

AGENDA
KENOSHA COMMON COUNCIL
KENOSHA, WISCONSIN
Council Chambers – Room 200 – Kenosha Municipal Building
Monday, October 6, 2014
7:00 PM

CALL TO ORDER
ROLL CALL
INVOCATION
PLEDGE OF ALLEGIANCE

Approval of the minutes of the regular meeting held September 15, 2014 and the special meeting held September 22, 2014.

Matters referred to the Committees by the Mayor.

Presentation, Commendations and Awards by Mayor.

Awards and Commendations from Boards, Commissions, Authorities and Committees.

CITIZENS' COMMENTS

A. REFERRALS

TO THE COMMITTEE ON FINANCE

TO THE PUBLIC WORKS COMMITTEE

- A.1. Petition to vacate a portion of 55th Street right-of-way west of 22nd Avenue. (City of Kenosha/Juliana) (District 7) (Also referred to City Plan Commission)

TO THE PUBLIC SAFETY & WELFARE COMMITTEE

- A.2. Resolution by Alderperson Bob Johnson - Resolution to Declare October 2014 Bullying Prevention Awareness Month as a Symbol of Our Commitment to The Year-Round Struggle Against Bullying.

TO THE CITY PLAN COMMISSION

- A.3. Conditional Use Permit for a 60 unit apartment building to be located at 5821 5th Avenue. (5th Avenue Lofts) (District 2)
- A.4. By the City Plan Commission - To Create Subsection 18.02 jj. (of the Zoning Ordinance) to Amend the Land Use Plan Map for the City of Kenosha: 2035. (Clark) (District 2)
- A.5. By the Mayor - Petition to rezone property at 6300 3rd Avenue from IP Institutional Park District to RS-1 Single-Family Residential District. (Clark) (District 2)
- A.6. By the City Plan Commission - To Create Subsection 18.02 kk. (of the Zoning Ordinance) to Amend the Land Use Plan Map for the City of Kenosha: 2035. (MLR Properties) (District 13)
- A.7. By the Mayor - Petition to rezone property at 7505 38th Avenue from RG-1 General Residential District to B-1 Neighborhood Business District. (MLR Properties, LLC) (District 13)
- A.8. By the City Plan Commission - To Create Subsection 18.02 ii. (of the Zoning Ordinance) to Amend the Bristol Neighborhood Plan as referenced in the Comprehensive Plan for the City of Kenosha: 2035.
- A.9. By the Mayor - To Repeal and Recreate Sections IV and XIV (of the Zoning Ordinance for the City of Kenosha, WI) to reflect the change in name by substituting the term "Lawn Park" in place of "Parkway" wherever that term appears and to Repeal and Recreate Subparagraph 4.06 B.16 regarding self-service storage facilities.
- A.10. By the City Plan Commission - To Create Subsection 18.02 hh. (of the Zoning Ordinance) to Amend the Land Use Plan Map for the City of Kenosha: 2035. (Shalom Center) (District 3)
- A.11. By the Mayor - To Rezone property at 6201 14th Avenue from B-2 Community Business District to IP Institutional Park District in conformance with Section 10.02 (of the Zoning Ordinance). (Shalom Center) (District 3)

B. COMMUNICATIONS, PETITIONS, REPORTS OF DEPARTMENTS

- B.1. Approval of the following applications per list on file in the Office of the City Clerk:
- a. 33 Operator's (Bartender's) license(s).
 - b. 0 Transfer of Agent Status of Beer and/or Liquor license(s).
 - c. 5 Temporary Class "B" Beer and/or "Class B" Wine license(s).
 - d. 2 Taxi Driver License(s). [Pages 5-6](#)

C. RECOMMENDATIONS FROM THE COMMITTEE ON LICENSING/PERMITS

NOTE: All licenses and permits are subject to withholding of issuance by the City Clerk as specified in Section 1.045 of the Code of General Ordinances.

- C.1. Approve applications for new Operator's (Bartender's) licenses subject to:
- 0 demerit points:
 - a. Carla Sappington
 - b. Kathy Roe-Green
 - 20 demerit points:
 - c. Catherine Suess
 - d. Samantha Schroeder
 - 25 demerit points:
 - e. Emilia Cerdas
 - 45 demerit points:
 - f. Amber Thieme
 - 50 demerit points:
 - g. Eugene Mantuano
 - 80 demerit points:
 - h. Samuel Schwalm
 - i. Manuel Ortiz
- (L/P – Ayes 3, Noes 0) **HEARING** [Pages 7-15](#)
- C.2. Deny application of Jennifer Doud for a new Operator's (Bartender's) License based on material police record and false application. (L/P – Ayes 3, Noes 0) **HEARING** [Pages 16-18](#)
- C.3. Deny application of Will Darden for a new Taxi Driver's License based on material police record. (L/P – Ayes 3, Noes 0) **HEARING** [Pages 19-21](#)
- C.4. Approve application of Mickey Angelo's, LLC, Ernest M. Gullo, Agent for a Class "B" Beer/"Class B" Liquor License located at 4235 Green Bay Road (Mickey Angelo's), upon surrender of a similar license at the same location from ECW of Kenosha, Inc., with no adverse recommendations. (District 16) (L/P – Ayes 3, Noes 0) **HEARING** [Pages 22-27](#)
- C.5. Approve application of Dishes to Die For, Inc. for a Temporary Outdoor Extension of the Class "B" Beer/"Class B" Liquor License located at 4120–7th Avenue (TG's Restaurant & Pub), on October 11, 2014, with no adverse recommendations. (District 1) (L/P – Ayes 3, Noes 0) **HEARING** [Pages 28-32](#)

- C.6. Approve applications of Traci Peterson for Temporary Outdoor Extensions of the Class “B” Beer/ “Class B” Liquor License located at 2425–60th Street (Hatatrix), on October 11, 2014, and October 18, 2014, with no adverse recommendations. (District 3) (L/P – Ayes 3, Noes 0) **HEARING** [Pages 33-42](#)
- C.7. Approve application of Mickey Angelo's, LLC, Ernest M. Gullo, Agent for a Permanent Outdoor Extension License located at 4235 Green Bay Road (Mickey Angelo's), with requests to waive the fence requirement and to change the closing hours to 12:00 Midnight, with no adverse recommendations. (District 16) (L/P – Ayes 3, Noes 0) **HEARING** [Pages 43-52](#)
- C.8. Approve application of Boys & Girls Club of Kenosha, Inc., for a Daily Cabaret License located at Harbor Park Parcel J, on October 18, 2014, with no adverse recommendations. (District 2) (L/P – Ayes 3, Noes 0) **HEARING** [Pages 53-55](#)
- C.9. Approve application of Mickey Angelo's, LLC, for a Probationary Cabaret License located at 4235 Green Bay Road (Mickey Angelo's), with no adverse recommendations. (District 16) (L/P – Ayes 3, Noes 0) **HEARING** [Pages 56-57](#)
- C.10. Approve application of The Agave Luna Azul, LLC, for a Yearly Cabaret License located at 2227–60th Street (The Agave Luna Azul), with no adverse recommendations. (District 3) (L/P – Ayes 3, Noes 0) **HEARING** [Pages 58-59](#)
- C.11. Approve application of TK Kenosha, LLC for a Yearly Cabaret License located at 7000 – 74th Place (Tilted Kilt), with no adverse recommendations. (District 16) (L/P – Ayes 3, Noes 0) **HEARING** [Pages 60-61](#)
- C.12. Approve application of GNC Hook, LLC for an Amusement & Recreation Enterprise License located at 5301–22nd Avenue (Art Bar), subject to 50 demerit points. (District 7) (L/P – Ayes 3, Noes 0) **HEARING** [Pages 62-66](#)
- C.13. Approve application of Edward LeMay for an Amusement & Recreation Enterprise Supervisor License located at 5301–22nd Avenue (Art Bar), subject to 0 demerit points. (District 7) (L/P – Ayes 3, Noes 0) **HEARING** [Pages 67-68](#)

D. REPORTS AND RECOMMENDATIONS OF BOARDS AND COMMISSIONS

- D.1. Conditional Use Permit for a 45-unit apartment building to be located at 720 59th Place (Residences at Library Park). (District 2) (CP- Ayes 7, Noes 0) **PUBLIC HEARING** [Pages 69-97](#)

E. ORDINANCES 1st READING

- E.1. Ordinance by Alderperson Scott N. Gordon - To Repeal and Recreate Subsection 6.01 A. Regarding Park Definition and Subparagraph 6.02 A.31 (of the Code Of General Ordinances) Regarding Park Rules and Regulations for Dog Leashes. (Park – recommendation pending) [Pages 98-99](#)

F. ZONING ORDINANCES 1st READING

- F.1. Zoning Ordinance by the Mayor - To Repeal and Recreate Subparagraph 2.04 A.2 (of the Zoning Ordinance for the City of Kenosha, Wisconsin) regarding height regulations. (CP - Ayes 7, Noes 0) [Pages 100-102](#)

G. ORDINANCES 2nd READING

H. ZONING ORDINANCES 2nd READING

- H.1. Zoning Ordinance by the City Plan Commission - To Create Subsection 18.02 ff. (of the Zoning Ordinance) to Amend the Land Use Plan Map for the City of Kenosha: 2035 (Leona's Rolling Meadows/FEMA). (Districts 16 and 17) (CP - Ayes 7, Noes 0) **PUBLIC HEARING** [Pages 103-105](#)
- H.2. Rezoning Ordinance by the City Plan Commission - Rezoning to remove and/or add Floodway (FW) for various properties south of 60th Street and east of 86th Avenue (Leona's Rolling Meadows/FEMA). (Districts 16 and 17) (CP - Ayes 7, Noes 0) **PUBLIC HEARING** [Pages 106-115](#)

I. RESOLUTIONS

- I.1. Resolution by the Finance Committee – Resolution to Correct Resolution 100-14 (Project 13-1208 Sidewalk and Curb/Gutter Program). (Fin. & PW – recommendations pending) **HEARING** [Pages 116-117](#)
- I.2. Resolution by the Finance Committee – Resolution to Amend the City of Kenosha Capital Improvement Program for 2014 By Increasing IN13-001 “56th Street Sheridan Road-13th Avenue” by \$84,600 and Decreasing IN07-001 “122nd Avenue 71st Street-75th Street” by \$84,600 for a Net Change of \$0. (Fin. & PW – recommendations pending) [Pages 118-119](#)

- I.3. Resolutions by the Finance Committee – Resolutions to Levy Special Charges Upon Various Parcels of Property Located in the City per List on File in the Office of the City Clerk:
 - a. Boarding and Securing - \$660.34
 - b. Grass and Weed Cutting - \$17,599.89
 - c. Property Maintenance Reinspection Fees - \$8,234.00
 - d. Raze/pre-raze of Structures - \$1,307.12
 - e. Trash & Debris Removal - \$806.38
 - f. Vision Clearance - \$225.00(Fin.- recommendation pending) **HEARING** [Pages 120-148](#)
- I.4. Resolution by the Finance Committee – Resolution to Rescind a Special Charge in the Amount of \$108.69 for Grass & Weed Cutting for 5904 31st Avenue (Parcel #09-222-36-382-019); Petitioner/Owner: David Beth for Margaret Weyrauch. (Amends Resolution 73-14) (District 11) (Fin. - recommendation pending) **HEARING** [Pages 149-153](#)
- I.5. Resolution by the Committee on Public Safety and Welfare – Resolution to Designate as "No Parking" the West Side of 20th Avenue Between 12th Street and 12th Place. (PSW - Ayes 5, Noes 0) [Page 154](#)
- I.6. Resolution by Alderperson Rhonda Jenkins – Resolution to Urge the Mayor to Include in the 2015 City of Kenosha Budget \$10,000 to Partner with and Complete Kenosha County's "Downtown WiFi" Plan as Presented by Kenosha County Executive James Kreuser. (PW – recommendation pending) [Pages 155-156](#)
- I.7. Resolution by Alderman David F. Bogdala; Co-Sponsors: Alderman Steve Bostrom, Alderman G. John Ruffolo, Alderman Rhonda Jenkins – Resolution to Reaffirm the Month of October as the National Domestic Violence Awareness Month in the City of Kenosha and to Recognize the Contributions of Women's and Children's Horizons for Their Advocacy on Behalf of Victims of Domestic and Sexual Violence. [Pages 157-159](#)
- I.8. Resolution by Alderperson Curt Wilson; Co-Sponsors: Alderperson Patrick A. Juliana, Alderperson Jan Michalski, Alderperson Kurt Wicklund, Alderperson Scott N. Gordon, Alderperson Dave Paff, Alderperson Rhonda Jenkins, Alderperson Rocco J. LaMacchia, Sr., Alderperson Eric Haugaard – Resolution to Declare October 2014 Breast Cancer Awareness Month. (Fin. - recommendation pending) [Pages 160-161](#)
- I.9. Resolution by the Mayor – Resolution to approve a Two-Lot Certified Survey Map for property at 3615 Washington Road (Local 72 UAW). (District 10) (CP - Ayes 7, Noes 0; PW – recommendation pending) [Pages 162-169](#)
- I.10. Authorizing Resolution by the Mayor – Resolution for the Submission of a Boating Infrastructure Grant Application in Support of the Re-Design and Construction of a Southport Marina Breakwater to Mitigate Sediment Accumulation. (District 2) (Park - Ayes 5, Noes 0) [Page 170](#)

- I.11. Authorizing Resolution by the Mayor – Resolution for the Submission of a Wisconsin Economic Development Corporation Community Development Investment Grant Application in Support of the Re-Design and Construction of a Southport Marina Breakwater to Mitigate Sediment Accumulation. (District 2) (Park – Ayes 5, Noes 0) [Page 171](#)

J. APPOINTMENTS/REAPPOINTMENTS BY THE MAYOR

K. PUBLIC CONSTRUCTION AND IMPROVEMENT CONTRACTS

- K.1. Award of Contract for Project 12-1526 Simmons Library Roof Replacement (711 59th Place) to Carlson Racine Roofing & Sheet Metal, Inc. (Racine, Wisconsin) in the amount of \$307,780. (Library Funds only) (District 2) (Library Board – Ayes 6, Noes 0; PW – recommendation pending) [Page 172](#)

L. OTHER CONTRACTS AND AGREEMENTS

- L.1. Subaward Agreement between the City of Racine, Wisconsin and the City of Kenosha, Wisconsin Stormwater Utility for beach restoration at Simmons Island and Eichelman Parks. (Fin. & SWU - recommendations pending) [Pages 173-193](#)

M. RECOMMENDATIONS FROM THE COMMITTEE ON FINANCE

- M.1. Disbursement Record #17 - \$14,761,293.13. (Fin. - recommendation pending) [Pages 194-225](#)

N. RECOMMENDATIONS FROM THE COMMITTEE ON PUBLIC WORKS

- N.1. Approval of Change Order for Project 14-1139 Forest Park Sanitary and Storm Enhancements (61st Street – 46th Avenue to 50th Avenue & 65th Street 48th Avenue & 51st Avenue). (District 15) (PW and SWU – recommendations pending) [Pages 226-227](#)
- N.2. Acceptance of Project 12-1424 Southport Park Trail Development (7501 2nd Avenue) which has been satisfactorily completed by Parking Lot Maintenance, Inc. (Pewaukee, Wisconsin). The final amount of the contract is \$114,591.96. (Park Funds Only) (District 12) (Park – Ayes 5, Noes 0; PW – recommendation pending) [Page 228](#)
- N.3. Approval of request for sidewalk requirement exception by Local 72 UAW Building Corp. and William Thomas and Theresa Davison. (District 10) (PW – recommendation pending) [Pages 229-232](#)

**O. RECOMMENDATIONS FROM THE COMMITTEE ON
PUBLIC SAFETY & WELFARE**

- O.1. Request for Special Exception from the Sixteen-foot Height Limitation and the 840-square-foot Size Limitation to Construct a 21'7½" High, 912-square-foot Accessory Structure at 6826 54th Avenue; Property Owner/Petitioner: Jeffery R. Zastoupil; Zoning: RS-2. (District 14) (PSW – Ayes 5, Noes 0) **PUBLIC HEARING** [Pages 233-254](#)

P. AND SUCH MATTERS AS ARE AUTHORIZED BY LAW OR REGULAR BUSINESS

- P.1. Subrogation Claim of Lexington Insurance Company (Kindred Healthcare – Kenosha).
CLOSED SESSION: The Common Council may go into Closed Session, pursuant to §19.85 (1)(g), Wisconsin Statutes, to confer with legal counsel regarding the claim. The Common Council will reconvene into open session. (Fin. - recommendation pending) **Confidential Envelope in packet**

- a. LEGISLATIVE REPORT
- b. MAYOR'S COMMENTS
- c. ALDERPERSON COMMENTS

IF YOU ARE DISABLED AND IN NEED OF ASSISTANCE,
PLEASE CALL 653-4020 BEFORE THIS MEETING
web site: www.kenosha.org

**COMMON COUNCIL
OFFICIAL PROCEEDINGS
September 15, 2014**

Keith G. Bosman, Mayor

Debra L. Salas, City Clerk

**KENOSHA MUNICIPAL
BUILDING COUNCIL
CHAMBERS ROOM 200**

At a meeting of the Common Council held this evening, His Honor, Mayor Keith G. Bosman presided.

The meeting was called to order at 7:02 pm.

On roll call, the following members of the Common Council were present: Alderpersons Jenkins, Michalski, Ruffolo, LaMacchia, Paff, Juliana, Wicklund, Rosenberg, Kennedy, Gordon, Bostrom, Wilson, Prozanski, Rose, Johnson and Bogdala. Alderperson Haugaard was previously excused.

A moment of silence was observed in lieu of the invocation.

Mayor Bosman then led the Council in the Pledge of Allegiance to the American Flag.

It was moved by Alderperson Wicklund, seconded by Alderperson LaMacchia, to approve the minutes of the meeting held September 3, 2014.

Motion carried unanimously.

Mayor Bosman read a proclamation regarding Kenosha Festival of Cartooning. Anne Hambrook, Dan Joyce and Alderperson Michalski spoke.

3 Citizens spoke during Citizen's Comments: Diana Kanecki, Virginia Hoekstra, Tammy Conforti.

Mayor Bosman then made an announcement that a representative of SEWRPC, Nikki Payne, was present to speak about an event titled Vision 2050 Kenosha to be held at the Civil War Museum.

Mayor Bosman then announced that there were two oral referrals. The first to the Public Works Committee from Alderperson Jenkins, To Urge The Mayor To Include In The 2015 City of Kenosha Budget \$10,000 To Partner With And Complete Kenosha County's "Downtown Wifi" Plan As Presented By Kenosha County Executive James Kreuser. The second to the Public Safety & Welfare Committee and to the Licensing/Permit Committee from Alderperson Michalski, To Repeal And Recreate Section 13.01 Regarding Scrap Salvage Dealers And Fees And Scrap Salvage Collectors.

A. REFERRALS

TO THE PUBLIC WORKS COMMITTEE

A.1. By the Mayor - Resolution to Approve a Two-Lot Certified Survey Map for property at 3615 Washington Road. (Local 72 UAW).

TO THE PUBLIC SAFETY AND WELFARE COMMITTEE

A.2. Request for Special Exception from the Sixteen-foot Height Limitation and the 840-square-foot Size Limitation to Construct a 21'7½" High, 912-square-foot Accessory Structure at 6826 54th Avenue; Property Owner/Petitioner: Jeffery R. Zastoupil; Zoning: RS-2

TO THE CITY PLAN COMMISSION

A.3. Conditional Use Permit for a 45-unit apartment building to be located at 720 59th Place.

A.4. By the City Plan Commission - To Create Subsection 18.02 gg. of the Zoning Ordinance to Amend the Comprehensive Plan to Include a Master Plan for Pennoyer Park.

A.5. By the Mayor - To Repeal and Recreate Subparagraph 2.04 A.2 of the Zoning Ordinance for the City of Kenosha, Wisconsin regarding height regulations.

**B. COMMUNICATIONS,
PETITIONS, REPORTS
OF DEPARTMENTS**

B.1. It was moved by Alderperson Wilson, seconded by Alderperson Juliana, to approve:

a. 14 applications for an Operator's (Bartenders) license, per list on file in the office of the City Clerk.

b. 1 application for a transfer of agent status of Beer and/or Liquor licenses, per list on file in the office of the City Clerk.

c. There were no applications for a Temporary Class "B" Beer and/or "Class B" Wine license per list on file in the office of the City Clerk.

d. There were no applications for a Taxi Driver's license per list on file in the office of the City Clerk.

On a voice vote, motion carried.

B.2. It was moved by Alderperson LaMacchia, seconded by Alderperson Michalski to approve Special Exception Request to the Off-Street Parking requirement of Section 6.01 F.33 and F.34 of the Zoning Ordinance for property at 5811 99th Avenue.

A public hearing was held. Eric Micrin of Partners In Designs Architects spoke. On a voice vote, motion carried.

C. RECOMMENDATIONS FROM THE COMMITTEE ON LICENSING/PERMITS

C.1. It was moved by Alderperson Juliana, seconded by Alderperson LaMacchia to approve applications for new Operator's (Bartender) licenses subject to:

- 0 demerit points:

a. Brittanie Hood

- 10 demerit points:

b. Tinesha Sifuentes

- 30 demerit points:

c. Tim Tappa

- 40 demerit points:

d. Jeanette Daniel

e. Kara Cahoy

f. Darianna Booker

- 65 demerit points:

g. Jesus Badillo Tejada

A hearing was held. The applicants did not appear. On a voice vote, motion carried.

C.2. It was moved by Alderperson Juliana, seconded by Alderperson Wicklund to approve application of Quo Vadis Lackland for a new Taxi Driver's License subject to 90 demerit points.

A hearing was held. The applicant was present. Alderperson Bostrom called the applicant to the podium. On a voice vote, motion carried.

**COMMON COUNCIL
OFFICIAL PROCEEDINGS
September 15, 2014**

Keith G. Bosman, Mayor

Debra L. Salas, City Clerk

C.3. It was moved by Alderperson Wilson, seconded by Alderperson Juliana to approve application of Misty Bestler for a Secondhand Article Dealer Mall or Flea Market License located at 720 – 58th Street, (M Again reMakes), with no adverse recommendations.

A hearing was held. Misty Bestler spoke. On a voice vote, motion carried.

D. REPORTS AND RECOMMENDATIONS OF BOARDS AND COMMISSIONS

D.1. It was moved by Alderperson Gordon, seconded by Alderperson Michalski to approve Conditional Use Permit for an automobile body shop to be located at 5912 Sheridan Road.

A hearing was held. The applicant was present. On roll call vote, motion carried unanimously.

E. ORDINANCES 1ST READING

F. ZONING ORDINANCES 1ST READING

It was moved by Alderperson Bogdala, seconded by Alderperson LaMacchia, to send the following ordinances on their way:

F.1. Zoning Ordinance by the City Plan Commission - To Create Subsection 18.02 ff. of the Zoning Ordinance to Amend the Land Use Plan Map for the City of Kenosha: 2035.

F.2. Rezoning Ordinance by the City Plan Commission - Rezoning to remove and/or add Floodway (FW) for various properties south of 60th Street and east of 86th Avenue.

On a voice vote, motion carried.

G. ORDINANCES 2ND READING

H. ZONING ORDINANCES 2ND READING

I. RESOLUTIONS

Full text of resolutions are on file in the office of the City Clerk.

I.1. It was moved by Alderperson LaMacchia, seconded by Alderperson Paff, to approve Resolutions 104-14 through 106-14. A hearing was held. No one spoke.

On roll call vote, motion carried unanimously and said resolutions were thereupon approved. Resolutions by the Committee on Finance – Resolutions to Levy Special Charges Upon Various Parcels of Property Located in the City per List on File in the Office of the City Clerk:

Resolution 104-14

Boarding and Securing in the Total Amount of \$2,728.48

Adopted: September 15, 2014

Resolution 105-14

Boarding and Securing in the Total Amount of \$2,728.48

Adopted: September 15, 2014

Resolution 106-14

Property Maintenance Reinspection Fees in the Total Amount of \$1,492.00

Adopted: September 15, 2014

I.2. It was moved by Alderperson LaMacchia, seconded by Alderperson Paff to approve Resolution 107-14.

A hearing was held. Lonnie McCollum spoke. On roll call vote, motion carried (15-1), with Alderperson Bogdala voting nay and said resolution was thereupon approved:

Resolution 107-14

By the Committee on Finance – Resolution to Rescind Special Charges in the Total Amount of \$960.32 for Property Maintenance Reinspection Fees for 1105 57th Street (Parcel #12-223-31-455-001); Petitioner/Owner: Lonnie & Jaclyn McCollum

Adopted: September 15, 2014

I.3. It was moved by Alderperson LaMacchia, seconded by Alderperson Paff to approve Resolution 108-14.

A hearing was held. No one spoke. On roll call vote, motion carried unanimously and said resolution was thereupon approved:

Resolution 108-14

By the Finance Committee – Resolution to Levy a Special Assessment under Authority of Charter Ordinance No. 26, as Amended, upon Certain Parcels of Land Within the City of Kenosha, Wisconsin in the Amount of \$1,194.69 for Trash and Debris Removal

Adopted: September 15, 2014

I.4. It was moved by Alderperson Kennedy, seconded by Alderperson Juliana to approve Resolution 109-14.

A hearing was held. No one spoke. On roll call vote, motion carried unanimously and said resolution was thereupon approved:

Resolution 109-14

By the Finance Committee – To Levy Special Assessments Against Benefited Property Based Upon Final Construction Costs Respecting Improvements in the Street Right-of-way Reconstruction).

Adopted: September 15, 2014

I.5. It was moved by Alderperson LaMacchia, seconded by Alderperson Rose to approve Resolution 110-14.

On roll call vote, motion carried unanimously and said resolution was thereupon approved:

Resolution 110-14

By Committee on Public Safety And Welfare – Resolution to Rescind Resolution 57-67 to Remove the Existing One Hour Parking on the South Side of 44th Street from 7th Avenue 75 Feet West between the Hours of 6:00 AM to 10:00 PM.

Adopted: September 15, 2014

I.6. It was moved by Alderperson Bogdala, seconded by Alderperson LaMacchia to approve Resolution 111-14.

I.6.1. It was then moved by Alderperson Michalski, seconded by Alderperson Bostrom to open to a public hearing.

On a voice vote, motion carried. No one spoke.

I.6.2. It was then moved by Alderperson Prozanski, seconded by Alderperson Bostrom to amend the wording in the final paragraph to "...Board of Park Commissioners to ~~include~~ *consider the inclusion of* the current road configuration..."

**COMMON COUNCIL
OFFICIAL PROCEEDINGS
September 15, 2014**

Keith G. Bosman, Mayor

Debra L. Salas, City Clerk

I.6.3. It was then moved by Alderperson Gordon, seconded by Alderperson Paff to take a 5minute recess at 7:50 pm. On a voice vote, motion carried.

The meeting reconvened at 7:57pm.

On a voice vote, motion carried on those in favor of the amendment.

Alderperson LaMacchia indicated that he is to be added as a co-sponsor of the Resolution.

I.6.4. It was then moved by Alderperson Kennedy to adopt the blue line version of the amended resolution. Motion failed due to lack of second.

I.6.5. It was then moved by Alderperson Kennedy to adopt the red line version of the amended resolution. Motion failed due to lack of second.

On roll call vote, motion to approve as amended carried (12-4) with Alderpersons Kennedy, Johnson, Juliana, and Wicklund voting nay and said resolution was thereupon approved:

Resolution 111-14

By Alderperson Steven Bostrom; Co-Sponsors Alderperson David F. Bogdala, Alderperson G. John Ruffolo, Alderperson Rhonda Jenkins, Alderperson Rocco J. LaMacchia, Sr. – Resolution To Urge the City of Kenosha's Board of Park Commission to Include the Current Road Configuration of Kennedy Drive in Approving the Kennedy Park Master Plan.

Adopted: September 15, 2014

**J. APPOINTMENTS/
REAPPOINTMENTS BY THE MAYOR**

J.1. It was moved by Alderperson LaMacchia, seconded by Alderperson Paff, to approve appointment of Jolene Schneider (KUSD representative), 7817-19th Avenue, Kenosha, to the Museum Board, to fulfill an unexpired term which will expire May 1, 2016.

On a voice vote, motion carried.

K. PUBLIC CONSTRUCTION AND IMPROVEMENT CONTRACTS

K.1. It was moved by Alderperson Juliana, seconded by Alderperson Paff, to approve award of Contract for Project 14-1552 Fire Station No. 5 Floor Repair (2125 Washington Road) to Rasch Construction & Engineering (Kenosha, Wisconsin) in the amount of \$99,000.

On roll call vote, motion carried unanimously.

K.2. It was moved by Alderperson Kennedy, seconded by Alderperson Wilson to approve award of Contract for Project 14-1139 Forest Park Sanitary and Storm Enhancements (61st Street – 46th Avenue to 50th Avenue, 65th Street – 48th Avenue to 51st Avenue) to A.W. Oakes & Son (Racine, Wisconsin) in the amount of \$2,025,000.

On roll call vote, motion carried unanimously.

L. OTHER CONTRACTS AND AGREEMENTS

It was moved by Alderperson Kennedy, seconded by Alderperson Juliana, to approve:

L.1. Approval of Forest Park Area Storm and Sanitary Management Plan.

L.2. Stormwater Management Practices Maintenance Agreement for Stormwater Management Facilities between the City of Kenosha, Wisconsin (a Municipal Corporation) and VK 5612 95th, LLC (a Wisconsin Limited Liability Company).

L.3. Agreement by and between Kenosha Newco Capital, LLC, f/k/a/ UBC Kenosha, LLC and the City of Kenosha, WI and the Redevelopment Authority of the City of Kenosha, WI.

On roll call vote, motion carried unanimously.

M. RECOMMENDATIONS FROM THE COMMITTEE ON FINANCE

M.1. It was moved by Alderperson Kennedy, seconded by Alderperson Juliana to approve Disbursement Record #16 - \$21,892,716.17.

On roll call vote, motion carried unanimously.

N. RECOMMENDATIONS FROM THE COMMITTEE ON PUBLIC WORKS

**O. RECOMMENDATIONS FROM THE COMMITTEE ON
PUBLIC SAFETY & WELFARE**

P. AND SUCH MATTERS AS ARE AUTHORIZED BY LAW OR REGULAR BUSINESS

ADJOURNMENT

There being no further business to come before the Common Council, it was moved by Alderperson Gordon, seconded by Alderperson Wicklund, to adjourn at 8:56 pm.

On a voice vote, motion carried.

Approved:

**KEITH G. BOSMAN
MAYOR**

Attest:

**DEBRA L. SALAS
CITY CLERK/TREASURER
September 15, 2014**

**COMMON COUNCIL
OFFICIAL PROCEEDINGS
September 22, 2014**

Keith G. Bosman, Mayor

Debra L. Salas, City Clerk

**KENOSHA MUNICIPAL
BUILDING COUNCIL
CHAMBERS ROOM 200**

September 22, 2014

At a special meeting of the Common Council held this evening, His Honor, Mayor Keith G. Bosman presided.

The meeting was called to order at 7:00 pm.

On roll call, the following members of the Common Council were present: Alderpersons Jenkins, Michalski, Ruffolo, LaMacchia, Paff, Juliana, Wicklund, Rosenberg, Kennedy, Gordon, Bostrom, Wilson, Prozanski, Rose, Johnson and Bogdala. Alderpersons Haugaard and Rosenberg were previously excused. Alderperson Kennedy arrived at approximately 8:30 pm.

A moment of silence was observed in lieu of the invocation.

Mayor Bosman then led the Council in the Pledge of Allegiance to the American Flag.

1. It was moved by Alderperson Prozanski, seconded by Alderperson Wicklund to approve the final route for the streetcar system expansion as indicated in Exhibit A (on file in the office of the City Clerk). A public hearing was held. Thirty (30) people spoke in favor. Seven (7) people spoke against. The public hearing was closed.

On roll call vote, motion carried (10-5) with Alderpersons Bostrom, Bogdala, Jenkins, Michalski and Ruffolo voting nay.

There being no further business to come before the Common Council, it was moved, seconded and carried to adjourn at 10:03 pm.

Approved:

**KEITH G. BOSMAN
MAYOR**

Attest:

**DEBRA L. SALAS
CITY CLERK/TREASURER**

B.1.	October 6, 2014			NO ADVERSE
a.	BARTENDERS			
	First Name	Last Name	Address	Business Name
1	Ashley	Bardwell	1016 53 rd St	Max's Pub
2	Andrew	Bartel	7919 60 th Ave #101	Walgreens
3	Jude	Brownlee	7800 39 th Ave	
4	Kenya	Charleston	4809 38 th Ave	
5	Dominique	Cortes	38569 N. Sheridan Rd Lot 503- Beach Park, IL	Speedway
6	Antonio	Delle-Grazie	6634 30 th Ave Upper	Club Icon
7	Anthony	Franceschini	2416 91 st St	Woodman's
8	Kasey	Galek	1165 Legion Dr – Twin Lakes, WI	Rivals
9	Jonathan	Gossett	10116 28 th Ave	Cellar Door
10	Gerardo	Infusino	10076 51 st Ct	Infusino's
11	Kaelie	Jeschke	3815 29 th Ave	Clubhouse Pub & Grille
12	Adam	Kaprelian	3558 108 th St – Franksville, WI	Dickey's
13	Baljinder	Kaur	3124 S. Wynona Dr – Oak Creek, WI	Uptown Pantry
14	Crystal	Laffredi	7851 22 nd Ave	
15	Ashlee	Lindgren	5225 34 th Ave	Ron's Place
16	Michelle	Madole	5310 23 rd Ave Lower	Shenanigan's
17	Narpinder	Mann	5005 W. College Ave #98 – Greendale, WI	Mian Petroleum
18	Gerald	Mersand	4912 45 th St	
19	Preceious	Mitchell	4000 45 th St #102	Save-A-Lot
20	Colin	Mulroe	1005 Somerset Acres – New Lenox, IL	Carthage College
21	Akshay	Patel	23233 Indiana St. - Racine, WI	BP
22	Sunita	Prajapati	6225 54 th Ave	One Stop Grocery
23	Velji	Prajapati	3411 Lindermann Ave	One Stop Grocery
24	Nathaniel	Prinsen	622 Maple Ave – Oostburg, WI	Carthage College
25	Kyle	Rauen	5332 79 th St	Southport Mobil
26	Devyn	Rosenbaum	3906 Washington Rd #206	
27	Bradley	Royce	5332 68 th St	Sports Plaza Mobil
28	Holly	Shaal	5014 28 th Ave	
29	Matthew	Seibert	6505 95 th Ave	Walgreens
30	Haley	Sima	7321 10 th Ave	
31	Beckie	Stone	720 N. Glenn Dr. - Waukesha, WI	Tobacco Outlet Plus
32	Katherine	Thompson	5307 37 th Ave	Skybox
33	Tina	Wright	11815 60 th St	The Brat Stop
	TOTAL =	33		
b.	TRANSFER OF AGENT			
	First Name	Last Name	Address	Business Name
	TOTAL =	0		
c.	TEMPORARY CLASS “B” BEER			
	Event Date	Organization Name	Location of Event	Event
	TEMPORARY CLASS “Class B” WINE			
	Event Date	Organization Name	Location of Event	Event
1	11/08/14	Bradford Community Church	5810 8 th Ave	Bradford Church Auction

TEMPORARY CLASS “B” BEER & “Class B” WINE				
	Event Date	Organization Name	Location of Event	Event
2	10/18/14	Boys & Girls Club	Harbor Park	October Fest
3	11/01/14	Pleasant Prairie Fire/Rescue Assoc.	2020 91 st St.	Steak By Fire
4	11/02/14	Our Lady of the Holy Rosary Parish	4400 22 nd Ave	Autumn Fest
5	11/15/14	Kenosha Junior Woman's Club	6028 8 th Ave	KJWC Wine Tasting
	TOTAL =	5		
d			TAXI DRIVERS	
	First Name	Last Name	Address	Business Name
1	Nick	Bucher	6100 24 th Ave	M&M Taxi
2	Casey	Hannaman	3824 11 th Ave	M&M Taxi
	TOTAL =	2		

Police Record Report

APPLICANT INFORMATION			
Date of Application	Name of Applicant	Applicant's Date of Birth	Driver's License Status
9/9/2014	Samantha Schroeder		Valid
License Number	Address of Applicant	Business (where license is to be used)	Business Address
N150694	1747 Birch Rd #12	Bindelli's City Zoo	

DATE OF CHARGE	OFFENSE	CASE STATUS	OFFENSE LISTED ON APPLICATION	POINTS
9/11/2010	DUTY UPON STRIKING PROPERTY	GUILTY	N	0
10/2/2012	LICENSE NOT ON PERSON	GUILTY	N	0

CITY ATTORNEY'S RECOMMENDATION	
Offense Demerit Points	0
Were all offenses listed on the application?	N = 20
TOTAL DEMERIT POINTS	20

CITY ATTORNEY'S COMMENTS

FINAL RECOMMENDATION	
<input checked="" type="checkbox"/> GRANT, Subject to <input type="text" value="20"/> Demerit Points	
<input type="checkbox"/> DENY, based on material police record (substantially related to the license activity)	
<input type="checkbox"/> DEFER or GRANT subject to Non-Renewal Revocation due to False Application	

Cle

APPLICANT INFORMATION			
Date of Application	Name of Applicant	Applicant's Date of Birth	Driver's License Status
9/18/2014	Emilia Cerdas		Valid
License Number	Address of Applicant	Business (where license is to be used)	Business Address
N150714	5425-39th Avenue	El Sarape / La Hacienda	

DATE OF CHARGE	OFFENSE	CASE STATUS	OFFENSE LISTED ON APPLICATION	POINTS
7/28/2012	OPERATING W/O LICENSE (2ND WITHIN 3 YEARS)	GUILTY	N	5

CITY ATTORNEY'S RECOMMENDATION	
Offense Demerit Points	5
Were all offenses listed on the application?	N = 20
TOTAL DEMERIT POINTS	25

CITY ATTORNEY'S COMMENTS

FINAL RECOMMENDATION
<input checked="" type="checkbox"/> GRANT, Subject to 25 Demerit Points
<input type="checkbox"/> DENY, based on material police record (substantially related to the license activity)
<input type="checkbox"/> DEFER or GRANT subject to Non-Renewal Revocation due to False Application

C19

APPLICANT INFORMATION			
Date of Application	Name of Applicant	Applicant's Date of Birth	Driver's License Status
9/11/2014	Eugene Mantuano		Valid
License Number	Address of Applicant	Business (where license is to be used)	Business Address
N150709	7514-19th Avenue	Mangla's	5717 Sheridan Road

DATE OF CHARGE	OFFENSE	CASE STATUS	OFFENSE LISTED ON APPLICATION	POINTS
10/12/2012	BLOOD ALCOHOL CONTENT	GUILTY	Y	50
10/12/2012	OPERATING WHILE INTOXICATED	GUILTY	Y	

CITY ATTORNEY'S RECOMMENDATION		
Offense Demerit Points	50	
Were all offenses listed on the application?	Y	
TOTAL DEMERIT POINTS	50	

CITY ATTORNEY'S COMMENTS

FINAL RECOMMENDATION	
<input checked="" type="checkbox"/>	GRANT, Subject to 50 Demerit Points
<input type="checkbox"/>	DENY, based on material police record (substantially related to the license activity)
<input type="checkbox"/>	DEFER or GRANT subject to Non-Renewal Revocation due to False Application

APPLICANT INFORMATION			
Date of Application	Name of Applicant	Applicant's Date of Birth	Driver's License Status
9/8/2014	Manuel Ortiz		Valid
License Number	Address of Applicant	Business (where license is to be used)	Business Address
N150689	1919-45th Street	Houston's Bar & Grill	1925-45th Street

DATE OF CHARGE	OFFENSE	CASE STATUS	OFFENSE LISTED ON APPLICATION	POINTS
9/7/2009	OPERATING WHILE INTOXICATED- 2ND OFFENSE	GUILTY	Y	5 YRS OLD
2/13/2010	BLOOD ALCOHOL CONTENT	GUILTY	Y	} 80
2/13/2010	OPERATING WHILE INTOXICATED 3RD OFFENSE	GUILTY	Y	

CITY ATTORNEY'S RECOMMENDATION		
Offense Demerit Points	80	
Were all offenses listed on the application?	Y	
TOTAL DEMERIT POINTS	80	

CITY ATTORNEY'S COMMENTS

FINAL RECOMMENDATION	
<input checked="" type="checkbox"/>	GRANT, Subject to 80 Demerit Points
<input type="checkbox"/>	DENY, based on material police record (substantially related to the license activity)
<input type="checkbox"/>	DEFER or GRANT subject to Non-Renewal Revocation due to False Application

APPLICANT INFORMATION			
Date of Application	Name of Applicant	Applicant's Date of Birth	Driver's License Status
9/9/2014	Jennifer Doud		Valid
License Number	Address of Applicant	Business (where license is to be used)	Business Address
N150693	6832-28th Avenue	Go Green Gas Station	2710 Roosevelt Rd.

DATE OF CHARGE	OFFENSE	CASE STATUS	OFFENSE LISTED ON APPLICATION	POINTS
4/15/2010	UNDERAGE LIQUOR VIOLATION	GUILTY	N	20
6/5/2011	BLOOD ALCOHOL CONTENT	GUILTY	Y	50
6/5/2011	OPERATING WHILE INTOXICATED	GUILTY	Y	
6/5/2011	OPERATING WHILE SUSPENDED	GUILTY	Y	
4/2/2013	OPERATING AFTER REVOCATION	UNKNOWN	Y	10
8/15/2014	OPERATING WHILE REVOKED (REVOKED DUE TO ALC/CONTR SUBST/ REFUSAL)	DISPO PENDING	Y	MISDEMEANOR x 4 = 80
8/15/2014	IGNITION INTERLOCK DEVICE TAMPERING/FAILURE TO INSTALL	DISPO PENDING	N	
8/15/2014	BAIL JUMPING -2 COUNTS	DISPO PENDING	Y	

CITY ATTORNEY'S RECOMMENDATION	
Offense Demerit Points	170
Were all offenses listed on the application?	N = 20
TOTAL DEMERIT POINTS	190

CITY ATTORNEY'S COMMENTS

FINAL RECOMMENDATION	
<input type="checkbox"/>	GRANT, Subject to <input type="checkbox"/> Demerit Points
<input checked="" type="checkbox"/>	DENY, based on material police record and False Application
<input type="checkbox"/>	DEFER or GRANT subject to Non-Renewal Revocation due to False Application

Adverse



OPERATOR'S (BARTENDER) LICENSE

Type: 217 Fee: \$75.00

FILED	9-9-14
INITIALS	JAD
ADVERSE/NO ADV	
LP	
CC	

Beverage Course Completed
 HOLD for Beverage Course

License # N150693
 Provisional Issued: yes

I hereby apply for an Operator's License to serve Alcoholic Beverages in any place of business operated under a Class "B", "Class B", Class "A", "Class A", and/or "Class C" License in the City of Kenosha to and including the 30th day of June, 2016. (Unless sooner revoked). I hereby note that I am responsible for knowing and abiding by the contents of Chapter 125, Wisconsin Statutes and Chapter 10 of the Code of General Ordinances and that my license may be suspended, revoked, or not renewed, and/or I may be subject to a civil forfeiture for non-compliance therewith.

Last Name: Doud First Name: Jennifer MI: E
 (NOTE: Name must appear exactly as it appears on driver's license or state ID)

Date of Birth: _____ Gender: F Phone: 262 344 6565

Home Address: 6832 28th Ave Kenosha WI 53143
CITY STATE ZIP

Email: jenniferdoud08@yahoo.com
 (correspondence will be via email if address is given)

Driver's License or State ID Number WI _____
STATE NUMBER

Name of Business Where License will be used Go Green gas station 2710 Roosevelt Rd
 (PLEASE NOTE: license may be utilized in the City of Kenosha only.)

ANSWER THE FOLLOWING QUESTIONS TRULY AND COMPLETELY:

1. Have you, as an adult, ever been convicted of a major crime (felony), minor crime (misdemeanor), or of violating a municipal or county ordinance in Wisconsin, or in any other State; or do you have a charge pending at this time? Yes No If yes, state: charge, year, result:
DUI, 2011, 12 counts Bail jumping
paid fines 2014
Insurance 2014 - payment plan
driving after suspension 2014
bonded out, paid tickets

2. Have you, as an adult, ever served time; or have been sentenced to serve time in a jail or prison in Wisconsin or any other State? Yes No If yes, explain:
Bail jumping - paid tickets

-OVER-

3. Have you ever had your driver's license suspended or revoked in Wisconsin or in any other State?

Yes No If yes, explain:

DUI, 2011 - paid tickets

4. Have you received any traffic citations in Wisconsin or in any other state within the past five (5) years; or do you have any such citations pending? Yes No If yes, state: charge, year, result:

paid - Scatbelt, 2013 Insurance, Bail jumping, driving
after suspension 2014, - paid payment paid paid
Insurance, 2013? Insurance 2011? - paid

5. Have you, as an adult, within the past five (5) years, while operating a business or engaged in a profession, been convicted of any state or federal charges; or do you have charges pending at this time involving unfair trade practices, unethical conduct, or discrimination? Yes No

If yes, state: charge, year, result:

6. List the name and address of all employers for which you have worked and/or businesses you have operated in the past five (5) years:

Sanmina Pleasant Prairie, Citgo 2710 Roosevelt Rd,
family dollar 75th st, cherry Berry Green Bay Rd.

7. List all addresses at which you have lived in the past five (5) years:

10832 28th Ave, 7412 95th Ave

READ CAREFULLY BEFORE SIGNING: I hereby certify that I am the applicant named in this application, and I have read and answered each and every question truly, correctly, and completely, under penalty of law for failure to do so. If this application contains statements or information which is untrue, incorrect and/or incomplete in any material respect, it may be denied.

Applicant's Signature: Jennifer David

Date: 9/9/14

I have received a copy of the NOTICE pertaining to LICENSE/PERMIT APPLICATIONS from the City Clerk's Office

JD
(Applicant's Initials)

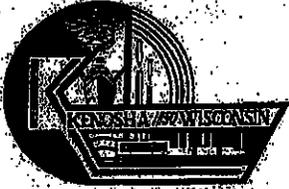
APPLICANT INFORMATION			
Date of Application	Name of Applicant	Applicant's Date of Birth	Driver's License Status
9/9/2014	Will Darden		Valid
License Number	Address of Applicant	Business (where license is to be used)	Business Address
N150029	1308-Villa Street, Racine, WI 53403	Not Listed	

DATE OF CHARGE	OFFENSE	CASE STATUS	OFFENSE LISTED ON APPLICATION	POINTS
12/19/2009	SPEEDING INTERMEDIATE	GUILTY	Y	40
12/19/2009	OPERATING WHILE INTOXICATED	GUILTY	Y	75
7/7/2013	DC/LOUD MUSIC	GUILTY	Y	20
3/15/2002	FELONY B - HOMICIDE BY INTOXICATED USE OF VEHICLE	GUILTY	Y	100

CITY ATTORNEY'S RECOMMENDATION		
Offense Demerit Points	235	
Were all offenses listed on the application?	Y	
TOTAL DEMERIT POINTS	235	

CITY ATTORNEY'S COMMENTS

FINAL RECOMMENDATION	
<input type="checkbox"/>	GRANT, Subject to <input type="checkbox"/> Demerit Points
<input checked="" type="checkbox"/>	DENY, based on material police record (substantially related to the license activity)
<input type="checkbox"/>	DEFER or GRANT subject to Non-Renewal Revocation due to False Application



TAXI DRIVER'S LICENSE

Type: 144 Fee: \$30.00

27576 Adverse

FILED	9-9-14
INITIALS	RS
ADVERSE/NO ADV	
LP	
CC	

Expires: April 30, 2015

N License # 150029

The undersigned requests that a license be granted in accordance with Chapter XIII, Section 13.07 G. of the Code of General Ordinances of the City of Kenosha, and certifies that the following information is true and correct to the best of his/her knowledge.

Last Name: Darden First Name: Will MI: Jr

(NOTE: Name must appear exactly as it appears on driver's license or state ID)

Date of Birth: 1 Gender: male Phone: 262-456-9845

Home Address: 1308 Villa Street

City/State/Zip: Racine WI 53405

Email: Will.darden47@yahoo.com (correspondence will be via email if address is given)

Driver's License or State ID Number WI STATE NUMBER

Name of Business Where License will be used

ANSWER THE FOLLOWING QUESTIONS TRULY AND COMPLETELY:

1. Have you, as an adult, ever been convicted of a major crime (felony), minor crime (misdemeanor), or of violating a municipal or county ordinance in Wisconsin, or in any other State; or do you have a charge pending at this time? Yes No

If yes, state: charge, year, result Homicide by intoxication of a motor vehicle March 2002 Battery & bail jumping 2001

2. Have you, as an adult, ever served time; or have been sentenced to serve time in a jail or prison in Wisconsin or any other State? Yes No If yes, explain:

In 2002 Homicide by intoxication & battery and bail jumping

3. Have you ever had your driver's license suspended or revoked in Wisconsin or in any other State? Yes No If yes, explain:

2009 DUI

-OVER-

4. Have you received any traffic citations in Wisconsin or in any other State within the past five (5) years; or do you have any such citations pending? Yes No

If yes, state: charge, year, result

Lowest music in 2014 a DUI 2009 Speeding 2009

5. Have you, as an adult, within the past five (5) years, while operating a business or engaged in a profession, been convicted of any state or federal charges; or do you have charges pending at this time involving unfair trade practices, unethical conduct, or discrimination? Yes No

If yes, state: charge, year, result

6. List the name and address of all employers for which you have worked and/or businesses you have operated in the past five (5) years:

McDonalds, Walmart, Parcell Employment

7. List all addresses at which you have lived in the past five (5) years:

1146 Wisconsin Ave, 1130 Washington Ave
1305 Villa

8. I hereby certify that I am the applicant named in this application, and I have read and answered each and every question truly, correctly, and completely, under penalty of law for failure to do so.

I also certify that:

- I am able to read and write the English language
- I am not addicted to the use of intoxicating liquor or drugs
- I am at least 18 years of age
- I have a valid Wisconsin Driver's License
- I have never been arrested, except as listed above

Applicant's Signature: Wesley Darden Date: 09-09-14

I have received a copy of the NOTICE pertaining to LICENSE/PERMIT APPLICATIONS from the City Clerk's Office

WD
(Applicant's Initials)

*After filing this application for a Taxi Driver's License with the City Clerk, you must go to the Safety Building at 1000 55th Street to have your picture and fingerprints taken. You must do this Monday through Friday between the hours of 1:00 and 3:00 pm only.

C4
 10/12/14
 CC1014

ORIGINAL ALCOHOL BEVERAGE RETAIL LICENSE APPLICATION

Submit to municipal clerk.

For the license period beginning October 20 14 ;
 ending June 30 20 15

Applicant's Wisconsin Seller's Permit Number: <u>456-1027389468-02</u>	
Federal Employer Identification Number (FEIN): <u>45-4028831</u>	
LICENSE REQUESTED	
TYPE	FEE
<input type="checkbox"/> Class A beer	\$
<input checked="" type="checkbox"/> Class B beer	\$ <u>75</u>
<input type="checkbox"/> Class C wine	\$
<input type="checkbox"/> Class A liquor	\$
<input checked="" type="checkbox"/> Class B liquor	\$ <u>375</u>
<input type="checkbox"/> Reserve Class B liquor	\$
Publication fee	\$ <u>40</u>
TOTAL FEE	\$ <u>490</u>

TO THE GOVERNING BODY of the: Town of } Kenosha
 Village of }
 City of }

County of Kenosha Aldermanic Dist. No. 16 (if required by ordinance)

1. The named INDIVIDUAL PARTNERSHIP LIMITED LIABILITY COMPANY
 CORPORATION/NONPROFIT ORGANIZATION

hereby makes application for the alcohol beverage license(s) checked above.

(2) Name (Individual/partners give last name, first, middle; corporations/limited liability companies give registered name): Mickey Angelo's LLC
Ernest M. Gulla

An "Auxiliary Questionnaire," Form AT-103, must be completed and attached to this application by each individual applicant, by each member of a partnership, and by each officer, director and agent of a corporation or nonprofit organization, and by each member/manager and agent of a limited liability company. List the name, title, and place of residence of each person.

Title	Name	Home Address	Post Office & Zip Code
President/Member	<u>Ernest M. Gulla</u>	<u>805 40th St</u>	<u>Kenosha WI 53140</u>
Vice President/Member			
Secretary/Member			
Treasurer/Member			
Agent	<u>Ernest M. Gulla</u>	<u>805 40th St</u>	<u>Kenosha WI 53140</u>
Directors/Managers			

3. Trade Name Mickey Angelo's Business Phone Number 262-359-0407
 4. Address of Premises 4235 Greenbay Rd Suite 7+8 Post Office & Zip Code Kenosha WI 53140

5. Is individual, partners or agent of corporation/limited liability company subject to completion of the responsible beverage server training course for this license period? Yes No Completed 9/12/14
6. Is the applicant an employe or agent of, or acting on behalf of anyone except the named applicant? Yes No
7. Does any other alcohol beverage retail licensee or wholesale permittee have any interest in or control of this business? Yes No
8. (a) Corporate/limited liability company applicants only: Insert state WI and date 1-31-12 of registration 9-15-14 OK
 (b) Is applicant corporation/limited liability company a subsidiary of any other corporation or limited liability company? Yes No
 (c) Does the corporation, or any officer, director, stockholder or agent or limited liability company, or any member/manager or agent hold any interest in any other alcohol beverage license or permit in Wisconsin? Yes No

(NOTE: All applicants explain fully on reverse side of this form every YES answer in sections 5, 6, 7 and 8 above.)

9. Premises description: Describe building or buildings where alcohol beverages are to be sold and stored. The applicant must include all rooms including living quarters, if used, for the sales, service, and/or storage of alcohol beverages and records. (Alcohol beverages may be sold and stored only on the premises described.) 1-Story building food + Beverage, Storage, Outside beer garden, Mixed smoking + Banquet Hall

10. Legal description (omit if street address is given above):

11. (a) Was this premises licensed for the sale of liquor or beer during the past license year? Yes No
 (b) If yes, under what name was license issued? (Slice) FCW of Kenosha, WI, Inc.

12. Does the applicant understand they must file a Special Occupational Tax return (TTB form 5630.5) before beginning business? [phone 1-800-937-8864] Yes No

13. Does the applicant understand a Wisconsin Seller's Permit must be applied for and issued in the same name as that shown in Section 2, above? [phone (800) 266-2776] Yes No

14. Does the applicant understand that they must purchase alcohol beverages only from Wisconsin wholesalers, breweries and brewpubs? Yes No

READ CAREFULLY BEFORE SIGNING: Under penalty provided by law, the applicant states that each of the above questions has been truthfully answered to the best of the knowledge of the signers. Signers agree to operate this business according to law and that the rights and responsibilities conferred by the license(s), if granted, will not be assigned to another. (Individual applicants and each member of a partnership applicant must sign; corporate officer(s), member(s)/manager(s) of Limited Liability Companies must sign.) Any lack of access to any portion of a licensed premises during inspection will be deemed a refusal to permit inspection. Such refusal is a misdemeanor and grounds for revocation of this license.

SUBSCRIBED AND SWORN TO BEFORE ME

this 10th day of Sept 2014
Lenay R Johnson (Officer of Corporation/Member/Manager of Limited Liability Company/Partner/Individual)
Ernest M Gulla (Officer of Corporation/Member/Manager of Limited Liability Company/Partner)
 My commission expires 6-6-17 State of Wisconsin (Additional Partner(s)/Member/Manager of Limited Liability Company if Any)

TO BE COMPLETED BY CLERK			
Date received and filed with municipal clerk <u>9/15/14</u>	Date reported to council/board	Date provisional license issued	Signature of Clerk / Deputy Clerk
Date license granted <u>10/1/14</u>	Date license issued	License number issued	

**CITY OF KENOSHA STATEMENT OF ECONOMIC IMPACT
APPLICATION FOR BEER AND OR LIQUOR LICENSE - CHECK ALL THAT APPLY:**

<input type="checkbox"/>	CLASS "A" BEER (GROCERY STORE, LIQUOR STORE, GAS STATION)	<input type="checkbox"/>	"CLASS A" LIQUOR (GROCERY STORE, LIQUOR STORE, GAS STATION)
<input checked="" type="checkbox"/>	CLASS "B" BEER (RESTAURANT, BAR)	<input checked="" type="checkbox"/>	"CLASS B" LIQUOR (RESTAURANT, BAR)

1. Applicant Name Forest W. Gallo Business Name Mickey Angelo's LLC
2. Property Information: Address 4235 Greenbay Rd Owner Edward Wamboldt
53144
 If applicant is not owner, does applicant have a lease agreement with the owner? (Yes or No (NOTE; Proof of property ownership or proof of an executed lease must be provided to the City Clerk before the license will be issued.)
3. Square footage of building 5043 Assessed value of property 600,000⁰⁰
4. Assessed value of personal property (furniture, fixtures, equipment to be used in the business) 35,000⁰⁰

5. If this application is for a "Class A" Liquor license, is the premises physically closed to customers during the hours in which sales are not permitted? Yes or No or Not Applicable (circle one)

6. Gross Monthly Revenue - According to Section 10.03, applicants must come within 70% of the estimate of gross monthly revenue for alcohol beverages after one full license term or the license may be subject to revocation.

FOR EACH PRODUCT, PROVIDE GROSS MONTHLY REVENUE AND BASIS FOR ESTIMATES:

BEER 16,800

LIQUOR 16,800

FOOD 33,600

OTHER (specify) 500⁰⁰

TOTAL GROSS MONTHLY REVENUE 62,700⁰⁰

(OVER)

CITY OF KENOSHA STATEMENT OF ECONOMIC IMPACT - PAGE TWO

Applicant Name Ernest M Gullo Business Name Mickey Angelo's

Property Information: Address 4235 Greenbay Rd Owner Ernest M Gullo

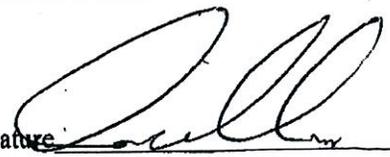
7. Explain how the issuance of this license will benefit the City: It will create jobs

8. Explain why the business will have a substantial positive impact upon the surrounding properties: located To A Developing Area. Where People Can Have Great Food + Relax For Lunch Dinner Or A Night

9. Explain why the business have a significant, positive influence on the City economy: We will support local businesses for many of our products

10. Has the applicant contacted the alderperson of the district where this business is located? Yes

11. List other factors the Common Council should consider: Over the last 35+ years I have managed 7 different restaurants, 4 in Colorado + 3 in Kenosha. Since I moved back to Kenosha, I managed Maplecrest CC, The Station (Spaghetti Station) + Parkway Chateau. I think earned a good reputation with all the businesses above. I have been wanting to have my own restaurant for a long time. I think it's my time.

Applicant's Signature 

LICENSE SURRENDER

STATE OF WISCONSIN
KENOSHA COUNTY } SS

ECW Inc Kenosha WI, Inc
(Individual/Partners/Corporation Name)

being first duly sworn on oath, says that he/she is the holder of the following license(s) (check all that apply) issued by the City of Kenosha, Wisconsin:

- "Class B" Liquor
- Class "B" Beer (Fermented Malt Beverage)
- "Class A" Liquor
- Class "A" Beer (Fermented Malt Beverage)
- "Class C" Wine

Affiant will surrender said license #(s) 02263214007020 to the City Clerk.

That this affidavit is made to inform the City Council that the affiant hereby intends not to apply for said license(s) for the ensuing year, and to propose to the said council that said license(s) be granted to:

(Ernest Gullo) Mickey Angelo's LLC

to whom your affiant has sold his business and, to whom your affiant surrenders all of his privileges to apply for a license.

Affiant will surrender said license(s) # 022632140070201, to the City Clerk

prior to the time a license is issued to Mickey Angelo's LLC ECW Inc of Kenosha Wisconsin 9-15-14

and provide further that a license is granted to Mickey Angelo's LLC the person herein designated.

[Signature]
Individual/Partner/President of Corporation Partner/Corporate Officer

Subscribed and sworn to before me this 15th day of SEPTEMBER, 2014.

[Signature]
Notary Public
Kenosha County, Wisconsin
My Commission Expires: 03/20/2016

Class "B" Beer / "Class B" Liquor application

4235 Green Bay Road



- Class "A"
- "Class A"
- ◆ Class "B"
- ★ Class "B" & "Class B"
- ▲ "Class C"

Note: Residential districts are not colored.

Note: Business districts are colored as follows: B-1 B-2 B-3 B-4

5,280 feet from applicant

5,280 ft. Radius	Class "A"				
	Class "A"	Class "A"	Class "B"	Class "B" & "Class B"	Class "C"
Residential Districts	0	0	0	0	0
Business Districts	3	1	0	4	0
Other Districts	0	0	0	0	0

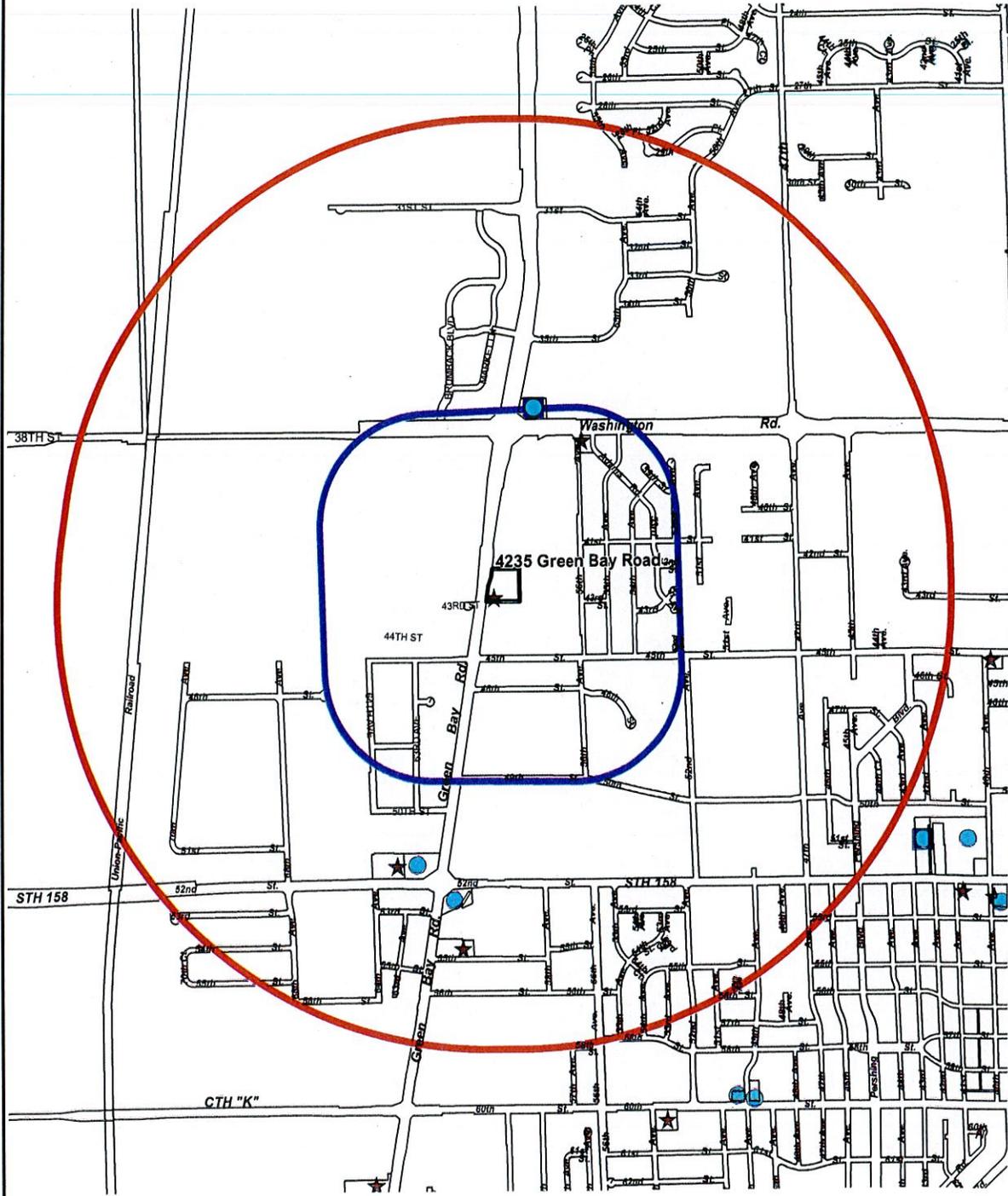
6 block Radius

6 block Radius	Class "A"				
	Class "A"	Class "A"	Class "B"	Class "B" & "Class B"	Class "C"
Residential Districts	0	0	0	0	0
Business Districts	1	1	0	2	0
Other Districts	0	0	0	0	0



October 6, 2014 Pg. 26

Class "B" Beer / "Class B" Liquor application
 4235 Green Bay Road



- Class "A"
- "Class A"
- ◆ Class "B"
- ★ Class "B" & "Class B"
- ▲ "Class C"

Note: Residential districts are not colored.

5,280 feet from applicant

5,280 ft. Radius	Class "A"	"Class A"	Class "B"	Class "B" & "Class B"	"Class C"
Residential Districts	0	0	0	0	0
Business Districts	3	1	0	4	0
Other Districts	0	0	0	0	0

6 blocks from applicant

6 block Radius	Class "A"	"Class A"	Class "B"	Class "B" & "Class B"	"Class C"
Residential Districts	0	0	0	0	0
Business Districts	1	1	0	2	0
Other Districts	0	0	0	0	0





Temporary OUTDOOR EXTENSION of Class "B", "Class B", and/or "Class C" License(s)

CITY ORDINANCE §10.075

FILED 9/17 INITIALS mm ADVERSE/NO ADY LP 9/29 CC 10/6

Type: 211 Fee: \$ 50.00/app Date(s) of Event: 10/11/14 (Limit 3 days/year)

- 1. Licensee: Dishes to Die For, Inc. District # 7 Note: must be same name as beer/liquor license 4120-7 Ave
2. Trade Name & Address: tg's Restaurant + Pub Kenosha
3. Contact Person: Theresa K Plev Phone: 658-8080 Email: tgbar@gmail.com
4. Type of activity planned for the outdoor area: Zombie Ride, Handlebars + Bars
5. A detailed map (site plan) of the outdoor area is required. map
6. Will a fence surround the proposed temporary outdoor area? yes no
7. The closing hours for a temporary outdoor extension are 10:00 P.M. TO 8:00 A.M. You may request to change these hours to 12:00 midnight to 8:00 am. application attached N/A

To be completed by The Community Development & Inspections Department:

Zoning Classification: B-2 if SFR, choose: Waiver B1 (institutional), B2 (restaurant), B3 (outdoor dining), or N/A
The outdoor area sought is 45 ft from any single-family dwelling. If less than 25ft from single family, choose:
Waiver B1 (institutional), B2 (restaurant), B3 (outdoor dining), or N/A if dwelling is two-family, multi-family, zoned B-1, B-2, B-3, B-4 districts; or dwelling within twenty-five (25') feet of said boundary is occupied by the applicant and/or his/her immediate family and no others.
The outdoor area has a boundary:
within 750 ft of any residentially zoned property. Live music/entertainment is allowed in outdoor area 10:00am to 10:00pm with a cabaret license. (Amplified music is allowed without a cabaret license subject to the same time restrictions.)
greater than 750 ft of any residentially zoned property. Live music/entertainment is allowed in outdoor area 10:00am to 1:00am (or earlier in accordance with the closing time of the outdoor extension) with a cabaret license. (Amplified music is allowed without a cabaret license subject to the same time restrictions.)

Recommendation:

Approval

CDI Staff Member: [Signature]

Date: September 19, 2014

**“WAIVER B”
WAIVER OF PROHIBITIONS SET FORTH
IN §10.075 D.1 AND D.3 OF THE CODE OF GENERAL ORDINANCES**

OUTDOOR EXTENSION

Dishes to Die For Inc

Licensee Name

tg's Restaurant + Pub

Trade Name

4120-7 Ave Kenosha

Trade Address

Applicant has applied for an extension of their Retail Class "B" Fermented Malt Beverage, "Class B" Liquor, and/or "Class C" Wine Licenses in accordance with §10.075 of the Code of General Ordinances and requests a waiver of all of the prohibitions set forth in Section D(1) and D(3) thereof because the licensed premises, including the outdoor area:

- B1.** is located wholly within an area in the City zoned Institutional.
- B2.** is operating as a restaurant, with the sale of alcoholic beverages accounting for less than fifty (50%) percent of the establishment's gross receipts in the B-1, B-2, B-3, or B-4 Zoning Districts (as defined by Section 5.046 A.10 Of the Code of General Ordinances).
- B3.** is licensed by the City of Kenosha for Outdoor Dining.

Please find below a list of names and addresses of all property owners residing within 25 feet of the boundaries of the outdoor area sought to be included within the description of the Retail Class "B" Beer, "Class B" Liquor, and/or "Class C" Wine licensed premises. **This list will be forwarded to the Building Inspector for verification.**

No RESIDENTIAL properties with 25 feet of proposed outdoor area.

(Partner/Member)

Date

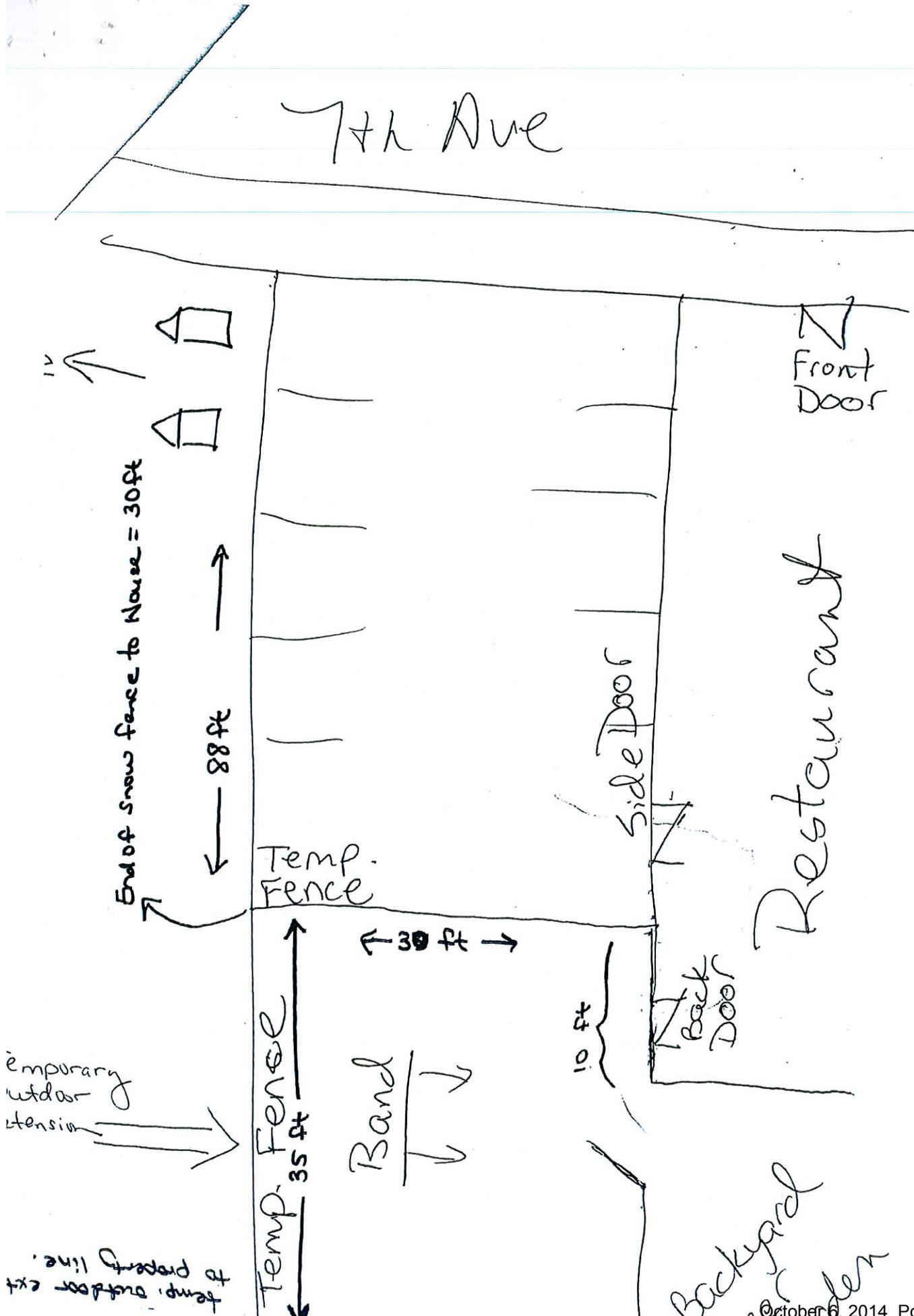
(Partner/Member)

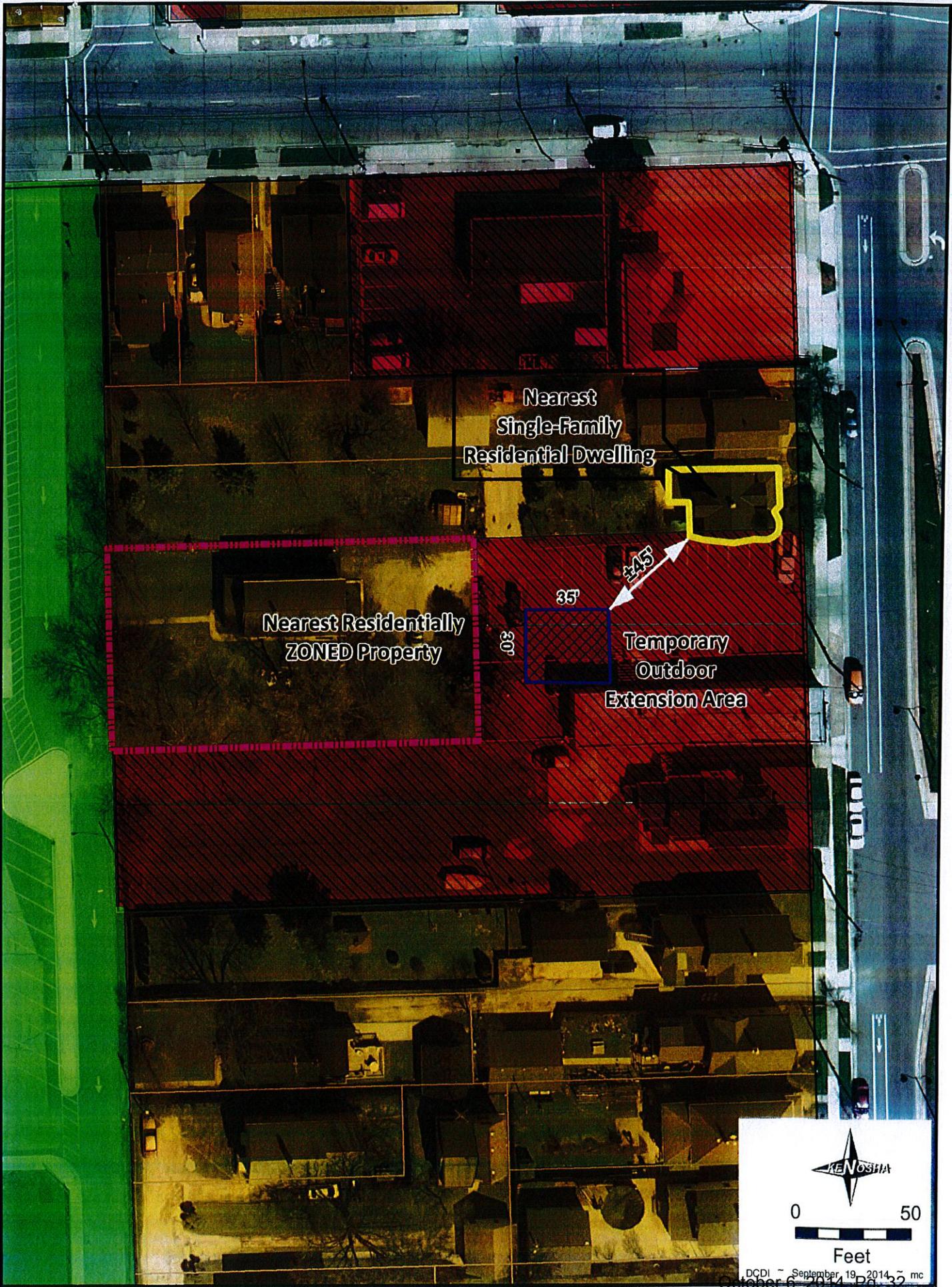
Date

Received by Building Inspector Michael Callovi

Date September 19, 2014

7th Ave





Common Council Agenda Item C.5.

CV

E-MAILED SEP 22 REC'D



Temporary OUTDOOR EXTENSION

of Class "B", "Class B", and/or "Class C" License(s)

CITY ORDINANCE §10.075

FILED	9-22-14
INITIALS	JS
ADVERSE/NO ADV	
LP	9/29
CC	

Type: 211 Fee: \$ 50.00/app Date(s) of Event: 10/11/2014
(Limit 3 days/year)

1. Licensee: Traci Peterson District # 3
Note: must be same name as beer/liquor license

2. Trade Name & Address: Hattrix 2425-60th St Kenosha, WI 53140

3. Contact Person: Traci Peterson Phone: 262-496-5306 Email: hattrix2425@gmail.com
(correspondence will be via email if address is given)

4. Type of activity planned for the outdoor area: Stop For Bicycle Ride with Music

5. A detailed map (site plan) of the outdoor area is required. map
If assistance is needed, contact Mike Callovi (Community Development & Inspections) at 653-4032 to schedule an appointment. (see example attached to this application)

6. Will a fence surround the proposed temporary outdoor area? yes no
 Request for Common Council to waive the fence requirement of Subsection D.3. of the Ordinance.

7. The closing hours for a temporary outdoor extension are 10:00 P.M. TO 8:00 A.M. You may request to change these hours to 12:00 midnight to 8:00 am. application attached n/a

To be completed by The Community Development & Inspections Department:

Zoning Classification: B-2 if SFR, choose: Waiver B1 (institutional), B2 (restaurant), B3 (outdoor dining), or N/A

The outdoor area sought is ± 115 ft from any single-family dwelling. If less than 25ft from single family, choose:

Waiver B1 (institutional), B2 (restaurant), B3 (outdoor dining), or N/A if dwelling is two-family, multi-family, zoned B-1, B-2, B-3, B-4 districts; or dwelling within twenty-five (25') feet of said boundary is occupied by the applicant and/or his/her immediate family and no others.

The outdoor area has a boundary:

within 750 ft of any residentially zoned property.
Live music/entertainment is allowed in outdoor area 10:00am to 10:00pm with a cabaret license. (Amplified music is allowed without a cabaret license subject to the same time restrictions.)

greater than 750 ft of any residentially zoned property.
Live music/entertainment is allowed in outdoor area 10:00am to 1:00am (or earlier in accordance with the closing time of the outdoor extension) with a cabaret license. (Amplified music is allowed without a cabaret license subject to the same time restrictions.)

Recommendation:

Approval

CDI Staff Member: [Signature] Date: 24 September, 2014
October 6, 2014 Pg. 33

PLEASE NOTE: Be sure to include appropriate attachments/waivers and file with the City Clerk's office no later than fourteen (14) days before final action of the Common Council. Meetings are held the 1st and 3rd Mondays of each month. Pursuant to Section 10.063, accumulation of more than 50 demerit points shall be a basis for denial, revocation or suspension of the outdoor area.

READ CAREFULLY BEFORE SIGNING: Under penalty provided for by law, the undersigned states that each of the above questions has been truthfully answered to the best of his/her/their knowledge. (Individual applicants and each member of a partnership must sign; designated corporate officers must sign.)

Stan Pelem 9-22-14
(Individual/Partner/Member) Date

(Partner/Member) Date

I have received a copy of the NOTICE pertaining to LICENSE/PERMIT APPLICATIONS from the City Clerk's Office

df
(Applicant's Initials)

"WAIVER B"
WAIVER OF PROHIBITIONS SET FORTH
IN §10.075 D.1 AND D.3 OF THE CODE OF GENERAL ORDINANCES

OUTDOOR EXTENSION

Traci Peterson
Licensee Name

Hatrix
Trade Name

2425-60th ST Kenosha, WI 53140
Trade Address

Applicant has applied for an extension of their Retail Class "B" Fermented Malt Beverage, "Class B" Liquor, and/or "Class C" Wine Licenses in accordance with §10.075 of the Code of General Ordinances and requests a waiver of all of the prohibitions set forth in Section D(1) and D(3) thereof because the licensed premises, including the outdoor area:

- B1.** is located wholly within an area in the City zoned Institutional.
- B2.** is operating as a restaurant, with the sale of alcoholic beverages accounting for less than fifty (50%) percent of the establishment's gross receipts in the B-1, B-2, B-3, or B-4 Zoning Districts (as defined by Section 5.046 A.10 Of the Code of General Ordinances).
- B3.** is licensed by the City of Kenosha for Outdoor Dining.

Please find below a list of names and addresses of all property owners residing within 25 feet of the boundaries of the outdoor area sought to be included within the description of the Retail Class "B" Beer, "Class B" Liquor, and/or "Class C" Wine licensed premises. **This list will be forwarded to the Building Inspector for verification.**

Ronald Ruffalo 2415 60th Street Kenosha, WI 53140

Armando Huizar 6013 25th Avenue Kenosha, WI 53143

Ronald Suokko 2132 23rd Street Kenosha, WI 53140

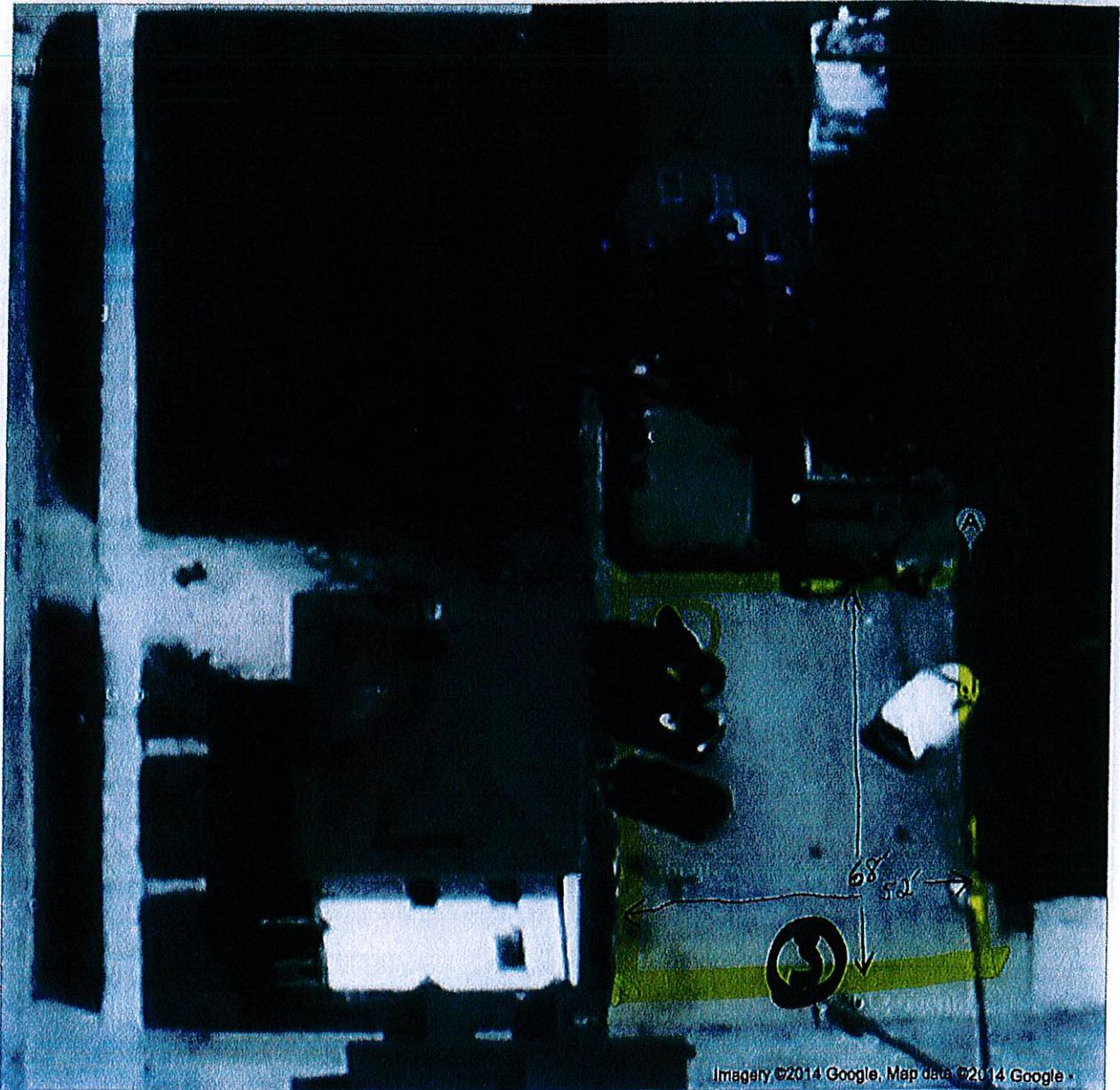
Adams Outdoor Advertising 105 E. Badger Road Madison, WI 53713

(Partner/Member) Date (Partner/Member) Date

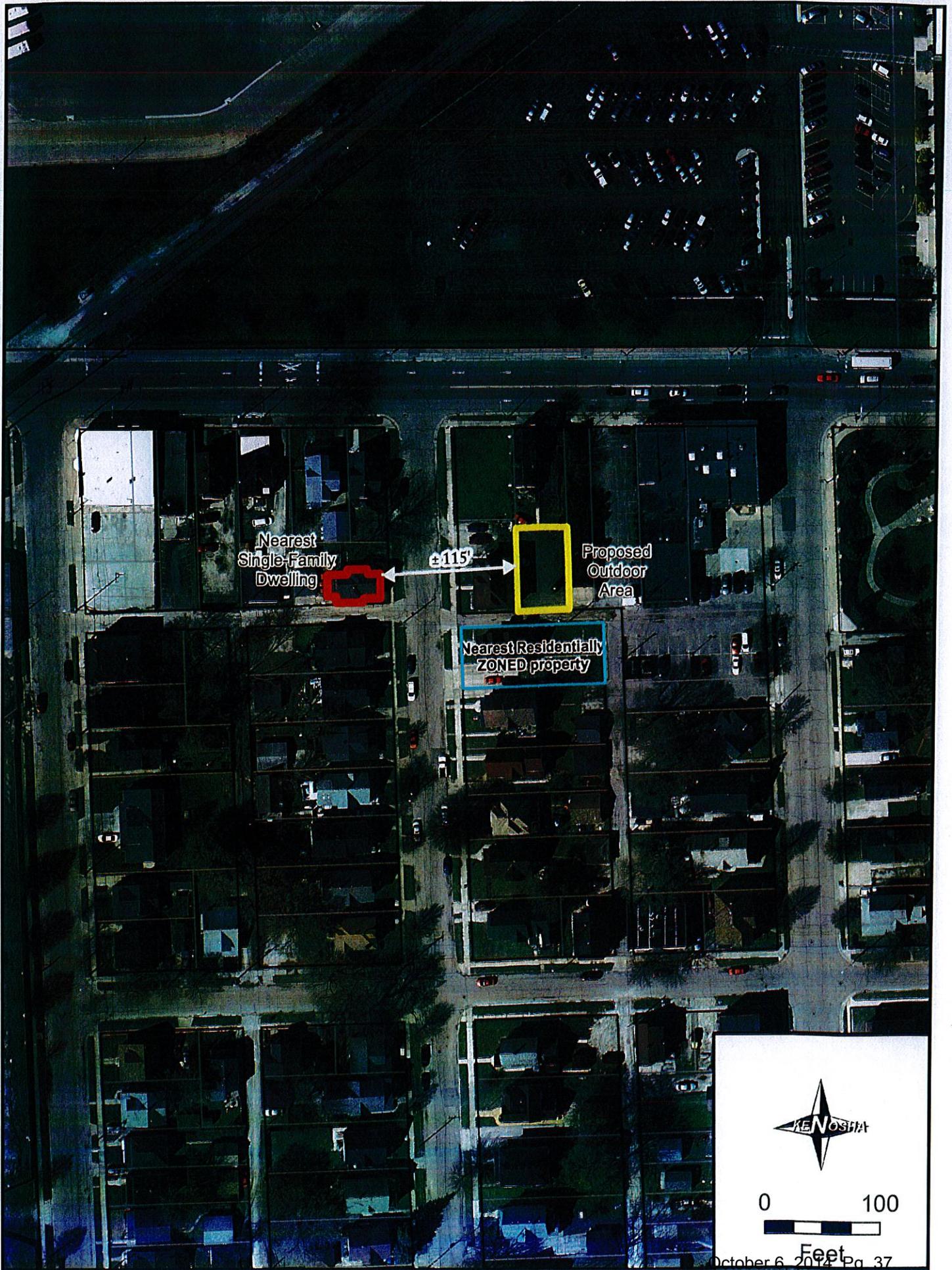
Received by Building Inspector Michael Callovi Date Sept 24, 2014

Google

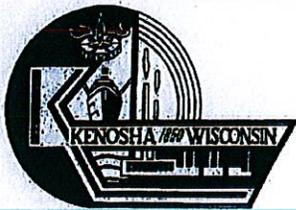
To see all the details that are visible on the screen, use the "Print" link next to the map.



- 1. Stage
 - 2. Temp Bar Station
 - 3 Entrance
- Barricades For Highlighted Areas



E-MAILED SEP 22 REC'D



Temporary OUTDOOR EXTENSION

of Class "B", "Class B", and/or "Class C" License(s)

CITY ORDINANCE §10.075

FILED	9-22-14
INITIALS	ES
ADVERSE/NO ADV	
LP	9/29
CC	

Type: 211 Fee: \$ 50.00/app Date(s) of Event: 10/18/14
(Limit 3 days/year)

1. Licensee: Traci Peterson District # 3
Note: must be same name as beer/liquor license

2. Trade Name & Address: Hattrix 2425-60th St Kenosha, WI 53140

3. Contact Person: Traci Peterson Phone: 262-496-5306 Email: hattrix2425@gmail.com
(correspondence will be via email if address is given)

4. Type of activity planned for the outdoor area: Music And Art Show

5. A detailed map (site plan) of the outdoor area is required. map
If assistance is needed, contact Mike Callovi (Community Development & Inspections) at 653-4032 to schedule an appointment. (see example attached to this application)

6. Will a fence surround the proposed temporary outdoor area? yes no
 Request for Common Council to waive the fence requirement of Subsection D.3. of the Ordinance.

7. The closing hours for a temporary outdoor extension are 10:00 P.M. TO 8:00 A.M. You may request to change these hours to 12:00 midnight to 8:00 am. application attached
n/a

To be completed by The Community Development & Inspections Department:

Zoning Classification: B-2 if SFR, choose: Waiver B1 (institutional), B2 (restaurant), B3 (outdoor dining), or N/A

The outdoor area sought is ± 115 ft from any single-family dwelling. If less than 25ft from single family, choose:

Waiver B1 (institutional), B2 (restaurant), B3 (outdoor dining), or N/A if dwelling is two-family, multi-family, zoned B-1, B-2, B-3, B-4 districts; or dwelling within twenty-five (25') feet of said boundary is occupied by the applicant and/or his/her immediate family and no others.

The outdoor area has a boundary:

within 750 ft of any residentially zoned property.
Live music/entertainment is allowed in outdoor area 10:00am to 10:00pm with a cabaret license. (Amplified music is allowed without a cabaret license subject to the same time restrictions.)

greater than 750 ft of any residentially zoned property.
Live music/entertainment is allowed in outdoor area 10:00am to 1:00am (or earlier in accordance with the closing time of the outdoor extension) with a cabaret license. (Amplified music is allowed without a cabaret license subject to the same time restrictions.)

Recommendation:

Approval

CDI Staff Member: _____

Date: 24 September, 2014
October 6, 2014 Pg. 38

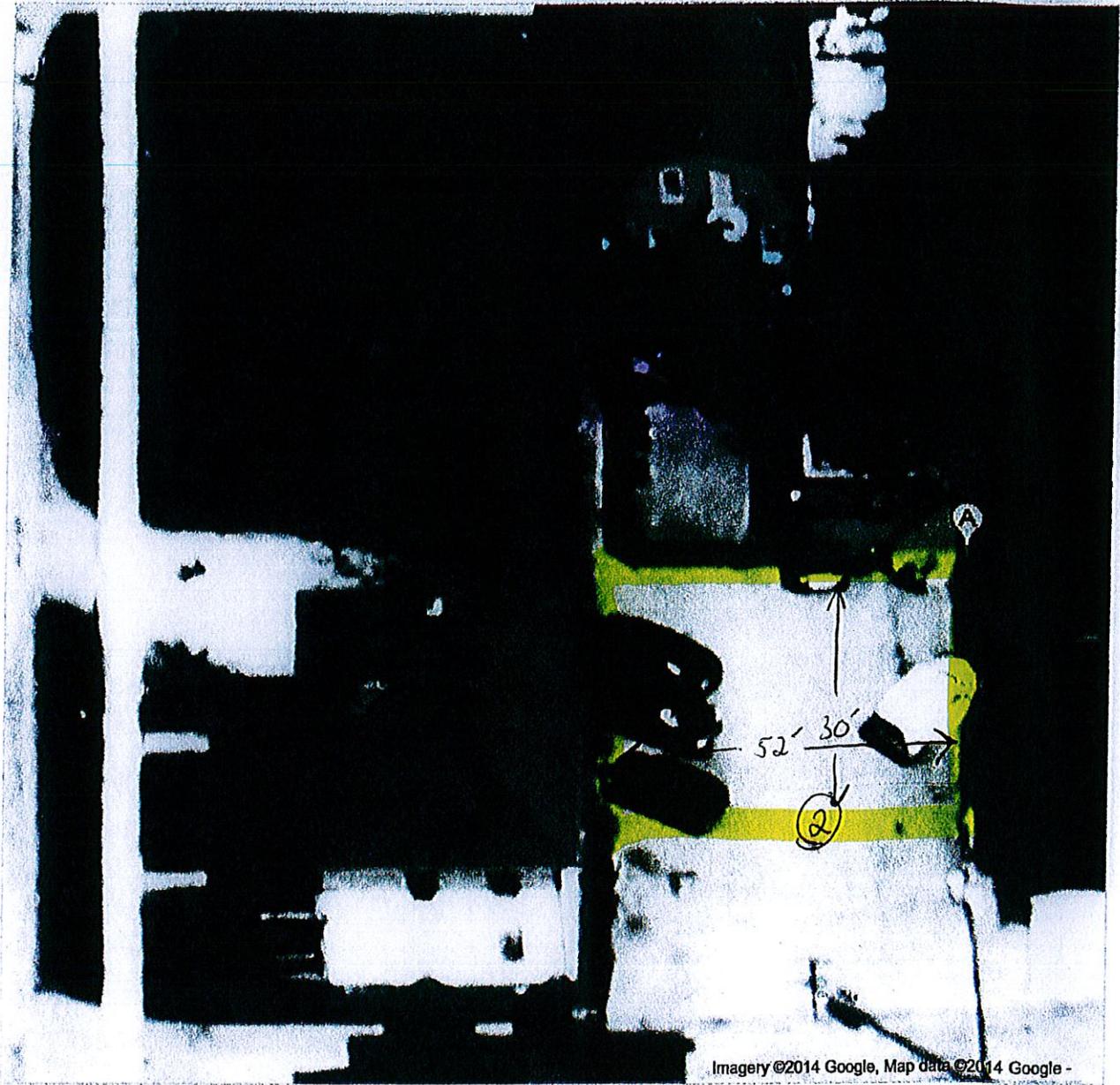
PLEASE NOTE: Be sure to include appropriate attachments/waivers and file with the City Clerk's office no later than fourteen (14) days before final action of the Common Council. Meetings are held the 1st and 3rd Mondays of each month. Pursuant to Section 10.063, accumulation of more than 50 demerit points shall be a basis for denial, revocation or suspension of the outdoor area.

READ CAREFULLY BEFORE SIGNING: Under penalty provided for by law, the undersigned states that each of the above questions has been truthfully answered to the best of his/her/their knowledge. (Individual applicants and each member of a partnership must sign; designated corporate officers must sign.)

Travis Peterson 9-22-14
(Individual/Partner/Member) Date

(Partner/Member) Date

I have received a copy of the NOTICE pertaining to LICENSE/PERMIT APPLICATIONS from the City Clerk's Office df
(Applicant's Initials)



1. Stage

2 Entrance

Highlighted Area will Be Barricaded



Nearest
Single-Family
Dwelling

±115'

Proposed
Outdoor
Area

Nearest Residentially
ZONED property



0 100



Feet

October 6, 2014 Pg. 42



PERMANENT
OUTDOOR EXTENSION
of Class "B", "Class B", and/or "Class C" License(s)

CITY ORDINANCE §10.075

FILED 9/15
INITIALS mm
ADVERSE/NO ADV
LP 9/29
CC 10/6

Type: 210 Fee: \$150.00

1. Licensee: ~~Ernest M Gulla~~ Mickey Angelo ^{Allen} District # 16
Note: must be same name as beer/liquor license

2. Trade Name & Address: Mickey Angelo's 4235 Greenbay Rd

3. Contact Person: Mickey Gulla ²⁶² Phone: 3590407 Email: ek0114@shelglobal.net
Nick name (correspondence will be via email if address is given)

4. Type of activity planned for the outdoor area: Food & Bar Service, Limited Smoking

5. A detailed map (scaled site plan) and two (2) pictures describing the outdoor area is required.
 map pictures attached. If assistance is needed, contact Mike Callovi (Community Development & Inspections) at 653-4032 to schedule an appointment. (see example attached to this application)

6. A fence not less than four (4') feet high and no greater than six (6') feet high is required to surround the outdoor area within the description of the Class "B", "Class B" and/or "Class C" licensed premises.
 A fence will surround the outdoor area. Complete the Fence Permit Application in Room 100 (CDI) and attach a copy to this application. -OR- Currently exists
 The Common Council may waive the fence requirement where the licensed premises is operated as a RESTAURANT within the meaning of Section 5.3046 A.10 (of the Code of General Ordinances): Complete "Waiver A" Fence Waiver. attached

7. The closing hours for an outdoor extension are 10:00 P.M. TO 8:00 A.M. You may request to change these hours to 12:00 midnight to 8:00 am. application attached

To be completed by The Community Development & Inspections Department:

Zoning Classification: B-2 if SFR, choose: Waiver B1 (institutional), B2 (restaurant), B3 (outdoor dining), or N/A

The outdoor area sought is ±1,050 ft from any single-family dwelling. If less than 25ft from single family, choose: Waiver B1 (institutional), B2 (restaurant), B3 (outdoor dining), or N/A if dwelling is two-family, multi-family, zoned B-1, B-2, B-3, B-4 districts; or dwelling within twenty-five (25') feet of said boundary is occupied by the applicant and/or his/her immediate family and no others.

The outdoor area has a boundary:
 within 750 ft of any residentially zoned property.
 Live music/entertainment is allowed in outdoor area 10:00am to 10:00pm with a cabaret license. (Amplified music is allowed without a cabaret license subject to the same time restrictions.)

greater than 750 ft of any residentially zoned property.
 Live music/entertainment is allowed in outdoor area 10:00am to 1:00am (or earlier in accordance with the closing time of the outdoor extension) with a cabaret license. (Amplified music is allowed without a cabaret license subject to the same time restrictions.)

Recommendation:

Approval; conditional upon opinion of City Attorney regarding compliance with City of Kenosha Code of General Ordinances Section 10.075 C.

CDI Staff Member:  Date: September 17, 2014

"WAIVER A"

**FENCE WAIVER:
for RESTAURANTS only**

**OUTDOOR EXTENSION
CITY ORDINANCE §10.075**

Ernest M. Gatto Mickey Angelo's LLC Allis
Licensee Name

Applicant has applied for an extension of their Retail Class "B" Fermented Malt Beverage, "Class B" Liquor, and/or "Class C" Wine Licenses in accordance with §10.075 of the Code of General Ordinances and requests a waiver of the fencing requirement contained in Section D (3) thereof. In making this request, the applicant states, they are operating as a restaurant as defined by Section 5.046 A.10. "Restaurant" shall mean any building or room where, as the establishment's primary business, food and/or beverages are prepared, or served or sold to transients or the general public, and where the sale of Alcohol Beverages account for less than fifty (50%) percent of the establishment's gross receipts in the B-1, B-2, B-3, or B-4 Zoning Districts.

 9-16-14
(Individual/Partner/Member) Date

(Partner/Member) Date

permanent outdoor extension "waiver a"

"WAIVER B"
WAIVER OF PROHIBITIONS SET FORTH
IN §10.075 D.1 AND D.3 OF THE CODE OF GENERAL ORDINANCES

OUTDOOR EXTENSION

Licensee Name Ernest M Gatto Mickey Angelish C
Calle C

Applicant has applied for an extension of their Retail Class "B" Fermented Malt Beverage, "Class B" Liquor, and/or "Class C" Wine Licenses in accordance with §10.075 of the Code of General Ordinances and requests a waiver of all of the prohibitions set forth in Section D(1) and D(3) thereof because the licensed premises, including the outdoor area:

- B1.** is located wholly within an area in the City zoned Institutional.
- B2.** is operating as a restaurant, with the sale of alcoholic beverages accounting for less than fifty (50%) percent of the establishment's gross receipts in the B-1, B-2, B-3, or B-4 Zoning Districts (as defined by Section 5.046 A.10. Of the Code of General Ordinances).
- B3.** is licensed by the City of Kenosha for Outdoor Dining.

Please find below a list of names and addresses of all property owners residing within 25 feet of the boundaries of the outdoor area sought to be included within the description of the Retail Class "B" Beer, "Class B" Liquor, and/or "Class C" Wine licensed premises.

This list will be forwarded to the Building Inspector for verification.

None Within 900 ft.
(No RESIDENTIAL properties within 25 feet of proposed Outdoor Area. - mc)

[Signature] 9-10-14
(Individual/Partner/Member) Date

(Partner/Member) Date

Received by Building Inspector Michael Callovi **Date** September 19, 2014



REQUEST TO CHANGE CLOSING HOURS OF
OUTDOOR EXTENSION
CITY ORDINANCE §10.075

TO
12:00 MIDNIGHT TO 8:00 AM

FILED: 9/15
INITIALS mm
ADVERSE/NO ADV
LP 9/29
CC 10/14

Licensee Name: Mickey Angelo's LLC
Trade Name: Mickey Angelo's
Trade Address: 4235 Greenbay Rd District # 16
Contact Person: Ernest Gullo Phone: 3590402 Email: ek0114@sbglobal.net
(Mickey) ^{J 262}
(correspondence will be via email if address is given)

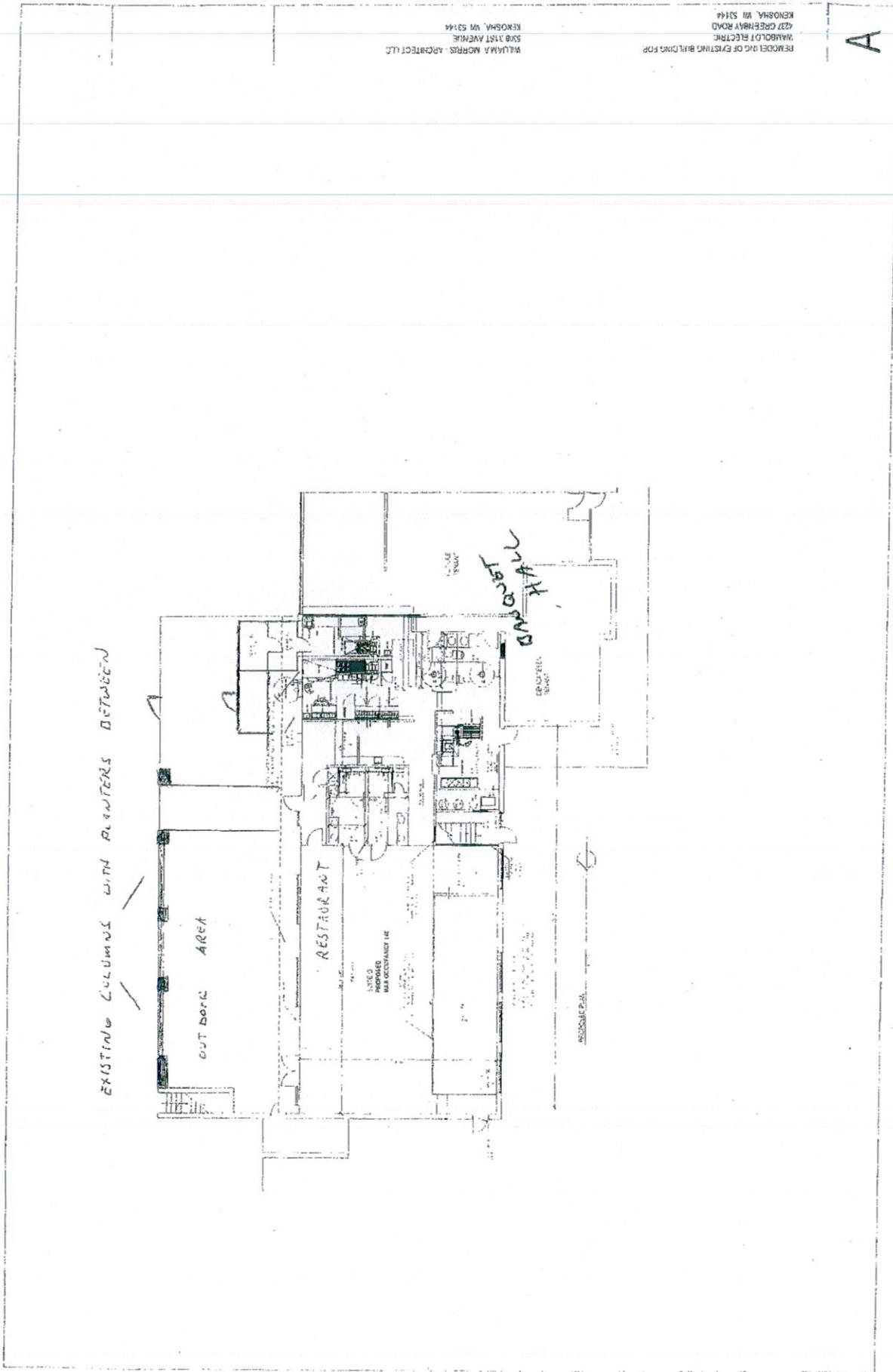
The undersigned is hereby applying for a change of the closing hours of the outdoor extension of the Class "B" Beer, "Class B" Liquor, and/or "Class C" Wine license(s) in accordance with §10.075 of the Code of General Ordinances to 12:00 Midnight to 8:00 am.

In making this application, I understand that amplified music or sound shall not be allowed after 10:00pm unless the Outdoor Area's boundaries are greater than seven hundred fifty feet (750) of any residentially zoned property. **In accordance with Section 10.076 J.3.f., cabaret licensed activities are prohibited in an Outdoor Dining Area w/Outdoor Extension.**

[Signature] 9-15-14
(Individual/Partner/Member) Date

(Partner/Member) Date

I have received a copy of the NOTICE pertaining to LICENSE/PERMIT APPLICATIONS from the City Clerk's Office [Signature]
(Applicant's initials)



Hangover Patio





Zimbra

mnelson@kenosha.org

Mickey Angelo's outdoor extension

From : Michael Callovi <mcallovi@kenosha.org> Fri, Sep 19, 2014 12:26 PM
Subject : Mickey Angelo's outdoor extension 1 attachment
To : Matthew Knight <mknight@kenosha.org>
Cc : Michelle Nelson <mnelson@kenosha.org>

Mr. Knight,

I have attached my staff review of the application for outdoor extension for Mickey Angelo's, LLC. While the application conforms to the provisions for distance and zoning of the outdoor area, based on the photos submitted by the applicant I am reluctant to recommend full approval without an opinion from your office regarding whether or not the outdoor area complies with the definition set forth in Section 10.075. C. of the Code of General Ordinances. If you could review the application and provide a your opinion, it would be greatly appreciated.

-Mike

Michael Callovi

Planning Technician

262-653-4032

mcallovi@kenosha.org

 **MickeyAngelos_StaffReview.pdf**
5 MB

C8

E-MAILED SEP 17 REC'D



CABARET LICENSE DAILY

Type: 213 Fee: \$50.00/day.

FILED	9/17
INITIALS	mm
ADVERSE/NO ADV	
LP	9/29
CC	10/6

PLEASE NOTE: This license is non-renewable. Applications shall be referred by the City Clerk to the Police Department. The Police Department shall make a report, in writing, to the City Attorney as to any police record of the applicant, which may reflect upon good moral character or business responsibility. The City Attorney shall examine said record and make a recommendation to the Committee on Licenses/Permits based thereon as to whether the license shall be granted. The Committee on Licenses/Permits shall review all applications, any reports, the recommendation of the City Attorney and all other information before it. Said Committee shall recommend to the Common Council either the granting or denial of each application. (In accordance to Chapter X, Section 10.07 of the Code of General Ordinances of the City of Kenosha.)

Date(s) of Event: 10-18-14 Explanation of Event: Octoberfest

1. Licensee Name: Boys & Girls Club of Kenosha District # 2
Octoberfest (NOTE: must be same name as beer/liquor license)

at Parcel J - Behind Ashling on the Lough
2. Trade Name: Boys & Girl Club Trade Address: 1330 52nd St Kenosha WI 53140

3. If license is in the name of a Corporation or LLC, Agent Name: Kathy Duberstine

4. Date of Birth of Agent (if Corporation/LLC) or Individual: _____

5. Address: 1330 52nd St Phone: 262-654-6205 Email: Kduberstine@logkenosha.org
(correspondence will be via email if address is given)

6. Driver's License Number: _____
(must indicate if this is not a Wisconsin DL)

7. Have you, as an adult, ever been convicted of a major crime (felony) or minor crime (misdemeanor) in Wisconsin, or in any other State; or do you have a charge pending at this time? Yes No
If yes, state: **charge, year, result**

8. Have you, as an adult, ever been convicted of violating a municipal or county ordinance in Wisconsin or in any state; or do you have a charge pending at this time? Yes No
If yes, state: **charge, year, result**

9. Have you, as an adult, ever served time; or have been sentenced to serve time in a jail or prison in Wisconsin or any other State? Yes No **If yes, explain:**

-OVER-

10. Have you ever had your driver's license suspended or revoked in Wisconsin or in any other State?

Yes No If yes, explain:

11. Have you received any traffic citations in Wisconsin or in any other State within the past five (5) years; or do you have any such citations pending? Yes No

If yes, state: charge, year, result

12. Have you, as an adult, within the past five (5) years, while operating a business or engaged in a profession, been convicted of any state or federal charges; or do you have charges pending at this time involving unfair trade practices, unethical conduct, or discrimination? Yes No

If yes, state: charge, year, result

13. List the name and address of all employers for which you have worked and/or businesses you have operated in the past five (5) years:

Boys & Girls Club - 1330 52nd St. Kenosha, WI 53140

14. List all addresses at which you have lived in the past five (5) years:

418 56th St. Unit 210, Kenosha, WI 53140

READ CAREFULLY BEFORE SIGNING: Under penalty provided for by law, the undersigned states that each of the above questions has been truthfully answered to the best of his/her/their knowledge. (Individual applicants and each member of a partnership must sign; designated corporate officers must sign.)

Applicant's Signature: Karen A. Dubost
(Individual/Agent of Corporation)

Date: 9/16/14

I have received a copy of the NOTICE pertaining to LICENSE/PERMIT APPLICATIONS from the City Clerk's Office

BH
(Applicant's Initials)



ENGINEERING DIVISION
SHELLY BILLINGSLEY, P.E.
CITY ENGINEER

PARK DIVISION
JEFF WARNOCK
SUPERINTENDENT

FLEET MAINTENANCE
MAURO LENCI
SUPERINTENDENT

STREET DIVISION
JOHN H. PRIJIC
SUPERINTENDENT

WASTE DIVISION
ROCKY BEDNAR
SUPERINTENDENT

DEPARTMENT OF PUBLIC WORKS

MICHAEL M. LEMENS, P.E., DIRECTOR
SHELLY BILLINGSLEY, P.E., DEPUTY DIRECTOR

MUNICIPAL BUILDING · 625 - 52ND ST · RM 305 · KENOSHA, WI 53140
TELEPHONE (262) 653-4050 · FAX (262) 653-4056
EMAIL PUBLICWORKS@KENOSHA.ORG

September 11, 2014

To: Eric Haugaard, Chairman, Public Works Committee
From: Shelly Billingsley, P.E. *Shelly Billingsley*
Deputy Director of Public Works/City Engineer
Subject: ***Request for use of City-Owned Vacant Land (Harbor Park Parcel J)***

BACKGROUND/ANALYSIS

Staff has received a request from Ashling on the Lough to use Harbor Park Parcel J for an Oktoberfest Celebration on Saturday, October 18, 2014. The request also includes permission for amplification of music and to sell fermented malt beverages.

Note: Once use of Parcel J is approved, the applicant can then apply to the City Clerk's office for a Temporary Class B Retailers License and a Temporary Cabaret License.

CG

E-MAILED SEP 13 REC'D



CABARET LICENSE PROBATIONARY

Type: 228 Fee: \$150/6 months

Effective: Oct 7, 2014 To: April 7, 2015
(6 months)

FILED	<u>9/15</u>
INITIALS	<u>mm</u>
ADVERSE/NO ADV	<u>NO ADV</u>
LP	<u>9/29</u>
CC	<u>10/15</u>

PLEASE NOTE: This license is non-renewable. Applications shall be referred by the City Clerk to the Police Department. The Police Department shall make a report, in writing, to the City Attorney as to any police record of the applicant, which may reflect upon good moral character or business responsibility. The City Attorney shall examine said record and make a recommendation to the Committee on Licenses/Permits based thereon as to whether the license shall be granted. The Committee on Licenses/Permits shall review all applications, any reports, the recommendation of the City Attorney and all other information before it. Said Committee shall recommend to the Common Council either the granting or denial of each application. (In accordance to Chapter X, Section 10.07 of the Code of General Ordinances of the City of Kenosha.)

Mickey Angelo's LLC
1. Licensee Name: Ernest M. Gullo District # 1C

(NOTE: must be same name as beer/liquor license)

2. Trade Name: Mickey Angelo's Trade Address: 4235 Greenbay Rd

3. If license is in the name of a Corporation or LLC, Agent Name: Ernest M. Gullo

4. Date of Birth of Agent (if Corporation/LLC) or Individual: _____

5. Address: 805 40th St Phone: 3590401 Email: ek0114@sbcglobal.net
(correspondence will be via email if address is given)

6. Driver's License Number: _____
(must indicate if this is not a Wisconsin DL)

7. Have you, as an adult, ever been convicted of a major crime (felony) or minor crime (misdemeanor) in Wisconsin, or in any other State; or do you have a charge pending at this time? Yes No mm
If yes, state: **charge, year, result**
DWI 92? 14 days Huber, Fine & 6mo Suspension

8. Have you, as an adult, ever been convicted of violating a municipal or county ordinance in Wisconsin or in any state; or do you have a charge pending at this time? Yes No
If yes, state: **charge, year, result**

9. Have you, as an adult, ever served time; or have been sentenced to serve time in a jail or prison in Wisconsin or any other State? Yes No If yes, explain:
14 days 93? Above Violation

-OVER-

10. Have you ever had your driver's license suspended or revoked in Wisconsin or in any other State?

Yes No If yes, explain:

DUI 92? 6 Months

11. Have you received any traffic citations in Wisconsin or in any other State within the past five (5) years; or do you have any such citations pending? Yes No

If yes, state: charge, year, result

Recdht (Fine)

12. Have you, as an adult, within the past five (5) years, while operating a business or engaged in a profession, been convicted of any state or federal charges; or do you have charges pending at this time involving unfair trade practices, unethical conduct, or discrimination? Yes No

If yes, state: charge, year, result

13. List the name and address of all employers for which you have worked and/or businesses you have operated in the past five (5) years:

Parkway Chateau

14. List all addresses at which you have lived in the past five (5) years:

805 40th St Kenosha Wi

READ CAREFULLY BEFORE SIGNING: Under penalty provided for by law, the undersigned states that each of the above questions has been truthfully answered to the best of his/her/their knowledge. (Individual applicants and each member of a partnership must sign; designated corporate officers must sign.)

Applicant's Signature:



(Individual/Agent of Corporation)

Date:

9-10-14

I have received a copy of the NOTICE pertaining to LICENSE/PERMIT APPLICATIONS from the City Clerk's Office

(Applicant's Initials)

E-MAILED SEP 09 REC'D E-MAILED SEP 09 REC'D



CABARET LICENSE YEARLY

Type: 212 Fee: \$300/year

Expires: June 30, 2015

FILED	9-9-14
INITIALS	RS
ADVERSE/NO ADV	
LP	9/29
CC	10/6

PLEASE NOTE: This license is non-renewable. Applications shall be referred by the City Clerk to the Police Department. The Police Department shall make a report, in writing, to the City Attorney as to any police record of the applicant, which may reflect upon good moral character or business responsibility. The City Attorney shall examine said record and make a recommendation to the Committee on Licenses/Permits based thereon as to whether the license shall be granted. The Committee on Licenses/Permits shall review all applications, any reports, the recommendation of the City Attorney and all other information before it. Said Committee shall recommend to the Common Council either the granting or denial of each application. (In accordance to Chapter X, Section 10.07 of the Code of General Ordinances of the City of Kenosha.)

1. Licensee Name: The Agave Luna Azul LLC District # 3

(NOTE: must be same name as beer/liquor license)

2. Trade Name & Address: THE AGAVE LUNA AZUL
2027 60th Street Kenosha, WI 53140

3. If license is in the name of a Corporation or LLC, Agent Name: Jose Ochoa

4. Date of Birth of Agent (if Corporation/LLC) or Individual: _____

5. Address: 6111 31st Avenue Phone: 344-9754 Email: _____
Kenosha, WI 53142 (correspondence will be via email if address is given)

6. Driver's License Number: _____
(must indicate if this is not a Wisconsin DL)

7. Have you, as an adult, ever been convicted of a major crime (felony) or minor crime (misdemeanor) in Wisconsin, or in any other State; or do you have a charge pending at this time? Yes No

If yes, state: **charge, year, result**

8. Have you, as an adult, ever been convicted of violating a municipal or county ordinance in Wisconsin or in any state; or do you have a charge pending at this time? Yes No

If yes, state: **charge, year, result**

9. Have you, as an adult, ever served time; or have been sentenced to serve time in a jail or prison in Wisconsin or any other State? Yes No If yes, explain:

-OVER-

10. Have you ever had your driver's license suspended or revoked in Wisconsin or in any other State?
 Yes No If yes, explain:

11. Have you received any traffic citations in Wisconsin or in any other State within the past five (5) years; or do you have any such citations pending? Yes No
If yes, state: charge, year, result

Speeding Racine Court 2014

12. Have you, as an adult, within the past five (5) years, while operating a business or engaged in a profession, been convicted of any state or federal charges; or do you have charges pending at this time involving unfair trade practices, unethical conduct, or discrimination? Yes No
If yes, state: charge, year, result

13. List the name and address of all employers for which you have worked and/or businesses you have operated in the past five (5) years:

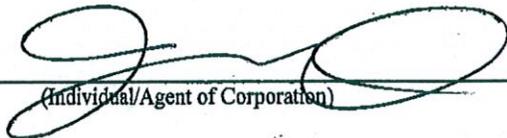
Self Employed A1 Auto Repair and Sales
3301 60th Street Kenosha, WI

14. List all addresses at which you have lived in the past five (5) years:

6111 31st Avenue Kenosha, WI 53142

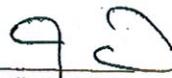
READ CAREFULLY BEFORE SIGNING: Under penalty provided for by law, the undersigned states that each of the above questions has been truthfully answered to the best of his/her/their knowledge. (Individual applicants and each member of a partnership must sign; designated corporate officers must sign.)

Applicant's Signature:


(Individual/Agent of Corporation)

Date: 09-9-14

I have received a copy of the NOTICE pertaining to LICENSE/PERMIT APPLICATIONS from the City Clerk's Office


(Applicant's Initials)

E-MAILED SEP 19 2014



CABARET LICENSE YEARLY

Type: 212 Fee: \$300/year

Expires: June 30, 2015

FILED	<u>9/19</u>
INITIALS	<u>man</u>
ADVERSE/NO ADV	<input checked="" type="checkbox"/>
LP	<u>9/29</u>
CC	<u>10/14</u>

PLEASE NOTE: This license is non-renewable. Applications shall be referred by the City Clerk to the Police Department. The Police Department shall make a report, in writing, to the City Attorney as to any police record of the applicant, which may reflect upon good moral character or business responsibility. The City Attorney shall examine said record and make a recommendation to the Committee on Licenses/Permits based thereon as to whether the license shall be granted. The Committee on Licenses/Permits shall review all applications, any reports, the recommendation of the City Attorney and all other information before it. Said Committee shall recommend to the Common Council either the granting or denial of each application. (In accordance to Chapter X, Section 10.07 of the Code of General Ordinances of the City of Kenosha.)

- Licensee Name: TK KENOSHA LLC District# 16
(NOTE: must be same name as beer/liquor license)
- Trade Name: TILTED KILT Trade Address: 7000 74th Place
- If license is in the name of a Corporation or LLC, Agent Name: MICHAEL E ROSCIOLI
- Date of Birth of Agent (if Corporation/LLC) or Individual: _____
- Address: 11211 14th Ave, W, 53158 Phone: 262-265-2659 Email: mroscioli@tiltedkilt.com
(correspondence will be via email if address is given)
- Driver's License Number: _____
(must indicate if this is not a Wisconsin DL)
- Have you, as an adult, ever been convicted of a major crime (felony) or minor crime (misdemeanor) in Wisconsin, or in any other State; or do you have a charge pending at this time? Yes No
If yes, state: **charge, year, result**

- Have you, as an adult, ever been convicted of violating a municipal or county ordinance in Wisconsin or in any state; or do you have a charge pending at this time? Yes No
If yes, state: **charge, year, result**

- Have you, as an adult, ever served time; or have been sentenced to serve time in a jail or prison in Wisconsin or any other State? Yes No If yes, explain:

-OVER-

10. Have you ever had your driver's license suspended or revoked in Wisconsin or in any other State?

Yes No If yes, explain:

11. Have you received any traffic citations in Wisconsin or in any other State within the past five (5) years; or do you have any such citations pending? Yes No

If yes, state: charge, year, result

Speeding *Madison, WI* *9/10/14*

Speeding *Charge* *Guilty*

12. Have you, as an adult, within the past five (5) years, while operating a business or engaged in a profession, been convicted of any state or federal charges; or do you have charges pending at this time involving unfair trade practices, unethical conduct, or discrimination? Yes No

If yes, state: charge, year, result

13. List the name and address of all employers for which you have worked and/or businesses you have operated in the past five (5) years:

Vernon Hills TRK LLC

14. List all addresses at which you have lived in the past five (5) years:

11211 14th Ave, RP 53158

READ CAREFULLY BEFORE SIGNING: Under penalty provided for by law, the undersigned states that each of the above questions has been truthfully answered to the best of his/her/their knowledge. (Individual applicants and each member of a partnership must sign; designated corporate officers must sign.)

Applicant's Signature: _____



(Individual/Agent of Corporation)

Date: _____

9/10/14

I have received a copy of the NOTICE pertaining to LICENSE/PERMIT APPLICATIONS from the City Clerk's Office


(Applicant's Initials)

E-MAILED SEP 19

AMUSEMENT & RECREATION ENTERPRISE LICENSE



(Chapter 12.01-City of Kenosha Code of General Ordinances) Amusement & Recreation Facilities which include but are not limited to: Bowling Alleys, Pool Halls, Skating Rinks, Shooting Galleries and Public Dances

Type: 122 Fee: \$200.00/year

Expires: May 31, 2015

FILED	9-19-14
INITIALS	JAD
ADVERSE/NO ADV	
LP	9/29
CC	10/16
PP TAX	

Original Application Renewal Application

Number of Amusement Devices: 24 Pool Tables: 0 Total: 24

Define all areas and rooms to be licensed: 2500 square foot 1st Floor, 5301 22nd Ave, Kenosha WI 53140

Licensee Name: QNC Hook LLC District # 7

Trade Name: Art Bar Trade Address: 5301 22nd Ave, Kenosha, WI 5314

Phone Number: (262) 748-7118 Email: Amit@artbarstyle.com, shawnt@artbarstyle.com

If Individual: list home address, phone number, date of birth:

If Partnership or Corporation: list home address, phone number, & date of birth of all partners/members:

AMIT KAPUR, 125 S. JEFFERSON ST., #1707, CHICAGO, IL 60661, DOB: TAMM CHOWDHURY, 6845 LANDINGS DR., #111, LAUDERHILL, FL 33319 DOB:

Agent (If Corporation): list name, home address, phone number, and date of birth:

KRISTAL RATLIFF, 4520 61st Street, Kenosha WI, 53142

(person to assume charge of supervision of the licensed premises; must be 18 years of age or older and of good moral character)

Each applicant, including individual, all partners and the agent of any corporation, must fill out and attach an "Applicant's Report of Police Record". Attached? Yes No

Regulations Respecting Premesis:

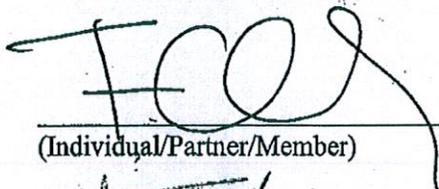
- a) Where in a building or structure, have at least one (1) window having a pane of transparent glass no less than one (1) square foot in size at a point of public access from which the interior of the licensed premises may be viewed? The base of said window shall be no higher than 68" from the viewed? The base of said window shall be no higher than 68" from the viewing floor. Yes No
- b) Have a minimum of two (2) easily available, marked and useful exits from the building? Yes No
- c) During hours of operation, have unlocked entrances and exits? Yes No
- d) Have separate, clean, adequate and immediately accessible washrooms and toilets for each gender on the licensed premises? Yes No

If not, explain location of washrooms and toilets which will serve the licensed premises?

Have you obtained from the City Clerk a current copy of §12.01 of the Code of General Ordinances entitled "Amusement and Recreation Enterprises"? Yes No

PLEASE NOTE THAT YOU ARE RESPONSIBLE FOR KNOWING AND ABIDING BY THE CONTENTS THEROF AND YOUR LICENSE MAY BE SUSPENDED OR REVOKED AND/OR YOU MAY BE SUBJECT TO A CIVIL FORFEITURE FOR NONCOMPLIANCE THEREWITH.

READ CAREFULLY BEFORE SIGNING: Under penalty provided for by law, the undersigned states that each of the above questions has been truthfully answered to the best of his/her/their knowledge. (Individual applicants and each member of a partnership must sign; designated corporate officers must sign.) The execution of this application authorizes all inspections authorized by §12.01 of the Code of General Ordinances and routine inspections during hours of operation, as required, to secure ordinance compliance.



(Individual/Partner/Member)

9/14/14

Date



(Partner/Member)

9/14/14

Date

I have received a copy of the NOTICE pertaining to LICENSE/PERMIT APPLICATIONS from the City Clerk's Office



(Applicant's Initials)

APPLICANT INFORMATION			
Date of Application	Name of Applicant	Applicant's Date of Birth	Driver's License Status
9/19/2014	Tamim Chowdhury		Virginia License Valid
License Number	Address of Applicant	Business (where license is to be used)	Business Address
	6845 Landings Dr., Ste 111, Lauderhill, FL 33319	Art Bar	5301-22nd Ave

DATE OF CHARGE	OFFENSE	CASE STATUS	OFFENSE LISTED ON APPLICATION	POINTS
9/26/2010	LIQUOR, MINOR LOITER IN TAVERN	GUILTY	N	25

CITY ATTORNEY'S RECOMMENDATION		
Offense Demerit Points	25	
Were all offenses listed on the application?	N = 25	
TOTAL DEMERIT POINTS	50	

CITY ATTORNEY'S COMMENTS

FINAL RECOMMENDATION	
<input checked="" type="checkbox"/>	GRANT, Subject to 50 Demerit Points
<input type="checkbox"/>	DENY, based on material police record (substantially related to the license activity)
<input type="checkbox"/>	DEFER or GRANT subject to Non-Renewal Revocation due to False Application

8-bit

Concept

8-bit Barcade—We are taking the traditional bar setting to the next level with an innovative concept that caters to the nostalgia and innocence of old-fashioned arcades. 8-bit offers a low maintenance night with high energy entertainment that separates itself from the typical nightlife/bar scene in Kenosha. 8-bit is quite simply a vintage arcade that also offers specialty crafted drinks that will illuminate the nostalgic mindset and spirit, all the while providing a form of entertainment that Kenosha has yet to see. When a patron walks in, we want to ignite the memory of their glory days of junior high/high school, when all they cared about was saving up their quarters to meet their friends at the nearest arcade!

Product

8-bit will focus on vintage style video games to add a dimension to the nightlife industry that is currently saturated with DJs, dance floors and questionable music. When a patron walks into 8-bit, he or she will walk into classic arcade heaven, as we will load up the floor with popular 80s and 90s video games such as NBA Jam, John Madden Season 2, Donkey Kong, Mortal Kombat, Pacman, along with a wide array of other memory-toggling video games! The execution of this idea will also call for the removal of things such as DJs and dance floors, and create more of a necessity for nostalgic music devices, such as a juke box. We will be branding our employees with *8-bit*

clothing and accessories, and our drink menus will be craft drink menu will be categorized based on genres, original release dates and characters of specific classic video games. We want to engulf our patrons with arcade Eden the minute they walk through our doors!

Venue

The venue will be the old Art Bar location at 5301 22nd Avenue, Kenosha, WI 53140. We will still only be catering to the 21 and older crowd at all times, and our specific target market will be Wisconsin residents between the ages of 28-45. Our games will be representative of this demographic.

E-MAILED SEP 19 2014



AMUSEMENT & RECREATION ENTERPRISE SUPERVISOR LICENSE

(Chapter 12.01-City of Kenosha Code of General Ordinances)
Amusement & Recreation Facilities which include but are not limited to:
Bowling Alleys, Pool Halls, Skating Rinks, Shooting Galleries and Public Dances

FILED 9-19-14
INITIALS JAD
ADVERSE/NO ADV
LP 9/29
CC 10/4

Type: 123 Fee: \$25.00/year

Expires: May 31, 2015

Original Application Renewal Application

Name: Edward LeMay Date of Birth: _____
(must be 18 year old)

Address: 7723 33rd Ave Phone Number: (262) 748-718

Email Address: EddieleMay@gmail.com
(correspondence will be via email if address is given)

Business Name of Amusement Enterprise: Art Bar - Dist # 7
(where this license will be used)

Please complete and attach an "Applicant's Report of Police Record". Attached? Yes No

READ CAREFULLY BEFORE SIGNING: Under penalty provided for by law, the undersigned states that each of the above questions has been truthfully answered to the best of his/her/their knowledge. (Individual applicants and each member of a partnership must ; designated corporate officers must sign.) The execution of this application authorizes all inspections authorized by §12.01 of the Code of General Ordinances and routine inspections during hours of operation, as required, to secure ordinance compliance.

[Signature] _____
(Individual/Partner/Member) Date 9/15/14

(Partner/Member) Date

I have received a copy of the NOTICE pertaining to LICENSE/PERMIT APPLICATIONS from the City Clerk's Office [Signature]
(Applicant's Initials)

AMUSEMENT & RECREATION SUPERVISOR License

Police Record Report

APPLICANT INFORMATION			
Date of Application	Name of Applicant	Applicant's Date of Birth	Driver's License Status
9/19/2014	Edward LeMay		Valid
License Number	Address of Applicant	Business (where license is to be used)	Business Address
	7723-33rd Avenue	Art Bar	5301-22nd Avenue

DATE OF CHARGE	OFFENSE	CASE STATUS	OFFENSE LISTED ON APPLICATION	POINTS
2/16/2011	LICENSE NOT ON PERSON	GUILTY	Y	N/A

CITY ATTORNEY'S RECOMMENDATION		
Offense Demerit Points	0	
Were all offenses listed on the application?	Y	
TOTAL DEMERIT POINTS	0	

CITY ATTORNEY'S COMMENTS

FINAL RECOMMENDATION	
<input checked="" type="checkbox"/> GRANT, Subject to <input type="text" value="0"/> Demerit Points	
<input type="checkbox"/> DENY, based on material police record (substantially related to the license activity)	
<input type="checkbox"/> DEFER or GRANT subject to Non-Renewal Revocation due to False Application	

Planning & Zoning Division 625 52nd Street - Room 308 Kenosha, WI 53140 262.653.4030	Kenosha City Plan Commission FACT SHEET	September 18, 2014	Item 1
Conditional Use Permit for a 45-unit apartment building to be located at 720 59th Place. (Residences at Library Park) (District #2) PUBLIC HEARING			

LOCATION/SURROUNDINGS:

Site: 720 59th Place
 Zoned: B-4 Mixed Use District

NOTIFICATIONS/PROCEDURES:

The alderperson of the district, Alderperson Jenkins, has been notified. The Common Council is the final review authority.

ANALYSIS:

- The applicant is proposing to convert the existing building, the former KYF Building) into forty-five (45) apartment units. Some of the units would be reserved as affordable housing units under the WHEDA Tax Credit Program. The balance of the units would be market rate units.
- While most of the work will be to the interior, the portion of the building that was added on in 1975 will be removed. A surface parking lot, with twenty-one (21) parking spaces, will take the place of that portion which is removed. The owner also owns the parking lot west of 8th Avenue. Those parking spaces will count towards the required off-street parking space requirement, which is one parking space per residential unit.
- Plans were sent to other City Departments for their review. Their comments are included in the attached Conditions of Approval.
- The plans generally comply with Sections 4 and 14 of the Zoning Ordinance.

RECOMMENDATION:

A recommendation is made to approve the Conditional Use Permit, subject to the attached Conditions of Approval.


 Brian R. Wilke, Development Coordinator


 Jeffrey B. Labahn, Director

/u2/acct/cp/ckays/1CPC/2014/SEP18/Fact-cup-libpark.odt

Planning & Zoning Division 625 52nd Street Kenosha, WI 53140 262.653.4030	<i>Kenosha City Plan Commission Conditions of Approval</i>	Residences at Library Park 720 59th Place	September 18, 2014
---	---	---	---------------------------

1. The following Conditions of Approval will run with the land and shall be included in a document recorded with the Kenosha County Register of Deeds:
 - a. The applicant shall obtain all required construction permits from the Department of Community Development & Inspections. This includes, but is not limited to Raze, Erosion Control, Building, Plumbing, Electrical and Occupancy permits.
 - b. The applicant shall obtain Driveway, Sidewalk, Street Opening and Parking Lot permits from the Department of Public Works.
 - c. All signs shall comply with Chapter 15 of the Code of General Ordinances and the applicant shall obtain sign permits for all new signs. A separate submission and permits are required for all signs. Sign information provided under the Conditional Use Permit is for reference only and does not constitute sign permit approval.
 - d. The development shall be constructed per the approved plans on file with the Department of Community Development & Inspections, Room 308, 625 52nd Street, Kenosha, WI 53140. Any changes to the approved plans shall require an amendment to the Conditional Use Permit. All changes shall be submitted to the Department of Community Development & Inspections for review and approval.
 - e. Prior to the issuance of any Occupancy permits, all parking areas, drives and designated paved areas shall have the initial lift of asphalt installed. The building exterior shall be completed per the approved plans, the exterior lighting shall be installed and the Conditional Use Permit shall be recorded with the Kenosha County Register of Deeds. All improvements indicated on the plans, including landscaping, shall be installed prior to the issuance of a final Occupancy permit. The recording fees for the Conditional Use Permit shall be submitted by the applicant.
 - f. Compliance with City and State and/or Federal Codes and Ordinances. The buildings shall comply with the current Code standards in effect upon application for a building permit.
 - g. All trash containers shall be stored within the enclosure or building. The applicant/owner shall be responsible for waste collection and removal for the development. The City of Kenosha shall not provide waste collection or removal services or incur any cost in this regard.
 - h. The applicant shall meet all applicable Conditions of Approval and obtain a building permit within six (6) months of Common Council approval of the Conditional Use Permit or the Conditional Use Permit shall be null and void.
 - i. All vehicles shall be parked within the designated paved areas.
 - j. All improvements, including landscaping, shall be maintained per the approved plans. Any damaged fencing, landscaping or building shall be replaced or reconstructed per the approved plans.
 - k. Compliance with the Operational Plan.

Engineering Services
4401 Green Bay Road
Kenosha WI 53144

Phone (262) 653-4315
Fax (262) 653-4303



"Providing and Protecting Kenosha's Greatest Natural Resource"

MEMO

To: Brian Wilke, Development Coordinator

From: Ian C. Bagley, P.E., Water Engineer

Date: September 4, 2014

Subject: The Residences at Library Park

Location: 720 59th Place

The Kenosha Water Utility (KWU) has reviewed the submittal for the above referenced project. No sewer or water improvements were submitted for review. Per an email from Mr. Peter Bissen on September 3rd, it is anticipated that the existing four inch (4") water service will be insufficient and will need to be replaced. Any changes to the existing water or sanitary sewer service must be submitted to KWU for review as part of the plan review process. KWU cannot recommend the project for approval without these items being reviewed for conformance with KWU requirements.

CC: Mr. Robert Carlson, P.E., Director of Engineering Services



ENGINEERING DIVISION
 SHELLY BILLINGSLEY, P.E.
 CITY ENGINEER

PARK DIVISION
 JEFF WARNOCK
 SUPERINTENDENT

FLEET MAINTENANCE
 MAURO LENCI
 SUPERINTENDENT

STREET DIVISION
 JOHN H. PRIJIC
 SUPERINTENDENT

WASTE DIVISION
 ROCKY BEDNAR
 SUPERINTENDENT

DEPARTMENT OF PUBLIC WORKS

MICHAEL M. LEMENS, P.E., DIRECTOR
 SHELLY BILLINGSLEY, P.E., DEPUTY DIRECTOR

MUNICIPAL BUILDING · 625 - 52ND ST · RM 305 · KENOSHA, WI 53140
 TELEPHONE (262) 653-4050 · FAX (262) 653-4056
 EMAIL PUBLICWORKS@KENOSHA.ORG

TO: Brian Wilke, Development Coordinator

FROM: Michael M. Lemens, P.E.
 Director of Public Works

Shelly Billingsley, P.E.
 City Engineer

Michael M. Lemens
9-12-14
Shelly Billingsley *9-12-14*

DATE: September 12, 2014
SUBJECT: PLAN REVIEW COMMENTS
Project Description: Residences at Library Park
Location: 720 59th Place

Our staff has reviewed the plans for this project. The following comments are provided:

Parking Lot Ordinance Compliance	Sufficient	Deficient	Not Applicable
Parking Lot Paved		X	
Standard Stall Width		X	
Parking Lot Layout		X	
Parking Lot Lighting Shown		x	
Parking Lot Lighting Adequate		x	
Handicapped Parking		x	
Driveway Locations	x		
Driveway Width		x	
Passing Blister or Accel/Decel Lanes			x
Sidewalks Adequate	x		
Drive Thru Lane Design			x



Public Streets	Sufficient	Deficient	Not Applicable
Geometric Design			x
Pavement Width			x
Pavement Thickness Design			x
Established Grades			x
Plan Details			x
Sidewalks			x
Street Lights			x

Site Grading/Drainage	Sufficient	Deficient	Not Applicable
Drainage Plan		x	
Storm Sewer		x	
Storm Water Detention			x
Drainage Calculations		x	

Project Approval/Permits Needed	Yes	No	Not Applicable
Project Approved for Permitting		x	
Withhold Permits: See Comments	x		
Approve Footing/ Foundation Only (per condition)			x
Parking Lot Permit Required	x		
Driveway Permits Required	x		
Sidewalk Permit Required	x		
Street Opening Permit Required	x		
Stormwater Permit Required		x	
Erosion Control Required	x		

Grading & Drainage Comments:

1. Provide a site drainage and grading plan with spot grades of proposed parking lot.
2. The site survey does not show the storm sewer in 59th Place or 59th Street or any existing connection of the roof drains from the building to the public storm sewer. It will be required that a storm sewer be installed in the parking lot to capture runoff so that it does not drain out over the public sidewalk and down the driveway approach. Include storm sewer sizing calculations in future submittals that include proposed storm sewer work.
3. Additional comments are likely when the drainage and storm sewer plans are submitted.

Traffic Comments:

4. Need parking lot photometric plan. All light fixtures on property shall be cut off to cut down on glare as it is distracting to motorists. Such glare would be unacceptable and must be prevented.
5. One handicap stall per 25 parking stalls.
6. Parking stall dimensions to be per ordinance table 1 and 2 in section V page 40-41 and shown on plans.
7. Pavement thickness detail not shown.
8. Driveway approaches to be Class II per 5.085.C.6 of Ordinances and a minimum of 20' clearance.

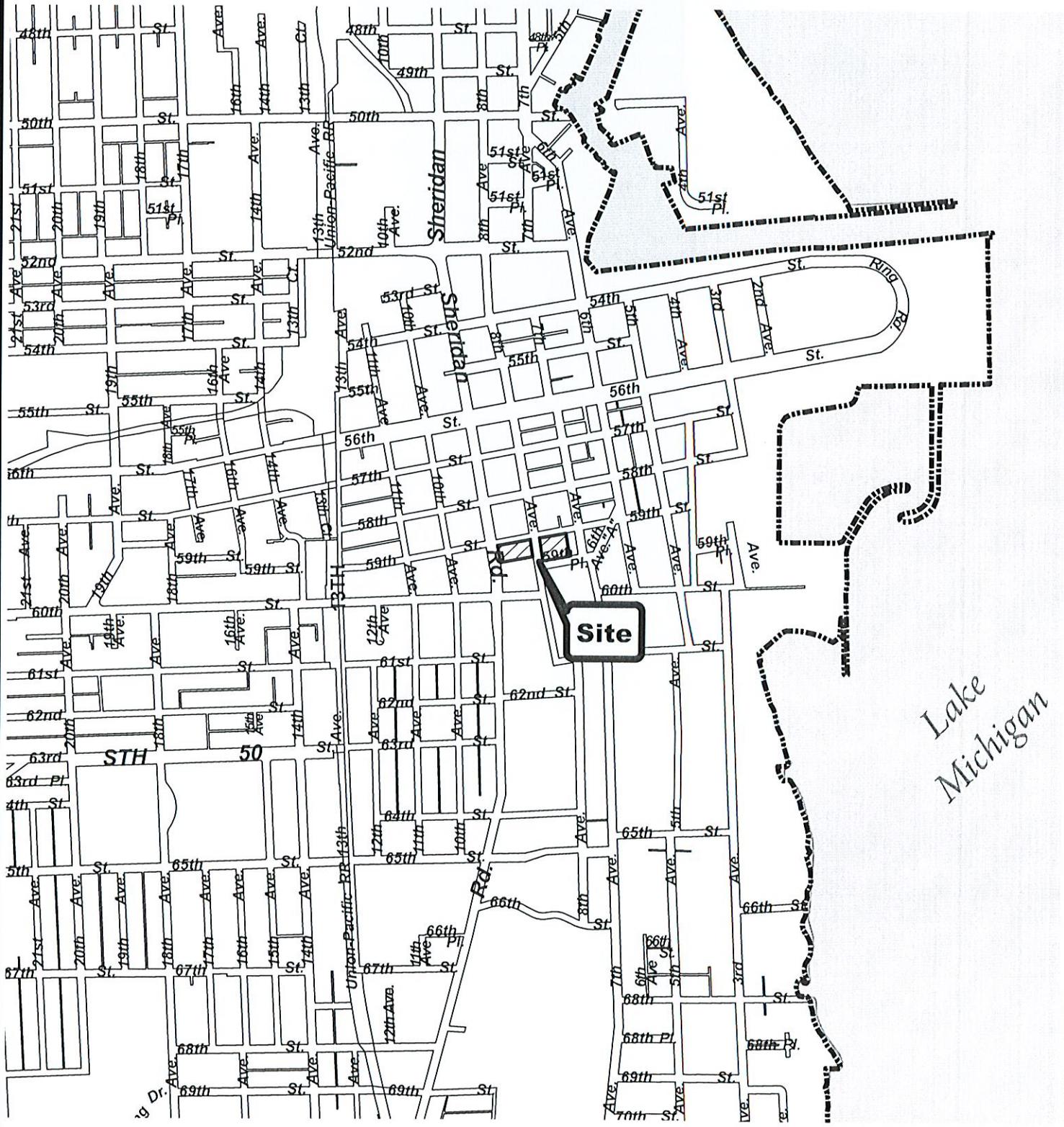
9. New sidewalk to be ADA compliant.

cc: Jeff Hansen
Shelly Billingsley
Greg Holverson
Kile Kuhlmeier
Gerard Koehler
Chase Kuffel

City of Kenosha

Vicinity Map

Residences at Library Park CUP



----- Municipal Boundary



Development Review Application City of Kenosha, Wisconsin

MAILING INFORMATION

NAME OF PROJECT: The Residences at Library Park

Check one (1) of the following boxes to indicate the recipient of all correspondence:

Name and Address of Applicant [Please print]:
 David Nankin
 2008 St. Johns Avenue

 Highland Park, Illinois 60035

Phone: 847.432.9700
 Fax: 847.432.9701
 E-Mail: david@varinrealty.com

Name and Address of Architect/Engineer [Please print]:
 Thomas O'Connell Jr.
 600 52nd Street
 Suite 220
 Kenosha, Wisconsin 53140

Phone: 262.652.2800
 Fax: _____
 E-Mail: tomo@pidarchitects.com

Name and Address of Property Owner (if other than applicant)[Please print]:

Phone: _____
 Fax: _____
 E-Mail: _____

PROJECT LOCATION

Location of Development (street address and / or parcel number): _____

TYPE OF LAND DEVELOPMENT

Check all that apply. Note: Additional information may be required within individual Sections.

<input type="checkbox"/>	Certified Survey Map	Section 1	Page 3
<input type="checkbox"/>	Concept Review (<i>Land Division</i>)	Section 2	Page 4
<input type="checkbox"/>	Concept Review (Multi-Family Residential or Non-Residential)	Section 3	Page 5
<input checked="" type="checkbox"/>	Conditional Use Permit	Section 4	Pages 6 & 7
<input type="checkbox"/>	Developer's Agreement	Section 5	Page 8
<input type="checkbox"/>	Final Plat	Section 6	Pages 9 & 10
<input type="checkbox"/>	Lot Line Adjustment Survey	Section 7	Page 11
<input type="checkbox"/>	Preliminary Plat	Section 8	Pages 12 & 13
<input type="checkbox"/>	Rezoning	Section 9	Pages 14 & 15
<input type="checkbox"/>	Site Plan Review	Section 10	Pages 16 & 17

**PRIOR TO SUBMITTING THIS APPLICATION TO THE DEPARTMENT OF CITY DEVELOPMENT,
PLEASE REVIEW THE APPROPRIATE SECTION(S) FOR FEES, REQUIREMENTS AND APPROPRIATE APPENDICES.**

*Submit this cover page, completed application, applicable section(s) and appendices
along with ALL required plans, information and fees to:*

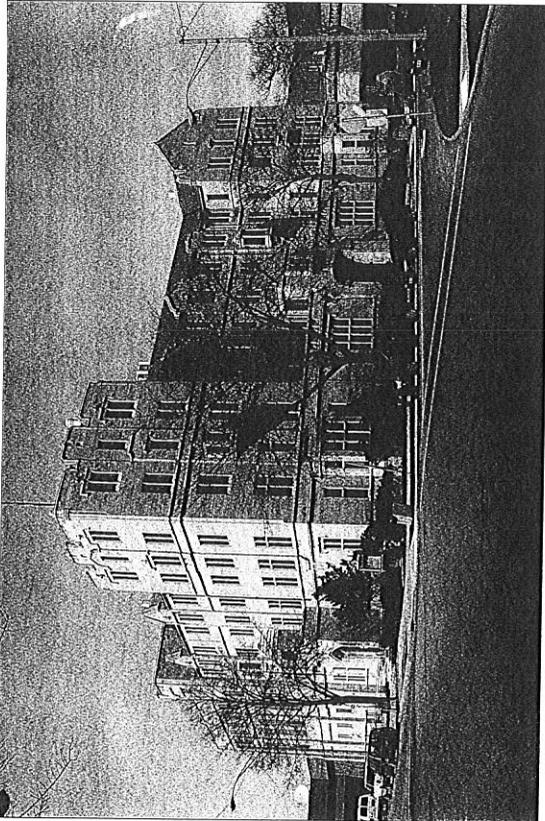
Department of Community Development & Inspections
 Planning Division
 625 52nd Street, Room 308
 Kenosha, WI 53140

Phone: 262.653.4030
 Fax: 262.653.4045

Office Hours:
 M - F 8:00 am – 4:30 pm

**SECTION 4
CONDITIONAL USE PERMIT**

Additional Information Required:	Building or Addition Square Footage: <u>84,945</u> Existing Building Size: <u>102,345</u> Site Size: <u>0.80 Acres</u> Current # of Employees <u>0</u> Anticipated # of New Employees <u>5</u> Anticipated Value of Improvements <u>\$10,461,502</u>			
Submittal Requirements:	<ul style="list-style-type: none"> ➤ Ten (10) full size scaled copies of Specified Plans indicated below drawn at a standard engineering scale ➤ Developer Site Plan/Conditional Use Permit Checklist (Appendix A) 			
If Item to be Reviewed by Plan Commission/Common Council must Submit:	<ul style="list-style-type: none"> ➤ One (1) 8 1/2" x 11" reduction <i>or</i> twenty (20) 11" x 17" reductions of the Site/Landscape Plan, Floor Plan and Colored Building Elevations (all sides) ➤ Sample Board containing colored samples of all exterior building materials 			
Fees:	Level 1	Building or Addition Size < = 10,000 sq. ft.	Site size < = 1 acre	Review Fee \$900 = City Plan Dept. <i>or</i> \$1,025 = CPC/CC
	Level 2	10,001 - 50,000 sq. ft.	1.01 - 10 acres	\$1,175 = City Plan Dept. <i>or</i> \$1,300 = CPC/CC
	Level 3	50,001 - 100,000 sq. ft.	10.01 - 25 acres	\$1,600 = City Plan Dept. <i>or</i> \$1,725 = CPC/CC
	Level 4	> 100,001 sq. ft.	> 25.01 acres	\$2,000 = City Plan Dept. <i>or</i> \$2,125 = CPC/CC
	<ul style="list-style-type: none"> ➤ If building size or addition and gross acreage of the site determine two (2) different fees, the greater of the two fees will be assessed. ➤ Application fee entitles applicant to an initial review and one re-submittal. ➤ Re-submittal fee = \$425 per re-submittal after two (2) permitted reviews. ➤ CUP Amendment = 50% of the applicable fee as determined above. 			
Appendices to Review:	➤ All			
Approximate Review Time:	<ul style="list-style-type: none"> ➤ 30 days for Staff Review ➤ 45-60 days for City Plan Commission/Common Council Review 			
The conditional use permit plans, <i>prepared to a standard engineering scale</i> , shall be submitted with this application & shall include the following information:				
Building Plan:	<ul style="list-style-type: none"> ➤ Layout of building(s) including size and layout of rooms ➤ Design and architecture ➤ Plans and details on fire suppression and/or standpipe ➤ Plans and details on fire detection, fire alarm and other safety devices 			
Site Plan (based on a plat of survey)	<ul style="list-style-type: none"> ➤ Legal description of property ➤ Location and footprint of building(s) and structure(s) ➤ Locations of existing and proposed streets, drives, alleys, easements, rights-of-way, parking as required, vehicular and pedestrian access points, and sidewalks ➤ Outline of any development stages ➤ Location and details on any required emergency access roads ➤ A calculation of square footage devoted to building, paving and sidewalks, and landscaped/open space 			
Drainage Plan	<ul style="list-style-type: none"> ➤ Existing topography, including spot elevations of existing buildings, structures, high points, and wet areas, with any previous flood elevations ➤ Floodplain boundaries, if applicable ➤ Soil characteristics, where applicable ➤ Proposed topography of the site denoting elevations and natural drainage after construction and any proposed stormwater retention areas 			



VARIN REALTY
 KENOSHA, WISCONSIN

**THE RESIDENCES AT
 LIBRARY PARK**

720 59TH PLACE
 KENOSHA, WISCONSIN 53140

CONDITIONAL USE PERMIT APPLICATION SET

GENERAL NOTES

1. DO NOT SCALE DRAWING.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
3. BACK CONNECTION SHALL BE TO COMPLETE PLAN AND FOR RELATED WORK.
4. ALL WORK SHALL BE IN ACCORDANCE WITH STATE AND LOCAL CODES FOR RESPECTIVE TRADES.

CLIENT:
 VARNER COURT PARK, L.L.C.
 1000 ST. JAMES AVENUE
 SUITE 100
 KENOSHA, WI 53140
 PHONE: 941-1111
 ATTN: DAVID MANN

ARCHITECT:
 PARTNERS IN DESIGN ARCHITECTS
 1000 W. WISCONSIN AVENUE
 SUITE 100
 KENOSHA, WISCONSIN 53140
 ATTN: TONYA COOPER, JR., AIA
 PHONE: 941-1111
 FAX: 941-1100

Partners in Design
 ARCHITECTS

IMPORTANT DATES

DATE: 08/18/14
 PROJECT NO: 14-0101
 PROJECT LOCATION:

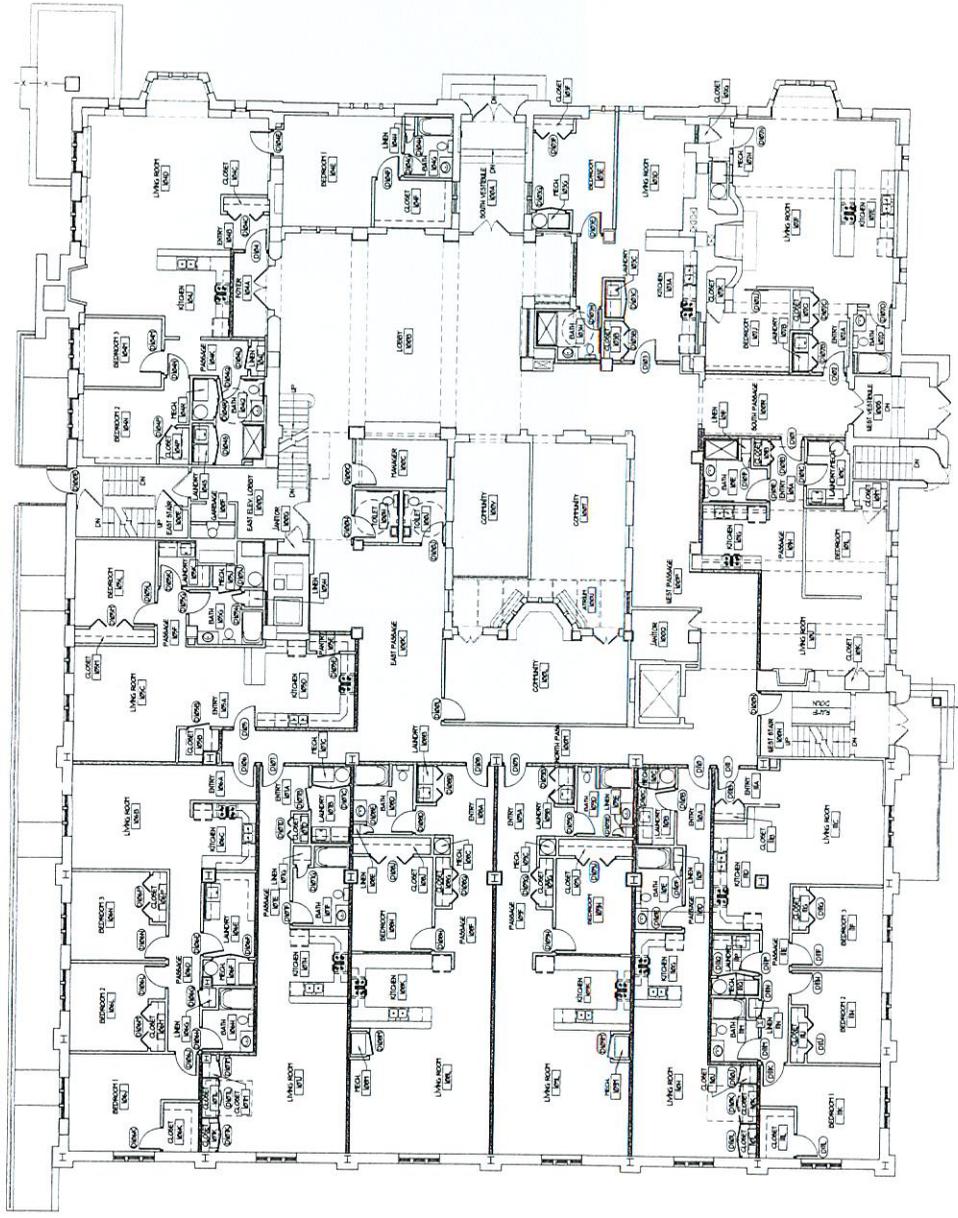
SHEET INDEX

- 01 TITLE SHEET
 02 ARCHITECTURE
 03 ARCHITECTURAL SITE PLAN
 04 FIRST FLOOR PLAN
 05 SECOND FLOOR PLAN
 06 THIRD FLOOR PLAN
 07 ROOF PLAN
 08 MECHANICAL
 09 ELECTRICAL
 10 PLUMBING
 11 HAZARDOUS WASTE
 12 ENVIRONMENTAL
 13 ENERGY EFFICIENCY
 14 EXISTING ELEVATION
 15 NEW ELEVATION
 16 ROOF PLAN

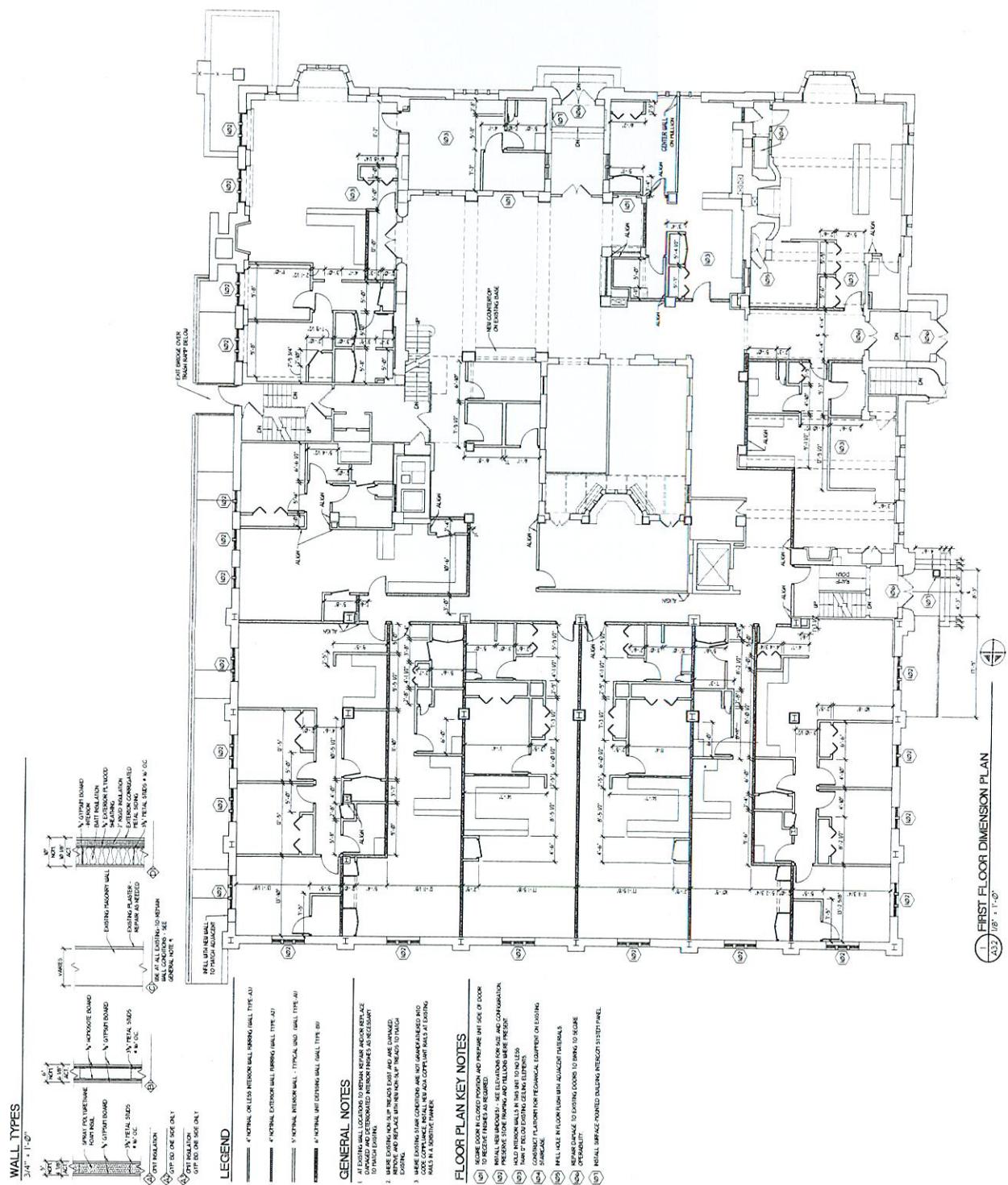


Partners in Design
 ARCHITECTS

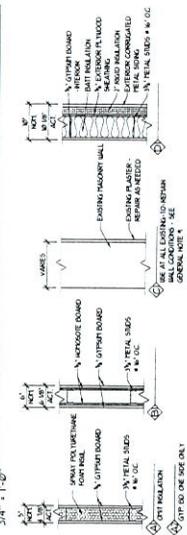
THE RESIDENCES AT LIBRARY PARK
 CONDITIONAL USE PERMIT
 APPLICATION SET
 DATE: 08.18.14
 NUMBER: 457.09.001



1 FIRST FLOOR PLAN
 1/8" = 1'-0"



WALL TYPES
1/8" = 1'-0"



LEGEND

- 1" TYPICAL OR LESS INTERIOR WALL (WALL TYPE A1)
- 4" TYPICAL EXTERIOR WALL (WALL TYPE A2)
- 4" TYPICAL EXTERIOR WALL (WALL TYPE A3)
- 4" TYPICAL INTERIOR WALL - TYPICAL (WALL TYPE A4)
- 4" TYPICAL INTERIOR WALL (WALL TYPE A5)
- 4" TYPICAL INTERIOR WALL (WALL TYPE A6)
- 4" TYPICAL INTERIOR WALL (WALL TYPE A7)
- 4" TYPICAL INTERIOR WALL (WALL TYPE A8)
- 4" TYPICAL INTERIOR WALL (WALL TYPE A9)
- 4" TYPICAL INTERIOR WALL (WALL TYPE A10)
- 4" TYPICAL INTERIOR WALL (WALL TYPE A11)
- 4" TYPICAL INTERIOR WALL (WALL TYPE A12)
- 4" TYPICAL INTERIOR WALL (WALL TYPE A13)
- 4" TYPICAL INTERIOR WALL (WALL TYPE A14)
- 4" TYPICAL INTERIOR WALL (WALL TYPE A15)
- 4" TYPICAL INTERIOR WALL (WALL TYPE A16)
- 4" TYPICAL INTERIOR WALL (WALL TYPE A17)
- 4" TYPICAL INTERIOR WALL (WALL TYPE A18)
- 4" TYPICAL INTERIOR WALL (WALL TYPE A19)
- 4" TYPICAL INTERIOR WALL (WALL TYPE A20)

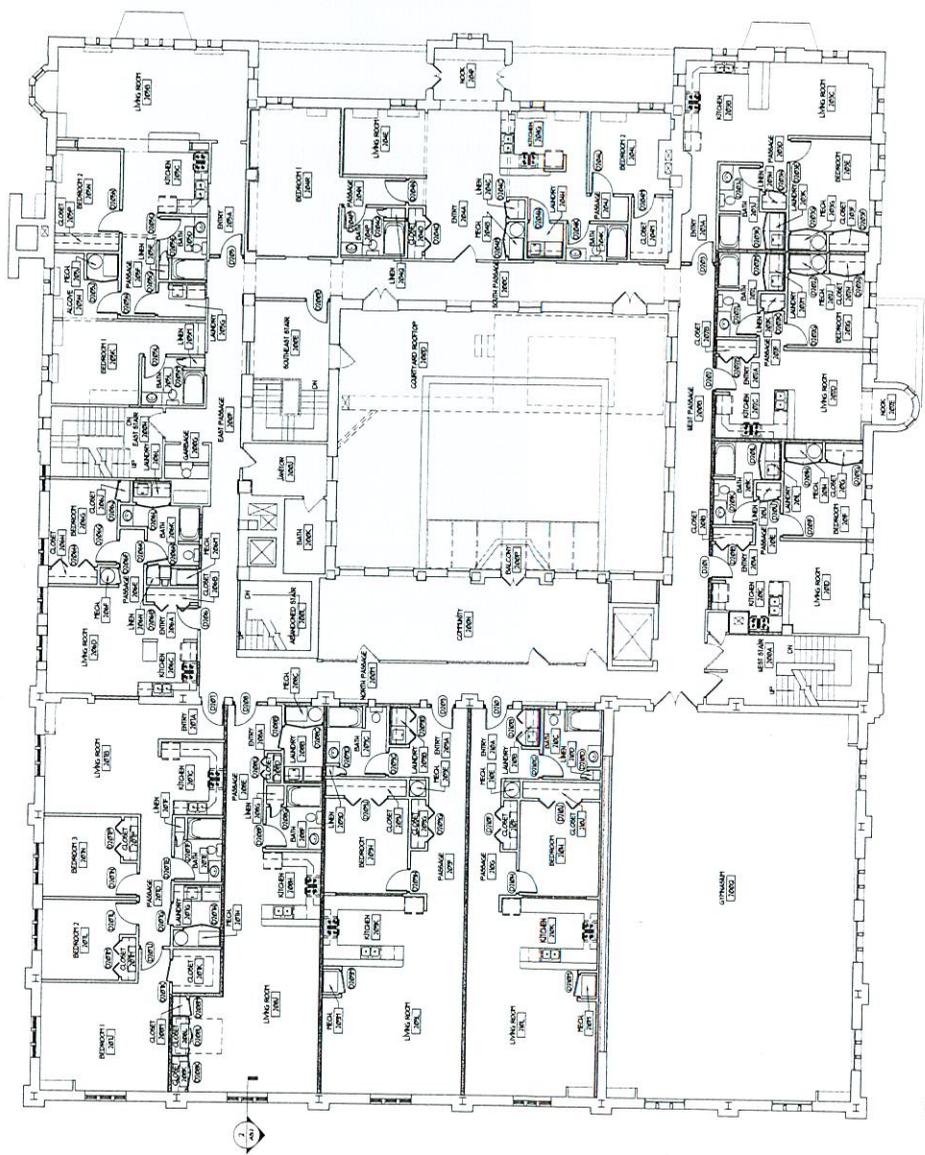
GENERAL NOTES

1. AT EXISTING WALL LOCATIONS TO REMAIN, REPAIR AND REFINISH DAMAGED AND DEGRADED INTERIOR FINISHES AS NECESSARY.
2. MAKE SURE ALL NEW WALLS ARE PROPERLY FINISHED AND FINISHES ARE PROPERLY MAINTAINED.
3. MAKE SURE ALL NEW WALLS ARE PROPERLY FINISHED AND FINISHES ARE PROPERLY MAINTAINED.
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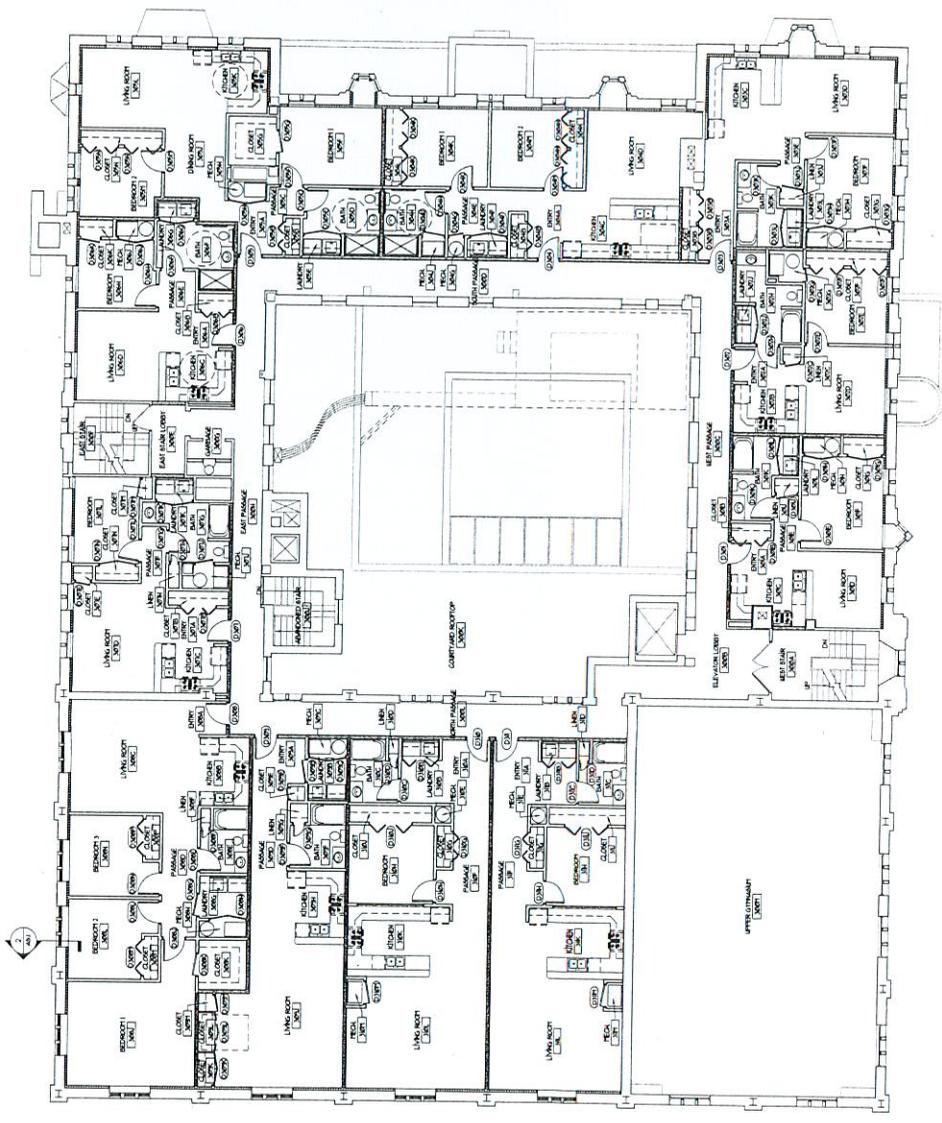
FLOOR PLAN KEY NOTES

1. REMOVE DOOR IN THIS POSITION AND PREPARE THE SIDE OF DOOR TO RECEIVE FINISHES AS REQUIRED.
2. REPAIR AND REFINISH - SEE ELEVATION FOR CASE AND CORNER/CASE FINISHES. FINISHES AND ATTACHMENTS SHALL BE AS SHOWN.
3. MAKE SURE ALL NEW WALLS ARE PROPERLY FINISHED AND FINISHES ARE PROPERLY MAINTAINED.
4. MAKE SURE ALL NEW WALLS ARE PROPERLY FINISHED AND FINISHES ARE PROPERLY MAINTAINED.
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20. MAKE SURE ALL NEW WALLS ARE PROPERLY FINISHED AND FINISHES ARE PROPERLY MAINTAINED.

FIRST FLOOR DIMENSION PLAN
1/8" = 1'-0"



2 SECOND FLOOR PLAN
 1/8" = 1'-0"



THIRD FLOOR PLAN
 2.35 / 1/8" = 1'-0"

WALL TYPES
 3/4" = 1'-0"



LEGEND

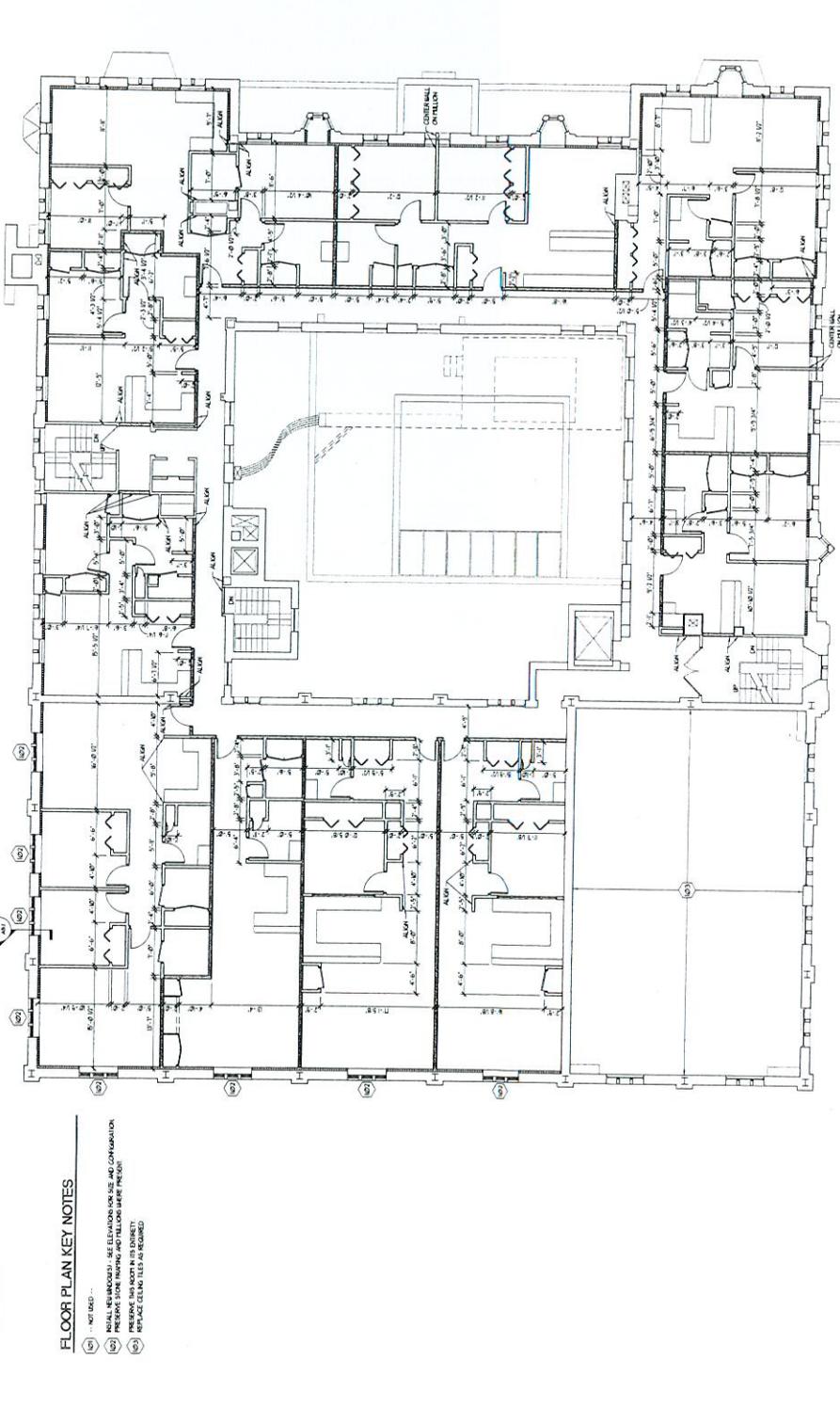
- 4" NOMINAL OULDER PERFORATION WALL (TYPE A4)
- 4" NOMINAL EXTERIOR WALL (TYPE A7)
- 5" NOMINAL INTERIOR WALL - TYPICAL (TYPE A8)
- 8" NOMINAL INTERIOR WALL (TYPE A9)

GENERAL NOTES

1. AT EXISTING WALL LOCATIONS TO RETAIN, REPAIR AND/OR REPLACE TO MATCH EXISTING.
2. MAKE EXISTING WALLS READABLE AND ARE DAMAGED, REMOVE AND REPLACE WITH NEW SIP INSULATED TO MATCH EXISTING.
3. MAKE EXISTING WALLS READABLE AND ARE DAMAGED, REMOVE AND REPLACE WITH NEW SIP INSULATED TO MATCH EXISTING.

FLOOR PLAN KEY NOTES

- (A) - NOT USED
- (B) - RETAIN EXISTING WALL - SEE ELEVATIONS FOR USE AND CONSTRUCTION
- (C) - PREPARE SOME FINISHING AND TELLERS WHERE PRESENT
- (D) - PREPARE SOME FINISHING AND TELLERS WHERE PRESENT
- (E) - REMOVE EXISTING WALL - SEE ELEVATIONS FOR USE AND CONSTRUCTION



1 THIRD FLOOR DIMENSION PLAN
 3/4" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION
2/2014

THE RESIDENCES AT LIBRARY PARK
720 59th Place, Kenosha, Wisconsin 53140
FOURTH FLOOR PLAN

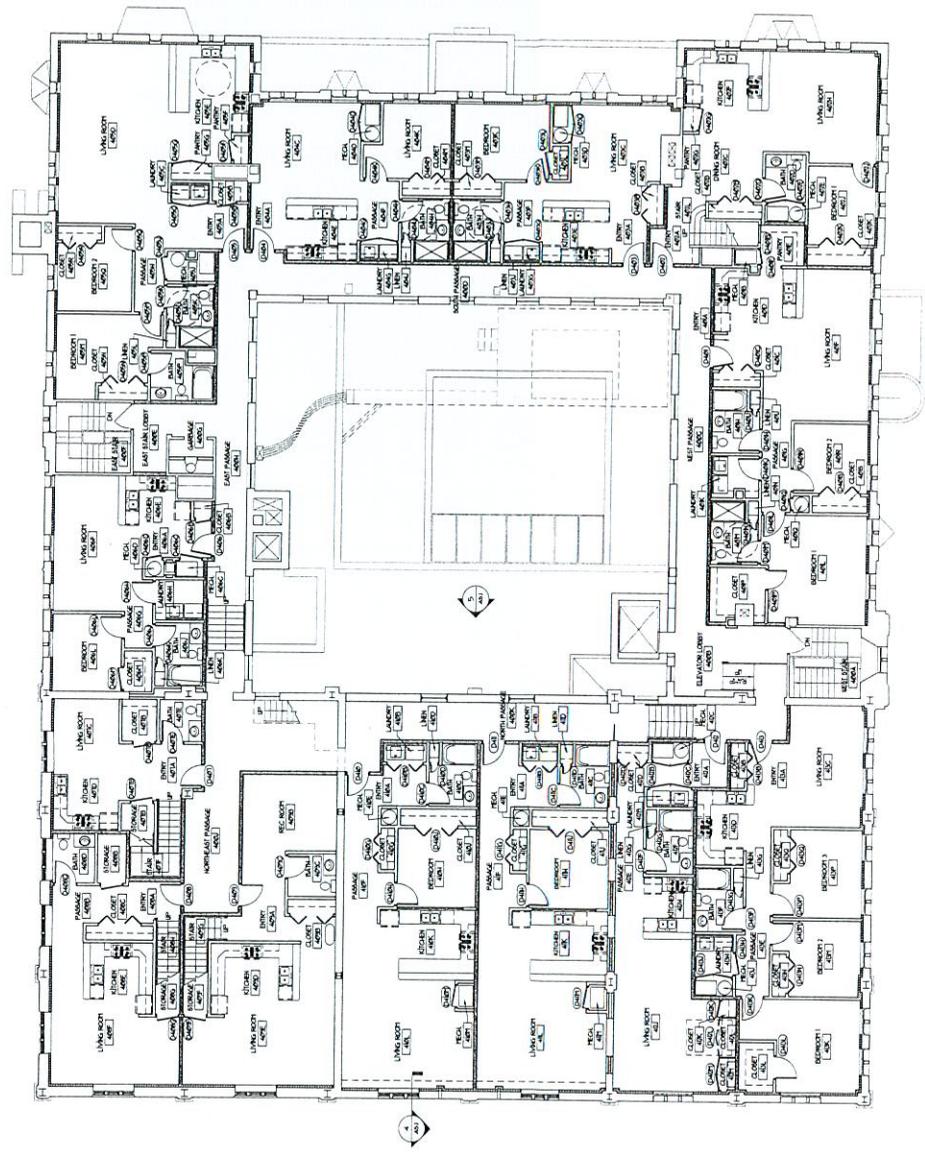
502 PLYMOUTH STREET
KENOSHA, WI 53142
PH: 1-224-851-2800

Partners in Design
ARCHITECTS

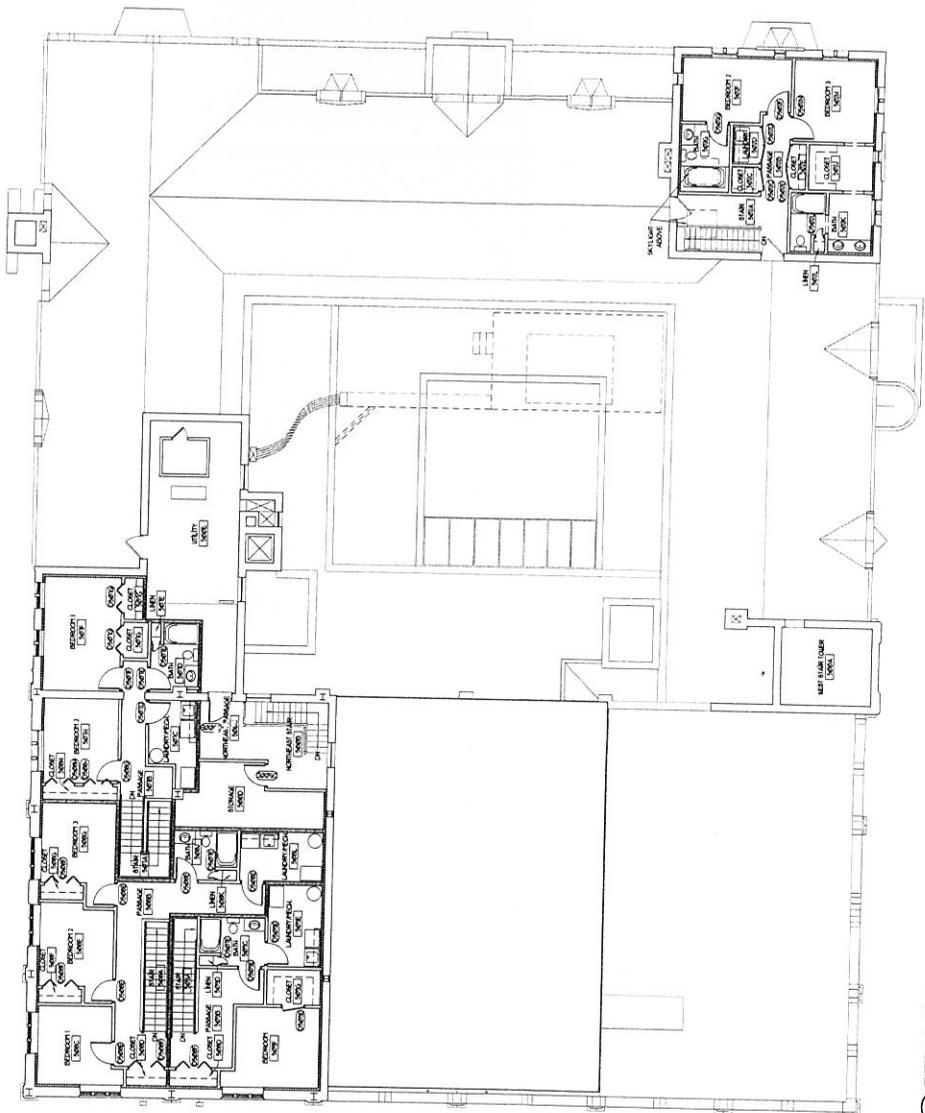


PROJECT NO. 457-02A-001
DATE OF DESIGN: FAB
DATE OF TOC: 09/10/14
SHEET NO. 09/10/14

A3.7



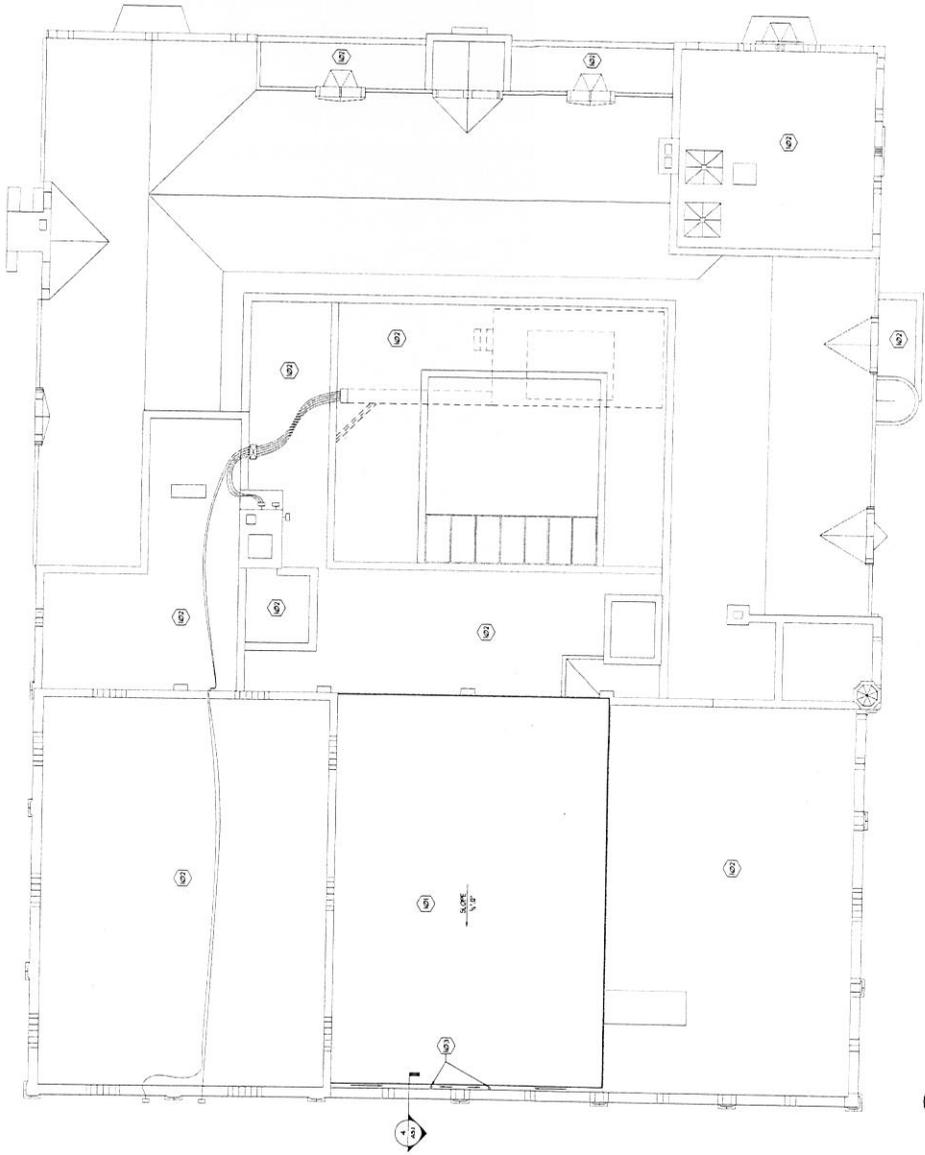
FOURTH FLOOR PLAN
1/8" = 1'-0"



1. FIFTH FLOOR PLAN
 1/8" = 1'-0"

© 2014 Partners in Design Architects, Inc.

ROOF PLAN KEY NOTES
 1. REINFORCE ROOF OVER MECHS
 2. REINFORCE ROOF OVER EXISTING ROOF STRUCTURE
 3. ADD DOWN TE TO EXISTING ROOF SUPPORTS



NORTH
FIFTH FLOOR DIMENSION PLAN
 1/8" = 1'-0"

DRAFT 09/30/14

SPONSOR: ALDERPERSON SCOTT N. GORDON

**TO REPEAL AND RECREATE SUBSECTION 6.01 A. REGARDING
PARK DEFINITION AND SUBPARAGRAPH 6.02 A.31 OF THE
CODE OF GENERAL ORDINANCES REGARDING PARK RULES
AND REGULATIONS FOR DOG LEASHES**

The Common Council of the City of Kenosha, Wisconsin, do ordain as follows:

Section One: Paragraph 6.01 A. of the Code of General Ordinances for the City of Kenosha, Wisconsin, is hereby repealed and recreated as follows:

A. Definitions.

1. The phrase "Dog Park" means a portion of park that has been designated by the Board of Park Commissioners for use by the public to exercise dogs off-leash and that is enclosed by a fence.

2. The words "Park" or "Parks" shall mean all land and water heretofore and hereafter acquired by the City for park or recreational purposes which are under the jurisdiction of the Board of Park Commissioners. Such land and water shall collectively be known as the Park System.

Section Two: Subparagraph 6.02 A.31 of the Code of General Ordinances for the City of Kenosha, Wisconsin, is hereby repealed and recreated as follows:

31. Bring or permit any animal to enter any park, except domestic animals (household pets) which are not vicious in nature, provided said animal is maintained on a secured leash of six (6') feet or less and further provided that the animals excrement is scooped immediately and removed from the park at the time of exiting the park. Notwithstanding the above, dogs located within an enclosure in a dog park may be off-leash when such is allowed by the rules of the dog park. Nothing contained herein shall authorize an animal to be brought into a park which is prohibited from being in the City under §14.02 of the Code of General Ordinances.

Section Three: This Ordinance shall become effective upon passage and publication.

ATTEST: _____ City Clerk

APPROVED: _____ Mayor

Passed: _____

Published: _____

Drafted By:

EDWARD R. ANTARAMIAN
City Attorney

Planning & Zoning Division 625 52nd Street - Room 308 Kenosha, WI 53140 262.653.4030	Kenosha City Plan Commission FACT SHEET	September 18, 2014	Item 5
By the Mayor - To Repeal and Recreate Subparagraph 2.04 A.2 of the Zoning Ordinance for the City of Kenosha, Wisconsin regarding height regulations. PUBLIC HEARING			

LOCATION/SURROUNDINGS:

Site: City-Wide

NOTIFICATIONS/PROCEDURES:

The City Plan Commission reviews and makes recommendations on Zoning Ordinance Amendments. The Common Council is the final review authority.

ANALYSIS:

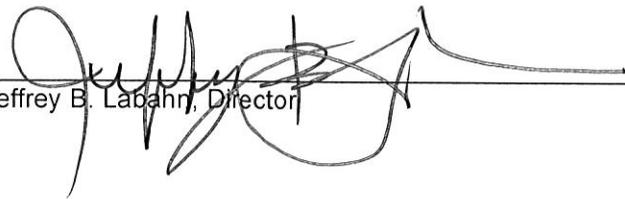
- The current Zoning Ordinance allows for certain structures to exceed the height limit established for a particular zoning district, such as parapet walls, chimneys, elevator bulkheads, etc.
- The proposed Zoning Ordinance Amendment would also allow for decorative architectural features to exceed the height limit of the zoning district for a height equal to one story of the building. A story is defined in the Zoning Ordinance Amendment as the height from one floor to the next floor above it, or the height from the floor to the ceiling at the top floor of the building, whichever is less.
- If the Zoning Ordinance Amendment is adopted, the projections listed in the Zoning Ordinance would be allowed to exceed the height limits by right.

RECOMMENDATION:

A recommendation is made to approve the Zoning Ordinance Amendment.



 Brian R. Wilke, Development Coordinator



 Jeffrey B. Labahn, Director

/u2/acct/cp/ckays/1CPC/2014/SEP18/Fact-zo-204A2-hgt-regs.odt

ORDINANCE _____

DRAFT 08/29H/14

SPONSOR: THE MAYOR

TO REPEAL AND RECREATE SUBPARAGRAPH 2.04 A.2. OF THE ZONING ORDINANCE FOR THE CITY OF KENOSHA, WISCONSIN REGARDING HEIGHT REGULATIONS

The Common Council of the City of Kenosha, Wisconsin, do ordain as follows:

Section One: Subparagraph 2.04 A.2. of the Zoning Ordinance for the City of

Kenosha, Wisconsin is hereby repealed and recreated as follows:

2. Architectural Projections.

a. Definitions. For purposes of this subparagraph 2.04 A.2, the following definitions apply:

(i) "Architectural Projection" means any of the following: Parapet walls not exceeding four (4') feet in height, chimneys, flues, elevator bulkheads, ~~water towers~~penthouses, stacks, stage towers or scenery lofts, cupolas, domes, ~~and~~ spires, ~~and~~ necessary mechanical appurtenances **and decorative architectural features.**

(ii) "Story" for a particular building means a distance that is the lesser of either the distance between two adjacent floor surfaces or in the case of the upper-most floor, the distance between the upper-most floor surface and the bottom of the ceiling above it.

b. Exception to Height Requirements. Architectural Projections may be erected to a height ~~that which~~ exceeds the original height limit established for the district by up to one Story provided that; ~~however, no architectural projection or any~~ space above the original height limit may be used ~~shall be allowed for the purpose of~~ for providing additional habitable ~~floor~~ space.

Section Two: This Ordinance shall become effective upon passage and publication.

ATTEST: _____ City Clerk

APPROVED: _____ Mayor

Passed:

Published:

Drafted By:
EDWARD R. ANTARAMIAN
City Attorney

Planning & Zoning Division 625 52nd Street - Room 308 Kenosha, WI 53140 262.653.4030	Kenosha City Plan Commission FACT SHEET	August 21, 2014	Item 3
By the City Plan Commission - To Create Subsection 18.02 ff. of the Zoning Ordinance to amend the Land Use Map for the City of Kenosha: 2035. (Leona's Rolling Meadows/FEMA) (District #16 and #17) PUBLIC HEARING			

LOCATION/SURROUNDINGS:

Site: Leona's Rolling Meadows Subdivision - South of 60th Street and East of 88th Avenue

NOTIFICATIONS/PROCEDURES:

The alderpersons of the districts, Alderperson Johnson and Alderperson Bogdala, have been notified. The Common Council is the final review authority.

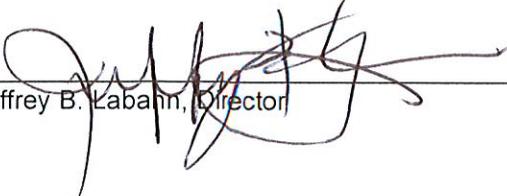
ANALYSIS:

- The Common Council adopted *A Comprehensive Plan for the City of Kenosha: 2035* on April 19, 2010.
- Wisconsin Statutes require the Common Council to adopt an Ordinance for Amendments to the Comprehensive Plan.
- The attached Zoning Ordinance references Map C7-14, which identifies the Amendment to the Land Use Plan located in the Comprehensive Plan.
- The Amendment will amend the land use designation for the referenced properties by adding or removing existing floodplain in compliance with the Letter of Map Revision (LOMR) with the effective date of November 4, 2014.

RECOMMENDATION:

A recommendation is made to approve the proposed Zoning Ordinance.


 Brian R. Wilke, Development Coordinator


 Jeffrey B. Labahn, Director

/u2/acct/cp/ckays/1CPC/2014/AUG21/Fact-zo-1802ff-leonas-FEMA.odt

ORDINANCE NO. _____

SPONSOR: CITY PLAN COMMISSION

**TO CREATE SUBSECTION 18.02 ff. OF THE ZONING
ORDINANCE TO AMEND THE LAND USE PLAN MAP
FOR THE CITY OF KENOSHA: 2035**

The Common Council of the City of Kenosha, Wisconsin, do ordain as follows:

Section One: Subsection 18.02 ff. of the Zoning Ordinance for the City of Kenosha, Wisconsin, is hereby created as follows:

ff. By map C7-14 on file with the Department of Community Development and Inspections.

Section Two: This Ordinance shall become effective upon passage and publication.

ATTEST: _____ City Clerk

APPROVED: _____ Mayor

Passed:

Published:

Drafted By:
JONATHAN A. MULLIGAN
Assistant City Attorney

Planning & Zoning Division 625 52nd Street - Room 308 Kenosha, WI 53140 262.653.4030	Kenosha City Plan Commission FACT SHEET	August 21, 2014	Item 4
By the City Plan Commission - Rezoning to remove and/or add Floodway (FW) for various properties south of 60th Street and east of 86th Avenue. (Leona's Rolling Meadows/FEMA) (District #16 and #17) PUBLIC HEARING			

LOCATION/SURROUNDINGS:

Site: Leona's Rolling Meadow Subdivision - South of 60th Street and East of 86th Avenue

NOTIFICATIONS/PROCEDURES:

The alderpersons of the districts, Alderperson Johnson and Alderperson Bogdala, has been notified. The owner within 100 feet have also been notified.

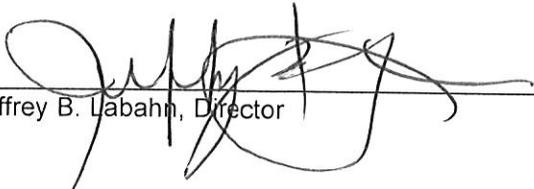
ANALYSIS:

- FEMA originally placed several existing lots within a flood hazard area based on inaccurate information. The City went through a Letter of Map Revision (LOMR) process to have the maps corrected to show the actual floodplains based on existing conditions. FEMA has approved the LOMR, which will take effect on November 4, 2014.
- As part of the process, the City needs to amend the Zoning Map to show the floodplain based on the LOMR. Based on the LOMR, all the residential lots are removed from the FW.
- The new floodplain added is to existing detention basins in the subdivision.
- The City Plan Commission agreed to sponsor the rezoning at the last meeting.

RECOMMENDATION:

A recommendation is made to approve the rezoning.


 Rich Schroeder, Deputy Director


 Jeffrey B. Labahn, Director

/u2/acct/cp/ckays/1CPC/2014/AUG21/Fact-zo-rezone-leonas.odt

REZONING ORDINANCE NO. _____

BY: CITY PLAN COMMISSION

**REZONING TO REMOVE AND/OR ADD FLOODWAY (FW) FOR
VARIOUS PROPERTIES SOUTH OF 60TH STREET AND EAST
OF 86TH AVENUE. (LEONA'S ROLLING MEADOWS/FEMA)
(DISTRICT #16 AND #17)**

The Common Council of the City of Kenosha, Wisconsin, do ordain as follows:

Section One: That the land shown on the attached Supplement Map No. Z6-14 be, and the same hereby is, zoned and districted as indicated on said map.

Section Two: This Ordinance shall be in full force and effect on November 4, 2014, after publication.

ATTEST: _____ City Clerk

APPROVED: _____ Mayor Date: _____

Passed:

Published:

Drafted By:
JONATHAN A. MULLIGAN
City Attorney

City of Kenosha

District Map Rezoning

City Plan Commission petition

Supplement No. Z6-14

Ordinance No. _____



Areas requested to be rezoned:

-  From FW Floodway to IP Institutional Park
-  From FW Floodway to RR-3 Urban Single Family Residential
-  From IP Institutional Park to FW Floodway
-  From RR-3 Urban Single Family Residential to FW Floodway
-  Other Areas to be Removed from FW Floodway



October 6, 2014 Pg. 108
0 400 Feet



Federal Emergency Management Agency

Washington, D.C. 20472

June 16, 2014

COPY

CERTIFIED MAIL
RETURN RECEIPT REQUESTED

The Honorable Keith G Bosman
Mayor, City of Kenosha
625 52Nd Street, Room 300
Kenosha, WI 53140

IN REPLY REFER TO:

Case No.: 14-05-2047P
Community Name: City Of Kenosha, WI
Community No.: 550209
Effective Date of
This Revision: November 4, 2014

Dear Mayor Bosman:

The Flood Insurance Study Report and Flood Insurance Rate Map for your community have been revised by this Letter of Map Revision (LOMR). Please use the enclosed annotated map panel(s) revised by this LOMR for floodplain management purposes and for all flood insurance policies and renewals issued in your community.

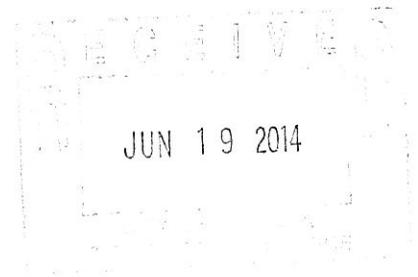
Additional documents are enclosed which provide information regarding this LOMR. Please see the List of Enclosures below to determine which documents are included. Other attachments specific to this request may be included as referenced in the Determination Document. If you have any questions regarding floodplain management regulations for your community or the National Flood Insurance Program (NFIP) in general, please contact the Consultation Coordination Officer for your community. If you have any technical questions regarding this LOMR, please contact the Director, Mitigation Division of the Department of Homeland Security's Federal Emergency Management Agency (FEMA) in Chicago, Illinois, at (312) 408-5364, or the FEMA Map Information eXchange toll free at 1-877-336-2627 (1-877-FEMA MAP). Additional information about the NFIP is available on our website at <http://www.fema.gov/business/nfip>.

Sincerely,

Luis Rodriguez, P.E., Chief
Engineering Management Branch
Federal Insurance and Mitigation Administration

List of Enclosures:

- Letter of Map Revision Determination Document
- Annotated Flood Insurance Rate Map
- Annotated Flood Insurance Study Report



cc:

Ms. Shelly Billingsley, P.E.

Mr. Michael Lemens

Mr. Gary Heinrichs WT/3

Mr. Mark Mickelson, P.E.



Federal Emergency Management Agency
Washington, D.C. 20472

LETTER OF MAP REVISION
DETERMINATION DOCUMENT

COMMUNITY AND REVISION INFORMATION		PROJECT DESCRIPTION	BASIS OF REQUEST
COMMUNITY	City Of Kenosha Kenosha County Wisconsin	NO PROJECT	HYDRAULIC ANALYSIS NEW TOPOGRAPHIC DATA
	COMMUNITY NO.: 550209		
IDENTIFIER	Leona's Rolling Meadows Subdivision	APPROXIMATE LATITUDE & LONGITUDE: 42.576, -87.906 SOURCE: Other DATUM: NAD 83	
ANNOTATED MAPPING ENCLOSURES		ANNOTATED STUDY ENCLOSURES	
TYPE: FIRM* NO.: 55059C0183D DATE: June 19, 2012 TYPE: FIRM* NO.: 55059C0184D DATE: June 19, 2012		DATE OF EFFECTIVE FLOOD INSURANCE STUDY: June 19, 2012 PROFILE(S): 52P	

Enclosures reflect changes to flooding sources affected by this revision.
* FIRM - Flood Insurance Rate Map

FLOODING SOURCE(S) & REVISED REACH(ES)

Pike Creek - From approximately 1,700 feet upstream of K Street to approximately 2,800 feet upstream of K Street.

SUMMARY OF REVISIONS

Flooding Source	Effective Flooding	Revised Flooding	Increases	Decreases
Pike Creek	Zone AE Zone X (unshaded)	Zone AE Zone X (unshaded)	NONE YES	YES NONE

DETERMINATION

This document provides the determination from the Department of Homeland Security's Federal Emergency Management Agency (FEMA) regarding a request for a Letter of Map Revision (LOMR) for the area described above. Using the information submitted, we have determined that a revision to the flood hazards depicted in the Flood Insurance Study (FIS) report and/or National Flood Insurance Program (NFIP) map is warranted. This document revises the effective NFIP map, as indicated in the attached documentation. Please use the enclosed annotated map panels revised by this LOMR for floodplain management purposes and for all flood insurance policies and renewals in your community.

This determination is based on the flood data presently available. The enclosed documents provide additional information regarding this determination. If you have any questions about this document, please contact the FEMA Map Information eXchange toll free at 1-877-336-2627 (1-877-FEMA MAP) or by letter addressed to the LOMC Clearinghouse, 847 South Pickett Street, Alexandria, VA 22304-4605. Additional Information about the NFIP is available on our website at <http://www.fema.gov/nfip>.


Luis Rodriguez, P.E., Chief
Engineering Management Branch
Federal Insurance and Mitigation Administration



Federal Emergency Management Agency
Washington, D.C. 20172

**LETTER OF MAP REVISION
DETERMINATION DOCUMENT (CONTINUED)**

COMMUNITY INFORMATION

APPLICABLE NFIP REGULATIONS/COMMUNITY OBLIGATION

We have made this determination pursuant to Section 206 of the Flood Disaster Protection Act of 1973 (P.L. 93-234) and in accordance with the National Flood Insurance Act of 1968, as amended (Title XIII of the Housing and Urban Development Act of 1968, P.L. 90-448), 42 U.S.C. 4001-4128, and 44 CFR Part 65. Pursuant to Section 1361 of the National Flood Insurance Act of 1968, as amended, communities participating in the NFIP are required to adopt and enforce floodplain management regulations that meet or exceed NFIP criteria. These criteria, including adoption of the FIS report and FIRM, and the modifications made by this LOMR, are the minimum requirements for continued NFIP participation and do not supersede more stringent State/Commonwealth or local requirements to which the regulations apply.

COMMUNITY REMINDERS

We based this determination on the 1-percent-annual-chance flood discharges computed in the FIS for your community without considering subsequent changes in watershed characteristics that could increase flood discharges. Future development of projects upstream could cause increased flood discharges, which could cause increased flood hazards. A comprehensive restudy of your community's flood hazards would consider the cumulative effects of development on flood discharges subsequent to the publication of the FIS report for your community and could, therefore, establish greater flood hazards in this area.

Your community must regulate all proposed floodplain development and ensure that permits required by Federal and/or State/Commonwealth law have been obtained. State/Commonwealth or community officials, based on knowledge of local conditions and in the interest of safety, may set higher standards for construction or may limit development in floodplain areas. If your State/Commonwealth or community has adopted more restrictive or comprehensive floodplain management criteria, those criteria take precedence over the minimum NFIP requirements.

We will not print and distribute this LOMR to primary users, such as local insurance agents or mortgage lenders; instead, the community will serve as a repository for the new data. We encourage you to disseminate the information in this LOMR by preparing a news release for publication in your community's newspaper that describes the revision and explains how your community will provide the data and help interpret the NFIP maps. In that way, interested persons, such as property owners, insurance agents, and mortgage lenders, can benefit from the information.

This determination is based on the flood data presently available. The enclosed documents provide additional information regarding this determination. If you have any questions about this document, please contact the FEMA Map Information eXchange toll free at 1-877-336-2627 (1-877-FEMA MAP) or by letter addressed to the LOMC Clearinghouse, 847 South Pickett Street, Alexandria, VA 22304-4605. Additional Information about the NFIP is available on our website at <http://www.fema.gov/nfip>.


Luis Rodriguez, P.E., Chief
Engineering Management Branch
Federal Insurance and Mitigation Administration



Federal Emergency Management Agency
Washington, D.C. 20472

**LETTER OF MAP REVISION
DETERMINATION DOCUMENT (CONTINUED)**

We have designated a Consultation Coordination Officer (CCO) to assist your community. The CCO will be the primary liaison between your community and FEMA. For information regarding your CCO, please contact:

Ms. Christine Stack
Director, Mitigation Division
Federal Emergency Management Agency, Region V
536 South Clark Street, Sixth Floor
Chicago, IL 60605
WI: (312) 408-5500

STATUS OF THE COMMUNITY NFIP MAPS

We will not physically revise and republish the FIRM and FIS report for your community to reflect the modifications made by this LOMR at this time. When changes to the previously cited FIRM panel(s) and FIS report warrant physical revision and republication in the future, we will incorporate the modifications made by this LOMR at that time.

This determination is based on the flood data presently available. The enclosed documents provide additional information regarding this determination. If you have any questions about this document, please contact the FEMA Map Information eXchange toll free at 1-877-336-2627 (1-877-FEMA MAP) or by letter addressed to the LOMC Clearinghouse, 847 South Pickett Street, Alexandria, VA 22304-4605. Additional Information about the NFIP is available on our website at <http://www.fema.gov/nfip>.


Luis Rodriguez, P.E., Chief
Engineering Management Branch
Federal Insurance and Mitigation Administration



Federal Emergency Management Agency
Washington, D.C. 20472

LETTER OF MAP REVISION
DETERMINATION DOCUMENT (CONTINUED)

PUBLIC NOTIFICATION OF REVISION

A notice of changes will be published in the Federal Register. This information also will be published in your local newspaper on or about the dates listed below and through FEMA's Flood Hazard Mapping website at https://www.floodmaps.fema.gov/fhm/Scripts/bfe_main.asp.

LOCAL NEWSPAPER Name: Kenosha News
 Dates: June 30, 2014 and July 7, 2014

Within 90 days of the second publication in the local newspaper, a citizen may request that we reconsider this determination. Any request for reconsideration must be based on scientific or technical data. Therefore, this letter will be effective only after the 90-day appeal period has elapsed and we have resolved any appeals that we receive during this appeal period. Until this LOMR is effective, the revised flood hazard determination presented in this LOMR may be changed.

This determination is based on the flood data presently available. The enclosed documents provide additional information regarding this determination. If you have any questions about this document, please contact the FEMA Map Information eXchange toll free at 1-877-336-2627 (1-877-FEMA MAP) or by letter addressed to the LOMC Clearinghouse, 847 South Pickett Street, Alexandria, VA 22304-4605. Additional Information about the NFIP is available on our website at <http://www.fema.gov/nfip>.

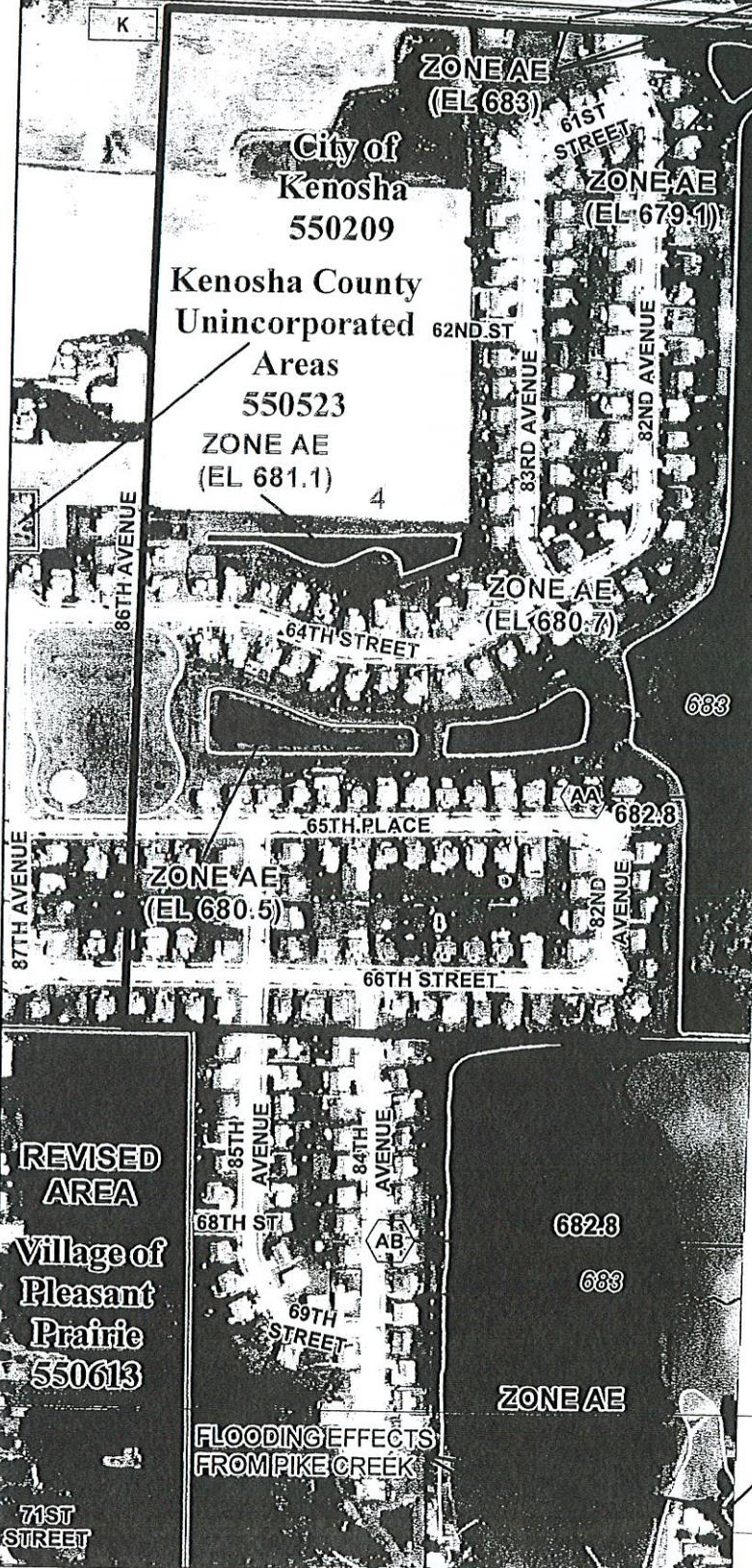

Luis Rodriguez, P.E., Chief
Engineering Management Branch
Federal Insurance and Mitigation Administration

NOTE: MAP AREA SHOWN ON THIS PANEL IS LOCATED WITHIN TOWNSHIP 1 NORTH, RANGE 22 EAST AND TOWNSHIP 2 NORTH, RANGE 22 EAST.

220000 FT

33
City of Kenosha
 550209
Kenosha County
Unincorporated Areas
 550523

FLOODING EFFECTS FROM PIKE CREEK



JOINS PANEL 0184

SPECIAL FLOOD HAZARD AREAS

- Without Base Flood Elevation (BFE)
 Zone A, V, A99
- With BFE or Depth Zone AE, AD, AH, VE, AR
- Regulatory Floodway
- 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
- Future Conditions 1% Annual Chance Flood Hazard Zone X
- Area with Reduced Flood Risk due to Levee See Notes, Zone X

OTHER AREAS OF FLOOD HAZARD

SCALE

Map Projection:
 NAD 1983 UTM Zone 15N,
 Western Hemisphere, Vertical Datum: NAVD 88

1 inch = 500 feet 1:6,000

0 270 540 1,080 Feet

0 75 150 300 Meters

FEMA
 National Flood Insurance Program

NATIONAL FLOOD INSURANCE PROGRAM
 FLOOD INSURANCE RATE MAP
 KENOSHA COUNTY, Wisconsin
 AND INCORPORATED AREAS

PANEL **183** OF **331**

Panel Contains

COMMUNITY	NUMBER	PANEL	SUFFIX
KENOSHA, CITY OF	550209	0183	D
KENOSHA COUNTY	550523	0183	D
PLEASANT PRAIRIE, VILLAGE OF	550613	0183	D

REVISED TO REFLECT LOMR EFFECTIVE NOVEMBER 4, 2014

VERSION NUMBER 1.0.0.0
 MAP NUMBER 55059C0183D
 EFFECTIVE DATE June 19, 2012

October 6, 2014 Pg. 115

RESOLUTION NO. _____
BY: FINANCE COMMITTEE

RESOLUTION TO CORRECT RESOLUTION #100-14

PROJECT #13-1208 SIDEWALK AND CURB/GUTTER PROGRAM

WHEREAS, Resolution #100-14 for Project #13-1208 (Sidewalk and Curb/Gutter Program – Citywide Locations) in the amount of \$98,918.65 was passed by the Kenosha Common Council on September 15, 2014

WHEREAS, it has been determined that a special assessment against Parcel #06-123-07-153-009 in the amount of \$1,469.10 for sidewalk repair was levied in error,

WHEREAS, it has been determined that a special assessment against Parcel #04-122-12-186-006 in the amount of \$555.00 for sidewalk repair was levied in error,

WHEREAS, it has been determined that a special assessment against Parcel #08-222-33-401-100 in the amount of \$138.75 for sidewalk repair was levied in error,

WHEREAS, it has been determined that a special assessment against Parcel #07-222-25-102-001 in the amount of \$144.30 for sidewalk repair was levied in error,

WHEREAS, it has been determined that a special assessment against Parcel #04-122-12-454-005 in the amount of \$294.15 for sidewalk repair was levied in error,

WHEREAS, it has been determined that a special assessment against Parcel #09-222-36-380-004 in the amount of \$285.00 for sidewalk repair was levied in error,

WHEREAS, it has been determined that a special assessment against Parcel #04-122-12-126-004 in the amount of \$277.50 for sidewalk repair was levied in error,

WHEREAS, it has been determined that a special assessment against Parcel #01-122-01-481-003 in the amount of \$555.00 for sidewalk repair was levied in error,

WHEREAS, it has been determined that a special assessment against Parcel #01-122-01-478-005 in the amount of \$280.83 for sidewalk repair was levied in error,

WHEREAS, it has been determined that Parcel #07-222-24-484-003 was incorrectly billed in the amount of \$558.75, and should have been billed in the amount of \$281.25,

WHEREAS, it has been determined that Parcel #07-222-23-406-015 was incorrectly billed in the amount of \$477.30, and should have been billed in the amount of \$277.50,

WHEREAS, it has been determined that Parcel #02-122-02-204-011 was incorrectly billed in the amount of \$697.50, and should have been billed in the amount of \$111.00,

WHEREAS, it has been determined that Parcel #04-122-12-477-033 was incorrectly billed in the amount of \$560.55, and should have been billed in the amount of \$277.50,

NOW, THEREFORE, BE IT RESOLVED, by the Kenosha Common Council that the resolution be changed from \$98,918.65 to \$93,572.17.

Passed this 6th day of October, 2014.

Approved:

Keith G. Bosman, Mayor

Attest:

Debra L. Salas, City Clerk-Treasurer



ENGINEERING DIVISION
SHELLY BILLINGSLEY, P.E.
CITY ENGINEER
PARK DIVISION
JEFF WARNOCK
SUPERINTENDENT
FLEET MAINTENANCE
MAURO LENCI
SUPERINTENDENT

STREET DIVISION
JOHN H. PRIJIC
SUPERINTENDENT
WASTE DIVISION
ROCKY BEDNAR
SUPERINTENDENT

DEPARTMENT OF PUBLIC WORKS

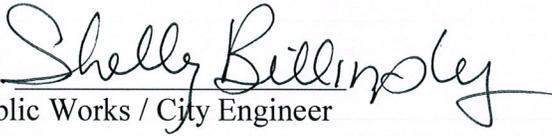
MICHAEL M. LEMENS, P.E., DIRECTOR
SHELLY BILLINGSLEY, P.E., DEPUTY DIRECTOR

MUNICIPAL BUILDING · 625 - 52ND ST · RM 305 · KENOSHA, WI 53140
TELEPHONE (262) 653-4050 · FAX (262) 653-4056
EMAIL PUBLICWORKS@KENOSHA.ORG

October 2, 2014

To: Eric Haugaard, Chairman
Public Works Committee

Daniel Prozanski, Jr., Chairman
Finance Committee

From: Shelly Billingsley, P.E. 
Deputy Director of Public Works / City Engineer

Cc: Carol Stancato
Director of Finance

Subject: ***Resolution by the Finance Committee – To Amend the City of Kenosha Capital Improvement Program for 2014 by increasing IN13-001 “56th Street Sheridan Road – 13th Avenue” by \$84,600 and decreasing “122nd Avenue 71st Street-75th Street” by \$84,000 for a Net Change of \$0.***

BACKGROUND INFORMATION

Staff requested a CIP Amendment be drafted by Finance to amend the CIP for 2014 due to increased costs due to grading issues. The grading of 56th Street needed to be adjusted to allow for positive drainage. This impacted more sidewalk that is not accessible to the property owner due to the grading modifications.

RECOMMENDATION

Approve the amendment to amend the City of Kenosha Capital Improvement Program for 2014 by increasing IN13-001 “56th Street Sheridan Road – 13th Avenue” by \$84,600 and decreasing “122nd Avenue 71st Street-75th Street” by \$84,000 for a Net Change of \$0.

RESOLUTION NO. _____

BY: Finance Committee

To Amend the City of Kenosha Capital Improvement Program for 2014
By Increasing IN13-001 "56th Street Sheridan Road-13th Avenue by \$84,600 and Decreasing
IN07-001 "122nd Avenue 71st Street-75th Street" by \$84,600 for a Net Change of \$0

WHEREAS, needed grading changes increased the cost of the 56th Street sidewalk project and;

WHEREAS, the above amendment to the Capital Improvement Program has been approved by the Public Works Committee and the Finance Committee on October 6, 2014;

NOW, THEREFORE BE IT RESOLVED, by the Common Council of the City of Kenosha, Wisconsin that the Capital Improvement Program be, and hereby is amended as follows:

<i>Line Item</i>	<i>Description</i>	<i>Available Authorization</i>	<i>Authorization Adjustment</i>	<i>Amended Authorization</i>
IN13-001	56 th Street-Sheridan Road – 13 th Ave. (2014)	152,902	84,600	237,502
IN07-001	122 nd Avenue-71 st Street – 75 th Street (2012)	199,058	(84,600)	114,458

Adopted this _____ day of _____ 2014

Approved:

KEITH G. BOSMAN, MAYOR

Attest:

DEBRA SALAS, CITY CLERK/TREASURER

(RES14/cipIN13.001.10.2.14)

RESOLUTION NO. _____

BY: FINANCE COMMITTEE

**To Impose a Special Charge on Certain
Parcels of Property
for Boarding and Securing**

BE IT RESOLVED, that special charges for boarding and securing during 2014, in the total amount of **\$660.34** be levied against the respective parcels of property as shown by a report of the Department of Community Development and Inspections and filed in the office of the City Clerk of the City of Kenosha.

Passed this _____ day of _____, 2014

Approved:

_____, Mayor
Keith G. Bosman

Attest:

_____, City Clerk-Treasurer
Debra L. Salas

Drafted by:
Department of Community Development and Inspections

/saz

Parcel #:01-122-01-107-021

6106 23RD AVE

Owner of Record

ANDREW & JULIE BAVETZ
6106 23RD AVE
KENOSHA, WI 53143-4304

Admin. Fee
100.00

Charge
72.12

Total
172.12

Parcel #:01-122-01-186-006

6623 24TH AVE

Owner of Record

ROGER M & BARBRA A PAUPA
6623 24TH AVE
KENOSHA, WI 53143-4712

Admin. Fee
100.00

Charge
221.89

Total
321.89

Parcel #:01-122-01-282-013

6630 30TH AVE

Owner of Record

BERNICE KAROW
6630 30TH AVE
KENOSHA, WI 53142-3404

Admin. Fee
100.00

Charge
66.33

Total
166.33

RESOLUTION TOTAL

660.34

RESOLUTION NO. _____

BY: FINANCE COMMITTEE

**To Impose a Special Charge on Certain
Parcels of Property for
Grass and Weed Cutting**

BE IT RESOLVED, that special charges for weed/grass cutting during 2014, in the total amount of **\$17,599.89**, be levied against the respective parcels of property as shown by a report of the Department of Community Development and Inspections and filed in the office of the City Clerk of the City of Kenosha.

Passed this _____ day of _____, 2014

Approved:

_____, Mayor
Keith G. Bosman

Attest:

_____, City Clerk-Treasurer
Debra L. Salas

Drafted by:
Department of Community Development and Inspections

/saz

Parcel #:01-122-01-103-012**6035 25TH AVE****Owner of Record**ROBERT W AKER
C/O HARBOUR PORTFOLIO VII LP
PO BOX 1996
IRMO, SC 29063Admin. Fee
100.00Charge
169.19Total
269.19

Parcel #:01-122-01-106-027**6116 24TH AVE****Owner of Record**LINCOLNSHIRE ESTATES LLC
6433 LINCOLNSHIRE DR
RACINE, WI 53405Admin. Fee
100.00Charge
97.88Total
197.88

Parcel #:01-122-01-107-021**6106 23RD AVE****Owner of Record**ANDREW & JULIE BAVETZ
6106 23RD AVE
KENOSHA, WI 53143-4304Admin. Fee
100.00Charge
589.33Total
689.33

Parcel #:01-122-01-152-002**2721 63RD ST****Owner of Record**CECILIA GAINES
2015 44TH PL UPPER
KENOSHA, WI 53140-2774Admin. Fee
100.00Charge
66.71Total
166.71

Parcel #:01-122-01-153-013**6333 29TH AVE****Owner of Record**RON & JEANINE MCELVANEY
1474 30TH AVE UNIT 1
KENOSHA, WI 53144-3003Admin. Fee
100.00Charge
118.33Total
218.33

Parcel #:01-122-01-201-004**3017 60TH ST****Owner of Record**US BANK
4801 FREDERICA ST
OWENSBORO, KY 42301Admin. Fee
100.00Charge
192.20Total
292.20

Parcel #:01-122-01-206-020**6212 32ND AVE****Owner of Record**RICHARD A & MANDI S EMERICK
6212 32ND AVE
KENOSHA, WI 53142-3311**Admin. Fee**

100.00

Charge

120.65

Total

220.65

Parcel #:01-122-01-227-045**6100 35TH AVE****Owner of Record**DAVID W ALISAUSKAS
6100 35TH AVE
KENOSHA, WI 53142-3323**Admin. Fee**

100.00

Charge

340.73

Total

440.73

Parcel #:01-122-01-328-014**6706 36TH AVE****Owner of Record**JOSEPH D GOETLUCK JR
6706 36TH AVE
KENOSHA, WI 53142-3434**Admin. Fee**

100.00

Charge

121.66

Total

221.66

Parcel #:01-122-01-426-031**6706 26TH AVE****Owner of Record**RONALD F ZINK
1632 PINETREE DR
GURNEE, IL 60031**Admin. Fee**

100.00

Charge

99.35

Total

199.35

Parcel #:01-122-01-451-014**7206 26TH AVE****Owner of Record**PHILLIP & CINDY M GLENIK
7206 26TH AVE
KENOSHA, WI 53143-5279**Admin. Fee**

100.00

Charge

99.35

Total

199.35

Parcel #:02-122-02-206-005**6121 50TH AVE****Owner of Record**PHH MORTGAGE COPORATION
4400 WILL ROGERS PARKWAY
SUITE 300
OKLAHOMA CITY, OK 73108**Admin. Fee**

100.00

Charge

158.38

Total

258.38

Parcel #:02-122-02-327-009**5404 68TH ST****Owner of Record**TAMMY BEASLEY
5404 68TH ST
KENOSHA, WI 53142Admin. Fee
100.00Charge
252.95Total
352.95

Parcel #:03-122-03-430-009**6217 69TH ST****Owner of Record**MICHAEL L & TINA L PATTEN
6217 69TH ST
KENOSHA, WI 53142-1412Admin. Fee
100.00Charge
251.65Total
351.65

Parcel #:03-122-05-251-793**10018 66TH ST****Owner of Record**BRIAN L & BETHANY M JOHNSON
1637 WALPOLE LN
INDIANAPOLIS, IN 46231-4223Admin. Fee
100.00Charge
285.95Total
385.95

Parcel #:04-122-12-134-009**7711 28TH AVE****Owner of Record**BRIAN M & CARRIE ANN WILLIAMS
12137 35TH AVE
PLEASANT PRAIRIE, WI 53158Admin. Fee
100.00Charge
74.65Total
174.65

Parcel #:04-122-12-401-001**8004 22ND AVE****Owner of Record**U S PETROLEUM INC
8004 22ND AVE
KENOSHA, WI 53143Admin. Fee
100.00Charge
13.83Total
113.83

Parcel #:05-123-06-135-013**6344 10TH AVE****Owner of Record**STEVEN R & RENELLE ANN WICKS
6344 10TH AVE
KENOSHA, WI 53143-5002Admin. Fee
100.00Charge
172.63Total
272.63

Parcel #:05-123-06-153-005**1125 64TH ST****Owner of Record**JENNIFER LANE CONDO LLC
104 S MICHIGAN AVE #500
CHICAGO, IL 60603Admin. Fee
100.00Charge
44.98Total
144.98

Parcel #:05-123-06-181-045**6526 5TH AVE****Owner of Record**KARL SISSON
219 OAK LN
WINTHROP HARBOR, IL 60096Admin. Fee
100.00Charge
93.05Total
193.05

Parcel #:05-123-06-205-020**1510 62ND ST****Owner of Record**GREGG M & PHILLIP R PAISER
PO BOX 580205
PLEASANT PRAIRIE, WI 53158Admin. Fee
100.00Charge
45.25Total
145.25

Parcel #:05-123-06-228-020**2022 61ST ST****Owner of Record**WELLS FARGO BANK
DENVER HOME OWNERSHIP CENTER
1670 BROADWAY 23RD FLR
DENVER, CO 80202Admin. Fee
100.00Charge
106.60Total
206.60

Parcel #:05-123-06-229-007**2101 61ST ST****Owner of Record**BRUCE J & LUANN M FREDERICK
7542 34TH AVE
KENOSHA, WI 53142Admin. Fee
100.00Charge
8.40Total
108.40

Parcel #:05-123-06-229-008**2107 61ST ST****Owner of Record**BRUNO R SCHIELZETH
2107 61ST ST
KENOSHA, WI 53143Admin. Fee
100.00Charge
30.25Total
130.25

Parcel #:05-123-06-229-020**2014 62ND ST****Owner of Record**JEFFERY GIVENS
1725 COURTYARD HTS #3
COLORADO SPRINGS, CO 80906Admin. Fee
100.00Charge
77.00Total
177.00

Parcel #:05-123-06-232-010**1922 62ND ST****Owner of Record**LARRY ANCONA
8123 56TH AVE
KENOSHA, WI 53142Admin. Fee
100.00Charge
7.00Total
107.00

Parcel #:05-123-06-232-012**1912 62ND ST****Owner of Record**I-LIFE II LLC
C/O ARKADY LIVS
425 HUEHL RD UNIT 4-A
NORTHBROOK, IL 60062Admin. Fee
100.00Charge
76.58Total
176.58

Parcel #:05-123-06-281-026**6638 14TH AVE****Owner of Record**JOHN SAVAGLIO
8986 33RD AVE
KENOSHA, WI 53142Admin. Fee
100.00Charge
115.50Total
215.50

Parcel #:05-123-06-326-001**6703 21ST AVE****Owner of Record**RICK & DANA FREDERICK
2409 15TH PL
KENOSHA, WI 53140Admin. Fee
100.00Charge
17.08Total
117.08

Parcel #:05-123-06-327-008**6801 22ND AVE****Owner of Record**EDMUND C & ERIC J WIERZBICKI
6801 22ND AVE
KENOSHA, WI 53143-6006Admin. Fee
100.00Charge
5.15Total
105.15

Parcel #:05-123-06-327-024**6734 21ST AVE****Owner of Record**
MICHAEL J DUNCAN
266 BUCK HWY
VONORE, TN 37885-3928Admin. Fee
100.00Charge
3.99Total
103.99

Parcel #:05-123-06-453-001**7229 SHERIDAN RD****Owner of Record**
JENNIFER GLASS
7229 SHERIDAN RD
KENOSHA, WI 53143Admin. Fee
100.00Charge
76.32Total
176.32

Parcel #:05-123-06-479-017**704 75TH ST****Owner of Record**
GURPAL WISCONSIN STATIONS LLC
9653 N GRANVILLE RD
MEQUON, WI 53097Admin. Fee
100.00Charge
77.63Total
177.63

Parcel #:06-123-07-133-014**7747 10TH AVE****Owner of Record**
BENJAMIN L & JENNIFER M SIMONS
7747 10TH AVE
KENOSHA, WI 53143Admin. Fee
100.00Charge
192.08Total
292.08

Parcel #:06-123-07-133-016**7732 9TH CT****Owner of Record**
HELEN A HENDERLEITER
7732 9TH CT
KENOSHA, WI 53143Admin. Fee
100.00Charge
152.59Total
252.59

Parcel #:06-123-07-301-004**8040 SHERIDAN RD****Owner of Record**
TACO BELL OF AMERICA LLC
1 GLEN BELL WAY
MD 511
IRVINE, CA 92618Admin. Fee
100.00Charge
262.43Total
362.43

Parcel #:07-222-25-360-001**4001 35TH AVE****Owner of Record**BROOKSTONE HOMES INC
C/O BRUCE R BRINEY
PO BOX 8100
JANESVILLE, WI 53547**Admin. Fee**

100.00

Charge

36.75

Total

136.75

Parcel #:07-222-25-360-002**4007 35TH AVE****Owner of Record**DEARBORN STREET HOLDINGS LLC
4425 PONCE DE LEON BLVD 5TH FL
CORAL GABLES, FL 33146**Admin. Fee**

100.00

Charge

31.50

Total

131.50

Parcel #:07-222-25-360-003**4013 35TH AVE****Owner of Record**DEARBORN STREET HOLDINGS LLC
4425 PONCE DE LEON BLVD 5TH FL
CORAL GABLES, FL 33146**Admin. Fee**

100.00

Charge

94.50

Total

194.50

Parcel #:07-222-25-360-010**4055 35TH AVE****Owner of Record**DEARBORN STREET HOLDINGS LLC
4425 PONCE DE LEON BLVD 5TH FL
CORAL GABLES, FL 33146**Admin. Fee**

100.00

Charge

89.25

Total

189.25

Parcel #:07-222-25-360-041**4101 35TH AVE****Owner of Record**BROOKSTONE HOMES INC
C/O BRUCE R BRINEY
PO BOX 8100
JANESVILLE, WI 53547**Admin. Fee**

100.00

Charge

31.50

Total

131.50

Parcel #:07-222-25-360-051**4221 35TH AVE****Owner of Record**BROOKSTONE HOMES INC
C/O BRUCE R BRINEY
PO BOX 8100
JANESVILLE, WI 53547**Admin. Fee**

100.00

Charge

126.53

Total

226.53

Parcel #:07-222-25-360-052**3410 44TH ST****Owner of Record**BROOKSTONE HOMES INC
C/O BRUCE R BRINEY
PO BOX 8100
JANESVILLE, WI 53547Admin. Fee
100.00Charge
64.05Total
164.05

Parcel #:07-222-25-360-053**3404 44TH ST****Owner of Record**BROOKSTONE HOMES INC
C/O BRUCE R BRINEY
PO BOX 8100
JANESVILLE, WI 53547Admin. Fee
100.00Charge
21.00Total
121.00

Parcel #:07-222-25-428-016**4053 30TH AVE****Owner of Record**REBECA ECHEVERRIA
4053 30TH AVE
KENOSHA, WI 53144Admin. Fee
100.00Charge
105.98Total
205.98

Parcel #:07-222-25-454-008**4417 29TH AVE****Owner of Record**HEDWIN J ALCANTARA
4417 29TH AVE
KENOSHA, WI 53140Admin. Fee
100.00Charge
72.50Total
172.50

Parcel #:08-222-35-103-003**4207 46TH ST****Owner of Record**WELLS FARGO BANK NA
7105 CORPORATE DR PTX-B-209
PLANO, TX 75024-3539Admin. Fee
100.00Charge
110.58Total
210.58

Parcel #:08-222-35-355-008**5427 58TH ST****Owner of Record**BANK OF AMERICA
7105 CORPORATE DR
PLANO, TX 75024Admin. Fee
100.00Charge
125.90Total
225.90

Parcel #:08-222-35-430-036**5416 PERSHING BLVD****Owner of Record**
JOANN M COLEMAN
PSC 490 BOX 7715
FPO, 96538-0490

Admin. Fee	Charge	Total
100.00	156.87	256.87

Parcel #:09-222-36-108-013**2412 50TH ST****Owner of Record**
JPMORGAN CHASE BANK NA
4400 WILL ROGERS PKWY, STE 300
OKLAHOMA CITY, OK 73108

Admin. Fee	Charge	Total
100.00	150.85	250.85

Parcel #:09-222-36-132-001**4803 29TH AVE****Owner of Record**
STEVEN L PHILLIPS
4803 29TH AVE
KENOSHA, WI 53140

Admin. Fee	Charge	Total
100.00	173.15	273.15

Parcel #:09-222-36-156-002**5103 28TH AVE****Owner of Record**
DEBRA J CREEKMORE
5103 28TH AVE
KENOSHA, WI 53140-3003

Admin. Fee	Charge	Total
100.00	149.00	249.00

Parcel #:09-222-36-228-001**4605 38TH AVE****Owner of Record**
BRIAN LAREAU
4605 38TH AVE
KENOSHA, WI 53144

Admin. Fee	Charge	Total
100.00	189.70	289.70

Parcel #:09-222-36-252-011**5028 38TH AVE****Owner of Record**
SANDRA L HUGHES
57 MIMOSA ST
SOMERSET, KY 42503-4835

Admin. Fee	Charge	Total
100.00	120.20	220.20

Parcel #:09-222-36-329-013**3705 52ND ST****Owner of Record**RAKHRA WISCONSIN EZ GO STATION
9653 N GRANVILLE RD
MEQUON, WI 53092Admin. Fee
100.00Charge
160.13Total
260.13

Parcel #:09-222-36-353-001**5601 37TH AVE****Owner of Record**MARK C & MONICA L ESCH
PO BOX 34
FRANKSVILLE, WI 53126-0034Admin. Fee
100.00Charge
451.94Total
551.94

Parcel #:09-222-36-405-005**2502 54TH ST****Owner of Record**GUILLERMO HERNANDEZ
JULIA RUIZ
2502 54TH ST
KENOSHA, WI 53140Admin. Fee
100.00Charge
29.10Total
129.10

Parcel #:09-222-36-407-010**5406 25TH AVE****Owner of Record**IGNACIO & DONNA MACEDO
5406 25TH AVE
KENOSHA, WI 53140Admin. Fee
100.00Charge
104.93Total
204.93

Parcel #:09-222-36-476-002**5503 23RD AVE****Owner of Record**FRED L & VICKI S SCHULTZ
918 WASHINGTON RD
KENOSHA, WI 53140-2849Admin. Fee
100.00Charge
51.95Total
151.95

Parcel #:09-222-36-483-010**5817 23RD AVE****Owner of Record**JPMORGAN CHASE BANK NA
7301 BAYMEADOWS WAY
JACKSONVILLE, FL 32256Admin. Fee
100.00Charge
82.23Total
182.23

Parcel #:10-223-18-326-024**1740 BIRCH RD****Owner of Record**
JOSEPH A BROESCH
2608 24TH ST
KENOSHA, WI 53140Admin. Fee
100.00Charge
244.02Total
344.02

Parcel #:11-223-30-327-002**1919 38TH ST****Owner of Record**
MIDWEST COMMERCIAL FUNDING LLC
1521 WAUKESHA RD
CALEDONIA, WI 53108Admin. Fee
100.00Charge
75.30Total
175.30

Parcel #:11-223-30-363-013**4409 18TH AVE****Owner of Record**
JAMES & CHRISTINE LEMAR
4409 18TH AVE
KENOSHA, WI 53140-2709Admin. Fee
100.00Charge
75.00Total
175.00

Parcel #:11-223-30-429-026**3814 10TH AVE****Owner of Record**
GATEWAY PROPERTIES OF KENOSHA
6634 88TH AVE
KENOSHA, WI 53142Admin. Fee
100.00Charge
4.83Total
104.83

Parcel #:11-223-30-453-007**927 WASHINGTON RD****Owner of Record**
SOUTHPORT BANK
7027 GREEN BAY RD
KENOSHA, WI 53142Admin. Fee
100.00Charge
77.50Total
177.50

Parcel #:11-223-30-453-023**902 42ND ST****Owner of Record**
902 42ND STREET LAND TRUST
501 SILVERSIDE RD, STE 87JQ
WILMINGTON, DE 19809Admin. Fee
100.00Charge
145.03Total
245.03

Parcel #:12-223-31-131-013**912 47TH ST****Owner of Record**ERIC HUMPHREY
PO BOX 592
SHELBY, MS 38774-0592Admin. Fee
100.00Charge
99.58Total
199.58

Parcel #:12-223-31-207-025**4816 13RD CT****Owner of Record**EFRAIN LUNA
4816 13TH CT
KENOSHA, WI 53140Admin. Fee
100.00Charge
166.39Total
266.39

Parcel #:12-223-31-227-011**2018 45TH ST****Owner of Record**MICHAEL A & BRENDA J CORRADINI
9960 MARTHA KNIGHT CIR
KNOXVILLE, TN 37932Admin. Fee
100.00Charge
185.50Total
285.50

Parcel #:12-223-31-251-002**1807 50TH ST****Owner of Record**CITY TRANSFORMATION LIMITED
1442 N FARWELL AVE STE 300
MILWAUKEE, WI 53202Admin. Fee
100.00Charge
156.00Total
256.00

Parcel #:12-223-31-276-001**1323 50TH ST****Owner of Record**DANIEL M ZIZZO SR
2914 35TH ST
KENOSHA, WI 53140Admin. Fee
100.00Charge
15.23Total
115.23

Parcel #:12-223-31-276-020**1320 52ND ST****Owner of Record**DANIEL M ZIZZO SR
2914 35TH ST
KENOSHA, WI 53140Admin. Fee
100.00Charge
51.34Total
151.34

Parcel #:12-223-31-305-003**1501 54TH ST****Owner of Record**NOEL C BAKER
PO BOX 47501
CHICAGO, IL 60647Admin. Fee
100.00Charge
26.43Total
126.43**Parcel #:12-223-31-334-001****5506 19TH AVE****Owner of Record**GLOBUS HOLDING CORPORATION
8170 214TH AVE
BRISTOL, WI 53104Admin. Fee
100.00Charge
97.50Total
197.50**Parcel #:12-223-31-334-018****5507 22ND AVE****Owner of Record**ATLAS GYM LLC
3415 80TH ST
KENOSHA, WI 53142-4974Admin. Fee
100.00Charge
122.50Total
222.50**Parcel #:12-223-31-336-025****1712 55TH ST****Owner of Record**SALVADOR GUDINO JR OSEGUERA
5413 36TH AVE
KENOSHA, WI 53144-6912Admin. Fee
100.00Charge
182.78Total
282.78**Parcel #:12-223-31-376-007****1346 56TH ST****Owner of Record**CHRISTOPHER & KELLIE SANTUCCI
1346 56TH ST
KENOSHA, WI 53140Admin. Fee
100.00Charge
122.78Total
222.78**Parcel #:12-223-31-384-026****1500 60TH ST****Owner of Record**LEON C PIERRO
1500 60TH ST
KENOSHA, WI 53140Admin. Fee
100.00Charge
176.93Total
276.93

Parcel #:12-223-31-405-002**5525 8TH AVE****Owner of Record**BANK ONE WISCONSIN NATIONAL AS
C/O INDUSTRY CONSULTING GROUP
PO BOX 8265
WICHITA FALLS, TX 76307-8265Admin. Fee
100.00Charge
41.83Total
141.83

Parcel #:12-223-31-479-005**622 58TH ST****Owner of Record**KENOSHA RETAIL GROUP LLC
2101 W RICE ST #306
CHICAGO, IL 60622Admin. Fee
100.00Charge
79.73Total
179.73

Parcel #:12-223-31-480-001**617 58TH ST****Owner of Record**JOHN SAVAGLIO
8986 33RD AVE
KENOSHA, WI 53142Admin. Fee
100.00Charge
6.30Total
106.30**RESOLUTION TOTAL****17,599.89**

RESOLUTION NO. _____

BY: FINANCE COMMITTEE

**To Impose a Special Charge on Certain
Parcels of Property for
Property Maintenance Reinspection Fees**

BE IT RESOLVED, that special charges for reinspection fees during 2014, in the total amount of **\$8,234.00**, be levied against the respective parcels of property as shown by a report of the Department of Community Development and Inspections and filed in the office of the City Clerk of the City of Kenosha.

Passed this _____ day of _____, 2014

Approved:

_____, Mayor
Keith G. Bosman

Attest:

_____, City Clerk-Treasurer
Debra L. Salas

Drafted by:
Department of Community Development and Inspections

/saz

Parcel #:01-122-01-103-012**6035 25TH AVE****Owner of Record**ROBERT W AKER
C/O HARBOUR PORTFOLIO VII LP
PO BOX 1996
IRMO, SC 29063**Admin. Fee**

100.00

Charge

90.00

Total

190.00

Parcel #:01-122-01-103-012**6035 25TH AVE****Owner of Record**ROBERT W AKER
C/O HARBOUR PORTFOLIO VII LP
PO BOX 1996
IRMO, SC 29063**Admin. Fee**

100.00

Charge

72.00

Total

172.00

Parcel #:01-122-01-162-005**6415 27TH AVE****Owner of Record**JPMORGAN CHASE BANK
C/O DENVER HOME OWNERSHIP CTR
1670 BROADWAY 23RD FLR
DENVER, CO 80202**Admin. Fee**

100.00

Charge

72.00

Total

172.00

Parcel #:01-122-01-201-010**6031 31ST AVE****Owner of Record**PAUL J LEVONOWICH
6031 31ST AVE
KENOSHA, WI 53142-3304**Admin. Fee**

100.00

Charge

360.00

Total

460.00

Parcel #:01-122-01-226-024**6230 34TH AVE****Owner of Record**ROBERT HACKER JR
PO BOX 085192
RACINE, WI 53408**Admin. Fee**

100.00

Charge

360.00

Total

460.00

Parcel #:01-122-01-326-001**6703 35TH AVE****Owner of Record**WILLIS & DAMA FOSTER
11905 OLD GREEN BAY RD
PLEASANT PRAIRIE, WI 53158**Admin. Fee**

100.00

Charge

360.00

Total

460.00

Parcel #	Address	Admin. Fee	Charge	Total
01-122-01-365-001	3521 74TH ST			
Owner of Record ALLEN WOELLERT 3521 74TH ST KENOSHA, WI 53142-7219		100.00	72.00	172.00

Parcel #	Address	Admin. Fee	Charge	Total
02-122-02-277-012	6349 49TH AVE			
Owner of Record MARY ANN JACKSON 6349 49TH AVE KENOSHA, WI 53142-3122		100.00	360.00	460.00

Parcel #	Address	Admin. Fee	Charge	Total
04-122-12-237-009	7733 36TH AVE			
Owner of Record LORI K LIENAU 7733 36TH AVE KENOSHA, WI 53142		100.00	360.00	460.00

Parcel #	Address	Admin. Fee	Charge	Total
05-123-06-260-036	6516 18TH AVE			
Owner of Record FRANK F & SANDRA J LUDOWISE 6516 18TH AVE KENOSHA, WI 53143-4954		100.00	360.00	460.00

Parcel #	Address	Admin. Fee	Charge	Total
05-123-06-479-017	704 75TH ST			
Owner of Record GURPAL WISCONSIN STATIONS LLC 9653 N GRANVILLE RD MEQUON, WI 53097		100.00	180.00	280.00

Parcel #	Address	Admin. Fee	Charge	Total
05-123-06-479-017	704 75TH ST			
Owner of Record GURPAL WISCONSIN STATIONS LLC 9653 N GRANVILLE RD MEQUON, WI 53097		100.00	90.00	190.00

Parcel #:06-123-18-426-016**8867 SHERIDAN RD****Owner of Record**
NMTS LLC
3122 14TH AVE
KENOSHA, WI 53140**Admin. Fee**
100.00**Charge**
360.00**Total**
460.00

Parcel #:09-222-36-329-013**3705 52ND ST****Owner of Record**
RAKHRA WISCONSIN EZ GO STATION
9653 N GRANVILLE RD
MEQUON, WI 53092**Admin. Fee**
100.00**Charge**
360.00**Total**
460.00

Parcel #:10-223-18-353-022**1768 21ST AVE****Owner of Record**
WELLS FARGO BANK NA
4400 WILL ROGERS PKWY, STE 300
OKLAHOMA CITY, OK 73108**Admin. Fee**
100.00**Charge**
90.00**Total**
190.00

Parcel #:10-223-19-278-029**2014 17TH AVE****Owner of Record**
SHIRLEY E MESSING
2014 17TH AVE
KENOSHA, WI 53140**Admin. Fee**
100.00**Charge**
360.00**Total**
460.00

Parcel #:12-223-31-151-001**4900 7TH AVE****Owner of Record**
APOSTOLIC ASSEMBLY OF FAITH
C/O MARIA GODINA, TREASURER
1642 17TH AVE
KENOSHA, WI 53140**Admin. Fee**
100.00**Charge**
72.00**Total**
172.00

Parcel #:12-223-31-251-008**5021 19TH AVE****Owner of Record**
R JAMES NEAL
PO BOX 74
SOMERS, WI 53171**Admin. Fee**
100.00**Charge**
72.00**Total**
172.00

Parcel #:12-223-31-334-001**5506 19TH AVE****Owner of Record**GLOBUS HOLDING CORPORATION
8170 214TH AVE
BRISTOL, WI 53104Admin. Fee
100.00Charge
360.00Total
460.00

Parcel #:12-223-31-334-001**5506 19TH AVE****Owner of Record**GLOBUS HOLDING CORPORATION
8170 214TH AVE
BRISTOL, WI 53104Admin. Fee
100.00Charge
90.00Total
190.00

Parcel #:12-223-31-334-001**5506 19TH AVE****Owner of Record**GLOBUS HOLDING CORPORATION
8170 214TH AVE
BRISTOL, WI 53104Admin. Fee
100.00Charge
72.00Total
172.00

Parcel #:12-223-31-334-001**5506 19TH AVE****Owner of Record**GLOBUS HOLDING CORPORATION
8170 214TH AVE
BRISTOL, WI 53104Admin. Fee
100.00Charge
90.00Total
190.00

Parcel #:12-223-31-334-001**5506 19TH AVE****Owner of Record**GLOBUS HOLDING CORPORATION
8170 214TH AVE
BRISTOL, WI 53104Admin. Fee
100.00Charge
72.00Total
172.00

Parcel #:12-223-31-389-006**1342 57TH ST****Owner of Record**RAJKO SINDJELIC
7528 PERSHING BLVD STE B 117
KENOSHA, WI 53142Admin. Fee
100.00Charge
360.00Total
460.00

Parcel #:12-223-31-479-005

622 58TH ST

Owner of Record

KENOSHA RETAIL GROUP LLC
2101 W RICE ST #306
CHICAGO, IL 60622

Admin. Fee
100.00

Charge
360.00

Total
460.00

Parcel #:12-223-31-488-003

5801 6TH AVE

Owner of Record

LAKEVIEW DEVELOPMENT GROUP LLC
1200 S LAKE ST
MUNDELEIN, IL 60060

Admin. Fee
100.00

Charge
180.00

Total
280.00

RESOLUTION TOTAL

8,234.00

RESOLUTION NO. _____

BY: FINANCE COMMITTEE

**To Impose a Special Charge on Certain
Parcels of Property for
Razing/Pre-Razing of Structures**

BE IT RESOLVED, that special charges for razing/pre-razing of structures during 2014, in the total amount of **\$1,307.12**, be levied against the respective parcels of property as shown by a report of the Department of Community Development and Inspections and filed in the office of the City Clerk of the City of Kenosha.

Passed this _____ day of _____, 2014

Approved:

_____, Mayor
Keith G. Bosman

Attest:

_____, City Clerk-Treasurer
Debra L. Salas

Drafted by:
Department of Community Development and Inspections

/saz

Parcel #:11-223-30-481-011

4308 6TH AVE

Owner of Record

MARK R YUNKER
4308 6TH AVE
KENOSHA, WI 53140-2932

Admin. Fee

100.00

Charge

1,207.12

Total

1,307.12

RESOLUTION TOTAL

1,307.12

RESOLUTION NO. _____

BY: FINANCE COMMITTEE

**To Impose a Special Charge on Certain
Parcels of Property for
Trash and Debris Removal**

BE IT RESOLVED, that special charges for trash and debris removal during 2014, in the total amount of **\$806.38**, be levied against the respective parcels of property as shown by a report of the Department of Community Development and Inspections and filed in the office of the City Clerk of the City of Kenosha.

Passed this _____ day of _____, 2014

Approved:

_____, Mayor
Keith Bosman

Attest:

_____, City Clerk-Treasurer
Debra L. Salas

Drafted by:
Department of Community Development & Inspections

/saz

Parcel #:05-123-06-230-008	2109 62ND ST		
Owner of Record GEORGE E & MARY D MCKENZIE 2109 62ND ST KENOSHA, WI 53143-4466	Admin. Fee 100.00	Charge 326.38	Total 426.38

Parcel #:09-222-36-361-012	5900 34TH AVE		
Owner of Record HERASMO SANCHEZ VENTURA 5900 34TH AVE KENOSHA, WI 53144	Admin. Fee 100.00	Charge 280.00	Total 380.00

RESOLUTION TOTAL			806.38
-------------------------	--	--	---------------

RESOLUTION NO. _____

BY: FINANCE COMMITTEE

**To Impose a Special Charge on Certain
Parcel(s) of Property for Trimming/Removing
Bushes for Visual Clearance
(Miscellaneous Assessment)**

BE IT RESOLVED, that special charges for visual clearance issues during 2014, in the total amount of **\$225.00**, be levied against the respective parcels of property as shown by a report of the Department of Community Development and Inspections and filed in the office of the City Clerk of the City of Kenosha.

Passed this _____ day of _____, 2014

Approved:

_____, Mayor
Keith G. Bosman

Attest:

_____, City Clerk-Treasurer
Debra L. Salas

Drafted by:
Department of Neighborhood Services and Inspections

Parcel #: 09-222-36-335-008

5541 37TH AVE

Owner of Record
AMI B HOLGUIN
5541 37TH AVE
KENOSHA, WI 53144

Admin. Fee
100.00

Charge
125.00

Total
225.00

RESOLUTION TOTAL

225.00

Planning & Zoning

Community Development

262.653.4030
262.653.4045 FAX
Room 308



Building Inspections

Property Maintenance

262.653.4263
262.653.4254 FAX
Room 100

DEPARTMENT OF COMMUNITY DEVELOPMENT & INSPECTIONS

Municipal Building · 625 52nd Street · Kenosha, WI 53140
www.kenosha.org

Jeffrey B. Labahn, Director

Richard Schroeder, Deputy Director

TO: Keith G. Bosman, Mayor
Members of the City of Kenosha Common Council
Members of the Finance Committee

FROM: Martha Swartz, Property Maintenance Inspector *MS*
Department of Community Development and Inspections

SUBJECT: Request from David Beth for Property Owner, Margaret Weyrauch, for Rescindment of Special Charge for Grass and Weed Cutting at 5904 3^{1st} Avenue

DATE: September 23, 2014

The petitioner, David Beth, has appealed the special charge in the amount of \$107.35 plus interest for grass and weed cutting on the alley at a property owned by his mother-in-law, Margaret Weyrauch. He states that Ms. Weyrauch is blind and was not aware of the Order to Cut Grass and Destroy Weeds.

The following sequence of events is pertinent to this issue:

- June 6, 2014: A Notice to Cut Grass and/or Destroy Weeds for violations in the alley was posted on the property and a copy mailed to the owner of record, Margaret Weyrauch
- June 13, 2014: A reinspection by the Nuisance Inspector found no work done
- June 19, 2014: The City's Contractor cut the alley at a cost of \$7.35
- July 21, 2014: The cost, plus a \$100.00 administrative fee, was approved by Finance Committee and Common Council as a Special Charge against the subject property
- September 8, 2014: A reinspection was conducted by Martha Swartz in anticipation of an appeal; the alley was again in violation. Ms. Swartz spoke with Alderman Gordon, who stated he would speak with the owner.
- September 15, 2014: Appeal for Special Charge received
- September 19, 2014: A reinspection by Martha Swartz found the property in compliance.

Recommendation: Staff was unaware of any disability of owner and followed Policy and Procedure regarding posting and mailing of the order and regarding the contractor's cutting of the alley. Staff does not object to the request based on the owner's disability.

MES/saz
Attachments

October 6, 2014 Pg. 149

RESOLUTION NO. _____

BY: FINANCE COMMITTEE

To Rescind a Special Charge Levied by Resolution
No. 073-14 against Parcel No. 09-222-36-382-019
(5904 31st Avenue), Kenosha, Wisconsin

WHEREAS, on July 21, 2014, the Common Council of the City of Kenosha, Wisconsin, adapted Resolution No. 073-14 levying special charges for **Grass and Weed Cutting** for various buildings within the City of Kenosha, Wisconsin, at the request of the Department of Community Development and Inspections; and,

WHEREAS, it has been stated by the property owner, Margaret Weyrauch, that a special assessment should not have been levied on one (1) of those parcels; to wit: Parcel No. 09-222-36-382-019 (5904 31st Avenue), Kenosha, Wisconsin.

NOW, THEREFORE, BE IT RESOLVED by the Common Council of the City of Kenosha, Wisconsin, that the special charge in the amount of \$107.35 levied by Resolution No. 073-14 against Parcel No. 09-222-36-382-019 (5904 31st Avenue) Kenosha, Wisconsin (plus interest that has accrued in the total amount of \$2.01) be and hereby is rescinded thereby reducing the total amount of the resolution by \$107.35

Passed this _____ day of _____, 2014

Approved:

_____, Mayor
Keith G. Bosman

Attest:

_____, City Clerk-Treasurer
Debra L. Salas

Drafted by:
Department of Community Development and Inspections

/saz

City of Kenosha
Department of Community Development & Inspections
625 52nd Street, Kenosha, Wisconsin

Appeal Form

Property Address: 5904 31 AVE KENOSHA WI Date: 9-15-14

Appeal is for: Special Assessment Reinspection Fee Board-up Fee Penalty Fee
 Other WEEDS OVERGROWN IN AVEY CITATION

Amount: _____

Property Owner: MARGARET WEYRAUCH

Petitioner: DAVID BETH

Mailing Address: 765 248 AVE KANSASVILLE WI 53139

Home Phone Number: 262-978-9669 Daytime Phone Number: 262-695-5101

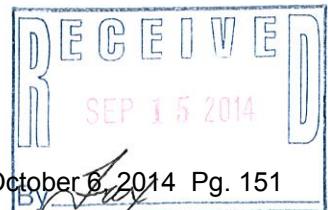
E-mail Address: David.Beth@kenoshacounty.org

Reason for Appeal (if more space is needed, please attach information to this form):

MY MOTHER-IN-LAW, MARGARET WEYRAUCH WENT COMPLETELY BLIND IN 2013. HER DESIRE TO REMAIN INDEPENDENT IS ADMIRABLE FOR MANY REASONS, BUT IN THIS SITUATION IS DIFFICULT. FAMILY TAKES TURNS MOWING AND MAINTAINING HER PROPERTY AND WE DROPPED THE BALL (WEEDS) FOR HER THIS TIME. WE DID NOT KNOW THERE WAS A WARNING LETTER OR A CITATION UNTIL LAST WEEK. OTHER FAMILY AND I CUT THE WEEDS ON 9-13-14 AND HAULED THEM AWAY. PLEASE CONSIDER DISMISSING THE CITATION ISSUED TO HER. THANK YOU.

Petitioner's Signature: David Beth

Please return to:
Department of Community Development and Inspections
625 52nd Street, Room 100, Kenosha, Wisconsin 53140
Phone: 262.653.4263; Fax: 262.653.4254



Name: Margaret Weyrauch
Address: 5904 31st Ave
Kenosha, WI 53144-4104

Case #: W140365

Not Col JY

CITY OF KENOSHA
Department of Community Development and Inspections
625 52nd Street, Room 100, Kenosha, WI 53140 ♦ Phone 262.653.4263

NOTICE TO CUT GRASS AND/OR DESTROY WEEDS

Property located at: 5904 31 Ave Kenosha, Wisconsin.

On the 6 day of June, 2014, a representative of the Department of Community Development and Inspections inspected the premises owned/occupied by you at the above-noted address.

The inspection indicated the subject property is in violation of the following Section(s) of the Code of General Ordinances:

- Section 16.17 F. Noxious weeds, including but not limited to, _____, exceeding a height of eight inches (8").
- Section 16.17 G. Grassy areas exceeding a height of eight inches (8").

PLEASE TAKE NOTICE that you are hereby ordered to cut this grass and/or destroy these weeds and properly dispose of by 6/11/2014 to bring the property into conformity with City ordinances. You are further ordered to maintain property compliance. No further notices will be sent for future violations.

Should you fail to do so, the City will cut or destroy, or arrange for the cutting of the grass or the destruction of said weeds at a minimum charge of \$ 0.035 per square foot. The City will also charge a **\$100.00 administrative fee** for each parcel plus any contractor costs associated with cleaning the property prior to or in conjunction with the cutting of the grass or destruction of the weeds. (See reverse side for more information.)

STANDARDS

The City requires that its contractor cut all grass to a height of three inches (3") and that all weeds shall be destroyed by cutting them to the ground. All cutting is to include trimming around/along fences, buildings, and hedgerows. Alley cuttings include any grass and/or weeds to the centerline of the alley. With the exception of the three inch grass height, property owners will be held to the same standards. The City's contractor will automatically complete any work not done to the City's standards without any notice to the property owner.

RECURRING VIOLATIONS

You are required to maintain grass and weeds at a height not to exceed eight inches (8"). If another Notice to Cut Grass and/or Destroy Weeds is issued within twelve months of this notice, you may be charged reinspection fees per Section 16.09 of the Code of General Ordinances. Reinspection Fees escalate with each reinspection that shows noncompliance or for every recurrence of the violation. (See reverse side.)

PLEASE SEE REVERSE SIDE OF THIS PAGE FOR IMPORTANT INFORMATION

Signed *[Signature]* John Grao Hand Delivered *[Signature]*
Posted *[Signature]* 6/11/2014 Mailed _____
NOTE: Long grass in Alley *[Signature]* 7:35

IF YOU HAVE ANY QUESTIONS, PLEASE CONTACT YOUR INSPECTOR AT 262. 653-4282



RESOLUTION NO. _____

**BY: COMMITTEE ON PUBLIC
SAFETY AND WELFARE**

**TO DESIGNATE AS "NO PARKING" THE WEST SIDE OF
20th AVENUE BETWEEN 12th STREET AND 12TH PLACE.**

BE IT RESOLVED by the Common Council of the City of Kenosha, Wisconsin,
that the west side of 20th Avenue from the City boundary line south of 12th Street to 185 feet
south to 12th Place be designated as **"NO PARKING"**.

Adopted this _____ day of _____, 2014.

ATTEST: _____ City Clerk

APPROVED: _____ Mayor Date: _____

Drafted By:
JONATHAN A. MULLIGAN,
Assistant City Attorney

RESOLUTION NO. _____

SPONSOR: ALDERPERSON RHONDA JENKINS

TO URGE THE MAYOR TO INCLUDE IN THE 2015 CITY OF KENOSHA BUDGET \$10,000 TO PARTNER WITH AND COMPLETE KENOSHA COUNTY'S "DOWNTOWN WIFI" PLAN AS PRESENTED BY KENOSHA COUNTY EXECUTIVE JAMES KREUSER

WHEREAS, public WiFi was one of the key recommendations of the Lakota Group's Downtown Strategic Development Plan, and

WHEREAS, Kenosha County officials included in their 2014 budget more than \$100,000 for infrastructure improvements for wireless services from 35th Street to 66th Street, encompassing most of the downtown lakefront area, and

WHEREAS, Kenosha County officials originally asked the city to pay about \$16,000 a year to operate the Downtown Wi-Fi Plan, their new plan asks the city to budget \$10,000 a year for the Internet service for a trial period of 3 years and,

WHEREAS, Kenosha County's plan calls for 35 wireless access points to be installed during the first phase of the project and has the capacity to add further access points to incorporate additional business districts throughout the City of Kenosha and,

NOW THEREFORE BE IT RESOLVED, that the Common Council does urge the Mayor to include \$10,000 in the 2015 City of Kenosha budget to partner with the County of Kenosha to complete the "Downtown WiFi Plan" as presented by County Executive James Kreuser

Adopted this ____ day of _____, 2014.

ATTEST: _____ City Clerk
Debra Salas

APPROVED: _____ Mayor
Keith Bosman

Date: _____

Drafted By:
RHONDA JENKINS
2ND DISTRICT ALDERMAN
CITY OF KENOSHA, STATE OF WISCONSIN

RESOLUTION NO. _____

PRINCIPAL SPONSOR: ALDERMAN DAVID F. BOGDALA
CO-SPONSOR: ALDERMAN STEVE BOSTROM
CO-SPONSOR: ALDERMAN G JOHN RUFFOLO
CO-SPONSOR: ALDERMAN RHONDA JENKINS

TO REAFFIRM THE MONTH OF OCTOBER AS THE NATIONAL DOMESTIC VIOLENCE AWARENESS MONTH IN THE CITY OF KENOSHA AND TO RECOGNIZE THE CONTRIBUTIONS OF WOMEN'S AND CHILDREN'S HORIZONS FOR THEIR ADVOCACY ON BEHALF OF VICTIMS OF DOMESTIC AND SEXUAL VIOLENCE

WHEREAS, Domestic Violence Awareness Month evolved from the first Day of Unity observed in October, 1981 by the National Coalition Against Domestic Violence (NCADV). The intent was to connect battered women's advocates across the nations who were working to end violence against women and their children. The Day of Unity soon became a special week when a range of activities were conducted at the local, state, and national levels; and,

WHEREAS, these activities were as varied and diverse as the program sponsors but had common themes: mourning those who have died because of domestic violence, celebrating those who have survived, and connecting those who work to end violence; and,

WHEREAS, in October 1987, the first Domestic Violence Awareness Month was observed, and that same year the first national toll-free hotline was begun; and,

WHEREAS, in 1989 the first Domestic Violence Awareness Month Commemorative Legislation was passed by the U.S. Congress and where such legislation has passed every year since with NCADV providing key leadership in this effort; and,

WHEREAS, the Day of Unity is celebrated the first Monday in October, and NCADV hopes that events in communities and regions across the fifty states will culminate in a powerful statement celebrating the strength of battered women and their children.

WHEREAS, Women and Children's Horizons was established in 1976 and is the oldest incorporated shelter in Wisconsin and,

WHEREAS, the foundation for Women and Children's was set in April, 1976 when a Kenosha Vista supervisor became disturbed by statistics which showed the undeniable seriousness of domestic violence against women and,

WHEREAS, together with twenty two other women and men, the group set up WCH's first 24 hour crisis line and now today, has broadened its mission and extended services well beyond the 24 hour crisis line and,

WHEREAS, Women's and Children's Horizons offers programs and services ranging from issues with domestic violence, children's services, legal advocacy, emergency shelter, transitional living, and sexual assault, and

WHEREAS, Women and Children's Horizons has been redesigning services to provide trauma-informed care and addressing emerging issues such as human trafficking and,

WHEREAS, Women and Children's Horizons provided advocacy services for 2479 victims/survivors in 2013, totaling 38,986 hours of service with 42,904 client contacts in 2013,

NOW, THEREFORE, BE IT RESOLVED that the Common Council for the City of Kenosha does hereby reaffirm its commitment to the month of October as Domestic Violence Awareness Month and encourages citizens to work against domestic violence and support the efforts of others to help victims and prevent abuse, and

BE IT FURTHER RESOLVED that the City of Kenosha does recognize and support the contribution of Women's and Children's Horizons for victims of domestic and sexual abuse and encourages all citizens of Kenosha to participate and/or support events such as their annual Awareness Walk to support victims and their families who have been affected by domestic abuse.

Adopted this ____ day of _____, 20__.

ATTEST: _____ City Clerk
Debra L. Salas

APPROVED: _____ Mayor
Keith Bosman

Date: _____

Drafted By:
DAVID F. BOGDALA
17TH DISTRICT ALDERMAN
CITY OF KENOSHA, STATE OF WISCONSIN

NOTE: The author of this resolution gives credit for much of the verbiage contained herein to the National Coalition Against Domestic Violence, the author of the webpage, and Women and Children's Horizons of Kenosha, WI.
<http://www.ncadv.org/takeaction/DomesticViolenceAwarenessMonth.php>.

RESOLUTION _____

SPONSOR: ALDERPERSON CURT WILSON

**CO-SPONSORS: ALDERPERSON PATRICK A. JULIANA
ALDERPERSON JAN MICHALSKI
ALDERPERSON KURT WICKLUND
ALDERPERSON SCOTT N. GORDON
ALDERPERSON DAVE PAFF
ALDERPERSON RHONDA JENKINS
ALDERPERSON ROCCO J. LAMACCHIA, SR.
ALDERPERSON ERIC HAUGAARD**

TO DECLARE OCTOBER 2014 BREAST CANCER AWARENESS MONTH

WHEREAS, breast cancer is a disease in which malignant cancer cells form in the tissues of the breast; and

WHEREAS, types of breast cancer include ductal carcinoma in situ, invasive ductal carcinoma, inflammatory breast cancer, and metastatic breast cancer; and

WHEREAS, as reported by the United States Centers for Disease Control and Prevention, breast cancer is the most commonly diagnosed cancer in women for all ethnicities; and

WHEREAS, one in eight women will be diagnosed with breast cancer in their lifetime; and

WHEREAS, breast cancer is the second leading cause of death among women; and

WHEREAS, each year it is estimated that over 220,000 women in the United States will be diagnosed with breast cancer and more than 40,000 will die; and

WHEREAS, breast cancer is not limited to women in that according to the National Breast Cancer Foundation, Inc., each year it is estimated that approximately 2,190 men will be diagnosed with breast cancer and 410 will die; breast cancer in men carries a higher mortality than for women, primarily because awareness among men is less and they are less likely to assume a lump is breast cancer, which can cause a delay in seeking treatment; and

WHEREAS, when breast cancer is detected early, at a localized stage, the survival rate is ninety-eight percent (98%); and

WHEREAS, early detection strategies include monthly breast self-exams, regular clinical breast exams, and mammograms; and

WHEREAS, while only a small percentage of breast lumps turn out to be cancer, if a person discovers a persistent lump in her or his breast or notices any changes in breast tissue, it should never be ignored.

NOW, THEREFORE, BE IT RESOLVED, by the Common Council for the City of Kenosha that October 2014 is declared to be Breast Cancer Awareness Month in the City of Kenosha.

Adopted this _____ day of October, 2014.

ATTEST: _____
Debra Salas, City Clerk/Treasurer

APPROVED: _____
Keith G. Bosman, Mayor

Drafted By:
EDWARD R. ANTARAMIAN
City Attorney

Planning & Zoning Division 625 52nd Street - Room 308 Kenosha, WI 53140 262.653.4030	Kenosha City Plan Commission FACT SHEET	September 18, 2014	Item 2
By the Mayor - Resolution to Approve a Two-Lot Certified Survey Map for property at 3615 Washington Road. (Local 72 UAW) (District #10) PUBLIC HEARING			

LOCATION/SURROUNDINGS:

Site: 3615 Washington Road
 Zoned: IP Institutional Park

NOTIFICATIONS/PROCEDURES:

The alderperson of the district, Alderperson Kennedy, has been notified. This item will also be reviewed by the Public Works Committee before final approval by the Common Council.

ANALYSIS:

- The applicant is proposing to split the existing lot, where the Local 72 UAW building is located, into two (2) lots. The lot split is to allow for a sale of the building and land on Lot 2.
 - Lot 1 would have the UAW Building.
 - Lot 2 would have a separate existing building.
- A Cross Access Agreement for both vehicular access between parcels as well as access to sewer and water across the lot lines has been provided by the applicant.
- The plans were sent to City Departments for their review. Their comments are included on the attached Resolution.
- The plans generally comply with Chapter 17 of the Code of General Ordinances.

RECOMMENDATION:

A recommendation is made to approve the Certified Survey Map, subject to the attached Resolution.


 Brian R. Wilke, Development Coordinator


 Jeffrey B. Labarn, Director

/u2/acct/cp/ckays/1CPC/2014/SEP18/Fact-csm-local72uaw.odt

RESOLUTION NO: ____ - 14

BY: THE MAYOR

TO APPROVE A TWO-LOT CERTIFIED SURVEY MAP
Property located at 3615 Washington Road (Local 72 UAW)

BE IT RESOLVED by the Common Council of the City of Kenosha, Wisconsin, that a Certified Survey Map relating to one (1) parcel located at 3615 Washington Road is herein and hereby approved subject to the following conditions:

1. Compliance with all applicable State and City codes and ordinances.
2. Payment of all applicable fees, including recording fees, by the applicant.
3. Payment of all storm water utility fees and delinquent taxes prior to recording.
4. A digital copy of the Certified Survey Map shall be provided to the City prior to recording.
5. The Certified Survey Map shall be null and void if not recorded within six (6) months of approval by the Common Council.
6. Compliance with the Kenosha Water Utility memo dated September 5, 2014. Any Easements requested by the Kenosha Water Utility must be shown on the Certified Survey Map.
7. The Easements provided refer to "Parcel A" and "Parcel B" while the Certified Survey Map refers to "Lot 1" and "Lot 2". Please revise either document to be consistent.
8. The Petition to Public Works for the Sidewalk Exception shall be submitted and approved prior to the City signing the Certified Survey Map. Items identified in the Public Works Memo dated September 8, 2014.
9. The parking lot shall be restriped so that no parking spaces will cross the proposed lot line and each lot provides the minimum number of parking spaces required by Chapter 6.0 of the Zoning Ordinance. This work shall occur prior to the City signing the Certified Survey Map.
10. The Cross Access Easement shall be shown on the Certified Survey Map. The Temporary Cross Access Easement document shall be revised to remove the word "Temporary". The cross access shall be permanent.
11. Compliance with all the preceding conditions as a prerequisite for authorizing Mayor and City Clerk-Treasurer to sign the Certified Survey Map.

Adopted this ____ day of _____, 2014

ATTEST:

Debra L. Salas, City Clerk-Treasurer

APPROVE:

Keith G. Bosman, Mayor



ENGINEERING DIVISION
 SHELLY BILLINGSLEY, P.E.
 CITY ENGINEER
 PARK DIVISION
 JEFF WARNOCK
 SUPERINTENDENT
 FLEET MAINTENANCE
 MAURO LENCI
 SUPERINTENDENT

STREET DIVISION
 JOHN H. PRIJIC
 SUPERINTENDENT
 WASTE DIVISION
 ROCKY BEDNAR.
 SUPERINTENDENT

DEPARTMENT OF PUBLIC WORKS

MICHAEL M. LEMENS, P.E., DIRECTOR
 SHELLY BILLINGSLEY, P.E., DEPUTY DIRECTOR

MUNICIPAL BUILDING · 625 - 52ND ST · RM 305 · KENOSHA, WI 53140
 TELEPHONE (262) 653-4050 · FAX (262) 653-4056
 EMAIL PUBLICWORKS@KENOSHA.ORG

TO: Brian Wilke, Development Coordinator

FROM: Michael M. Lemens, P.E.
 Director of Public Works

Shelly Billingsley, P.E.
 City Engineer

[Handwritten signatures and dates]
 9-12-14
 9-10-14

DATE: September 8, 2014
SUBJECT: CERTIFIED SURVEY MAP COMMENTS
Project Description: Local 72 Building 2-Lot Certified Survey Map (review #2)
Location: 3609 Washington Road

Our staff has reviewed the plans for this project. The following comments are provided:

Parking Lot Ordinance Compliance	Sufficient	Deficient	Not Applicable
Parking Lot Paved			X
Standard Stall Width			X
Parking Lot Layout			X
Parking Lot Lighting Shown			X
Parking Lot Lighting Adequate			X
Handicapped Parking			X
Driveway Locations		X	
Driveway Width			X
Passing Blister or Accel/Decel Lanes			X
Sidewalks Adequate			X
Drive Thru Lane Design			X

SEP 12 2014

Public Streets	Sufficient	Deficient	Not Applicable
Geometric Design			X
Pavement Width			X
Pavement Thickness Design			X
Established Grades			X
Plan Details			X
Sidewalks		X	
Street Lights			X
Site Grading/Drainage	Sufficient	Deficient	Not Applicable
Drainage Plan			X
Storm Sewer			X
Storm Water Detention			X
Drainage Calculations			X

Project Approval/Permits Needed	Yes	No	Not Applicable
Project Approved for Permitting			X
Withhold Permits: See Comments			X
Approve Footing/ Foundation Only (per condition)			X
Parking Lot Permit Required			X
Driveway Permits Required			X
Sidewalk Permit Required			X
Street Opening Permit Required			X

General Comments:

1. The cross access easement agreement is not signed.
2. The applicant indicated that they intend to petition the Director of Public Works to modify the construction standards of the public walk on the north side of 40th Street to allow for a portion of the existing asphalt pavement to be striped off as a public sidewalk. It should be noted that it is not clear from the submitted documents where the end of the existing asphalt pavement is in relation to the right of way of 40th Street. Pavement to be striped as sidewalk would need to be either within the existing right of way or within an easement dedicated to the City for a sidewalk. Any petition to the Director of Public Works should include a clear map of what the applicant is intending to become public sidewalk and easement documents showing any areas that require an easement.

Engineering Services
4401 Green Bay Road
Kenosha WI 53144

Phone (262) 653-4315
Fax (262) 653-4303



"Providing and Protecting Kenosha's Greatest Natural Resource"

MEMO

To: Brian Wilke, Development Coordinator

From: Ian C. Bagley, P.E., Water Engineer

Date: September 5, 2014

Subject: Local 72 UAW Certified Survey Map Revised Plan (Review #2)

Location: 3615 Washington Road

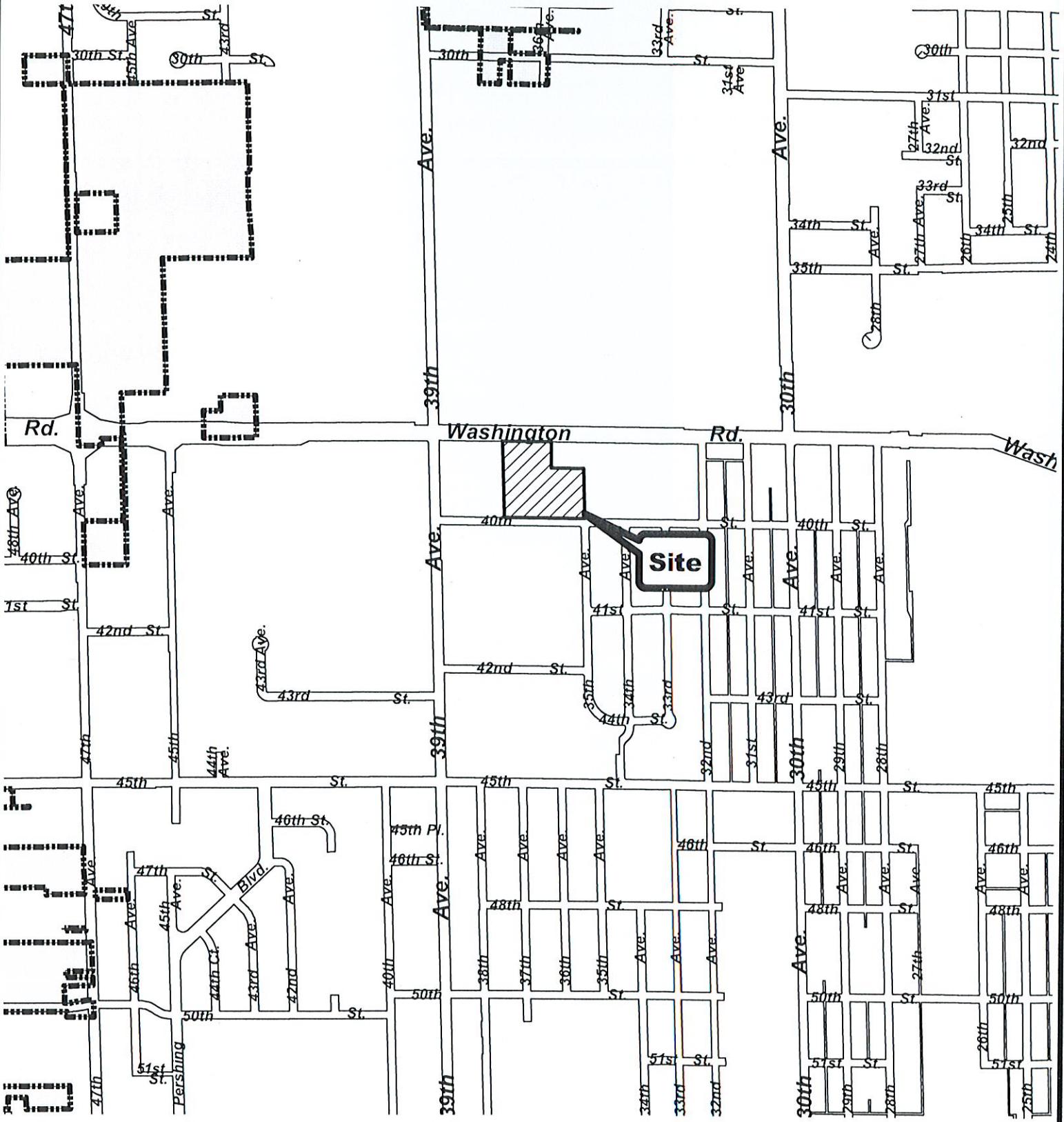
The Kenosha Water Utility (KWU) has reviewed the submittal for the above referenced project. Although there is an easement document included with the resubmittal, it did not include any of the exhibits referenced in the document. KWU will approve the certified survey map subject to review of the exhibit documents and their inclusion in the easement document.

CC: Mr. Robert Carlson, P.E., Director of Engineering Services

City of Kenosha

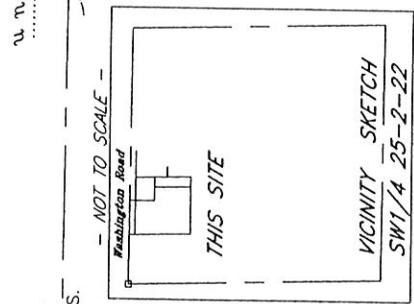
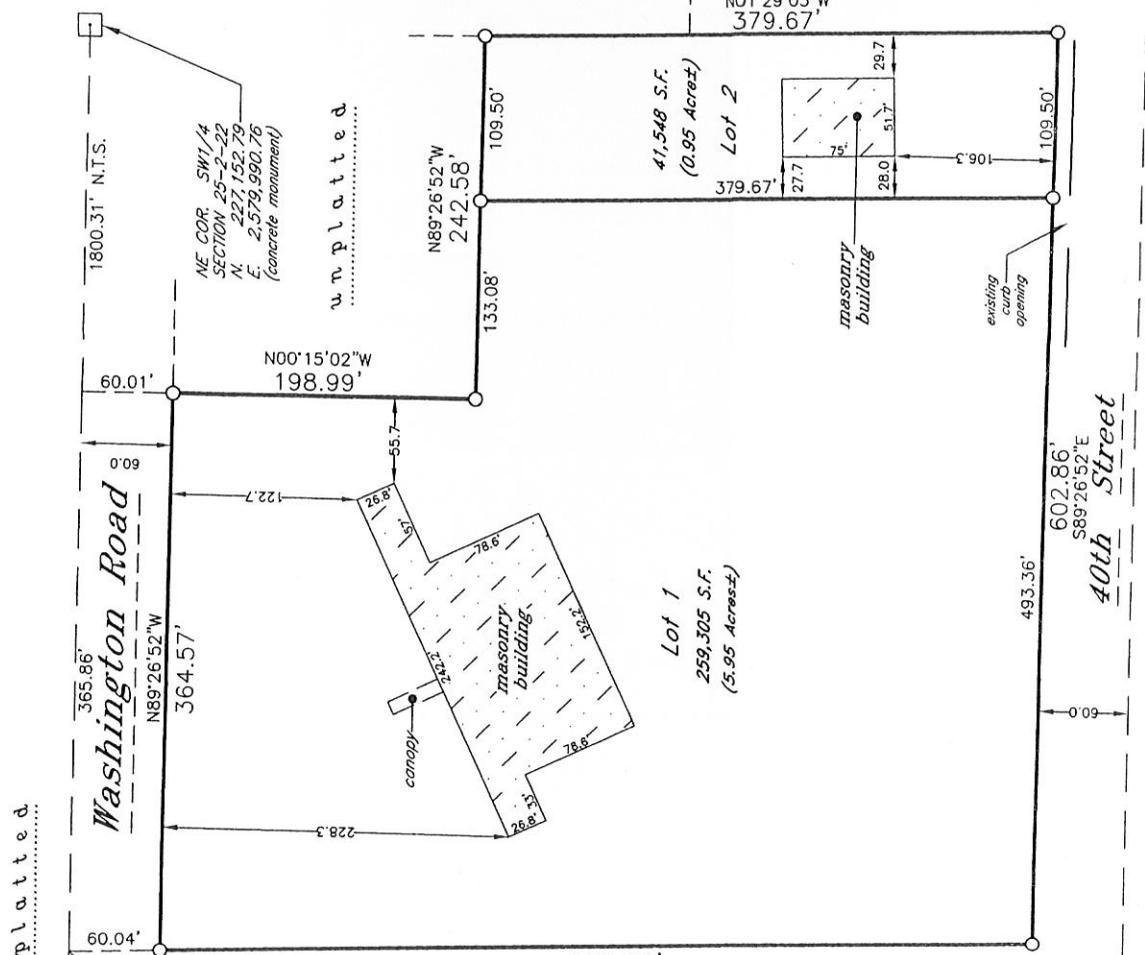
Vicinity Map

UAW Local 72 CSM



----- Municipal Boundary





578.76'
 S01°29'03"E

unplatted

GRAPHIC SCALE
 (IN FEET)
 1 inch = 100 ft.

Bearings refer to grid north, state plane coordinate system south zone.

NOTE: Lots shown hereon are served by public sanitary sewer and public water.

SW COR. SW1/4 SECTION 25-2-22
 N. 227,178.67
 E. 2,577,305.59
 (concrete monument)

denotes 1" x 2' iron pipe
 (weight: 1.13 lbs per foot)

J.K.R. SURVEYING, INC.
 8121 22ND AVENUE KENOSHA, WI 53143

WISCONSIN REGISTERED LAND SURVEYOR
 Dated July 2, 2014
 Revised 8/7/14

CERTIFIED SURVEY MAP

for Owners -
 Local Union 72 UAW Bldg. Corp.
 William Thomas
 3615 Washington Road.
 Kenosha, WI 53144

in SW1/4 Section 25-2-22
 CITY OF KENOSHA
 KENOSHA COUNTY, WIS.

CERTIFIED SURVEY MAP

I, JEFFREY K. RAMPART, SURVEYOR, hereby certify that I have prepared this certified survey map, the exterior boundaries of which are described as:

Part of the Southwest Quarter of Section 25, Town 2 North, Range 22 East of the Fourth Principal Meridian; lying and being in the City of Kenosha, Kenosha County, Wisconsin and being more particularly described as:

Commencing at the northwest corner of said quarter section; thence S89°26'52"E along the north line of said quarter section 519.14 feet; thence S01°29'03"E parallel to the west line of said quarter section 60.04 feet to the point of beginning; thence continue S01°29'03"E parallel to said west line 578.76 feet to the north line of 40th Street; thence S89°26'52"E along said north line and parallel to the north line of said quarter section 602.86 feet; thence N01°29'03"W parallel to the west line of said quarter section 379.67 feet; thence N89°26'52"W parallel to the north line of said quarter section 242.58 feet; thence N00°15'02"W 198.99 feet to the south line of Washington Road; thence N89°26'52"W along said south line and parallel to the north line of said quarter section 364.57 feet to the point of beginning.

That I have complied with the provisions of chapter 236.34 of the State Statutes on certified surveys and the City of Kenosha Land Division and Platting Ordinance.

Dated this 2nd day of July, 2014.
Revised 8/7/14

SURVEYOR.....
JEFFREY K. RAMPART (S-2141)
WISCONSIN REGISTERED LAND SURVEYOR

As owners, we hereby certify that we caused the land described on this plat to be surveyed, divided and mapped as represented on this plat.

OWNER: LOCAL UNION 72 WAW BLDG. CORP.

EXECUTIVE BOARD MEMBER:
MARGARET APPELEGATE PEPLINSKI

EXECUTIVE BOARD MEMBER:
KERRY RAYMOND

SIGNATURE.....
PRINT NAME.....

SIGNATURE.....
PRINT NAME.....

STATE OF WISCONSIN
KENOSHA COUNTY S.S.

Personally came before me this day of, 20___, the above named Margaret Applegate Peplinski & Kerry Raymond, to me known to be the persons who executed the foregoing instrument and acknowledged the same.

My Commission Expires.....
PRINT NAME HERE..... NOTARY PUBLIC

This certified survey map has been submitted to and approved by the Common Council of the City of Kenosha on this day of, 20___.

APPROVED.....
KEITH G. BOSMAN, Mayor
PRINT NAME HERE.....

CERTIFIED SURVEY MAP

- for Owners -

Local Union 72 UAW Bldg. Corp.
William Thomas
3615 Washington Road
Kenosha, WI 53144

I hereby certify that the foregoing is a copy of resolution number _____ adopted by the Common Council of the City of Kenosha.

CITY CLERK/TREASURER.....
DEB SALAS

PRINT NAME HERE.....

RESOLUTION _____

SPONSOR: THE MAYOR

**For The Submission Of A Boating Infrastructure Grant Application
In Support Of The Re-Design And Construction Of A Southport Marina
Breakwater To Mitigate Sediment Accumulation**

WHEREAS, the Boating Infrastructure Grant (BIG) program may be able to provide financial assistance for the planning and redesign for a breakwater at the City's Southport Marina entrance to Lake Michigan; and

WHEREAS, the City of Kenosha will request a BIG grant in the amount of \$125,000.00 which will require the City to provide matching funds in the amount of \$75,000.00; and

WHEREAS, the City of Kenosha has identified sources of matching funds sufficient to complete this planning and design project; and

WHEREAS, the City of Kenosha hereby requests assistance for the purpose of planning and designing of this breakwater to mitigate sedimentation accumulation within the Southport Marina.

NOW, THEREFORE BE IT RESOLVED that the Common Council of the City of Kenosha hereby authorizes the Director of Public Works, to act on behalf of the City of Kenosha to submit an application to the Wisconsin Department of Natural Resources (WDNR) for financial assistance; sign necessary documents; and take necessary action to undertake, direct and complete the approved project.

BE IT FURTHER RESOLVED that the City of Kenosha will comply with state and federal rules for the programs; may perform force account work; will maintain the completed project in an attractive, inviting and safe manner; will keep the facilities open to the general public during reasonable hours consistent with the type of facility; and will obtain approval in writing from the WDNR before any change is made in the use of the project site (if applicable).

Adopted this _____ day of _____, 2014.

ATTEST: _____
Debra Salas, City Clerk/Treasurer

APPROVED: _____
Keith G. Bosman, Mayor

Drafted by:

MATTHEW A. KNIGHT
Deputy City Attorney

RESOLUTION _____

SPONSOR: THE MAYOR

For The Submission Of A Wisconsin Economic Development Corporation Community Development Investment Grant Application In Support Of The Re-Design And Construction Of A Southport Marina Breakwater To Mitigate Sediment Accumulation

WHEREAS, the Community Development Investment (CDI) program may be able to provide financial assistance for the planning and redesign for a breakwater at the City's Southport Marina entrance to Lake Michigan; and

WHEREAS, the City of Kenosha will apply for a CDI grant in the amount of \$125,000.00 which will require the City to provide matching funds in the amount of \$75,000.00; and

WHEREAS, the City of Kenosha has identified sources of matching funds sufficient to complete this planning and design project; and

WHEREAS, the City of Kenosha hereby requests assistance for the purpose of planning and designing of this breakwater to mitigate sedimentation accumulation within the Southport Marina.

NOW, THEREFORE BE IT RESOLVED that the Common Council of the City of Kenosha hereby authorizes the Director of Public Works, to act on behalf of the City of Kenosha to submit an application to the Wisconsin Economic Development Corporation (WEDC) for financial assistance; sign necessary documents; and take necessary action to undertake, direct and complete the approved project.

BE IT FURTHER RESOLVED that the City of Kenosha will comply with state and federal rules for the programs; may perform force account work; will maintain the completed project in an attractive, inviting and safe manner; will keep the facilities open to the general public during reasonable hours consistent with the type of facility; and will obtain approval in writing from the WEDC before any change is made in the use of the project site (if applicable).

Adopted this _____ day of _____, 2014.

ATTEST: _____
Debra Salas, City Clerk/Treasurer

APPROVED: _____
Keith G. Bosman, Mayor

Drafted by:

MATTHEW A. KNIGHT
Deputy City Attorney



ENGINEERING DIVISION
SHELLY BILLINGSLEY, P.E.
CITY ENGINEER

PARK DIVISION
JEFF WARNOCK
SUPERINTENDENT

FLEET MAINTENANCE
SUPERINTENDENT

STREET DIVISION
JOHN H. PRIJIC
SUPERINTENDENT

WASTE DIVISION
ROCKY BEDNAR.
SUPERINTENDENT

DEPARTMENT OF PUBLIC WORKS

MICHAEL M. LEMENS, P.E., DIRECTOR
SHELLY BILLINGSLEY, P.E., DEPUTY DIRECTOR

MUNICIPAL BUILDING · 625 - 52ND ST · RM 305 · KENOSHA, WI 53140
TELEPHONE (262) 653-4050 · FAX (262) 653-4056
EMAIL PUBLICWORKS@KENOSHA.ORG

October 2, 2014

To: Eric J. Haugaard, Chairman,
Public Works Committee

From: Shelly Billingsley, P.E. *Shelly Billingsley*
Deputy Director of Public Works /City Engineer

Subject: Project: 12-1526 Simmons Library Roof Replacement
Location: 711 59th Place

The Department of Public Works, Engineering Division has opened bids for the above referenced project. Engineer's Estimate was \$350,000. Budget amount is \$443,000.

This project consists of

Following is the list of bidders:

Contractor	Bid Amount
Carlson Racine Roofing & Sheet Metal, Inc., Racine, WI	\$279,800

It is recommended that this contract be awarded to Carlson Racine Roofing & Sheet Metal, Inc. (Racine, Wisconsin) for the base bid amount of \$279,800 plus \$27,980 in contingency for unforeseen conditions (if needed), for total award amount of \$307,780. Funding is from CIP Line Item LI-08-001.

SAB/kjb



ENGINEERING DIVISION
SHELLY BILLINGSLEY, P.E.
CITY ENGINEER
CATHY AUSTIN, P.E.
ASSISTANT CITY ENGINEER
KILE KUHLMEY
SOIL EROSION SPECIALIST

STREET DIVISION
JOHN H. PRIJIC
SUPERINTENDENT

DEPARTMENT OF STORMWATER UTILITY

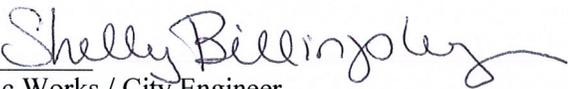
MICHAEL M. LEMENS, P.E., DIRECTOR
SHELLY BILLINGSLEY, P.E., DEPUTY DIRECTOR

MUNICIPAL BUILDING · 625 - 52ND ST · RM 305 · KENOSHA, WI 53140
TELEPHONE (262) 653-4050 · FAX (262) 653-4056
EMAIL SWU@KENOSHA.ORG

October 2, 2014

To: Patrick Juliana, Chairman
Stormwater Utility Committee

Daniel Prozanski Jr., Chairman
Finance Committee

From: Shelly Billingsley, P.E. 
Deputy Director of Public Works / City Engineer

Carol Stancato
Director of Finance

CC: Rhonda Jenkins
District 2

Subject: ***Subaward Agreement between the City of Racine, Wisconsin and the City of Kenosha, Wisconsin Stormwater Utility for Beach Restoration at Simmons Island and Eichelman Parks.***

BACKGROUND INFORMATION

In September 2012, staff made the Park Commission and Stormwater Utility Committee aware that staff has been working with Julie Kinzelman, with the City of Racine, in testing the water quality of our beaches. Julie received a GLRI grant to conduct Beach Sanitary Surveys and is nearing the completion of her studies. However, during her analysis she completed concept plans for some beaches located along the Lake Michigan shoreline throughout the state of Wisconsin. With these concept plans and data she applied for a Fund for Lake Michigan Grant to aid in the construction of the approved designs for Simmon's Island and Eichelman beaches.

Julie received a grant through Fund for Lake Michigan (FLM) grant and is subawarding a total of \$93,000 to the City of Kenosha for the construction along Simmon's Island and Eichelman Beaches. This award will allocate \$35,500 to Simmon's Island which can be used for those beach enhancements already completed and \$57,500 to Eichelman Beach whose award is tentatively scheduled for the October 20th meeting.

Staff is also requesting a CIP Amendment be drafted by Finance to add this additional funding to SW14-002 "Recreational Water Quality Improvements" for this work.

RECOMMENDATION

Approve the Subaward Agreement between the City of Racine, Wisconsin and the City of Kenosha, Wisconsin Stormwater Utility for Beach Restoration at Simmons Island and Eichelman Parks.

SUBAWARD AGREEMENT BETWEEN CITY of RACINE, WISCONSIN AND

THE CITY OF KENOSHA, WISCONSIN

THIS AGREEMENT, entered into this 29 day of August 2014, by and between the City of Racine, Wisconsin, 730 Washington Avenue, Racine, WI (hereinafter the "CITY"), and the City of Kenosha – Stormwater Utility (SWU), Wisconsin (hereinafter the "CONTRACTOR").

1. GENERAL DESCRIPTION OF WORK:

The undertaking described below is a collaborative effort between the City of Kenosha and the City of Racine Health Department Laboratory to conduct beach restoration at Simmons Island and Eichelman Parks as delineated in the proposal "Multijurisdictional Implementation of Beach Redesigns to Improve Water Quality and Restore Habitat" and awarded by the Fund for Lake Michigan at the Greater Milwaukee Foundation as grant agreement #20132258. The City of Kenosha Stormwater Utility (SWU) is a subawardee under this agreement. This subcontract will run from November 15, 2013 through November 1, 2015. The award to the City of Kenosha Stormwater Utility (SWU) will be \$93,000. The CONTRACTOR shall furnish, or cause to be furnished, all services, labor and related equipment necessary to conduct and complete the work as designated elsewhere in this Agreement.

Performance and schedules will be approved by Dr. Julie Kinzelman, of the City of Racine.

The following constitute the Contract documents. If there is a conflict or ambiguity, the Contract shall be governed by these listed documents in descending order of precedence.

- A. This Contract for Services
- B. The Fund for Lake Michigan at the Greater Milwaukee Foundation parent contract and grant proposal for grant agreement #20132258 entered into by the Fund for Lake Michigan and the City of Racine
- C. The final engineering plans generated as a product of USEPA Great Lakes Restoration Initiative project "Implementation of Beach Redesigns to Make Southern Wisconsin Beaches Safer" (Grant # GL-00E1151).

Work may commence in accordance with the terms and conditions of this Contract after the Contractor has executed the Contract, and (a) been notified in writing to commence the Performance of Services, or (b) received from the City an original of the Contract that is complete and fully executed.

2. SCOPE OF WORK

Permissible construction activities are detailed in the attached letter of notification of award dated April 22, 2014. Exhibit "A" and are made part of this Agreement. The Fund for Lake Grant Proposal and parent contract for grant agreement #20132258, Exhibit "B" shall also be made part of this agreement. The final engineering plans generated as a product of USEPA Great Lakes Restoration Initiative project "Implementation of Beach Redesigns to Make Southern

Wisconsin Beaches Safer" (Grant # GL-00E1151), Exhibit "C" shall also be made part of this agreement.

3. GENERAL REQUIREMENTS

The CONTRACTOR shall attend coordination meetings, progress and presentation meetings with the City or such Community, State, City, or County officials, groups or individuals as outlined in the proposal and will participate in telephone conference calls as may be requested by the CITY.

4. TIME FOR BEGINNING AND COMPLETION

The Contractor shall not begin any work under the terms of this Agreement until authorized in writing by the City. Contractor agrees to use best efforts and complete all work described under this Agreement by November 1, 2015.

5. PERFORMANCE

Notwithstanding any references to the contrary in the contract documents, CONTRACTOR agrees that the performance of CONTRACTOR'S work, services and the results therefrom, pursuant to the terms, conditions and agreements of this Contract, shall conform to such recognized high professional standards as are prevalent in this field of endeavor and like services.

CONTRACTOR shall conduct CONTRACTOR'S activities, or cause to be conducted, as required under the terms and conditions of this Contract at such place or places as is necessary so as to enable the CONTRACTOR to fulfill CONTRACTOR's obligations under this Contract.

Contractor may subcontract for the performance of services herein set forth without prior written approval from the City Purchasing Director.

CONTRACTOR agrees to comply with all of the requirements of all federal, state, and local laws.

6. PAYMENT

The CONTRACTOR shall be awarded an amount not to exceed \$93,000 for the construction activities at the sites designated under this Agreement. Such payment shall be full compensation for all work performed or services rendered, and for all labor, materials, supplies, equipment, and incidentals necessary to complete the activities specified in the Scope of Work.

CONTRACTOR shall not receive nor be eligible for any fringe benefits or any other benefits to which CITY salaried employees are entitled to or are receiving. Income tax payments, social security contributions, insurance, and all other governmental reporting and contributions required as a consequence of Construction Contractor receiving payment under this Contract shall be the sole responsibility of Construction Contractor.

The CITY agrees that subsequent to the full and complete performance of this Contract and satisfactory performance of the services in accordance with the "work schedules" set forth herein it will pay the amount or amounts as hereinafter set forth. In the event of a dispute as to the services performed or the compensation to be paid, the decision of the City Purchasing

All reports, studies, analysis, memoranda and related data and material as may be developed during the performance of this Contract shall be submitted to and be the exclusive property of the CITY, which shall have the right to use same for any purpose without any further compensation to the CONTRACTOR other than hereinafter provided. All of the aforesaid documents and materials prepared or assembled by the CONTRACTOR under this Contract are confidential and the CONTRACTOR agrees that it will not, without prior written approval by the CITY, submit or make same available to any individual, agency, public body or organization other than the CITY, except as may be otherwise herein provided. Both parties recognize that this Agreement is subject to the provisions of the State of Wisconsin Public Records Law.

11. TERMINATION

This Agreement may be terminated by either party upon ten (10) days written notice, by registered mail, or mailed to the other party at his/her usual place of business. In the event this contract is terminated by the CONTRACTOR, the CITY will be entitled to reimbursement of costs occasioned by such termination by the CONTRACTOR. In the event this CITY terminates this Agreement, the CITY shall pay the CONTRACTOR for the work performed, an amount equal to the percentage of completion of the work as mutually agreed between the CITY and the CONTRACTOR.

If any work covered by this Agreement shall be suspended or abandoned by the CITY before the CONTRACTOR has completed the assigned work, the CONTRACTOR shall be paid for services performed down to the time of such termination or suspension an amount equal to the cost incurred at the date of termination as mutually agreed upon between the CITY and the CONTRACTOR.

12. DISPUTE RESOLUTION

All disputes between the CITY and the CONTRACTOR not resolved by negotiation between the parties may be arbitrated only by mutual agreement of the CITY and the CONTRACTOR. Any dispute not agreed to by the parties for arbitration shall be litigated in Racine County, WI circuit court. Arbitration of all claims will be in accordance with the Arbitration rules of the American Arbitration Association.

13. VENUE, APPLICABLE LAW AND PERSONAL JURISDICTION

Remain Silent.

14. ATTORNEY'S FEES

Except as otherwise set forth in this contract, attorney's fees which are reasonable and costs, including those on appeal, if appeal is taken, shall be borne by the respective parties.

15. INSURANCE

CONTRACTOR will be responsible for the negligent acts of its employees as set forth in the Wisconsin Tort Claims Act.

16. HOLD HARMLESS

In case any claim, injury, damage, loss or suit, including attorney fees, or action in court or proceeding before an administrative agency is brought against the CITY or any of its officers, agents, or employees for the failure or neglect of the CONTRACTOR in whole or in part to perform any of the covenants, acts, matters or things by this Contract undertaken, or for injury or damage caused by the alleged sole or partial negligence or intentional or reckless act or failure to act of the CONTRACTOR, its officers, agents or employees, CONTRACTOR shall, subject to the Wisconsin Tort Claims Act, indemnify and save harmless the CITY and its officers, agents, and employees from all losses, damages, costs, expenses, judgments, or decrees arising out of such action. The CITY shall tender the defense of any claim or action at law or in equity to CONTRACTOR or CONTRACTOR'S insurer, and upon such tender it shall be the duty of the CONTRACTOR, subject to the Wisconsin Claims Act, to defend such claim or action without cost or expense to the CITY or its officers, agents, or employees. CONTRACTOR shall be solely responsible for the conduct and performance of the services required under the terms and conditions of this Contract and for the results therefrom.

Notwithstanding any references to the contrary in the contract documents, CONTRACTOR assumes full liability for all of its acts in the performance of this contract. Subject to the Wisconsin Tort Claims Act, CONTRACTOR will save and indemnify and keep harmless the City of Racine against all liabilities, judgments, costs, claims, injuries, damages, losses, or suits including attorney fees, and expenses which may be claimed against the CITY in consequence of the granting of this contract to said CONTRACTOR, or which may result from the sole or partial carelessness or neglect or intentional or reckless act or failure to act of said CONTRACTOR, or the agents, employees or workmen of said CONTRACTOR in any respect whatever. If judgment is recovered, whether in suits of law or in equity, against the CITY by reason of the carelessness, negligence, or by acts of commission of CONTRACTOR, such persons, firms or corporations carrying out the provisions of the contract for CONTRACTOR, CONTRACTOR assumes, subject to the Wisconsin Tort Claims Act, full liability for such judgment not only as to the amount of damages, but also all costs, attorneys fees or other expenses resulting therefrom.

17. WARRANTY

The professional services will be furnished in accordance with the care and skill ordinarily used by members of the same profession practicing under similar conditions at the same time and in the same locality. The CONTRACTOR makes not warranties express or implied, under this Agreement or otherwise, in connection with the CONTRACTOR'S services.

18. SUCCESSORS OR ASSIGNS

All of the terms, conditions and provisions hereof shall inure to the benefit of and be binding upon the parties hereto, and their respective successors and assigns; provided, however, that no assignment of the Agreement shall be made without written consent of the parties to the Agreement.

19. EQUAL OPPORTUNITY AGREEMENT

CONTRACTOR

Shelly Billingsley, P.E.
Director of Engineering/City Engineer
City of Kenosha – Public Works

Date

STATE OF WISCONSIN)

:SS.

COUNTY OF KENOSHA)

Personally came before me this _____ day of _____, 2014, **SHELLY BILLINGSLEY, Director of Engineering**, of the **CITY OF KENOSHA, WISCONSIN**, a Wisconsin municipal corporation, to me known to be such Director of Engineering of said municipal corporation, and acknowledged to me that they executed the foregoing instrument as such officers as the Agreement of said corporation, by its authority.

Notary Public, Kenosha County, Wisconsin

My Commission expires/is: _____

Department of Public Health

Dottie-Kay Bowersox, MSA
Public Health Administrator

730 Washington Avenue
Racine, Wisconsin 53403
262-636-9201
262-636-9564 FAX



City of Racine, Wisconsin

Website: www.cityofracine.org/Health.aspx

Email: publichealth@cityofracine.org

Environmental Health Division

262-636-9203

Community Health Division

262-636-9431

Laboratory Division

262-636-9571

April 22, 2014

Shelly Billingsley, P.E.
Deputy Director of Public Works / City Engineer
City of Kenosha - Public Works
625 52nd Street
Kenosha, Wisconsin 53140

Ms. Billingsley:

We are pleased to provide you with this letter of notification of award for construction activities at Simmons Island and Eichelman Beaches under City of Racine Fund for Lake Michigan Grant Agreement #20132258 executed on December 20, 2013.

Grant funds have now been released and receipted by the City of Racine Finance Department. Therefore, we will soon be providing you with a contract for expenditures against our Fund for Lake Michigan grant award in the amounts of \$35,500 for Simmons Island Beach and \$57,500 for Eichelman Beach. We anticipate that this contract will be in place by on or before May 2, 2014.

For your reference, I have attached a copy of the grant summary and award letter indicating the multijurisdictional nature of our project and the inclusion of Simmons Island and Eichelman Beaches. As previously discussed, the monies are to be spent on the implementation of engineered improvements, as developed by Miller Engineers & Scientists, resulting from our Great Lakes Restoration Initiative research project targeted at the identification of pollution sources impacting the coastal recreational waters of Lake Michigan.

Please feel free to contact me should you have any questions.



Julie Kinzelman, PhD, MS, MT (ASCP)
Laboratory Director/Research Scientist
City of Racine, WI
julie.kinzelman@cityofracine.org
262-636-9501

THE FUND FOR LAKE MICHIGAN

Greater Milwaukee Foundation
101 W. Pleasant St., Milwaukee, WI 53212
phone: (414) 272-5805 fax: (414) 272-6235

Grant Agreement

Grant Number: 20132258

The grant to your organization from the Fund for Lake Michigan at the Greater Milwaukee Foundation is for the explicit purpose(s) described below and is subject to your acceptance of the following conditions. To acknowledge this agreement, to accept the grant, and to be eligible to receive the funds when needed, **PLEASE RETURN ONE SIGNED COPY OF THIS GRANT AGREEMENT TO THE FUND FOR LAKE MICHIGAN via email to vicki@fundforlakemichigan.org.**

Grantee City of Racine

Amount of Grant \$300,000 Date Authorized November 11, 2013

Grant purpose Multijurisdictional implementation of beach redesigns to improve water quality and restore habitat

Grant period: begins November 15, 2013 ends November 1, 2015

Payment schedule \$150,000 on November 15, 2013; \$150,000 on October 31, 2014

Special Conditions Sections II and III of this agreement do apply to this project.

Reports should be in writing and submitted according to the following schedule:

- An interim report is due on: September 30, 2014
- A final report is due on: November 1, 2015

For on-the-ground restoration or infrastructure projects, reports should include before and after photos of the project site. Reports should be submitted using the Fund for Lake Michigan's online grant system at <https://www.grantinterface.com/lakemi/Common/LogOn.aspx>. Directions for accessing and using the online system are attached. Please contact Molly Tarrant at molly.tarrant@arabellaadvisors.com or 202-595-1039 should you have any questions or problems submitting your reports.

IV. LIMIT OF COMMITMENT

Unless otherwise stipulated in writing, this grant is made with the understanding that the Fund for Lake Michigan and the Greater Milwaukee Foundation have no obligation to provide other or additional support to the grantee. Any violation of the foregoing conditions will result in cancellation of future payments and refunding to the Foundation of any amounts subject to the violation.

For the Grantee:



Signature of Representative

Robert K. Weber, City Attorney

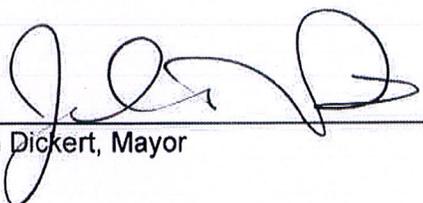
Print Name and Title

12/19/2013

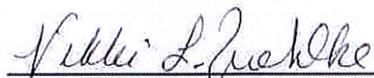
Date

Nov-13

CITY OF RACINE

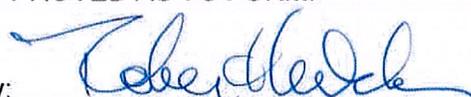
By:  12-19-13
John Dickert, Mayor Date

ATTEST:

By:  12-19-13
~~Janice Johnson-Martin, City Clerk~~ Date
Vikki L Zuehlke, Asst. City Clerk

By:  12/20/13
~~David Brown, Finance Director/Treasurer~~ Date
Kathleen Fischer Asst.

APPROVED AS TO FORM:

By:  12/19/13
Robert K. Weber, City Attorney Date

1. Name of Organization	2. Project Title:
City of Racine – Health Department	Multijurisdictional implementation of beach redesigns to improve water quality and restore habitat
3. Brief Summary of the Project: <i>Please include: 1) the problem the project intends to address, 2) the activities your organization will conduct for this project, and 3) the outcomes you hope to achieve and the expected impact on Lake Michigan water quality. The summary should fit in this box.</i>	
<p>Recreational water quality at Lake Michigan bathing beaches in Southeastern Wisconsin is under duress. All five Lake Michigan beaches in the City of Kenosha and two beaches in Milwaukee County are currently listed on the State of Wisconsin's 303(d) list of impaired waters due to excess risk of pathogen exposure. Further, some shoreline areas in Racine County are no longer designated for swimming due to lack of public access and persistent poor water quality. Water quality impairment threatens public health, lowers quality of life, reduces available recreation days, decreases tourism potential and mars the reputation of this region. Although there are many examples of poor water quality at bathing beaches in Southeastern Wisconsin, projects implemented at Bradford Beach in the City of Milwaukee and at North Beach in the City of Racine have demonstrated that water quality improvements can be achieved through science-based outcomes, e.g. identifying sources of pollution and instituting site specific restoration and best management practices designed to decrease their impact.</p> <p>Beginning in 2010, a 3-year study (GLRI 2010) was conducted by the Racine Health Department laboratory at 19 unmonitored or impaired beaches in Southeastern Wisconsin to determine sources of fecal contamination. Sources of pollution varied by beach; however, some were overarching at all beaches including localized stormwater runoff, nuisance wildlife, contaminated sediments and in some instances excessive <i>Cladophora</i> (algal) blooms. For example, at Simmons Island Park in the City of Kenosha, water quality standards were exceeded twice as often on the south end of the beach when gulls were present compared to when absent. Additional sources contributing to poor Great Lakes water quality include tributaries, stormwater outfalls and areas of eroded shoreline. Once pollution sources have been identified, site specific restoration and best management practices can be instituted for the targeted reduction of fecal indicator bacteria.</p> <p>Project activities are centered on the implementation of engineered improvements and the development of best management practices (BMPs) based on the accumulated sanitary survey data. Site specific beach redesign plans have been crafted based upon these study results. Eichelman and Simmons Island Parks in the City of Kenosha and Samuel Meyers Park in the City of Racine were selected based on the likelihood of a successful outcome, the level of interest displayed by the municipality, and the benefit of the restoration to the community. These beaches are currently 303(d) listed. All design elements are site specific, science-driven and crafted to meet individual community need (i.e. the Simmons Island plan integrates itself into the parks master plan for that location). However, common modifications include naturalizing the shoreline, providing beach nourishment, reducing nuisance wildlife through habitat modifications and managing local storm water runoff with the goals of improving Lake Michigan water quality and restoring coastal habitat. For instance, beach dunes (a natural coastal feature) have the capability of aiding in the infiltration of runoff as well as deterring gulls and other shorebirds from loafing on the beach. While these plans cannot address all sources of bacterial contamination, such as tributary contributions, research indicates significant water quality benefits can be realized by removing localized sources at the beach. Final approvals of beach redesign and construction plans have been secured in Racine and are in the process of being approved in Kenosha (also funded through a Great Lakes Restoration Initiative (GLRI) grant; 2011). These plans have been developed in phases such that portions of the work can be done as funding becomes available, allowing communities to proceed at their own pace while ensuring that the project is completed in its entirety.</p> <p>Partial implementation funding for this project has been secured as a result of a 2012 GLRI grant award. Initial cost estimates to fully implement the restoration plans at each site ranges from \$416,000 - \$680,000 for materials and permits and upwards of \$560,000 to \$1.07 million if an external labor force is required. Therefore, to fully execute redesign plans at all beaches, additional funds are being sought. This project features multiple partners including the Cities of Kenosha and Racine (fiscal agent) and UW-Parkside. This project represents a multi-partner collaboration between local governments and allows for the sharing of expertise and has broad-based support from local communities and academic institutions as well as volunteer organizations such as the Root Pike Watershed Initiative Network, who will actively participate in the recruitment of volunteers to offset labor costs.</p> <p>Outcomes and expected impacts. Beach redesign plans, when paired with BMPs, should improve water quality/reduce swim bans, restore coastal habitat, increase utility and enhance aesthetics. This project represents a large investment however the return on this "blue investment" are even greater: improved near shore Lake Michigan water quality, enhanced public access and recreational opportunities (inclusive of those who are mobility challenged), protection of public health, and shoreline habitat restoration. These actions will lead to improved quality of life in this region and aid in sustainable socio-economic development.</p>	

Multijurisdictional Beach Restoration Project Narrative - 2013

1. History and description of the organization (1-2 paragraphs)

The Racine Health Department (RHD) provides a variety of Level III clinical, laboratory, environmental health and public health education services. As part of the Racine Health Department, the Laboratory has primary responsibility for environmental monitoring and the assessment of a variety of aqueous environments within the City of Racine and SE WI including coastal recreational water, tributaries, and storm water. In order to carry out this task, the lab retains a highly qualified staff that is committed to maintaining the integrity of our water resources. Areas of staff expertise include: geosciences, freshwater sciences, public health, environmental microbiology and molecular microbiology.

Recent initiatives by the RHD Laboratory include developing monitoring programs, identifying pollution sources, and recommending remediation or best management practices at coastal recreational areas and beaches within the City of Racine and across multiple jurisdictions throughout the States of WI and IL via contractual agreements and grant funded activities. We also conduct physical, chemical and microbial assessments on storm water, inland lakes and watersheds in an effort to protect human health through the development of site appropriate restoration activities, including support of watershed restoration planning initiatives. Current watershed monitoring projects include the Root, Pike and Wind Point Watersheds. We work closely with area partners, sharing our monitoring results and encouraging a community approach to preserving and enhancing the quality of the Great Lakes and its associated tributaries. Examples of our partners include: the Cities of Kenosha, S. Milwaukee, Oak Creek and St. Francis; UW-Oshkosh, UW-Parkside; UW-Milwaukee (College of Health Sciences and School of Freshwater Sciences); WDNR; The SE WI and Bay Lake Regional Planning Commissions; the Root-Pike Watershed Initiative Network and the Alliance for the Great Lakes. In addition to engaging local partners, the laboratory also participates in issues surrounding water quality monitoring on a regional and national scale; working with the US EPA to develop the Beach Sanitary Survey Tool for the Great Lakes (which has led to the release of over \$20 million dollars for pollution source identification and remediation through the GLRI RFP process), guidance documents (predictive models and rapid analytical methods) and recommendations regarding ecosystem services indicators for rivers.

2. Project overview

Recreational water quality at Lake Michigan bathing beaches in Southeastern Wisconsin is under duress. All Lake Michigan beaches in the City of Kenosha and two of the beaches in southern Milwaukee County are currently listed on the State of Wisconsin's 303(d) list of impaired waters due to excess risk of pathogen exposure. Furthermore, some shoreline areas in Racine County are no longer designated for swimming due to lack of public access and persistent poor water quality. Water quality impairment threatens public health, lowers quality of life, reduces available recreation days, decreases tourism potential and mars the reputation of this region. A 2010 survey of residents in Kenosha and Racine Counties conducted by Root-Pike Watershed Initiative Network and the University of Wisconsin-Extension found that the majority of people (77%) described beach closures/advisories as a problem in their community. Furthermore, most respondents agreed or strongly agreed that economic stability (72%) and community quality of life (75%) depends upon good water quality (<http://www.rootpikewin.org/images/stories/stormwater/SummaryReport.pdf>).

Unequivocally, ***good water quality is central to sustainable socio-economic development.*** Although there are many examples of poor water quality at bathing beaches in Southeastern Wisconsin, projects implemented at Bradford Beach in the City of Milwaukee and at North Beach in the City of Racine have demonstrated that water quality improvements can be achieved through science-based outcomes, e.g. identifying sources of pollution and instituting site specific restoration and best management practices

designed to decrease their impact. Improved water quality has led to increased usage, small business opportunities and recognition for these communities. For example, USA Today named North Beach one of 51 Great American Beaches in 2012 (<http://travel.usatoday.com/destinations/story/2012-05-27/Just-for-summer-51-great-beaches/55220960/1>). Recognition has not come easily for Racine. Determining site specific mitigation measures was the result of several years of intensive monitoring.

The Great Lakes Restoration Initiative has allowed us to capitalize on our success at North Beach by providing funds for additional assessments at underutilized City of Racine coastal recreational areas as well as several other locations in neighboring communities. A 3-year study began in 2010 at 19 unmonitored or impaired beaches in Southeastern Wisconsin to determine sources of fecal contamination (GLRI FY2010, study duration 2010 – 2012). Sources of pollution varied by beach; however, some were overarching at all beaches including localized stormwater runoff, nuisance wildlife, contaminated sediments and in some instances excessive *Cladophora* (algal) blooms. For example, at Simmons Island Park in the City of Kenosha, water quality standards were exceeded twice as often on the south end of the beach when gulls were present compared to when absent (it has been hypothesized that gulls transfer their feces directly in the water and through sediments as an intermediary, subsequently transferred to nearshore water). Additional sources contributing to poor Great Lakes water quality include tributaries, stormwater outfalls and areas of eroded shoreline. Pollution sources have been identified at Sam Myers, Simmons Island and Eichelman Parks. Site specific restoration and best management practices have been recommended for the targeted reduction of fecal indicator bacteria (FIB) and are ready for implementation. Best management practices include both passive (modifications to the beach environment) and active (regular maintenance such as beach grooming) approaches.

The proposed multijurisdictional beach restoration project is **relevant to the mission of the Fund for Lake Michigan**, i.e. it is **supportive of local efforts** to enhance the health of Lake Michigan and its shoreline for the benefit of human and ecosystem health. This will be accomplished through habitat preservation, restoration, and the reduction of pollutants. These **science-based**, on the ground, beach restoration projects will have direct and quantifiable impacts in improving the quality and utilization of coastal water resources in two of the five largest communities in the State of Wisconsin.

Project activities are centered on the implementation of engineered improvements and the development of best management practices (BMPs) based on the accumulated sanitary survey data. Site specific conceptual beach redesign plans have been crafted based upon these study results at three of the 19 2010 GLRI study locations: Eichelman and Simmons Island Parks in the City of Kenosha and Samuel Meyers Park in the City of Racine. These sites were selected based on the likelihood of a successful outcome, the level of interest displayed by the municipality, and the benefit of the restoration to the community. All these beaches are currently 303(d) listed. All design elements are site specific, science-driven and crafted to meet individual community need (i.e. the Simmons Island plan integrates itself into the parks master plan for that location). However, common modifications include naturalizing the shoreline, providing beach nourishment, reducing nuisance wildlife through habitat modifications and managing local storm water runoff with the **goals of improving Lake Michigan water quality and restoring coastal habitat**. For instance, beach dunes (a natural coastal feature) have the capability of aiding in the infiltration of runoff as well as deterring gulls and other shorebirds from loafing on the beach. The use of tall vegetation and dunes has been successfully employed at other Great Lake beaches to improve water quality and restore habitat, e.g. North Beach in Racine, WI. While these plans cannot address all sources of bacterial contamination, such as tributary contributions, research indicates significant water quality benefits can be realized by removing localized sources at the beach. However, sources from the greater watershed are being prioritized in the context of broader assessments as part of the restoration planning process.

Objectives to meet these goals include:

- Finalizing redesign plans (see pages 6 – 8 of this narrative), using a phased approach and integrating the design elements into any existing municipal plans, such as Parks Master Plans
- Finalizing EEOCC cost estimates for each phase of the restoration
- Working with local communities to secure any necessary WDNR and USACE permits prior to construction, if/when required
- Helping local communities prepare bid documents
- Holding public meetings to relay the redesign plans and implementation timeline
- Generating volunteer support to reduce costs related to invasive species removal, planting of native species and maintenance of rain gardens
- Beginning, or continuing, invasive plant species identification and removal as a first step in the restoration process
- Continuing targeted monitoring as needed to refine/inform scope of select design elements
- Implementing design elements to the full capacity of existing funds and continually seek out additional funds to ensure that the projects progress through to completion
- Developing a site specific best management practices guide for each site receiving restoration dollars to ensure sustainable management of the resource

Outcomes and expected impacts. Beach redesign plans, when paired with BMPs, should improve water quality/reduce swim bans, restore coastal habitat, increase utility and enhance aesthetics. For example, beach modifications will increase habitat for desirable species and decrease the presence of nuisance wildlife. Furthermore, this project will remove invasive species such as *Phragmites australis*, *Lythrum salicaria* (purple loosestrife) and other non-indigenous species where present. Stands of invasive species next to Lake Michigan are troublesome; close proximity to the lake provides a vector for plants to transport seeds and foul other areas along the shoreline. Additionally, lake levels are at an all time low, exposing substantial portions of lakebed which provides ample opportunities for the spread of invasive species. Addressing invasive species is timely, prudent and needed prior to implementing other restoration measures. This project represents a large investment however the return on this “blue investment” are even greater: improved near shore Lake Michigan water quality, enhanced public access and recreational opportunities (inclusive of those who are mobility challenged), protection of public health, and shoreline habitat restoration. These actions will lead to improved quality of life in this region and aid in sustainable socio-economic development.

A project of this scope, while having the potential to reap great benefits, is not without challenges. In order to address these we have engaged community partners through every step of the process, beginning with the initial monitoring that started in 2010. Initial conceptual beach redesign plans have been vetted by the communities and revisions made in order to strike a balance between ecosystem function and the way the spaces are used by the citizens of each community. Where master plans exist, or are being developed, beach redesign elements have been incorporated so that there is one cohesive vision for each coastal recreational site. This process of constant communication between all parties will continue throughout the duration of the project. Plans will be fine tuned, should the need arise, due to permitting requirements, opportunities to leverage additional funds while maintaining the integrity of the concept and where needs of the community might change.

This project features **multiple partners working in collaboration** including the Cities of Kenosha and Racine, the City of Racine Health Department (fiscal agent), the Root-Pike Watershed Initiative Network and the Alliance for the Great Lakes. **Partial implementation funding for this project has been secured as a result of a 2012 GLRI grant award**, a \$500,000 award of which ~\$250,000 is

obligated to direct construction costs at these three sites. These GLRI funds, in addition to covering partial construction funds, provide project oversight and consulting for the implementation of active best management practices needed in order to achieve desired water quality improvements. The Root-Pike Watershed Initiative Network has been contracted to facilitate public meetings and generate volunteer support for restoration activities to reduce project costs. The Alliance for the Great Lakes will mobilize volunteers for habitat assessment, a task it has successfully performed at other coastal recreational locations in SE WI. The Cities of Kenosha and Racine will provide in-kind support through staff time and materials devoted to the restoration process.

Data generated as part of the Fund for Lake Michigan sponsored Root River and Pike River Watershed Assessments will continue to inform water quality results as restoration occurs, as will a stormwater outfall and tributary assessment of the Pike River funded by the WI Coastal Management Program. Data analyzed as a result of these projects will be combined with previous GLRI funded coastal assessments to provide a comprehensive baseline of pre-restoration water quality in the Cities of Racine and Kenosha. Baseline data will provide us with a metric to gauge post-implementation success with respect to improved nearshore surface water quality and acres of habitat restored.

3. Project timeline

- Finalize redesign plans and receive approval from local municipalities: Feb - Sept 2013
- Hold meetings with municipal partners, general public, and volunteers: March – Sept 2013 (initial) and as needed throughout the duration of the project (Sept 13 – Sept 15, ongoing)
- Receive construction cost estimates, segregate design elements into phases, determine in kind support and work with municipalities to define “first steps”: May - Oct 2013
- Begin removal of invasive species (urgent and ongoing): May – Oct 2013
- Continue targeted monitoring to refine/inform scope of select design elements: May - Oct 2013
- Begin permitting process, where needed: Sept - Nov 2013 (initial but ongoing)
- Begin restoration through implementation of design elements, weather permitting: Nov 2013
- Continue implementation of design elements, develop BMP guidance document and conduct post-implementation monitoring: Dec 2013 - Sept 2015

4. Project evaluation

The success of the project will be measured in a variety of ways, some cross cutting at all three sites and other site specific. Examples of metrics used to gauge success include:

- Amount and number of invasive plant species removed
- Acres of coastal habitat restored
- Numbers of loafing gulls reduced
- A reduction in the quantity of storm water runoff to the nearshore waters of Lake Michigan
- Improved recreational water quality
- Enhanced public access
- Incorporation of design elements into larger planning efforts
- Leveraging of additional funds
- Amount of volunteer hours (as a way of estimating public interest and engagement)
- Reduction in beach closures/advisories

5. Outreach

Informing/educating the public about current recreational water quality and the anticipated improvements resulting from the implementation of redesign plans is integral to this project and will be achieved through a series of public meetings alternating between the two communities and lead by

the Root Pike Watershed Initiative Network. City parks are provided as an amenity to the citizens and should be reflective of how they wish to use these public spaces. Although not directly or at least easily measurable, the City of Racine has evidence of increased civic pride in our lakefront and riparian corridor through the many volunteers who participate in various organized activities, including the Make-A-Difference Day and Earth Day. To that end, success of outreach efforts may be measured, in part, by the level of interest generated in project activities. The public is already engaged with the restoration process in Racine. Two educational public meetings have been held at the homes of citizens within the aldermanic district in which Samuel Myers Park is located and 15 volunteers participated in a recent, initial effort to control invasive *Phragmites* species at that same location.

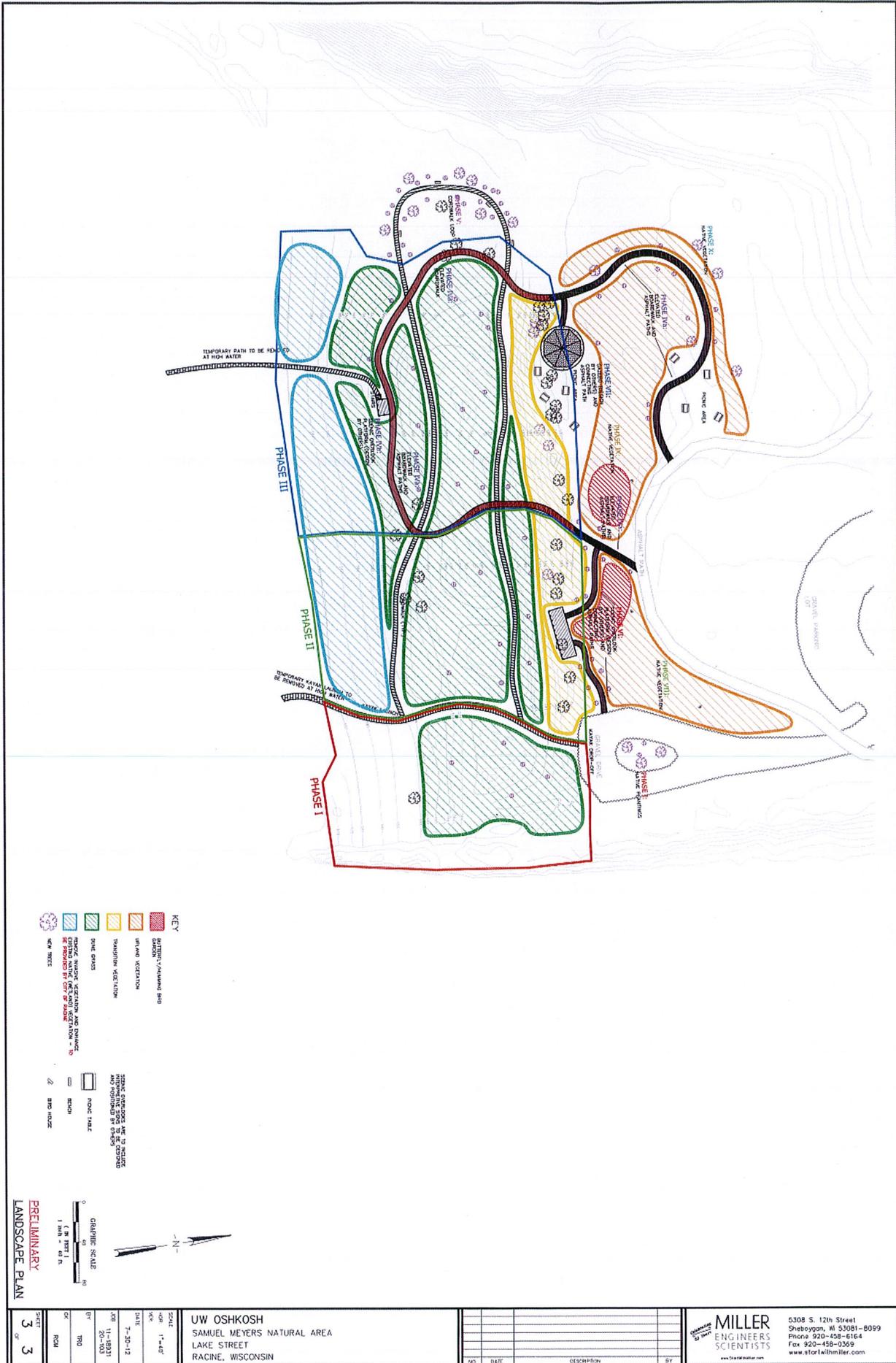
6. Sustainability

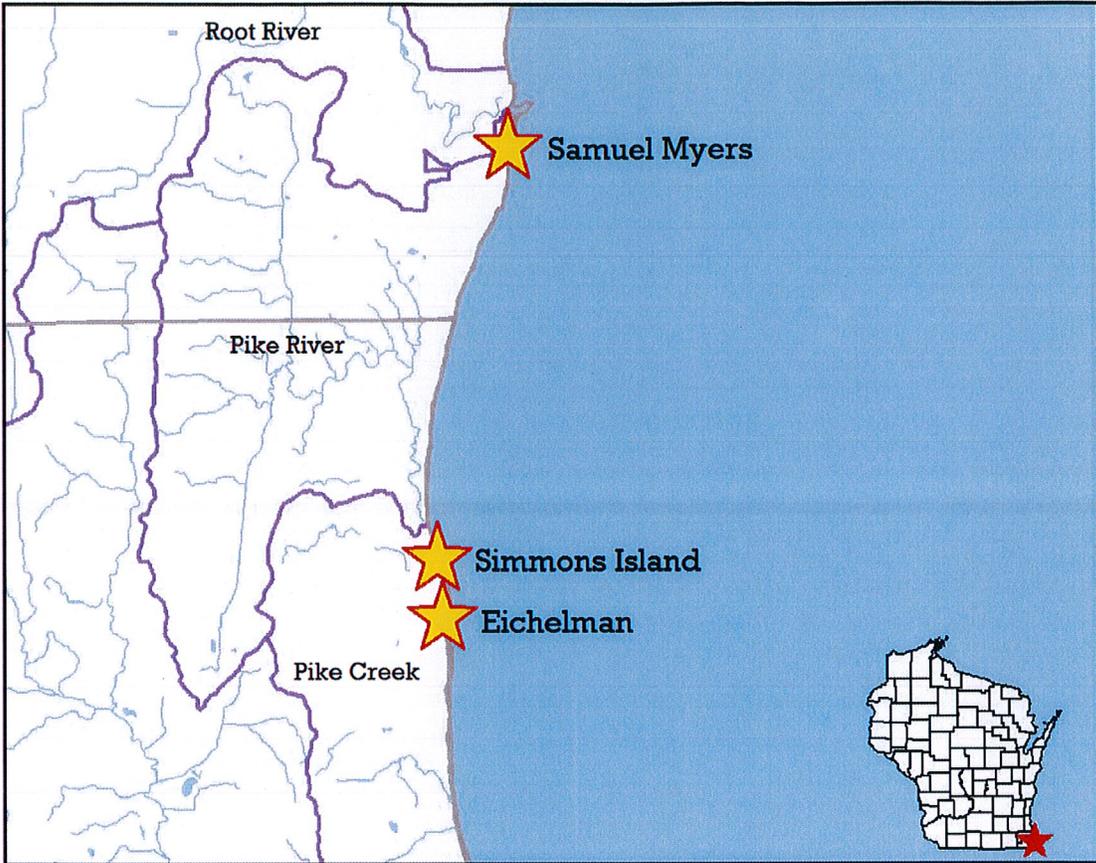
Several options exist for continued implementation after the life of this grant. A grant application has been submitted to the Great Lakes Restoration Initiative for the development of an invasive species management and control plan at these and other Great Lakes beaches. Other potential sources of grant funds and/or assistance include the S.C. Johnson Fund, the WI Coastal Management Program, the Root-Pike Watershed Initiative Network, the Racine Community Foundation, the Ozaukee Washington County Land Trust, and local fraternal organizations or businesses. The Cities of Kenosha and Racine can also include restoration activities in their Capital Improvement Plan budgets. Beach locations possessing storm water infrastructure, implicated as a potential source of pollution, can leverage assessed storm water utility dollars for continued monitoring. State programs, i.e. WI DNR Targeted Runoff Management (TRM) Program, WI DNR Urban NPS (UNPS), and WI DNR Storm Water (SW) have also supported watershed/coastal restorative activities.

7. Capacity to conduct project

Currently, RHD Laboratory personnel monitor 15 coastal areas, 3 watersheds and 2 tributaries in three Wisconsin counties and have received over \$2.4 million in extramural funding in the past seven years. Our facility works directly with state and federal partner agencies to implement monitoring and assessment programs for the Great Lakes and their associated tributaries, predictive models and rapid laboratory-based molecular methods (aka qPCR). In 2012 the City of Racine was the first community in the nation to routinely regulate bathing beaches using qPCR.

Laboratory personnel also have contractual experience, extended all along the western shore of Lake Michigan and into Canada. The Director has authored numerous local, state, national, and international presentations and publications detailing the utility of sanitary surveys at identifying pollutant sources, including the World Health Organization. We have completed molecular-based DNA fingerprinting projects (as a component of microbial source tracking) in conjunction with university partners, utilized source-tracking techniques to rule in/rule out potential pollutant sources, worked with US EPA Region 5 to develop a predictive modeling instructional DVD, implemented beach best management practices and restoration measures at the local level, and have conducted virtually all types of surface water monitoring projects. This facility has been a State-certified laboratory for over 30 years and has extensive knowledge on the needs and limitations of municipalities, especially in the area of surface water quality related issues. All grant and contractual projects have been completed on-time, per the agreement, and within budget.





Samuel Myers=

Latitude	Longitude
42.71789	87.77999

Simmons Island=

Latitude	Longitude
42.59096	87.81293

Eichelman=

Latitude	Longitude
42.57962	87.81342



Fund for Lake Michigan Budget Template		
Grantee Name: City of Racine Health Department		
Project Name: Multijurisdictional implementation of beach redesigns to improve water quality and restore habitat		
Grant Period: September 2013 - September 2015		
Proposed Project Budget	Total Project Budget (2)	Fund for Lake Michigan Share
<i>NOTE: Please add rows for specific line items under each category.</i>		
Salaries and Benefits		
Research Assistant III - Grant Program Coordinator	173,927	45,840
Research Assistant I - Intern	11,348	0
Research Assistant II - Environmental Assessments	42,040	0
Subtotal Salaries and Benefits	227,315	45,840
Materials and Supplies		
<i>Provide a detailed list of any major material purchases.</i>		
Office supplies and postage	150	150
Sampling and analytical supplies	17,000	0
Subtotal Materials and Supplies	17,150	150
Equipment		
<i>Provide a detailed list of any major equipment purchases.</i>		
	0	0
Subtotal Equipment	0	0
Other Direct Expenses		
<i>Provide a detailed list of any other direct expenses.</i>		
Travel and Mileage	10,426	170
Subtotal Other Direct Expenses	10,426	170
Contract Services		
<i>Provide a detailed list of engineering, installation costs or other contracted services.</i>		
Public education and outreach	12,000	0
Drafts/Final beach redesign and bid ready construction plans	120,000	0
Beach redesign element implementation (4 beaches)	603,000	278,000
Subtotal Contract Services	735,000	278,000
Overhead (1)		
19% of salary/fringe (administrative, IS, telephone, and building complex)		8,710
Subtotal Overhead	0	8,710
Total Project/Program Budget (2)	989,891	332,869

(1) Please explain overhead calculation. Overhead is calculated as 19% of salary and fringe and is used to recoup costs associated with administrative support, IS, telephone, occupancy and facility charges	(2) List other sources of funding. Indicate if the funding is in-kind, pending or secured See detail immediately to right
--	--

Add I Sources of Funding

Great Lakes Restoration Initiative FY2010 - \$250,000 (secured, completed)
 Great Lakes Restoration Initiative FY2011 - \$412,699 (secured, ongoing)
 Great Lakes Restoration Initiative FY2012 - \$500,000 (secured, ongoing)
 Wisconsin Coastal Management Program FY2011 - \$29,192 (secured, ongoing)
 City of Kenosha - \$5,808 (secured, ongoing)
 Fund for Lake Michigan (City of Kenosha, Pike River) - \$179,509.59 (secured, ongoing)
 City of Racine Parks & Fire Departments to contribute in-kind labor (secured, ongoing)

**CITY OF KENOSHA
SCHEDULES OF DISBURSEMENTS**

Disbursement Record 17

Approved by Council _____

The Finance Committee reviewed the attached listing of disbursements for the period from 09/01/14 through 09/15/14 and have approved the disbursements as follows:

1. Checks numbered from 141156 through 141468 as shown on attached listing consisting of:

a. Debt Service 10,522,745.60

b. Investments -0-

c. All Other Disbursements 2,980,584.24

SUBTOTAL 13,503,329.84

PLUS:

2. City of Kenosha Payroll Wire Transfers from the same period: 1,257,963.29

TOTAL DISBURSEMENTS APPROVED 14,761,293.13

Daniel Prozanski Jr.

Anthony Kennedy

Dave Paff

Rocco LaMacchia Sr.

Bob Johnson

Curt Wilson

I have examined the vouchers listed on the attached sheets and have not found any unauthorized or improper payments. It must be understood that this statement in no way should be interpreted as a guarantee that errors do not exist. I have initially examined the attached vouchers for proper account classification. However, the account classifications as shown for the attached vouchers are subject to change upon subsequent review by both myself and respective department heads of the City of Kenosha.

Respectfully submitted,

Carol J. Stancato

Director of Finance

October 6, 2014 Pg. 194

FISCAL NOTE
CITY OF KENOSHA
DEPT. OF FINANCE

PREPARED FOR: Finance Committee
ITEM: Disbursement Record #17

ESTIMATED FINANCIAL IMPACT

No additional fiscal note needed.

Date Prepared: 09/25/14

Prepared By: 

Reviewed By: 

START DATE FOR SUMMARY: 9/01 END DATE FOR SUMMARY: 9/15

CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
141156	9/05	BINDELLI BROTHERS, INC	110-09-56501-259-569	08/14 6623 24 AVE	221.89
141157	9/05	NEW FLYER	520-09-50201-347-000 520-09-50201-347-000	08/14-BUS PARTS 08/14-BUS PARTS CHECK TOTAL	252.09 20.25 272.34
141158	9/05	WE ENERGIES	110-03-53109-221-000 110-05-55109-221-000	08/14 STREET LIGHTS 08/14 STREET LIGHTS CHECK TOTAL	62,517.40 299.26 62,816.66
141159	9/05	RNOW, INC.	630-09-50101-393-000 630-09-50101-393-000	08/14-SE PARTS/MATER 08/14-SE#2992 PARTS/ CHECK TOTAL	142.21 101.59 243.80
141160	9/05	VIKING ELECTRIC SUPPLY	110-03-53109-375-000 110-03-53109-375-000 110-03-53109-375-000	08/14 ST ELECTRICAL 08/14 ST ELECTRICAL 08/14 ST ELECTRICAL CHECK TOTAL	267.20 184.74 132.20 584.14
141161	9/05	KENOSHA CO HEALTH DIVISION	110-04-54101-252-000	09/14 HEALTH SERVICE	45,404.08
141162	9/05	COMSYS, INCORPORATED	110-01-51102-215-000 501-09-50101-215-000	9/8-10/7/14 SERVICE 9/8-10/7/14 SERVICE CHECK TOTAL	40,773.03 10,193.26 50,966.29
141163	9/05	BUMPER TO BUMPER	630-09-50101-393-000 520-09-50201-317-000 110-02-52203-344-000 110-02-52203-361-000 520-09-50201-347-000 206-02-52205-344-000 632-09-50101-389-000	07/14 CE PARTS, MATE 07/14 TD PARTS, MATE 07/14 FD PARTS, MATE 07/14 FD PARTS, MATE 07/14 TD PARTS, MATE 07/14 FD PARTS, MATE 07/14 SE PARTS, MATE CHECK TOTAL	1,436.22 349.40 165.53 154.23 39.64 27.17 5.07 2,177.26
141164	9/05	HWY C SERVICE	630-09-50101-393-000 630-09-50101-393-000	07/14-SE SERVICE/PAR 08/14-SE SERVICE/PAR CHECK TOTAL	163.47 34.82 198.29
141165	9/05	ICMA RETIREMENT TRUST	110-00-21572-000-000 110-00-21599-000-000	08/16-31/14 CONTRIBS 08/16-31/14 CONTRIBS CHECK TOTAL	47,684.96 7,624.16 55,309.12

START DATE FOR SUMMARY: 9/01 END DATE FOR SUMMARY: 9/15

CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
141166	9/05	INTERSTATE ELECTRIC SUPPLY	520-09-50201-249-000	08/14-TD ELECTRICAL	124.76
			110-03-53109-375-000	07/14-ST ELECTRICAL	13.60
			630-09-50101-393-000	08/14-SE ELECTRICAL	10.87
			110-03-53103-389-000	08/14-ST ELECTRICAL	6.73
				..... CHECK TOTAL	155.96
141167	9/05	KRANZ, INC.	630-09-50101-393-000	08/14-SE PRODUCTS/MA	1,277.24
141168	9/05	KENOSHA JOINT SERVICES	110-02-52111-251-000	09/14 JOINT SERVICES	222,155.07
			110-02-52202-251-000	09/14 JOINT SERVICES	55,538.77
				..... CHECK TOTAL	277,693.84
141169	9/05	KENOSHA CITY EMPLOYEE'S	110-00-21562-000-000	09/05/14 CITY HRLY	10,194.55
			110-00-21562-000-000	09/05/14 WATER HRLY	3,190.87
				..... CHECK TOTAL	13,385.42
141170	9/05	KENOSHA NEWS	110-01-50101-321-000	08/14 CD-VACATE 40TH	38.42
			110-01-50101-321-000	08/14 CD-REZONE 22ND	31.50
			110-00-21104-000-000	08/14 LICENSE-MOBIL	21.93
			110-01-50101-321-000	08/14 PUBLIC HEARNG	19.09
			110-01-50101-321-000	08/14 2ND READ ORDS	18.41
				..... CHECK TOTAL	129.35
141171	9/05	M A TRUCK PARTS	630-09-50101-393-000	07/14-CE MATERIALS/S	2,478.57
141172	9/05	TRAFFIC & PARKING CONTROL CO	110-03-53109-373-000	OPTO-ISOLATOR	408.00
141173	9/05	WILLKOMM INC., JERRY	630-09-50101-392-000	07/14-SE DIESEL FUEL	23,724.00
141174	9/05	WE ENERGIES	110-02-52203-221-000	#33 07/14-08/12	1,623.69
			110-03-53109-221-000	#33 07/17-08/17	1,382.08
			110-03-53109-221-000	#33 07/16-08/14	846.35
			110-05-55109-221-000	#33 07/13-08/11	665.60
			110-03-53109-221-000	#33 07/14-08/12	656.81
			110-05-55109-221-000	#33 07/17-08/17	387.95
			110-03-53109-221-000	#33 07/17-08/15	369.17
			110-03-53109-221-000	#33 07/10-08/10	356.93
			110-05-55102-221-000	#33 07/15-08/13	325.31
			110-03-53109-221-000	#33 06/19-07/21	236.33
			110-05-55109-221-000	#33 07/16-08/14	224.66
			110-03-53103-221-000	#33 07/13-08/11	157.35
			110-05-55102-221-000	#33 07/16-08/14	152.53
			110-05-55109-221-000	#33 07/15-08/13	148.10
			110-03-53109-221-000	#33 07/13-08/11	117.35
			110-05-55109-221-000	#33 07/14-08/12	95.69
			110-02-52203-222-000	#33 07/13-08/11	81.09
			110-05-55109-221-000	#33 07/11-08/11	71.46
			110-02-52203-222-000	#33 07/14-08/12	50.62
			632-09-50101-221-000	#33 07/17-08/17	39.71

START DATE FOR SUMMARY: 9/01 END DATE FOR SUMMARY: 9/15

CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
			110-03-53109-221-000	#33 07/16-08/17	38.41
			110-03-53109-221-000	#33 07/20-08/18	30.57
			110-05-55109-221-000	#33 07/18-08/18	29.88
			519-09-50106-221-000	#33 07/13-08/11	23.37
			110-05-55109-221-000	#33 07/20-08/18	21.19
			110-05-55109-221-000	#33 07/10-08/10	13.95
			110-01-51802-222-000	#33 912 35TH ST	10.89
			110-05-55109-222-000	#33 07/31-08/11	8.99
			110-00-00503-000-000	#33 07/15-08/13	8.99
			110-05-55109-221-000	#33 06/10-08/10	8.80
				..... CHECK TOTAL	8,183.82
141175	9/05	PAYNE & DOLAN INC.	110-03-53103-354-000	07/14 AGGREGATE MATE	4,445.03
			110-03-53103-355-000	07/14 ASPHALT MATERI	2,254.92
				..... CHECK TOTAL	6,699.95
141176	9/05	REINDERS INC.	524-05-50101-249-000	08/14-GO PARTS/SERVI	29.48
			110-05-55102-249-000	08/14-PA PARTS/SERVI	27.73
				..... CHECK TOTAL	57.21
141177	9/05	BADGER OIL EQUIPMENT CO.	630-09-50101-235-000	08/14 FUEL PUMP REPR	612.15
			630-09-50101-393-000	08/14 FUEL PUMP REPR	549.97
				..... CHECK TOTAL	1,162.12
141178	9/05	BROOKS TRACTOR, INC.	630-09-50101-393-000	08/14 #2592 PARTS	128.86
			630-09-50101-393-000	07/14 PARTS/MATRLS	46.83
				..... CHECK TOTAL	175.69
141179	9/05	CURTIS INDUSTRIES, INC	630-09-50101-393-000	07/14-CE FASTENERS	126.32
141180	9/05	DON'S AUTO PARTS	110-02-52203-341-000	FUEL 4 CYCLE	58.99
141181	9/05	FABCO EQUIPMENT, INC.	630-09-50101-393-000	08/14 #1358 PARTS	82.31
			630-09-50101-393-000	07/14 #1992 PARTS &	54.94
				..... CHECK TOTAL	137.25
141182	9/05	LARK UNIFORM, INC.	110-02-52103-367-000	08/14 #501 UNIFORM I	619.65
141183	9/05	KENOSHA AREA BUSINESS	110-01-51601-264-000	REG JEFF LABAHN	75.00

START DATE FOR SUMMARY: 9/01 END DATE FOR SUMMARY: 9/15

CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
141184	9/05	OFFICEMAX	520-09-50106-311-000	08/14 TD #2929 OFFC	146.17
			110-01-51601-311-000	08/14 CD #2930 OFFC	116.83
			110-02-52103-311-000	08/14 PD #2932 OFFC	110.60
			110-01-51901-311-000	08/14 CT #2931 OFFC	49.70
			110-01-50301-311-000	08/14 LE #2933 OFFC	43.03
			110-02-52103-311-000	08/14 PD #2932 OFFC	40.31
			524-05-50101-311-000	08/14 GO #2934 OFFC	27.88
			110-01-51101-311-000	08/14 FN #2911 RETN	39.52CR
			..... CHECK TOTAL	495.00	
141185	9/05	HOLLAND SUPPLY, INC.	630-09-50101-393-000	08/14-CE HYDRAULIC F	188.18
			630-09-50101-393-000	08/14-CE HYDRAULIC F	97.07
			630-09-50101-393-000	08/14-CE HYDRAULIC F	78.99
			110-03-53116-235-000	08/14-WA HYDRAULIC F	61.16
			110-03-53116-235-000	08/14-WA HYDRAULIC F	34.86
			630-09-50101-393-000	08/14-CE HYDRAULIC F	33.27
			630-09-50101-393-000	08/14-CE HYDRAULIC F	10.15
				..... CHECK TOTAL	503.68
141186	9/05	KENOSHA PROFESSIONAL POLICE	611-09-50102-259-000	WELLNESS SUPPLIES	350.00
141187	9/05	ACCURATE PRINTING CO., INC.	110-03-53103-311-000	08/14 ST-BUS CARDS	45.00
141188	9/05	BRUSKE PRODUCTS	630-09-50101-393-000	07/14 BROOMS/BRUSHES	127.50
141189	9/05	KENOSHA HOUSING AUTHORITY	217-06-51632-259-000	#5725179 7-8/14	18,014.98
			217-06-52602-259-000	#5725176 6 & 7/14	1,302.00
			217-06-51617-259-000	#5725179 7-8/14	938.02
				..... CHECK TOTAL	20,255.00
141190	9/05	US CELLULAR	521-09-50101-226-000	08/14 AR-CELL AIRTM	23.26
141191	9/05	UNITED HOSPITAL SYSTEM	110-02-52102-219-000	RECORDS #14-041192	87.06
			110-02-52102-219-000	RECORDS #14-110774	86.12
			110-02-52102-219-000	RECORDS #14-047172	67.23
			110-02-52102-219-000	RECORDS #14-085895	64.92
			110-02-52102-219-000	RECORDS #14-110774	64.92
				..... CHECK TOTAL	370.25
141192	9/05	BELLE COFFEE SERVICE	524-05-50101-397-000	08/14-GO COFFEE/SUPP	74.00

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
141193	9/05	MESSERLI & KRAMER P.A.	110-00-21581-000-000	09/05/14 DEDUCTION	78.13
141194	9/05	GEIS BUILDING PRODUCTS, INC	205-03-53118-344-000	CABLE 5/32" WIRE	564.00
141195	9/05	5 ALARM FIRE & SAFETY EQUIP.	110-02-52203-235-000 110-02-52203-235-000	08/14 FD PARTS & MAI 08/14 FD PARTS & MAI CHECK TOTAL	751.00 262.00 1,013.00
141196	9/05	CARLINO'S ROOFING	258-06-50517-259-000	#5725975 REHAB	4,700.00
141197	9/05	UNISOURCE WORLDWIDE	630-09-50101-393-000	08/14-CE PAPER PRODU	2,737.67
141198	9/05	CINTAS CORP.	110-01-51801-246-000 110-01-51801-246-000	07/14 COLLECT/SHRED 07/14 COLLECT/SHRED CHECK TOTAL	197.50 52.50 250.00
141199	9/05	HUMANA CLAIMS	611-09-50101-155-527 611-09-50101-155-527 611-09-50101-155-527 611-09-50101-155-527 611-09-50101-155-527 611-09-50101-155-527 611-09-50101-155-527 611-09-50101-155-527 611-09-50101-155-527	08/29/14 MED CLAIMS 09/02/14 MED CLAIMS 08/27/14 MED CLAIMS 08/28/14 MED CLAIMS 09/02/14 PHARMACY 08/27/14 PHARMACY 08/29/14 PHARMACY 08/28/14 PHARMACY CHECK TOTAL	81,592.11 77,749.43 43,178.15 23,197.51 17,768.71 6,446.98 5,276.82 4,541.89 259,751.60
141200	9/05	PIONEER COMMERCIAL CLEANING	110-01-51801-243-000	08/14-MB JANITORIAL	3,735.00
141201	9/05	TOWN & COUNTRY GLASS	110-01-51801-249-000	08/14-VET'S FOUNTAIN	582.00
141202	9/05	US CELLULAR	110-05-55102-226-000 110-05-55109-226-000 520-09-50401-226-000 110-05-55111-226-000 110-01-51601-226-000	08/14 PA-CELL AIRTM 08/14 PA-CELL AIRTM 08/14 TD-CELL AIRTM 08/14 PA-CELL AIRTM 08/14 CD-CELL AIRTM CHECK TOTAL	23.51 14.14 9.25 2.17 1.97 51.04
141203	9/05	CUMMINS NPOWER, LLC	520-09-50201-347-000	08/14 TD PARTS/SERVI	104.30
141204	9/05	HEALTHSTAT	611-09-50101-155-504 611-09-50101-155-504 611-09-50101-155-504 611-09-50101-155-504 611-09-50101-155-504 611-09-50101-155-504 611-09-50101-155-504	07/14 MID LVL PROV 07/14 PROG ADMN FEE 07/14 MED OFFC ASST 07/14 REF LAB FEES 6/25-7/25 MED SUPPL 06/14 BANK FEES 07/14 EMPL CO-PAYS CHECK TOTAL	12,022.69 9,526.80 4,352.90 4,144.70 892.38 30.24 220.00CR 30,749.71

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
141205	9/05	MALSACK, J	110-09-56501-259-570	8/14 5821 156TH ST	855.85
			110-09-56501-259-570	8/14 6344 10TH AVE	297.00
			110-09-56501-259-570	8/14 2510 ROOSEVELT	159.14
			110-09-56501-259-570	8/14 7611 28TH AVE	142.50
			110-09-56501-259-570	8/14 6403 60TH AVE	130.70
			110-09-56501-259-570	8/14 1346 56TH ST	116.64
			110-09-56501-259-570	8/14 4026 30TH AVE	96.66
			110-09-56501-259-570	8/14 1919 61ST ST	83.69
			110-09-56501-259-570	8/14 5224 25TH AVE	61.61
			110-09-56501-259-570	8/14 2023 61ST ST	59.78
			110-09-56501-259-570	8/14 6401 27TH AVE	48.86
			110-09-56501-259-570	8/14 2103 56TH ST	10.81
			110-09-56501-259-570	8/14 6507 31ST AVE	9.31
				..... CHECK TOTAL	2,072.55
141206	9/05	CRIVELLO-CARLSON	110-09-56405-212-000	4/16-8/5/14 W/C	1,924.24
141207	9/05	JENSEN TOWING	110-02-52103-219-000	08/14 14-116831 TOW	45.00
141208	9/05	KENOSHA STARTER & ALTERNATOR	630-09-50101-393-000	08/14-SE PARTS/LABOR	203.25
			630-09-50101-393-000	08/14-SE#2275 PARTS/	109.99
				..... CHECK TOTAL	313.24
141209	9/05	LETTERING MACHINE	110-02-52206-367-000	08/14-FD CLOTHING	390.00
			110-02-52206-367-000	08/14-FD CLOTHING	49.50
				..... CHECK TOTAL	439.50
141210	9/05	KNOX COMPANY	110-03-53103-389-000	KNOX LOCK	99.00
141211	9/05	KENOSHA COUNTY TREASURER	110-00-21810-000-000	SPL LOTTERY 8/30/14	23.44
141212	9/05	JOHNSON BANK	110-00-21532-000-000	09/05/14 CITY HRLY	1,170.00
			110-00-21532-000-000	09/05/14 WATER HRLY	404.62
				..... CHECK TOTAL	1,574.62
141213	9/05	INDUSTRIAL ROOFING SVCS INC	405-11-51301-589-000	ROOF SYSTEM ANALYSIS	8,400.00
141214	9/05	AMERICAN HYDRAULICS	630-09-50101-393-000	08/14 #2470 PARTS/SE	510.00
			630-09-50101-393-000	07/14 #2447 PARTS/SE	60.00
			 CHECK TOTAL	570.00

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
141215	9/05	AMERICAN ASSOCIATION OF	110-01-51601-323-000	4 MEMBERSHIP FEES	150.00
141216	9/05	CHAPTER 13 TRUSTEE	110-00-21581-000-000	09/05/14 DEDUCTION	104.00
			110-00-21581-000-000	09/05/14 DEDUCTION	87.00
			110-00-21581-000-000	09/05/14 DEDUCTION	45.00
				..... CHECK TOTAL	236.00
141217	9/05	STAPLES	110-01-51303-311-000	08/14 HR CONTRACTS	699.60
			110-02-52103-311-000	08/14 PD TONER	130.00
			110-02-52103-311-000	08/14 PD MISC OFFICE	23.80
				..... CHECK TOTAL	853.40
141218	9/05	GLEASON REDI-MIX	403-11-51102-588-000	08/14-CONCRETE MATER	615.00
			403-11-51102-588-000	08/14-CONCRETE MATER	574.00
			403-11-51102-588-000	08/14-CONCRETE MATER	550.00
			403-11-51102-588-000	08/14-CONCRETE MATER	364.00
			403-11-51102-588-000	08/14-CONCRETE MATER	355.00
			403-11-51102-588-000	08/14-CONCRETE MATER	250.00
				..... CHECK TOTAL	2,708.00
141219	9/05	WIS JUVENILE OFFICERS ASSOC	245-09-50101-264-000	WJOA CONF-9/24-26/14	400.00
141220	9/05	LOGISTICS PLUS	205-03-53118-219-000	08/14-TIRE RECYCLING	1,200.00
141221	9/05	CORE INDUSTRIAL LIFT SLINGS	501-09-50105-344-000	LIFTING SLING	648.24
141222	9/05	MENARDS (KENOSHA)	110-02-52203-382-000	08/14-FD#4 MERCHANDI	160.96
			110-05-55102-361-000	08/14-PA MERCHANDISE	39.45
			110-03-53109-389-000	08/14-ST MERCHANDISE	10.00
				..... CHECK TOTAL	210.41
141223	9/05	WIS DEPT OF REVENUE	110-00-21810-000-000	SPL LOTTERY CR CHGS	472.96
141224	9/05	EWALD CHEVROLET/BUICK/GEO	420-11-51401-579-000	2014 FORD F-250	28,087.50
141225	9/05	FORCE SCIENCE CONSULTANTS	245-09-50101-264-000	9/17-19 BRANDIE PIE	980.00
141226	9/05	MILWAUKEE BUSINESS JOURNAL	110-01-51301-264-000	2 REG FEES 9/12/14	120.00
141227	9/05	WISCONSIN HISTORICAL SOCIETY	110-01-51601-264-000	P VANG 10/24-25/14	125.00

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
141228	9/05	WIS DEPT OF NATURAL RESOURCE	403-11-51102-588-000	REVIEW-SWEEP BACKFIL	550.00
141229	9/05	KASDORF, LEWIS & SWIETLIK	520-09-50101-161-000	6/16-8/6/14 W/C	1,816.93
141230	9/05	WIS SCTF	110-00-21581-000-000	09/05/14 HRLY DEDCT	1,799.89
			110-00-21581-000-000	09/05/14 DEDUCTION	59.87
				..... CHECK TOTAL	1,859.76
141231	9/05	CHASE BANK-DTC	304-00-22206-000-000	8/29/14 INT & PRINC	5,933,000.00
			311-00-22206-000-000	8/29/14 INT & PRINC	1,391,712.50
			313-00-22206-000-000	8/29/14 INT & PRINC	1,162,606.25
			308-00-22206-000-000	8/29/14 INT & PRINC	600,000.00
			399-00-22206-000-000	8/29/14 INT & PRINC	543,025.00
			310-00-22206-000-000	8/29/14 INT & PRINC	500,000.00
			316-00-22206-000-000	8/29/14 INT & PRINC	388,351.85
			309-00-22206-000-000	8/29/14 INT & PRINC	4,050.00
				..... CHECK TOTAL	10,522,745.60
141232	9/05	MOTION INDUSTRIES	110-05-55109-344-000	08/14-PA MERCHANDISE	105.19
141233	9/05	ALL KOOL RADIATOR REPAIR	630-09-50101-393-000	08/14 #2838 RADIATR	1,842.50
			630-09-50101-393-000	08/14 RADIATOR REPR	1,135.00
			630-09-50101-393-000	08/14 #2592 RADIATR	625.00
			630-09-50101-393-000	08/14 RADIATOR REPR	255.00
				..... CHECK TOTAL	3,857.50
141234	9/05	ANAYA'S AUTO REPAIR	630-09-50101-393-000	08/14 #3102 REPAIR	130.82
141235	9/05	AUTO GLASS SPECIALISTS, INC.	630-09-50101-393-000	07/14 #3121 GLASS	100.00
			630-09-50101-393-000	07/14 #3119 GLASS	100.00
				..... CHECK TOTAL	200.00
141236	9/05	CINTAS CORP	632-09-50101-259-000	07/14 SE-UNIFORM/GLV	727.40
			520-09-50201-367-000	07/14 TD-UNIFORM/GLV	488.85
			110-02-52203-259-000	07/14 FD-UNIFORM/GLV	262.15
				..... CHECK TOTAL	1,478.40
141237	9/05	LEXIS NEXIS DATA MGMT	110-02-52101-219-000	07/14-PD SEARCHES/LO	58.75
141238	9/05	HAPPENINGS MAGAZINE	222-09-50101-259-000	08/14 P B & J ADS	363.00
			222-09-50101-259-000	08/14 P B & J ADS	363.00
			 CHECK TOTAL	726.00

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
141239	9/05	MILWAUKEE SPRING AND	630-09-50101-393-000	08/14-SE PARTS/LABOR	2,013.36
141240	9/05	ROLAND MACHINERY EXCHANGE	630-09-50101-393-000	07/14-SE#2388 PARTS/	60.22
141241	9/05	HASTINGS AIR ENERGY CONTROL	110-02-52203-246-000 206-02-52205-344-000	07/14-MED 7 REPAIR LOWER COUPLER-MED 2 CHECK TOTAL	758.71 78.75 837.46
141242	9/05	IAFF/NATIONWIDE	110-00-21574-000-000	08/16-31/14 CONTRIBS	21,809.15
141243	9/05	AIRGAS NORTH CENTRAL	110-03-53103-355-000 110-03-53103-355-000	08/14 ST-INDSTL GAS 08/14 ST-INDSTL GAS CHECK TOTAL	23.62 12.59 36.21
141244	9/05	RED THE UNIFORM TAILOR	110-02-52103-367-000 110-02-52103-367-000 110-02-52103-367-000 110-02-52103-367-000 110-02-52103-365-000	08/14 PD-UNIFORMS 08/14 PD-UNIFORMS 08/14 PD-UNIFORMS 07/14 PD-UNIFORMS 08/14 PD-UNIFORMS CHECK TOTAL	389.70 359.78 237.83 69.95 15.00 1,072.26
141245	9/05	UNITED HEALTHCARE INSURANCE	110-00-21534-000-000	09/14 DEDUCTIONS	1,391.54
141246	9/05	TOTAL ENERGY SYSTEMS, LLC	110-02-52103-231-000	RADIO TOWER REPAIR	627.70
141247	9/05	GREAT WEST RETIREMENT SERV.	110-00-21576-000-000 110-00-21539-000-000	08/16-31/14 CONTRIBS 08/16-31/14 CONTRIBS CHECK TOTAL	8,763.33 625.00 9,388.33
141248	9/05	IOD INCORPORATED	110-09-56405-161-000	8/8/14 W/C	8.19
141249	9/05	AURORA HEALTH CARE	110-09-56405-161-000	7/7/14 W/C	254.15
141250	9/05	BOSTANCHE, JOHN DPM	110-09-56405-161-000 110-09-56405-161-000	7/7/14 W/C 7/14/14 W/C CHECK TOTAL	140.00 131.20 271.20
141251	9/05	AURORA ADVANCED HEALTHCARE	110-09-56405-161-000 110-09-56405-161-000 110-09-56405-161-000	8/6/14 W/C 8/4/14 W/C 7/30/14 W/C CHECK TOTAL	176.80 176.80 176.80 530.40

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
141252	9/05	LGIP MUSEUM	110-00-21805-000-000	8/29/14 WIRE TRANS	133,000.00
141253	9/05	OSTHOFF RESORT	110-01-50301-263-000	C GENTHNER 10/8-10	198.00
			110-01-50301-263-000	RICHARDSON 10/8-10	198.00
			110-01-50301-263-000	M KNIGHT 10/9/14	99.00
				..... CHECK TOTAL	495.00
141254	9/05	FIREHOUSE PERFORMANCE	110-02-52103-344-000	08/14 PD #3206 TIRES	364.72
141255	9/05	STATE FIRE ACADEMY	110-02-52206-264-000	CANCEL WALDSCHMIDT	40.00
141256	9/05	TRUAX, BOB	524-05-50101-398-000	USED GOLF BALLS	370.00
141257	9/05	WIS FIRE CHIEF'S EDUCATION	110-02-52201-264-000	THOMSEN 9/24-26/14	200.00
141258	9/05	80TH STREET CENTER, LLC	110-00-21119-000-000	ESCROW 3207 80TH ST	10,000.00
141259	9/05	KENNEDY, JAMES	110-00-21905-000-000	BEACH HOUSE-8/22-23	400.00
141260	9/05	MC GEE, TYRAN	110-00-21905-000-000	ORIBILETTI-8/23/14	300.00
141261	9/05	BROWN, JOY	110-00-21905-000-000	BENCHES-8/22/14	50.00
141262	9/05	HORNING, MICHAEL	110-00-21111-000-000	FINE PYMT T536334	2.20
141263	9/05	BARKULIS, NICOLE	110-00-21905-000-000	BEACH HOUSE-8/24/14	100.00
141264	9/05	HETLET, BRADLEY A.	110-02-52107-263-000	7/28-8/1 MADISON	125.00
141265	9/05	KREWSON, SHARON	110-01-51601-261-000	08/14 450 MILES	252.00
141266	9/05	HAGEN, MATTHEW S.	110-02-52107-263-000	8/19-20 FRANKLIN	16.00
141267	9/05	POLTROCK, JAMES T.	110-02-52201-311-000	DRY ER MARKER/BOARD	55.68
141268	9/05	ALFREDSON, DAVID G.	110-02-52107-263-000	8/20-22 GREEN BAY	24.00
141269	9/05	LARSEN, GEORGE W.	110-02-52103-263-000	08/26/14 WINNEBAGO	12.00
141270	9/05	SWARTZ, MARTHA E.	110-01-51601-261-000	08/14 338 MILES	189.28

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
141271	9/05	DESCHLER, STEVEN H.	110-02-52107-263-000	8/20-22 GREEN BAY	24.00
141272	9/05	STRELOW, MATTHEW E.	110-02-52107-263-000	8/20-22 GREEN BAY	24.00
141273	9/05	WILKE, BRIAN	110-01-51601-261-000	08/14 71 MILES	39.76
141274	9/05	BILLINGSLEY, SHELLY	631-09-50101-311-000 501-09-50101-311-000	PRTCTV TABLET CASES PRTCTV TABLET CASES CHECK TOTAL	212.65 127.59 340.24
141275	9/05	CHIAPPETTA, LOUIS	110-01-51601-261-000	08/14 299 MILES	167.44
141276	9/05	KENESIE, JASON	110-02-52107-263-000	8/19-20 FRANKLIN	16.00
141277	9/05	WALSH, DENNIS	110-02-52103-341-000 110-02-52103-261-000	8/27/14 GREEN BAY 8/27/14 GREEN BAY CHECK TOTAL	20.00 1.10 21.10
141278	9/05	ROHDE, JOHN	110-02-52107-263-000	3 DETS - WNOA CONF	436.00
141279	9/05	SANCHEZ, MARGARITO	110-01-51601-261-000	08/14 272 MILES	154.00
141280	9/05	ARNOLD, WARREN J	110-02-52103-263-000	08/17/14 WINNEBAGO	12.00
141281	9/05	JURGENS, ADAM	110-02-52107-263-000	8/19-20 OAK CREEK	16.00
141282	9/05	NIEBUHR, JUSTIN M	110-02-52107-263-000	8/19-20 OAK CREEK	16.00
141283	9/05	KUKOWSKI, ERIC	110-02-52103-263-000	8/23/14 WINNEBAGO	12.00
141284	9/05	HOFMANN, LUKE R	110-02-52107-263-000	8/19-20 OAK CREEK	16.00
141285	9/05	MOORE, MICHAEL	110-01-51601-261-000	08/14 655 MILES	366.80
141286	9/05	KUFFEL, CHASE	631-09-50101-263-000 631-09-50101-261-000	8/16-20 TORONTO 8/16-20 TORONTO CHECK TOTAL	994.21 75.60 1,069.81
141287	9/05	WEIHER, CAROLYN F	110-02-52103-263-000	8/23/14 WINNEBAGO	12.00

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
141288	9/05	NEWHOUSE, ROBERT	110-01-51601-261-000	08/14 291 MILES	162.96
141289	9/05	BAKER, ELIZABETH	110-00-21581-000-000	TAX LEVY DEDUCTION	363.67
141290	9/05	BAARS, KYLE	110-02-52107-263-000	8/19-20 OAK CREEK	16.00
141291	9/05	PAGOULATOS, KOSTAS	110-01-51601-261-000	08/14 491 MILES	274.96
141292	9/05	CISKOWSKI, ANDREW	110-02-52107-263-000	8/19-20 OAK CREEK	16.00
141293	9/05	THOMEY, DAVID	110-01-51601-261-000	08/14 761 MILES	426.16
141294	9/05	ZENTMYER, JENNIFER	501-09-50103-261-000	08/14 405 MILES	226.80
141295	9/05	GRNO, JOHN	110-01-51601-261-000	08/14 385.5 MILES	215.88
141296	9/05	PARO, DAVID	110-02-52107-263-000	8/19-20 OAK CREEK	16.00
141297	9/05	BRENNAN, CORY	110-02-52107-263-000	08/20/14 OAK CREEK	16.00
141298	9/05	LOEWEN, MATTHEW	110-02-52203-311-000	FD#3-OFFICE SUPPLIES	24.23
141299	9/05	NICHOLS, DUSTY	110-02-52107-263-000	8/26-28 MADISON	75.00
141300	9/10	BINDELLI BROTHERS, INC	110-09-56501-259-569	08/14 6106 23 AVE	72.12
			110-09-56501-259-569	08/14 6630 30 AVE	66.33
				..... CHECK TOTAL	138.45
141301	9/10	RNOW, INC.	630-09-50101-393-000	07/14-SE PARTS/MATER	38.86
			630-09-50101-393-000	08/14-SE#3228 PARTS/	21.35
				..... CHECK TOTAL	60.21
141302	9/10	CHESTER ELECTRONICS SUPPLY	110-02-52103-365-000	08/14 PD PARTS & MAT	17.96
141303	9/10	CARDINAL HEALTH	206-02-52205-318-000	07/14 MEDICAL SUPPL	591.46
			206-02-52205-318-000	06/14 MEDICAL SUPPL	503.56
			206-02-52205-318-000	07/14 MEDICAL SUPPL	359.53
			206-02-52205-318-000	06/14 MEDICAL SUPPL	32.72
			 CHECK TOTAL	1,487.27

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
141304	9/10	UNITED HOSPITAL SYSTEMS INC	110-02-52101-219-000	07/14 LAB 14-103010	99.20
			110-02-52101-219-000	08/14 LAB 14-109228	99.20
			110-02-52101-219-000	08/15 LAB 14-110894	99.20
			110-02-52101-219-000	07/14 LAB 14-096868	49.60
			110-02-52101-219-000	07/14 LAB 14-100822	49.60
				..... CHECK TOTAL	396.80
141305	9/10	WINGFOOT COMMERCIAL TIRE	630-09-50101-393-000	07/14-CE TIRES/SERVI	13,557.95
			110-02-52203-344-000	07/14-FD TIRES/SERVI	389.08
				..... CHECK TOTAL	13,947.03
141306	9/10	KENOSHA COUNTY	110-02-52105-283-000	09/14 MONTHLY RENT	11,566.63
141307	9/10	WILLKOMM INC., JERRY	630-09-50101-391-000	08/14 CE UNLEADED GA	24,969.36
			630-09-50101-392-000	08/14 CE DIESEL FUEL	23,666.40
			520-09-50106-341-000	08/14 TD DIESEL FUEL	23,462.20
			521-09-50101-341-000	08/14 AR DIESEL FUEL	2,720.10
				..... CHECK TOTAL	74,818.06
141308	9/10	WIS DEPT OF REVENUE	110-00-21512-000-000	8/16-31/14 DEDUCTS	107,565.81
141309	9/10	WE ENERGIES	110-05-55111-221-000	#34 07/24-08/22	4,282.95
			633-09-50101-221-000	#34 06/27-07/29	3,405.21
			110-02-52203-221-000	#34 07/28-08/26	1,712.99
			110-03-53109-221-000	#34 07/24-08/24	1,440.67
			632-09-50101-221-000	#34 06/27-07/29	1,200.39
			522-05-50102-221-000	#34 07/21-08/19	1,051.29
			110-05-55109-221-000	#34 07/24-08/21	1,050.40
			110-03-53109-221-000	#34 07/23-08/21	950.01
			110-03-53103-221-000	#34 06/27-07/29	916.31
			110-03-53109-221-000	#34 07/27-08/25	888.66
			110-03-53109-221-000	#34 06/23-08/22	784.12
			110-03-53109-221-000	#34 07/22-08/20	769.80
			110-03-53116-221-000	#34 07/22-08/20	594.41
			110-03-53109-221-000	#34 07/21-08/19	453.54
			110-05-55109-221-000	#34 07/21-08/19	406.16
			520-09-50202-221-000	#34 06/25-08/25	400.91
			110-05-55109-221-000	#34 07/22-08/20	387.55
			110-03-53109-221-000	#34 07/24-08/21	243.14
			110-05-55109-221-000	#34 07/21-08/20	223.12
			110-03-53109-221-000	#34 07/24-08/25	222.16
			110-03-53109-221-000	#34 07/25-08/25	190.92
			110-03-53109-221-000	#34 07/27-08/26	174.77
			110-03-53109-221-000	#34 06/26-07/28	150.78
			110-03-53103-221-000	#34 07/27-08/25	125.55
			110-05-55109-222-000	#34 06/26-07/28	65.89
			519-09-50103-221-000	#34 07/27-08/25	64.92
			110-05-55109-221-000	#34 07/23-08/21	31.52
			110-05-55106-222-000	#34 07/23-08/21	29.21

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
			520-09-50202-222-000	#34 06/25-08/25	28.68
			110-03-53117-221-000	#34 07/22-08/20	26.04
			522-05-50102-222-000	#34 07/21-08/19	12.08
			110-05-55109-222-000	#34 07/27-08/25	11.61
			110-05-55109-221-000	#34 07/27-08/25	9.98
			110-05-55111-222-000	#34 07/23-08/21	8.99
			110-05-55109-222-000	#34 07/21-08/19	8.99
			110-05-55109-221-000	#34 06/19-08/19	26.54CR
				..... CHECK TOTAL	22,297.18
141310	9/10	OAKES & SON, INC., A. W.	403-11-51102-588-000	FINAL-STORM SEWER	7,847.87
			402-11-51213-589-000	FINAL-RESURFACING	7,847.87
				..... CHECK TOTAL	15,695.74
141311	9/10	PAYNE & DOLAN INC.	501-09-50105-354-000	08/14 AGGREGATE MATE	12,606.32
			110-03-53103-355-000	08/14 ASPHALT MATERI	2,187.56
				..... CHECK TOTAL	14,793.88
141312	9/10	REINDERS INC.	524-05-50101-344-000	08/14-GO PARTS/SERVI	30.52
141313	9/10	WISCONSIN FUEL & HEATING	630-09-50101-392-000	08/14-CE DIESEL FUEL	24,624.75
			630-09-50101-393-000	08/14-CE RETURNS	100.00CR
				..... CHECK TOTAL	24,524.75
141314	9/10	CURTIS INDUSTRIES, INC	630-09-50101-393-000	08/14-CE FASTENERS	211.32
141315	9/10	KENOSHA WATER UTILITY	110-00-21913-000-000	08/14 TEMP PERMITS	29,937.24
			110-00-21914-000-000	08/14 BILL COLLECT	18,587.52
				..... CHECK TOTAL	48,524.76
141316	9/10	A & R DOOR SERVICE	110-02-52203-246-000	08/14 FD #5 DOOR REP	225.00
141317	9/10	LARK UNIFORM, INC.	110-02-52103-367-000	08/14-PD#566 UNIFORM	292.80
			110-02-52103-367-000	08/14-PD#576 UNIFORM	198.90
				..... CHECK TOTAL	491.70
141318	9/10	AT&T	110-02-52203-225-000	8/22-9/21 REPEATERS	413.26
141319	9/10	CHASE BANK KENOSHA	761-00-21513-000-000	08/14 KCM DEDUCTS	592.00
			761-09-50101-158-000	08/14 KCM DEDUCTS	353.34
			761-00-21511-000-000	08/14 KCM DEDUCTS	353.34
			761-00-21514-000-000	08/14 KCM DEDUCTS	82.64
			761-09-50101-158-000	08/14 KCM DEDUCTS	82.63
			 CHECK TOTAL	1,463.95

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
141320	9/10	WISCONSIN SCREEN PROCESS, INC	110-02-52203-344-000	DECAL APPLICATIONS	1,299.97
141321	9/10	TDS	110-01-51801-227-000	09/14 PHONE SERVICE	5,306.86
			110-00-15202-000-000	09/14 PHONE SERVICE	2,141.87
			520-09-50301-227-000	09/14 PHONE SERVICE	771.86
			110-03-53103-227-000	09/14 PHONE SERVICE	531.60
			110-00-14401-000-000	09/14 PHONE SERVICE	445.02
			632-09-50101-227-000	09/14 PHONE SERVICE	393.86
			521-09-50101-227-000	09/14 PHONE SERVICE	345.10
			110-05-55109-227-000	09/14 PHONE SERVICE	338.79
			501-09-50101-227-000	09/14 PHONE SERVICE	225.35
			110-03-53116-227-000	09/14 PHONE SERVICE	203.97
			520-09-50401-227-000	09/14 PHONE SERVICE	132.18
			110-02-52108-225-000	09/14 PHONE SERVICE	132.06
			110-02-52110-227-000	09/14 PHONE SERVICE	102.51
			524-05-50101-227-000	09/14 PHONE SERVICE	95.73
			520-09-50202-227-000	09/14 PHONE SERVICE	70.52
			110-02-52203-227-000	09/14 PHONE SERVICE	68.67
			206-02-52205-227-000	09/14 PHONE SERVICE	67.41
			110-02-52108-225-000	09/14 PHONE CALLS	55.38
			110-05-55111-227-000	09/14 PHONE SERVICE	45.78
			110-02-52110-225-000	09/14 PHONE CALLS	42.90
			110-01-51801-225-000	09/14 PHONE CALLS	22.47
			524-05-50101-225-000	09/14 PHONE CALLS	8.51
			520-09-50301-225-000	09/14 PHONE CALLS	7.04
			110-03-53103-225-000	09/14 PHONE CALLS	1.59
			632-09-50101-225-000	09/14 PHONE CALLS	.61
			501-09-50101-225-000	09/14 PHONE CALLS	.59
			110-03-53116-225-000	09/14 PHONE SERVICE	.50
			110-05-55111-225-000	09/14 PHONE CALLS	.35
			110-05-55109-225-000	09/14 PHONE CALLS	.35
				..... CHECK TOTAL	11,559.43
141322	9/10	OFFICEMAX	110-01-51101-311-000	08/14-FN#2935 OFFICE	118.01
			110-01-50101-311-000	08/14-CT#2940 OFFICE	100.00
			110-02-52103-311-000	08/14-PD#2937 OFFICE	51.25
			110-02-52201-311-000	08/14-FD#2938 OFFICE	44.80
			524-05-50101-398-000	08/14-GO#2943 OFFICE	37.20
			110-01-51102-311-000	CHAIR MAT	34.99
			631-09-50101-311-000	08/14-EN#2939 OFFICE	34.81
			110-01-51101-311-000	08/14-FN#2941 OFFICE	33.92
			110-01-51101-311-000	08/14-FN#2936 OFFICE	27.48
			110-01-51101-311-000	08/14-FN#2941 RETURN	14.46CR
			 CHECK TOTAL	468.00

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
141323	9/10	CHEMSEARCH FE	110-03-53103-353-000	GRASS/WEED KILLER	930.91
141324	9/10	PAT'S SERVICES, INC.	205-03-53119-282-000	7/15-8/14 PORTABLE T	84.00
141325	9/10	WIS DEPT OF REVENUE	110-00-21581-000-000	08/1-31/14 DEDUCTS	431.45
141326	9/10	MEDIA DISTRIBUTORS	761-09-50101-384-000	MINI DV TAPES	120.41
141327	9/10	CONCRETE SPECIALTIES CO.	403-11-51102-588-000	08/14 ST STRUCTURES/	225.00
141328	9/10	AECOM TECHNICAL SERVICES INC	420-11-51210-589-846 497-11-50101-219-000 497-11-50102-219-846 420-11-51310-589-000 420-11-51010-589-000	5/31-7/4 SW INVEST 5/31-7/4 SW INVEST 5/31-7/4 SW INVEST 5/8-8/1 BRSTS RESP 4/5-8/1 BRSTS RESP CHECK TOTAL	3,630.41 2,091.09 1,023.96 975.56 106.68 7,827.70
141329	9/10	DOOLEY & ASSOCIATES	110-02-52103-219-000	KPD WEBSITE UPDATE	3,225.00
141330	9/10	CICCHINI ASPHALT LLC	402-11-51311-589-000 403-11-51315-588-000	FINAL-RESURFACING FINAL-60TH ST-STRM S CHECK TOTAL	3,000.01 2,999.99 6,000.00
141331	9/10	LAKESIDE INTERNATIONAL TRUCK	630-09-50101-393-000 206-02-52205-344-000 501-09-50104-344-000	07/14 CE PARTS/MATER 07/14 FD PARTS/MATER REPAIRS-FLEET 3220 CHECK TOTAL	7,424.68 2,453.31 639.38 10,517.37
141332	9/10	HUMANA CLAIMS	611-09-50101-155-527 611-09-50101-155-527 611-09-50101-155-527 611-09-50101-155-527 611-09-50101-155-527 611-09-50101-155-527 611-09-50101-155-527 611-09-50101-155-527 611-09-50101-155-527 611-09-50101-155-527 611-09-50101-155-527	09/09/14 MED CLAIMS 09/05/14 MED CLAIMS 09/05/14 PHARMACY 09/08/14 PHARMACY 09/08/14 MED CLAIMS 09/04/14 PHARMACY 09/09/14 PHARMACY 09/03/14 PHARMACY 09/03/14 MED CLAIMS 09/04/14 MED CLAIMS CHECK TOTAL	139,271.37 73,877.40 57,099.90 19,566.05 17,721.21 11,486.10 1,997.88 1,587.29 1,257.71 666.36 324,531.27

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
141333	9/10	US CELLULAR	206-02-52205-226-000	08/14 FD-CELL SERVC	78.24
			206-02-52205-226-000	08/14 FD-CELL AIRTM	25.58
				..... CHECK TOTAL	103.82
141334	9/10	WASTE MANAGEMENT OF WI	110-03-53117-253-417	08/14 COMPACTOR RNT	718.41
141335	9/10	WASTE MGMT OF MILWAUKEE	110-05-55108-282-000	08/14 PIKE RIVER	1,600.00
			110-05-55108-282-000	08/14 SOUTHPORT	154.00
			403-11-51102-588-000	07/14 DISPOSAL SPOIL	50.00
				..... CHECK TOTAL	1,804.00
141336	9/10	LETTERING MACHINE	110-02-52103-367-000	RAINWEAR	88.00
			110-02-52103-367-000	RAINWEAR	46.00
			110-02-52103-367-000	POLICE CHAPLAIN	30.00
			110-02-52103-367-000	PATCH SEWN ON	15.00
				..... CHECK TOTAL	179.00
141337	9/10	DWD	110-09-56405-162-000	FY15 WC ASSESSMENT	32,500.00
141338	9/10	INSTY-PRINTS	110-03-53103-311-000	08/14-ST CRACK FILL	100.01
141339	9/10	WIS DEPT OF REVENUE	761-00-21512-000-000	08/14-KCM DEDUCTS	253.20
141340	9/10	MARTIN PETERSEN COMPANY, INC.	520-09-50201-246-000	3 OF 4 P.M. PROGRAM	1,404.00
			520-09-50401-246-000	3 OF 4 PM PROGRAM	292.00
				..... CHECK TOTAL	1,696.00
141341	9/10	SLEEP INN & SUITES	110-02-52107-263-000	3 OFFICERS 8/26-28	630.00
141342	9/10	ULINE	110-05-55109-344-000	TRASH CAN BANDS	276.00
			110-05-55109-382-000	SCREEN	140.00
			110-05-55109-382-000	HAND SOAP	70.00
				..... CHECK TOTAL	486.00
141343	9/10	WASTE MANAGEMENT	633-09-50101-253-000	09/14-LI WEEKLY PICK	98.14
			110-01-51801-246-000	09/14-MB PULL CHARGE	58.87
				..... CHECK TOTAL	157.01
141344	9/10	CENTURY FENCE COMPANY	402-11-51408-589-000	EST 1 THRU 8/20/14	51,076.00

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
141345	9/10	MENARDS (KENOSHA)	110-01-51801-246-000	08/14-MB MERCHANDISE	152.50
			110-02-52203-382-000	08/14-FD#5 MERCHANDI	98.04
			524-05-50101-344-000	08/14-GO MERCHANDISE	36.77
				..... CHECK TOTAL	287.31
141346	9/10	CHUBB & SON	761-09-50101-219-000	09/14-9/15 INSURANCE	7,028.00
141347	9/10	CLUB AT STRAWBERRY CREEK	206-02-52205-219-000	CNF ROOM 11/4,11,18	250.00
141348	9/10	HALLMAN LINDSAY	110-05-55109-244-000	08/14-PA PAINT/PRODU	53.52
141349	9/10	MOTION INDUSTRIES	630-09-50101-393-000	08/14 CE MERCHANDISE	105.19
			630-09-50101-393-000	08/14 CE MERCHANDISE	61.87
				..... CHECK TOTAL	167.06
141350	9/10	ADVANCED CORRISON CONTROL	630-09-50101-235-000	TESTING	190.00
141351	9/10	GATEWAY TECH COLLEGE	245-09-50101-264-000	6 REG FEES-TRAINING	3,900.00
141352	9/10	RIMKUS, JASON	761-09-50101-155-000	7-8/14 WPS HEALTH	1,102.44
141353	9/10	FLANNERY FIRE PROTECTION INC	501-09-50105-246-000	07/14 INSPECTION	76.02
			110-03-53103-246-000	07/14 INSPECT/MAINT	76.02
				..... CHECK TOTAL	152.04
141354	9/10	AIRGAS NORTH CENTRAL	632-09-50101-389-000	07/14 SE INDUSTRIAL	229.60
			206-02-52205-389-000	07/14 FD #4 OXYGEN C	81.80
			206-02-52205-389-000	07/14 FD #5 OXYGEN C	37.60
			206-02-52205-389-000	07/14 FD #3 OXYGEN C	37.60
			206-02-52205-344-000	07/14 FD #4 OXYGEN C	37.20
			206-02-52205-389-000	07/14 FD #7 OXYGEN C	33.60
			206-02-52205-344-000	07/14 FD #7 OXYGEN C	18.60
				..... CHECK TOTAL	476.00
141355	9/10	O'CONNELL, BERNADETTE	206-02-52205-219-000	ADMN/REV EMS EXAMS	675.00
141356	9/10	NEW CINGULAR WIRELESS LLC	521-00-26104-000-000	1-6/14 STORM WTR OVR	33.93
141357	9/10	LE BLANC, HENRY	110-00-46394-000-000	APPLIANCE STICKER	15.00

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
141358	9/10	LACKLAND, QUOVADIS R	110-00-44708-000-000	TAXI DRIVER LICENSE	5.00
141359	9/10	FARCHIONE, DESIREE	110-02-52107-263-000	7/28-8/1 MADISON	125.00
141360	9/10	MIKOLAS, KEVIN	110-01-51601-261-000	08/14 632 MILES	353.92
141361	9/10	WASHINGTON, AL	110-01-50901-261-000	07-08/14 313 MILES	175.28
141362	9/10	SCHRANDT, JONATHAN	110-02-52107-263-000	8/26-28 MADISON	75.00
141363	9/10	ALLES, RYAN W	110-02-52103-263-000	8/27/14 WINNEBAGO	12.00
141364	9/10	BAKER, ELIZABETH	110-01-50901-261-000	08/14 109 MILES	61.04
141365	9/10	CLAYTON, TREVOR	110-02-52103-263-000	8/27/14 WINNEBAGO	12.00
141366	9/10	KUKOWSKI, ASHLEY	110-02-52103-263-000	8/23/14 WINNEBAGO	12.00
141367	9/12	CARDINAL HEALTH	206-02-52205-318-000	08/14 MEDICAL SUPPLI	2,042.21
			206-02-52205-318-000	08/14 MEDICAL SUPPLI	998.76
			206-02-52205-318-000	08/14 MEDICAL SUPPLI	964.27
			206-02-52205-318-000	08/14 MEDICAL SUPPLI	605.74
			206-02-52205-318-000	07/14 MEDICAL SUPPLI	561.95
			206-02-52205-318-000	08/14 MEDICAL SUPPLI	554.07
			206-02-52205-318-000	08/14 MEDICAL SUPPLI	440.78
			206-02-52205-318-000	08/14 MEDICAL SUPPLI	421.67
			206-02-52205-318-000	08/14 MEDICAL SUPPLI	282.88
			206-02-52205-318-000	08/14 MEDICAL SUPPLI	278.92
			206-02-52205-318-000	07/14 MEDICAL SUPPLI	246.63
			206-02-52205-318-000	07/14 MEDICAL SUPPLI	164.60
			206-02-52205-318-000	08/14 MEDICAL SUPPLI	112.16
			206-02-52205-318-000	08/14 MEDICAL SUPPLI	108.30
			206-02-52205-318-000	08/14 MEDICAL SUPPLI	68.41
			206-02-52205-318-000	07/14 MEDICAL SUPPLI	39.49
			206-02-52205-318-000	08/14 MEDICAL SUPPLI	16.37
				..... CHECK TOTAL	7,907.21
141368	9/12	LAKESIDE STEEL & MFG, CO.	630-09-50101-393-000	08/14-CE#2593 PARTS	217.36
141369	9/12	KENOSHA CITY EMPLOYEE'S	110-00-21562-000-000	09/12/15 CITY HRLY	10,729.55
			110-00-21562-000-000	09/12/14 WATER HRLY	3,190.87
				..... CHECK TOTAL	13,920.42
141370	9/12	KENOSHA CITY EMPLOYEE'S	110-00-21562-000-000	09/15/14 CITY SAL	38,812.70
			110-00-21562-000-000	09/15/14 WATER SAL	6,544.00
			110-00-21562-000-000	09/15/14 LIBRARY SAL	4,473.50
			 CHECK TOTAL	49,830.20

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141371	9/12	KENOSHA CO HUMANE SOCIETY	110-04-54102-254-000	09/14 ANIMAL CONTRL	12,066.84
141372	9/12	UNITED WAY OF KENOSHA COUNTY	110-00-21541-000-000 110-00-21541-000-000 110-00-21541-000-000	09/15/14 CITY SAL 09/15/14 LIBRARY SAL 09/15/14 WATER SAL CHECK TOTAL	810.70 216.00 163.92 1,190.62
141373	9/12	UNITED HOSPITAL SYSTEMS INC	110-09-56405-161-000 110-09-56405-161-000 110-09-56405-161-000	7/24/14 W/C 7/10/14 W/C 5/13/14 W/C CHECK TOTAL	1,741.78 754.43 146.43 2,642.64
141374	9/12	KENOSHA POLICE & FIREMEN'S	110-00-21563-000-000 110-00-21563-000-000	09/15/14 CITY SAL 09/15/14 WATER SAL CHECK TOTAL	84,352.00 40.00 84,392.00
141375	9/12	M A TRUCK PARTS	630-09-50101-393-000 520-09-50201-347-000	08/14-CE MATERIALS/S 08/14-TD MATERIALS & CHECK TOTAL	2,050.56 20.42 2,070.98
141376	9/12	MINNESOTA LIFE INSURANCE	110-00-21533-000-000 110-09-56304-156-000 110-00-15601-000-000 110-00-15201-000-000 520-09-50101-156-000 110-00-15202-000-000 631-09-50101-156-000 110-00-14401-000-000 520-09-50105-156-000 632-09-50101-156-000 521-09-50101-156-000 520-09-50201-156-000 520-09-50401-156-000 520-09-50403-156-000 630-09-50101-156-000 501-09-50101-156-000 520-09-50301-156-000 501-09-50103-156-000	10/14 PREMIUM 10/14 PREMIUM CHECK TOTAL	12,242.97 6,158.95 1,516.76 848.47 413.69 328.97 182.52 110.17 101.65 80.02 79.02 40.44 27.64 26.67 26.30 24.84 17.43 5.89 22,232.40

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
141377	9/12	SHOPKO STORES	110-02-52203-382-000	08/14-FD#3 MERCHANDI	21.97
141378	9/12	KENOSHA COUNTY INTERFAITH	237-06-50611-259-000	#5728886 SUBGR AGMT	2,105.77
141379	9/12	WE ENERGIES	110-01-51801-221-000	#35 07/30-08/28	7,380.53
			520-09-50301-221-000	#35 07/31-08/29	4,040.36
			520-09-50401-221-000	#35 07/29-08/27	2,553.06
			110-05-55111-221-000	#35 07/30-08/28	2,000.23
			521-09-50101-221-000	#35 07/31-09/01	1,893.95
			110-02-52203-221-000	#35 07/28-08/26	1,543.51
			521-09-50101-221-000	#35 07/31-08/29	1,524.41
			110-05-55109-221-000	#35 07/29-08/27	1,498.69
			110-03-53103-221-000	#35 07/29-08/27	1,175.56
			110-02-52203-221-000	#35 07/31-09/01	1,155.39
			110-03-53109-221-000	#35 07/29-08/27	949.15
			110-03-53109-221-000	#35 07/30-08/28	875.65
			110-01-51802-221-000	#35 912 35TH ST	723.86
			110-03-53109-221-000	#35 08/03-09/02	578.56
			110-03-53109-221-000	#35 07/31-09/01	495.83
			110-03-53109-221-000	#35 07/29-08/26	249.59
			110-05-55111-221-000	#35 07/29-08/27	242.82
			110-03-53109-221-000	#35 07/07-08/05	219.35
			110-01-51801-222-000	#35 07/29-08/27	217.96
			110-03-53103-221-000	#35 07/28-08/26	126.65
			110-02-52110-221-000	#35 07/29-08/27	123.87
			110-03-53103-222-000	#35 06/26-08/26	90.58
			521-09-50101-222-000	#35 07/31-09/01	87.12
			110-03-53116-222-000	#35 07/29-08/27	80.32
			110-03-53103-222-000	#35 07/28-08/26	66.94
			110-05-55109-221-000	#35 07/15-08/13	66.79
			110-02-52203-222-000	#35 07/27-08/26	66.13
			110-02-52203-222-000	#35 07/31-09/01	64.83
			110-05-55109-221-000	#35 08/03-09/02	55.01
			110-05-55109-222-000	#35 07/28-08/26	53.62
			110-02-52203-222-000	#35 07/29-08/27	50.77
			633-09-50101-222-000	#35 07/25-08/26	44.75
			520-09-50301-222-000	#35 07/30-08/28	35.64
			110-02-52203-222-000	#35 07/28-08/26	34.83
			632-09-50101-222-000	#35 07/28-08/26	25.04
			520-09-50401-222-000	#35 07/27-08/25	24.65
			110-05-55109-221-000	#35 07/30-08/28	21.71
			521-09-50101-221-000	#35 06/02-09/01	21.24
			110-01-51802-221-000	#35 2210 52ND ST	19.31
			110-05-55111-222-000	#35 07/29-08/27	17.98
			110-02-52110-222-000	#35 07/29-08/27	12.69
			110-02-52103-222-000	#35 08/03-09/02	9.67
			110-05-55109-222-000	#35 07/30-08/28	8.99
			110-05-55102-221-000	#35 07/30-08/28	8.85
			 CHECK TOTAL	30,536.44

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
141380	9/12	WE ENERGIES	217-06-51603-259-000	#5728930 UTILITIES	97.47
			217-06-51602-259-000	#5728929 UTILITIES	69.36
			217-06-51614-259-000	#5726844 UTILITIES	36.92
			758-09-51607-259-000	8/3-9/2/14 UTILS	23.73
			217-06-51613-259-000	#5728925 UTILITIES	23.16
			758-09-51608-259-000	7/29-8/27/14 UTILS	19.11
				..... CHECK TOTAL	269.75
141381	9/12	STATE OF WISCONSIN	110-00-21901-999-000	08/14 COURT COSTS	14,691.07
			110-00-21911-999-000	08/14 COURT COSTS	9,386.89
			110-00-45104-999-000	08/14 COURT COSTS	2,935.00
				..... CHECK TOTAL	27,012.96
141382	9/12	AMERICAN STUDENT ASSISTANCE	110-00-21581-000-000	09/15/14 DEDUCTION	230.58
141383	9/12	REINDERS INC.	521-09-50101-344-000	08/14-AR PARTS/SERVI	134.65
			521-09-50101-344-000	08/14-AR PARTS/SERVI	95.56
			521-09-50101-344-000	08/14-AR RETURN PART	220.50CR
				..... CHECK TOTAL	9.71
141384	9/12	WISCONSIN FUEL & HEATING	217-06-51614-259-000	#5728928 - REPAIRS	169.40
141385	9/12	BROOKS TRACTOR, INC.	630-09-50101-393-000	08/14 SE PARTS & MAT	82.58
			630-09-50101-393-000	08/14 SE #3222 PARTS	28.20
				..... CHECK TOTAL	110.78
141386	9/12	DON'S AUTO PARTS	630-09-50101-393-000	08/14 SE PARTS & MAT	73.44
141387	9/12	LARK UNIFORM, INC.	110-02-52103-367-000	08/14 #631 UNIFORM I	116.95
			110-02-52103-367-000	08/14 #630 UNIFORM I	112.95
			110-02-52103-367-000	08/14 #629 UNIFORM I	112.95
				..... CHECK TOTAL	342.85
141388	9/12	CHASE BANK KENOSHA	110-00-21513-000-000	09/15/14 SAL DEDUCT	205,947.96
			110-00-21511-000-000	09/15/14 SAL DEDUCT	74,004.09
			110-00-21612-000-000	09/15/14 SAL DEDUCT	74,004.05
			110-00-21514-000-000	09/15/14 SAL DEDUCT	23,320.03
			110-00-21614-000-000	09/15/14 SAL DEDUCT	23,319.69
			110-00-21513-000-000	09/05/14 HRLY DEDCT	19,760.04
			110-00-21513-000-000	09/12/14 HRLY DEDCT	19,568.02
			110-00-21612-000-000	09/12/14 HRLY DEDCT	11,023.22
			110-00-21511-000-000	09/12/14 HRLY DEDCT	11,023.10
			110-00-21612-000-000	09/05/14 HRLY DEDCT	10,668.73
			110-00-21511-000-000	09/05/14 HRLY DEDCT	10,668.73
			110-00-21614-000-000	09/05/14 HRLY DEDCT	3,027.43
			110-00-21514-000-000	09/05/14 HRLY DEDCT	3,027.37
			110-00-21614-000-000	09/12/14 HRLY DEDCT	3,005.47
			110-00-21514-000-000	09/12/14 HRLY DEDCT	3,005.44
			 CHECK TOTAL	495,373.37

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
141389	9/12	THREE T'S TRUCKING INC	758-09-51610-259-000	TRUCKING SERVICES	2,902.50
141390	9/12	DWD-UI	110-09-56308-157-000	08/14 UNEMPLOYMENT	1,460.80
			520-09-50101-157-000	08/14 UNEMPLOYMENT	405.00
			631-09-50101-157-000	08/14 UNEMPLOYMENT	104.90
				..... CHECK TOTAL	1,970.70
141391	9/12	FEDEX	110-01-51306-312-000	8/19/14 FPSI-TESTS	143.99
			110-01-51306-312-000	8/20/14 PW-WISDOT	20.20
				..... CHECK TOTAL	164.19
141392	9/12	ZAK, PAUL	110-02-52203-165-000	09/14 BENEFITS	861.97
141393	9/12	LINCOLN CONTRACTORS SUPPLY	501-09-50105-361-000	08/14-SW TOOLS/SUPPL	291.52
			501-09-50105-344-000	08/14-SW TOOLS/SUPPL	89.50
				..... CHECK TOTAL	381.02
141394	9/12	KENOSHA FIREFIGHTER C.A.R.E.	110-00-21564-000-000	09/15/14 SAL DEDUCT	810.00
141395	9/12	CARMICHAEL COMMUNICATIONS	222-09-50101-259-000	PARTIAL 2014 PB&J	6,000.00
141396	9/12	ACCURATE PRINTING CO., INC.	110-01-51101-311-000	08/14 FN-JRNL SHEETS	99.00
141397	9/12	CONCRETE SPECIALTIES CO.	403-11-51102-588-000	08/14 ST STRUCTURES/	533.10
			501-09-50105-355-000	08/14 SW MATERIALS/S	480.00
				..... CHECK TOTAL	1,013.10
141398	9/12	RILEY CONSTRUCTION CO., INC.	110-00-21119-000-000	ESC PERMIT #159337	11,000.00
			501-00-21128-000-000	ESC PERMIT #157202	5,000.00
			501-00-21128-000-000	ESC PERMIT #158006	5,000.00
			501-00-21128-000-000	ESC PERMIT #157201	5,000.00
				..... CHECK TOTAL	26,000.00
141399	9/12	BROWNELLS, INC.	110-02-52103-365-000	GLOCK SLIDE STOP	15.81
141400	9/12	AECOM TECHNICAL SERVICES INC	445-11-50901-589-000	7/17-8/1 SAMPLING	835.15
141401	9/12	UNITED HOSPITAL SYSTEM	110-02-52102-219-000	RECORDS #14-024754	72.62
			110-02-52102-219-000	RECORDS #14-092625	68.77
			110-02-52102-219-000	RECORDS #14-113694	63.38
			110-02-52102-219-000	RECORDS #14-113694	49.71
			110-09-56405-161-000	9/3/14 W/C	31.95
			 CHECK TOTAL	286.43

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
141402	9/12	MESSERLI & KRAMER P.A.	110-00-21581-000-000	09/12/14 DEDUCTION	162.10
141403	9/12	FIRST ADVANTAGE LNS	110-01-51303-219-000	08/14-SERVICES	30.00
141404	9/12	PAUL CONWAY SHIELDS	110-02-52206-367-000	08/14-FD TURNOUT GEA	53.35
141405	9/12	FRONTIER	110-02-52203-225-000	08/22-09/21/14 FIRE	49.16
141406	9/12	WASTE MANAGEMENT OF WI	110-03-53117-253-416	08/14 1084.66 TONS	26,248.77
			110-03-53117-253-416	08/14 WDNR TONNAGE	14,100.58
			758-09-51610-259-000	08/14 DISPOSAL FEES	2,494.96
			110-03-53117-253-416	08/14 FUEL SURCHARGE	2,292.80
			110-03-53117-253-417	08/14 72.9 TONS	1,764.18
			110-03-53117-253-417	08/14 10 CMPCT PULLS	1,738.00
			501-09-50104-253-000	08/14 63 TONS	1,524.60
			110-03-53117-253-417	08/14 WDNR TONNAGE	947.70
			501-09-50104-253-000	08/14 WDNR TONNAGE	819.00
			110-03-53117-253-417	08/14 FUEL SURCHARGE	308.21
			110-03-53117-253-416	08/14 ENVIRO SURCHG	270.00
			501-09-50104-253-000	08/14 FUEL SURCHARGE	134.99
			110-03-53117-253-417	08/14 ENVIRO SURCHG	60.00
			501-09-50104-253-000	08/14 ENVIRO SURCHG	36.00
				..... CHECK TOTAL	52,739.79
141407	9/12	MALSACK, J	461-11-51401-581-000	8/14 WEED/GRASS - C	1,671.21
			110-09-56501-259-570	9/14 2600 50TH ST	1,171.43
			463-11-51202-219-000	8/14 WEED/GRASS B	1,037.87
			463-11-51302-219-000	8/14 WEED/GRASS - D	798.79
			463-11-51302-219-000	8/14 PARCELS MTN-A	516.61
			217-06-51615-259-000	#5726846 LANDSCAPE	510.00
			217-06-51603-259-000	#5736845 LANDSCAPE	455.00
			110-09-56501-259-570	9/14 6118 54TH AVE	404.18
			110-09-56501-259-570	9/14 6415 28TH AVE	289.21
			110-09-56501-259-570	9/14 2106 60TH ST	236.45
			110-09-56501-259-570	9/14 5210 58TH ST	168.27
			110-09-56501-259-570	9/14 6629 24TH AVE	141.78
			110-09-56501-259-570	9/14 3216 86TH ST	126.63
			463-11-51002-219-000	8/14 PARCELS MTN-A	107.54
			110-09-56501-259-570	9/14 9824 69TH ST	107.05
			110-09-56501-259-570	9/14 6715 38TH AVE	95.76
			110-09-56501-259-570	9/14 5418 14TH AVE	85.67
			110-09-56501-259-570	9/14 3214 ROOSEVELT	82.74
			110-09-56501-259-570	9/14 5402 25TH AVE	57.80
			110-09-56501-259-570	9/14 4817 25TH AVE	42.99
			463-11-51302-219-000	8/14 711/15 56TH ST	21.94
			110-09-56501-259-570	9/14 6932 31ST AVE	14.96
			463-11-51302-219-000	8/14 5814 19TH AVE	14.90
			 CHECK TOTAL	8,158.78

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
141408	9/12	BROOKHOUSE & HEMSING LAW	110-01-51303-212-000	ADAMS #14-166	190.00
			110-01-51303-212-000	PFC #10247	120.00
			110-01-51303-212-000	RYAN #14-118	50.00
				..... CHECK TOTAL	360.00
141409	9/12	REGISTER OF DEEDS	110-09-56501-259-565	RAZE 5507 23RD AVE	30.00
141410	9/12	WASTE MGMT OF MILWAUKEE	222-09-50101-259-000	8/9/14-DOG DAYS	210.00
			524-05-50101-282-000	08/14-PORTABLE RESTR	150.50
				..... CHECK TOTAL	360.50
141411	9/12	JOHNSON BANK	110-00-21532-000-000	09/15/14 CITY SAL	25,638.54
			110-00-21532-000-000	09/15/14 WATER SAL	2,814.41
			110-00-21532-000-000	09/12/14 CITY HRLY	1,190.00
			110-00-21532-000-000	09/15/14 LIBRARY SAL	1,150.00
			110-00-21532-000-000	09/12/14 WATER HRLY	404.62
				..... CHECK TOTAL	31,197.57
141412	9/12	FASTENAL COMPANY	501-09-50105-385-000	08/14 SW TOOLS/MATER	229.98
			501-09-50105-344-000	08/14 SW TOOLS/MATER	56.93
				..... CHECK TOTAL	286.91
141413	9/12	CDW-G	520-09-50201-316-000	08/14 COMPUTER EQUIP	719.61
			110-01-51102-539-000	08/14 COMPUTER EQUIP	449.46
			110-01-51102-539-000	08/14 COMPUTER EQUIP	91.56
			110-05-55111-311-000	CARTRIDGE FOR POOLS	54.59
				..... CHECK TOTAL	1,315.22
141414	9/12	WRIGHT EXPRESS FSC	110-03-53109-341-000	08/14-ST CNG	148.38
			110-03-53103-341-000	08/14-ST CNG	37.10
				..... CHECK TOTAL	185.48
141415	9/12	REPUBLIC SERVICES	420-11-51210-589-847	7/14 1063.41 TONS	23,224.87
			420-11-51210-589-847	7/14 934.52 TONS	9,476.03
			497-11-50102-219-847	7/14 1063.41 TONS	6,550.61
			497-11-50102-219-847	7/14 934.52 TONS	2,672.73
				..... CHECK TOTAL	41,924.24
141416	9/12	AMERICAN ASSOCIATION OF	110-01-51601-264-000	AACE CONFERENCE	1,700.00

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
141417	9/12	NYBERG TROPHIES & AWARDS	631-09-50101-311-000	3 NAME PLATES	30.00
141418	9/12	CHAPTER 13 TRUSTEE	110-00-21581-000-000	09/15/14 DEDUCTION	743.00
			110-00-21581-000-000	09/15/14 DEDUCTION	419.00
			110-00-21581-000-000	09/15/14 DEDUCTION	400.00
			110-00-21581-000-000	09/12/14 DEDUCTION	104.00
			110-00-21581-000-000	09/12/14 DEDUCTION	87.00
			110-00-21581-000-000	09/12/14 DEDUCTION	45.00
				..... CHECK TOTAL	1,798.00
141419	9/12	CENTRAL SAW AND MOWER	501-09-50106-361-000	08/14 PA FORESTRY SU	326.90
			501-09-50106-344-000	08/14 PA FORESTRY SU	12.98
				..... CHECK TOTAL	339.88
141420	9/12	STAPLES	110-02-52103-311-000	08/14-PD OFFICE SUPP	27.55
			110-02-52103-311-000	08/14-PD OFFICE SUPP	25.69
			110-02-52103-311-000	08/14-PD OFFICE SUPP	22.87
				..... CHECK TOTAL	76.11
141421	9/12	HOTEL MEAD	110-02-52201-263-000	9/23-26 WFCEA	210.00
141422	9/12	GLEASON REDI-MIX	403-11-51102-588-000	08/14-ST CONCRETE MA	1,000.00
			501-09-50105-355-000	08/14-SW CONCRETE/MA	820.00
			403-11-51102-588-000	08/14-ST CONCRETE MA	612.50
			403-11-51102-588-000	08/14-ST CONCRETE MA	570.00
			403-11-51102-588-000	08/14-ST CONCRETE MA	350.00
			501-09-50105-355-000	08/14-SW CONCRETE/MA	310.00
			403-11-51102-588-000	08/14-ST CONCRETE MA	280.00
			403-11-51102-588-000	08/14-ST CONCRETE MA	280.00
				..... CHECK TOTAL	4,222.50
141423	9/12	QUALITY MUDJACKING SERVICE	501-09-50105-219-000	MUDJACKING	500.00
141424	9/12	PLANNED PARENTHOOD OF WIS	110-02-52102-219-000	#14-106840	37.40
141425	9/12	DEVELOPMENT COUNSELLORS INT	411-11-51302-219-000	09/14 BRANDING PROJ	11,450.00
141426	9/12	DYNAMIC RECYCLING, INC	110-03-53117-253-000	08/14-RECYCLE ELECTR	1,086.11
141427	9/12	WOMEN AND CHILDRENS HORIZON	238-06-50404-259-000	#5728342 SUBGR AGMT	18,534.00

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
141428	9/12	WOMEN AND CHILDRENS HORIZON	238-06-50404-259-000	#5728338 SUBGR AGMT	3,688.00
141429	9/12	WIS SCTF	110-00-21581-000-000 110-00-21581-000-000	09/15/14 SAL DEDUCT 09/12/14 HRLY DEDCT CHECK TOTAL	11,423.21 1,799.89 13,223.10
141430	9/12	ILLINOIS DEPT OF PUBLIC AID	110-00-21581-000-000	09/15/14 DEDUCTION	375.00
141431	9/12	KENOSHA COUNTY TREASURER	110-00-21910-999-000 110-00-21901-999-000 110-00-21910-999-000	08/14 FEES COLLECTED 08/14 FEES COLLECTED 08/14 FEES COLLECTED CHECK TOTAL	6,698.61 1,912.08 190.85 8,801.54
141432	9/12	TIME WARNER CABLE	520-09-50301-233-000 110-01-51102-233-000 524-05-50101-219-000 521-09-50101-219-000	09/14-TD-ROADRUNNER 09/14-AR-ROADRUNNER 09/14-GO CABLE SERV. 09/14-AR CABLE CONTR CHECK TOTAL	139.95 139.95 42.00 10.96 332.86
141433	9/12	ARAMARK	110-01-51801-246-000 520-09-50201-246-000 110-03-53116-246-000 632-09-50101-246-000	08/14 MB ENTRANCE MA 08/14 TD ENTRANCE MA 08/14 WA ENTRANCE MA 08/14 SE ENTRANCE MA CHECK TOTAL	102.08 41.64 37.76 15.10 196.58
141434	9/12	WHOLESALE DIRECT INC	630-09-50101-393-000	08/14-CE PARTS/MATER	82.21
141435	9/12	FABCO RENTS	501-09-50105-282-000 110-03-53107-282-000	08/14 SW EQUIPMENT R 08/14 ST EQUIPMENT R CHECK TOTAL	5,206.50 356.00 5,562.50
141436	9/12	URBAN LEAGUE OF RACINE AND	238-06-50618-259-000 238-06-50602-259-000	#5728897 SUBGR AGMT #5728890 SUBGR AGMT CHECK TOTAL	253.61 197.31 450.92
141437	9/12	RIMKUS, JASON	761-09-50101-111-000 761-00-21514-000-000 761-00-21512-000-000 761-00-21599-000-000 761-00-21511-000-000 761-00-21513-000-000	09/01-15/14 SERVICE 09/01-15/14 SERVICE 09/01-15/14 SERVICE 09/01-15/14 SERVICE 09/01-15/14 SERVICE 09/01-15/14 SERVICE CHECK TOTAL	1,933.04 28.03CR 95.80CR 96.65CR 119.85CR 220.00CR 1,372.71

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
141438	9/12	PIRO, RALPH	761-09-50101-111-000	09/01-15/14 SERVICE	916.45
			761-00-21514-000-000	09/01-15/14 SERVICE	13.29CR
			761-00-21599-000-000	09/01-15/14 SERVICE	25.00CR
			761-00-21512-000-000	09/01-15/14 SERVICE	30.80CR
			761-00-21511-000-000	09/01-15/14 SERVICE	56.82CR
			761-00-21513-000-000	09/01-15/14 SERVICE	76.00CR
				..... CHECK TOTAL	714.54
141439	9/12	AIRGAS NORTH CENTRAL	206-02-52205-389-000	08/14 FD #3 OXYGEN C	40.39
			110-03-53103-355-000	08/14 ST INDUSTRIAL	36.74
				..... CHECK TOTAL	77.13
141440	9/12	IOD INCORPORATED	520-09-50101-161-000	8/7/14 W/C	106.44
			110-09-56405-161-000	7/14/14 W/C	42.13
			110-09-56405-161-000	8/24/14 W/C	8.40
				..... CHECK TOTAL	156.97
141441	9/12	KENOSHA EMERGENCY PHYSICIANS	110-09-56405-161-000	7/1/14 W/C	558.00
141442	9/12	UNITED OCC MEDICINE	110-09-56405-161-000	7/17/14 W/C	167.40
141443	9/12	AURORA HEALTH CARE	110-09-56405-161-000	5/23/14 W/C	964.90
			110-09-56405-161-000	5/28/14 W/C	295.59
			520-09-50101-161-000	7/29/14 W/C	254.15
			520-09-50101-161-000	7/29/14 W/C	91.80
			520-09-50101-161-000	7/29/14 W/C	66.30
				..... CHECK TOTAL	1,672.74
141444	9/12	BOSTANCHE, JOHN DPM	110-09-56405-161-000	7/17/14 W/C	1,519.00
141445	9/12	EXAM WORKS INC	520-09-50101-161-000	8/12/14 W/C	1,842.00
141446	9/12	WORK INJURY MGMNT SOLUTIONS	110-09-56405-161-000	8/5/14 W/C	420.81
			110-09-56405-161-000	8/4/14 W/C	416.88
			110-09-56405-161-000	7/31/14 W/C	335.16
			110-09-56405-161-000	7/29/14 W/C	245.16
				..... CHECK TOTAL	1,418.01
141447	9/12	COMPREHENSIVE CLINICAL AND	110-09-56405-161-000	7/16/14 W/C	102.37

START DATE FOR SUMMARY: 9/01 END DATE FOR SUMMARY: 9/15

CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
141448	9/12	EQUIAN LLC	110-09-56405-161-000	6/19/14 W/C	8.67
141449	9/12	CITY OF KENOSHA FIRE DEPT	110-09-56405-161-000	5/23/14 W/C	795.31
141450	9/12	PROHEALTH CARE MEDICAL ASSOC	110-09-56405-161-000	7/18/14 W/C	83.30
141451	9/12	BUELOW, VETTER, BUIKEMA,	110-01-51001-212-000	DARBY GRIEVANCE	2,557.50
			110-01-51303-212-000	RYAN PFC MATTER	1,430.00
			110-01-51303-212-000	GENERAL	137.50
			110-01-51303-212-000	ADAMS PFC MATTER	70.72
				..... CHECK TOTAL	4,195.72
141452	9/12	STARK COLLECTION AGENCY	110-00-45103-000-000	FINE D BERRY	84.88
			110-00-21901-000-000	FINE C MARTIN	52.00
			110-00-45104-000-000	FINE C MARTIN	28.00
			110-00-45104-000-000	FINE C INGRAM	16.00
			110-00-21911-000-000	FINE C INGRAM	13.00
			110-00-21911-000-000	FINE C MARTIN	13.00
			110-00-21901-000-000	FINE C INGRAM	7.80
			110-00-21910-000-000	FINE C MARTIN	5.01
			110-00-21910-000-000	FINE D BERRY	.17
				..... CHECK TOTAL	219.86
141453	9/12	SHREE OM ENTERPRISES	110-00-44202-000-000	RETAIL BEER LICENSE	375.00
141454	9/12	80TH STREET CENTER, LLC	110-00-21119-000-000	ESCROW 3207 8TH ST	9,394.00
141455	9/12	SINGH, DALJIT	110-00-44202-000-000	RETAIL BEER LICENSE	433.00
141456	9/12	K-TOWN ENTERPRISES, INC	110-00-44203-000-000	BEER/LIQUOR LICENSE	450.00
141457	9/12	SHOOTERS	110-00-44203-000-000	BEER/LIQUOR LICENSE	450.00
141458	9/12	STATE OF WIS DOT DAMAGE CLM	110-00-45103-000-000	S BEBO RESTITUTION	115.00
141459	9/12	LEE, BENJAMIN C	110-00-21111-000-000	FINE PMT #U127652	1.20
141460	9/12	HALL, KATIE	110-00-21905-000-000	BEACH HOUSE-8/29-30	300.00
			110-00-21905-000-000	BEACH HOUSE-8/29-30	50.00
				..... CHECK TOTAL	350.00

START DATE FOR SUMMARY: 9/01 END DATE FOR SUMMARY: 9/15

CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
141461	9/12	SANTIAGO, MARLYN	110-00-21905-000-000	BENCH RENTAL-8/31/14	50.00
141462	9/12	FR INVESTMENTS	501-00-21128-000-000	ESCROW-8420 50 ST	5,000.00
141463	9/12	MARISELA, DINARTE	110-00-21905-000-000	BEACH HOUSE-8/31/14	100.00
141464	9/12	LARSEN, CAMI	110-00-46580-000-000	CANCEL 10/11/14	550.00
			110-00-21905-000-000	CANCEL 10/11/14	300.00
			110-00-46532-000-000	CANCEL 10/11/14	25.00
				..... CHECK TOTAL	875.00
141465	9/12	KESSLER, ANDREA	110-00-46580-000-000	CANCEL-7/18/15	550.00
			110-00-21905-000-000	CANCEL-7/18/15	300.00
			110-00-46532-000-000	CANCEL-7/18/15	25.00
				..... CHECK TOTAL	875.00
141466	9/12	TORRES, PABLO	110-02-52103-341-000	8/27/14 MADISON	112.02
141467	9/12	CRUEY, EDWARD	110-01-50901-261-000	08/14 130 MILES	72.80
141468	9/12	MARTI, JESUS	520-09-50101-161-000	8/12/14 IME MILEAGE	42.64
GRAND TOTAL FOR PERIOD *****					13,503,329.84



ENGINEERING DIVISION
SHELLY BILLINGSLEY, P.E.
CITY ENGINEER
CATHY AUSTIN, P.E.
ASSISTANT CITY ENGINEER
KILE KUHLMEY
SOIL EROSION SPECIALIST

STREET DIVISION
JOHN H. PRIJIC
SUPERINTENDENT

DEPARTMENT OF STORMWATER UTILITY
MICHAEL M. LEMENS, P.E., DIRECTOR
SHELLY BILLINGSLEY, P.E., DEPUTY DIRECTOR

MUNICIPAL BUILDING · 625 - 52ND ST · RM 305 · KENOSHA, WI 53140
TELEPHONE (262) 653-4050 · FAX (262) 653-4056
EMAIL SWU@KENOSHA.ORG

October 2, 2014

To: Patrick Juliana, Chairman
Stormwater Utility Committee

Eric Haugaard, Chairman
Public Works Committee

From: Shelly Billingsley, P.E. 
Deputy Director of Public Works / City Engineer

CC: Jack Rose
District 15

Subject: ***Change Order for Project 14-1139 Forest Park Sanitary and Storm Enhancements (61st Street from 50th Avenue to 46th Avenue and 65th Street from 51st Avenue to 48th Avenue)***

BACKGROUND INFORMATION

Staff is requesting a Change Order for the paving work for the Forest Park Sanitary and Storm Enhancements. Due to the tight schedule for completing the underground utility work of the project the Contractor is requesting to remove the asphalt pavement and replace with concrete. The impact to the overall contract is \$9,253.25 which will be paid from the authorized contingency. Therefore the attached Change Order specifies the removal and/or reduction of quantities from specific line items of the bid and replacement with 7" Concrete Pavement section.

RECOMMENDATION

Approve the Change Order for Project 14-1139 Forest Park Sanitary and Storm Enhancements.

THE CITY OF KENOSHA

CHANGE ORDER

Project Name: Forest Park Sanitary and Storm Enhancements
Project Number: 14-1139
C.I.P. Line Item: SW-10-004 (SWU Funding Impact Only)
Purchase Order #: 141002
Contractor: A.W. Oakes & Son
Public Works Committee Action: **October 6, 2014**
Finance Committee: **N/A**
Date of Common Council Action: **October 6, 2014**

City and contractor agree that the city will add a line item for 7" Concrete Pavement (estimated 9030 SY at 25.65/SY) for \$231,619.50 and reduce the Crushed Aggregate Base Course by 970 tons and remove the 3" Asphaltic Binder Course, 2" Asphaltic Binder Course, and tack for a total amount of \$222,366.25 for a net increase in the contract amount of \$9,253.25 which will be paid for from the contingency of the project therefore award amount will remain the same.

This change order is approved by:

CONTRACTOR

CITY OF KENOSHA, MAYOR

 A.W. OAKES & SON INC.

DATE

DATE

10-2-14



ENGINEERING DIVISION
SHELLY BILLINGSLEY, P.E.
CITY ENGINEER

PARK DIVISION
JEFF WARNOCK
SUPERINTENDENT

FLEET MAINTENANCE
SUPERINTENDENT

STREET DIVISION
JOHN H. PRIJIC
SUPERINTENDENT

WASTE DIVISION
ROCKY BEDNAR.
SUPERINTENDENT

DEPARTMENT OF PUBLIC WORKS

MICHAEL M. LEMENS, P.E., DIRECTOR
SHELLY BILLINGSLEY, P.E., DEPUTY DIRECTOR

MUNICIPAL BUILDING · 625 - 52ND ST · RM 305 · KENOSHA, WI 53140
TELEPHONE (262) 653-4050 · FAX (262) 653-4056
EMAIL PUBLICWORKS@KENOSHA.ORG

September 22, 2014

To: Eric Haugaard, Chairman, Public Works Committee
Scott N. Gordon, Chairman, Park Commission

From: Shelly Billingsley, P.E. *shelly Billingsley*
Deputy Director of Public Works/City Engineer

Subject: Acceptance of Project 12-1424 Southport Park Trail Development
Location: 7501 2nd Avenue

Please be advised that the above referenced project has been satisfactorily completed by Parking Lot Maintenance, Inc., Pewaukee, Wisconsin. This project consisted of demolition, earthwork, asphalt pavement, installation of curb and gutter, installation of concrete pavement, installation of limestone trail, installation of parking lot signs, pavement markings and restoration.

It is recommended that the project be accepted in the final amount of \$114,591.96. Original contract amount was \$102,900.75 plus \$12,099.25 for contingency for a total contract amount of \$115,000.00. Funding was from CIP Line Item PK-11-001.

SAB/kjb



ENGINEERING DIVISION
SHELLY BILLINGSLEY, P.E.
CITY ENGINEER

PARK DIVISION
JEFF WARNOCK
SUPERINTENDENT

FLEET MAINTENANCE
MAURO LENCI
SUPERINTENDENT

STREET DIVISION
JOHN H. PRIJIC
SUPERINTENDENT

WASTE DIVISION
ROCKY BEDNAR.
SUPERINTENDENT

DEPARTMENT OF PUBLIC WORKS

MICHAEL M. LEMENS, P.E., DIRECTOR
SHELLY BILLINGSLEY, P.E., DEPUTY DIRECTOR

MUNICIPAL BUILDING · 625 - 52ND ST · RM 305 · KENOSHA, WI 53140
TELEPHONE (262) 653-4050 · FAX (262) 653-4056
EMAIL PUBLICWORKS@KENOSHA.ORG

September 30, 2014

To: Eric Haugaard, Chairman
Public Works Committee

From: Michael M. Lemens, P.E.
Director of Public Works

Subject: *Sidewalk Requirement Exception Request*
Local 72 UAW Building Corp
William Thomas and Theresa Davison

BACKGROUND/ANALYSIS

Section 5.05(C)(2) of the General Code of Ordinances provides that the Common Council, in its discretion, may modify the sidewalk construction specifications in Section 5.05(A) on petition of the property owner in cases where the public safety and welfare does not require strict compliance. The petitioner is requesting an exception to the sidewalk requirement that would allow the sidewalk to be identified with painted lines on the existing pavement. The property was originally developed with no sidewalks. It is in the process of being divided and part will be sold. Both owners are asking for the exception because the cost of constructing sidewalks would be prohibitive at this time. If and/or when the property is improved with new construction in the future, staff will require the construction of standard concrete sidewalks as a condition of approval for the new building at that time.

RECOMMENDATION

Approve the request for a Sidewalk Requirement Exception along the north side of 40th Street by allowing the owners of the property to paint the sidewalk on the existing parking lot pavement, and to recommend to the Common Council that the painted lines be approved.

MML

September 19, 2014

Mike Lemens, Director

of Public Works

City of Kenosha

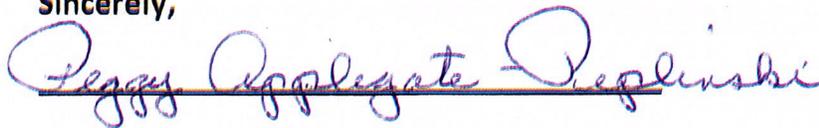
625 52nd Street, Room 305

Kenosha, WI. 53140

Director Lemens,

Local Union 72 UAW Building Corporation (UAW) hereby petitions that the Director of Public Works modify the construction standards of the public walk along the North side of 40th Street. The UAW asks that the Buyer of the proposed newly created tax parcel, to be split from the property located at 3615- Washington Road, be allowed to stripe a portion of the existing asphalt pavement to be used as the public sidewalk along 40th Street.

Sincerely,



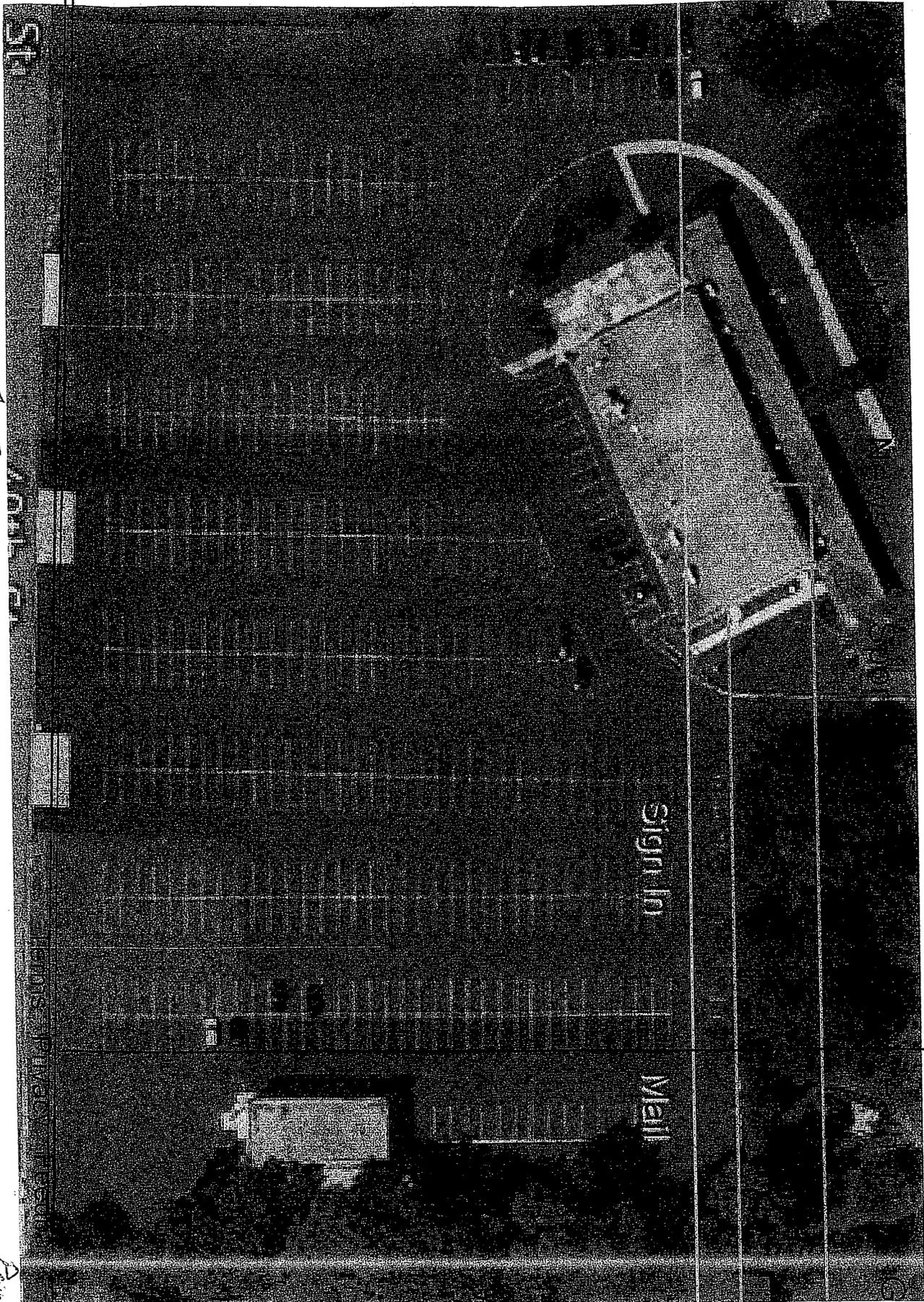
Peggy Applegate-Peplinski,

President U.A.W. Local 72

Petition for Public walkway modification
3615 Washington rd.

We, William Thomas and Theresa Davison, wish to petition the Director of Public Works to modify the construction standards of the public walk on the North side of 40th Street. We ask that this be allowed so a portion of the existing asphalt pavement can be stripped off to use as a public sidewalk.

See attached satellite image.



407A STREET

Sign In

Mail

HOT Line

Pin Tail
Wall Leachy

Planning & Zoning

Community Development

262.653.4030
262.653.4045 FAX
Room 308



Building Inspections

Property Maintenance

262.653.4263
262.653.4254 FAX
Room 100

DEPARTMENT OF COMMUNITY DEVELOPMENT & INSPECTIONS

Municipal Building · 625 52nd Street · Kenosha, WI 53140
www.kenosha.org

Jeffrey B. Labahn, Director

Richard Schroeder, Deputy Director

TO: Members of the City of Kenosha Public Safety and Welfare Committee
Members of the City of Kenosha Common Council

FROM: Brian R. Wilke, Development Coordinator *BRW*
Department of Community Development and Inspections

SUBJECT: Special Exception from the Sixteen-foot (16') Height Restriction and the 840-square-foot Size Limitation in Order to Construct a 21'7½" High, 912-square-foot Accessory Structure at 6826 54th Avenue; Zoning Ordinance: 3.03 F; Property Owner/Petitioner: Jeffery R. Zastoupil; Zoning Designation: RS-2 (District #14)

DATE: September 23, 2014

The property owner is requesting a Special Exception to Section 3.03 D(4)d of the Zoning Ordinance which states that the total square-footage of all accessory buildings on one- and two-family residential properties cannot exceed 840 square feet or fifteen percent (15%) of the lot size (whichever is less). In this case, the 840 square feet is more restrictive. (15% of the 25,376 square-foot lot is 3,806.4 square feet.) The property owner is requesting to build a 912 square-foot detached garage. There is also an existing shed that is eighty (80) square feet that will remain on the property. The total square-footage for the two (2) accessory structures will be 992 square feet.

The property owner is also requesting a Special Exception to Section 3.05 E of the Zoning Ordinance, which states that the height of an accessory structure in the RS-2 (Single-family) Zoning District cannot exceed sixteen feet (16'). The property owner is requesting to build a two-story detached garage that is twenty-one feet, seven and one-half inches (21' 7 ½") in height.

Section 3.03 F of the Zoning Ordinance allows the property owner to request a Special Exception from the Common Council upon review and recommendation of the Public Safety and Welfare Committee (PSW). The Common Council may grant a Special Exception for an accessory building height not-to-exceed twenty-five feet (25') in height or the height of the principal structure, whichever is more restrictive. The standards for the Special Exception are as follows:

- a. The architectural appearance of the proposed structure shall be harmonious with the existing structure. (The new garage will be constructed in the same "tudor-style" as the existing home. The applicant indicated that the home will be re-sided in the Spring, but the color palettes and styles of the two (2) structures will remain the same.)
- b. Relief cannot be contrary to covenants associated with the subject property. (There are no known covenant restrictions associated with the property.)

- c. A maximum of two (2) accessory buildings and/or structures are allowed. (There is an existing eighty (80) square-foot shed on the site that will remain after the construction of the new garage. There are no other accessory buildings on the site.)
- d. Accessory structures shall not exceed the height of the principal dwelling, or twenty-five feet (25') in height in residential districts. (The height of the garage will be twenty-one feet, seven and one-half inches (21' 7 ½"). The existing principal dwelling is two (2) stories in height, far exceeding the height of the proposed accessory structure.)
- e. The accessory structure shall not exceed eighty percent (80%) of the building footprint of the principal structure. (The footprint of the proposed garage is 912 square feet. According to the Assessor's records, the ground floor of the house is 1,638 square feet. The proposed accessory structure would be 55.6% of the principal building footprint.)
- f. The doors shall not exceed the maximum height of nine feet (9'). (The proposed doors do not exceed nine feet (9') in height.)
- g. The applicant will ensure that the drainage and/or stormwater runoff conforms with local and state standards.
- h. The owners of property within 100' are to be notified of the application. (Notices were sent to the owners, as required.)

When staff reviewed the plan that was presented, it appeared that the second floor was going to be a residential unit, which is not allowed per the Zoning Ordinance. The applicant indicated in writing that the second floor would be used only for storage, and not as a residential space.

Recommendation:

Staff recommends approval of the Special Exception with the stipulation that the second floor is to be used only for storage and not for residential purposes.

BRW:saz
Attachments

SPECIAL EXCEPTION
FROM 840 SQ. FT. LIMITATION
AND/OR BUILDING OR STRUCTURE HEIGHT
FOR
RESIDENTIAL ACCESSORY BUILDING OR STRUCTURES

INSTRUCTIONS

All applicants are required to complete an application form and affidavit. Other documents and information may be required by the Zoning Administrator based on the nature of the application. Your application will be scheduled for hearing when all of the following are submitted to the Zoning Office.

Submittal Checklist

- Completed application form
- \$500.00 filing fee
- One (1) plat of survey prepared by a Professional Land Surveyor, licensed by the State of Wisconsin. The survey must show all existing buildings, proposed accessory building, setbacks from property lines, distances from all accessory structures, proposed drainage patterns, and proposed changes to existing yard grade
- Accessory Building Permit Application
- One (1) additional set of plans, with survey in pdf format; forward to bwilke@kenosha.org
- A narrative which includes a description of your request and its compliance with relevant ordinance requirements.

City of Kenosha
Department of Community Development and Inspections
625 52nd Street, Room 100, Kenosha, WI 53140

APPLICATION
SPECIAL EXCEPTION
FROM 840 SQ. FT. LIMITATION
AND/OR BUILDING OR STRUCTURE HEIGHT
FOR
RESIDENTIAL ACCESSORY BUILDING OR STRUCTURES

6826 54th Avenue, Kenosha, WI 53142
Location of Special Exception Request

I/We Jeffery R. Zastoupil of 6826 54th Avenue
(Property Owner / Applicant) (Address / parcel # of subject property)

hereby apply for a Special Exception pursuant to Section 3.03F of the City of Kenosha
Zoning Ordinance to allow a garage to be built 24x34 with a height of 24 feet
(describe request)

I hereby authorize City of Kenosha staff and elected officials to inspect the premises of the
above-described property. I hereby affirm that all statements contained herein are true and
correct to the best of my knowledge and belief.

Applicant's signature: 

*If the applicant is other than the property owner, a notarized signature of the property
owner authorizing the applicant to act on his/her behalf is required.*

OWNER/APPLICANT Jeff R. Zastoupil ADDRESS 6826 54th Avenue

PHONE 262-945-1685 E-MAIL jzastoupil@ottoelsonmoving.com

FOR OFFICE USE ONLY

Proposal filed: _____ Received by: _____

Fee Paid: _____ Receipt #: _____

City of Kenosha
Department of Community Development and Inspections
625 52nd Street, Room 100, Kenosha, WI 53140

**CRITERIA CHECKLIST
SPECIAL EXCEPTION
FROM 840 SQ. FT. LIMITATION
AND/OR BUILDING OR STRUCTURE HEIGHT
FOR
RESIDENTIAL ACCESSORY BUILDING OR STRUCTURES**

6826 54th Avenue

Location of Special Exception Request

Adherence to the following criteria shall be required to process the Special Exception request. A signifies that your project complies with the criteria, as indicated. If you cannot adhere to the following criteria, DO NOT PROCEED - please contact the Zoning Administrator to discuss this issue.

- The special exception request will not conflict with or be contrary to covenants associated with subject property.
- The architectural appearance and functional design of the building or structure and site shall not be so dissimilar to the existing principal buildings and area so as to cause impairment of property values or a blighting influence. All sides of the principal and accessory buildings or structures are to have essentially the same, or coordinated, harmonious exterior-finish materials and treatment.
- No more than two accessory buildings, structures, or combination building and structure shall be constructed.
- No accessory building or structure shall exceed the height of the principal building, or exceed twenty-five feet (25') in height, whichever is less.
- The maximum square footage of all accessory buildings or structures cannot exceed one thousand square feet (1,000 sq. ft.).
- The total square footage of all detached covered accessory buildings and/or structures shall not have a footprint larger than 80% of the footprint of the principal building's first floor livable space.
- Doors shall not exceed nine feet (9') in height.
- No negative impacts on stormwater runoff shall be created. A grading plan may be required.

SUPPLEMENTAL CONDITIONS

THE CITY MAY IMPOSE ADDITIONAL CONDITIONS, WHICH INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:

- Require the use of trim, lighting or other additional architectural detail to soften the impact of the bulk and height of the proposed structure(s) or building(s).
- Require the visibility of the accessory building(s) or structure(s) be minimized as viewed from adjacent lots and rights-of-way through the use of topography, increased setbacks, fencing, or existing or proposed vegetative landscaping.
- Require garage door openings are placed so as to reduce their visibility from adjacent lots and rights-of-way.
- Require the accessory building(s) or structure(s) be reasonably compatible with the architectural detail of the principal structure. The applicant holds the burden of proving the proposed building(s) or structure(s) are reasonably compatible with the architectural detail of the principal structure.
- Require the use of the same or similar window and exterior door proportion and type, as the principal building, to soften the impact of the bulk and height of the proposed structure(s).
- Require general compatibility with adjacent and other properties in the district.

To Whom It May Concern:

RE: Variance Permit for 6826 54th Avenue, Kenosha, WI 53142

I am applying for a variance for an accessory building in order to build a 24 x 38 garage with a peak height 21' 7.5" on a reinforced floating concrete slab with a thickened edge of 12 inches. There is an additional garden shed on the property that measures 8 X 10 that will be moved to the northwest corner of the property but the combination of the two buildings will be less than the 1000 sq ft maximum. The design of the garage and the exterior finish will be made to match the existing finish of the home, but the home is planned to be resided in the spring with the exact same materials used for the garage so the finished product will be an exact match in both color and design. There will be electric/gas/water/sewer ran to the garage in order to run the hydronic heating system planned to be installed in the concrete floor. The existing garage that is attached to the residence is not functional based on the 90 degree turn required to enter the garage and that is the reason for my accessory building application. Based on the size of my lot 207.94' x 122.48' The overall square footage of all accessory buildings 992sq. ft. will be below the 1000 sq. ft. maximum and well below the 15% ground area based on the size of the lot. The proposed accessory building also complies with the 80% rule as the main floor of the residence measures over 1800 sq. ft. of livable space. My lot is currently lined at the border with 30 – 40 foot tall evergreen trees that act as a natural fence line so the proposed building will not create any adverse visibility issues from the surrounding properties. Roof gutters installed on the building will be directed to the south to the existing property, as noted on the survey, to prevent any run off issues to the surrounding properties .

Zastoupil Request for Accessory Building Special Exception



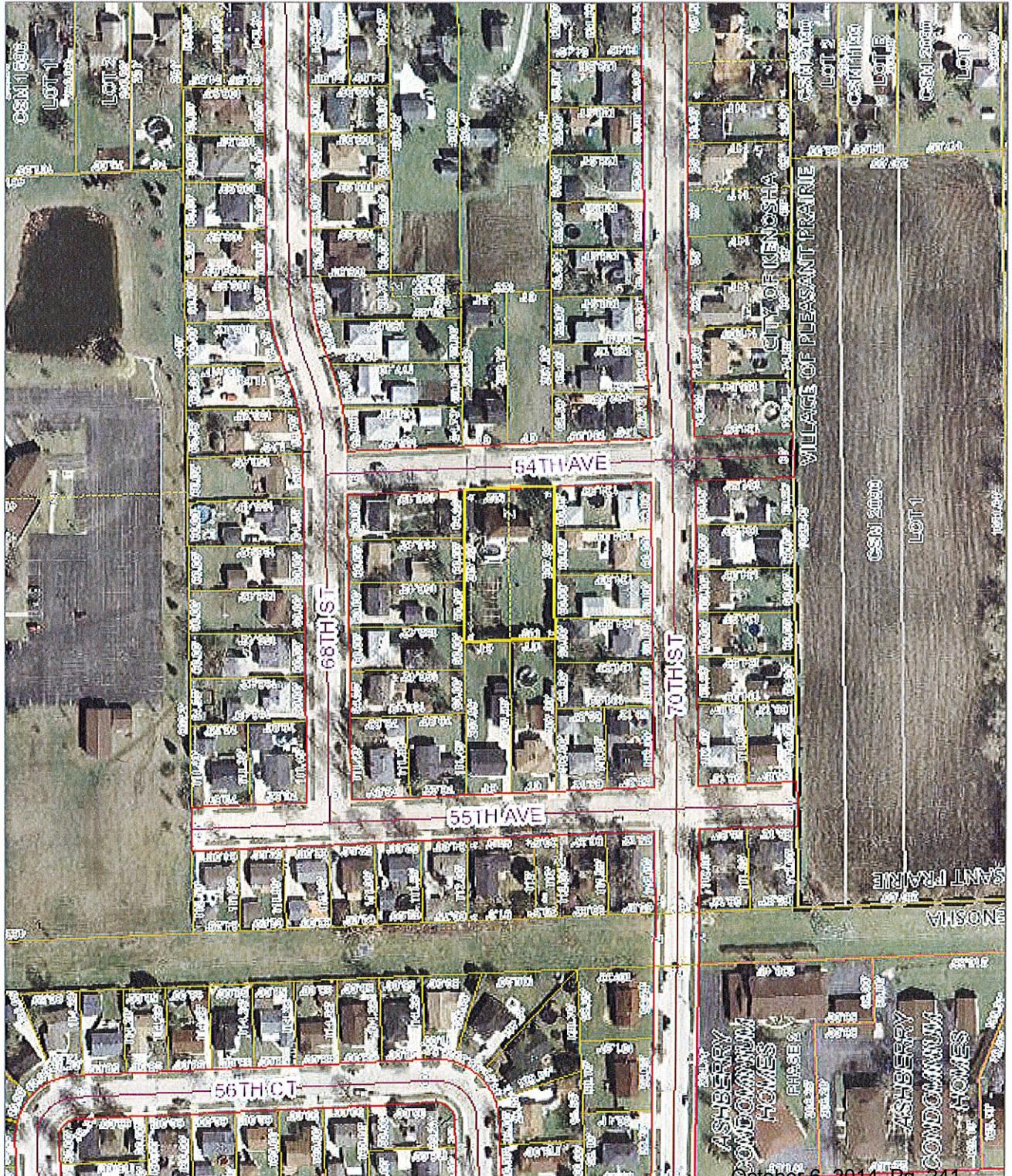
Subject Property



- Legend**
- Street Centerlines
 - Right-of-Ways
 - Water Features
 - Parcels
 - Certified Survey Maps
 - Condominiums
 - Municipal Boundaries



1 inch = 202 feet



DISCLAIMER: This map is neither a legally recorded map nor a survey and is not intended to be used as one. This drawing is a compilation of records, data and information located in various state, county and municipal offices and other sources affecting the area shown and is to be used for reference purpose only. Kenosha County is not responsible for any inaccuracies herein contained. If discrepancies are to be found, please contact Kenosha County.

Date Printed: 9/25/2014

LEGAL DESCRIPTION:

PART OF THE SOUTHWEST ¼ OF SECTION 7, TOWN 1 NORTH, RANGE 22 EAST, IN THE CITY OF KENOSHA, COUNTY OF KENOSHA, STATE OF WISCONSIN; BEGIN AT THE SOUTHEAST CORNER OF LOT 36, BREMEN SUBDIVISION; THENCE WEST 207.99'; THENCE SOUTH 122.00'; THENCE EAST 207.99'; THENCE NORTH 122.00', TO THE POINT OF BEGINNING.

ADDRESS: 6826 54TH AVENUE

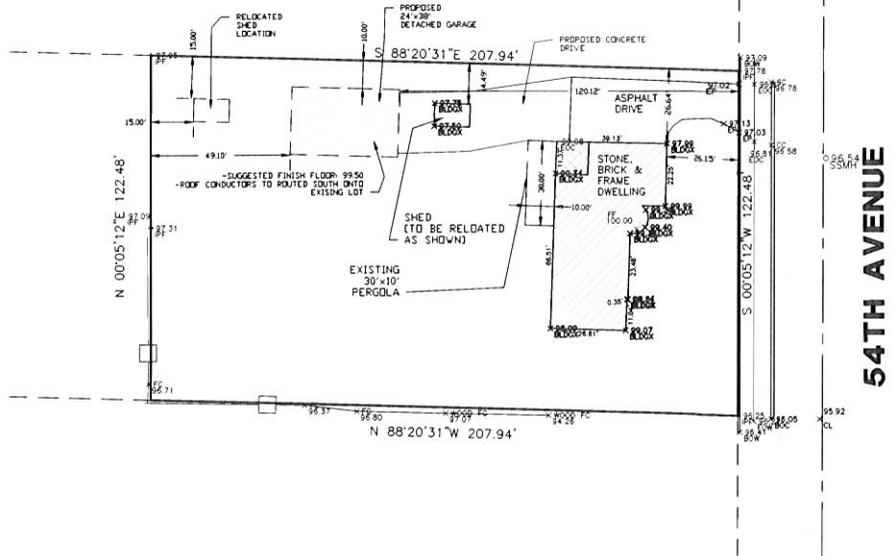
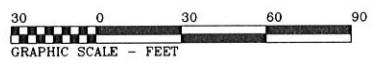
STATE OF WISCONSIN
 COUNTY OF RACINE

The above-described property has been surveyed under my direction and the above map is a correct representation thereof.

DATED AT: NORTH CAPE, THIS 11TH DAY OF AUGUST, 2014

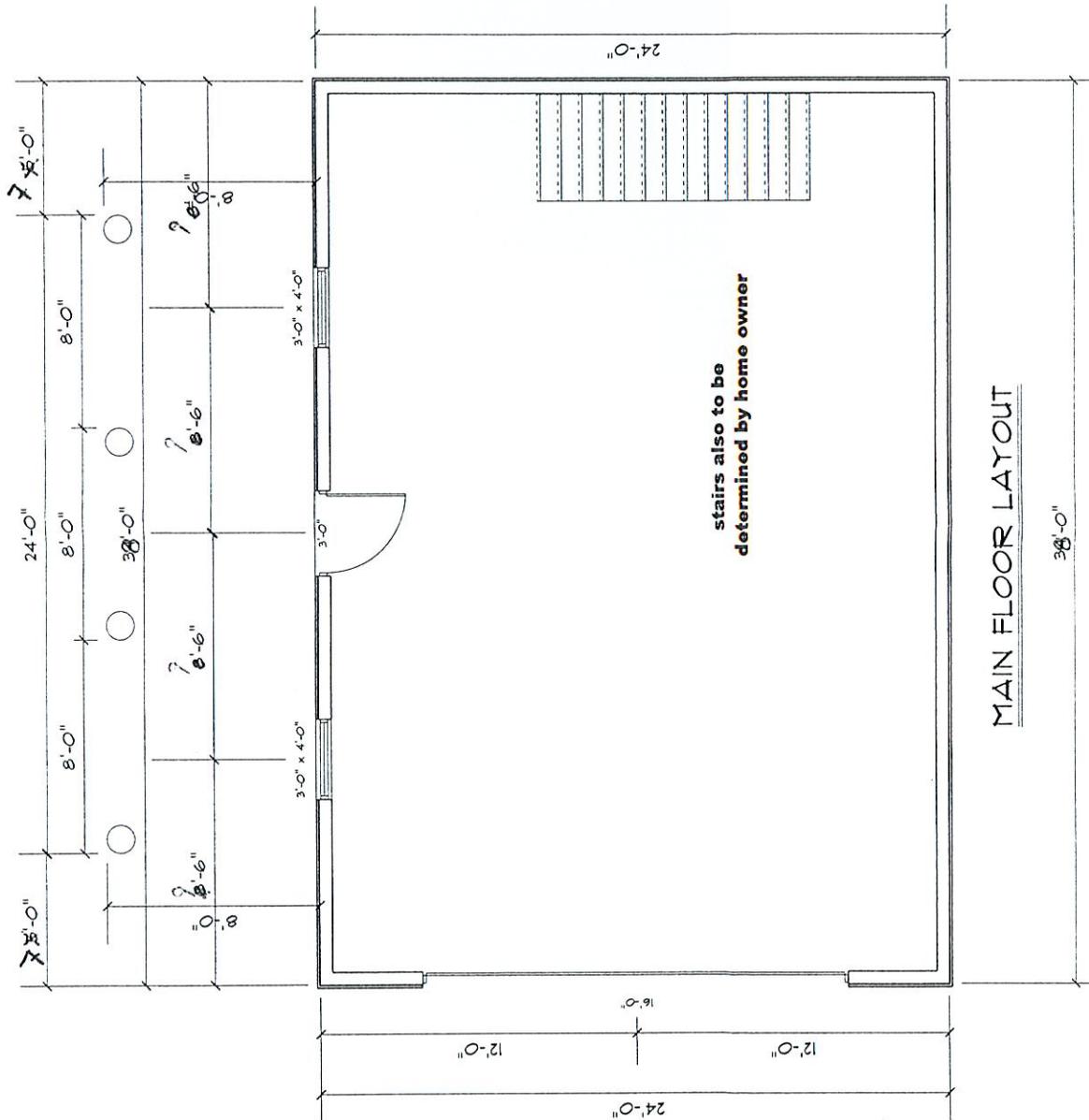
AMERICAN SURVEYING COMPANY, INC.
 PETE L. BAILEY, RLS NO. 1398
 RECERTIFIED this _____ day of _____ 2014.

DRAWN BY:	PLB	REVISIONS:	DATE
CHECKED BY:	PLB	08/25/14:	REVISED PER OWNER
PLOT SCALE:	1 = 30		
DATE:	08/11/2014		
JOB NO.:	2014095		
DWG. FILE:	JN2012078A	CLIENT NO.:	04725

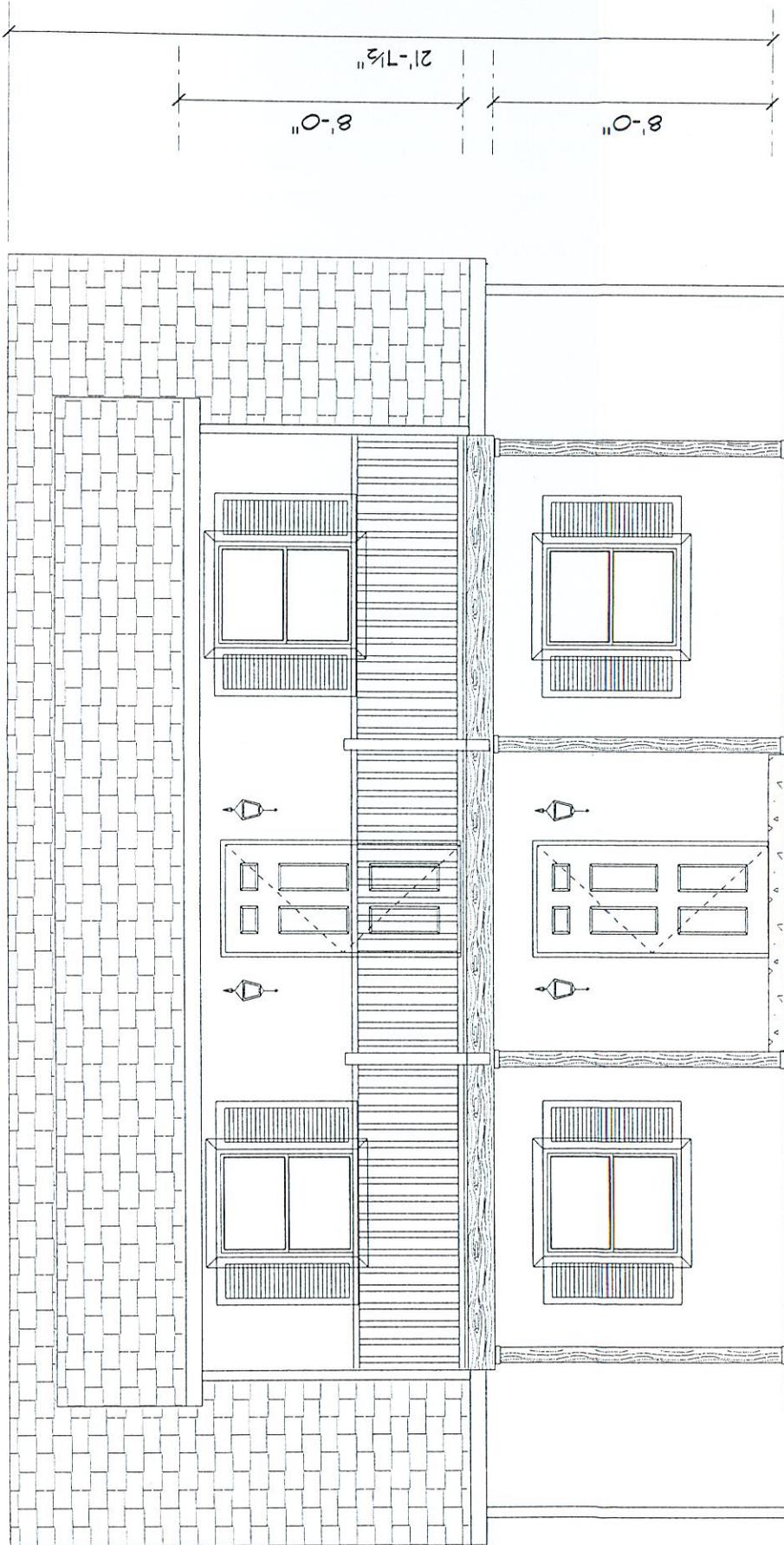


CITY OF KENOSHA
 PROJECT:
VARIANCE REQUEST
 PREPARED FOR: JEFF ZASTOUPIL

Sheet
1
 of
1

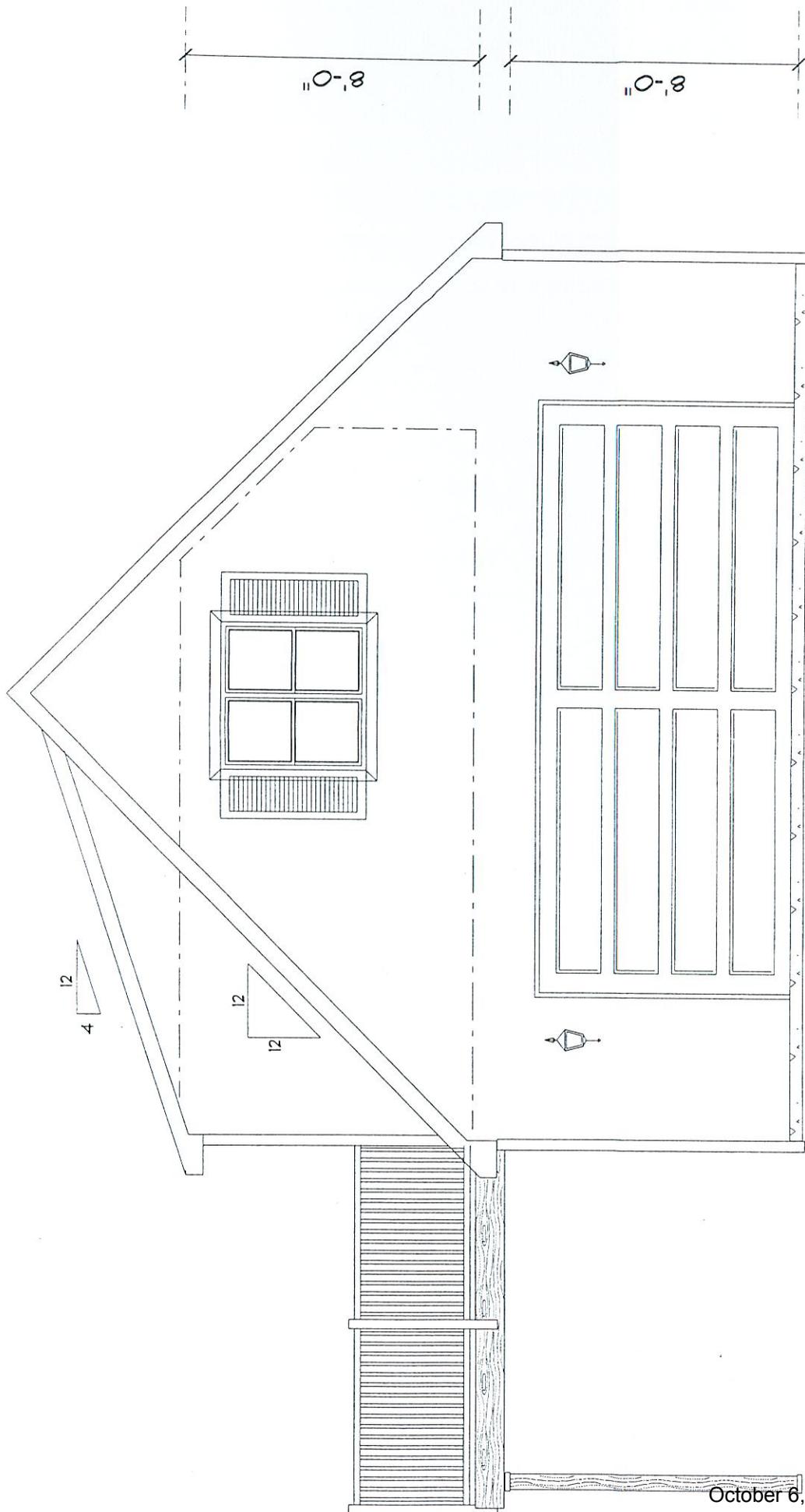


FRONT ELEVATION



STUCCO TO MATCH EXISTING HOUSE

**PROPOSED NEW GARAGE FOR
JEFF AND SHANNON ZASTOUPIL**
6826 54TH AVE KENOSHA



RIGHT ELEVATION



Existing House – 6826 54th Avenue



Existing House – 6826 54th Avenue



- 1) Proposed garage off of driveway to the left
- 2) Existing neighbor's garage on the right

Kyle [unclear]



City of Kenosha
Department of Community Development and Inspections
625 52nd Street, Room 100, Kenosha, WI 53140
Phone: 262.653.4263, Fax: 262.653.4254

**APPLICATION PACKET
FOR
ACCESSORY BUILDING PERMIT**

Project Address 6826 54th Avenue, Kenosha

The following items must be completed and submitted as a packet:

- 1. Accessory Building permit application
- 2. One (1) plat of survey prepared by a Professional Land Surveyor, licensed by the State of Wisconsin (see attachment). The survey must show all existing buildings, proposed accessory building, setbacks from property lines, distances from all accessory structures, proposed drainage patterns, and proposed changes to existing yard grade
- 3. For Residential Only: Cautionary Statement (required if the property owner is listed as the contractor); OR State Licensing (required if a contractor is listed)
- 4. One (1) set of plans (size 8 1/2" x 11" or 11" x 17", drawn at 1/4" scale)
- 5. Will the grading of the property change as a result of constructing an accessory building?

Yes _____ No

If yes, please contact the Soil Erosion Specialist at 262.653.4050 prior to permit application submittal.

Note: Upon plan review or as a result of a field inspection, the Soil Erosion Specialist or Code Official may determine that an erosion control permit and/or installation of erosion control measures are required.

- 6. Community Development and Inspections Authorization, Room 308 (required for commercial or multi-family properties: _____)

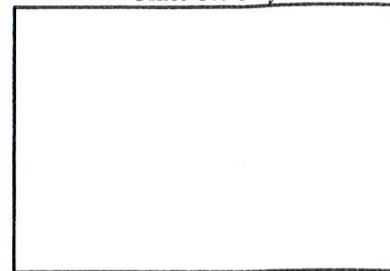
After Approval/Processing of this Permit Application:

If you do not intend to proceed with this project, please contact our office at 262.653.4263 to avoid paying the entire cost of the permit. Administrative and/or plan review fees will be charged. Any/all unpaid permit fees, along with an additional \$100.00 Administrative Fee, will be processed as a special assessment against the real estate upon which the service was performed.



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Office Use Only:



APPLICATION FOR ACCESSORY BUILDING PERMIT

Permit Fees:

New Construction: \$180.00 (\$60.00 Building Permit Fee, \$60.00 Building Plan Review Fee, and \$60.00 Zoning Plan Review Fee)
 Repair to Existing: \$60.00

You will be notified when your permit is ready; please do not submit payment with permit application.

Project Address 6826 54th Avenue

Property Owner Jeffery R. Zastoupil

*Contractor Jeffery R. Zastoupil

Mailing Address 6826 54th Avenue

Mailing Address SAME

City Kenosha State WI Zip 53142

City _____ State _____ Zip _____

Phone (262) 945-1685

Phone (_____) _____

Contractor e-mail jzastoupile@tonelsonmoving.com

*Note to Contractor: Please see attached "State Licensing Requirements."

Estimated Cost \$ 20,000

Project Name (if commercial or multi-family property): _____

Corner Lot: Yes _____ No

Square Footage of Accessory Building 816 912

Accessory Building Size: 24 by 38

Height 21' 7 1/2"

Setbacks in feet from property lines: Front 120.12 Rear 49.1' Left 50+ Right 10'

CHECK ONE: One-family Two-family Multi-family Commercial

Indicate type of accessory building: Garage Shed Gazebo Greenhouse Pavilion

Other _____ Tent - (Specify dates for tent: From _____ To _____)

Is an existing garage or shed being torn down? Yes No (If garage or shed is 500 sq. ft. or greater, a raze permit application must be completed and submitted with this permit application)

This Box for Office Use Only: Zoning _____ Zoning Review/Approval _____

I agree to comply with all applicable codes, statutes, and ordinances, and with the conditions of this permit; understand that the issuance of the permit creates no legal liability, express or implied, on the state or municipality; and, certify that all of the permit information herein is accurate. I expressly grant the building inspector, or the inspector's authorized agent, permission to enter the premises for which this permit is sought at all reasonable hours and for any proper purpose to inspect the work which is being done.

Applicant Signature: _____ Date: _____

Planning & Zoning

Community Development

262.653.4030
262.653.4045 FAX
Room 308



Building Inspections

Property Maintenance

262.653.4263
262.653.4254 FAX
Room 100

DEPARTMENT OF COMMUNITY DEVELOPMENT & INSPECTIONS

Municipal Building · 625 52nd Street · Kenosha, WI 53140
www.kenosha.org

Jeffrey B. Labahn, Director

Richard Schroeder, Deputy Director

NOTIFICATION OF PUBLIC HEARING

Special Exception from the Sixteen-foot (16') Height Restriction and the 840-square-foot Size Limitation in Order to Construct a 21'7½" High, 912-square-foot Accessory Structure at 6826 54th Avenue; Zoning Ordinance: 3.03 F; Property Owner/Petitioner: Jeffery Zastoupil; Zoning Designation: RS-2 (District 14)

A public hearing is scheduled before the Common Council in order to deliberate and render a decision on the above request.

When and where will the meeting be held?

Public Safety and Welfare:

Date: Monday, September 29, 2014; Time: 5:00 p.m.

Location: Municipal Office Building, 625 52nd Street, Room 204

Common Council:

Date: Monday, October 6, 2014; Time: 7:00 p.m.

Location: Municipal Office Building, 625 52nd Street, Room 200

What is a special exception?

An approval authorizing the construction or maintenance of a building or structure inconsistent with zoning ordinance standards. Approval of a special exception is an authority granted by the City of Kenosha Common Council. A special exception may be granted in cases whereby circumstances exist that justify approvals which are not detrimental to the public interest.

Why am I being notified?

The purpose of this notice is to inform you of the request. In accordance with the City of Kenosha Zoning Ordinance, all property owners located within 100' of the property shall be notified.

Must I attend?

It is not necessary for you to attend unless the following conditions apply and you would like to advise the Common Council of your concerns.

- a) You will be negatively affected by an approval of the special exception;
- b) You have concerns related to the request that you would like to have taken into consideration by the Committee

If you cannot attend the meeting and would like to voice your concerns on this matter, please contact me at 262.653.4049, and information will be provided on your behalf at the meeting.


Brian Wilke
Development Coordinator

October 6, 2014 Pg. 252

Zimbra

bwilke@kenosha.org

RE: Zastoupil, Jeffery

From : Jeff Zastoupil <jzastoupil@ottonelsonmoving.com>

Wed, Sep 10, 2014 09:37 AM

Subject : RE: Zastoupil, Jeffery**To :** 'Brian Wilke' <bwilke@kenosha.org>

Good Morning Brian,

It will be used as storage.

Jeff R. Zastoupil
Vice President
Otto Nelson Moving & Storage Inc.
262-654-2171
800-727-6886
262-654-2155 Fax
www.ottonelsonmoving.com

From: Brian Wilke [mailto:bwilke@kenosha.org]
Sent: Wednesday, September 10, 2014 9:21 AM
To: Jeff Zastoupil
Subject: Re: Zastoupil, Jeffery

Is the second floor of the accessory structure intended to be used as living space, or just storage?

Brian R. Wilke
Development Coordinator
City of Kenosha -
Dept. of Community Development & Inspections
625 52nd Street
Kenosha, WI 53140
(262)653-4049 Phone
(262)653-4045 Fax

From: "Jeff Zastoupil" <jzastoupil@ottonelsonmoving.com>
To: "Brian Wilke" <bwilke@kenosha.org>
Sent: Tuesday, September 2, 2014 11:31:27 AM
Subject: Zastoupil, Jeffery

Forgot to attach the Plat Survey.

Sorry

Jeff R. Zastoupil
Vice President
Otto Nelson Moving & Storage Inc.
262-654-2171
800-727-6886
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Brian Wilke

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