



CITY PLAN COMMISSION

Agenda

****SPECIAL MEETING****

Monday, October 19, 2015 at 5:00 pm

Municipal Building

625 52nd Street - Room 204 - Kenosha, WI 53140

Mayor Keith Bosman - Chairman, Alderperson Scott Gordon - Vice-Chairman

Alderperson Jan Michalski, Alderperson Kurt Wicklund,

Patrick DeGrace, Anita Faraone, Robert Hayden, Bradley Kleba, Anderson Lattimore and Jessica Olson

Call to Order and Roll Call

1. Conditional Use Permit for a Distribution Facility to be located at the Northwest Corner of 38th Street and the West Frontage Road. (ULINE Distribution Facility) (District 16) PUBLIC HEARING
2. Request for Relief to the off-street parking requirements of Section 6.01 of the Zoning Ordinance for a distribution facility to be located at the Northwest Corner of 38th Street and the West Frontage Road. (Uline Distribution Facility) (District 16) PUBLIC HEARING

Public Comments

Commissioner Comments

Staff Comments

Adjournment

*If you are disabled in need of assistance, please call 262.653.4030 at least 72 hours before this meeting.
Notice is hereby given that a majority of the members of the Common Council may be present at the meeting.
Although this may constitute a quorum of the Common Council, the Council will not take any action at this meeting.*

Conditional Use Permit for a Distribution Facility to be located at the Northwest Corner of 38th Street and the West Frontage Road. (ULINE Distribution Facility) (District 16) PUBLIC HEARING

NOTIFICATIONS AND APPROVAL REQUIREMENTS:

Aldersperson Johnson, District 16, has been notified. The Common Council is the final review authority.

LOCATION AND ANALYSIS:

Site: Northwest Corner of 38th Street and the West Frontage Road

Zoned: M-2 Heavy Manufacturing / C-2 Lowland Resource Conservancy / AIR-4 Airport Overlay District

Overview:

The applicant is proposing to construct an 800,000 s.f. distribution facility, which will also include an 80,000 s.f. office space over two (2) floors. The building would be constructed on land that has recently been annexed from the Town of Paris to the City of Kenosha.

Building:

The proposed building exterior materials are architectural precast panels and glass. The office area will have a pitched standing-seam metal roof. The warehouse will have a flat roof.

Site:

1. The proposed site will have three (3) access points:
 - a. One access on the frontage road will be for employees and visitors.
 - b. The second access point will be on 128th Avenue, which will be constructed as a part of this project. This access will be the main entry/exit for trucks.
 - c. The third access point will be on 38th Street, which will be for additional employee parking and a secondary access for trucks.
2. This application is for the first phase of a potentially multi-phase development.

Development Agreement:

1. A Development Agreement will be needed for this development. Sanitary sewer and water mains are located generally at the intersection of the West Frontage Road and 38th Street (CTH N). The developer, through a Development Agreement, will be responsible for extending those utilities to serve this development.
2. Also, as part of the Development Agreement, the developer will be responsible to upgrade 38th Street (CTH N) from the West Frontage Road to 128th Avenue from a rural cross-section to an urban cross-section. A new road will also need to be constructed from 38th Street to STH 142 in alignment with 128th Avenue. Some improvements will be needed in the West Frontage Road right-of-way.
3. A Traffic Impact Analysis (TIA) was prepared for the development. The Wisconsin Department of Transportation (WisDOT) must review the TIA since it impacts several roads under their jurisdiction.

The results of the WisDOT review and the City review will be incorporated in to the Development Agreement.

4. The Development Agreement will require review by the City Plan Commission, Public Works Committee, Board of Water Commissioners and the Common Council. The Agreement is being prepared, but no date has been set for review.

Certified Survey Map:

1. The applicant has also prepared and submitted a Certified Survey Map (CSM) to combine all of the lots annexed from the Town of Paris related to this development. The CSM will also dedicate right-of-way for roadway improvements.
2. The CSM will be reviewed by the City Plan Commission, Public Works Committee and the Common Council. The CSM is currently under review and will appear on a future agenda with the Development Agreement.

Off-Street Parking:

Relief to the requirements of Chapter 6 of the Zoning Ordinance relating to off-street parking are required for this project as presented. The City Plan Commission is the review authority for this relief. A detailed analysis is provided in the next agenda item.

Environmental / Wetlands:

The development site has several wetlands delineated. As part of the development, several of the wetlands will have to be removed or mitigated. The applicant is working with the Wisconsin Department of Natural Resources (WDNR) and the Army Corps of Engineers (ACOE) to mitigate these wetlands. Approval and permits from the WDNR and ACOE will be necessary before the applicant is able to begin any site work.

Analysis:

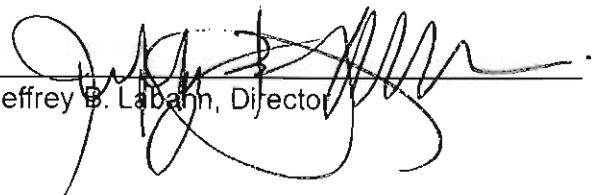
1. The attached Conditions of Approval encompass many approvals that must be received before any site work or development can occur. The Conditional Use Permit is one of those approvals, and the applicant has chosen to request approval of the Conditional Use Permit at this time, knowing that several other approvals from City, County, State and Federal agencies are still necessary in order to commence the development. Staff supports the Conditional Use Permit application and has been working closely with the applicant on all of the other approvals that are necessary. The applicant is also aware that if any plans change due to the other non-City approvals, the Conditional Use Permit must come back to the Common Council for approval.
2. The plans were sent to City Departments for their review. Their comments are included in the attached conditions of approval.
3. The plans generally comply with Sections 4 and 14 of the Zoning Ordinance.

RECOMMENDATION:

A recommendation is made to approve the Conditional Use Permit, subject to the attached Conditions of Approval.



Brian Wilke, Development Coordinator



Jeffrey B. Labahn, Director

The following Conditions of Approval will run with the land and shall be included in a document recorded with the Kenosha County Register of Deeds:

1. Prior to commencing any land alterations or disturbances that may result in soil erosion, sedimentation, or change in runoff, including, but not limited to, removal of ground cover, grading, excavating and filling of land, the following must occur:
 - a. The applicant must obtain Erosion Control and Raze permits from the Department of Community Development and Inspections, and Post-Construction Runoff permits from the Director of Public Works and any other applicable permits required by the City of Kenosha Zoning Ordinance or Code of General Ordinances.
 - b. The applicant must have obtained all required and applicable permits from State, County and Federal agencies and departments.
 - c. The *Development Agreement Between the City of Kenosha, Kenosha Water Utility, Bridge Development Partners, LLC and Route 142, LLC* must be approved by all parties and executed by all parties. All required approved exhibits must be provided and all required assurances in an acceptable format shall be posted with the City of Kenosha and the Kenosha Water Utility.
 - d. A Certified Survey Map for the site must be submitted and reviewed by the City Plan Commission and Public Works Committee and have been approved by the Common Council, executed by all parties and recorded with the Kenosha County Register of Deeds.
 - e. The applicant shall submit approval in writing and copies of all applicable permits from the Wisconsin Department of Natural Resources and Army Corps of Engineers to modify or remove any wetlands on the site.
 - f. The applicant shall submit approval in writing from the Wisconsin Department of Transportation regarding the amended Traffic Impact Analysis prepared by Traffic Analysis & Design, Inc. to the City of Kenosha.
 - g. The plans to implement the results and conclusions of any of the Environmental Reports provided by Professional Service Industries, Inc. must be submitted to the City of Kenosha for review and approval.
 - h. Approvals must be obtained for all easements for storm sewer and stormwater pond maintenance from the Common Council.
 - i. Approvals must be obtained for all easements for public water main and sanitary sewer from the Board of Water Commissioners.
 - j. Approval of the Stormwater Maintenance Agreement must be obtained from the Common Council.
2. Prior to the issuance of any type of Occupancy certificate or permit, the following must occur:

- a. The applicant shall obtain all construction permits required by the Department of Community Development & Inspections. This includes, but is not limited to Footing and Foundation, Building, Plumbing, Electrical, HVAC, Fence, Trash Enclosure and Occupancy permits.
 - b. The applicant shall obtain all permits required by the Department of Public Works, including, but not limited to Driveway, Street Opening and Parking Lot permits.
 - c. The applicant shall obtain all required permits from State, County and Federal agencies and departments.
 - d. Prior to the issuance of a Temporary Certificate of Occupancy:
 - i. All parking areas, drives and designated paved areas shall have the initial lift of asphalt or concrete installed and parking stalls marked.
 - ii. The building exterior shall be completed per the approved plans.
 - iii. The exterior lighting shall be installed and operational.
 - iv. The Conditional Use Permit shall be recorded with the Kenosha County Register of Deeds. The recording fees for the Conditional Use Permit shall be submitted by the applicant.
 - v. Any applicable requirements noted in the *Development Agreement Between the City of Kenosha, Kenosha Water Utility, Bridge Development Partners, LLC and Route 142, LLC* required to be completed prior to the issuance of a Temporary Certificate of Occupancy Permit shall be completed.
 - vi. Stormwater retention basins shall be fully constructed and operational to design standards.
 - e. Prior to the issuance of a Final Certificate of Occupancy Permit:
 - i. All parking areas, drives and designated paved areas shall have the final lift of asphalt or concrete installed and parking stalls marked.
 - ii. The building exterior shall be completed per the approved plans.
 - iii. The exterior lighting shall be installed and operational.
 - iv. The Conditional Use Permit shall be recorded with the Kenosha County Register of Deeds. The recording fees for the Conditional Use Permit shall be submitted by the applicant.
 - v. Any applicable requirements noted in the *Development Agreement Between the City of Kenosha, Kenosha Water Utility, Bridge Development Partners, LLC and Route 142, LLC* required to be completed prior to the issuance of a Final Certificate of Occupancy Permit shall be completed.
 - vi. Stormwater retention basins shall be fully constructed and operational to design standards.
 - vii. All other improvements indicated on the plans shall be installed or completed.
 - f. The applicant shall comply with all Conditions of Approval set forth herein and obtain a construction permit within twelve (12) months of Common Council approval of the Conditional Use Permit or the Conditional Use Permit shall be null and void.
 - g. Prior to issuance of the Final Certificate of Occupancy of the building, the applicant shall provide an electronic copy of the following information satisfactory to the Fire Prevention Bureau:
 - i. Site Plan as-built
 - ii. Floor Plan as-built
 - iii. Site Utilities
 - iv. Sprinkler Plans
 - v. Fire Alarm Plans
 - h. The three (3") inch domestic water meter will incur a sanitary sewer connection fee of \$49,222.00 which must be paid prior to connecting to the public main.
3. The following Conditions shall run with the land and be enforced before, during and after construction:

- a. All signs shall comply with Chapter 15 of the Code of General Ordinances and the applicant shall obtain sign permits for all new signs for which a permit is required. A separate submission and permits are required for all signs. Sign information provided under the Conditional Use Permit is for reference only and does not constitute sign permit approval.
 - b. The development shall be constructed per the approved plans on file with the Department of Community Development & Inspections, Room 308, 625 52nd Street, Kenosha, WI 53140. ***Any*** changes to the approved plans shall require an amendment to the Conditional Use Permit. All changes to the approved plans shall be submitted to the Department of Community Development & Inspections for review and approval by the appropriate review authority as required by the Zoning Ordinance before any work is performed.
 - c. Compliance with City, County, State and Federal Codes and Ordinances and the *Development Agreement Between the City of Kenosha, Kenosha Water Utility, Bridge Development Partners, LLC and Route 142, LLC*. The buildings shall comply with the current Code standards in effect upon application for a building permit.
 - d. Upon receiving any Certificate of Occupancy, all trash containers shall be stored within an enclosure or building. The applicant/owner shall be responsible for waste collection and removal for the development. The City of Kenosha shall not provide waste collection or removal services or incur any cost in this regard. Trash compactors are exempt from the screening requirement.
 - e. All vehicles shall be parked within the designated paved areas after receiving any Certificate of Occupancy.
 - f. All improvements, including landscaping, shall be maintained per the approved plans. Any damaged fencing, landscaping or building shall be replaced or reconstructed per the approved plans.
 - g. Cross access shall be provided to adjacent parcels if required at a future date by the City if the property is further divided.
 - h. Compliance with Section 9.28 of the Code of General Ordinances entitled "Structural Interference with Public Safety Radio Communication".
4. Plan Amendments Required prior to issuance of any permits or any site work occurring on the site:
- a. The Drainage Plan shall be revised and resubmitted for review and approval by the City addressing comments listed in the Public Works memo dated September 28, 2015, and any subsequent review letters.
 - b. The Utility Plan shall be revised and resubmitted for review and approval addressing comments listed in the Kenosha Water Utility memo dated September 28, 2015 and any subsequent review letters.
 - c. The Fire Protection Site Plan shall be amended to show the following:
 - i. All yard Fire Loop hydrants shall have 5" Stortz connections on 4" steamer outlets and the hydrants are to be painted yellow.
 - ii. The City fed hydrants shall also have 5" Stortz connections.
 - iii. The area by the remote Fire Department connection shall be wider than fifty feet (50')
 - iv. Multiple small, wall-mounted lock boxes for securing access keys to buildings for fire departments, Emergency Medical Services, and police to retrieve in emergency situations of the type sold as Knox Box® Rapid Entry System are to be located at the discretion of any authority having jurisdiction.



THE CITY OF
KENOSHA
PUBLIC WORKS
ENGINEERING

TO: Brian Wilke, Development Coordinator

FROM: Shelly Billingsley, P.E.
City Engineer

Shelly Billingsley 9-29-15

DATE: September 28, 2015

SUBJECT: PLAN REVIEW COMMENTS

Project Description: Uline Development – 100% Plan Review (4th Submittal)

Location: Btwn 38th Street and WI-142 & 128th Avenue and WFR of I-94

Summary of outstanding comments:

1. **Public Street Comment:** New comment for September 29, 2015
2. **Grading & Drainage Comments:** Comments still open are #17, #21, #22, #24, #29, and new comments for September 29, 2015.
3. **Traffic Comments:** Comments still open are #1, #12, and new comment for September 29, 2015.

Public Street:

1. City reviewed the 30% plans for the 128th Avenue (including intersections of HWY 142 and 38th Street) and 38th Street. Comments have been provided to Bridge Development on July 21, 2015.

Public Street Comment (NEW FOR SEPTEMBER 29, 2015 MEETING):

2. Variance for driveway configuration at 38th Street has not been approved until the TIA approved by WisDOT as stated in the August 11, 2015 letter from the City.
3. Any improvements that are located on the ULINE plans, but are the responsibility of Bridge Development need to be marked as described in the Developer's Agreement. (i.e. Bridge Street Improvements and Curb and Gutter, Bridge Storm Water Drainage Facility, Bridge Landscaping, Bridge LED Street Light System....)

Grading & Drainage Comments (FROM JULY 15th, 2015 MEETING):

1. From the stormwater management plan submitted, there are portions of the proposed 128th Ave ("West Road Area"), as well as the majority of 38th Street ("South Road Area") tributary to the proposed storm sewer system and ponds on the ULINE site. In order to finalize a review on the stormwater management to proceed with grading of the site, there needs to be verification on how these areas will tie into the storm sewer system on the ULINE site. As of this point, inlet locations and storm sewer piping has not been submitted for the roadway portion draining into the ULINE stormwater ponds. **COMPLETED**
2. In addition to Comment #1 above, the outlet of the ULINE stormwater pond is currently shown to discharge into the existing ditch on the north side of 38th Street. This drains into an existing 36" culvert referred to as "South Area 36" Outlet Culvert" on the SWMP. Since it appears that the roadway plans for 38th Street are also modifying the amount of drainage contributing to this 36" culvert, as well as modifying the configuring of the existing ditch, detailed information on the stormwater calculations for this area are also required before a review on the ULINE SWMP can be finalized. This will also include the proposed pond and outlet located on the northwest corner of the intersection

of 38th Street with the proposed 128th Ave as well as the 169 acres of offsite drainage area referred to as the "Southwest Offsite Area" which seems to be diverted to this ditch along 38th Street. Since the three components (Southwest Offsite Area, proposed pond west of 128th Ave, and ULINE stormwater pond outlet) all converge downstream, these areas need to be included in the same SWMP, or at least addressed with similar detail as the ULINE site prior to review and approval. COMPLETED

3. It appears that there will be a significant increase in the tributary area to the South Area 36" Outlet Culvert from existing conditions. Specifically, this area appears to drain approximately 25 acres, plus a portion of the existing roadway of 38th Street in the current scenario. If proposed, the entire ULINE development will be tributary to this culvert, upwards of 124 acres, plus the addition of at least a portion of the 169 acres of offsite drainage. Even though the drainage from ULINE's pond will be controlled release, an analysis must be performed on the South Area 36" Outlet Culvert to ensure that additional flow is not being conveyed through this culvert introducing a larger head condition on the upstream side of the culvert. COMPLETED
4. Due to some discussions of revising the location of the outlet from the ULINE pond from the South Area 36" Outlet Culvert to the Existing Central Area 36" Culvert, final detailed review of all calculations has not been performed. Once final calculations have been performed and submitted, the review can be finalized. COMPLETED
5. Storm sewer calculations for the ULINE site were received electronically via email the evening of July 14, 2015 and a full review of the calculations has not yet been performed. Similar calculations need to be submitted for the roadway areas tributary to the ULINE stormwater ponds to verify integration into the drainage system. COMPLETED
6. It shall be noted that 85% impervious surface build-out is being assumed in the SWMP, currently above the proposed impervious surface amount being proposed. SWMP should state total acreage (pervious and impervious) that the ponds are able to accommodate for future phases. COMPLETED
7. From the SWMP, the two ponds on the site were modeled as one in the HydroCAD model. Also, the pipe connecting the two is referred to as an equalizer pipe; however, the pipe has a slope of 0.67% with the lowest invert at the NWL. Once this pipe is submerged, the slope will not matter and the pipe will act as an equalizer; however, at varying levels up to this elevation, the ponds will act independently and must be modeled as such. COMPLETED
8. The sediment basin should have elevation listed in SWMP and on grading plan and also note the expected amount to be utilized during construction. COMPLETED
9. SWMP should have overall drainage areas as shown on C-20 and storm sewer calculations. The drainage area exhibit for inlets has been included in the SWMP but not in the plan set - COMPLETED
10. Provide hydraulic grade lines for all pipes draining to the pond to show 10, 50, 100-year with limits to when 100-year flow is maxed and not submerged. HGL information has not yet been submitted. COMPLETED
11. Provide downstream control calculations as required in City criteria for all points along development. Culvert percentage tables have been included in the SWMP - COMPLETED
12. Details of the pond indicate an outfall structure and overflow; however, locations of these items are not shown on the plans. Furthermore, it must be indicated where the overflow weir drains from the pond into an existing drainage system. Overflow path arrows should be added to determine the path of all water in the 100-year flood, indicating how the stormwater will reach the pond should the storm sewer system exceed capacity. COMPLETED
13. Does entire 169 acres of off-site storm water drain to the SW corner of 128th Avenue and 38th Street? Or is it divided by 38th Street? COMPLETED
14. Currently a pond is shown on the NW corner of 38th Street and the new proposed 128th Avenue. Is this pond not able to be constructed? How is off-site water getting into the ditch of ULINE's property? COMPLETED
15. If 128th Avenue design changes, how does this affect SWMP for site grading? COMPLETED
16. Ditch along north side of 38th Street handles off-site storm water, as well as, detention basin water from proposed ponds, review of this ditch needs to be coordinated with Bridge Development review as it handles both roadway storm water and site storm water. COMPLETED
17. A maintenance agreement must be submitted and approved by Stormwater Utility Committee and Common Council per Section 36.10 of t Section XXXVI: Post Construction Stormwater Ordinance. NOT YET SUBMITTED
18. Permanent easements will be needed for stormwater access including pond access around the basins. The easements shown on the plan set appear to be in compliance with City requirements - COMPLETED
19. Roadway stationing should be added to 38th Street and proposed 128th Ave on the ULINE plan set in order to be able to correlate location with the roadway plans submitted. COMPLETED
20. The two roadway plans need to correlate with ULINE's plan set. The preference is to show proposed utilities (by others) on both plan sets to ensure nothing is being overlooked. COMPLETED

21. Provide concurrence letters/approval of work letters (or permits) from Wisconsin DNR and Army Corp. This is ongoing and not yet completed
22. Erosion control plans are not reviewed as part of CUP process. They will be reviewed when an erosion control permit application is submitted to the City. This is not yet completed. This is required as part of the Erosion Control Permit
23. (Added per Pinnacle 7/31/2015): Proposed sideslopes of ponds were revised to include 4:1 slopes from top of bank to the bottom of the pond, without safety shelves. COMPLETED
24. (Added per Pinnacle 7/31/2015): Environmental Concerns Update. Pinnacle has stated that an official response is currently being obtained. This is ongoing and not yet completed. City received the PSI report dated August 20, 2015. Comments will be provided in separate letter.

Grading & Drainage Comments (NEW FOR AUGUST 11th, 2015 MEETING):

25. Per the design meeting which took place between the City of Kenosha, Clark Dietz, and Pinnacle Engineering on July 22, 2015, there were extensive revisions to the SWMP submitted Monday, August 3, 2015. While the concepts and drainage criteria discussed in the SWMP appear to be included as requested and release rates reduced, there are some items that need to be clarified to ensure that the information is summarized clearly and future phases of the development can proceed relatively quickly. We would like to request another design meeting to discuss the presentation of the summary items to clarify that all requirements of the ordinances are being met in the SWMP. In an effort to be efficient with review times and the number of revisions, each item will not be listed in this comment list. However, a few representative issues are listed as follows:
 - a. More information is necessary regarding the design parameters used to size the compensatory storage basin at the NE corner of 128th and 38th. COMPLETED
 - b. There appears to be different High Water Levels listed on the plan set versus the SWMP versus the detail on the plans. Please clarify the actual design HWL and furthermore, discuss why there is up to a 2-foot difference between the HWL and the overflow spillway elevation. COMPLETED
 - c. Please add discharge comparisons for Culvert A2 and the 18" Culvert at 38th Street. COMPLETED
 - d. The summary table for discharge needs to be organized in a way to detail the contributing areas for each major culvert comparison. This can be discussed further at the next design meeting. COMPLETED
 - e. An overall summary of discharge rate/acre for the developed area (without bypass flows) should be presented to clarify and show compliance with the Des Plaines Ordinance. Currently, flow being bypassed, undetained flows and detained flows are summarized together. The table given in the SWMP details an aggregate release rate which includes offsite flow and holds that release to existing condition rates. It is understood that the rationale for this is due to the complexity of the site with regards to the compensatory storage basin and the inability to distinguish release rates from offsite areas versus onsite areas. Undetained roadway flow from 128th is being partially detained in the compensatory storage basin and therefore reduced from total site release rates. Quick calculations using the rational method and an assumption on partial detainage were computed for the 100-year storm and it is our opinion that the site does meet Des Plaines release rate requirements of 0.30 cfs/acre (average). It shall be noted that the most accurate way of presenting the information is to include the offsite flows into the release rate computations, although not typical. COMPLETED
26. Per the City Stormwater Management Criteria Checklist, the overflow weir should be sized to pass the 100-year, 24-hour flow assuming a blocked pond outlet. This overflow must be constructed of either 4" concrete or sod covering 18 inches of medium sized buried riprap with a thin layer of topsoil. The riprap must extend to limits as described in the Stormwater Management Criteria checklist. Please update details and plans accordingly. The 1 foot of freeboard required must be from the designed water elevation of the 100-year, 24-hour flow over the weir assuming a blocked outlet. COMPLETED
27. Per the City Stormwater Management Criteria Checklist, an anti-seep collar must be provided which extends twice the pipe diameter in all directions (not to exceed 5 feet horizontally and 3 feet vertically), and be a minimum of 18" thick and constructed of poured concrete at the berm midpoint. COMPLETED
28. Construction sequencing must be clarified for the compensatory storage basin and downstream channel along 38th Street. An intermediate grading plan for this area should be included in the plan set to show the 2015 construction limits and intent of stormwater functioning in the interim until the remainder of 128th can be built. If full grading of this area is meant to take place, the construction of the overflow channel along 38th Street must also be constructed at

this time. Construction sequencing has been included in the SWMP and interim/final grading plans were shown in the plan set – COMPLETED

29. Due to the possibility of perched groundwater on the site and the installation of a clay liner in the pond, please confirm that calculations have been made to confirm that the buoyancy of this liner will not become an issue during construction. Verify type of liner. If perched ground water becomes an issue during construction how will it be handled as the PSI report dated August 20, 2015 did not address this issue. (Existing adjacent grade is 728 and pond will be excavated to 714)

Grading & Drainage Comments (NEW FOR SEPTEMBER 1, 2015 MEETING):

30. The plan set need to be updated to show the revised overflow weir sizing and location. The SWMP refers to a 135' weir (in two locations); however, the detail in the SWMP indicates a 70' weir and the plan set still shows a 30' weir. Furthermore, the grading plan needs to be updated to show the most recent locations of the overflow weirs. COMPLETED
31. Per ordinance, outlet structures must be equipped with a trash grate with an open area of four times the orifice protected or four square feet, whichever is greater. Details on the opening requirements can be found in the Stormwater Management Criteria provided by the City. COMPLETED
32. Clarify what the normal water level of the north and south ponds are. The grading plan and utility plan do not match (722 and 721). SWMP states 721. COMPLETED
33. Label elevation of the emergency spillway of 727.80. COMPLETED
34. Mark wetlands that are being eliminated with a "X" and label them "Part of DNR general permit" COMPLETED
35. The 10' Pond easement should not be over spillways or the equalizer area between the ponds. Please connect the pond areas by an easement that would not require a vehicle to drive over these areas. COMPLETED

Grading & Drainage Comments (NEW FOR SEPTEMBER 29, 2015 MEETING):

36. Storm sewer line shown in HGL Profile 8 and 8.1 show submerged pipe into 38th Street. Can the line be modified (i.e. elliptical pipe) to prevent sewer backup into the roadway.
37. From the PSI report dated September 14, 2015 please address the following:
 - a. On page 3 of the update it mentions that "...however, none were at levels that exceed the current WDNR NR140 Preventative Action Limits (PALs) or Enforcement Standard (ES)." However in the Phase II report for 3610 120th Avenue on page 2 it states that PAHs Benzo(a)pyrene and Chrysene were detected in perched GW above NR 140 (ES). Also in Phase II report for 3712 120th Avenue on page 1 it states "few PAHs were also detected in one (1) of the shallow perched groundwater samples (GP-1) at levels....exceed NR140(PALs). Please elaborate on what tests were performed for the Update. Were no further testing done in GP-1 for example?"
 - b. Staff concern is with the perched groundwater being the path of migration when the Stormwater Ponds are excavated to Elevation 714 that the path of least resistance will naturally be to this location until the ponds liners are installed adequately - until then what is the path to reduce impact. which may change the perched groundwater flow and maybe groundwater flow from east-southeast to west - southwest which is what the main concern is and needs to be addressed.
38. Any improvements that are located on the ULINE plans, but are the responsibility of Bridge Development need to be marked as described in the Developer's Agreement. (i.e. Bridge Street Improvements and Curb and Gutter, Bridge Storm Water Drainage Facility, Bridge Landscaping, Bridge LED Street Light System....)

Traffic Comments:

1. It appears that the Proposed Uline Property Accesses have changed from the T.I.A. prepared by Traffic Analysis & Design (T.A.D.I.) where it shows multiple accesses on both sides of 38th Street. Now that it is narrowed down to one (1) common location, this will require the T.I.A. to be revisited since the traffic volumes will now be concentrated to one location. This should probably be looked at as an intersection for traffic control. Also, the TWLTL that is being proposed should now consider being just a Dedicated Left Turn Lane from both directions so as to not create confusion. The concept of placing a TWLTL was likely due to having many driveway access points along 38th Street. TIA was reviewed and comments were provided. if comments are incorporated, then this COMPLETED
2. On the civil plans, need to show the remainder of 128th Street to WI-142. COMPLETED
3. Need to show the proposed detention pond in the southeast quadrant of 128th Avenue and WI-142. COMPLETED
4. Copy Site Data Table shown on sheet C-3 to the Grading Plan Sheets. COMPLETED
5. Provide number of total stalls and number of ADA accessible/Van accessible stalls. Verify ADA requirement is being met. COMPLETED, unless additional stalls are added due to requirement. Variance for number of parking stalls is through the Department of Community Development and Inspections.

6. Should consider modifying the South Entrance width onto 38th Street. Based on the current 30 foot opening, a WB-67 cannot enter the site at the same time someone is leaving. COMPLETED since statement made in variance letter to city indicating this entrance will not be a truck route into facility.
7. At the intersection with Uline's West Access and 128th Avenue, the 128th Avenue is dashed and the bypass lane and the right turn lane are shown as being proposed. This is likely being shown this way to imply that it is being done as part of Bridge's work. However, I think that this should all be constructed at one time to eliminate having to remove over 1,000 linear feet of Curb & Gutter to attach more lanes and transitions. Constructing these at separate time will only cause undesirable pavement cuts and joints to be in the new pavement and will require maintenance sooner on pavement that is being designed for over 20 years before maintenance is required. COMPLETED
8. The driveway openings (south & west) together with their configurations do not follow the City Ordinance. This needs approval of both the City Engineer and City Traffic Engineer for the 52 foot opening with a Street Type Opening. COMPLETED
9. At the East Entrance onto the West Frontage Road, need to change the bypass lane edge of pavement to a curve and not a tangent line since the existing alignment is on a curve. COMPLETED
10. Typical section call-out on Sheet C-9 refers to look elsewhere, but not sure where this is referring to since there is no typical section in the construction detail sheets. COMPLETED
11. The Lighting Calculation Table Criteria shows values that exceed the IESNA Standards. In particular, the Max/Min values should either be 20:1 for Basic Design or 15:1 for Enhanced Design. COMPLETED
12. Review is required by the County for 38th Street access and by the state for the access off the West Frontage Road. Provide any State and County comments.

New Comments for September 1, 2015

1. The West Frontage Road access needs to be consistent with the revised TIA. This is based on discussion regarding the location of the access point relative to the current intersection with 120th Avenue. This was addressed in the revised TIA Supplement, COMPLETED
2. Need to provide grades in the north parking lot where the sidewalk goes through the medians. There currently shows an area that is flat through the sidewalks when there should be a high point. COMPLETED

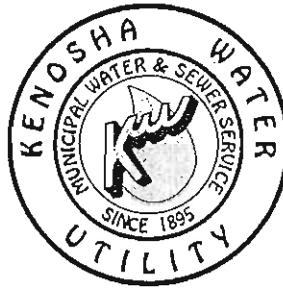
New Comments for September 29, 2015

1. Verify parkway trees and lighting along 38th Street and 128th Avenue are being installed under the Bridge Roadway Plans.
2. Any improvements that are located on the ULINE plans, but are the responsibility of Bridge Development need to be marked as described in the Developer's Agreement. (i.e. Bridge Street Improvements and Curb and Gutter, Bridge Storm Water Drainage Facility, Bridge Landscaping, Bridge LED Street Light System....)

cc: Cathy Austin; Shelly Billingsley; Kile Kuhlmeier; Gerard Koehler, Kevin Risch

Engineering Services
4401 Green Bay Road
Kenosha WI 53144

Phone (262) 653-4315
Fax (262) 653-4303



"Providing and Protecting Kenosha's Greatest Natural Resource"

MEMO

To: Brian Wilke, Development Coordinator

From: Ian C. Bagley, P.E., Water Engineer

Date: September 28, 2015

Subject: Uline Distribution Facility Revised Plans (Review #4)

Location: Northwest Corner of 38th Street and West Frontage Road

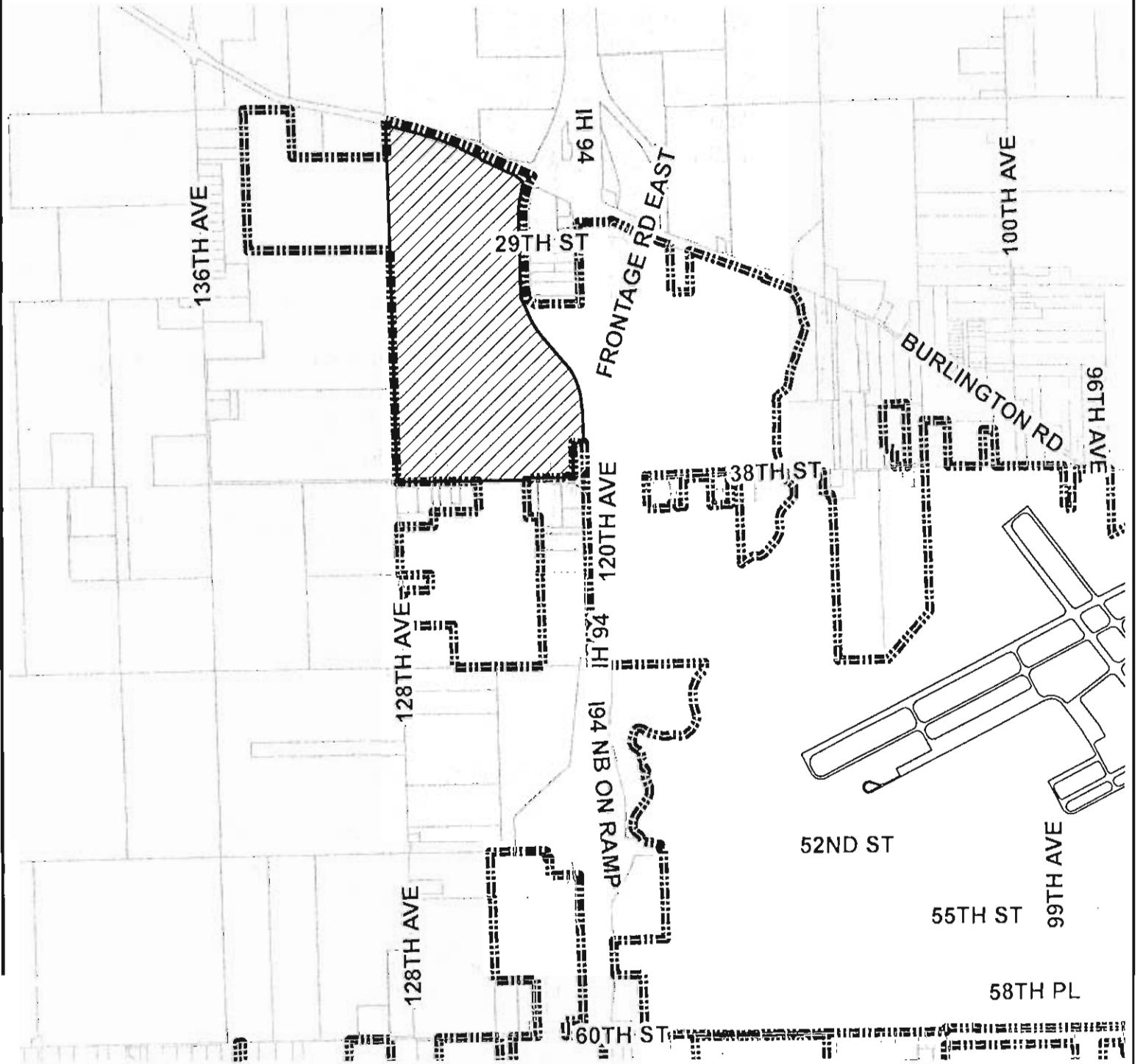
The Kenosha Water Utility (KWU) has reviewed the submittal for the above referenced project. The majority of our comments have been addressed with this latest submittal. KWU recommends approval of the project subject to the following conditions:

1. Although updated to say "as manufactured by Adaptor, Inc." the Outside Drop Manhole Detail on Sheet C-40 still calls for an "internal rubber boot". This can cause confusion because the contractor may think that an internal seal is acceptable. Please update the detail to state "internal external seal".
2. On Sheet L-105 of the landscaping plans, there are deciduous and evergreen trees shown within the sanitary sewer easement. Due to the narrow easement (15' in width) the trees will either need to be moved out of the easement or the easement will need to be widened so that KWU equipment can traverse the easement without leaving its boundary.

CC: Mr. Robert Carlson, P.E., Director of Engineering Services

City of Kenosha

Vicinity Map
Uline CUP



 Subject Property



0 2,000

Feet

**Development Review Application
City of Kenosha, Wisconsin**

MAILING INFORMATION

NAME OF PROJECT: Uline Branch Distribution Facility

Check one (1) of the following boxes to indicate the recipient of all correspondence:

<input checked="" type="radio"/>	Name and Address of Applicant [Please print]: Brad Folkert Route 142, LLC. 12575 Uline Drive Pleasant Prairie, WI 53158	Phone: (262)612-4200 Ext. 5590 Fax: E-Mail: bfolkert@uline.com
<input type="radio"/>	Name and Address of Architect/Engineer [Please print]: John Chapman Hammel Green & Abrahamson, Inc. 333 East Erie Street Milwaukee, WI 53202	Phone: (414)278-8200 Fax: E-Mail: jchapman@hga.com
<input type="radio"/>	Name and Address of Property Owner (if other than applicant) [Please print]: _____ _____ _____	Phone: _____ Fax: _____ E-Mail: _____

PROJECT LOCATION

Location of Development (street address and / or parcel number): W Frontage road (120th Ave) between 38th Street and Hwy 142

TYPE OF LAND DEVELOPMENT

Check all that apply. Note: Additional information may be required within individual Sections.

<input type="checkbox"/>	Certified Survey Map	Section 1	Page 3
<input type="checkbox"/>	Concept Review (<i>Land Division</i>)	Section 2	Page 4
<input type="checkbox"/>	Concept Review (Multi-Family Residential or Non-Residential)	Section 3	Page 5
<input checked="" type="checkbox"/>	Conditional Use Permit	Section 4	Pages 6 & 7
<input type="checkbox"/>	Developer's Agreement	Section 5	Page 8
<input type="checkbox"/>	Final Plat	Section 6	Pages 9 & 10
<input type="checkbox"/>	Lot Line Adjustment Survey	Section 7	Page 11
<input type="checkbox"/>	Preliminary Plat	Section 8	Pages 12 & 13
<input type="checkbox"/>	Rezoning	Section 9	Pages 14 & 15
<input type="checkbox"/>	Site Plan Review	Section 10	Pages 16 & 17

**PRIOR TO SUBMITTING THIS APPLICATION TO THE DEPARTMENT OF CITY DEVELOPMENT,
PLEASE REVIEW THE APPROPRIATE SECTION(S) FOR FEES, REQUIREMENTS AND APPROPRIATE APPENDICES.**

*Submit this cover page, completed application, applicable section(s) and appendices
along with ALL required plans, information and fees to:*

Department of Community Development & Inspections
Planning Division
625 52nd Street, Room 308
Kenosha, WI 53140

Phone: 262.653.4030
Fax: 262.653.4045

Office Hours:
M - F 8:00 am - 4:30 pm

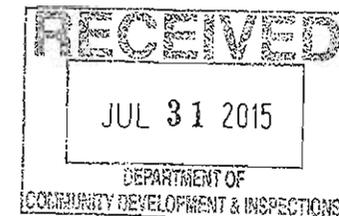
**SECTION 4
CONDITIONAL USE PERMIT**

Additional Information Required:	Building or Addition Square Footage: <u>800,000 SF warehouse + 80,000 SF office</u> Existing Building Size: <u>NA</u> Site Size: <u>APPROX 250 ACRES</u> Current # of Employees <u>0</u> Anticipated # of New Employees <u>497</u> Anticipated Value of Improvements <u>\$74 MM</u>			
Submittal Requirements:	<ul style="list-style-type: none"> ➤ Ten (10) full size scaled copies of Specified Plans indicated below drawn at a standard engineering scale ➤ Developer Site Plan/Conditional Use Permit Checklist (Appendix A) 			
If Item to be Reviewed by Plan Commission/Common Council must Submit:	<ul style="list-style-type: none"> ➤ One (1) 8 1/2" x 11" reduction <i>or</i> twenty (20) 11" x 17" reductions of the Site/Landscape Plan, Floor Plan and Colored Building Elevations (all sides) ➤ Sample Board containing colored samples of all exterior building materials 			
Fees:	Level 1	Building or Addition Size <= 10,000 sq. ft.	Site size <= 1 acre	Review Fee \$900 = City Plan Dept. <i>or</i> \$1,025 = CPC/CC
	Level 2	10,001 - 50,000 sq. ft.	1.01 - 10 acres	\$1,175 = City Plan Dept. <i>or</i> \$1,300 = CPC/CC
	Level 3	50,001 - 100,000 sq. ft.	10.01 - 25 acres	\$1,600 = City Plan Dept. <i>or</i> \$1,725 = CPC/CC
	Level 4	> 100,001 sq. ft.	> 25.01 acres	\$2,000 = City Plan Dept. <i>or</i> \$2,125 = CPC/CC
	<ul style="list-style-type: none"> ➤ If building size or addition and gross acreage of the site determine two (2) different fees, the greater of the two fees will be assessed. ➤ Application fee entitles applicant to an initial review and one re-submittal. ➤ Re-submittal fee = \$425 per re-submittal after two (2) permitted reviews. ➤ CUP Amendment = 50% of the applicable fee as determined above. 			
Appendices to Review:	➤ All			
Approximate Review Time:	<ul style="list-style-type: none"> ➤ 30 days for Staff Review ➤ 45-60 days for City Plan Commission/Common Council Review 			
The conditional use permit plans, <i>prepared to a standard engineering scale</i> , shall be submitted with this application & shall include the following information:				
Building Plan:	<ul style="list-style-type: none"> ➤ Layout of building(s) including size and layout of rooms ➤ Design and architecture ➤ Plans and details on fire suppression and/or standpipe ➤ Plans and details on fire detection, fire alarm and other safety devices 			
Site Plan (based on a plat of survey)	<ul style="list-style-type: none"> ➤ Legal description of property ➤ Location and footprint of building(s) and structure(s) ➤ Locations of existing and proposed streets, drives, alleys, easements, rights-of-way, parking as required, vehicular and pedestrian access points, and sidewalks ➤ Outline of any development stages ➤ Location and details on any required emergency access roads ➤ A calculation of square footage devoted to building, paving and sidewalks, and landscaped/open space 			
Drainage Plan	<ul style="list-style-type: none"> ➤ Existing topography, including spot elevations of existing buildings, structures, high points, and wet areas, with any previous flood elevations ➤ Floodplain boundaries, if applicable ➤ Soil characteristics, where applicable ➤ Proposed topography of the site denoting elevations and natural drainage after construction and any proposed stormwater retention areas 			

MATERIAL PRECEDENT IMAGES

I6 Branch Distribution Facility

KENOSHA, WI



ULINE M6?
HUDSON, WI

The office at Uline 16 in Kenosha will be architectural precast with integral color as shown in the image to the right. The final will be a combination and sand-blasted as is shown in detail in the following image. The standing seam roof, coping and accent paint (warehouse) will be "Uline green" as shown in the image to the right.







ULINE W2
PLEASANT PRAIRIE, WI

The warehouse at Uline I6 in Kenosha will be painted precast and will match the W2 plant in finish. The accent paint and metal flashing will be "Uline green" as depicted at Hudson.

16 BRANCH DISTRIBUTION FACILITY



16 BRANCH DISTRIBUTION FACILITY

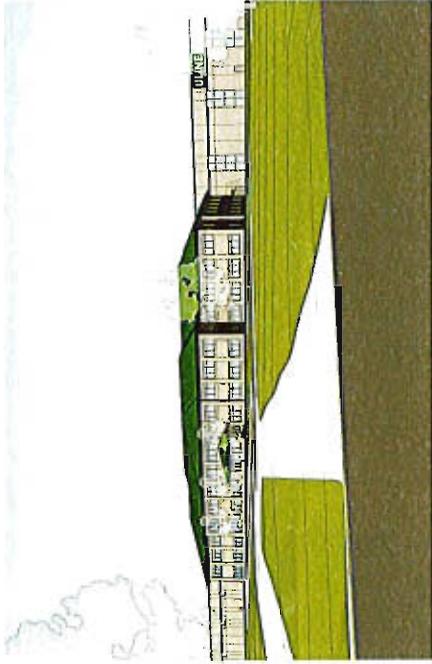


333 EAST ERIE STREET
MILWAUKEE, WI 53202
414.279.8200



21100 ENTERPRISE AVE
BROOKFIELD, WI 53005
262.797.0797

HGA Commission Number: 3395-002-00
Date: SEPTEMBER 15, 2015



CONDITIONAL USE PERMIT

DRAWING INDEX

NUMBER	DESCRIPTION	SHEET NAME
001	GENERAL NOTES	COVER SHEET
002	GENERAL NOTES	COVER SHEET
003	GENERAL NOTES	COVER SHEET
004	GENERAL NOTES	COVER SHEET
005	GENERAL NOTES	COVER SHEET
006	GENERAL NOTES	COVER SHEET
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100	GENERAL NOTES	COVER SHEET

GENERAL NOTES - CONSTRUCTION PLAN

1. ALL DIMENSIONS SHALL BE TAKEN FROM THE CENTERLINE OF THE MAIN STRUCTURE UNLESS OTHERWISE NOTED.
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10. ALL DIMENSIONS SHALL BE TAKEN FROM THE CENTERLINE OF THE MAIN STRUCTURE UNLESS OTHERWISE NOTED.



STRUCTURAL ENGINEER
 H.A. HANCOCK & ASSOCIATES, INC.
 111 CALVERT STREET
 BALTIMORE, MD 21202
 (410) 528-1100
 FAX (410) 528-1101
 WWW.HANCOCK-ASSOCIATES.COM

METROLOGICAL ELECTRICAL ENGINEERING CENTER
 111 CALVERT STREET
 BALTIMORE, MD 21202
 (410) 528-1100
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 WWW.HANCOCK-ASSOCIATES.COM

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ULINE
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 BALTIMORE, MD 21202
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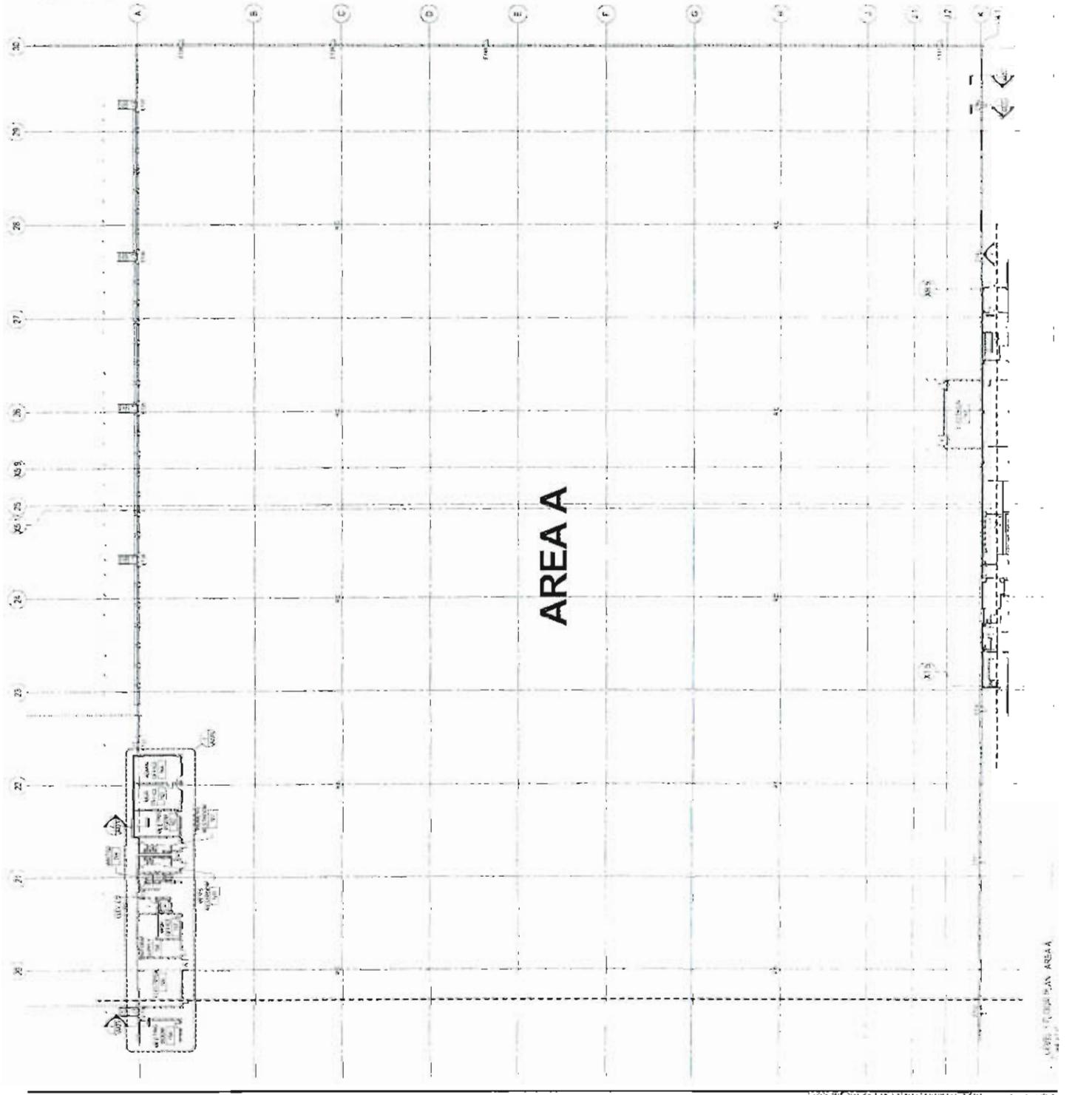
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LEVEL 1 FLOOR PLAN - AREA A

A210A

GENERAL NOTES - CONSTRUCTION PLAN

1. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS AND STANDARDS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHICAGO DEPARTMENT OF PUBLIC WORKS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHICAGO DEPARTMENT OF PUBLIC WORKS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHICAGO DEPARTMENT OF PUBLIC WORKS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHICAGO DEPARTMENT OF PUBLIC WORKS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHICAGO DEPARTMENT OF PUBLIC WORKS.

HA

STRUCTURAL ENGINEER

100 SOUTH LAKE STREET
 CHICAGO, ILLINOIS 60606
 PHONE: (773) 327-1000
 FAX: (773) 327-1001
 WWW: WWW.HAENGINEERS.COM

MECHANICAL ENGINEER

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PLUMBING ENGINEER

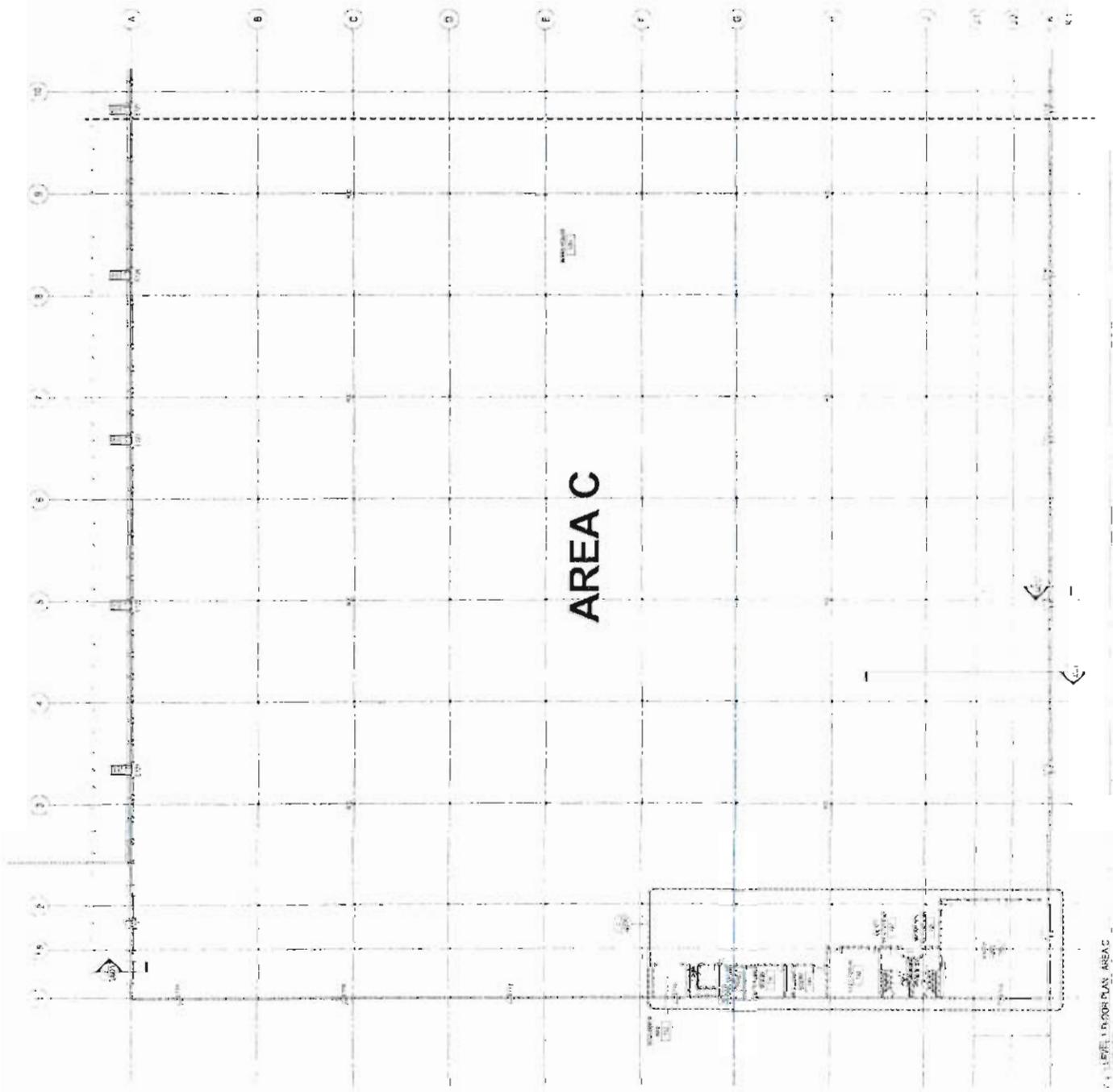
100 SOUTH LAKE STREET
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 FAX: (773) 327-1001
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ONE ENGINEER

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 FAX: (773) 327-1001
 WWW: WWW.HAENGINEERS.COM

ULINE

100 SOUTH LAKE STREET
 CHICAGO, ILLINOIS 60606
 PHONE: (773) 327-1000
 FAX: (773) 327-1001
 WWW: WWW.HAENGINEERS.COM



LEVEL 1 FLOOR PLAN - AREA C

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	08/15/10
2	REVISION	
3	REVISION	
4	REVISION	
5	REVISION	
6	REVISION	
7	REVISION	
8	REVISION	
9	REVISION	
10	REVISION	
11	REVISION	
12	REVISION	

LEVEL 1 FLOOR PLAN - AREA C

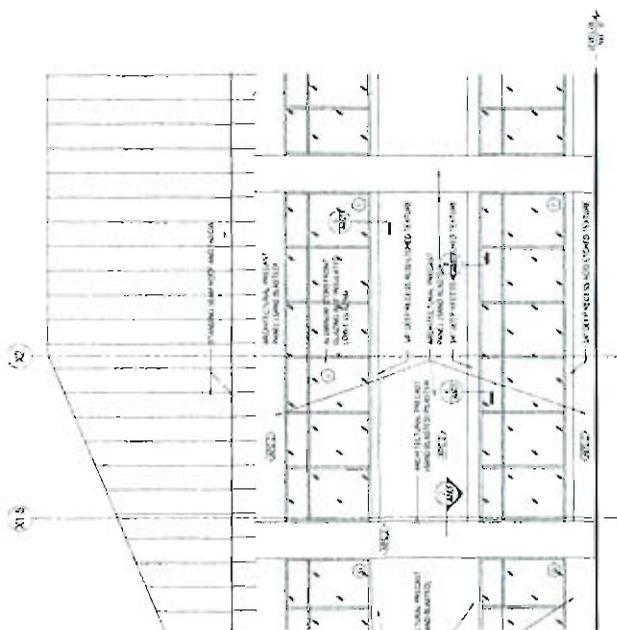
DATE: 08/15/10
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]

A210C

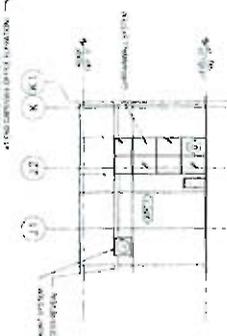
STRUCTURAL ENGINEER
 111 EAST WISCONSIN AVENUE
 MILWAUKEE, WI 53202
 TEL: 414-224-1111
 FAX: 414-224-1112
 WWW.HA-ENGINEERS.COM

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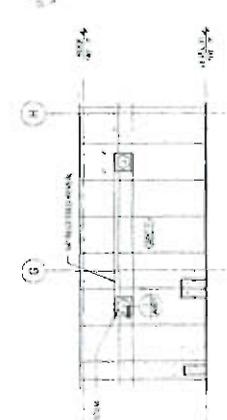
ULINE
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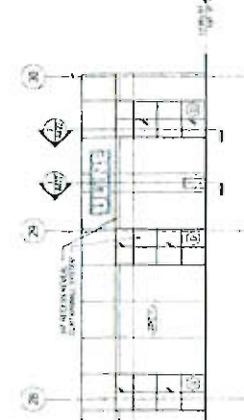
9. TYPICAL OFFICE MODULE



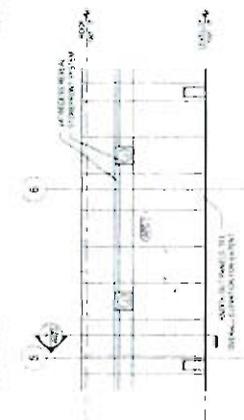
3. SOUTH ELEVATION @ CAVE



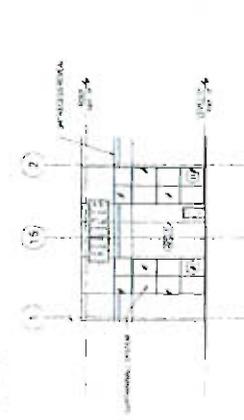
6. TYPICAL DISTRIBUTION CENTER MODULE



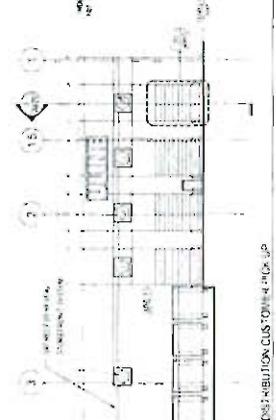
2. EAST ELEVATION NORTH



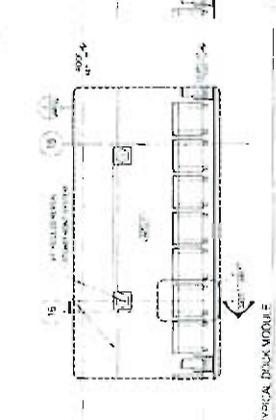
3. EAST ELEVATION WINDOWS



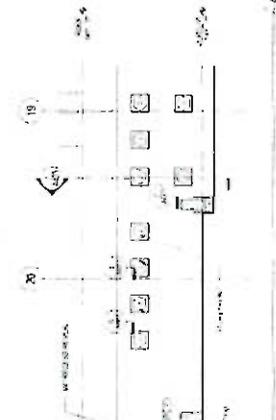
6. EAST ELEVATION @ CAVE



1. DISTRIBUTION CENTER PICK UP



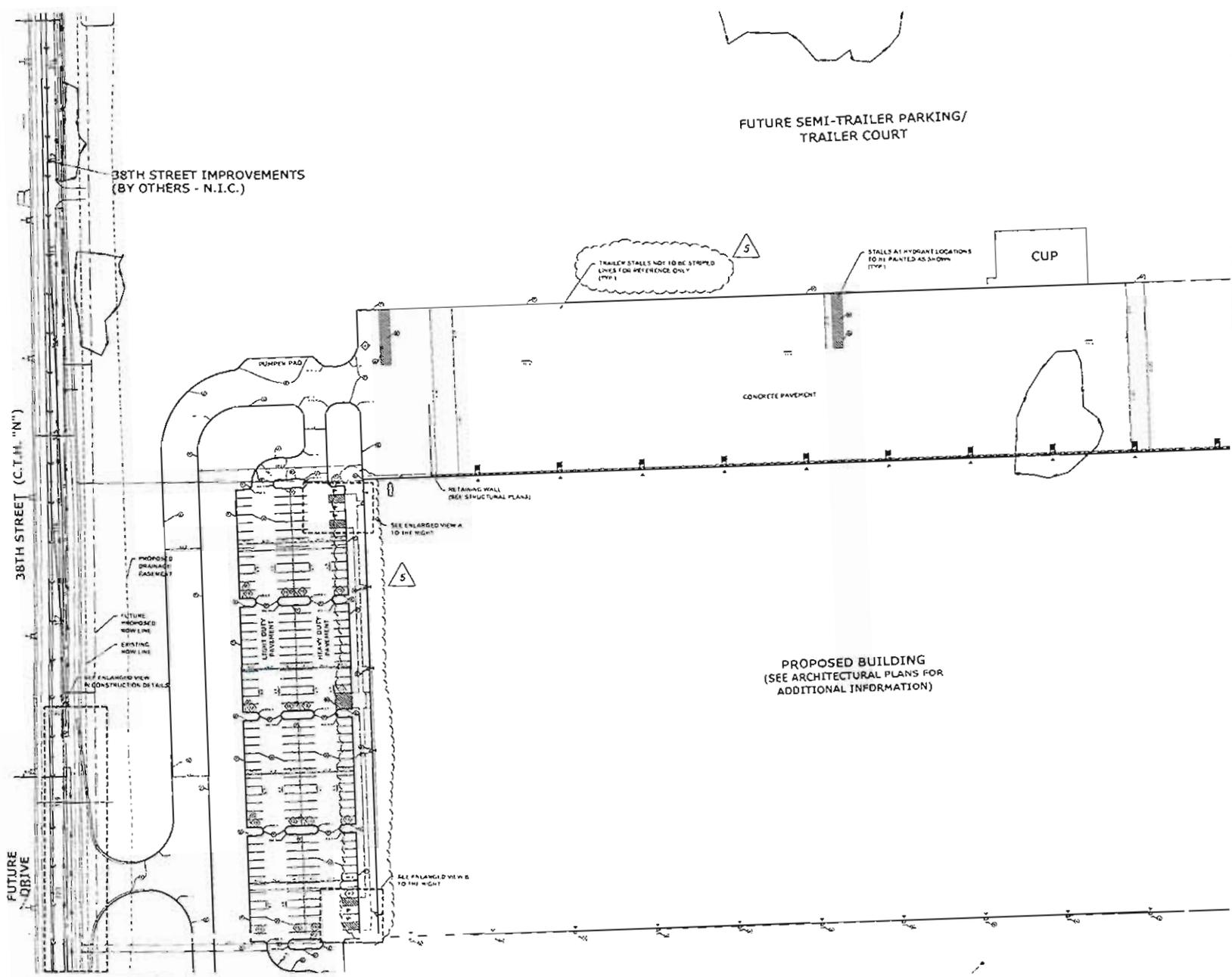
4. TYPICAL DRINK MODULE



7. DISTRIBUTION WEST WAREHOUSE SUPPORT

PARTIAL ELEVATIONS

DATE: 11/14/2014 10:58:10 AM PROJECT: ULINE I-6 BRANCH DISTRIBUTION FACILITY SHEET: SITE DIMENSION & PAVING PLAN



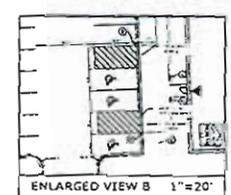
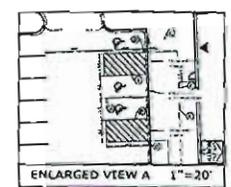
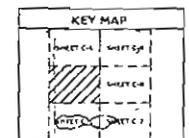
LEGEND	
[Symbol]	EXISTING DRIVE
[Symbol]	PROPOSED DRIVE
[Symbol]	EXISTING SIDEWALK
[Symbol]	PROPOSED SIDEWALK
[Symbol]	EXISTING CURB
[Symbol]	PROPOSED CURB
[Symbol]	EXISTING PAVEMENT
[Symbol]	PROPOSED PAVEMENT
[Symbol]	EXISTING UTILITY
[Symbol]	PROPOSED UTILITY
[Symbol]	EXISTING LIGHT FIXTURE
[Symbol]	PROPOSED LIGHT FIXTURE
[Symbol]	EXISTING SIGN
[Symbol]	PROPOSED SIGN
[Symbol]	EXISTING FENCE
[Symbol]	PROPOSED FENCE
[Symbol]	EXISTING WALL
[Symbol]	PROPOSED WALL
[Symbol]	EXISTING TREE
[Symbol]	PROPOSED TREE
[Symbol]	EXISTING LANDSCAPE
[Symbol]	PROPOSED LANDSCAPE

NOTES

- SEE OVERALL SITE DIMENSION AND PAVING PLAN SHEET FOR PAVING SPECIFICATIONS AND NOTES.
- SEE CONSTRUCTION DETAILS SECTION FOR ADDITIONAL INFORMATION RELATING TO THE SITE DIMENSION AND PAVING PLAN.

EXISTING CONDITIONS SURVEY:

DATE	11/14/2014
BY	[Signature]
SCALE	AS SHOWN



FOR REVIEW ONLY
SITE DIMENSION & PAVING PLAN

PINNACLE ENGINEERING GROUP

ULINE-I6 BRANCH DISTRIB. FACILITY
KENOSHA, WI

SITE DIMENSION & PAVING PLAN

REVISIONS	
NO.	DESCRIPTION

DATE	11/14/2014
BY	[Signature]
SCALE	AS SHOWN

SHEET	C-5
OF	C-50

EXISTING CONDITIONS SURVEY:

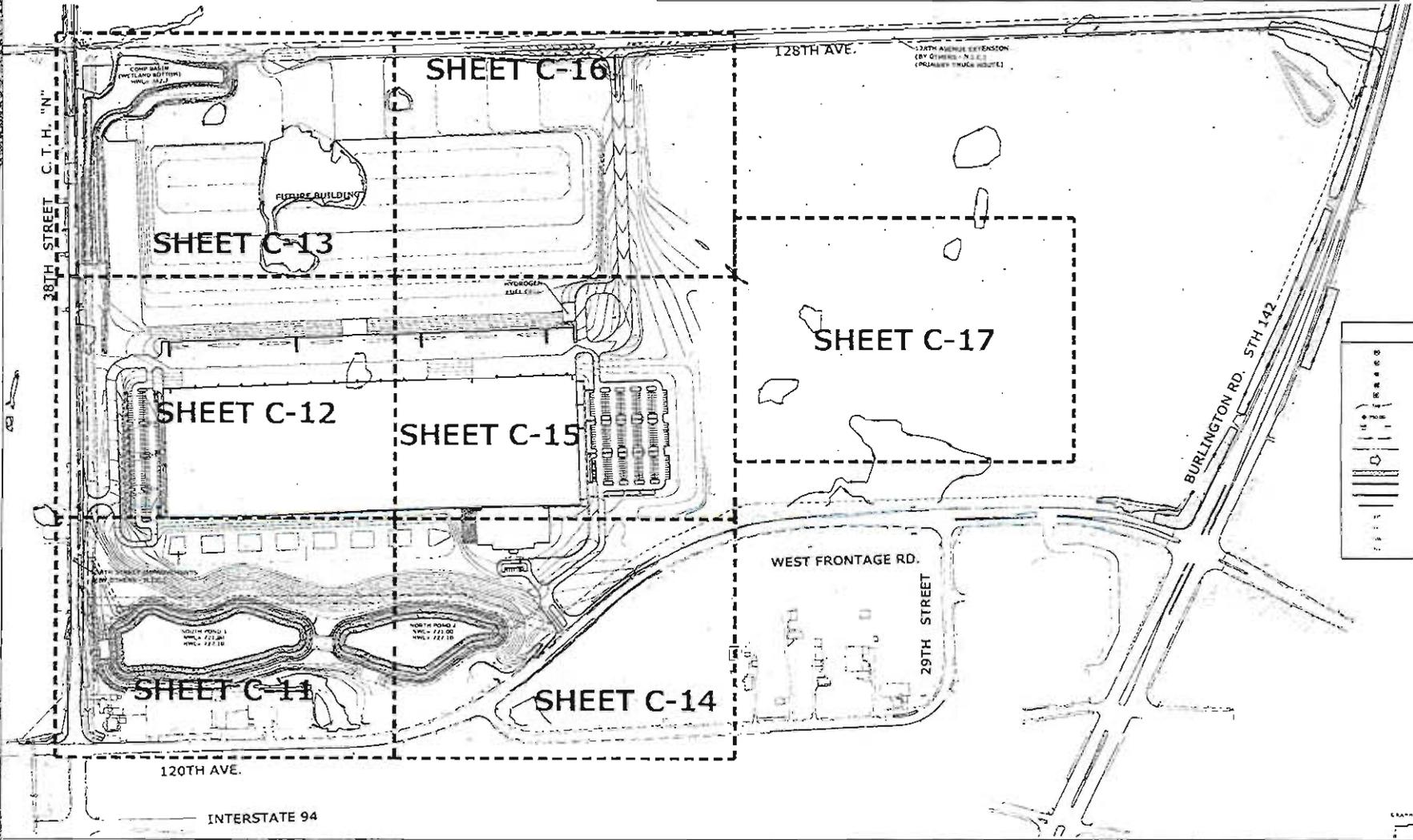
ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
 ALL ELEVATIONS ARE TO MEAN SEA LEVEL UNLESS OTHERWISE NOTED.
 ALL DISTANCES ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
 ALL CORNER POINTS ARE TO BE SET AND MARKED AT THE TIME OF CONSTRUCTION.
 ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
 ALL ELEVATIONS ARE TO MEAN SEA LEVEL UNLESS OTHERWISE NOTED.
 ALL DISTANCES ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
 ALL CORNER POINTS ARE TO BE SET AND MARKED AT THE TIME OF CONSTRUCTION.

NOTES

1. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
 2. ALL ELEVATIONS ARE TO MEAN SEA LEVEL UNLESS OTHERWISE NOTED.
 3. ALL DISTANCES ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
 4. ALL CORNER POINTS ARE TO BE SET AND MARKED AT THE TIME OF CONSTRUCTION.
 5. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
 6. ALL ELEVATIONS ARE TO MEAN SEA LEVEL UNLESS OTHERWISE NOTED.
 7. ALL DISTANCES ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
 8. ALL CORNER POINTS ARE TO BE SET AND MARKED AT THE TIME OF CONSTRUCTION.

SITE DATA

PROJECT NO.	128TH AVENUE EXTENSION
DATE	12/15/10
DRAWN BY	J. J. JENSEN
CHECKED BY	J. J. JENSEN
SCALE	AS SHOWN



LEGEND

(Symbol)	SPOT ELEVATION
(Symbol)	CONTOUR
(Symbol)	PROPOSED ROAD
(Symbol)	PROPOSED UTILITY
(Symbol)	PROPOSED FENCE
(Symbol)	PROPOSED CURB
(Symbol)	PROPOSED SIDEWALK
(Symbol)	PROPOSED DRIVEWAY
(Symbol)	PROPOSED PAVEMENT
(Symbol)	PROPOSED GRAVEL
(Symbol)	PROPOSED ASPHALT
(Symbol)	PROPOSED CONCRETE
(Symbol)	PROPOSED BRICK
(Symbol)	PROPOSED TILE
(Symbol)	PROPOSED STONE
(Symbol)	PROPOSED SAND
(Symbol)	PROPOSED GRAVEL
(Symbol)	PROPOSED ASPHALT
(Symbol)	PROPOSED CONCRETE
(Symbol)	PROPOSED BRICK
(Symbol)	PROPOSED TILE
(Symbol)	PROPOSED STONE
(Symbol)	PROPOSED SAND

PINNACLE ENGINEERING GROUP

**ULINE-I6 BRANCH DISTRIB. FACILITY
 KENOSHA, WI**

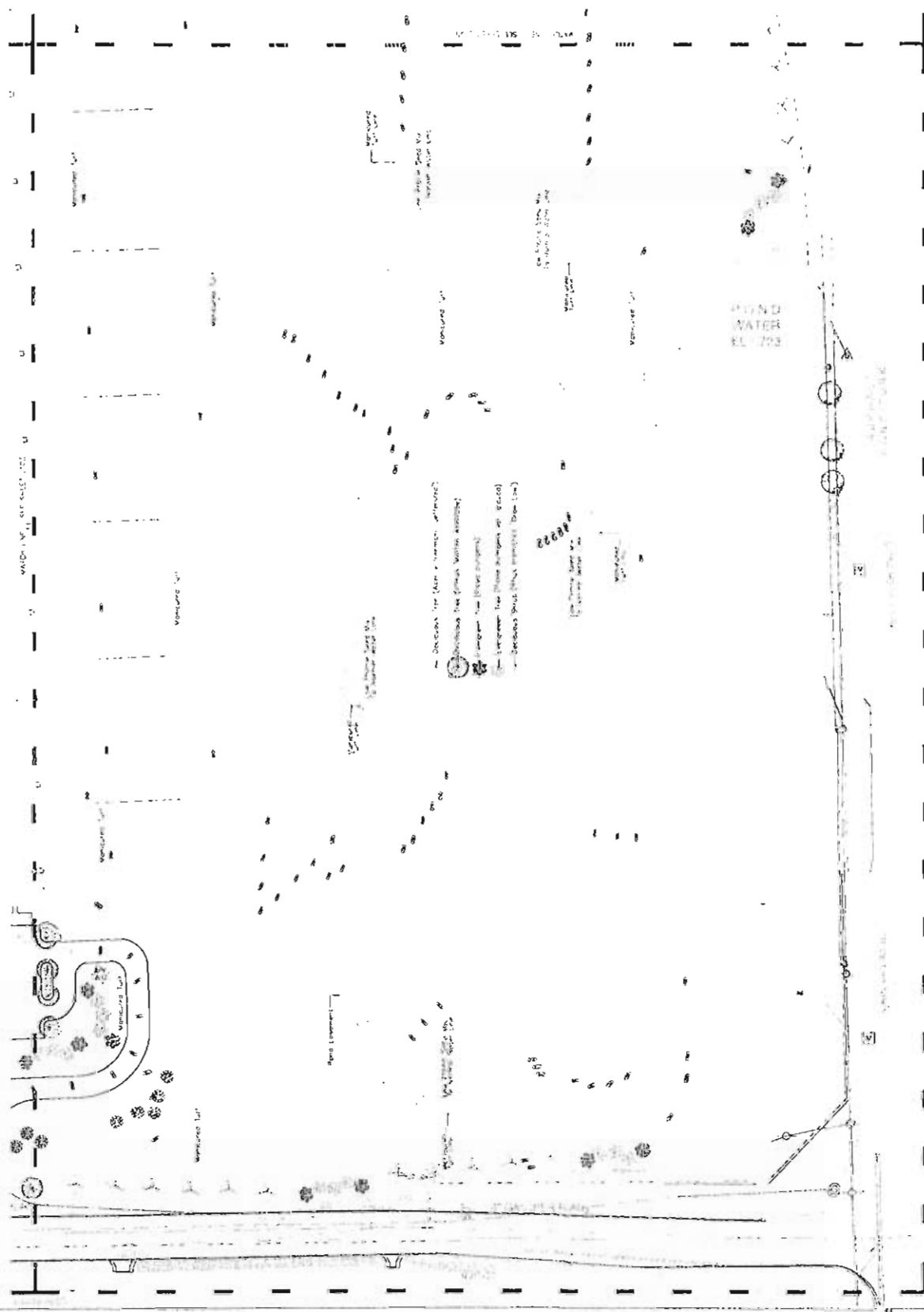
GRADING PLAN

REVISIONS

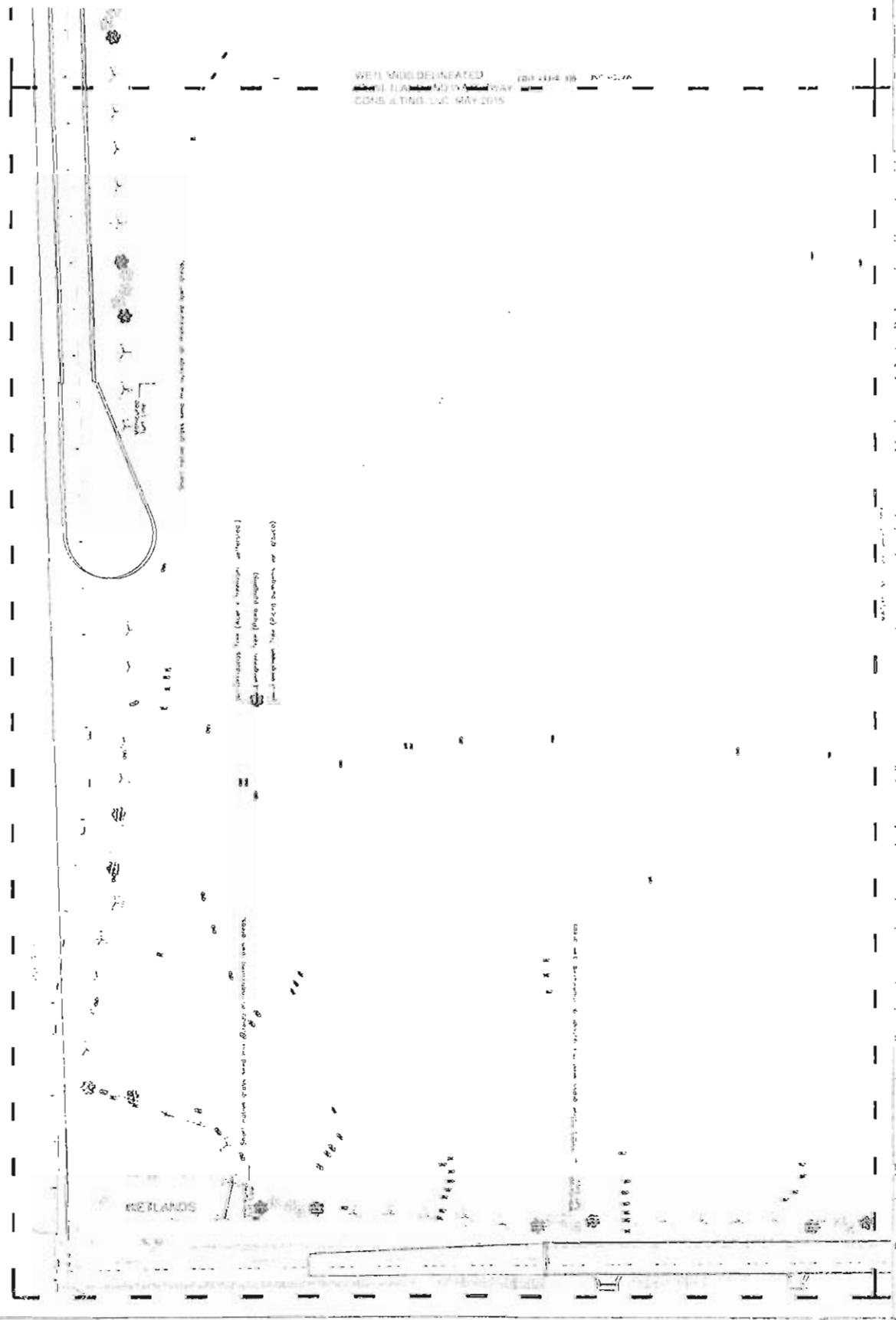
NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	12/15/10
2	ISSUED FOR CONSTRUCTION	12/15/10

**SHEET
 C-10
 OF
 C-50**

FOR REVIEW ONLY GRADING PLAN



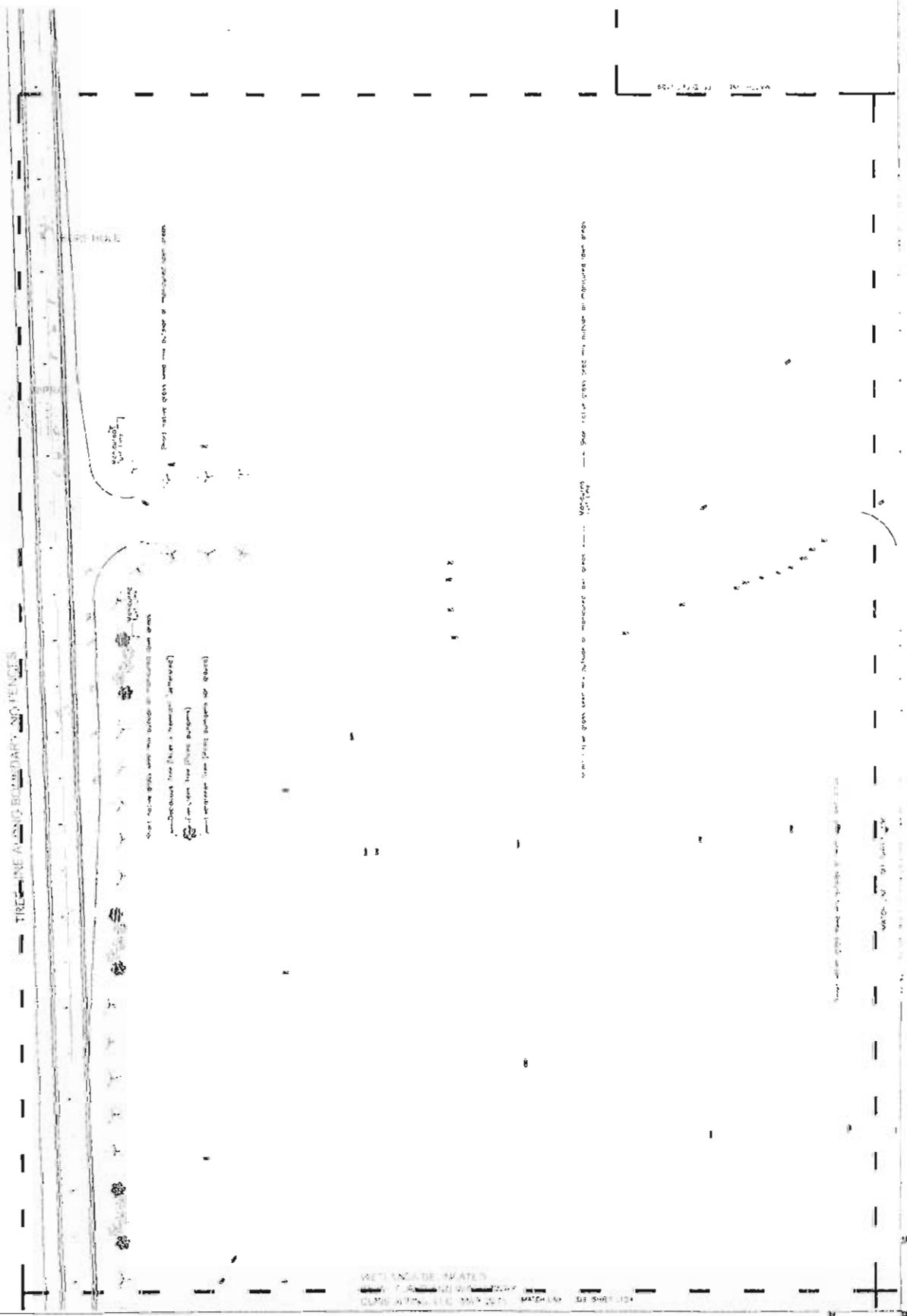
WELL UNDEVELOPED
WELL UNDEVELOPED
CONS. & TRNG. L.L.C. MAY 2015



SDS

ME RLANDS

FENCE LINE ALONG BOUNDARY FENCES



11/15/11

11/15/11

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11/15/11

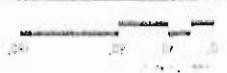
11/15/11

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11/15/11

LANDSCAPE DESIGN DEVELOPMENT LTD.
SUITE 101
GREEN BUILDING COLLEGE
KINGSTON, ONTARIO



DATE: 10/10/14
PROJECT: [illegible]
SHEET: [illegible]

STEC
WAY
2014

MATCH LINE SEE SHEET 1103

WETLANDS

OR DELINEATE
AND AND WATERWAY
ING LLC 2014

Proposed for (see 'Proposed' sheet)
[illegible]
[illegible]

MATCH LINE SEE SHEET 1103

MATCH LINE SEE SHEET 1103

10/10/14
10/10/14

PROJECT: [REDACTED]
 CLIENT: [REDACTED]
 DATE: [REDACTED]



THREE LINE ALONGS BOUNDARY - NO FENCES

WETLANDS CREATED BY WETLAND AND WATERWAY CONSULTING LLC 2014

WETLANDS DELEGATED BY WETLAND AND WATERWAY CONSULTING LLC 2014

WETLANDS

WETLANDS DELEGATED BY WETLAND AND WATERWAY CONSULTING LLC 2014

WETLANDS DELEGATED BY WETLAND AND WATERWAY CONSULTING LLC 2014

WATCH LINE SEE SHEET 1100

WATCH LINE SEE SHEET 1100

Request for Relief to the off-street parking requirements of Section 6.01 of the Zoning Ordinance for a distribution facility to be located at the Northwest Corner of 38th Street and the West Frontage Road. (Uline Distribution Facility) (District 16) PUBLIC HEARING

NOTIFICATIONS AND APPROVAL REQUIREMENTS:

Aldersperson Johnson, District 16, has been notified. Property owners within 100 feet of the property boundaries have been notified. The City Plan Commission is the final review authority.

LOCATION AND ANALYSIS:

Site: Northwest Corner of 38th Street and the West Frontage Road
Zoned: M-2 Heavy Manufacturing / C-2 Lowland Resource Conservancy / AIR-4 Airport Overlay District

1. The applicant is proposing to build an 800,000 square foot distribution facility with 80,000 additional square feet of dedicated office space on property at the northwest corner of 38th Street and the West Frontage Road. As a part of the Conditional Use Permit review, it was noted by Staff that the minimum required amount of off-street parking spaces was not provided. The applicant has requested relief to the minimum standards per Chapter 6.03 of the Zoning Ordinance.
2. The calculations are as follows:

<i>Use</i>	<i>Required Parking</i>
96,038 s.f. Office* @ 1 space / 250 s.f.	384
First 20,000 s.f. of warehouse @ 1 space per 1,000 s.f.	20
Second 20,000 s.f. of warehouse @ 1 space per 2,000 s.f.	10
Remaining 754,675 s.f. of warehouse @ 1 space per 4,000 s.f.	189
<i>Parking Required</i>	603
<i>Parking Provided</i>	509

* There is additional office space within the warehouse/distribution center. Staff used the calculations listed on the architectural plans from HGA Architects, which differ slightly from the letter from ULINE requesting relief.

3. The applicant has indicated that the 509 parking spaces provided is more than sufficient to accommodate all of their full-time employees. There is sufficient land to provide additional spaces in the future if needed.

RECOMMENDATION:

A recommendation is made to grant the relief to the off-street parking requirements.

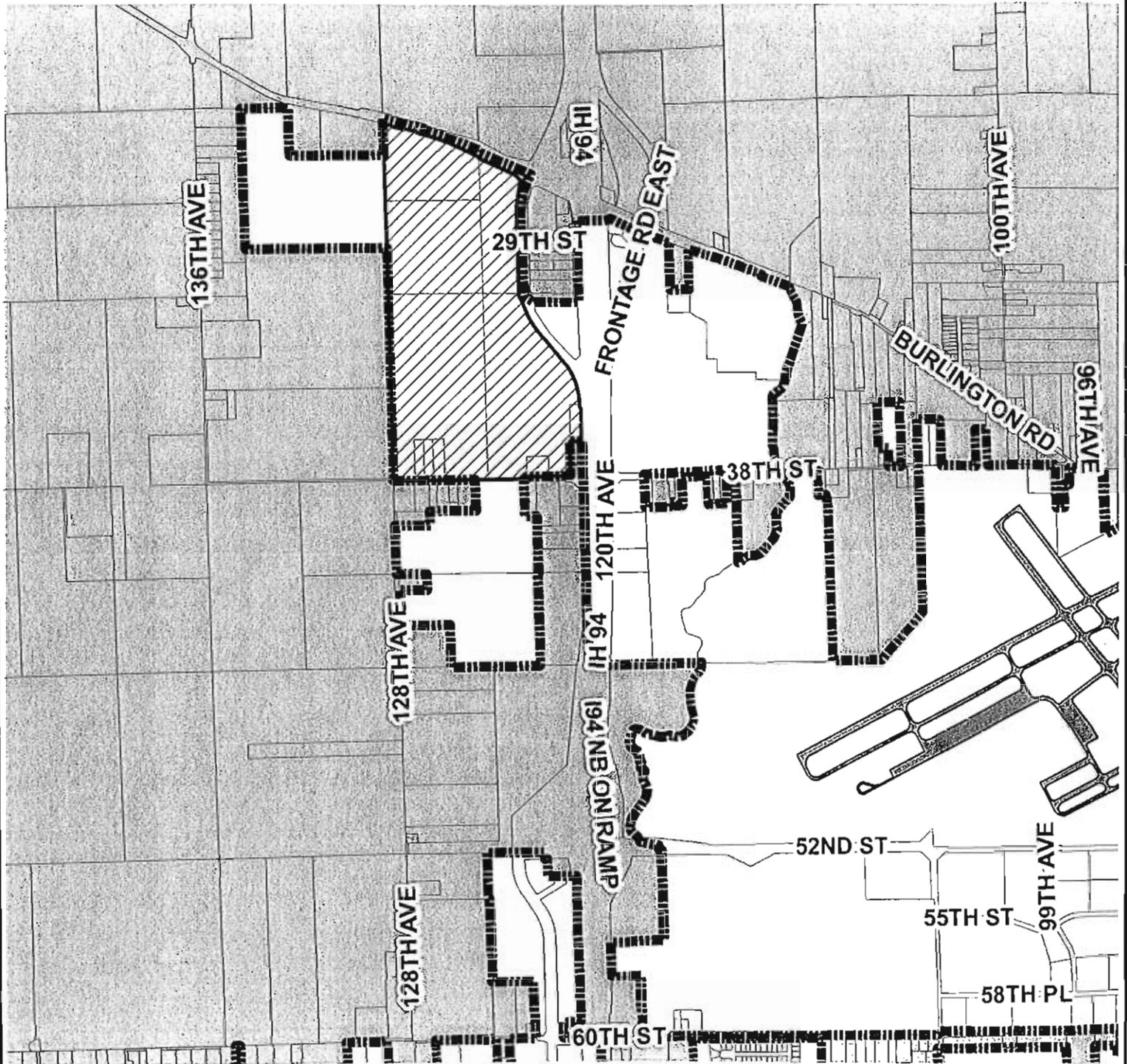


Brian Wilke, Development Coordinator
/u2/acct/cp/ckays/1CPC/2015/OCT19-SPECIAL/Staff-excep-offstreet-uline.doc



Jeffrey B. Labahn, Director

Vicinity Map
Uline Off-street Parking Exception



 Subject Property





12575 Uline Drive • Pleasant Prairie, WI 53158
Phone (262) 612-4200 • Web uline.com • Fax (262) 612-4270

August 17, 2015

City of Kenosha
625 52nd Street
Kenosha, WI 53140

Re: Route 142, LLC

To Whom It May Concern:

As part of the Conditional Use Permit review and approval by the City Planning Commission, Route 142, LLC requests relief of the off-street parking requirements as outlined below:

- 87,384 s.f. of office @ 1 space / 250 s.f. = 350 spaces
- First 20,000 s.f. of warehouse @ 1 space / 1,000 s.f. = 20 spaces
- Second 20,000 s.f. of warehouse @ 1 space / 4,000 s.f. = 10 spaces
- Remaining 752,616 s.f. of warehouse @ 1 space / 4,000 s.f. = 188 spaces
- Total spaces required = 568 spaces
- Total spaces provided = 508 spaces (shortage of 60 spaces)

Sincerely,

A handwritten signature in black ink, appearing to read "Phil Hunt".

Phil Hunt
Executive Vice President

Area Breakdown for Parking

96,038 OFFICE (82,626 BRANCH / 13,412 OFFICE) @ 1 / 250 SF	= 384	SPACES
FIRST 20,000 SF OF WAREHOUSE @ 1 / 1,000 SF	= 20	SPACES
SECOND 20,000 SF OF WAREHOUSE @ 1 / 2,000 SF	= 10	SPACES
REMAINING 754,675 SF OF WAREHOUSE @ 1 / 4,000 SF	=189	SPACES
TOTAL SPACES REQUIRED	=603	SPACES
TOTAL SPACES PROVIDED	=509	SPACES

Occupancy Classification

Office	Group B
Warehouse	Group S1

Type of Construction

Office	IIB (fullv sprinklered)
--------	-------------------------

ZONING ORDINANCE FOR THE CITY OF KENOSHA, WISCONSIN

8. Religious Institutions (churches, chapels, and other places of religious assembly): 1.0 space per 5 seats.

9. Cultural Institutions (libraries, museums, and art museums): 1.0 space per 400 square feet of gross floor area.

10. Philanthropic and Charitable Institutions: 1.0 space per 400 square feet of gross floor area.

OTHER

11. Hospital: 1.5 spaces per 1 bed.

12. Convalescent and Nursing Homes, including Extended Care Facilities: 1.0 space per 3 beds.

13. Nursery and Childcare, and Adult Day Care Centers: 1.0 space per employee, plus 1.0 space per 20 children or clients.

14. Theaters; General Auditoriums; Arenas; Stadiums; Exhibition Halls or Other Similar Places of Assembly: 1.0 space per 5 seats.

15. Penal, Reform, Disciplinary and Mental Health Facilities: 1.0 space per 6 beds.

16. Conference Centers: 10.0 spaces minimum, or spaces equal to 30% of the licensed capacity, whichever is greater.

16.a. Shelter Facility: 1.0 space per 6 beds.

BUSINESS

 17. Convenience Retail, General Merchandise and Service Stores; Office Buildings; Financial Institutions; Miscellaneous Retail and Service Uses; Home Improvement and Gardening Supply Stores and Uses; and Motor Vehicle Uses: 1.0 space per 250 square feet of gross floor area, except for the uses listed in 18. to 33. below.

18. Automobile Sales and/or Service, Automobile and/or Truck Rental or Leasing, Mobile or Manufactured Home Sales and Service, and Recreational Vehicle Sales and Service: 1.0 space per 300 square feet of gross floor area, plus 1 space per 2,500 square feet of gross land area devoted to sales or rental.

19. Automobile Service or Fuel Station: 3.0 spaces minimum, plus 3.0 spaces per each service bay.

20. Automobile Body Shop: 3.0 spaces minimum, plus 1 space per 500 square feet of gross floor

ZONING ORDINANCE FOR THE CITY OF KENOSHA, WISCONSIN

MANUFACTURING

33. **Manufacturing & Industrial Establishments or Uses:** 2.0 spaces per 3 employees on maximum shift, but in no event less than 2.0 spaces per 1,000 square feet of gross floor area.

34. **Wholesale and Warehouse Establishments, and Distribution Plant:** 2.0 spaces per 3 employees on maximum shift, but in no event less than:

- a. 1.0 space per 1,000 square feet of gross floor area for the first 20,000 square feet.
- b. 1.0 space per 2,000 square feet of gross floor area for the second 20,000 square feet.
- c. 1.0 space per 4,000 square feet of gross floor area in excess of the initial 40,000 square feet of floor area of the building.

6.02 LOADING REQUIREMENTS

In all business and manufacturing districts, there shall be provided at the time any building or structure is erected, enlarged, or expanded, loading space in accordance with the following requirements:

A. General Rules for Determining Loading Requirements. In computing the number of off-street loading spaces required, the following rules shall govern:

1. Adjacent on-street curb loading shall not be considered as part of the required supply of off-street loading spaces.

2. Where the intensity of use of any building, structure or premises within a business or manufacturing district shall be increased through the addition of gross floor area, loading spaces shall be provided for such increase in intensity of use.

3. Off-street loading spaces for separate business or manufacturing uses may be provided collectively if the total number of loading spaces so provided is not less than the sum of the separate requirements of the uses being served. Further, no loading space or portion thereof shall serve as a required space for more than one (1) use.

4. B-3 Central Business District Requirements. In the B-3 Central Business District, for the purpose of minimizing disruptive curb-cuts and driveways and to encourage the consolidation of loading spaces in appropriate locations, the following rules governing loading requirements shall apply:

a. There shall be no loading requirements for any use located in the B-3 District which existed prior to the effective date of this Ordinance.

b. New construction within the B-3 District requires loading spaces equal to fifty (50%) percent of the loading requirements of 6.02 D. of this Ordinance, unless reduced loading requirements are authorized by the City Plan Commission through the approval of a Conditional Use Permit. (Refer to Section 4.0 of this Ordinance for the conditional use review procedures.) New construction shall be defined as any new principal building or structure, or any addition to an existing building or structure which exceeds fifty (50%) percent of the total assessed value of the existing building or structure.

5. B-4 Mixed-Use District Requirements. In the B-4 Mixed-Use District, for the purpose of minimizing disruptive curbcuts and driveways, and to encourage the consolidations of loading spaces in appropriate locations for commercial uses, the following rules governing loading requirements shall apply:

a. New construction within the B-4 District requires loading spaces equal to fifty (50%) percent of the



October 13, 2015

PUBLIC MEETING NOTICE
Off-Street Parking Exception at
the Northwest Corner of 38th Street and the West Frontage Road (ULINE)

Property Owner:

The property owner from the property at the Northwest Corner of 38th Street and the West Frontage Road is requesting a Special Exception from the Off-Street Parking Requirements found in Section 6 of the Zoning Ordinance. Our records indicate that you own property within 100 feet of that property.

The Zoning Ordinance requires six hundred three (603) off-street parking spaces for the proposed building and use. The applicant is proposing to construct five hundred nine (509) off-street parking spaces, a shortage of ninety-four (94) off-street parking spaces. A map of this area is enclosed.

A public hearing will be held by the City Plan Commission at their meeting on Monday, October 19, 2015 at 5:00 p.m. in Room 204 of the Municipal Building, 625 52nd Street. The public hearing provides an opportunity to voice any concerns or ask any questions about the Special Exception Request.

If you have any questions or would like to see a copy of the proposed plans, please contact me at 262.653.4049 or via email at bwilke@kenosha.org.

BRW:kas
Enclosure