



CITY PLAN COMMISSION
Agenda

Thursday, September 24, 2015 at 5:00 pm
Municipal Building
625 52nd Street - Room 202 - Kenosha, WI 53140

Mayor Keith Bosman - Chairman, Alderperson Scott Gordon - Vice-Chairman
Alderperson Jan Michalski, Alderperson Kurt Wicklund,
Patrick DeGrace, Anita Faraone, Robert Hayden, Bradley Kleba, Anderson Lattimore and Jessica Olson

Call to Order and Roll Call

Approval of Minutes from September 10, 2015

1. Review of a Conceptual Plan for a 32-unit Multiple Family Residential Development on property at 2501 30th Avenue. (CM Development) (District 5) PUBLIC HEARING
2. Conditional Use Permit for a new car wash to be located at 2918 Washington Road. (All Star Car Wash) (District 5) PUBLIC HEARING
3. Request to Amend the Conditional Use Permit for a 60-unit multiple-family residential development at 5815 5th Avenue. (5th Avenue Lofts - Phase I) (District 2) PUBLIC HEARING
4. Zoning Ordinance by the Mayor - To Repeal and Recreate Section Two of Rezoning Ordinance #5-14 Rezoning Property located at 5821 5th Avenue from M-1 Light Manufacturing District to B-4 Mixed-Use District and Property located at 5824 4th Avenue from B-3 Central Business District to B-4 Mixed-Use District. (Keno Wells, LLC) (District 2) PUBLIC HEARING
5. Conditional Use Permit for a 44-unit multiple-family residential development at 5819 5th Avenue. (5th Avenue Lofts - Phase II) (District 2) PUBLIC HEARING
6. City Plan Commission Resolution - To Amend the *Land Use Plan Map for the Comprehensive Plan for the City of Kenosha: 2035*, regarding property at 4314 39th Avenue. (Demos Brothers, LLC) (District 10) PUBLIC HEARING
7. Zoning Ordinance by the City Plan Commission - To Create Subsection 18.02 rr. of the Zoning Ordinance to Amend the *Land Use Plan Map for the City of Kenosha: 2035*. (Demos Brothers, LLC) (District 10) PUBLIC HEARING
8. Zoning Ordinance by the Mayor - To Rezone property at 4314 39th Avenue from M-1 Light Manufacturing District to IP Institutional Park District in conformance with Section 10.02 of the Zoning Ordinance. (Demos Brothers, LLC) (District 10) PUBLIC HEARING

Public Comments

Commissioner Comments

Staff Comments

Adjournment

*If you are disabled in need of assistance, please call 262.653.4030 at least 72 hours before this meeting.
Notice is hereby given that a majority of the members of the Common Council may be present at the meeting.
Although this may constitute a quorum of the Common Council, the Council will not take any action at this meeting.*

**CITY PLAN COMMISSION
Minutes
September 10, 2015**

MEMBERS PRESENT: Mayor Bosman, Alderperson Gordon, Alderperson Michalski, Alderperson Wicklund, Patrick DeGrace, Anita Faraone and Anderson Lattimore

MEMBERS EXCUSED: Rob Hayden, Brad Kleba and Jessica Olson

STAFF PRESENT: Jeffrey B. Labahn and Rich Schroeder

The meeting was called to order at 5:00 p.m. by Mayor Bosman and roll call was taken.

A motion was made by Mr. Lattimore and seconded by Mr. DeGrace to approve the minutes of the August 20, 2015 meeting. The motion passed. (Ayes 6, Noes 0)

1. Conditional Use Permit for a 16-bed Community Based Residential Facility to be located at 5905 and 5909 19th Avenue. (Kenosha Care Center CBRF) (District 2) PUBLIC HEARING

Public hearing opened, no comments, public hearing closed.

Alderperson Michalski arrived.

Ms. Faraone asked how many 15+ facilities were in the City. Rich Schroeder, Deputy Director, said it varies depending on the type of establishment.

A motion was made by Ms. Faraone and seconded by Alderperson Michalski to approve the Conditional Use Permit, subject to the attached Conditions. The motion passed. (Ayes 7, Noes 0)

Mayor Bosman asked that Items 2, 3 and 4 be taken together for public hearing purposes and voted on separately. All items were read.

- 2. City Plan Commission Resolution - To Amend the *Land Use Plan Map for the Comprehensive Plan for the City of Kenosha: 2035*, regarding property at 6201 14th Avenue. (Shalom Center) (District 3) PUBLIC HEARING**
- 3. Zoning Ordinance by the City Plan Commission - To Create Subsection 18.02 qq. of the Zoning Ordinance to amend the *Land Use Map for the City of Kenosha: 2035*. (Shalom Center) (District 3) PUBLIC HEARING**
- 4. Zoning Ordinance by the Mayor - To Rezone Property at 6201 14th Avenue from *IP Institutional Park District* to *M-1 Light Manufacturing District* in conformance with Section 10.02 of the Zoning Ordinance. (Shalom Center) (District 3) PUBLIC HEARING**

Public hearing opened.

Brian Hervat, 6113 14th Avenue, said he is looking to purchase this building for his Real Estate/construction business.

Lynn Biese-Carroll was available for questions.

Public hearing closed.

Aldersperson Michalski said this property is in his district and he supports the rezoning.

A motion was made by Ms. Faraone and seconded by Aldersperson Michalski to approve Item 2, the City Plan Commission Resolution. The motion passed. (Ayes 7, Noes 0)

A motion was made by Ms. Faraone and seconded by Mr. DeGrace to approve Item 3, the Zoning Ordinance. The motion passed. (Ayes 7, Noes 0)

A motion was made by Ms. Faraone and seconded by Aldersperson Michalski to approve Item 4, the Rezoning. The motion passed. (Ayes 7, Noes 0)

Public Comments

No public comments.

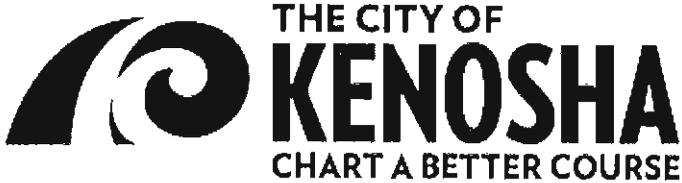
Commissioner Comments

No Commissioner comments.

Staff Comments

A motion to adjourn was made by Ms. Faraone and seconded by Aldersperson Michalski. The motion passed. (Ayes 7, Noes 0) The meeting adjourned at 5:07 p.m.

Minutes Prepared by: Kay Schueffner, Department of Community Development & Inspections



CITY PLAN COMMISSION
Staff Report - Item 1

Thursday, September 24, 2015 at 5:00 pm
Municipal Building
625 52nd Street - Room 202 - Kenosha, WI 53140

Review of a Conceptual Plan for a 32-unit Multiple Family Residential Development on property at 2501 30th Avenue. (CM Development) (District 5) PUBLIC HEARING

NOTIFICATIONS AND APPROVAL REQUIREMENTS:

Aldersperson LaMacchia, District 5, has been notified. This item is for review and discussion only.

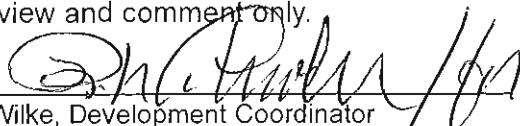
LOCATION AND ANALYSIS:

Site: 2501 30th Avenue **Zoned:** RM-2 Multiple-Family Residential District

1. The applicant has submitted the attached Concept Plan for review and comment by the City Plan Commission. No formal action is requested. However, the applicants are looking for input from the City Plan Commission on density, building design and height.
2. The current vacant property located at 2501 30th Avenue is 2.97 acres in size and zoned RM-2 Multiple Family Residential District. The property has been zoned RM-2 Multiple Family Residential since at least 1984 with the adoption of the current Zoning Ordinance.
3. The proposal is for three (3) buildings of market-rate rental housing. Two (2) buildings will be eight-units and one building will be sixteen-units for a total of thirty-two (32) units.
4. The Zoning Ordinance allows for a maximum density of twelve (12) units per acre, unless an adopted neighborhood plan calls for greater or lesser density. Where there is no plan, the Review Authority can approve up to twelve (12) units/acre. There is no adopted neighborhood plan for this property, however the adopted City Comprehensive Plan designates this site for Government/Institutional/Office. This development proposed thirty-two (32) units over 2.97 acres for a density of 10.77 units/acre. Staff has consistently told the property owner and previous applicants for development that we would only support a density of up to eight (8) units/acre, similar to the density of existing multi-family development west of 30th Avenue. That lower density is also more appropriate abutting the existing single-family development to the east.
5. Staff also has a concern with the massing of the buildings. The proposed buildings are two (2) stories in height with a tall roof that gives the impression of a 3 1/2 story building. Nearly every building in the immediate vicinity is a one-story building, either single-family or non-residential. The Zoning Ordinance, Section 14.07 A.4. states that building size and scale should reflect the physical scale of the surrounding area and of the surrounding buildings.
6. The applicant held a neighborhood meeting on July 21, 2015. Roughly twelve to fifteen (12-15) residents attended. Their concerns ranged from site drainage to the height of the buildings. The applicant addressed those comments at the meeting by indicating the drainage would comply with all City requirements. They may also look at planting some evergreens along the lot line that would someday help to screen the buildings from the residents of the neighborhood.

RECOMMENDATION:

For review and comment only.


Brian Wilke, Development Coordinator

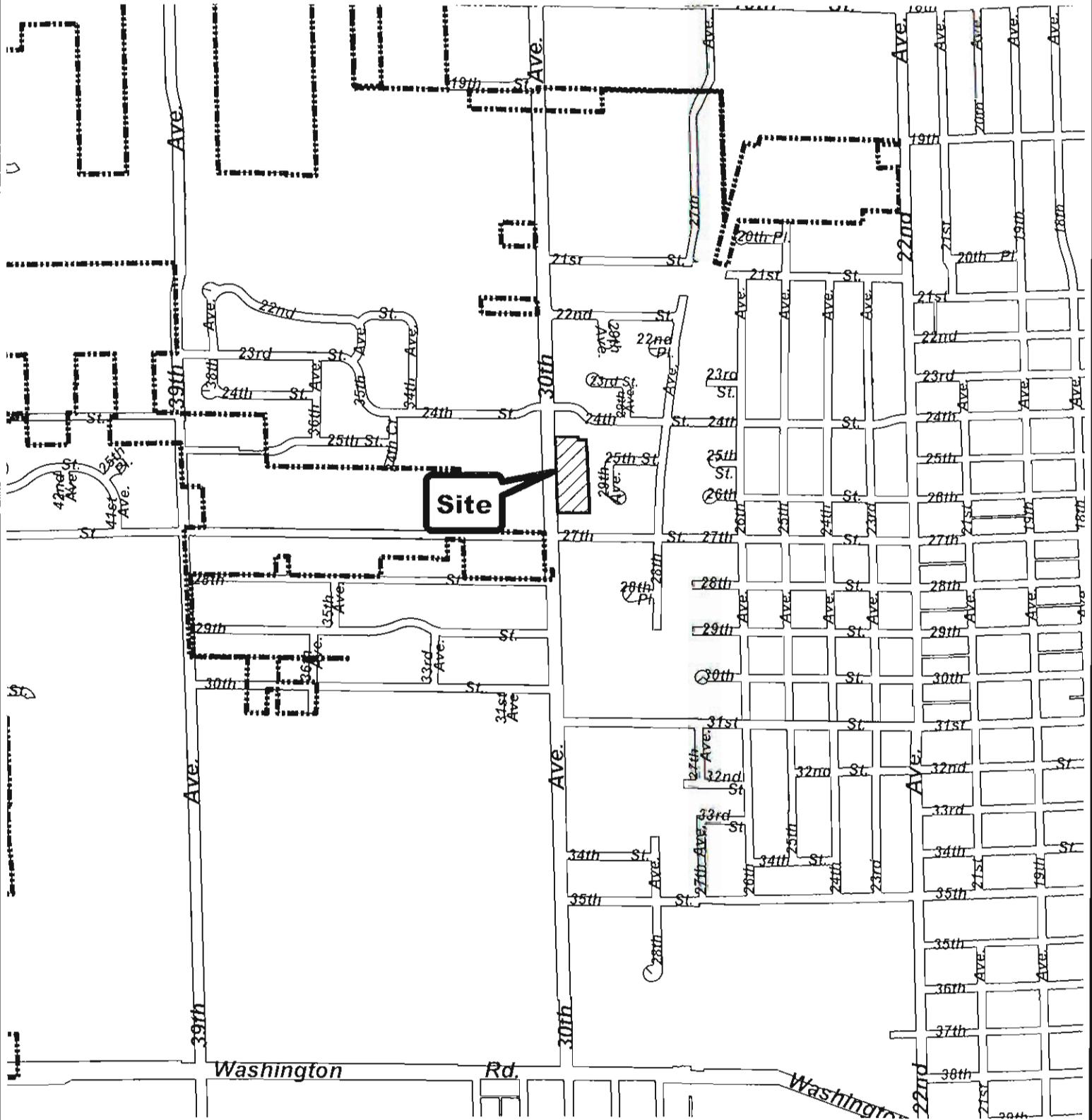
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Jeffrey B. Labahn, Director

City of Kenosha

Vicinity Map

CMJ Development Multi-Family Concept



Site

Washington Rd

Washington

----- Municipal Boundary



0 1,000 Feet



Partners in Design
ARCHITECTS

**Partners in Design
Architects, Inc.**

W I S C O N S I N
600 Fifty Second Street
Suite 220
Kenosha, WI 53140
voice: 262.652.2800
fax: 262.652.2812

I L L I N O I S
2610 Lake Cook Road
Suite 280
Riverwoods, IL 60015
voice: 847.940.0300
fax: 847.940.1045

December 23, 2014

Mr. Brian Wilke
Development Coordinator
625 52nd Street Room 308
Kenosha, WI 53140

Re: CM Development Multi-Family - Concept Review
2501 30th Avenue

Dear Mr. Wilke:

On behalf of my client, CM Development, the attached information is provided for your consideration and review in accordance with requirements outlined in Section 3 of the Development Review Application as it relates to a Concept Review for a Multi-Family Residential project. While it should be noted that we are in the very preliminary stages of conceptualizing the possible development scenarios with this property, we believe you will find all of the necessary information indicating compliance of our conceptual development plans with the requirements of the current zoning ordinance.

The proposed development site is located at 2501 30th Avenue and is approximately 3 acres with a current zoning classification of RM-2. The property is adjacent to B-2 and RS-2 developments as well as across the street from B-2 and RM-2 developments.

Our proposed project is a 32 unit multi-family apartment development comprising a single two-story sixteen unit building and two eight unit buildings that are also two-story. Each building has a corresponding garage structure that will provide one enclosed parking space for each unit.

Although the property is currently zoned appropriately for our proposed development, we recognize that there may be concerns expressed by the neighboring single family residential property owners. We have made several attempts to proactively address a few of the potential concerns with our conceptual plan:

1. Based on input to date, we are proposing a density of 10.6 units per acre in lieu of the 12 units per acre allowed under the current zoning classification.
2. Both 8-unit buildings along 30th Avenue have been rotated to provide some visual relief to the single family residential property to the north end as well as the commercial building to the south.
3. Single story garage structures have been placed along the east property line to act as an additional buffer, over and above the landscape screening, to the single family residential properties to the east of our proposed development.
4. The architectural expression and suggested exterior facade materials for each of the buildings are intended to provide a residential feel and pedestrian scale to the buildings.

December 23, 2015

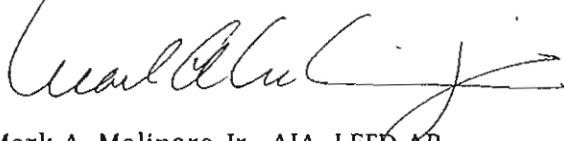
Partners in Design
Architects, Inc.

5. The site layout provides significant greenspace throughout the property and specifically along 30th Avenue.

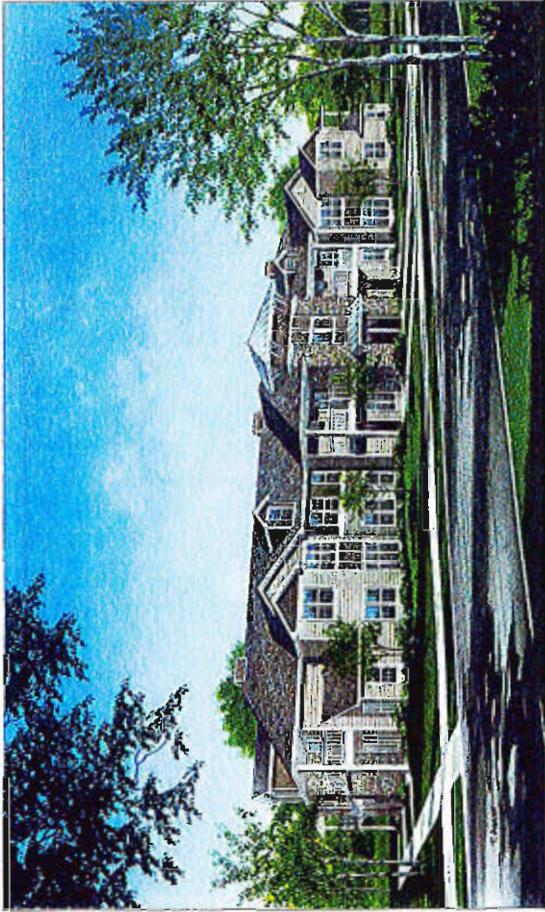
We have reached out to Council Member LaMacchia to make him aware of our proposed development and have shared a copy of this submittal package with him. Additionally, we will schedule a neighborhood meeting prior to moving forward with formal submittals should we determine the project is feasible.

Please do not hesitate to give me a call with any questions.

Sincerely,

A handwritten signature in black ink, appearing to read 'Mark A. Molinaro Jr.', with a long, sweeping horizontal stroke at the end.

Mark A. Molinaro Jr., AIA, LEED AP



CM DEVELOPMENT MULTI-FAMILY

2501 30th AVENUE
KENOSHA, WISCONSIN

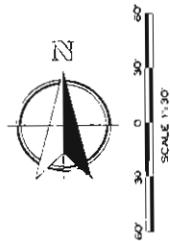
CONCEPT PLAN REVIEW SUBMITTAL
12.23.14

<p>PROJECT DATA</p> <p>PROJECT LOCATION: 2501 30th Avenue, Kenosha, WI 53142</p> <p>CLIENT: CM DEVELOPMENT</p> <p>DATE: 12.23.14</p> <p>PROJECT NO: 252.14.119</p>	<p>GENERAL NOTES</p> <ol style="list-style-type: none"> 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF KENOSHA ZONING ORDINANCE AND ALL APPLICABLE ORDINANCES. 2. THE DEVELOPER SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF KENOSHA. 3. THE DEVELOPER SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES. 4. THE DEVELOPER SHALL MAINTAIN ALL UTILITIES AND SERVICES IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS. 5. THE DEVELOPER SHALL MAINTAIN ALL EXISTING UTILITIES AND SERVICES IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS. 6. THE DEVELOPER SHALL MAINTAIN ALL EXISTING UTILITIES AND SERVICES IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS. 7. THE DEVELOPER SHALL MAINTAIN ALL EXISTING UTILITIES AND SERVICES IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS. 8. THE DEVELOPER SHALL MAINTAIN ALL EXISTING UTILITIES AND SERVICES IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS. 9. THE DEVELOPER SHALL MAINTAIN ALL EXISTING UTILITIES AND SERVICES IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS. 10. THE DEVELOPER SHALL MAINTAIN ALL EXISTING UTILITIES AND SERVICES IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS. 	<p>PROJECT DATA</p> <p>PROJECT LOCATION: 2501 30th Avenue, Kenosha, WI 53142</p> <p>CLIENT: CM DEVELOPMENT</p> <p>DATE: 12.23.14</p> <p>PROJECT NO: 252.14.119</p>	<p>PROJECT DATA</p> <p>PROJECT LOCATION: 2501 30th Avenue, Kenosha, WI 53142</p> <p>CLIENT: CM DEVELOPMENT</p> <p>DATE: 12.23.14</p> <p>PROJECT NO: 252.14.119</p>	<p>GENERAL NOTES</p> <ol style="list-style-type: none"> 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF KENOSHA ZONING ORDINANCE AND ALL APPLICABLE ORDINANCES. 2. THE DEVELOPER SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF KENOSHA. 3. THE DEVELOPER SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES. 4. THE DEVELOPER SHALL MAINTAIN ALL UTILITIES AND SERVICES IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS. 5. THE DEVELOPER SHALL MAINTAIN ALL EXISTING UTILITIES AND SERVICES IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS. 6. THE DEVELOPER SHALL MAINTAIN ALL EXISTING UTILITIES AND SERVICES IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS. 7. THE DEVELOPER SHALL MAINTAIN ALL EXISTING UTILITIES AND SERVICES IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS. 8. THE DEVELOPER SHALL MAINTAIN ALL EXISTING UTILITIES AND SERVICES IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS. 9. THE DEVELOPER SHALL MAINTAIN ALL EXISTING UTILITIES AND SERVICES IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS. 10. THE DEVELOPER SHALL MAINTAIN ALL EXISTING UTILITIES AND SERVICES IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS. 	<p>PROJECT DATA</p> <p>PROJECT LOCATION: 2501 30th Avenue, Kenosha, WI 53142</p> <p>CLIENT: CM DEVELOPMENT</p> <p>DATE: 12.23.14</p> <p>PROJECT NO: 252.14.119</p>
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GRADING AND EROSION CONTROL LEGEND

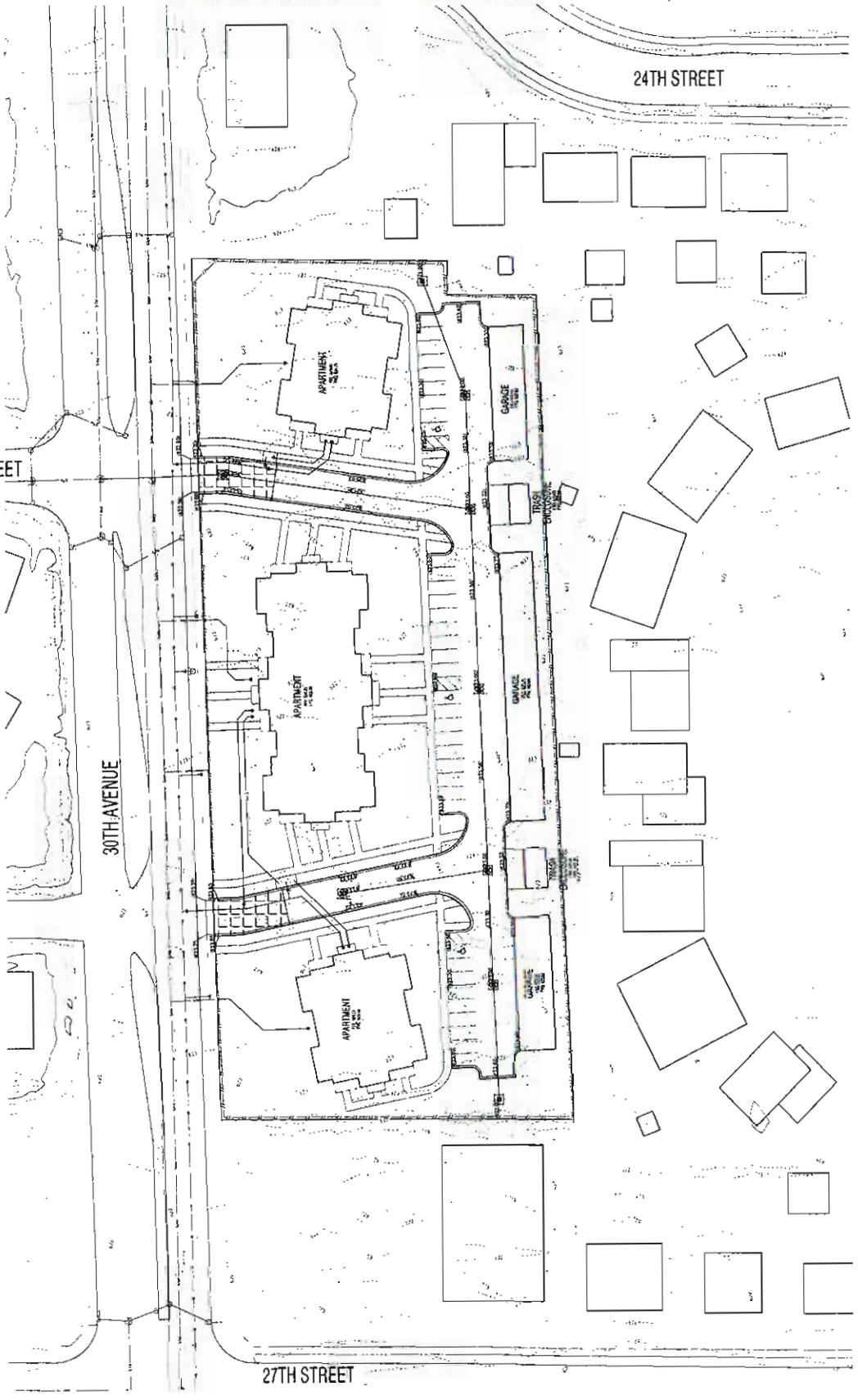
- 682 EXISTING CONTOURS
- 702— PROPOSED CONTOURS
- 608.80 STORM INLET PROTECTION
- SPDT GRADES PROPOSED FINISHED
- SILT FENCE
- DRAINAGE FLOWS

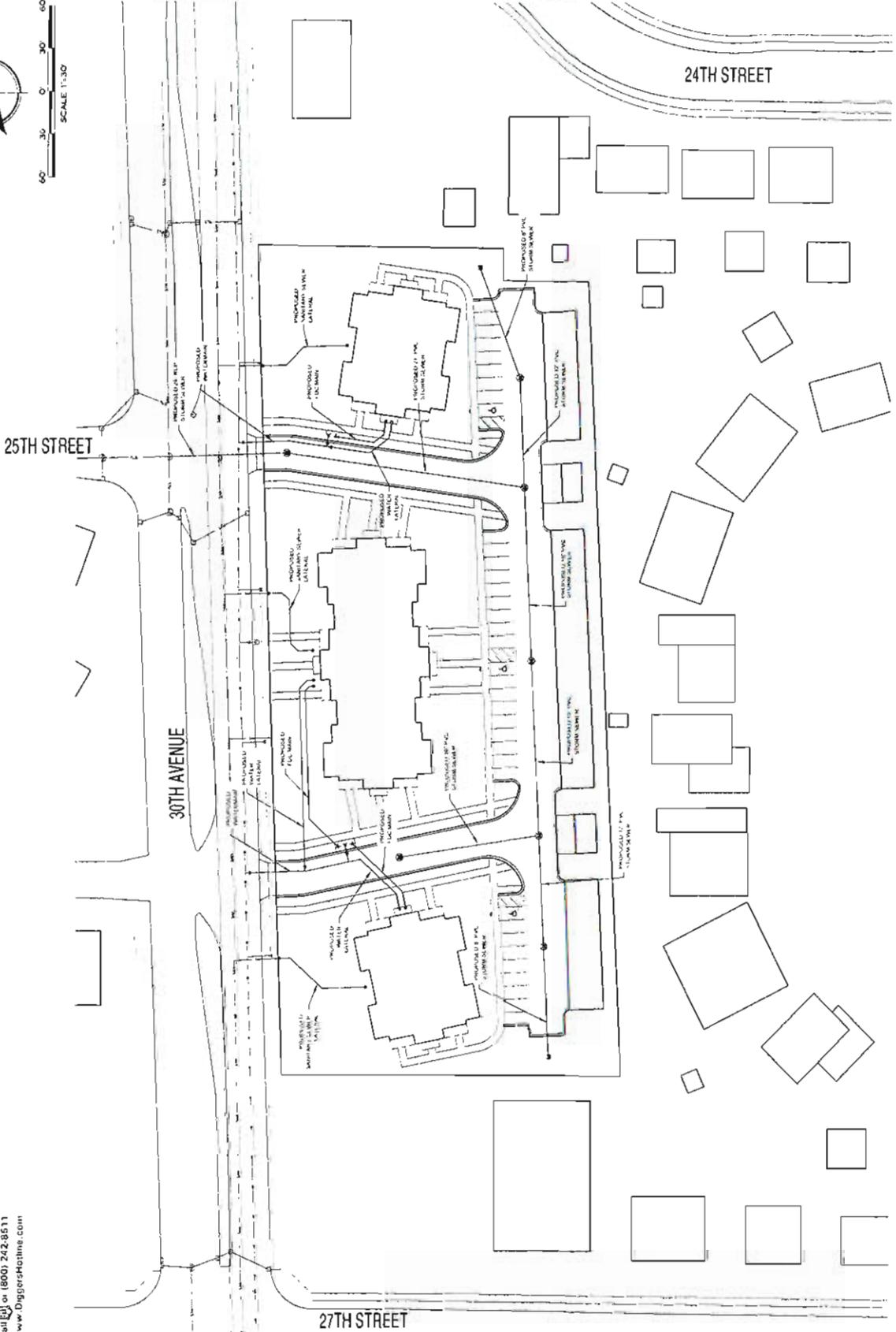
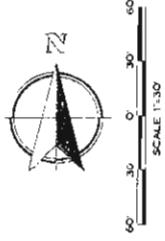
DIGGERS ONLINE
 Call (800) 242-8511
 www.DiggersOnline.com



C-10
 DATE 07/24/14
 DRAWN BY AJU
 CHECKED BY PDE
 PROJECT NO. 2004-01021
 1525 Horizon Blvd Suite 200 Raleigh, NC 27608
 148 (252) 854-5554
 FAX (252) 854-5024
 nielsenmadsen.com
Nielsen Madsen & Barber SC
 Civil Engineers and Land Surveyors

mb
 CM DEVELOPMENT MULTI-FAMILY
 2501 30TH AVENUE, KENNESAW, WA
 GRADING AND EROSION CONTROL PLAN





Call (800) 242-8511
 www.DiggersHotline.com

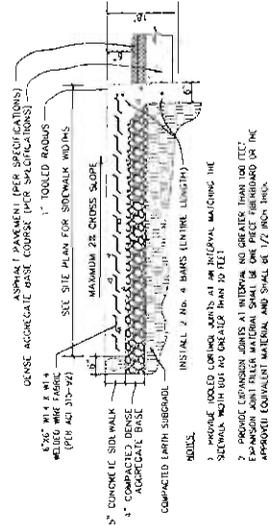
DATE	DESCRIPTION

CM DEVELOPMENT MULTIMEDIA
 2000 WEST KENTON AVENUE
 KENTON, KY 40150
 (502) 261-1111
 WWW.CMDEV.COM

mb
 Nielsen Madsen Barber S.C.
 Civil Engineers and Land Surveyors
 1255 HAZARD BLD SURVEYORS BLDG
 KENTON, KY 40150
 (502) 261-1111
 WWW.NMBSC.COM

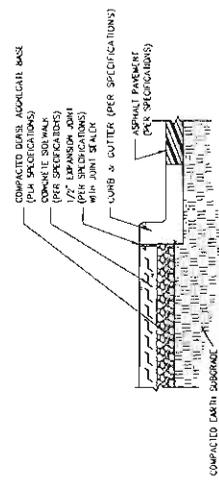
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 SHEET NO. 102
 DATE 02/24/14

CAD

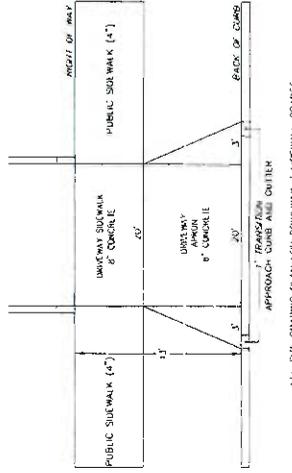


1 INTEGRAL CONCRETE SIDEWALK / BARRIER CURB
 (TYPICAL SECTION)
 NOT TO SCALE

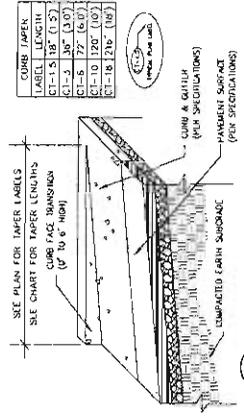
1. MOUNTABLE CURB SHALL BE 4\"/>



2 SIDEWALK ADJACENT TO CURB
 EXPANSION JOINT DETAIL
 NOT TO SCALE

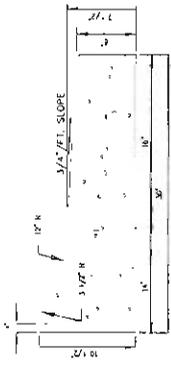


3 ENTRANCE DRIVE APPROACH
 PLAN VIEW
 (APPROACH APPROX. AND ADJACENT SIDEWALKS WITHIN PUBLIC RIGHT-OF-WAY)
 NOT TO SCALE



4 CURB TAPER DETAIL
 NOT TO SCALE

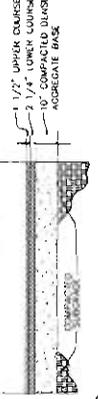
- | CURB TAPER LABEL LENGTH |
|-------------------------|
| C-1-15 (1.5') |
| C-2 (2') |
| C-3-10 (3.0') |
| C-4-10 (4.0') |
| C-5-10 (5.0') |
| C-6-10 (6.0') |
| C-7-10 (7.0') |
| C-8-10 (8.0') |
| C-9-10 (9.0') |
| C-10 (10') |
1. CURB & GUTTER (PER SPECIFICATIONS)
 2. PAVEMENT SURFACE (PER SPECIFICATIONS)
 3. COMPACTED FIBER SURFACE (PER SPECIFICATIONS)



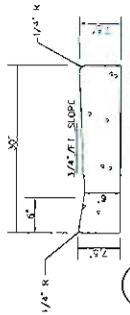
**5 3\"/>
 MOUNTABLE/REJECTING 30\"/>
 CONCRETE CURB AND GUTTER
 NOT TO SCALE**

Call us at (800) 242-8511
 www.DiggersHotline.com

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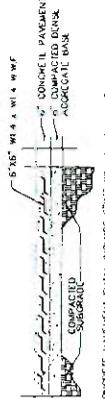


6 ASPHALT PAVEMENT SECTION
 NOT TO SCALE



7 DRIVEWAY ENTRANCE CURB AND GUTTER
 NOT TO SCALE

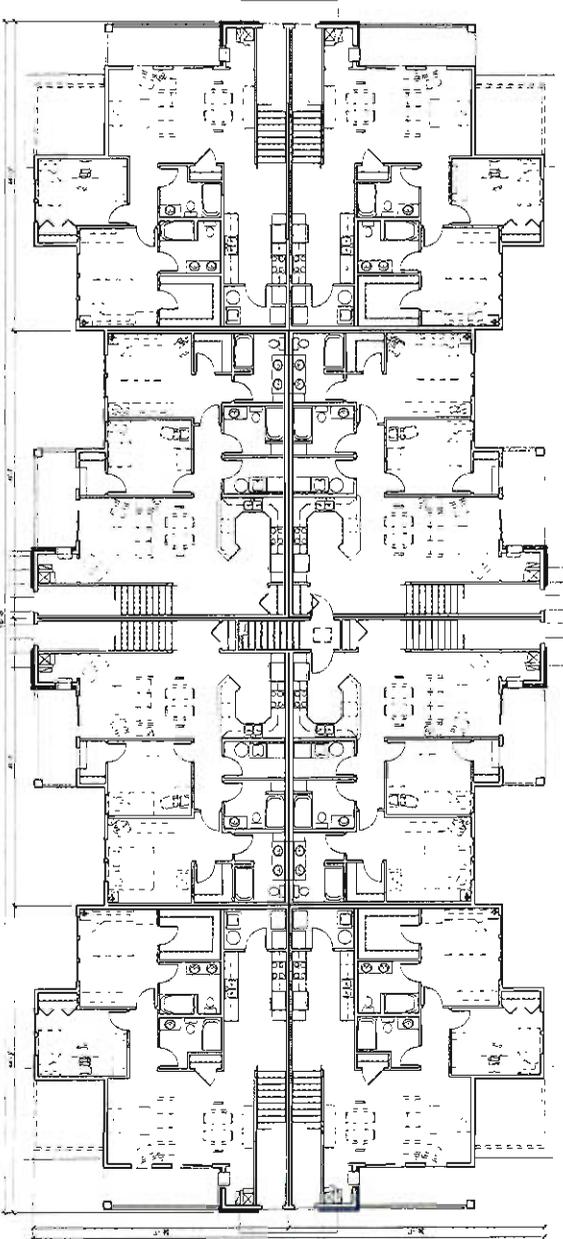
1. PAVEMENT SECTION (TYPICAL)
2. CONCRETE PAVEMENT (PER SECTION AND OF THE STATE SPECIFICATIONS)
3. ALL CONCRETE SHALL BE GRADE A-1-A, AIR-ENHANCED, 8-1/2\"/>



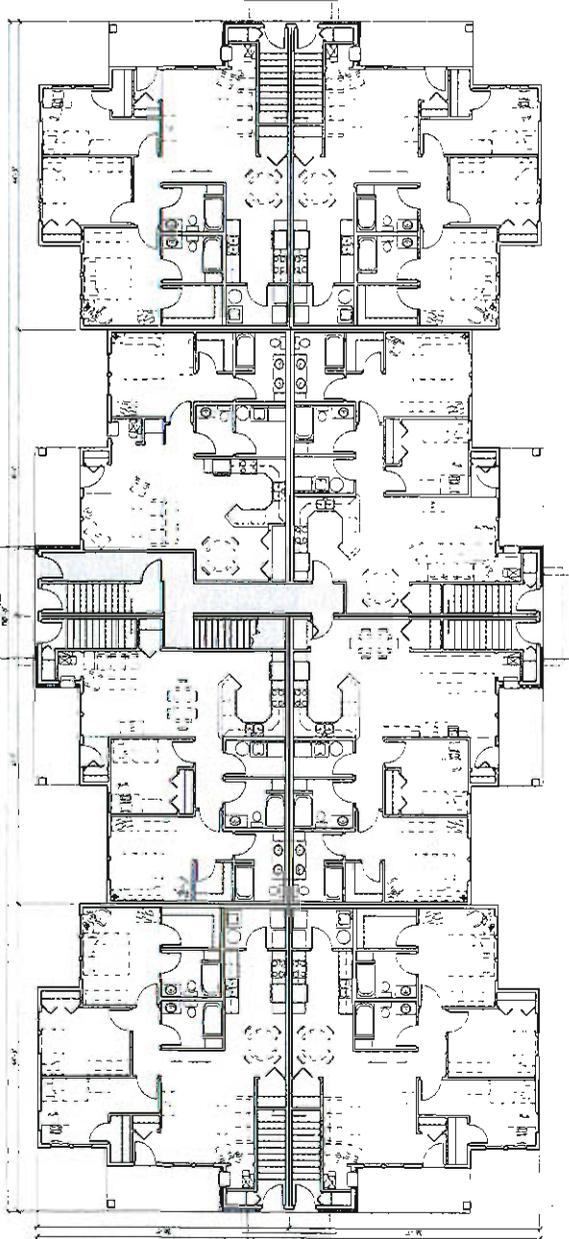
8 CONCRETE PAVEMENT SECTION
 NOT TO SCALE

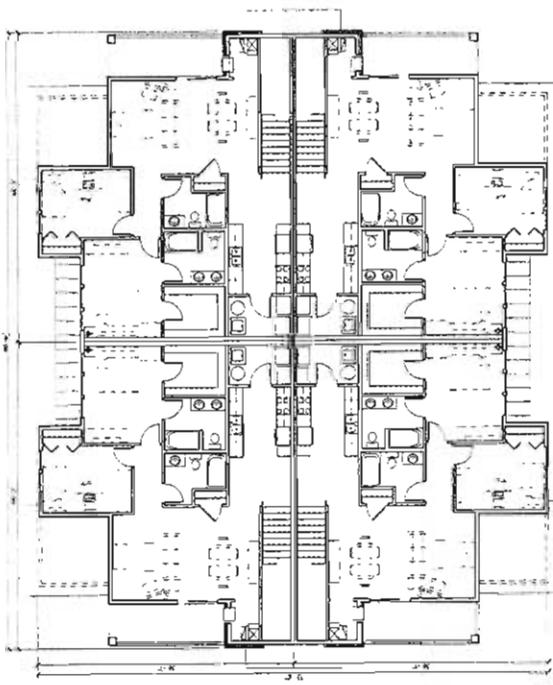
1. CONCRETE PAVEMENT SHALL INCLUDE 6\"/>

16 UNIT SECOND FLOOR PLAN
 1/8" = 1'-0"
 2

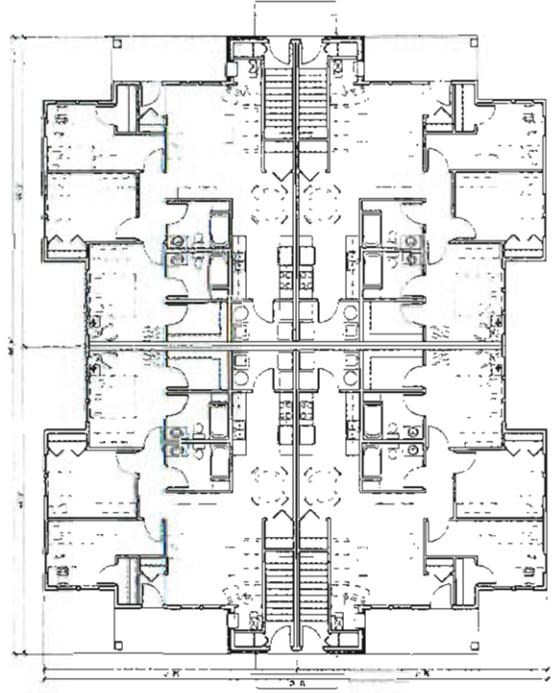


16 UNIT FIRST FLOOR PLAN
 1/8" = 1'-0"
 1

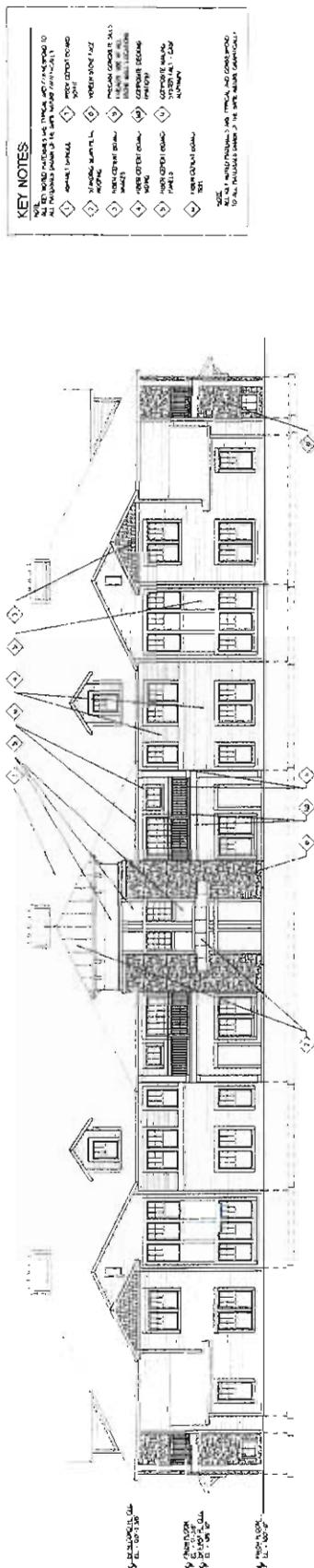




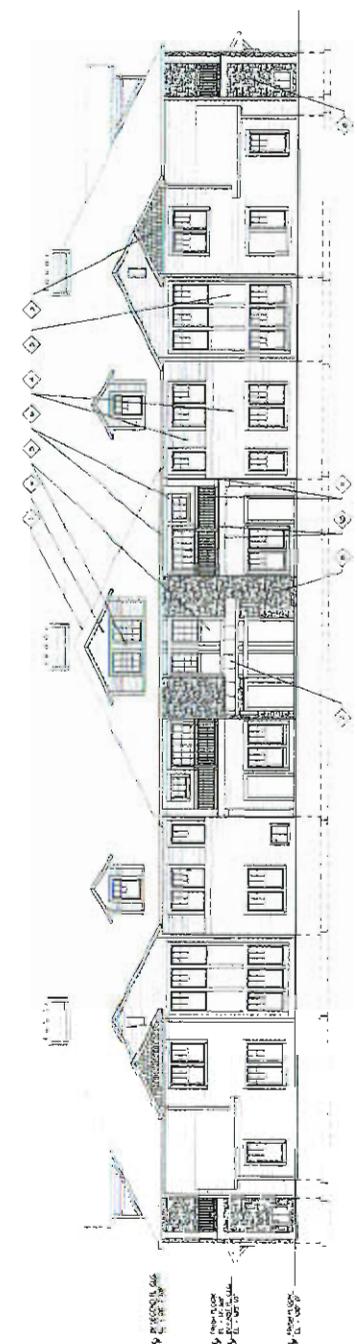
2. 8 UNIT SECOND FLOOR PLAN
 1/8" = 1'-0"



1. 8 UNIT FIRST FLOOR PLAN
 1/8" = 1'-0"



16 UNIT WEST ELEVATION
 1/8" = 1'-0"



16 UNIT EAST ELEVATION
 1/8" = 1'-0"

- KEY NOTES:**
- 1. ALL FINISHES TO BE AS SHOWN UNLESS NOTED OTHERWISE.
 - 2. ALL MATERIALS TO BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
 - 3. ALL MATERIALS TO BE MATCHED TO EXISTING MATERIALS.
 - 4. ALL MATERIALS TO BE MATCHED TO EXISTING MATERIALS.
 - 5. ALL MATERIALS TO BE MATCHED TO EXISTING MATERIALS.
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 - 18. ALL MATERIALS TO BE MATCHED TO EXISTING MATERIALS.
 - 19. ALL MATERIALS TO BE MATCHED TO EXISTING MATERIALS.
 - 20. ALL MATERIALS TO BE MATCHED TO EXISTING MATERIALS.

Thursday, September 24, 2015 at 5:00 pm
Municipal Building
625 52nd Street - Room 202 - Kenosha, WI 53140

Conditional Use Permit for a new car wash to be located at 2918 Washington Road. (All Star Car Wash) (District 5) PUBLIC HEARING

NOTIFICATIONS AND APPROVAL REQUIREMENTS:

Aldersperson LaMacchia, District 5, has been notified. Aldersperson Kennedy was also notified as his district is within 100 feet of the proposed site. The City Plan Commission is the final review authority.

LOCATION AND ANALYSIS:

Site: 2918 Washington Road

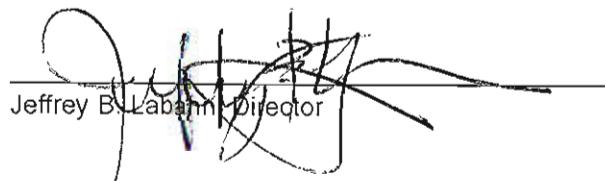
1. The applicant has submitted the attached plans to construct a new automated car wash on property at 2918 Washington Road. The existing building would be razed to make room for the new car wash.
2. The exterior materials would be a combination of split-faced concrete masonry units and stone sills. The roof would be a metal seam roof.
3. Cars will enter from the north end of the building and exit on the south end of the building. The existing drive openings on Washington Road will be modified to close the westernmost opening closest to 30th Avenue and instead have two (2) drive openings further east on the property. Both drive openings will be one-way traffic with easternmost drive opening as an exit-only. The easternmost drive opening will match with the existing median opening in Washington Road. The westernmost drive opening will be an enter-only. The existing drive opening on 30th Avenue will remain as is.
4. The site will also have several parking spaces for auto vacuum stations.
5. Additional landscape buffer areas and a three (3') foot tall wrought-iron fence are being added along the 30th Avenue and Washington Road frontages. The balance of the site will remain the same.
6. The plans were sent to City Departments for their review. Their comments are included in the attached Conditions of Approval.
7. The plans generally comply with Sections 4 and 14 of the Zoning Ordinance.

RECOMMENDATION:

A recommendation is made to approve the Conditional Use Permit, subject to the attached Conditions of Approval.



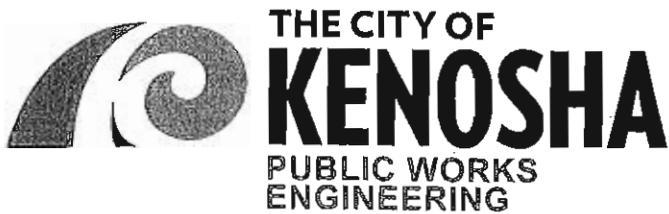
Brian Wilke, Development Coordinator



Jeffrey B. Labahn, Director

1. The following Conditions of Approval will run with the land and shall be included in a document recorded with the Kenosha County Register of Deeds:
 - a. The applicant shall obtain all required construction permits from the Department of Community Development & Inspections. This includes, but is not limited to Raze, Erosion Control, Building, Plumbing, Electrical and Occupancy permits.
 - b. The applicant shall obtain Driveway, Sidewalk, Street Opening and Parking Lot permits from the Department of Public Works.
 - c. All signs shall comply with Chapter 15 of the Code of General Ordinances and the applicant shall obtain sign permits for all new signs. A separate submission and permits are required for all signs. Sign information provided under the Conditional Use Permit is for reference only and does not constitute sign permit approval. The existing free standing sign shall either be removed or relocated to a location on the site in compliance with Chapter 15 of the Code of General Ordinances prior to the issuance of any Occupancy Permit.
 - d. The development shall be constructed per the approved plans on file with the Department of Community Development & Inspections, Room 308, 625 52nd Street, Kenosha, WI 53140. Any changes to the approved plans shall require an amendment to the Conditional Use Permit. All changes shall be submitted to the Department of Community Development & Inspections for review and approval.
 - e. Prior to the issuance of any Occupancy permits, all parking areas, drives and designated paved areas shall have the initial lift of asphalt installed. The building exterior shall be completed per the approved plans, the exterior lighting shall be installed and the Conditional Use Permit shall be recorded with the Kenosha County Register of Deeds. All improvements indicated on the plans, including landscaping, shall be installed prior to the issuance of a final Occupancy permit. The recording fees for the Conditional Use Permit shall be submitted by the applicant.
 - f. Compliance with City and State and/or Federal Codes and Ordinances. The buildings shall comply with the current Code standards in effect upon application for a building permit.
 - g. All roof top mechanicals shall be properly screened per Section 14.07 B.10 of the Zoning Ordinance.
 - h. All trash containers shall be stored within the enclosure or building. The applicant/owner shall be responsible for waste collection and removal for the development. The City of Kenosha shall not provide waste collection or removal services or incur any cost in this regard.
 - i. The applicant shall meet all applicable Conditions of Approval and obtain a building permit within twelve (12) months of City Plan Commission approval of the Conditional Use Permit or the Conditional Use Permit shall be null and void.
 - j. Outdoor display of products is prohibited.
 - k. All vehicles shall be parked within the designated paved areas.

- l. All improvements, including landscaping, shall be maintained per the approved plans. Any damaged fencing, landscaping or building shall be replaced or reconstructed per the approved plans.
 - m. Cross access shall be provided to adjacent parcels if required at a future date by the City.
 - n. Compliance with the Operational Plan.
 - o. Compliance with the Noise Control Ordinance, Chapter XXIII of the Code of General Ordinances.
 - p. Prior to final Occupancy of the building, the applicant shall provide an electronic copy of the following information to the Fire Prevention Bureau:
 - i. Site Plan as-built
 - ii. Floor Plan as-built
 - iii. Site Utilities
 - iv. Sprinkler Plans
 - v. Fire Alarm Plans
2. The following conditions of approval shall be satisfied with City Staff prior to the issuance of any construction permits.
 - a. The Drainage Plan shall be revised and resubmitted for review and approval addressing comments listed in the Public Works memo dated September 16, 2015.
 - b. A Parcel Combination shall be recorded prior to the issuance of a Footing and Foundation permit.
 - c. Detail on a gated wood or masonry trash enclosure shall be submitted for review and approval, including location on site, if applicable.
 - d. The Fire Prevention Bureau must review and permit Fire Sprinkler and Fire Alarm plans. A Knox Box is required per Ordinance.
 - e. A Cross Access drive shall be constructed to the north lot line along the lot line which abuts the Springwood Cafe.
 - f. If the balance of the existing site is proposed to be used for automotive sales or any use other than customer parking, that shall be indicated on the Site Plan.
 - g. The Operational Plan shall indicate how snow and ice will be controlled on the site.
 - h. Landscape Plan Page L1 shall clarify that the three (3') foot tall wrought-iron fence will be installed along both the 30th Avenue and Washington Road frontages.



TO: Brian Wilke, Development Coordinator

FROM: Shelly Billingsley, P.E.
City Engineer

Shelly Billingsley
CMA
9-16-15

Date: September 16, 2015
Subject: PLAN REVIEW COMMENTS
Project Description: All-Star Car Wash (Review #2)
Location: 2918 Washington Road

Our staff has reviewed the plans for this project. The following comments are provided:

Parking Lot Ordinance Compliance	Sufficient	Deficient	Not Applicable
Parking Lot Paved	X		
Standard Stall Width	X		
Parking Lot Layout	X		
Parking Lot Lighting Shown		X	
Parking Lot Lighting Adequate		X	
Handicapped Parking	X		
Driveway Locations	X		
Driveway Width	X		
Passing Blister or Accel/Decel Lanes			X
Sidewalks Adequate	X		
Drive Thru Lane Design	X		

Public Streets	Sufficient	Deficient	Not Applicable
Geometric Design			X
Pavement Width			X
Pavement Thickness Design			X
Established Grades			X
Plan Details		X	
Sidewalks			X
Street Lights			X

Site Grading/Drainage	Sufficient	Deficient	Not Applicable
Drainage Plan	X		
Storm Sewer	X		
Storm Water Detention	VERIFY UNDER 1 ACRE		
Drainage Calculations			X

Project Approval/Permits Needed	Yes	No	Not Applicable
Project Approved for Permitting		X	
Withhold Permits: See Comments	X		
Approve Footing/ Foundation Only (per condition)			X
Parking Lot Permit Required	X		
Driveway Permits Required	X		
Sidewalk Permit Required	X		
Street Opening Permit Required	X		
Stormwater Management Permit Required	VERIFY UNDER 1 ACRE		
Erosion Control Permit Required	X		

Grading & Drainage Comments:

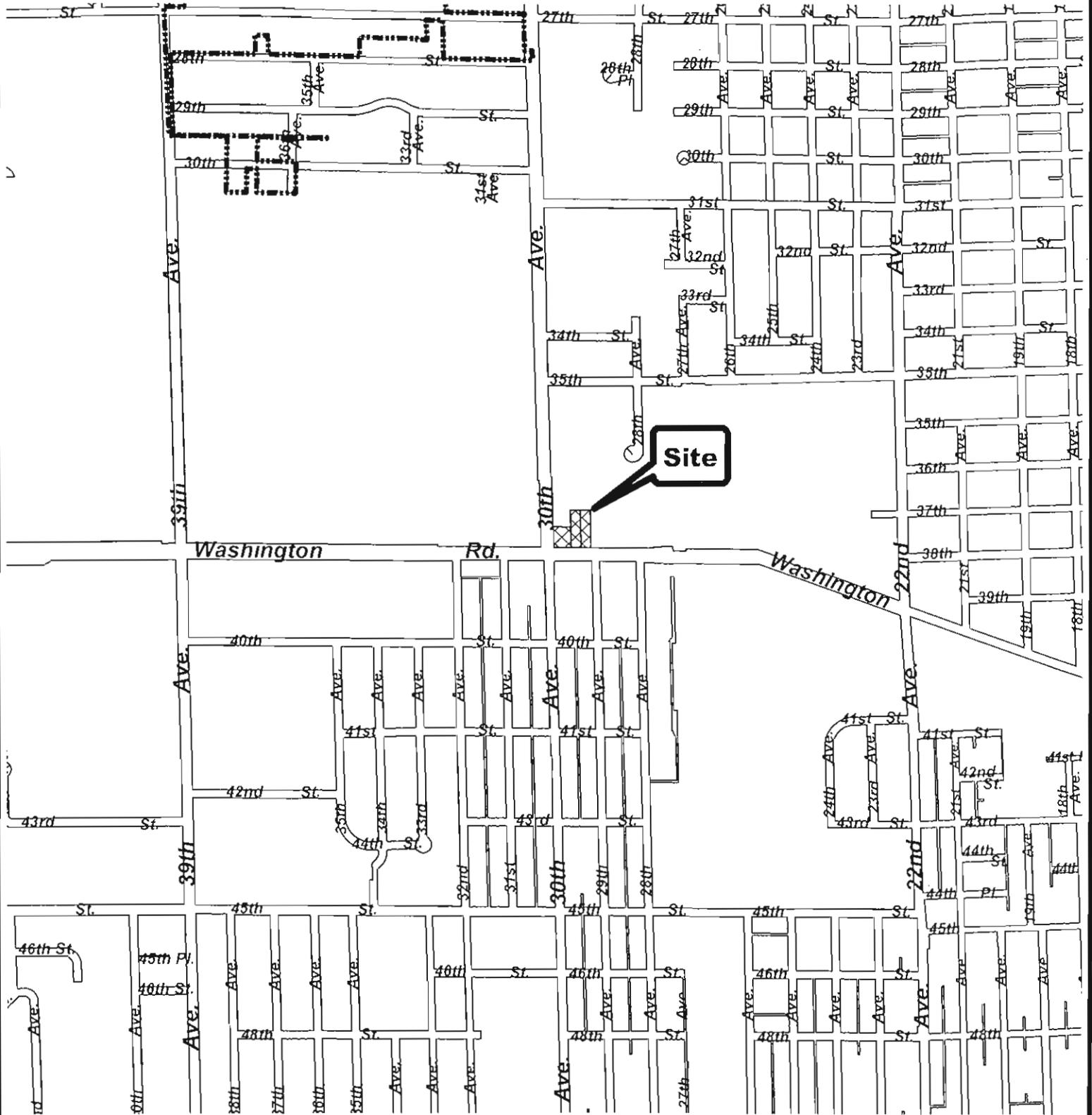
1. Show total disturbed area, old impervious area, and new impervious area. If over 1 acre storm water criteria is effective.
2. The erosion control plans were not reviewed as a part of the CUP process. They will be reviewed when an erosion control permit application is submitted to the City.

Traffic Comments:

1. Sheet C-4, for west most driveway, show remove existing driveway gutter and on sheet C-5 show replace with proposed curb and gutter matching existing.
2. Sheet C-4, at the location of the west most proposed new driveway show removal of curb and gutter, trees, interior parkway landscaping and curb head and in association to this driveway on sheet C-5 install new gutter at driveway entrance.
3. Sheet C-4, for east most existing driveway show removal of driveway gutter and curb and gutter that does not match proposed new driveway location and on sheet C-5 show construction of new gutter for driveway and new curb and gutter to match proposed driveway alterations back into existing.
4. Sheet C-5, between the 2 new driveways, the interior parkway curbing is missing as shown on Sheet L1.
5. Sheet C-4, for west most driveway entrance show removal of interior parkway curb radius and on sheet C-5, note new curb to be placed across removed driveway entrance.
6. Sheet L2 and C-9 do not agree in ADA Sign Detail. Detail shown on C-9 is what City typically uses.
7. Sheet A2, front and rear personnel doors need to have sloped concrete entrance to comply with ADA requirements.
8. Sheet L1, will there be supplemental signing to guide patrons to correct exit and entrance locations?
9. Sheet L1, east of the east most driveway is shown an interior parkway with curb, on C-5 this is not shown, please clarify.
10. Need photometric plan showing how existing site lighting in combination with any new lighting will work for the new site improvements.

cc: Cathy Austin; Greg Holverson; Kile Kuhlmeier; Gerard Koehler

City of Kenosha
Vicinity Map
All-Star Car Wash CUP



0 1,000 Feet

To whom it may concern:

RE: Operational Plan

I Aqueel Ahmed owner of 2918 Washington Rd Kenosha WI. Is verifying that our Hours of operation for this site will be Mon- Sat 7AM to & 7PM, And Sundays will be from 8AM to 5PM. We are planning to have six staff members. Four employees will be full time and two employees will be part time.

The trash will be picked up twice a week during business hours by Advance Disposal. Any Debris on our property will be accessed and cleaned by our stuff on daily basis.

Thanks

A handwritten signature in black ink, appearing to read 'Aqueel Ahmed', with a long horizontal stroke extending to the right.

Aqueel Ahmed

2918 Washington Kenosha WI.

773-895-8989

**Development Review Application
City of Kenosha, Wisconsin**

MAILING INFORMATION

NAME OF PROJECT: CARWASH

Check one (1) of the following boxes to indicate the recipient of all correspondence:

<input checked="" type="radio"/>	Name and Address of Applicant (Please print): <u>AQUEEL AHMED</u> <u>2911 75TH ST KENOSHA WI 53143</u>	Phone: <u>773-895-8989</u> Fax: _____ E-Mail: <u>8958989@GMAIL.COM</u>
<input type="radio"/>	Name and Address of Architect/Engineer (Please print): <u>JEF & ASSOCIATES LLC- 319 W ERJE SUITE 1E CHICAGO IL 60654</u> <u>CLARK DIETZ ENGINEERS 5017 GREEN BAY RD KENOSHA WI 53144</u>	Phone: <u>312-258-0800</u> Fax: _____ E-Mail: <u>FFAJARDO@SBCGLOBAL.NET</u>
<input type="radio"/>	Name and Address of Property Owner (if other than applicant)(Please print): <u>PV INVESTMENTS</u> <u>2918 WASHINGTON RD KENOSHA WI 53143</u>	Phone: <u>262-515-4601</u> Fax: _____ E-Mail: _____

PROJECT LOCATION

Location of Development (street address and / or parcel number): 2918 WASHINGTON ROAD KENOSHA WI 53140
07-222-25-153-012, 07-222-25-153-008, 07-222-25-153-007

TYPE OF LAND DEVELOPMENT

Check all that apply. Note: Additional information may be required within individual Sections.

<input type="checkbox"/>	Certified Survey Map	Section 1	Page 3
<input type="checkbox"/>	Concept Review (<i>Land Division</i>)	Section 2	Page 4
<input type="checkbox"/>	Concept Review (Multi-Family Residential or Non-Residential)	Section 3	Page 5
<input checked="" type="checkbox"/>	Conditional Use Permit	Section 4	Pages 6 & 7
<input type="checkbox"/>	Developer's Agreement	Section 5	Page 8
<input type="checkbox"/>	Final Plat	Section 6	Pages 9 & 10
<input type="checkbox"/>	Lot Line Adjustment Survey	Section 7	Page 11
<input type="checkbox"/>	Preliminary Plat	Section 8	Pages 12 & 13
<input type="checkbox"/>	Rezoning	Section 9	Pages 14 & 15
<input type="checkbox"/>	Site Plan Review	Section 10	Pages 16 & 17

**PRIOR TO SUBMITTING THIS APPLICATION TO THE DEPARTMENT OF CITY DEVELOPMENT,
PLEASE REVIEW THE APPROPRIATE SECTION(S) FOR FEES, REQUIREMENTS AND APPROPRIATE APPENDICES.**

*Submit this cover page, completed application, applicable section(s) and appendices
along with ALL required plans, information and fees to:*

Department of Community Development & Inspections
Planning Division
625 52nd Street, Room 308
Kenosha, WI 53140

Phone: 262.653.4030
Fax: 262.653.4045

Office Hours:
M - F 8:00 am - 4:30 pm

NEW CAR WASH FACILITIES

2918 WASHINGTON ROAD, KENOSHA, WIS.

JEF + Associates LLC.

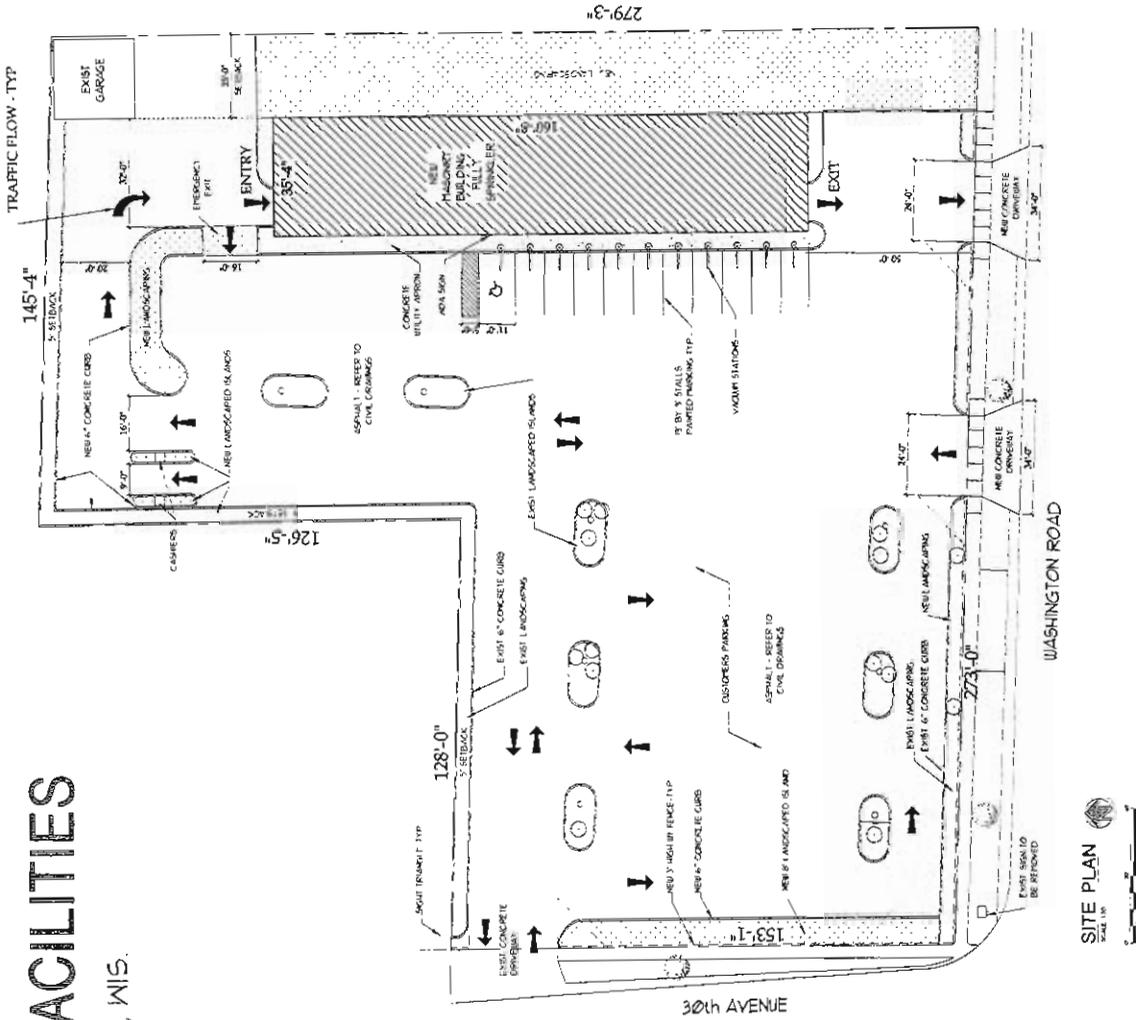
2918 WASHINGTON ROAD, KENOSHA, WIS. 53142

GENERAL NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF KENOSHA, WISCONSIN, ORDINANCES AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF KENOSHA, WISCONSIN, ORDINANCES AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES.
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF KENOSHA, WISCONSIN, ORDINANCES AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES.
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CRAWLING INDEX

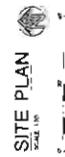
1. COVER SHEET AND SITE PLAN
2. EXISTING CONDITIONS
3. PROPOSED CONDITIONS
4. CONSTRUCTION DETAILS
5. CONSTRUCTION DETAILS
6. CONSTRUCTION DETAILS



TRAFFIC FLOW - TYP



DATE: 07/05



SITE PLAN
SCALE: 1/8\"/>

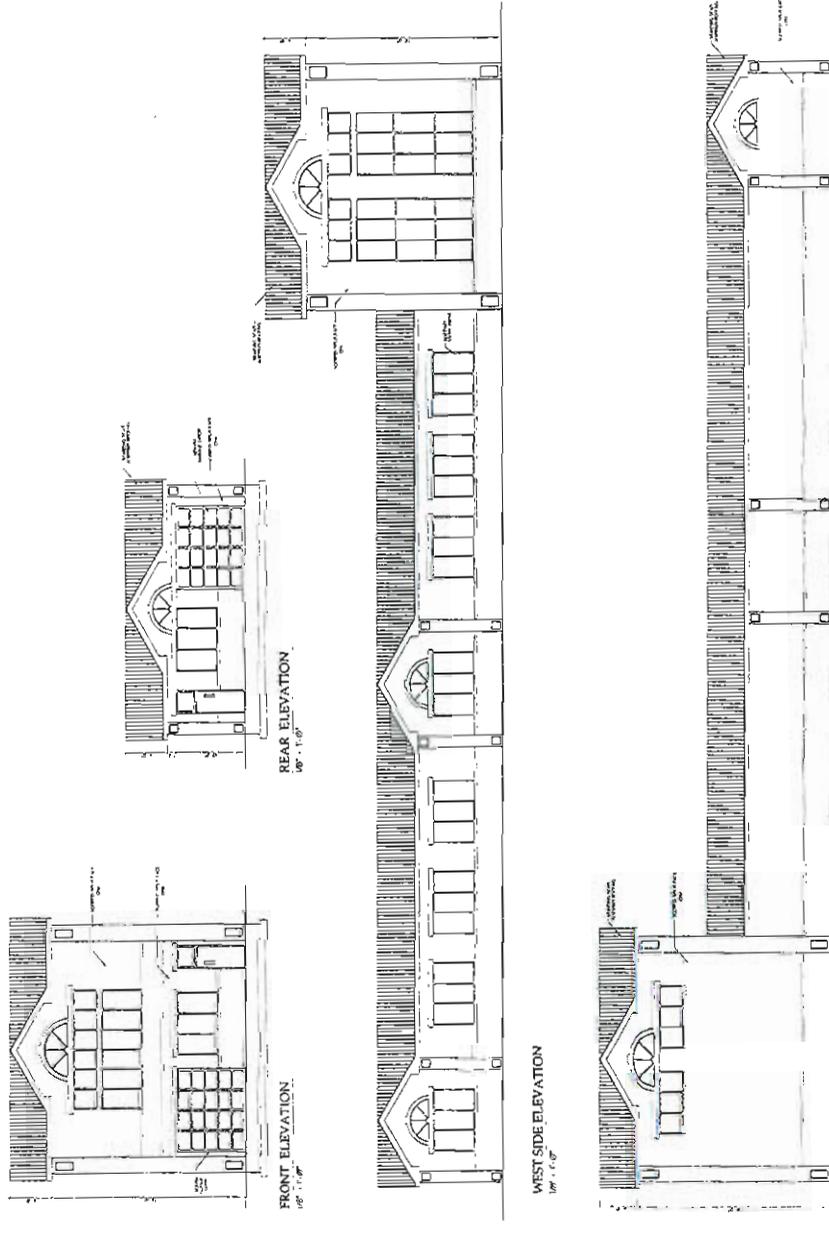
CONTRACTOR'S NOTE: THESE ELEVATIONS ARE PRELIMINARY AND SUBJECT TO CHANGE WITHOUT NOTICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE PRIOR TO CONSTRUCTION.

NEW CAR WASH FACILITIES
 722 WASHINGTON ROAD
 KENOSHA COUNTY WIS

Jef + Brackett Inc
 ARCHITECTS
 2100 W. WASHINGTON
 KENOSHA, WISCONSIN 53140
 TEL: 931-774-4000 FAX: 931-774-4001
 Email: jbrackett@jbrackett.com



PROJECT NO.	SHEET NO.
	A2
DATE	DATE



FRONT ELEVATION
1/8" = 1'-0"

REAR ELEVATION
1/8" = 1'-0"

WEST SIDE ELEVATION
1/8" = 1'-0"

EAST SIDE ELEVATION
1/8" = 1'-0"









Thursday, September 24, 2015 at 5:00 pm
Municipal Building
625 52nd Street - Room 202 - Kenosha, WI 53140

Request to Amend the Conditional Use Permit for a 60-unit multiple-family residential development at 5815 5th Avenue. (5th Avenue Lofts) (District 2) PUBLIC HEARING

NOTIFICATIONS AND APPROVAL REQUIREMENTS:

Aldersperson Jenkins, District 2, has been notified. The City Plan Commission is the final review authority.

LOCATION AND ANALYSIS:

Site: 5815 5th Avenue **Zoned:** B-4 Mixed-Use District

1. On November 3, 2014, the Common Council approved Phase I of the 5th Avenue Lofts Project, a sixty (60) unit apartment.
2. The approved plans for Phase I included open space south of the building and parking lot area. With the submittal of the plans for Phase II, this area on the Phase I development is now being shown as parking spaces supporting Phase II. An Amendment to the original Conditional Use Permit is needed.
3. With the recent change to the Zoning Ordinance, the City Plan Commission is now the designated review authority to amend Phase I.
4. The Lot Line between the two (2) phases cannot be moved to the north, closer to the Phase I building because a minimum sixteen (16') foot side yard is required to the south of the building.
5. The applicant submitted a proposed "Parking Easement Agreement" to memorialize an Easement between the two (2) different property owners for shared parking. The City is not a party to this Easement, but a copy is attached for reference.
6. The plans generally comply with Sections 4 and 14 of the Zoning Ordinance.

RECOMMENDATION:

A recommendation is made to approve the Conditional Use Permit, subject to the attached Conditions of Approval.

Brian Wilke, Development Coordinator

Jeffrey B. Labahn, Director



Conditions of Approval
5th Avenue Lofts
5815 5th Avenue
September 24, 2015

1. The following Conditions of Approval will run with the land and shall be included in a document recorded with the Kenosha County Register of Deeds:
 - a. Compliance with the original Conditions of Approval dated November 14, 2014.

/u2/accl/cp/ckays/1CPC/2015/SEP24/3conditions-cupx-Phase1-5aveLofts.doc



BEAR
DEVELOPMENT
4011 80th Street, Kenosha, WI 53142
Phone: (262) 842-0452 Fax: (262) 842-0453

September 14, 2015

City of Kenosha
Attn: Brian Wilke – City Development
625 52nd St
Kenosha, WI 53142

RE: Request to Amend CUP Approved Site Plan
5th Avenue Lofts Phase I – 5815 5th Avenue (Parcel # 12-223-31-487-001)

Dear Mr. Wilke,

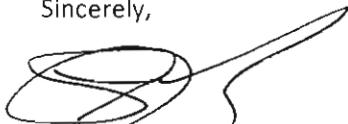
Please allow this letter to serve as our formal request to amend the underlying site plan of the Condition Use Permit issued for 5th Avenue Lofts at 5821 5th Avenue. The CUP amendment is necessary to allow for minor modifications to the approved site plan, which are essential to developing the adjacent parcel to the south into a second phase of market rate apartments (Phase II). Plans for Phase II have been submitted and are scheduled for Plan Commission on September 24th.

The site modifications requested as part of the CUP Amendment are as follows:

1. See Exhibits A & B: The south 16 feet of the parcel was approved as open non-landscaped area under the CUP plans. We're proposing that this area be asphalted and serve as part of the surface lot for the Phase II development. Due to the urban setting and small parcel size, this previously unused portion of Phase I (southern 16' of parcel) is necessary to fit two rows of surface parking for Phase II and provides 12 additional parking stalls that are necessary to satisfy parking requirements for Phase II. There will be an ingress egress easement granted from Phase I to the benefit of Phase II. A draft easement was submitted to the City as part of the rezoning submittal and is also attached (Exhibit D).
2. See Exhibit C: The two light poles located on the south side of the Phase I surface parking lot would be changed from single to dual head lights serving both Phases and will also need to be shifted varying amounts to accommodate the Phase II parking lot layout. That will allow the lights approved under the Phase I CUP to provide lighting for both the Phase I and Phase II parking lots. The Phase I parking lot photometrics will remain in code compliance with the required candlelight standards.

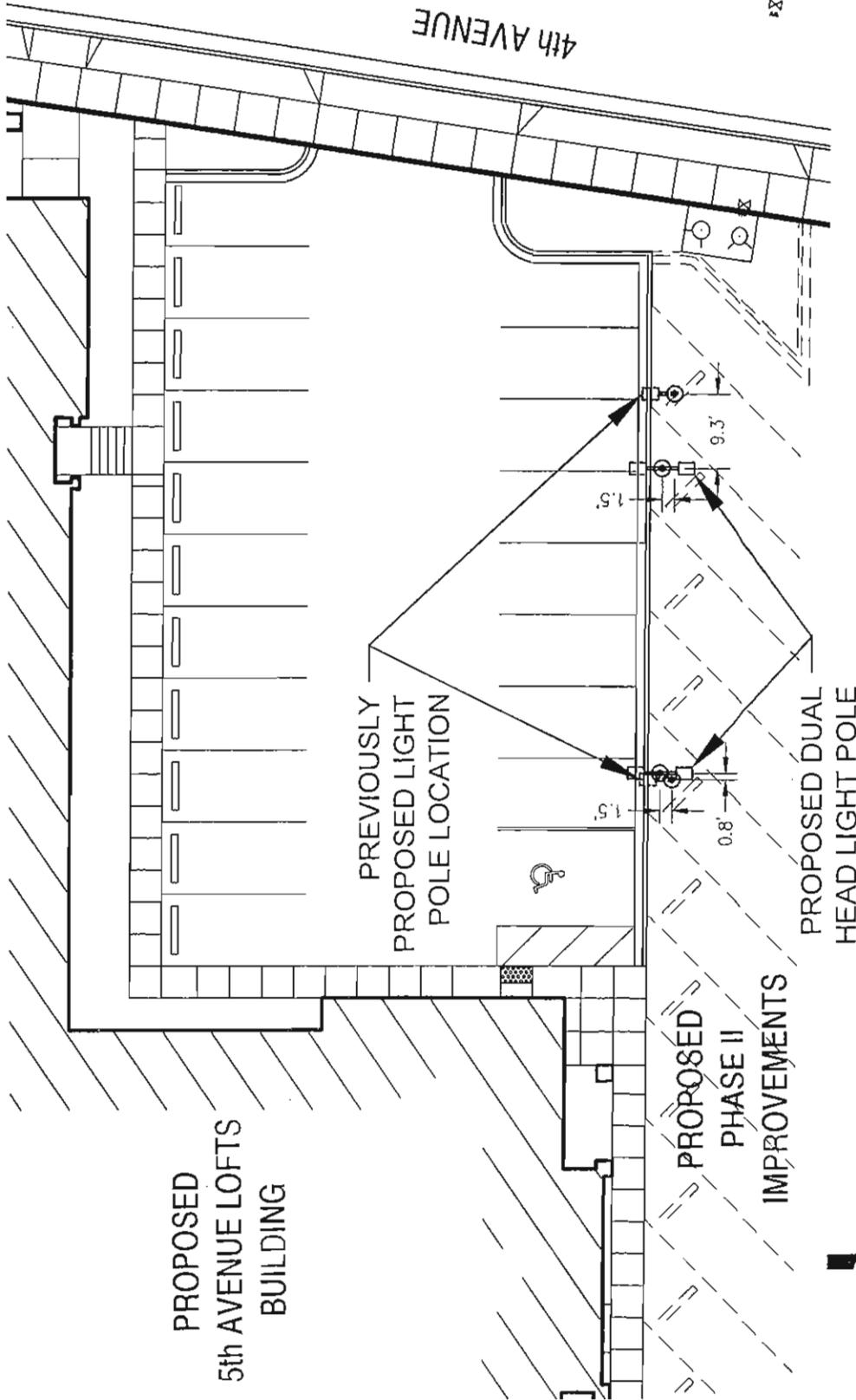
We believe the requested CUP site plan modifications are relatively minor and do not materially change the plans as considered and approved for the 5th Avenue Lofts CUP. Please contact either Josh Molter or myself should you have any questions or comments.

Sincerely,



S.R. Mills
5th Avenue Lofts, LLC, Phase I Owner
By: 5th Avenue Lofts Member, LLC, its Managing Member
By: Bear Development, LLC, its Authorized Member

EXHIBIT C



Scale: 1" = 20'
Drawn By: JJC
DATE: 9-15-2015
2014.0093.01
Light Pole Relocation
5th AVENUE LOFTS
Kenosha, Wisconsin



Nielsen Madsen & Barber S.C.
Civil Engineers and Land Surveyors
1458 Horizon Blvd. Suite 200, Racine, Wisconsin 53406
Phone (262) 634-5588 * Facsimile (262) 634-5024 * Website nmbssc.net

EXHIBIT D

PARKING EASEMENT AGREEMENT

This Parking Easement Agreement is executed by and between:

- 5TH AVENUE LOFTS, LLC, a Wisconsin limited liability company (hereinafter “5th Avenue”) and
- KENO WELLS, LLC, a Wisconsin limited liability company (hereinafter “Keno”).

RECITALS

WHEREAS, 5th Avenue is the record title owner of certain real estate located in the City of Kenosha, County of Kenosha, State of Wisconsin, currently being constructed as a multi-family development, as more particularly described as follows:

Lot 1 of Certified Survey Map No. 2773 recorded on December 18, 2014 as Document No. 1739672. Said land being in the City of Kenosha, County of Kenosha and State of Wisconsin

(hereinafter “Lot 1”); and

WHEREAS, Keno is the record title owner of certain real estate located in the City of Kenosha, County of Kenosha, State of Wisconsin, immediately south and adjacent to Lot 1, currently proposed for multi-family development, as more particularly described as follows:

Lot 2 of Certified Survey Map No. 2773 recorded on December 18, 2014 as Document No. 1739672. Said land being in the City of Kenosha, County of Kenosha and State of Wisconsin

(hereinafter “Lot 2”); and

WHEREAS, 5th Avenue desires to develop Lot 1 as described above and further desires to grant an easement for the benefit of and to further the efficient and convenient use of Lot 1 and Lot 2, and to provide for the orderly parking, maintenance and other issues relating to such easements as provided below.

GRANT OF EASEMENT

NOW, THEREFORE, in consideration of the foregoing recitals, the receipt and sufficiency of which are hereby acknowledged, together with the mutual covenants and conditions herein contained, 5th Avenue and Keno hereby covenant and agree as follows:

1. Grant of Parking Easements. 5th Avenue hereby grants, conveys and reserves onto Keno and its successors in title, a permanent and exclusive right-of-way and easement in,

EXHIBIT D

over, upon and across a portion of Lot 1 as more particularly described and depicted on the attached Exhibit A (hereinafter the "Easement Area"). The purpose of this easement is to provide for the exclusive rights to establish vehicular parking over the Easement Area for the benefit of Lot 2, and without limitation, the owner of Lot 2's respective tenants, employees, customers, invitees, agents, contractors, successors and assigns. This easement shall run with the land, appurtenant to and for the benefit of Lot 1 and Lot 2 and their respective successors in title.

2. Use of Easement Area. The use of the Easement Area by Lot 2 shall be limited to vehicular parking in designated areas and pedestrian ingress and egress between the improvements located on Lot 1 and Lot 2. Neither 5th Avenue nor its successors in title to Lot 1 shall obstruct or in any way interfere with the lawful use of the Easement Area by Keno or its successor in title to Lot 2.

3. Maintenance of Easement Area. The owner of Lot 2 shall at all times keep the Easement Area in good, usable condition and repair including, but not limited to, snow and ice removal, repairing, maintaining, sealcoating and striping of an asphalt surface as may be reasonably necessary. The condition of the Easement Area shall be maintained in a condition customarily maintained for private driveways of a similar nature for projects of similar quality to the development contemplated for construction on Lot 2. The parties shall make any repairs ordered by a competent authority.

4. Indemnity. The parties hereto shall indemnify and hold the other harmless from and against any and all liability for personal injury and property damage, including of or to themselves and their agents, when such injury or damage shall result from, arise out of, or be attributable to any improvement, maintenance, repair, or lack of repair or maintenance under and pursuant to this Agreement, unless any such injury or damage shall result from, arise out of or be attributable to the negligent acts or omissions of the party seeking indemnity hereunder.

5. Manner of Enforcement. This Covenant shall be enforceable by the respective parties hereto and their successors and assigns in any manner provided by law or equity including, but not limited to one or more of the following:

A. Injunctive relief.

B. Action for monetary damages.

C. Performance of these Covenants on behalf of any part in default thereof for more than thirty (30) days after receipt by such party of notice describing such default. In such event, the defaulting owner shall be liable to the enforcing party for the actual costs related to or in connection with performing these Covenants, together with interest on any and all such amounts which remain outstanding at the rate of nine percent (9%) per annum, until paid in full.

Failure of either owner to enforce any provision contained herein shall not be deemed a waiver of the right to enforce these covenants in the event of a subsequent default.

EXHIBIT D

6. Duration. Other than as described in Section 6 hereof, the easements and covenants granted pursuant to this document shall be perpetual and shall remain in full force and effect until modified or terminated by the owners of Lot 1 and Lot 2 by written instrument duly executed by each such party, and recorded in the office of the Register of Deeds for Kenosha County, Wisconsin.

7. Covenants Run with Land. All of the terms and conditions of this Easement, including the benefits and burdens, shall run with title to the land and shall be binding upon and shall inure to the benefit of the parties hereto and their respective successors and assigns.

8. Limited Use. Limited use of the easement rights granted in this Agreement shall not prevent later use of the easement to the fullest extent authorized in this document.

9. Governing Law. This Easement shall be construed and enforced in accordance with the laws of the State of Wisconsin.

10. Time is of the Essence. Time is of the essence with respect to the performance of each of the covenants and agreements contained in this Easement Agreement.

11. Not a Public Dedication. Nothing herein contained shall be deemed to be a conveyance, gift or dedication of any portion of the Easement Area or either property described herein to the general public for any public purpose whatsoever, it being the intention that this Easement Agreement shall be strictly limited to and for the purposes herein expressed.

12. Force Majeure. The Parties shall be excused from performing any obligation under this Agreement, except obligations to pay sums of money, in the event and so long as the performance of such obligation is prevented, delayed, or hindered by the following: acts of God; fire; earthquake; flood; explosion; action of the elements; war; acts of terror; invasion; riot; mob violence; sabotage; inability to procure or general shortage of labor, equipment facilities, materials, or suppliers in the open market; failure of transportation; strike; lockout; action of labor union; condemnation; requisition; law; orders of governmental authorities; or any other cause, similar to the foregoing, not within the respective control of the obligated Party.

13. Casualty and Condemnation. The risk of loss or a decrease in the enjoyment and the beneficial use of Lot 1 and Lot 2 as a result of the damage or destruction thereof or any portion thereof by fire, the elements, casualty, eminent domain, destruction, confiscation of or with respect to each such Lot 1 or Lot 2, however caused or occasioned, shall be borne by the owner of each Lot 1 and Lot 2, respectively, and proceeds of any insurance or condemnation action belong solely to the owner of the affected Lot. The owners of Lot 1 and Lot 2 hereby acknowledge for themselves and their respective successors in title that no occurrence specified in the foregoing sentence shall create any obligation on any party bound by this Easement Agreement to the other such party to rebuild, reconstruct, or otherwise repair any damage caused by a circumstance described in this Section 16.

14. Modification. The easement granted hereunder may not be altered or amended except by a written document executed and acknowledged by the respective owners of both Lot

EXHIBIT D

1 and Lot 2 described hereunder, being duly recorded in the office of the Register of Deeds of Kenosha County, State of Wisconsin.

15. Invalidity. If any term or condition of this Easement or the application of this Easement to any person or circumstance shall be deemed invalid or unenforceable, the remainder of this Easement, or the application of the term or condition to persons or circumstances other than those to which it is held invalid or unenforceable, shall not be affected thereby and each term and condition shall be valid and enforceable to the fullest extent permitted by law.

16. Notices. Any notice provided for or concerning this Agreement shall be in writing and shall be deemed sufficiently given if personally delivered or sent by registered or certified mail to the address of the party to whom such notice is to be given as shown on the property tax records of the City of Kenosha, Wisconsin.

17. Entire Agreement. This Agreement shall constitute the entire agreement pertaining to the use and maintenance of the Easement Area and any prior understanding or representation of any kind shall not be binding upon any party except to the extent incorporated in this document.

[signatures on following page]

EXHIBIT D

Dated: August _____, 2015

Lot 1 Owner:

5th Avenue Lofts, LLC

By: 5th Avenue Lofts Member, LLC, Its
Managing Member

By: Bear Development, LLC, Its Authorized
Member

By: _____

S. R. Mills, Authorized Member

State of Wisconsin)
) ss.
Kenosha County)

Personally came before me this _____ day of August, 2015, the above named S.R. Mills, to me known to be the person who executed the foregoing document and acknowledge the same as the authorized act of 5th Avenue Lofts, LLC.

John E. Hotvedt
Notary Public, Kenosha County, Wisconsin
My commission is permanent.

[signatures continue on following page]

EXHIBIT D

Dated: August _____, 2015

Lot 2 Owner:
Keno Wells, LLC
By: Bear Development, LLC, Its Sole Member

By: _____
S. R. Mills, Authorized Member

State of Wisconsin)
) ss.
Kenosha County)

Personally came before me this _____ day of August, 2015, the above named S.R. Mills, to me known to be the person who executed the foregoing document and acknowledge the same as the authorized act of Keno Wells, LLC.

John E. Hotvedt
Notary Public, Kenosha County, Wisconsin
My commission is permanent.

This instrument drafted by
John E. Hotvedt
Attorney at Law

00258161.doc

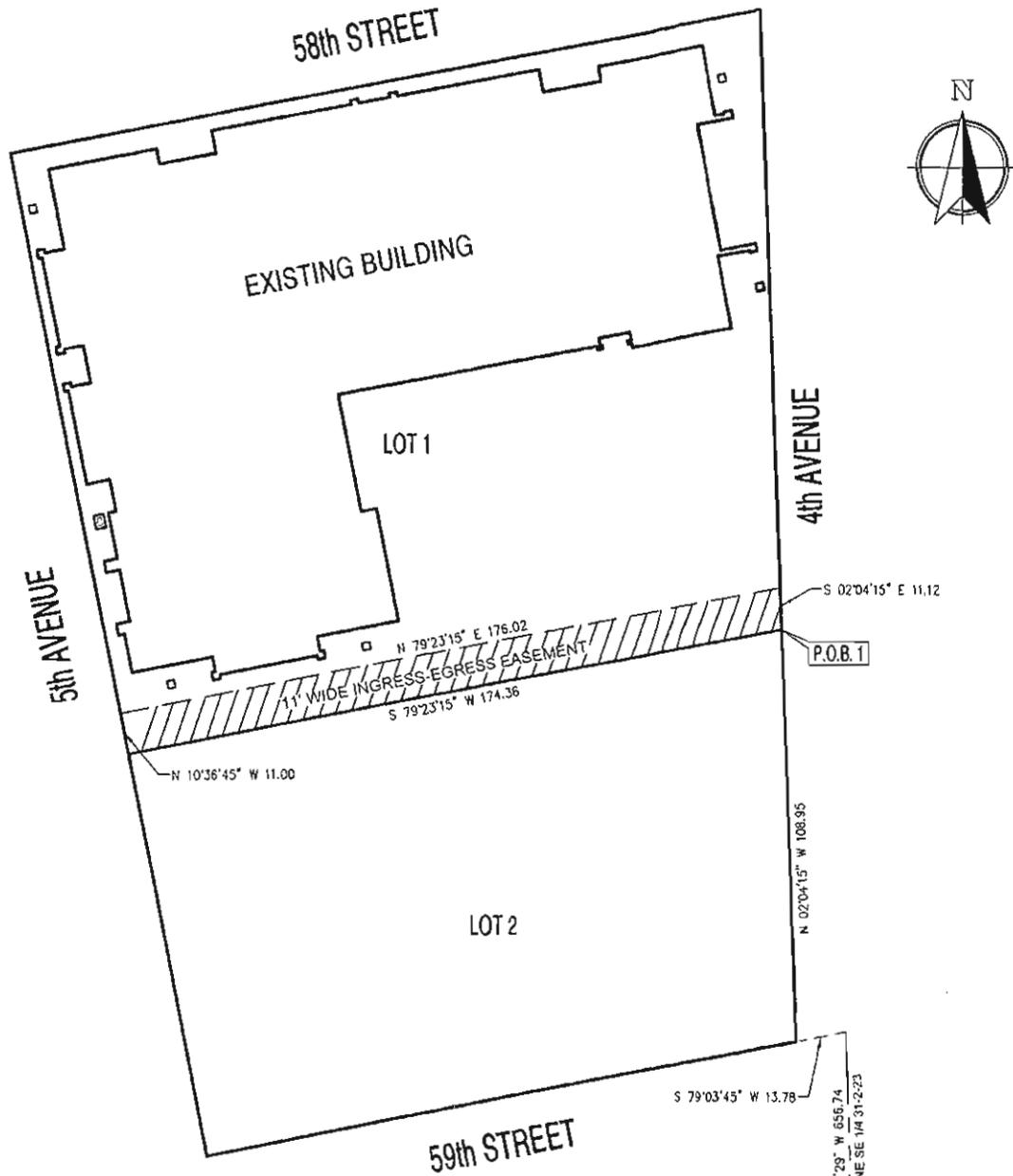
EXHIBIT D

EXHIBIT A

Easement Area

11' WIDE INGRESS-EGRESS EASEMENT

Being part of the Southeast 1/4 of Section 31, Township 2 North, Range 23 East, in the City of Kenosha, Kenosha County, Wisconsin, described as follows: Commence at a point located N01°47'29"W 656.74 feet from the Southeast corner of said Section; thence S79°03'45"W 13.78 feet to the West right-of-way of 4th Avenue and the Southeast corner of Lot 2 of Certified Survey Map No. 2773, recorded in the office of the Register of Deeds for Kenosha County, Wisconsin on December 18, 2014, as Document No. 1739672; thence N02°04'15"W 108.95 feet along the West line of said right-of-way to the Southeast corner of Lot 1 of said Certified Survey Map and the point of beginning of this description; run thence S79°23'15"W 174.36 feet along the South line of said Lot 1 to the West line of said Lot 1 and the East right-of-way of 5th Avenue; thence N10°36'45"W 11.00 feet along said West line and said East right-of-way; thence N79°23'15"E 176.02 feet to the East line of said Lot 1 and the West right-of-way of said 4th Avenue; thence S02°04'15"E 11.12 feet along said East line and said West right-of-way to the point of beginning. Containing 1,927 s.f.



Nielsen Madsen & Barber S.C.
 Civil Engineers and Land Surveyors
 1458 Horizon Blvd. Suite 200, Racine, Wisconsin 53406
 Phone (262) 634-5688 * Facsimile (202) 634-5024 * Website nmbarsc.net

SE CORNER
 SEC. 31-2-23

N 01°47'29" W 656.74
 EAST LINE SE 1/4 31-2-23

Scale: 1" = 30'
 Drawn By: SCB
 DATE: 8-12-2015
 2014.0093.06

Ingress-Egress Easement Exhibit
 5th Avenue Lofts
 Kenosha, Wisconsin



CITY PLAN COMMISSION
Staff Report - Item 4

Thursday, September 24, 2015 at 5:00 pm
Municipal Building
625 52nd Street - Room 202 - Kenosha, WI 53140

Zoning Ordinance by the Mayor - To Repeal and Recreate Section Two of Rezoning Ordinance #5-14 Rezoning Property located at 5821 5th Avenue from M-1 Light Manufacturing District to B-4 Mixed-Use District and Property located at 5824 4th Avenue from B-3 Central Business District to B-4 Mixed-Use District. (Keno Wells, LLC) (District 2) PUBLIC HEARING

NOTIFICATIONS AND APPROVAL REQUIREMENTS:

Aldersperson Jenkins, District 2, has been notified. The Common Council is the final review authority.

LOCATION AND ANALYSIS:

Site: 5821 5th Avenue

1. The attached Rezoning Ordinance relates to the rezoning of the property that was reviewed by the City Plan Commission on November 21, 2013 for the Fifth Avenue Lofts Project, Phase I and Phase II.
2. The City Zoning Ordinance requires formal development of a property that has been rezoned to be consistent with a Conceptual Plan that was submitted with the rezoning request. The Conceptual Plan that was submitted for the November 21, 2013 meeting showed Phase II as a forty-eight (48) unit apartment with 3,000 s.f. of "non-residential" space on the ground floor. The "non-residential" space could have been retail, commercial and/or office uses.
3. The plan that has been submitted is a forty-four (44) unit development with all residential units, no "non-residential" space. Since the property was rezoned to B-4 Mixed-Use District, Staff anticipated that the Phase II building would have space for "non-residential" uses, thus making it a Mixed-Use development.
4. The applicant indicated there is no market for "non-residential" space and changed the plans from the original Concept Plan. The amended rezoning ordinance has to be adopted before the Conditional Use Permit can be issued for the amended Phase II plans.
5. The use of both phases as Multiple-Family Residential still would comply with the B-4 Mixed-Use District, even though there is no "non-residential" space.

RECOMMENDATION:

A recommendation is made to approve the Rezoning Ordinance

Brian Wilke, Development Coordinator

Jeffrey B. Labahn, Director

REZONING ORDINANCE NO. _____

SPONSOR: THE MAYOR

To Repeal And Recreate Section Two Of Rezoning Ordinance No. 5-14 Rezoning Property Located At 5821 5th Avenue From M-1 Light Manufacturing District To B-4 Mixed-Use District And Property Located At 5824 4th Avenue From B-3 Central Business District To B-4 Mixed-Use District (Keno Wells, LLC) District #2.

The Common Council of the City of Kenosha, Wisconsin, do ordain as follows:

Section One: Section Two of Rezoning Ordinance No. 5-14 is hereby repealed and recreated as follows:

The development of the property shall be consistent with the conceptual development plan for the property being rezoned, which plan was submitted by the property owner/developer, considered by the City Plan Commission on the ~~21st~~ **24th** day of ~~November 2013,~~ **September, 2015,** and is on file with the Department of Community Development and Inspections as required in Section 10.02 A. of the Zoning Ordinance.

Section Two: This Ordinance shall be in full force and effect upon passage and the day after its publication.

ATTEST: _____ City Clerk

APPROVED: _____ Mayor

Passed:

Published:

Drafted By:
JONATHAN A. MULLIGAN
Assistant City Attorney

5TH AVENUE LOFTS

44 UNIT APARTMENT BUILDING

5th Avenue
KENOSHA, WISCONSIN

ABBREVIATIONS

1	1st Floor
2	2nd Floor
3	3rd Floor
4	4th Floor
5	5th Floor
6	6th Floor
7	7th Floor
8	8th Floor
9	9th Floor
10	10th Floor
11	11th Floor
12	12th Floor
13	13th Floor
14	14th Floor
15	15th Floor
16	16th Floor
17	17th Floor
18	18th Floor
19	19th Floor
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85	85th Floor
86	86th Floor
87	87th Floor
88	88th Floor
89	89th Floor
90	90th Floor
91	91st Floor
92	92nd Floor
93	93rd Floor
94	94th Floor
95	95th Floor
96	96th Floor
97	97th Floor
98	98th Floor
99	99th Floor
100	100th Floor

GRAPHIC SYMBOLS



PROJECT INFO

5TH AVENUE LOFTS, 44 UNIT APARTMENT BUILDING, 5TH AVENUE, KENOSHA, WISCONSIN. PROJECT NO. 15-001. ARCHITECT: KNOTHE-HRUCE ARCHITECTS, 1400 UNIVERSITY AVENUE, KENOSHA, WI 53140. PHONE: 920.393.3300. FAX: 920.393.3301. DATE: 09/24/15.

CONTACTS

ARCHITECT:
Knothe-Hruce Architects, LLC
200 University Avenue, Suite 100
Kenosha, WI 53140
Phone: 920.393.3300
Fax: 920.393.3301
Email: info@knothe-hruce.com

DEVELOPER:
Kenosha Development, LLC
1400 University Avenue, Suite 100
Kenosha, WI 53140
Phone: 920.393.3300
Fax: 920.393.3301
Email: info@kenosha-development.com

GENERAL CONTRACTOR:
Kenosha Construction, LLC
1400 University Avenue, Suite 100
Kenosha, WI 53140
Phone: 920.393.3300
Fax: 920.393.3301
Email: info@kenosha-construction.com

STRUCTURAL ENGINEER:
Kenosha Structural Engineers, LLC
1400 University Avenue, Suite 100
Kenosha, WI 53140
Phone: 920.393.3300
Fax: 920.393.3301
Email: info@kenosha-structural.com

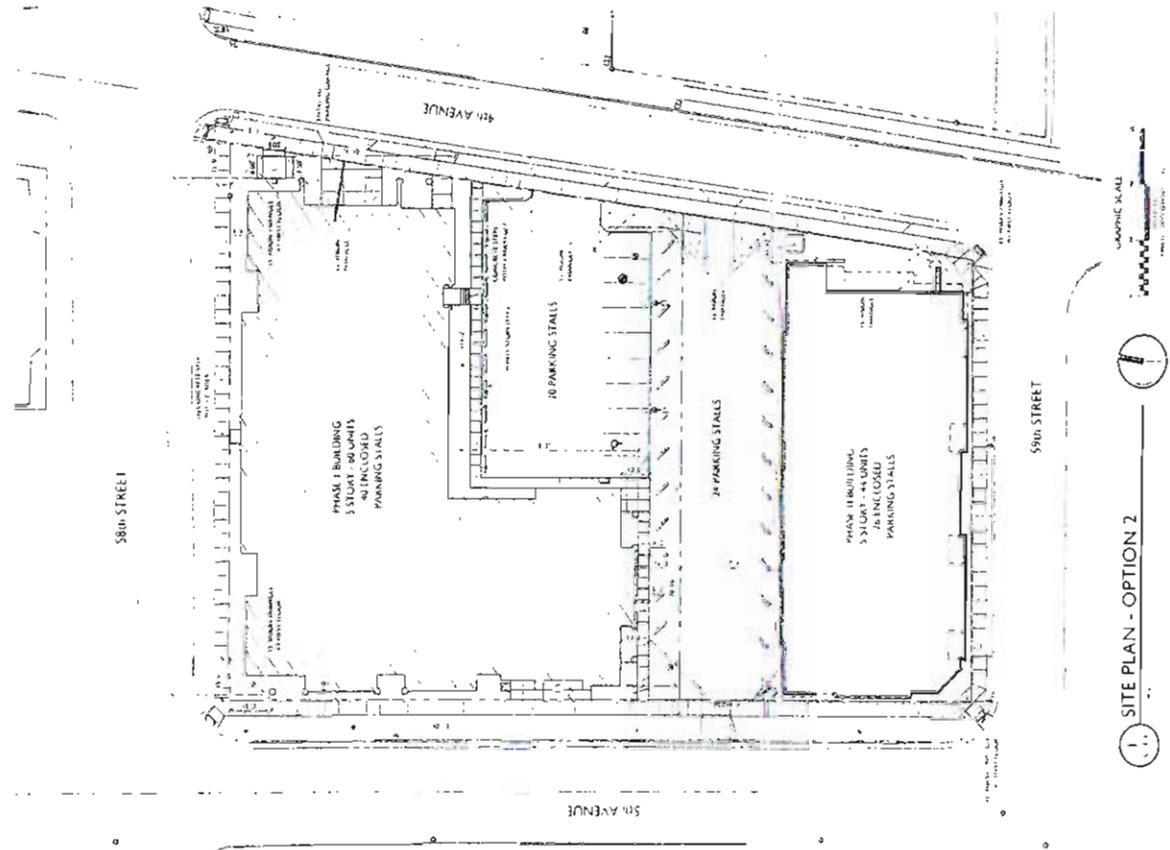
CIVIL ENGINEER:
Kenosha Civil Engineers, LLC
1400 University Avenue, Suite 100
Kenosha, WI 53140
Phone: 920.393.3300
Fax: 920.393.3301
Email: info@kenosha-civil.com

LANDSCAPE DESIGNER:
Kenosha Landscape Design, LLC
1400 University Avenue, Suite 100
Kenosha, WI 53140
Phone: 920.393.3300
Fax: 920.393.3301
Email: info@kenosha-landscape.com

SHEET INDEX

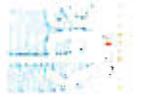
1.01	TITLE SHEET
1.02	SITE
1.03	1ST FLOOR PLAN
1.04	2ND FLOOR PLAN
1.05	3RD FLOOR PLAN
1.06	4TH FLOOR PLAN
1.07	5TH FLOOR PLAN
1.08	6TH FLOOR PLAN
1.09	7TH FLOOR PLAN
1.10	8TH FLOOR PLAN
1.11	9TH FLOOR PLAN
1.12	10TH FLOOR PLAN
1.13	11TH FLOOR PLAN
1.14	12TH FLOOR PLAN
1.15	13TH FLOOR PLAN
1.16	14TH FLOOR PLAN
1.17	15TH FLOOR PLAN
1.18	16TH FLOOR PLAN
1.19	17TH FLOOR PLAN
1.20	18TH FLOOR PLAN
1.21	19TH FLOOR PLAN
1.22	20TH FLOOR PLAN
1.23	21ST FLOOR PLAN
1.24	22ND FLOOR PLAN
1.25	23RD FLOOR PLAN
1.26	24TH FLOOR PLAN
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1.36	34TH FLOOR PLAN
1.37	35TH FLOOR PLAN
1.38	36TH FLOOR PLAN
1.39	37TH FLOOR PLAN
1.40	38TH FLOOR PLAN
1.41	39TH FLOOR PLAN
1.42	40TH FLOOR PLAN
1.43	41ST FLOOR PLAN
1.44	42ND FLOOR PLAN
1.45	43RD FLOOR PLAN
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1.47	45TH FLOOR PLAN
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1.54	52ND FLOOR PLAN
1.55	53RD FLOOR PLAN
1.56	54TH FLOOR PLAN
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1.63	61ST FLOOR PLAN
1.64	62ND FLOOR PLAN
1.65	63RD FLOOR PLAN
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1.69	67TH FLOOR PLAN
1.70	68TH FLOOR PLAN
1.71	69TH FLOOR PLAN
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1.73	71ST FLOOR PLAN
1.74	72ND FLOOR PLAN
1.75	73RD FLOOR PLAN
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1.77	75TH FLOOR PLAN
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1.82	80TH FLOOR PLAN
1.83	81ST FLOOR PLAN
1.84	82ND FLOOR PLAN
1.85	83RD FLOOR PLAN
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1.92	90TH FLOOR PLAN
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1.94	92ND FLOOR PLAN
1.95	93RD FLOOR PLAN
1.96	94TH FLOOR PLAN
1.97	95TH FLOOR PLAN
1.98	96TH FLOOR PLAN
1.99	97TH FLOOR PLAN
1.100	98TH FLOOR PLAN
1.101	99TH FLOOR PLAN
1.102	100TH FLOOR PLAN

Plan presented to
CPC 9-24-15

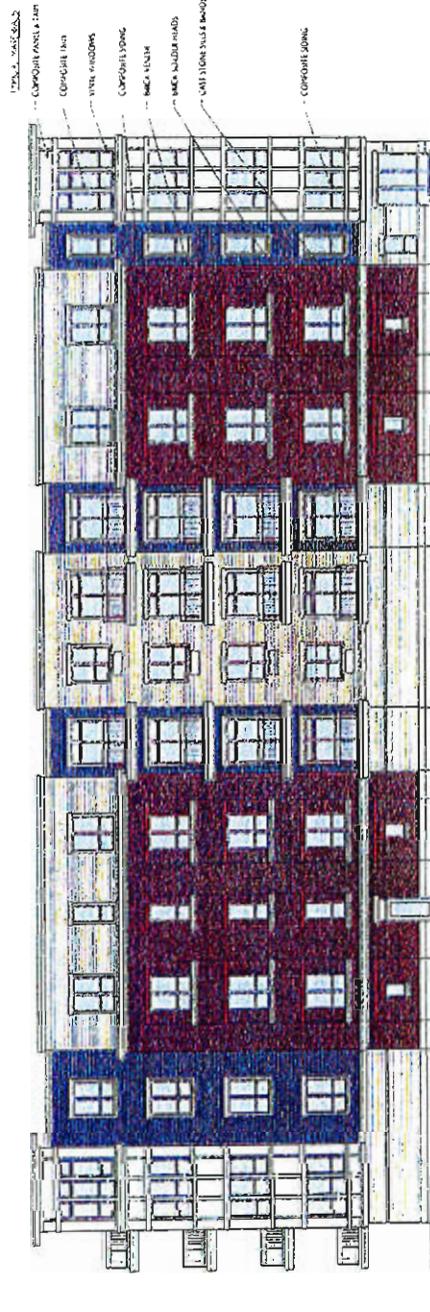


1.1 SITE PLAN - OPTION 2

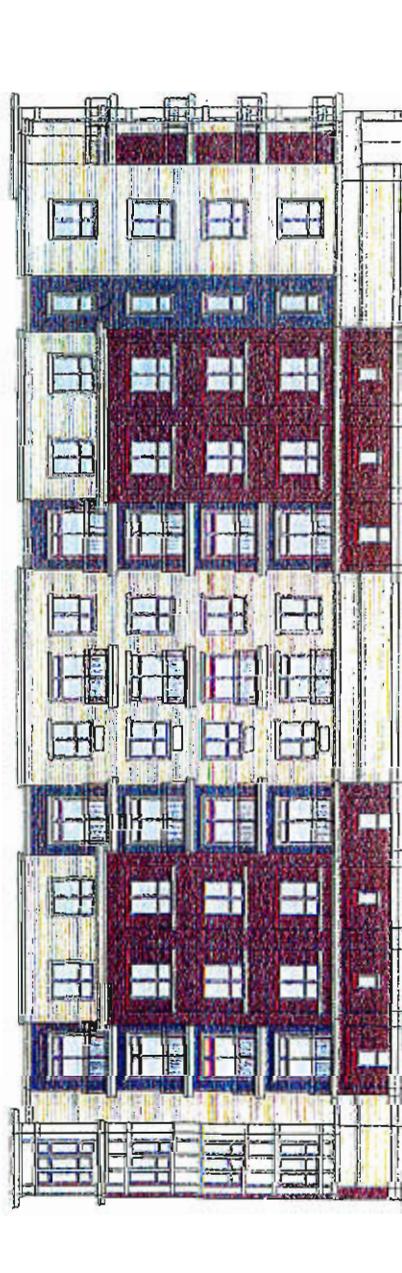




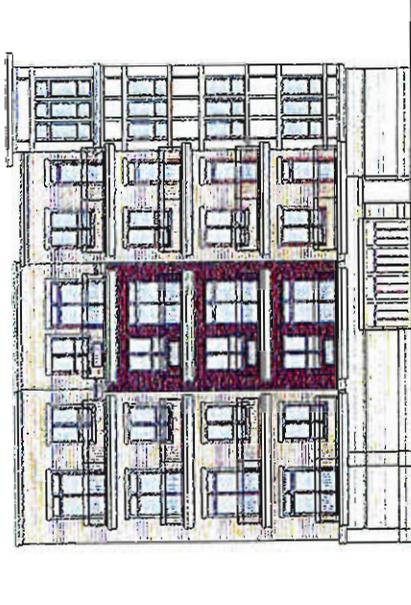
5th Avenue Lofts
North and South Elevations
August 21, 2015



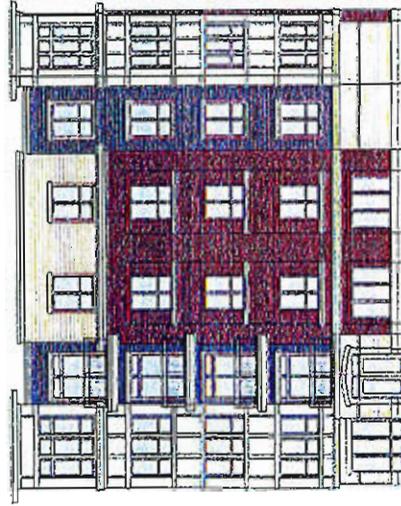
1 NORTH ELEVATION



2 SOUTH ELEVATION

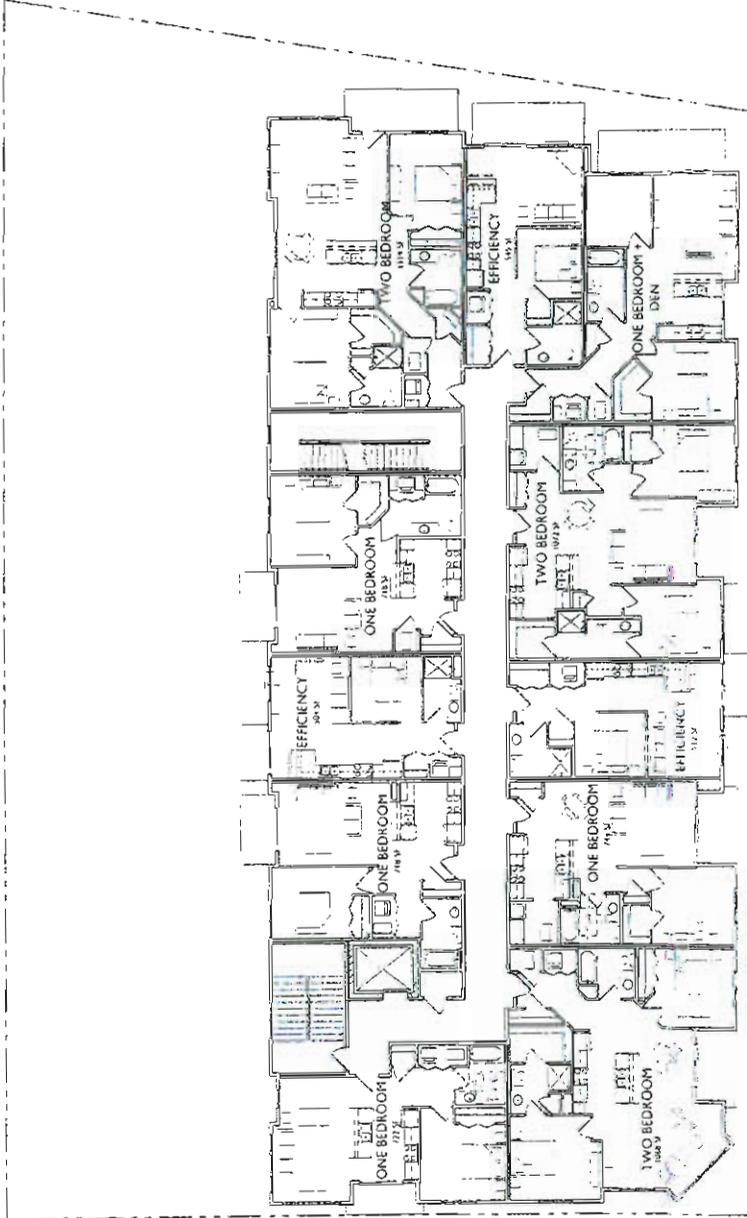


1 EAST ELEVATION
A 21 1/4" x 14"



2 WEST ELEVATION
A 21 1/4" x 14"





THIRD FLOOR PLAN
 (FOURTH & FIFTH SIM.)



CMA - 5th Ave. Lofts - Phase 2



PROJECT INFORMATION
PROJECT NO. 15-001
DATE: 07/15/15
DRAWN BY: [Name]
CHECKED BY: [Name]

15-001

59th STREET

15 VISION TRIANGLE
AT FIRST FLOOR

20 VISION TRIANGLE
FIRST FLOOR

PHASE II BUILDING
5 STORY, 43 UNITS
26 ENCLOSED
PARKING STALLS

24 PARKING STALLS

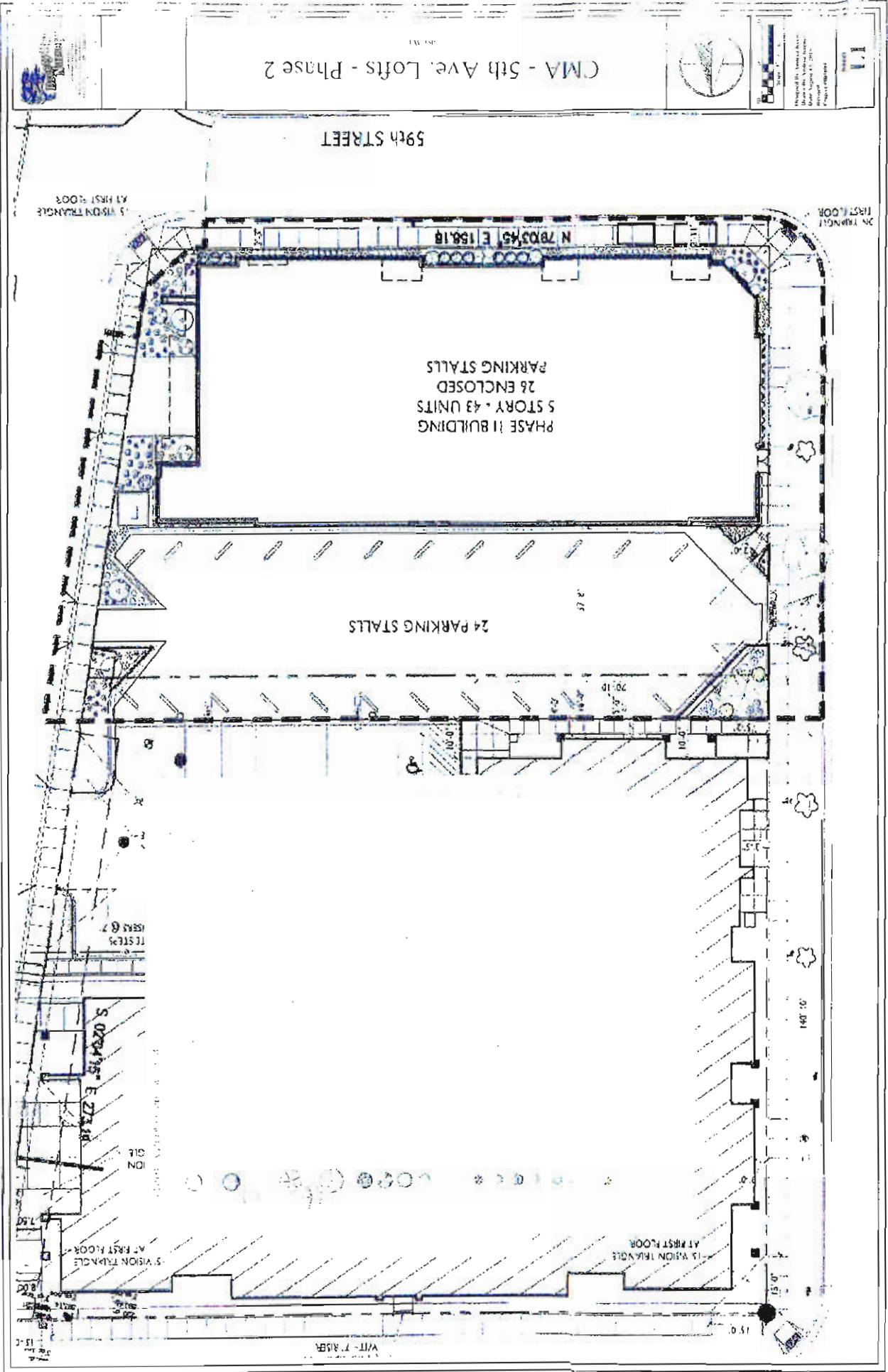
15 SECT'S
15842 7

S 02294 1ST E 273.18

15 VISION TRIANGLE
AT FIRST FLOOR

15 VISION TRIANGLE
AT FIRST FLOOR

W/IT- 7' ASBR



REZONING ORDINANCE NO. _____

SPONSOR: THE MAYOR

To Repeal And Recreate Section Two Of Rezoning Ordinance No. 5-14 Rezoning Property Located At 5821 5th Avenue From M-1 Light Manufacturing District To B-4 Mixed-Use District And Property Located At 5824 4th Avenue From B-3 Central Business District To B-4 Mixed-Use District. (Keno Wells, LLC) District #2

The Common Council of the City of Kenosha, Wisconsin, do ordain as follows:

Section One: Section Two of Rezoning Ordinance No. 5-14 is hereby repealed and recreated as follows:

The development of the property shall be consistent with the conceptual development plan for the property being rezoned, which plan was submitted by the property owner/developer, considered by the City Plan Commission on the 24th day of September, 2015, and is on file with the Department of Community Development and Inspections as required in Section 10.02 A. of the Zoning Ordinance.

Section Two: This Ordinance shall be in full force and effect upon passage and the day after its publication.

ATTEST: _____ City Clerk

APPROVED: _____ Mayor

Passed:

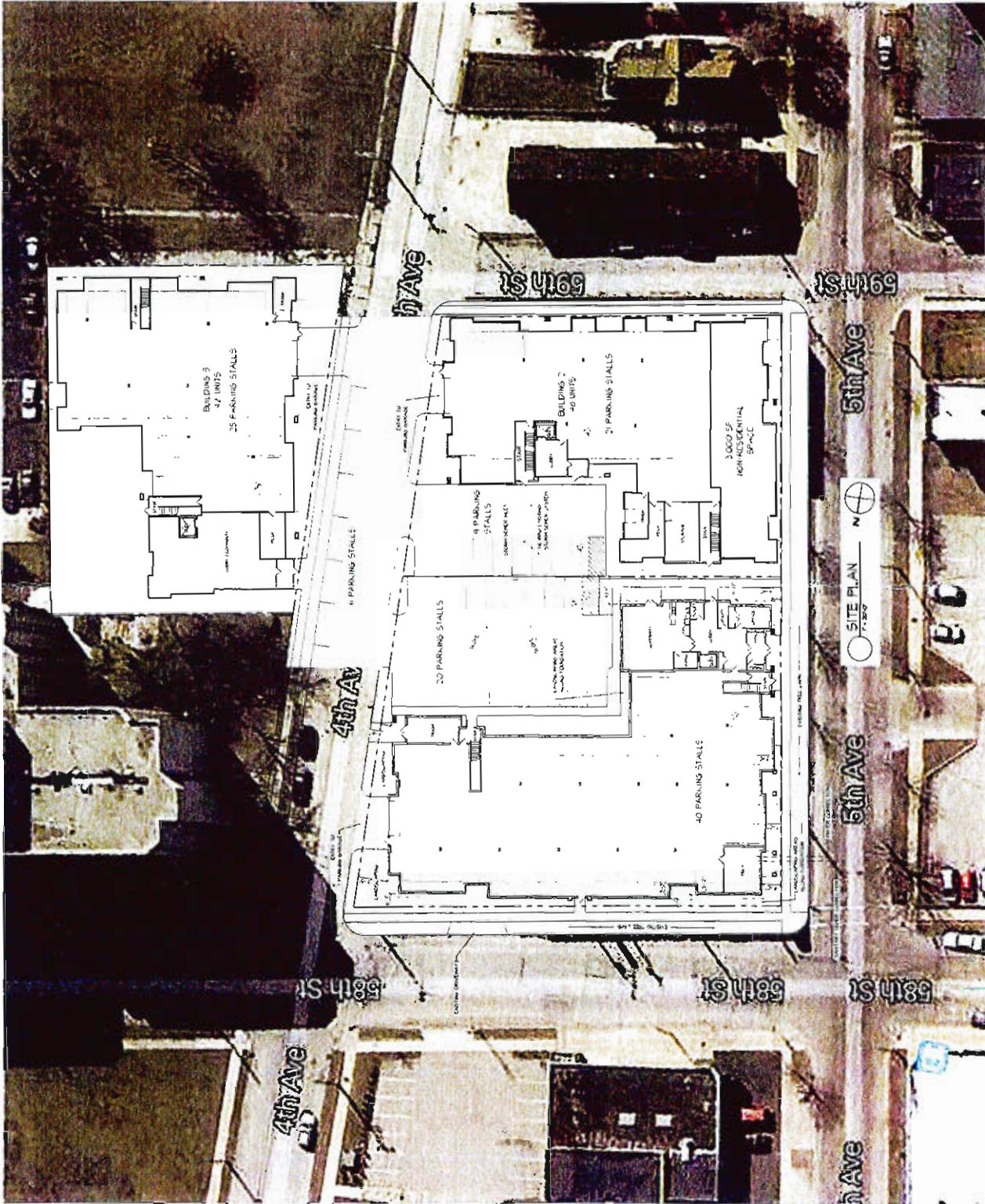
Published:

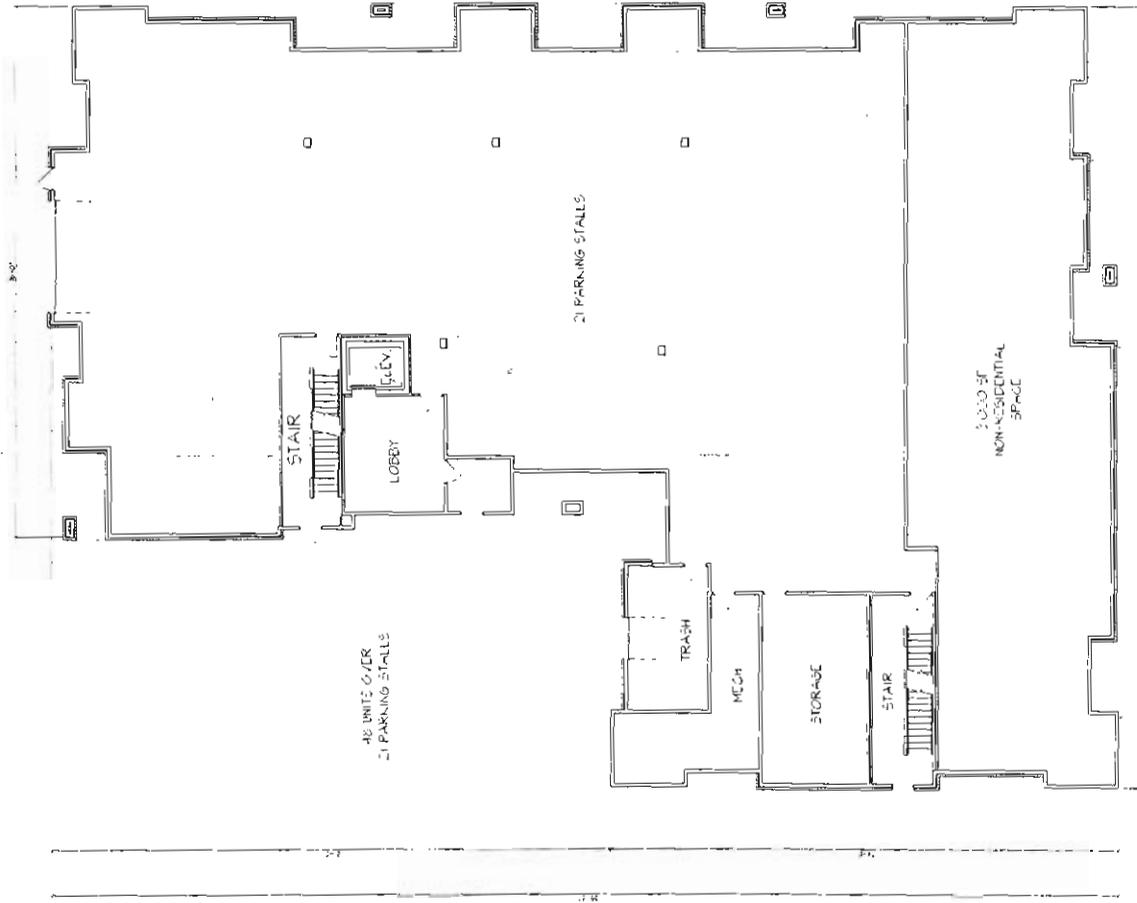
Drafted By:
JONATHAN A. MULLIGAN
Assistant City Attorney

* Plan presented at
 11/20/13 CPC
 Meeting
 Brew

Project No:
 5th Avenue Lot:
 Phase II

Notes:
 42 and 44 Unit Buildings
 360000 sq ft
 5000 sq ft
 Site Plan





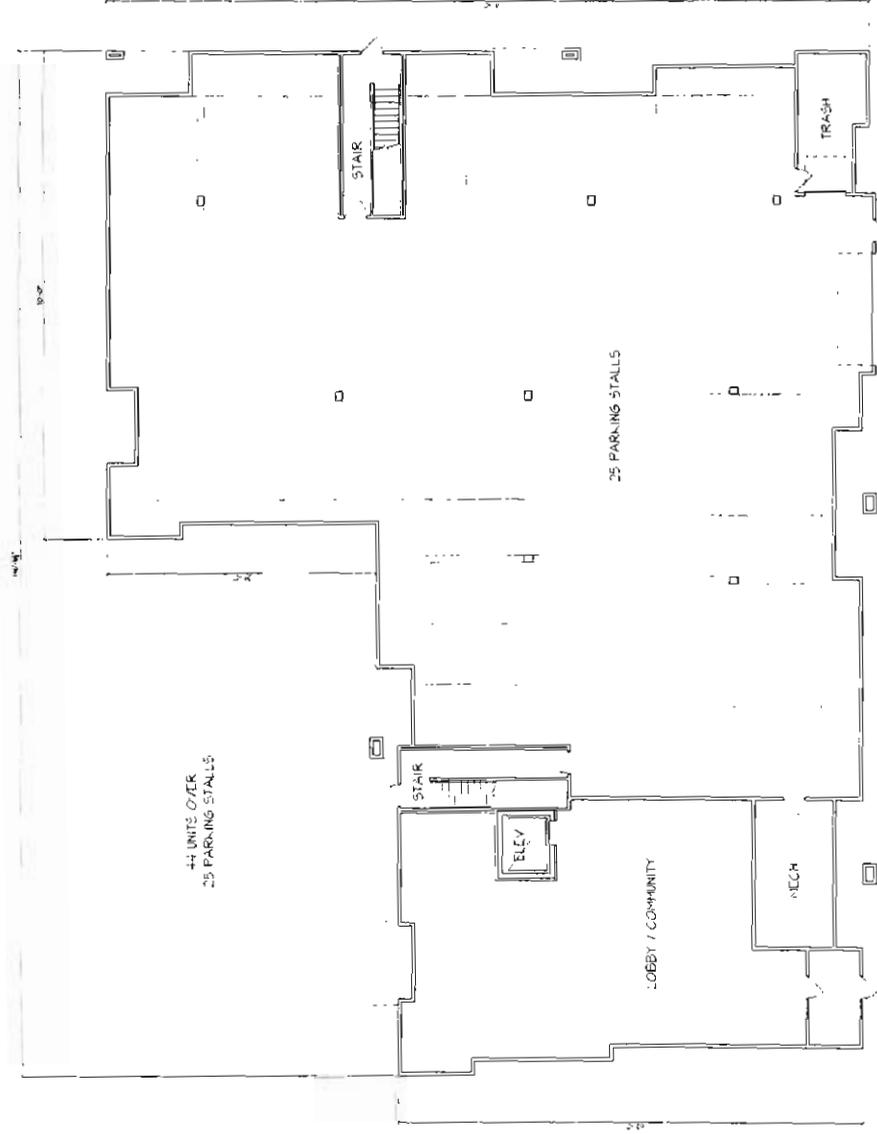
○ FIRST FLOOR PLAN - BUILDING 2



SECOND - FIFTH FLOOR PLANS - BUILDING 2

Consulting

Notes



○ FIRST FLOOR PLAN - BUILDING 3

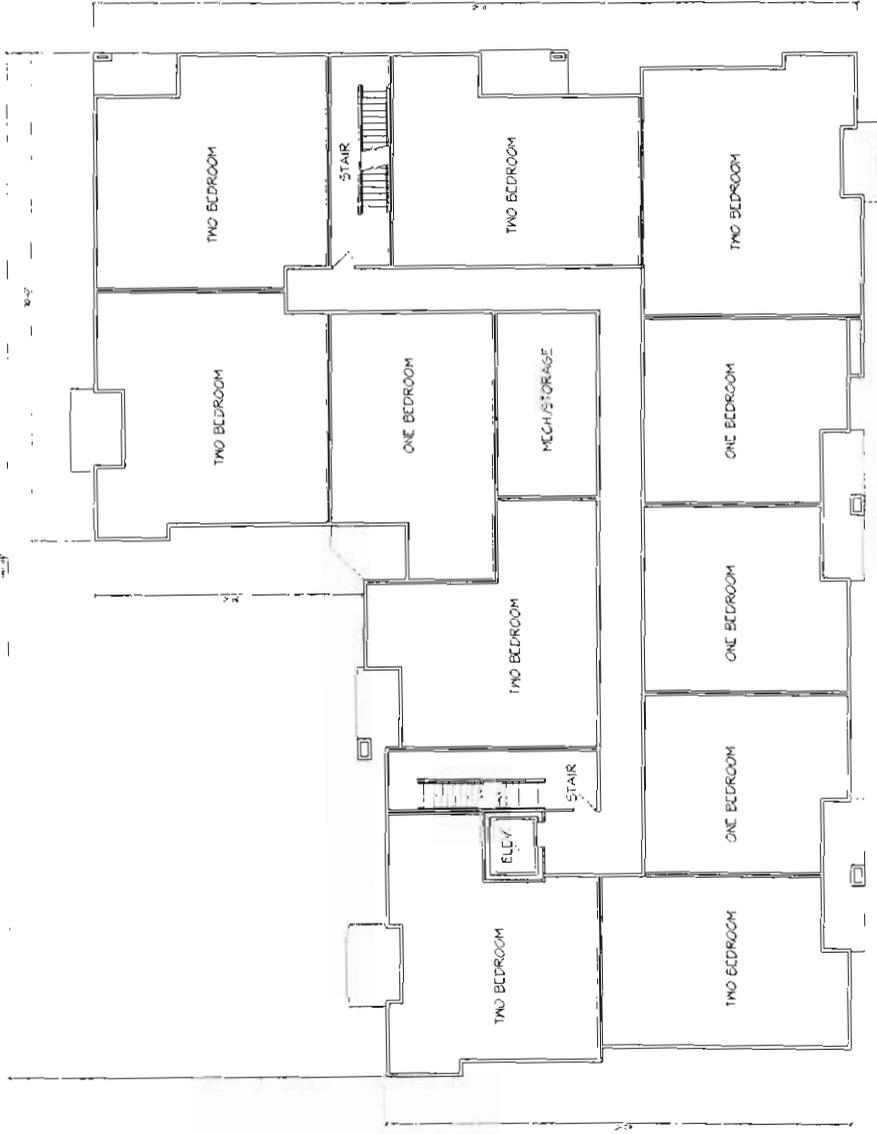
Project No. 5th Avenue Lofts
Phase II - Building 3

Wells Site
J-L Unit Building - BUILDING 3
Drawing No. 1227
First Floor Plan

Sheet No. 1227
Drawing No. A-1/B

Comments

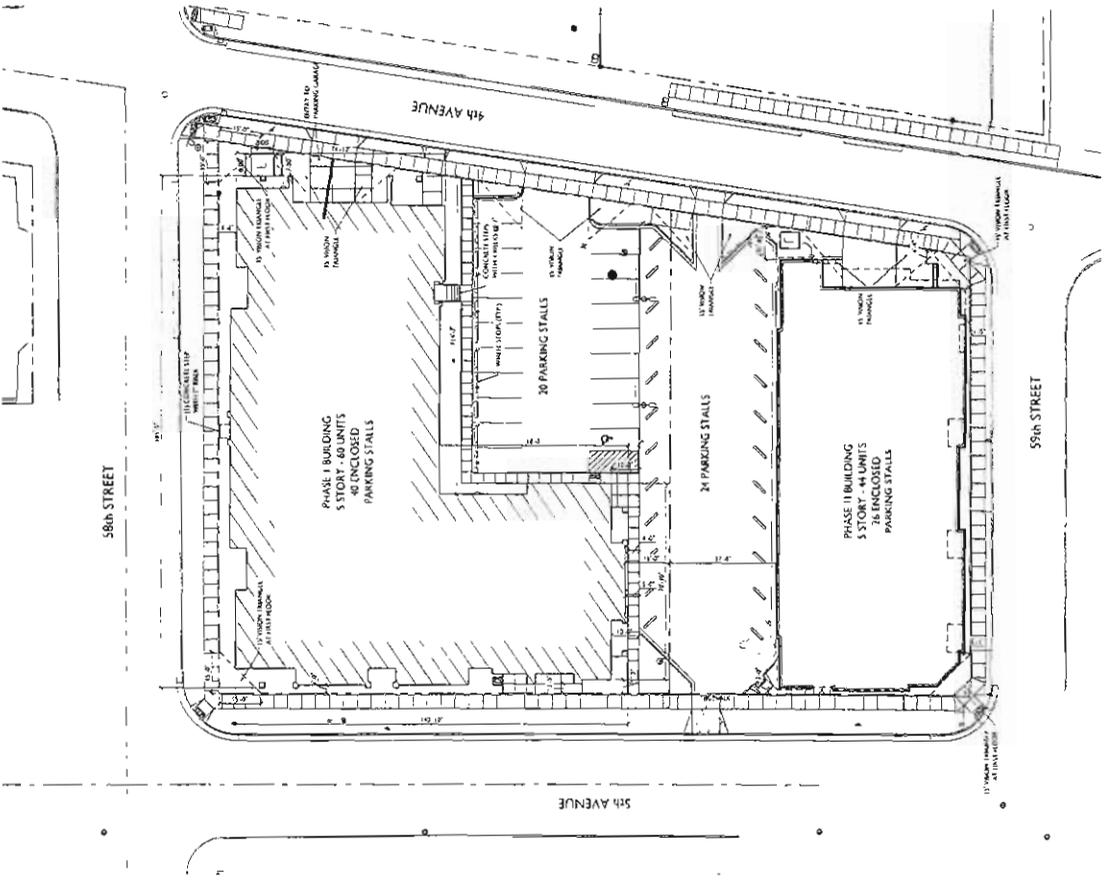
Notes



○ SECOND - FIFTH FLOOR PLANS - BUILDING 3

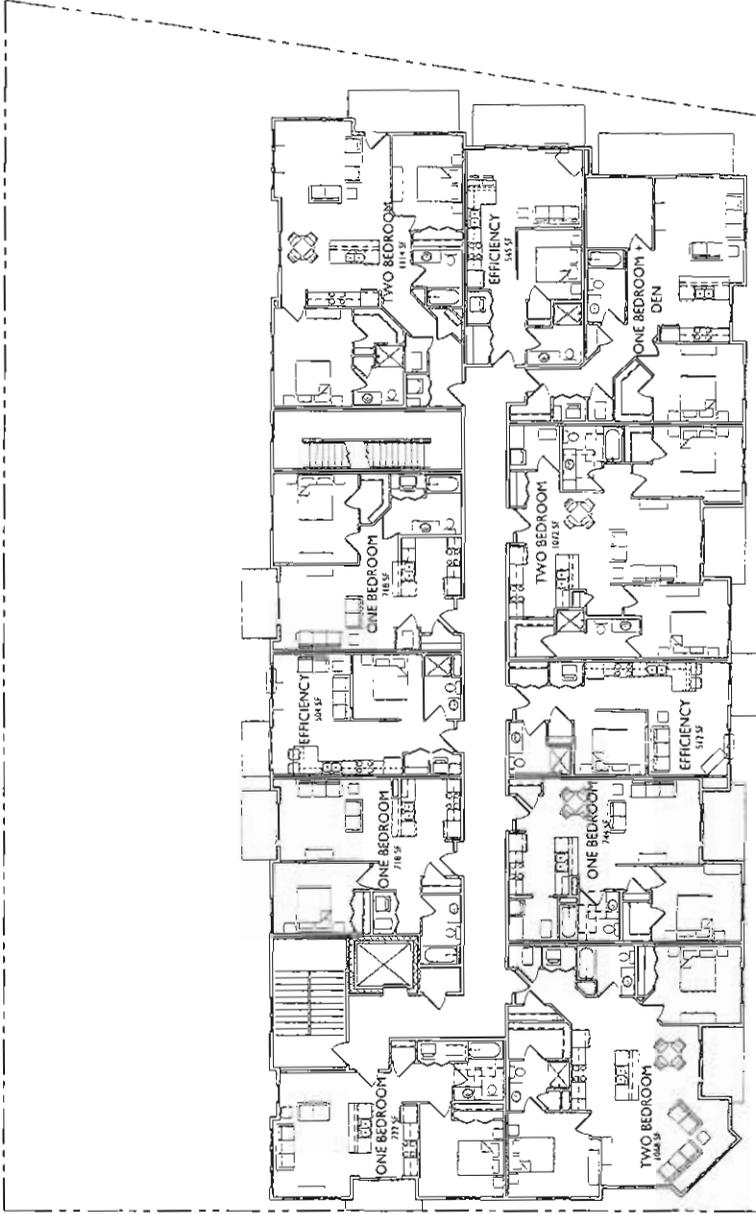
Project Name
5th Avenue Lofts
Phase II - Building 3

Matrix Size
44 Unit Building - 40,000 sq. ft.
Drawing No.
Second - Fifth
Floor Plans
Project No.
1221
A-128



SITE PLAN - OPTION 2

NEW PLAN - 9-24-15



1 SECOND FLOOR PLAN
 A-1.2 1/8" = 1'-0"



Conditional Use Permit for a 44-unit multiple-family residential development at 5819 5th Avenue. (5th Avenue Lofts - Phase II) (District 2) PUBLIC HEARING

NOTIFICATIONS AND APPROVAL REQUIREMENTS:

Alderperson Jenkins, District 2, has been notified. The City Plan Commission is the final review authority.

LOCATION AND ANALYSIS:

Site: 5819 5th Avenue **Zoned:** B-4 Mixed-Use District

1. The applicant has submitted the attached application to construct Phase II of the 5th Avenue Lofts Project. Phase I, currently under construction, is a 60-unit apartment complex. Forty (40) of those units are WHEDA Affordable Housing units and twenty (20) units are market rate rentals. It is anticipated that construction of Phase I will be completed in February of 2016. Phase II is proposed as forty-four (44) units, all market rate rentals.
2. Phase II is proposed as a 5-story building, identical to Phase I. The first floor will be covered parking and a lobby area. Floors two (2) through five (5) are residential units.
3. The exterior building materials are a combination of brick, split-faced block, stone and cement siding, similar in material and design to Phase I.
4. This Conditional Use Permit is also accompanied by two (2) other agenda items.
 - a. The first item is a Request to Amend the Conditional Use Permit for Phase I. The Phase II plans show parking spaces crossing the common Lot Line and utilizing an area of the Phase I Project that was shown as open space, not parking.
 - b. The second item is the Rezoning of the property that was reviewed by the City Plan Commission on November 21, 2013. The City Zoning Ordinance requires formal development of a property that has been rezoned to be consistent with a Conceptual Plan that was submitted with the rezoning request. The Conceptual Plan that was submitted for the November 21, 2013 meeting showed Phase II as a forty-eight (48) unit apartment with 3,000 s.f. of "non-residential" space on the ground floor. The "non-residential" space could have been retail, commercial and/or office uses. The plan that has been submitted is a forty-four (44) unit development with all residential units, no "non-residential" space. Since the property was rezoned to B-4 Mixed-Use District, Staff anticipated that the Phase II building would have space for "non-residential" uses, thus making it a Mixed-Use development. The applicant has indicated there is no market for "non-residential" space and has changed the plans from the original Conceptual Plan. The amended rezoning ordinance has to be adopted before the Conditional Use Permit can be issued for the amended Phase II plans.
5. Phase I included a Developer's Agreement for reconstruction/resurfacing of 4th Avenue from 58th Street to 59th Street. That Developer's Agreement still applies to Phase II as well. The applicant would like to amend the Developer's Agreement to defer reconstruction of sidewalks around the Phase II development until the completion of Phase II. Based on this, the City may also request revisions on the timing of 4th Avenue repaving. That request for an Amendment may be heard by the City Plan Commission at an upcoming meeting.

- 6. The plans were sent to City Departments for their review. Their comments are included in the attached Conditions of Approval.
- 7. The plans generally comply with Sections 4 and 14 of the Zoning Ordinance.

RECOMMENDATION:

A recommendation is made to approve the Conditional Use Permit, subject to the attached Conditions of Approval.



Brian Wilke, Development Coordinator

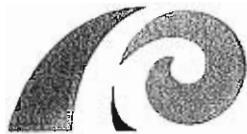


Jeffrey B. Labahn, Director

1. The following Conditions of Approval will run with the land and shall be included in a document recorded with the Kenosha County Register of Deeds:
 - a. The applicant shall obtain all required construction permits from the Department of Community Development & Inspections. This includes, but is not limited to Erosion Control, Building, Plumbing, Electrical and Occupancy permits.
 - b. The applicant shall obtain Driveway, Sidewalk, Street Opening, Parking Lot and Stormwater Management permits from the Department of Public Works/Storm Water Utility.
 - c. All signs shall comply with Chapter 15 of the Code of General Ordinances and the applicant shall obtain sign permits for all new signs. A separate submission and permits are required for all signs. Sign information provided under the Conditional Use Permit is for reference only and does not constitute sign permit approval.
 - d. The development shall be constructed per the approved plans on file with the Department of Community Development & Inspections, Room 308, 625 52nd Street, Kenosha, WI 53140. Any changes to the approved plans shall require an amendment to the Conditional Use Permit. All changes shall be submitted to the Department of Community Development & Inspections for review and approval.
 - e. Prior to the issuance of any Occupancy permits, all parking areas, drives and designated paved areas shall have the initial lift of asphalt installed. The building exterior shall be completed per the approved plans, the exterior lighting shall be installed and the Conditional Use Permit shall be recorded with the Kenosha County Register of Deeds. All improvements indicated on the plans, including landscaping, shall be installed prior to the issuance of a final Occupancy permit. The recording fees for the Conditional Use Permit shall be submitted by the applicant.
 - f. Compliance with City and State and/or Federal Codes and Ordinances and any Conditions noted in the recorded Developers Agreement. The buildings shall comply with the current Code standards in effect upon application for a building permit.
 - g. All trash containers shall be stored within the enclosure or building. The applicant/owner shall be responsible for waste collection and removal for the development. The City of Kenosha shall not provide waste collection or removal services or incur any cost in this regard.
 - h. The applicant shall meet all applicable Conditions of Approval and obtain a building permit within twelve (12) months of City Plan Commission approval of the Conditional Use Permit or the Conditional Use Permit shall be null and void.
 - i. All vehicles shall be parked within the designated paved areas.
 - j. All improvements, including landscaping, shall be maintained per the approved plans. Any damaged fencing, landscaping or building shall be replaced or reconstructed per the approved plans.
 - k. Compliance with the Operational Plan dated August 24, 2015.

- I. Prior to final Occupancy of the building, the applicant shall provide an electronic copy of the following information to the Fire Prevention Bureau:
 - i. Site Plan as-built
 - ii. Floor Plan as-built
 - iii. Site Utilities
 - iv. Sprinkler Plans
 - v. Fire Alarm Plans

2. The following conditions of approval shall be satisfied with City Staff prior to the issuance of any construction permits.
 - a. The Drainage Plan shall be revised and resubmitted for review and approval addressing comments listed in the Public Works memo dated September 16, 2015.
 - b. The Utility Plan shall be revised and resubmitted for review and approval addressing the comments listed in the Kenosha Water Utility Memo dated September 16, 2015.
 - c. Detail on a gated wood or masonry trash enclosure shall be submitted for review and approval, or if the dumpsters are located in the building, indicate that as well.
 - d. In addition to the items listed in the Public Works memo dated September 16, 2015, the Site Plan, Sheet C-1.1 shall show the two (2) westernmost parking stalls removed from the plan. Parking stalls are not permitted to back out over the public right-of-way.
 - e. A letter shall be submitted indicating that this project will not seek tax-exemption status.
 - f. First Floor Plan, Sheet A-1.1, shall be submitted with dimensions of the parking stalls and drive aisles to determine compatibility with design standards.
 - g. Include detailed exterior measurements on the Floor Plans for floors one thru five (1-5), including sizes of patios. Include detailed heights of the building on the building elevations.
 - h. Section 9.28 of the Code of General Ordinances entitled "Structural Interference with Public Safety Radio Communication" shall be complied with.
 - i. All new fire hydrants shall have *Stortz* connectors on the steamer connection.
 - j. All hallways are to have low exit signs at the floor height.
 - k. The Conditional Use Permit for Phase I of the 5th Avenue Lofts must be amended to show the proposed parking stalls, prior to the issuance of any Construction permits.
 - l. The Amendment to Rezoning Ordinance #05-14 shall be approved by the Common Council prior to the issuance of any Construction permits.
 - m. The building elevation shall indicate which first floor windows are real glass and which are spandrel glass. Material samples or product info shall be provided.



**THE CITY OF
KENOSHA**
PUBLIC WORKS
ENGINEERING

TO: Brian Wilke, Development Coordinator

FROM: Shelly Billingsley, P.E.
City Engineer

Shelly Billingsley
CWA
9-16-15

DATE: September 16, 2015
SUBJECT: PLAN REVIEW COMMENTS
Project Description: Fifth Avenue Lofts – Phase 2
Location: 59th Street and 5th Avenue

Our staff has reviewed the plans for this project. The following comments are provided:

Parking Lot Ordinance Compliance	Sufficient	Deficient	Not Applicable
Parking Lot Paved	X		
Standard Stall Width	X		
Parking Lot Layout	X		
Parking Lot Lighting Shown	X		
Parking Lot Lighting Adequate	X		
Handicapped Parking	X		
Driveway Locations	X		
Driveway Width	X		
Passing Blister or Accel/Decel Lanes			X
Sidewalks Adequate	X		
Drive Thru Lane Design			X

Public Streets	Sufficient	Deficient	Not Applicable
Geometric Design	X		
Pavement Width		X	
Pavement Thickness Design		X	
Established Grades			X
Plan Details		X	
Sidewalks		X (HC Ramp)	
Street Lights		X	

Site Grading/Drainage	Sufficient	Deficient	Not Applicable
Drainage Plan		X	
Storm Sewer	X		
Storm Water Detention		X	
Drainage Calculations	X		

Project Approval/Permits Needed	Yes	No	Not Applicable
Project Approved for Permitting		X	
Withhold Permits: See Comments	X		
Approve Footing/ Foundation Only (per condition)	X		
Parking Lot Permit Required	X		
Driveway Permits Required	X		
Sidewalk Permit Required	X		
Street Opening Permit Required	X		
Stormwater Management Permit Required	X		
Erosion Control Permit Required	X		

Grading and Drainage:

1. Plan Sheet C-7.0, Need to discuss with manufacturer of the underground detention system if 2 feet or less of cover is acceptable. The finished grade difference is at 2 feet, but during construction and grading there will be closer to 1 foot of cover over the pipe with heave trucks driving over the pipe.
2. Plan Sheet C7.0, The Storm Water Maintenance Note indicates Semiannual cleaning of the storm system. However, the WINSLAMM Model outlined in the SWMP indicates this to be quarterly. This needs to be rectified and/or corrected with the final maintenance schedule defined in a Maintenance Agreement provided to the City.
3. Plan Sheet C-8.0, Need additional Inlet Protection shown on CB 2 as well as the connecting Manhole and on MH 20.
4. Plan Sheet C-9.0, There is an elevation in the NE corner of parking lot that shows question marks.
5. Plan Sheet C-9.0, Provide detail as to where all the elevations are based from. These appear to be at random locations and contractor will not know where these are referenced to.
6. Plan Sheet C-9.0, Need to correct the grades at the east exit. Storm water not allowed to drain out of a site over sidewalk.
7. Plan Sheet C-11.0, Can't read any of the information provided on the storm water detention system, especially the manufacturer's recommended cover over the pipe.
8. Erosion Control plans is not reviewed as a part of the CUP process. They will be reviewed when an erosion control permit application is submitted to the City.

Traffic:

1. Plan Sheet C-1.1, Need to modify the property lines for the sidewalk at the SE & SW corners at 59th Street. The public sidewalk is shown on private property.
2. Plan Sheet C-1.1, There appears to be a property line in the middle of the parking stalls which needs to be modified to coincide with the back of curb for the previous phase 1. If building is sold in the future this would be a problem.
3. Plan Sheet C-1.2, Does not show the proposed street lights as previously discussed during Phase 1 Design. The perimeter of the property would require approximately 8 decorative units to be consistent with other similar areas in the downtown.
4. Plan Sheet C-1.2, Provide light pole base detail for lighting poles.

5. Plan Sheet C-10.0, Since parking lot set up for one way traffic, will need to paint "In Arrows" on the west entrance and "out Arrows" on the east exit. Also, there should be "Do Not Enter" signs placed at the east exit.
6. Plan Sheet C-12.1, In detail #2 the Detectable Warning field shows a 48" width. The new standard for Handicap ramps is the detectable warning field shall cover the entire width of the opening (ie. No 6" wide gap on the sides).
7. Plan Sheet L-1, All street trees need the approval of the City Forester.
8. Plan Sheet A-1.1, Show all parking stall dimensions. Also, show proposed pavement marking. The Handicap symbol appears to be upside down and this stall requires a sign designating this stall for its intended use.
9. Need to discuss 4th Avenue roadway construction (as currently part of Phase 1 construction) to accommodate Phase 2 construction.

cc: **Cathy Austin; Greg Holverson; Kile Kuhlmeier; Gerard Koehler, Kevin Risch (Clark-Dietz)**

Engineering Services
4401 Green Bay Road
Kenosha WI 53144

Phone (262) 653-4315
Fax (262) 653-4303



"Providing and Protecting Kenosha's Greatest Natural Resource"

MEMO

To: Brian Wilke, Development Coordinator

From: Ian C. Bagley, P.E., Water Engineer

Date: September 16, 2015

Subject: 5th Avenue Lofts Phase 2

Location: 59th Street and 5th Avenue

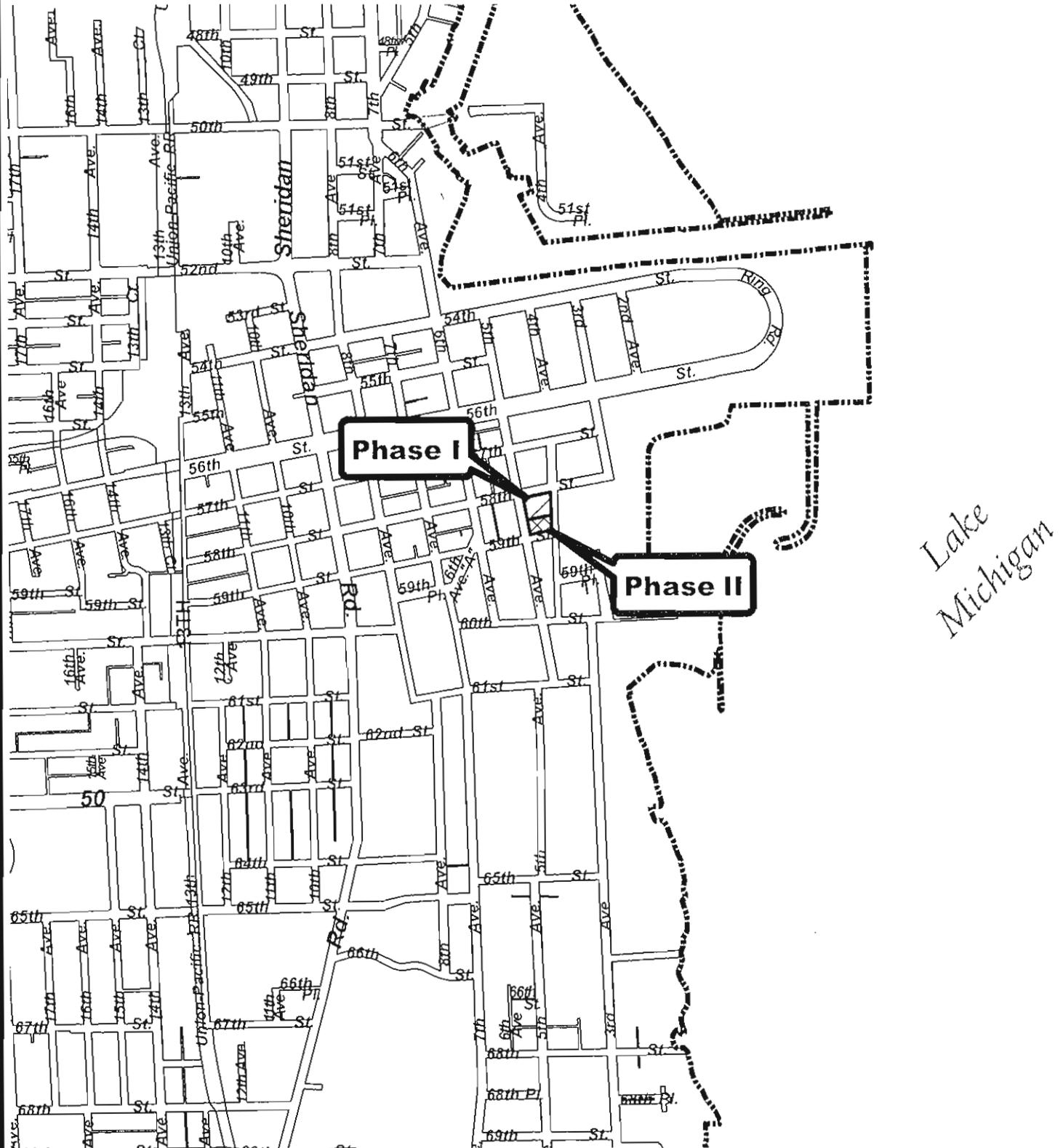
The Kenosha Water Utility (KWU) has reviewed the submittal for the above referenced project. KWU recommends approval of the project subject to the following comments:

1. Please note that the water service connection will require a deposit of \$1,800.00 which must be paid prior to scheduling the connection.
2. The proposed three inch (3") water meter as shown on the plans will require a sewer connection fee of \$49,222.00.
3. On Sheet C-6.0 the invert elevation for Valve 10.1 is incorrect. It should be 588.65 and not 588.51 as the plan shows.
4. If the plans are revised in the future they shall be submitted to KWU for review and approval.

CC: Mr. Robert Carlson, P.E., Director of Engineering Services

City of Kenosha

Vicinity Map
Fifth Avenue Lofts
Phase II CUP



----- Municipal Boundary



0 1,000 Feet

**Development Review Application
City of Kenosha, Wisconsin**

MAILING INFORMATION

NAME OF PROJECT: 5th Avenue Lofts Phase II

Check one (1) of the following boxes to indicate the recipient of all correspondence:

<input checked="" type="radio"/>	Name and Address of Applicant [Please print]: Bear Development, LLC 4011 80th Street Kenosha, WI 53142	Phone: 262-842-0454 Fax: 262-842-0455 E-Mail: Josh@BearDevelopment.com
<input type="radio"/>	Name and Address of Architect/Engineer [Please print]: Knothe & Bruce 7601 University Avenue Middleton, WI 53562	Phone: 608-836-3690 Fax: E-Mail: kburow@knothebruce.com
<input type="radio"/>	Name and Address of Property Owner (if other than applicant)[Please print]: Keno Wells, LLC 4011 80th Street Kenosha, WI 53142	Phone: 262-842-0454 Fax: 262-842-0455 E-Mail: Josh@BearDevelopment.com

PROJECT LOCATION

Location of Development (street address and / or parcel number): Parcel number: 12-223-31-487-002
Located at Northeast corner of 5th Avenue and 59th Street

TYPE OF LAND DEVELOPMENT

Check all that apply. Note: Additional information may be required within individual Sections.

<input type="checkbox"/>	Certified Survey Map	Section 1	Page 3
<input type="checkbox"/>	Concept Review (<i>Land Division</i>)	Section 2	Page 4
<input type="checkbox"/>	Concept Review (Multi-Family Residential or Non-Residential)	Section 3	Page 5
<input checked="" type="checkbox"/>	Conditional Use Permit	Section 4	Pages 6 & 7
<input type="checkbox"/>	Developer's Agreement	Section 5	Page 8
<input type="checkbox"/>	Final Plat	Section 6	Pages 9 & 10
<input type="checkbox"/>	Lot Line Adjustment Survey	Section 7	Page 11
<input type="checkbox"/>	Preliminary Plat	Section 8	Pages 12 & 13
<input checked="" type="checkbox"/>	Rezoning	Section 9	Pages 14 & 15
<input type="checkbox"/>	Site Plan Review	Section 10	Pages 16 & 17

**PRIOR TO SUBMITTING THIS APPLICATION TO THE DEPARTMENT OF CITY DEVELOPMENT,
PLEASE REVIEW THE APPROPRIATE SECTION(S) FOR FEES, REQUIREMENTS AND APPROPRIATE APPENDICES.**

**Submit this cover page, completed application, applicable section(s) and appendices
along with ALL required plans, information and fees to:**

Department of Community Development & Inspections Planning Division 625 52nd Street, Room 308 Kenosha, WI 53140	Phone: 262.653.4030 Fax: 262.653.4045 Office Hours: M - F 8:00 am – 4:30 pm
--	--

**SECTION 4
CONDITIONAL USE PERMIT**

Additional Information Required:	Building or Addition Square Footage: <u>49,640 SF</u> Existing Building Size: <u>0</u> Site Size: <u>17,986 SF</u> Current # of Employees <u>0</u> Anticipated # of New Employees <u>2</u> Anticipated Value of Improvements <u>\$4,100,000</u>
---	---

Submittal Requirements:	<ul style="list-style-type: none"> ➤ Ten (10) full size scaled copies of Specified Plans indicated below drawn at a standard engineering scale ➤ Developer Site Plan/Conditional Use Permit Checklist (Appendix A)
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If Item to be Reviewed by Plan Commission/Common Council must Submit:	<ul style="list-style-type: none"> ➤ One (1) 8 1/2" x 11" reduction <i>or</i> twenty (20) 11" x 17" reductions of the Site/Landscape Plan, Floor Plan and Colored Building Elevations (all sides) ➤ Sample Board containing colored samples of all exterior building materials
--	--

Fees:		<u>Building or Addition Size</u>	<u>Site size</u>	<u>Review Fee</u>
	Level 1	< = 10,000 sq. ft.	< = 1 acre	\$900 = City Plan Dept. <i>or</i> \$1,025 = CPC/CC
	Level 2	10,001 - 50,000 sq. ft.	1.01 - 10 acres	\$1,175 = City Plan Dept. <i>or</i> \$1,300 = CPC/CC
	Level 3	50,001 - 100,000 sq. ft.	10.01 - 25 acres	\$1,600 = City Plan Dept. <i>or</i> \$1,725 = CPC/CC
	Level 4	> 100,001 sq. ft.	> 25.01 acres	\$2,000 = City Plan Dept. <i>or</i> \$2,125 = CPC/CC
<ul style="list-style-type: none"> ➤ If building size or addition and gross acreage of the site determine two (2) different fees, the greater of the two fees will be assessed. ➤ Application fee entitles applicant to an initial review and one re-submittal. ➤ Re-submittal fee = \$425 per re-submittal after two (2) permitted reviews. ➤ CUP Amendment = 50% of the applicable fee as determined above. 				

Appendices to Review:	➤ All
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Approximate Review Time:	<ul style="list-style-type: none"> ➤ 30 days for Staff Review ➤ 45-60 days for City Plan Commission/Common Council Review
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The conditional use permit plans, *prepared to a standard engineering scale*, shall be submitted with this application & shall include the following information:

Building Plan:	<ul style="list-style-type: none"> ➤ Layout of building(s) including size and layout of rooms ➤ Design and architecture ➤ Plans and details on fire suppression and/or standpipe ➤ Plans and details on fire detection, fire alarm and other safety devices
-----------------------	---

Site Plan (based on a plat of survey)	<ul style="list-style-type: none"> ➤ Legal description of property ➤ Location and footprint of building(s) and structure(s) ➤ Locations of existing and proposed streets, drives, alleys, easements, rights-of-way, parking as required, vehicular and pedestrian access points, and sidewalks ➤ Outline of any development stages ➤ Location and details on any required emergency access roads ➤ A calculation of square footage devoted to building, paving and sidewalks, and landscaped/open space
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Drainage Plan	<ul style="list-style-type: none"> ➤ Existing topography, including spot elevations of existing buildings, structures, high points, and wet areas, with any previous flood elevations ➤ Floodplain boundaries, if applicable ➤ Soil characteristics, where applicable ➤ Proposed topography of the site denoting elevations and natural drainage after construction and any proposed stormwater retention areas
----------------------	---



4011 80th Street, Kenosha, WI 53142
Phone: (262) 842-0454 Fax: (262) 842-0455

August 24, 2015

City of Kenosha
Attn: Brian Wilke – City Development
625 52nd St
Kenosha, WI 53142

RE: 5th Avenue Lofts Phase II
Northeast Corner of 5th Avenue & 59th Street
Parcel # 12-223-31-487-002

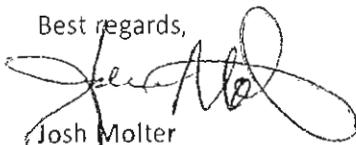
Dear Mr. Wilke,

The following is being provided as part of the Operational Plan for 5th Avenue Lofts Phase II:

- 1) Construction Schedule:
 - i. We plan to begin construction as soon as possible. Pending City approvals we anticipate starting construction in November 2015 and completing construction roughly 10 or 11 months later in September or October of 2016.
- 2) Management/Operational Plan:
 - i. The property will be managed and maintained by a professional property management firm. All tenant screenings, interactions, evictions, property repairs and maintenance will be handled with professionalism and in accordance with commonly accepted property management guidelines.
- 3) Deed Restrictions:
 - i. None
- 4) Bylaws/Homeowners Association:
 - i. There will be no association; the management company referenced above will handle all of these types of matters.

If additional information is needed as part of this Operational Plan please do not hesitate to contact me at the number below.

Best regards,



Josh Molter
Senior Project Manager
Bear Development, LLC

4011 80th Street
Kenosha, WI 53142
Direct: 262.842.0454
josh@beardavalooment.com

Comments

Notes

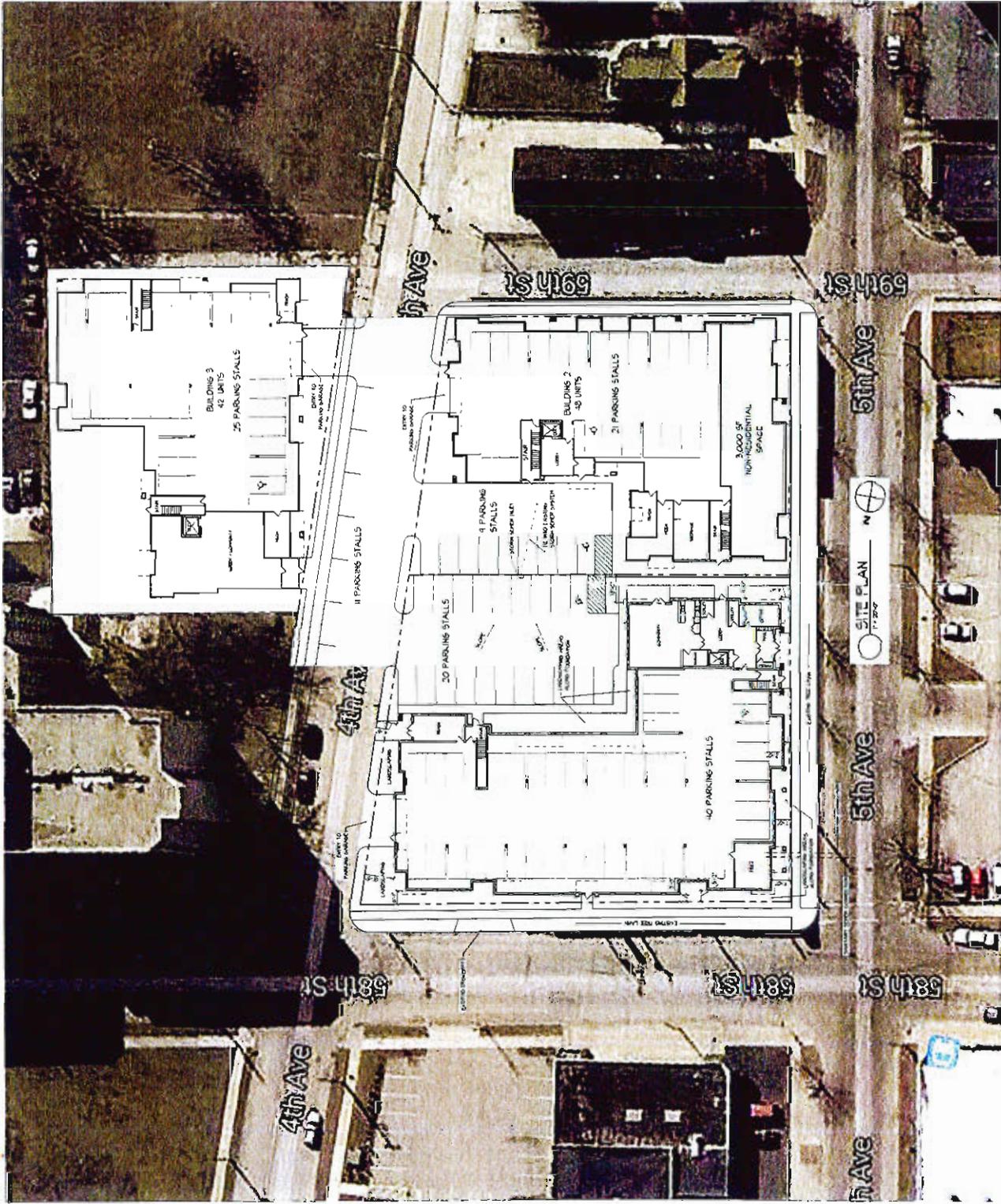
Project No. 11/21/13 CPC Meeting
 Group - November 20, 2013

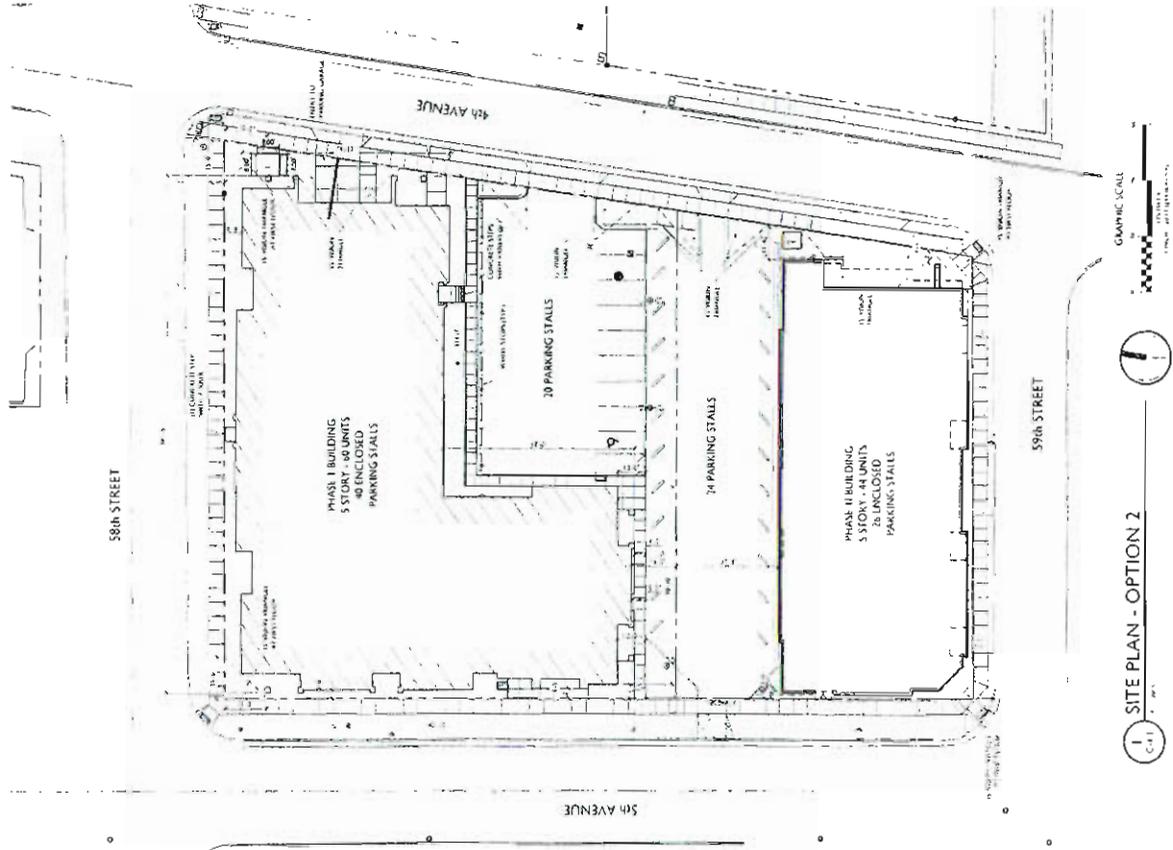
** Plan presented at 11/21/13 CPC Meeting*
Brew

Project No. 5th Avenue Lofts Phase II

Wells 5th 40 and 44 Unit Buildings
 5000 sq. ft.
 Site Plan

Project No. 1227
 Drawing No. C-11





1 SITE PLAN - OPTION 2
 C-1.1



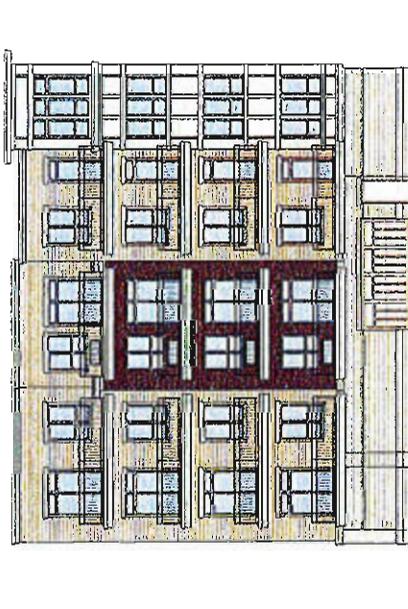
5th Avenue Lofts
North and South Elevations
August 21, 2015



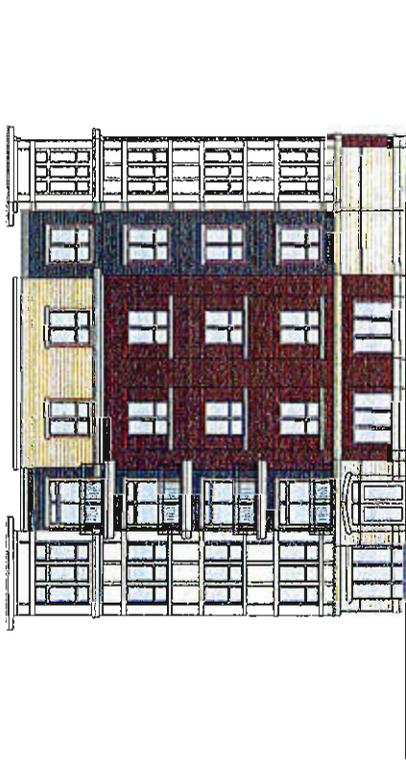
1 NORTH ELEVATION
A-217 18' x 42'



2 SOUTH ELEVATION
A-217 18' x 42'

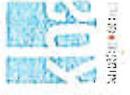


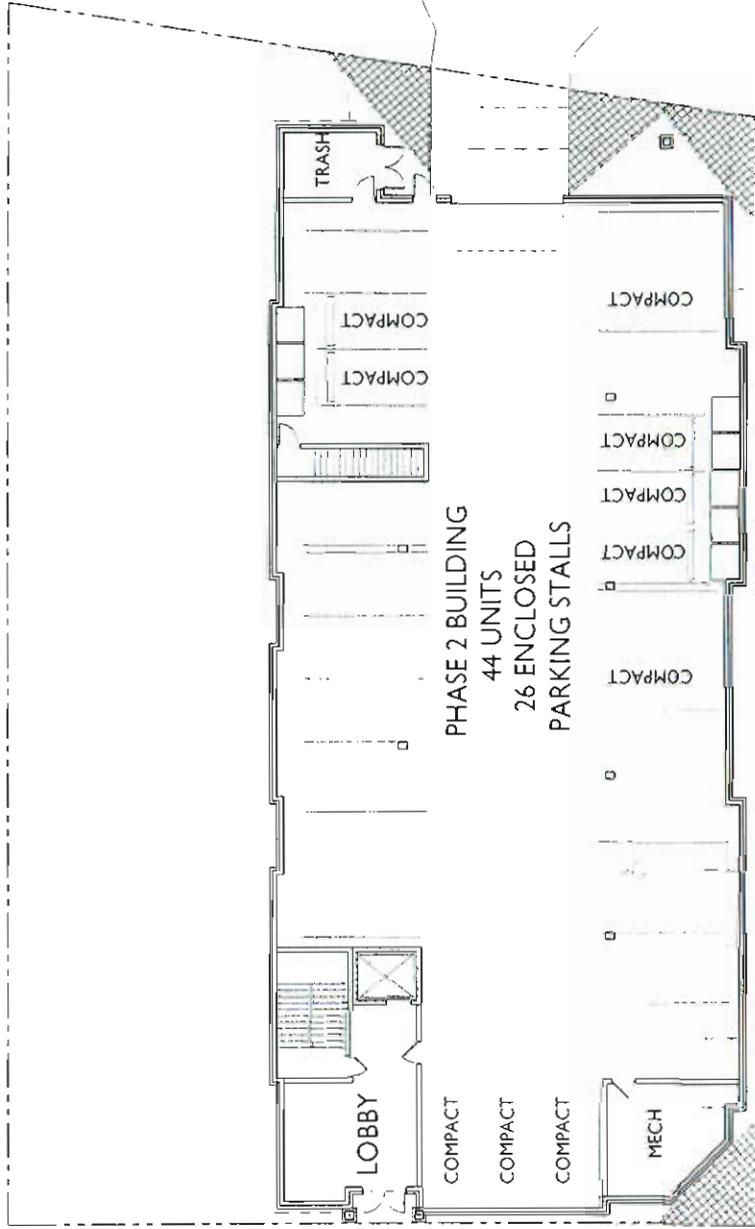
1 EAST ELEVATION
A13 10/14/15



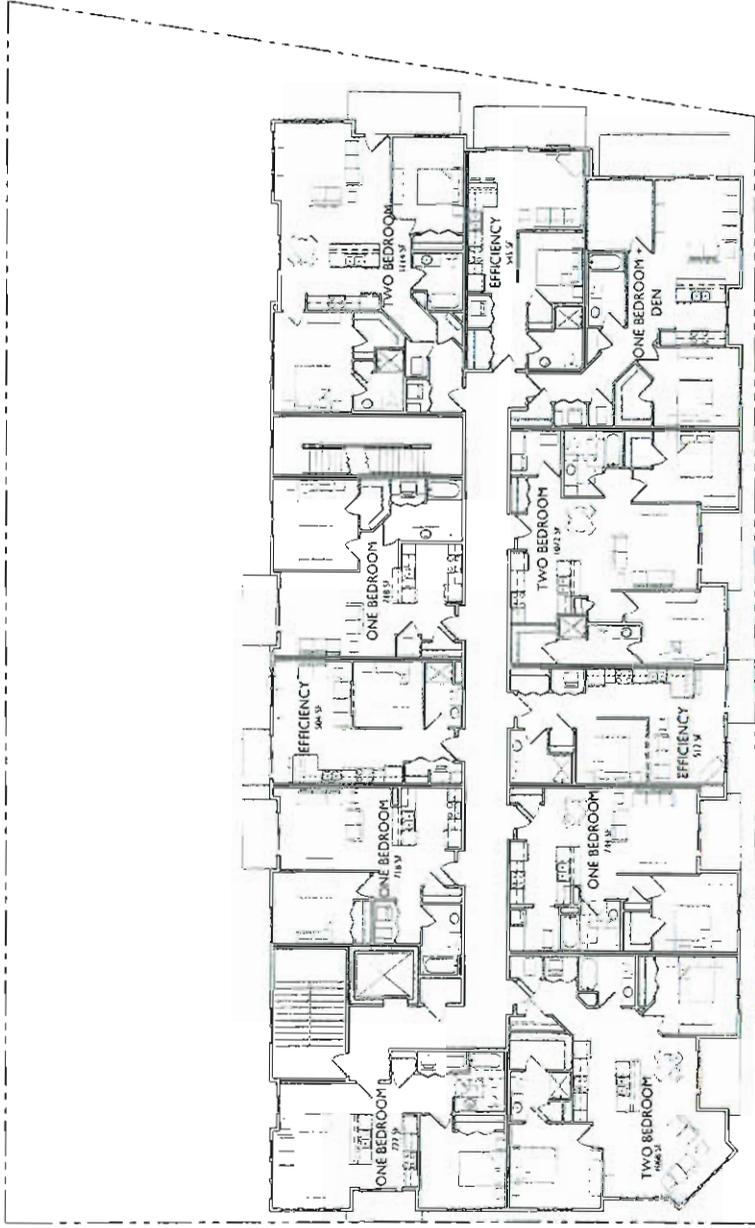
2 WEST ELEVATION
A13 10/14/15

5th Avenue Lofts
East and West Elevations
August 21, 2015





1 FIRST FLOOR PLAN
 A-1.1



SECOND FLOOR PLAN



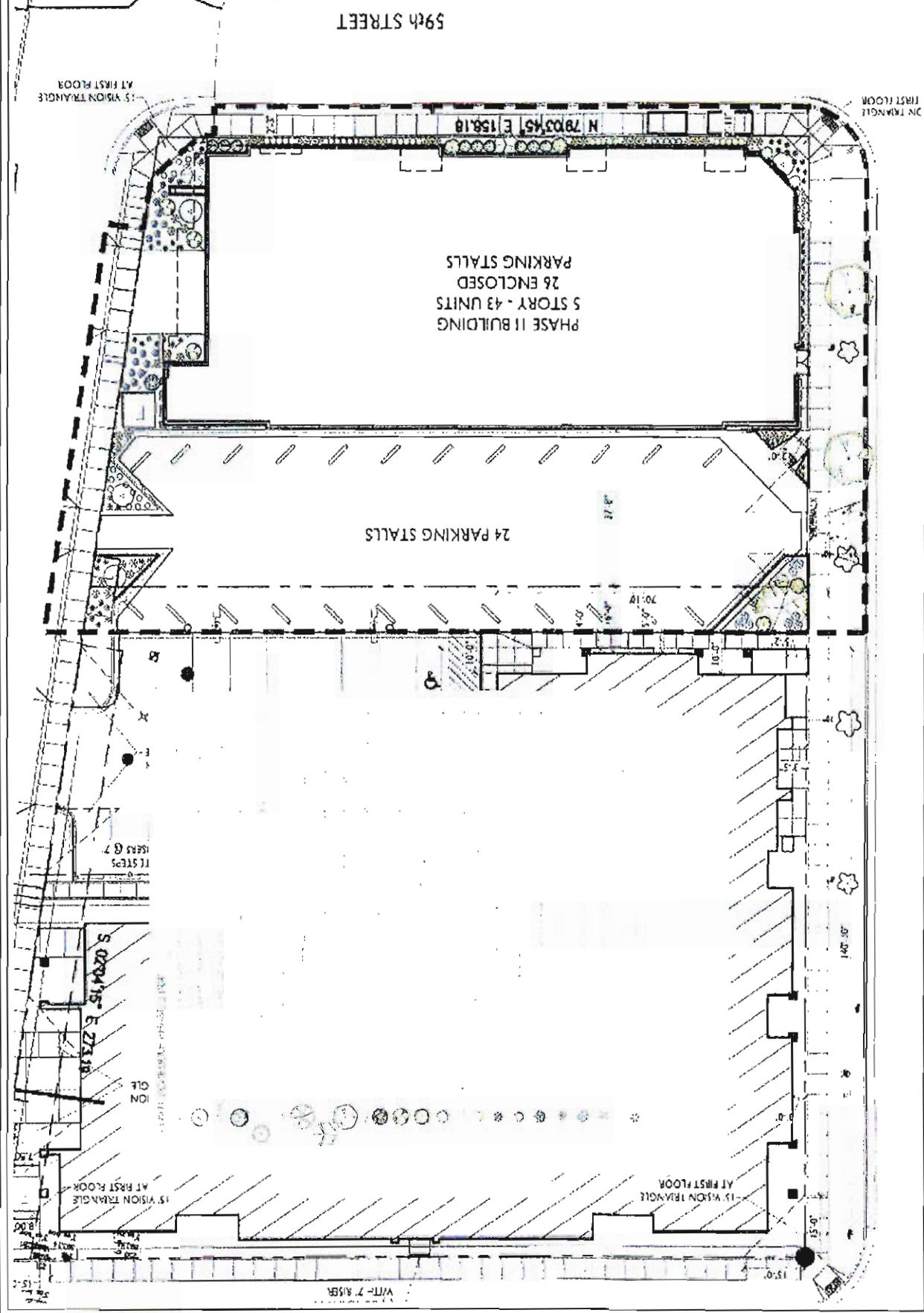


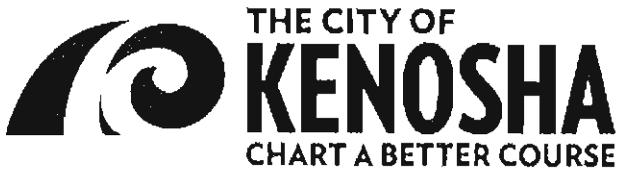
CMA - 5th Ave. Lofts - Phase 2



Scale: 1/8" = 1'-0"
Date: August 15, 2012
Project: CMA

Sheet
1/1





CITY PLAN COMMISSION
Staff Report - Item 6

Thursday, September 24, 2015 at 5:00 pm
Municipal Building
625 52nd Street - Room 202 - Kenosha, WI 53140

City Plan Commission Resolution - To Amend the Land Use Plan Map for the Comprehensive Plan for the City of Kenosha: 2035, regarding property at 4314 39th Avenue. (Demos Brothers, LLC) (District 10) PUBLIC HEARING

NOTIFICATIONS AND APPROVAL REQUIREMENTS:

Aldersperson Kennedy, District 10, has been notified. This City Plan Commission Resolution recommends the Common Council approve the Amendment through a Zoning Ordinance Amendment.

LOCATION AND ANALYSIS:

Site: 4314 39th Avenue

1. Wisconsin Statutes require the City Plan Commission to adopt a City Plan Commission Resolution to recommend that the Common Council adopt amendments to the Comprehensive Plan. The City Plan Commission Resolution will need six (6) affirmative votes from the Commission to pass.
2. The attached Resolution satisfies this requirement and will be attached to the Zoning Ordinance to create Subsection 18.02 rr. to Amend the *Land Use Plan for the City of Kenosha: 2035* for the referenced properties from *Industrial* to *Government and Institutional*.
3. The adopted Comprehensive Plan designated this site as *Industrial*. This area has developed as an Industrial Park.
4. The owner of the property has requested the land use change to *Government and Institutional* to allow for the building to be converted to a shelter facility for the Shalom Center.

RECOMMENDATION:

A recommendation is made to approve the City Plan Commission Resolution amending the Comprehensive Plan.

Brian Wilke, Development Coordinator

Jeffrey B. Labahn, Director

CITY PLAN COMMISSION RESOLUTION # ___ -15

By: City Plan Commission

*To Amend the Land Use Plan Map for the Comprehensive Plan for the City of Kenosha: 2035
Property at 4314 39th Avenue (Demos Brothers, LLC)*

WHEREAS, the City of Kenosha, pursuant to Section 62.23 of the Wisconsin Statutes, has established the City Plan Commission; and

WHEREAS, the Common Council adopted "A Comprehensive Plan for the City of Kenosha: 2035" on April 19, 2010, following extensive public participation; and

WHEREAS, a property owner has submitted a request to amend the Land Use designation for the referenced property from *Industrial* to *Government* and *Institutional*, as mapped on the attached Map C3-15 and on the Land Use Plan map adopted by the Common Council as part of the Comprehensive Plan; and

WHEREAS, the City Plan Commission finds that the Comprehensive Plan, with the proposed amendment, contains all of the required elements specified in Section 66.1001(2) of the Wisconsin Statutes and the Comprehensive Plan, with the proposed amendment, is internally consistent; and

WHEREAS, the City has duly noticed and will hold a public hearing on the proposed amendment, following the procedures in Section 66.1001(4)(d) of the Wisconsin Statutes.

NOW, THEREFORE BE IT RESOLVED that pursuant to Section 66.1001(4)(b), the City Plan Commission for the City of Kenosha, Wisconsin, hereby approves the amendment to "A Comprehensive Plan for the City of Kenosha: 2035" as shown on the attached Map C3-15.

BE IT FURTHER RESOLVED, that the City Plan Commission, for the City of Kenosha, Wisconsin, does hereby recommend that the Common Council enact a Zoning Ordinance adopting the Comprehensive Plan Amendment.

Adopted this ____ day of _____, 2015

ATTEST:

Jeffrey B. Labahn, Secretary of City Plan Commission

APPROVE:

Mayor Keith Bosman, Chairman of City Plan Commission

DRAFTED BY: COMMUNITY DEVELOPMENT & INSPECTIONS

/u2/acct/cp/ckays/1CPC/2015/SEP24/6resoi-cpc-demos.odt

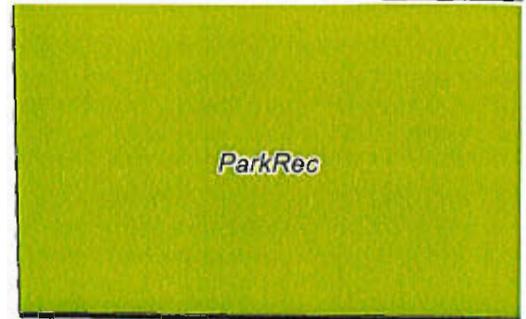
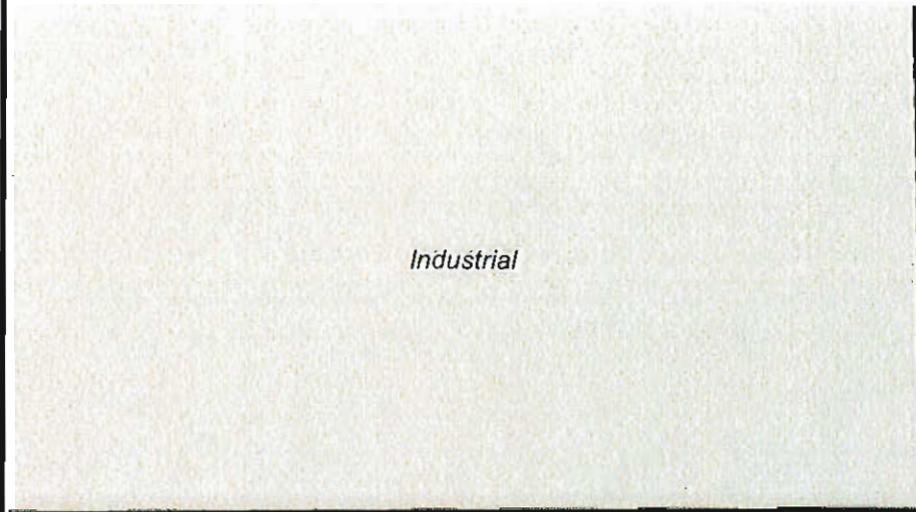
City of Kenosha

Comprehensive Plan Amendment

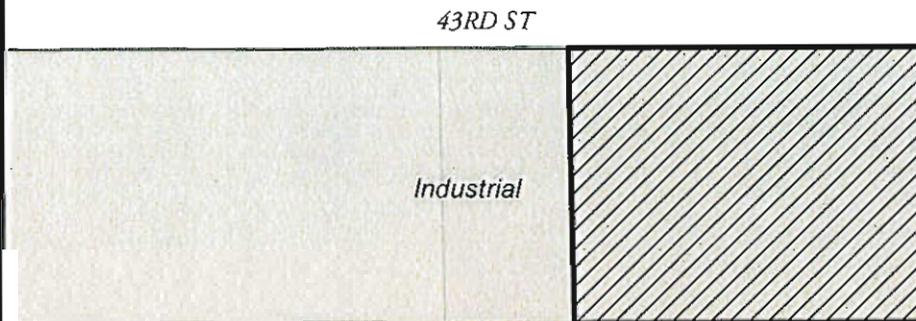
Demos Brothers, LLC Petition

Supplement No. C3-15

Ordinance No. _____

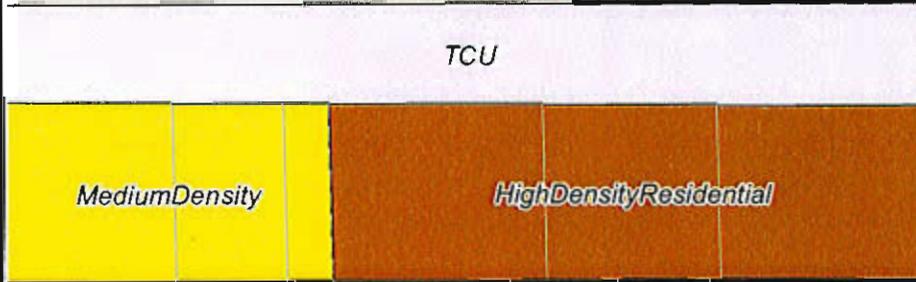
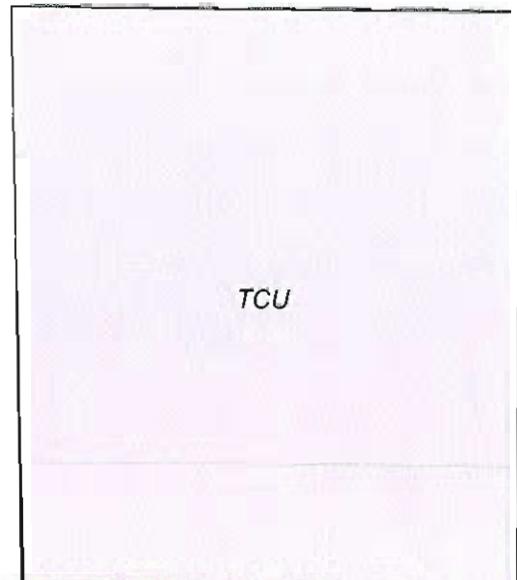


42ND ST



43RD ST

39TH AVE

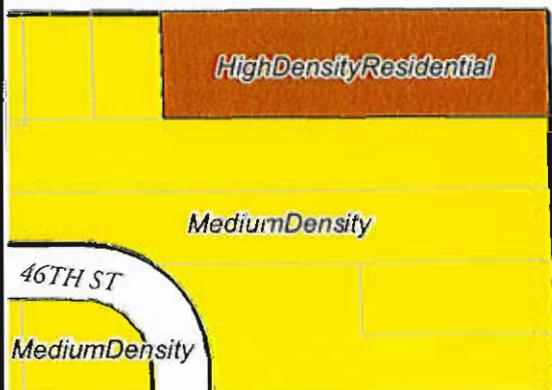


TCU

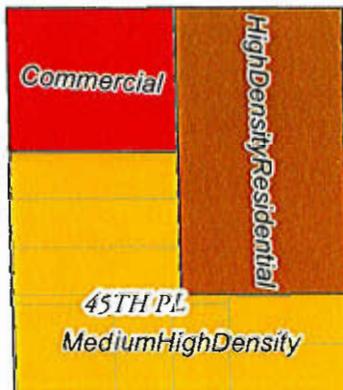
MediumHighDensity

ROW

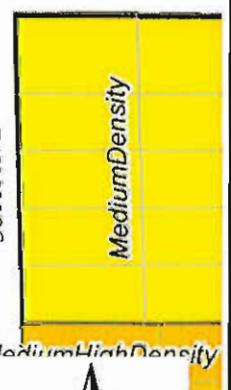
45TH ST



40TH AVE



38TH AVE



Property Requested to be changed from

 Industrial to Government and Institutional





CITY PLAN COMMISSION
Staff Report - Item 7

Thursday, September 24, 2015 at 5:00 pm
Municipal Building
625 52nd Street - Room 202 - Kenosha, WI 53140

Zoning Ordinance by the City Plan Commission - To Create Subsection 18.02 rr. of the Zoning Ordinance to Amend the *Land Use Plan Map for the City of Kenosha: 2035*. (Demos Brothers, LLC) (District 10) PUBLIC HEARING

NOTIFICATIONS AND APPROVAL REQUIREMENTS:

Aldersperson Kennedy, District 10, has been notified. The Common Council is the final review authority.

LOCATION AND ANALYSIS:

Site: 4314 39th Avenue

1. The Common Council adopted *A Comprehensive Plan for the City of Kenosha: 2035* on April 19, 2010.
2. Wisconsin Statutes require the Common Council to adopt an Ordinance for Amendments to the Comprehensive Plan.
3. The attached Zoning Ordinance references Map C3-15, which identifies the Amendment to the Land Use Plan located in the Comprehensive Plan. The Amendment will change the land use designation for the referenced properties from *Industrial* to *Government and Institutional*.

RECOMMENDATION:

A recommendation is made to approve the proposed Zoning Ordinance.

Brian Wilke, Development Coordinator

Jeffrey B. Labahn, Director

ORDINANCE NO. _____

SPONSOR: CITY PLAN COMMISSION

**TO CREATE SUBSECTION 18.02 rr. OF THE ZONING
ORDINANCE TO AMEND THE LAND USE PLAN MAP
FOR THE CITY OF KENOSHA: 2035**

The Common Council of the City of Kenosha, Wisconsin, do ordain as follows:

Section One: Subsection 18.02 rr. of the Zoning Ordinance for the City of Kenosha, Wisconsin, is hereby created as follows:

rr. By map C3-15 on file with the Department of Community Development and Inspections.

Section Two: This Ordinance shall become effective upon passage and publication.

ATTEST: _____ City Clerk

APPROVED: _____ Mayor

Passed:

Published:

Drafted By:
JONATHAN A. MULLIGAN
Assistant City Attorney

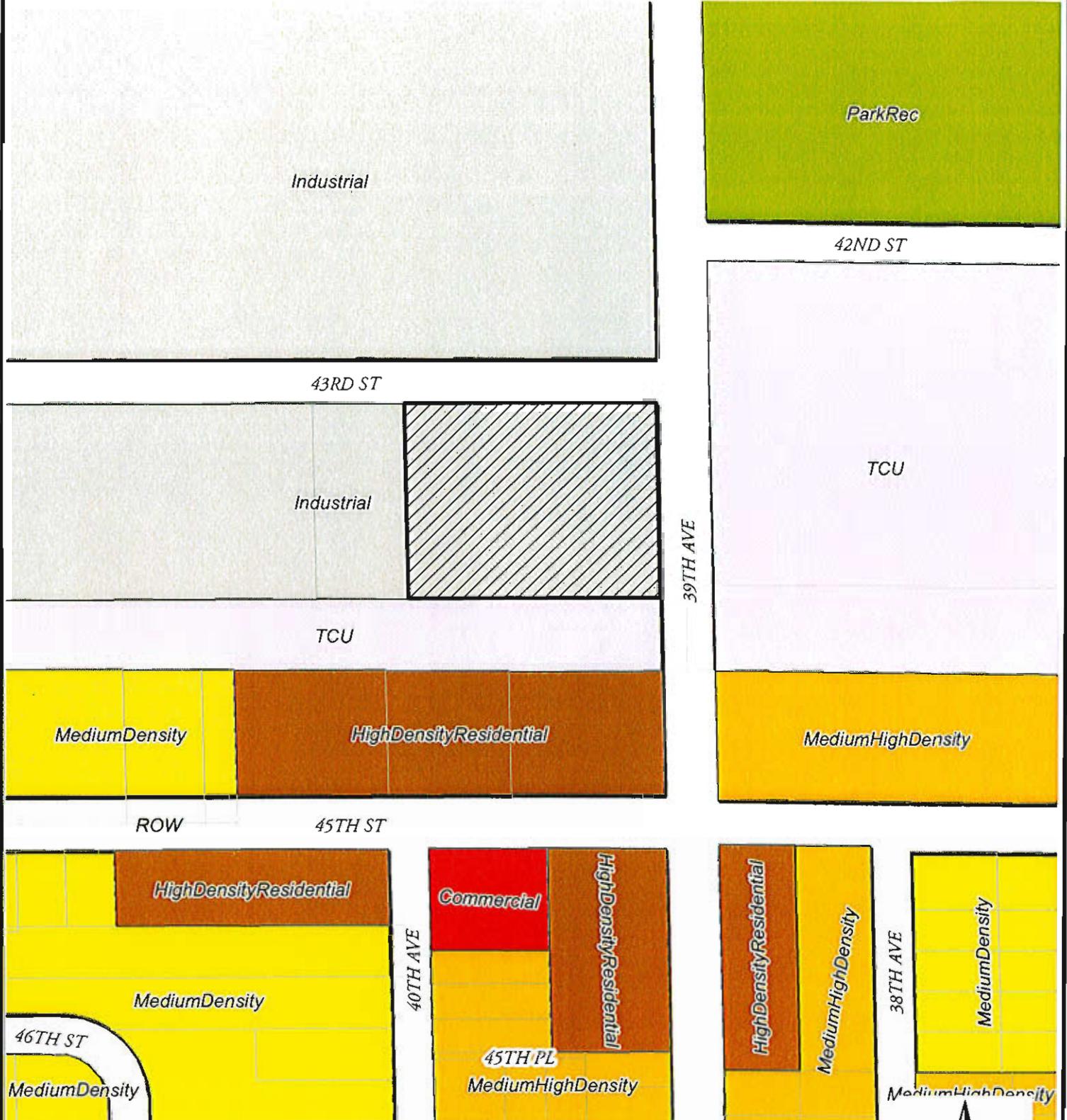
City of Kenosha

Comprehensive Plan Amendment

Demos Brothers, LLC Petition

Supplement No. C3-15

Ordinance No. _____



Property Requested to be changed from

 Industrial to Government and Institutional



Thursday, September 24 2015 at 5:00 pm
Municipal Building
625 52nd Street - Room 202 - Kenosha, WI 53140

Zoning Ordinance by the Mayor - To Rezone property at 4314 39th Avenue from M-1 Light Manufacturing District to IP Institutional Park District in conformance with Section 10.02 of the Zoning Ordinance. (Demos Brothers, LLC) (District 10) PUBLIC HEARING

NOTIFICATIONS AND APPROVAL REQUIREMENTS:

Aldersperson Kennedy, District 10, has been notified. Property owners within 100 feet of the proposed rezoning were notified. The Common Council is the final review authority.

LOCATION AND ANALYSIS:

		<u>Vicinity Zoning/Land Use</u>	
Site:	4314 39th Avenue	North: M-1 / Industrial	East: IP / Transit Building
Neighborhood:	<i>Endee</i>	South: IP / Utilities	West: M-1 / Industrial

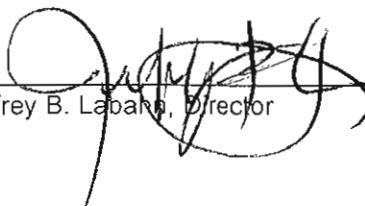
1. The owner of the property is requesting to rezone the property from *M-1 Light Manufacturing District* to *IP Institutional Park District*. The purpose of the rezoning is to construct a shelter facility for the Shalom Center.
2. Rezoning of the property to *IP Institutional Park District* is compatible with the existing land uses in the area and the amended Comprehensive Plan.
3. Prior to development, the applicant will also be required to obtain final approval through a Conditional Use Permit. The final development will also be required to be in compliance with the applicable City and State Ordinances, Codes and development standards. The Common Council is the final review authority for a shelter facility.
4. According to the attached "Initial Operational Plan" dated August 11, 2015, this proposed 80-bed facility would consolidate the Emergency Family Shelter and the INNS Program under one roof. It would also house the Soup Kitchen. Formal building plans have not yet been provided, but the Shalom Center indicated they are currently receiving construction estimates to determine if the building can be remodeled within their budget.
5. A neighborhood meeting was held by the Shalom Center and Aldersperson Kennedy and Aldersperson Juliana on September 8, 2015.
6. The rezoning will be compatible with the surrounding land uses and the amended Comprehensive Plan.

RECOMMENDATION:

A recommendation is made to approve the rezoning in accordance with Section 10.05 of the Zoning Ordinance



Brian Wilke, Development Coordinator



Jeffrey B. Labaree, Director

REZONING ORDINANCE NO. _____

SPONSOR: THE MAYOR

To Rezone Property at 4314 39th Avenue from M-1 Light Manufacturing District to I-P Institutional-Park District in Conformance with Section 10.02 of the Zoning Ordinance. (Demos Brothers, LLC) (District #10)

The Common Council of the City of Kenosha, Wisconsin, do ordain as follows:

Section One: That the land shown on the attached Supplement Map No. Z6-15 be, and the same hereby is, zoned and districted as indicated on said map.

Section Two: This Ordinance shall be in full force and effect upon passage and the day after its publication.

ATTEST: _____ City Clerk

APPROVED: _____ Mayor Date: _____

Passed:

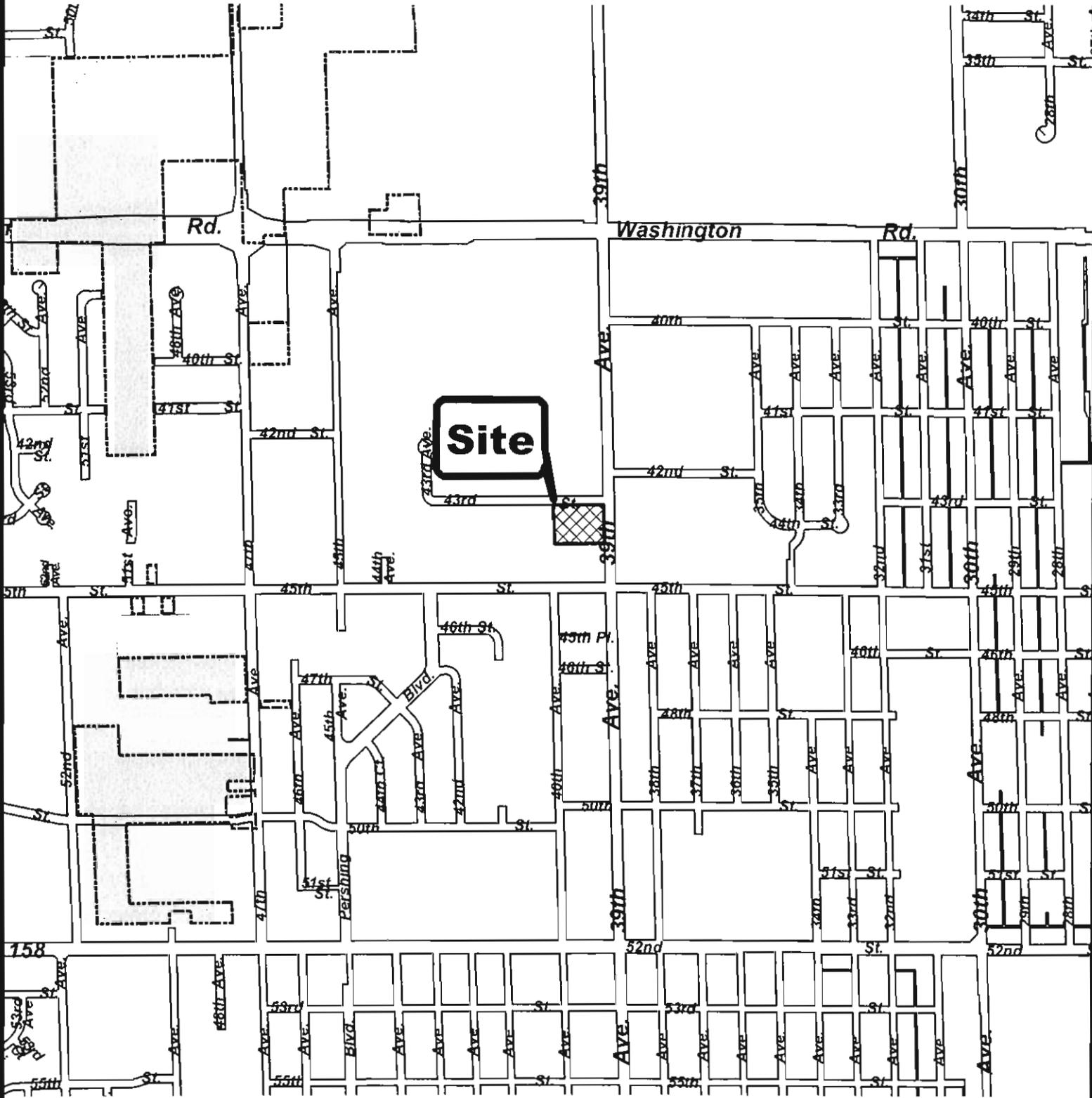
Published:

Drafted by:
JONATHAN A. MULLIGAN
Assistant City Attorney

City of Kenosha

Vicinity Map

Demos Brothers, LLC rezoning



Property requested to be rezoned



City of Kenosha

Demos Brothers, LLC petition

District Map
Rezoning

Supplement No. Z6-15
Ordinance No. _____



Property Requested to be Rezoned from:

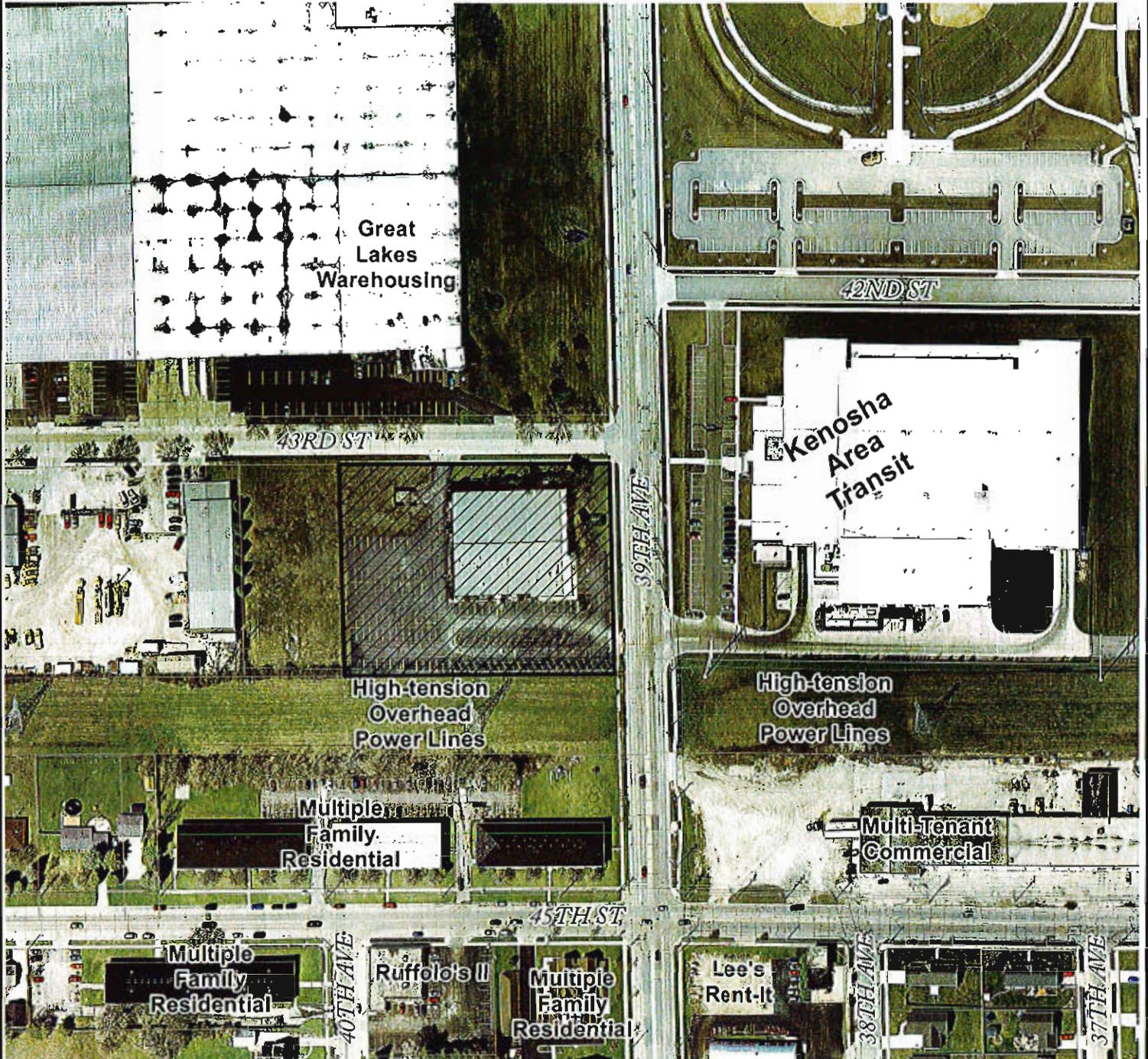
 M-1 Light Industrial to IP Institutional Park



Feet

City of Kenosha

Land Use Map
Demos Brothers, LLC rezoning



 Property Requested to be Rezoned



0 200
Feet

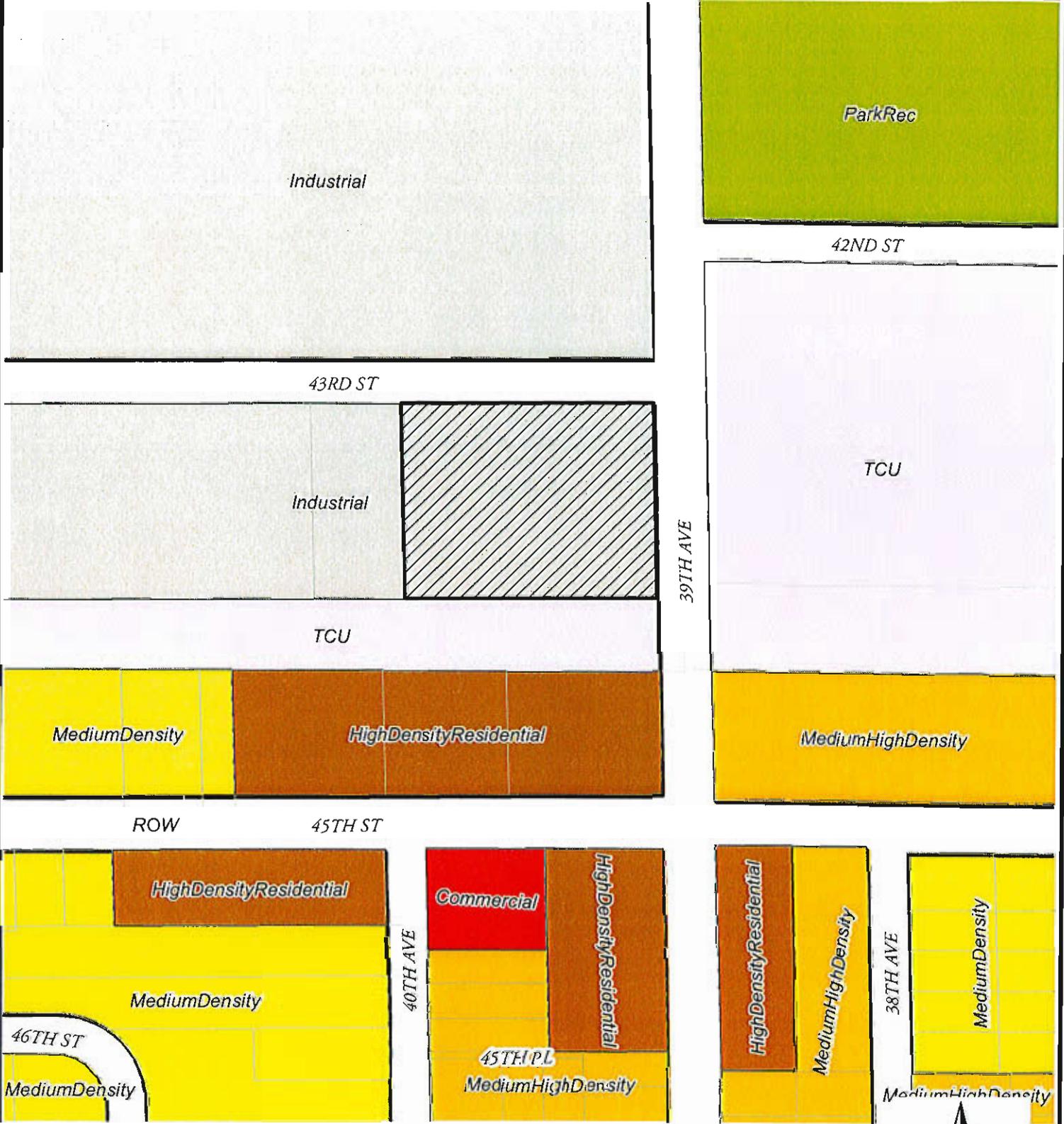
City of Kenosha

Comprehensive Plan Amendment

Demos Brothers, LLC Petition

Supplement No. C3-15

Ordinance No. _____



Property Requested to be changed from

 Industrial to Government and Institutional



August 11, 2015

The Honorable Mayor
and Members of the Common Council
Kenosha, WI

Dear Members of the Common Council:

It is requested that my property located at *4314 39th Avenue* be rezoned from *M1* to *IP*. The purpose of the rezoning is to permit *this property to be used as a IP Zoning*.

I understand that development of the referenced property proposed for rezoning is required to be consistent with the conceptual development plans submitted with my rezoning petition.

Please inform me of the date this item will be reviewed by the City Plan Commission. The meeting notice should be sent to *Lynn A. Biese-Carroll, Executive Director/Shalom Center at 1713 62nd St. Kenosha, WI 53143*. They can be reached at *262-658-1713, ext 123*, if there are any questions regarding my request for the rezoning.

Sincerely,



Steve Demos / *George Demos*
Current Property Owner

Board of Directors

Co-Chairs

Tom Aiello

Terry Backmann

Treasurer

Wes Ricchio

Secretary

Judy Juliana

Member(s) at Large

Wayne Koessl

Active Members

John Collins

Gail Gentz

Edna Highland

Judy Jensen

Karen Johnson

Richard Kauffman

Mark Modory

Ardis Mahone-Mosley

Beth Ormseth

Jane Palmen

Bob Riley

Richard Selsberg

Wilson Shierk

Brad Weinstock

Deuis Wikel

Honorary Board

Members

Ellie Chemerow

Lon Knoedler

Greta Hansen

(1933-2014)

Founder

Executive Director

Lynn Biese-Carroll

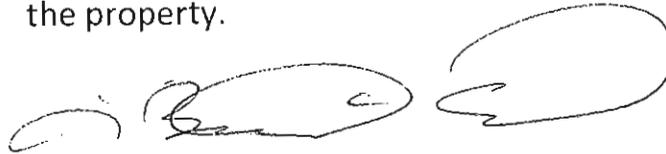
August 11, 2015

Initial Operational Plan for 4314 39th Avenue, Kenosha, WI

The above referenced property will be used to house an 80 bed (max.) temporary emergency shelter, which would replace the existing Emergency Family Shelter (EFS) and the INNS program (currently a traveling nightly shelter for homeless individuals and families not housed in the EFS.

Additionally, the referenced property would replace the current Shalom Nightly Soup Kitchen, house an industrial kitchen, and the Administrative Offices of the Shalom Center of the Interfaith Network of Kenosha.

The property is already a fully developed commercial site with extensive parking. No exterior structural changes will be made, except to possibly add an architecturally appropriate privacy wall on the south side of the property and a small enclosed playground, on the south side or the west side of the building, on the parking lot side of the property.



Lynn A. Biese-Carroll
Executive Director, Shalom Center



**Development Review Application
City of Kenosha, Wisconsin**

MAILING INFORMATION

NAME OF PROJECT: Shalom Center

Check one (1) of the following boxes to indicate the recipient of all correspondence:

<input checked="" type="radio"/>	Name and Address of Applicant [Please print]: <u>Shalom Center</u> <u>1713 62nd. St.</u> <u>Kenosha, WI 53143</u>	Phone: <u>262-658-1713</u> Fax: <u>262-6587-6914</u> E-Mail: <u>biesel@shalomcenter.org</u>
<input type="radio"/>	Name and Address of Architect/Engineer [Please print]: _____ _____ _____	Phone: _____ Fax: _____ E-Mail: _____
<input type="radio"/>	Name and Address of Property Owner (if other than applicant)[Please print]: _____ _____ _____	Phone: _____ Fax: _____ E-Mail: _____

PROJECT LOCATION

Location of Development (street address and / or parcel number): 4314 39th Avenue, Kenosha, WI

TYPE OF LAND DEVELOPMENT

Check all that apply. Note: Additional information may be required within individual Sections.

<input type="checkbox"/>	Certified Survey Map	Section 1	Page 3
<input type="checkbox"/>	Concept Review (<i>Land Division</i>)	Section 2	Page 4
<input type="checkbox"/>	Concept Review (Multi-Family Residential or Non-Residential)	Section 3	Page 5
<input type="checkbox"/>	Conditional Use Permit	Section 4	Pages 6 & 7
<input type="checkbox"/>	Developer's Agreement	Section 5	Page 8
<input type="checkbox"/>	Final Plat	Section 6	Pages 9 & 10
<input type="checkbox"/>	Lot Line Adjustment Survey	Section 7	Page 11
<input type="checkbox"/>	Preliminary Plat	Section 8	Pages 12 & 13
<input checked="" type="checkbox"/>	Rezoning	Section 9	Pages 14 & 15
<input type="checkbox"/>	Site Plan Review	Section 10	Pages 16 & 17

**PRIOR TO SUBMITTING THIS APPLICATION TO THE DEPARTMENT OF CITY DEVELOPMENT,
PLEASE REVIEW THE APPROPRIATE SECTION(S) FOR FEES, REQUIREMENTS AND APPROPRIATE APPENDICES.**

*Submit this cover page, completed application, applicable section(s) and appendices
along with ALL required plans, information and fees to:*

Department of Community Development & Inspections Planning Division 625 52nd Street, Room 308 Kenosha, WI 53140	Phone: 262.653.4030 Fax: 262.653.4045 Office Hours: M - F 8:00 am - 4:30 pm
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**SECTION 9
REZONING**

Additional Information Required:	<p>Current Zoning District: <u>M-1</u></p> <p>Proposed Zoning District: <u>IP</u></p> <p>Proposed Type of Rezoning: (Check all applicable)</p> <p><input type="checkbox"/> Single-family Residential</p> <p><input type="checkbox"/> Two-family Residential</p> <p><input type="checkbox"/> Multi-family Residential (3 or more units)</p> <p><input checked="" type="checkbox"/> Institutional, Commercial or Industrial</p>
Submittal Requirements:	<ul style="list-style-type: none"> ➤ Rezoning Petition (sample below) filled out according to the particular situation. The current owner(s) of the property must sign the petition. ➤ Building and Site Development Plans as indicated below.
Fees:	<ul style="list-style-type: none"> ➤ Rezoning Fee = \$550 (For projects that <i>do not</i> require building and site development plans) <u>OR</u> ➤ Rezoning with Concept Plan = \$1,150 (For projects that require building and site development plans) <p><i>The City retains the fee whether the rezoning is approved or denied. The applicant should contact Community Development and Inspections – Planning Division to verify the total fee before submitting the rezoning application.</i></p>
Appendices to Review:	<ul style="list-style-type: none"> ➤ N/A
Approximate Review Time:	<ul style="list-style-type: none"> ➤ 60-75 days (Reviewed by City Plan Commission and Common Council)
<p>A rezoning request can be initiated by:</p> <ul style="list-style-type: none"> ➤ The City Plan Commission ➤ The Common Council ➤ A petition of 50 percent or more of the owners of property within the area proposed to be rezoned 	

SAMPLE REZONING PETITION

The Honorable Mayor
and Members of the Common Council
Kenosha, WI

Dear Members of the Common Council:

It is requested that my property located at *(address or parcel number)* be rezoned from *(present zoning)* to *(proposed rezoning)*. The purpose of the rezoning is to permit *(proposed use of the property)*.

Attached is a conceptual development plan including building, site development, land use and operational plans as required by Section 10 of the City of Kenosha Zoning Ordinance, and a receipt of the rezoning fee. I understand that development of the referenced property proposed for rezoning is required to be consistent with the conceptual development plans submitted with my rezoning petition.

Please inform me of the date this item will be reviewed by the City Plan Commission. The meeting notice should be sent to *(list one name only)* at *(address)*. I can be reached at *(phone number)* if there are any questions regarding my request for the rezoning.

Sincerely,

Current Property Owner

Board of Directors

Co-Chairs

Tom Aiello

Terry Backmann

Treasurer

Wes. Ricchio

Secretary

Judy Juliana

Member(s) at Large

Wayne Koessl

Active Members

John Collins

Gail Gentz

Edna Highland

Judy Jensen

Karen Johnson

Richard Kauffman

Mark Modory

Ardis Mahone-Mosley

Beth Ormseth

Bob Riley

Richard Selsberg

Wilson Shierk

Brad Weinstock

Denis Wikel

Honorary Board

Members

Ellie Chemerow

Lon Knoedler

Greta Hansen

(1933-2014)

Founder

Executive Director

Lynn Biese-Carroll

«FMV»257.49

**For immediate release
Sept. 4, 2015**

Public meeting to discuss new Shalom Center site

KENOSHA, WI—Ald. Anthony Kennedy (Dist.10) and Ald. Patrick Juliana (Dist.7) have extended an invitation for the Shalom Center to meet Tuesday, Sept. 8, at the Transit Building, 4303 39th Ave, 7pm for a “community conversation” about the center’s use of the former JTH Building, a commercial site at 4314 39th Ave., for its future multipurpose facility.

“We’ve been working on an alternative site for a while and we are ready to share it at a public meeting,” said Shalom Executive Director Lynn Biese-Carroll. “We are looking to have our Inns program, Emergency Shelter and Soup Kitchen, along with the Administrative Offices, housed in a more modern, cost-effective site that is accessible to those with physical disabilities, unlike our current site. This newly proposed building is also accessible travel-wise via bus and has plenty of parking on site.”

She also said that along with extensive evaluation of the building by construction and architectural professionals, Shalom representatives are taking part in community information meetings, including neighbors, city and county officials, and other social service agencies, as part of the due diligence to ensure it is a good fit for the community and economically feasible for the center, a non-profit organization, to maintain.

“We have been doing our homework on this location and been in contact with a lot of people to make sure this plan meets with public satisfaction,” Biese-Carroll said. “We are looking forward to presenting information at our meeting.”

-30-

For more information, please contact Biese-Carroll at (262) 658-1713, ext. 123 or at (262) 515-2168.





September 16, 2015

NOTICE OF PUBLIC HEARING

Rezoning of property located at 4314 39th Avenue (Demos Brothers, LLC)

The City Plan Commission will hold a public hearing on a Petition submitted by the Shalom Center, Lynn Biese-Carroll, agent, to rezone their property at 4314 39th Avenue. The proposed rezoning would amend the zoning on the property from *M-1 Light Manufacturing District* to *IP Institutional Park District*. The rezoning request is to allow for construction of a new shelter facility for the Shalom Center. The public hearing will be held at the City Plan Commission meeting as follows:

***City Plan Commission - Thursday, September 24, 2015 at 5:00 p.m.
Municipal Building, 625 52nd Street, Kenosha, Room 202***

You are being notified of these public hearings because, as the owner of property located within 100-feet of the proposed zoning change, you are eligible to file a Protest Petition pursuant to Wisconsin State Statutes. The proposed rezoning **will not** change the zoning of your property. The enclosed map identifies the boundaries of the proposed rezoning and the location of your property has been highlighted.

The City Plan Commission will make a recommendation to the Common Council on the Zoning Petition. A public hearing with final action on this item is scheduled as follows:

***Common Council - Monday, November 2, 2015 at 7:00 p.m.
Municipal Building, 625 52nd Street, Kenosha, Room 200***

Additional information regarding this petition is on file with the Department of Community Development & Inspections in Room 308 of the Municipal Building. For additional information or related questions, please contact Brian Wilke via email at bwilke@kenosha.org or at 262.653.4049.

BW:kas
Enclosure