative. The Amendment would also allow a site-obscuring vinyl fence as an alternative on any self-service storage facility site.
- All outdoor storage areas in conjunction with a self-service storage facility must still be surrounded by a site-obscuring wood or vinyl fence, regardless of the location of the facility.
- The Zoning Ordinance Amendment would also replace the term "parkway" in the Zoning Ordinance, Sections 4 and 14, with the term "lawn park area". Parkway is a term that means a Park road. A lawn park area is the grass area between the sidewalk/property line and the edge of the pave roadway.

RECOMMENDATION:

For Commission review and recommendation.



Brian R. Wilke, Development Coordinator



Jeffrey B. Labahn, Director

ORDINANCE _____

DRAFT 08/11/14
09/02/14
09/23/14
09/30/14

SPONSOR: THE MAYOR

TO REPEAL AND RECREATE SECTIONS IV AND XIV OF THE ZONING ORDINANCE FOR THE CITY OF KENOSHA, WISCONSIN TO REFLECT THE CHANGE IN NAME BY SUBSTITUTING THE TERM "LAWN PARK" IN PLACE OF "PARKWAY" WHEREVER THAT TERM APPEARS AND TO REPEAL AND RECREATE SUBPARAGRAPH 4.06 B.16. REGARDING SELF-SERVICE STORAGE FACILITIES

The Common Council of the City of Kenosha, Wisconsin, do ordain as follows:

Section One: Sections IV and XIV of the Zoning Ordinance for the City of

Kenosha, Wisconsin, are amended by substituting therein the term "Lawn Park" for "Parkway"

wherever that term appears.

Section Two: Subparagraph 4.06 B.16. of the Zoning Ordinance for the City of

Kenosha, Wisconsin is hereby repealed and recreated as follows:

16. Self-Service Storage Facilities in the B-2, M-1 and M-2 Districts.

a. Building Plan as required in Section 4.05 B. and Section 14 of the Zoning Ordinance, plus:

- (1) Material sample(s) and colors.
- (2) Floor plan indicating location and size of office and storage units.
- (3) All buildings shall be constructed of decorative masonry, brick, cut stone, or stained, painted, aggregate or decorative precast concrete panel. Concrete block, where used, shall be cast with a decorative pattern.

b. Site Plan as required in Section 4.05 C. and Section 14 of the Zoning Ordinance, plus:

- (1) Location and "footprint" of all structures.
- (2) Location of all off-street parking spaces. All parking spaces and drives between storage buildings shall be paved with asphaltic concrete or Portland Cement concrete.
- (3) Location of any outdoor storage areas, which shall be shown as paved with asphaltic concrete or Portland Cement concrete.
- (4) A minimum of thirty (30') feet wide lanes shall be provided between buildings.

c. Drainage Plan as required in Section 4.05 D. and Section 14 of the Zoning Ordinance.

d. Landscape Plan as required in Section 4.05 E. and Section 14 of the Zoning Ordinance.

(1) In all cases, Option 1 of Table 3 "Interior Parkway Landscaping for Commercial Uses" of Section 14 of the Zoning Ordinance shall be used as the landscaping requirements for interior parkways.

(2) (i.) **Subject to other provisions herein, Fencing must shall be constructed of a site-obscuring, wood or vinyl fence or masonry fence wall.**

(ii.) **Notwithstanding subdivision (i), fencing for Self-Service Storage Facilities in the M-1 or M-2 Districts may be constructed of non-site-obscuring wrought-iron, if such fencing will not be located on**

frontage that is adjacent to a Major Street as designated in Subsection 5.01, will not abut a residential district, and will not be across a street from a residential district.

(iii.) Notwithstanding any provision to the contrary, outdoor storage areas must be screened by a six foot (6') site-obscuring, wood or vinyl fence or masonry wall.

(3) Foundation plantings and site interior landscaping requirements shall be waived when the site is screened by a six (~~6'~~) foot (6') site-obscuring fence or masonry wall, including storage building walls.

(4) ~~Notwithstanding Item 4.06 B.16.d.(2) above, Outdoor storage areas shall must be screened by a six (6') foot (6') site-obscuring wood or vinyl fence or masonry wall.~~

e. Utility Plan as required in Section 4.05 F. and Section 14 of the Zoning Ordinance.

f. Operational Plan which includes:

- (1) Name and address of facility operator.
- (2) Number of employees.
- (3) Hours, days and months of operation.
- (4) Permitted items to be stored in outside storage area(s).
- (5) Security system.

g. Yard Requirements.

(1) Front Yard. There shall be a minimum front yard of fifty (50') feet, measured from the front lot line, or from the setback of any major street.

(2) Side Yards.

(a) Interior Side Yard. There shall be a minimum interior side yard of ten (10') feet. Interior lots shall have two (2) interior side yards. Corner lots shall have one interior side yard and one street side yard.

(b) Street Side Yard. There shall be a minimum street side yard of twenty-five (25') feet. Where a side lot line in the B-2 District fronts on a street and where a rear lot line abuts or is across an alley fronts a residential district.

(3) Rear Yard. A rear yard of not less than twenty-five (25') feet is required, except that where a rear lot line in the B-2 District fronts on a street and where a side lot line in the B-2 District abuts or is across an alley from a residential district, the residential district yard requirement on that street shall apply as the rear yard requirement.

h. Vehicle stacking distance between lot line and gate or card-key system shall be a minimum of forty (40') feet.

i. Outdoor Storage Areas. Materials stored in outside storage areas shall not exceed the height of the fence and shall be maintained in an orderly manner with twenty-four (24') feet wide lanes between vehicles. Outdoor storage areas are limited to licensed and operable vehicles and boats. Construction equipment and materials shall not be permitted.

j. The storage of flammable liquids, highly combustible or explosive materials or hazardous chemicals shall not be permitted.

k. Other issues which may have an adverse social, economic or environmental impact or affecting the health, safety or welfare of abutting or neighboring properties of the City as a whole.

Section Two: This Ordinance shall become effective upon passage and publication.

ATTEST: _____ City Clerk

APPROVED: _____ Mayor

Passed:

Published:

Drafted By:
EDWARD R. ANTARAMIAN
City Attorney

Planning & Zoning Division 625 52nd Street - Room 308 Kenosha, WI 53140 262.653.4030	Kenosha City Plan Commission FACT SHEET	October 23, 2014	Item 16
By the City Plan Commission - To Repeal and Recreate the Definition of Community Living Arrangements as defined in Section 12, To Amend, Repeal and Recreate Various Provisions of Section 3 of the Zoning Ordinance regarding Community Living Arrangements. PUBLIC HEARING			

LOCATION/SURROUNDINGS:

Site: City-wide

NOTIFICATIONS/PROCEDURES:

The Common Council is the final review authority.

ANALYSIS:

- In 2012 an *Analysis of Impediments to Fair Housing Choice* study was completed by a private consultant, Urban Design Ventures, for the City of Kenosha.
- Completion of the study is a requirement in order for the City to receive Federal Community Development Block Grant (CDBG) and HOME Program funds.
- Impediment 7 of the study recommended various changes to the City Zoning Ordinance relating to the Federal Fair Housing Act.
 - Those changes are proposed in the attached Zoning Ordinance within Sections 1 through 13.
 - Section 14 of the attached Ordinance eliminates a conflict in the B-4 District regarding lot sizes and density. The density will be determined as a part of the Conditional Use Permit Review and Comprehensive Plan.

RECOMMENDATION:

A recommendation is made to approve the attached Zoning Ordinance.


 Rich Schroeder, Deputy Director


 Jeffrey B. Labahn, Director

DRAFT 10/13/14

SPONSOR: MAYOR

TO REPEAL AND RECREATE THE DEFINITION OF COMMUNITY LIVING ARRANGEMENTS AS DEFINED IN SECTION 12, TO AMEND, REPEAL AND RECREATE VARIOUS PROVISIONS OF SECTION 3 OF THE ZONING ORDINANCE REGARDING COMMUNITY LIVING ARRANGEMENTS

The Common Council of the City of Kenosha, Wisconsin, do ordain as follows:

Section One: To repeal and recreate the definition of Community Living

Arrangements as defined in Section 12 of the Zoning Ordinance for the City of Kenosha, Wisconsin.

Community Living Arrangements. ~~The definition of Community Living Arrangements set forth in §62.237 (i), Wisconsin Statutes, is adopted and incorporated herein by reference. A Community Living Arrangement for adults as defined in §46.03(22), Wis. Stats. or a Community Living Arrangement for children as defined in §48.743(1) Wis. Stats.~~

Section Two: Subparagraph 3.115 C.1 of the Zoning Ordinance for the City of

Kenosha, Wisconsin, is hereby amended as follows:

1. Elderly housing of more than eight (8) units, elderly and handicapped community living arrangements and assisted living facilities. **Community Living Arrangements must either (a) be in conformance with 62.23 (7)(i), Wisconsin Statutes, or (b) all of the persons served are disabled or handicapped under the Fair Housing Amendment Act (FHAA) or the Americans with Disabilities Act (ADA), and are living in the Community Living Arrangement because of their disability or handicap.. In the latter circumstance, compliance with §62.23 (7)(i), Wisconsin Statutes is not required.** Assisted living facilities shall be in conformance with Section 50.034, Wisconsin Statutes, and Chapter HFS-89, Wisconsin Administrative Code.

Section Three: Subparagraph 3.13 C.1 of the Zoning Ordinance for the City of

Kenosha, Wisconsin, is hereby amended as follows:

1. Community Living Arrangements **located above the first floor, that are either (a) in conformance with §62.23 (7) (i), Wisconsin Statutes or (b) not in conformance with with §62.23 (7)(i), but all of the persons served are disabled or handicapped under the Fair Housing Amendment Act (FHAA) or the Americans with Disabilities Act (ADA) and are living in the Community Living Arrangement because of their disability or handicap. In the latter circumstance, compliance with §62.23 (7)(i), Wisconsin Statutes is not required.**

Section Four: The following subparagraphs of Section 3 of the Zoning

Ordinance for the City of Kenosha, Wisconsin, are hereby repealed and recreated as follows:

- | | | | |
|------------|------------|------------|-----------|
| 3.031 A.1. | 3.032 A.1. | 3.033 A.3. | 3.04 A.3. |
| 3.05 A.2. | 3.06 A.2. | 3.07 A.3. | 3.08 A.3. |

1. Community Living Arrangements with a capacity of eight (8) or fewer persons ~~that which~~ are **either (a) in conformance with §62.23 (7)(i), Wisconsin Statutes or (b) not in conformance with §62.23 (7)(i) but all of the persons served are disabled or handicapped under the Fair Housing Amendment Act (FHAA) or the Americans with Disabilities Act (ADA) and are living in the Community Living Arrangement because of their disability or handicap.**

Section Five: Subparagraphs 3.033 C.1, 3.04 C.1, 3.05 C.1, 3.06 C.1, 3.07 C.1

and 3.08 C.1 of the Zoning Ordinance for the City of Kenosha, Wisconsin, are hereby repealed and recreated as follows:

1. Community Living Arrangements with a capacity for greater than eight (8) persons which are **either (a) in conformance with §62.23 (7)(i), Wisconsin Statutes, or (b) not in conformance with §62.23 (7) (i) but all of the persons served are disabled or handicapped under the Fair Housing Amendment Act (FHAA) or the Americans with Disabilities Act (ADA) and are living in the Community Living Arrangement because of their disability or handicap. In the latter circumstance, compliance with §62.23 (7)(i) is not required.**

Section Six: Subparagraphs 3.031 C.1 and 3.032 C.1 of the Zoning

Ordinance for the City of Kenosha, Wisconsin, are hereby repealed and recreated as follows:

1. Community Living Arrangements with a capacity for fifteen (15) or fewer persons **that are either (a) in conformance with §62.23 (7)(i), Wisconsin Statutes, or (b) not in conformance with §62.23 (7)(i) but all of the persons served are disabled or handicapped under the Fair Housing Amendment Act (FHAA) or the Americans with Disabilities Act (ADA) and are living in the Community Living Arrangement because of their disability or handicap. In the latter circumstance, compliance with §62.23 (7)(i) is not required.**

Section Seven: Subparagraph 3.09 A.3 of the Zoning Ordinance for the City of

Kenosha, Wisconsin, is hereby repealed and recreated as follows:

3. Community Living Arrangements with a capacity for fifteen (15) or fewer persons **which are that are either (a) in conformance with §62.23 (7)(i), Wisconsin Statutes, or (b) not in conformance with §62.23 (7)(i) but all of the persons served are disabled or handicapped under the Fair Housing Amendment Act (FHAA) or the Americans with Disabilities Act (ADA) and are living in the Community Living Arrangement because of their disability or handicap. In the latter circumstance, compliance with §62.23 (7)(i) is not required.**

Section Eight:

Subparagraphs 3.09 C.1, 3.10 C.1 and 3.11 C.2 of the Zoning

Ordinance for the City of Kenosha, Wisconsin, are hereby repealed and recreated as follows:

1. Community Living Arrangements with a capacity for greater than fifteen (15) persons **that are either (a) in conformance with §62.23 (7)(i), Wisconsin Statutes, or (b) not in conformance with §62.23 (7)(i) but all of the persons served are disabled or handicapped under the Fair Housing Amendment Act (FHAA) or the Americans with Disabilities Act (ADA) and are living in the Community Living Arrangement because of their disability or handicap. In the latter circumstance, compliance with §62.23 (7)(i) is not required.**

Section Nine:

Subsection 3.10 A. of the Zoning Ordinance for the City of

Kenosha, Wisconsin, is hereby amended as follows:

3.10 RM-1 MULTIPLE-FAMILY RESIDENTIAL DISTRICT

The primary purpose and characteristics of the Rm-1 Multiple Family Residential District are intended to provide for areas which are occupied by multiple family residences not exceeding eleven (11) dwelling units per lot. Multiple family residential development density shall comply with Section 4.05.

A. Permitted Uses.

1. Two-family residences.
2. Community Living Arrangements with a capacity for fifteen (15) or fewer persons **that which are either (a) in conformance with §62.23 (7)(i), Wisconsin Statutes or (b) not in conformance with §62.23 (7)(i), but all of the persons served are disabled or handicapped under the Fair Housing Amendment Act (FHAA) or the Americans with Disabilities Act (ADA), and are living in the Community Living Arrangements facility because of their disability or handicap.**
3. Educational institutions, limited to public and private elementary and secondary schools, including related administrative offices.
4. Fraternity or sorority houses with a capacity for fifteen (15) or fewer persons.
5. Historic monuments.
6. Public service buildings and uses, limited to fire and police stations and public emergency centers.
7. Public parks and playgrounds, including buildings and grounds, and properly licensed concessions.
8. Religious institutions including churches, chapels, temples, synagogues, convents, seminaries, rectories, parsonages, parish houses and residential quarters for clergy. Such quarters are permitted to be located on the same lot with a religious institution.
9. **Elderly housing not to exceed eleven (11) units per lot or twelve (12) units per acre, whichever is less.**

Section Ten:

Subsection 3.11 A. of the Zoning Ordinance for the City of

Kenosha, Wisconsin, is hereby amended as follows:

3.11 RM-2 MULTIPLE-FAMILY RESIDENTIAL DISTRICT

The primary purpose and characteristics of the Rm-2 Multiple Family Residential District are intended

to provide for areas which are occupied by multiple family residences containing three (3) dwelling units or more per lot. Multiple family residential development density shall comply with Section 4.05.

A. Permitted Uses.

1. Community Living Arrangements with capacity for fifteen (15) or fewer persons ~~which that~~ are either (a) in conformance with §62.23 (7) (i), Wisconsin Statutes or (b) not in conformance with §62.23 (7)(i), but all of the persons served are disabled or handicapped under the Fair Housing Amendment Act (FHAA) or the Americans with Disabilities Act (ADA) and are living in the Community Living Arrangements facility because of their disability or handicap.
2. Educational institutions, limited to public and private elementary and secondary schools, including related administrative offices.
3. Fraternity or sorority houses.
4. Historic monuments.
5. Public service buildings and uses, limited to fire and police stations and public emergency centers.
6. Public parks and playgrounds, including buildings and grounds, and properly licensed concessions.
7. Religious institutions including churches, chapels, temples, synagogues, convents, seminaries, rectories, parsonages, parish houses and residential quarters for clergy. Such quarters are permitted to be located on the same lot with a religious institution.
8. Elderly housing not to exceed fifteen (15) units per lot or twelve (12) units per acre, whichever is less.

Section Eleven:

Subparagraphs 3.13 C.1, 3.14 C.3, 3.15 C.3 and 3.19 C.2

of the Zoning Ordinance for the City of Kenosha, Wisconsin, are hereby repealed and recreated as follows:

1. Community Living Arrangements, either (a) in conformance with §62.23 (7) (i), Wisconsin Statutes, or (b) not in conformance with §62.23 (7)(i) but all of the persons served are disabled or handicapped under the Fair Housing Amendment Act (FHAA) or the Americans with Disabilities Act (ADA), and are living in the Community Living Arrangement because of their disability or handicap. In the latter circumstance, compliance with §62.23 (7)(i) is not required.

Section Twelve:

Subparagraph 3.115 C.1 of the Zoning Ordinance for the

City of Kenosha, Wisconsin, is hereby repealed and recreated as follows:

1. Elderly housing of more than eight (8) units, elderly and handicapped community living arrangements and assisted living facilities. Assisted living facilities shall be in conformance with Section 50.034, Wisconsin Statutes, and Chapter HFS-89, Wisconsin Administrative Code. Community Living Arrangements for elderly or handicapped persons must either (a) be in conformance with §62.23 (7)(i), Wisconsin Statutes, or (b) not be in conformance with §62.23 (7)(i) but all of the persons served are disabled or handicapped under the Fair Housing Amendment Act (FHAA) or the Americans with Disabilities Act (ADA), and are living in the Community Living Arrangement because of their disability or handicap. In the latter circumstance, compliance with §62.23 (7)(i) is not required.

Section Thirteen: Subparagraph 3.155 C.3 of the Zoning Ordinance for the City of

Kenosha, Wisconsin, is hereby repealed and recreated as follows:

3. Community Living Arrangements, ~~that are both:~~

~~(a) in conformance with §62.23 (7)(I), Wisconsin Statutes, and Subparagraph 4.06 A.1., Zoning Ordinance; and (b) either (i) in conformance with §62.23 (7)(i), Wisconsin Statutes, or (ii) not in conformance with §62.23 (7)(i) but all of the persons served are disabled or handicapped under the Fair Housing Amendment Act (FHAA) or the Americans with Disabilities Act (ADA) and are living in the Community Living Arrangement because of their disability or handicap. In the latter circumstance, compliance with §62.23 (7)(i) is not required.~~

Section Fourteen: Subparagraph 3.155 E.2 of the Zoning Ordinance for the

City of Kenosha, Wisconsin, is hereby repealed and recreated as follows:

2. Commercial, Office, Institutional, Multiple-Family Residential, Elderly and/or Handicapped Multi-Family Units, Elderly and Handicapped Community Living Arrangements and Assisted Living Facilities.

~~a. There shall be no minimum lot area or width requirements, except that for Commercial, Office, Institutional, Multiple-Family Residential, or Elderly and/or Handicapped Multi-Family uses, shall be required to have a minimum of five hundred (500) square feet of lot area per dwelling unit.~~

~~b. Lots used for Community Living Arrangements, Elderly and Handicapped Community Living Arrangements and Assisted Living Facilities shall be required to have a minimum of five hundred (500) square feet of lot area per bed.~~

Section Fifteen: This Ordinance shall become effective upon passage and

publication.

ATTEST: _____ City Clerk

APPROVED: _____ Mayor

Passed:

Published:

Drafted By:
EDWARD R. ANTARAMIAN
City Attorney