

<p>Municipal Building 625 52nd Street – Room 202</p>	<p><b>Kenosha City Plan Commission Agenda</b></p>	<p>Thursday September 19, 2013 5:00 p.m.</p>
<p><i>Mayor Keith Bosman - Chairman, Alderman Kevin Mathewson - Vice-Chairman Alderman Anthony Kennedy, Alderman Jan Michalski, Kathryn Comstock, Anita Faraone, Robert Hayden, Anderson Lattimore, Jessica Olson and Ron Stevens</i></p>		

Call to Order and Roll Call

Approval of Minutes from August 29

1. City Plan Resolution: To Amend the Land Use Plan Map for the *Comprehensive Plan for the City of Kenosha: 2035*, regarding property at the northeast corner of 38th Street and 120th Avenue. (KTR Capital Partners) (District #16) PUBLIC HEARING
2. By the Mayor to Create Subsection 18.02 y. of the Zoning Ordinance to Amend the Land Use Plan Map for the City of Kenosha: 2035. (KTR Capital Partners) (District #16) PUBLIC HEARING
3. By the Mayor - Petition to Rezone a portion of the property at the northeast corner of 38th Street and 120th Avenue from C-2 Lowland Resource Conservancy District to M-2 Heavy Manufacturing in conformance with Section 10.02 of the Zoning Ordinance. (KTR Capital Partners) (District #16) PUBLIC HEARING
4. Conditional Use Permit for a 1,017,879 s.f. distribution center to be located at the northeast corner of 38th Street and 120th Avenue. (Project Onyx) (District #16) PUBLIC HEARING
5. By the Mayor - To approve a Three-Lot Certified Survey Map for property at the northeast corner of 38th Street and 120th Avenue. (Project Onyx) (District #16) PUBLIC HEARING
6. Conditional Use Permit for a 10,498 s.f. multi-tenant building to be located at the northeast corner of Green Bay Road and Washington Road. (Kenosha Pointe) (District #16) PUBLIC HEARING
7. By the Mayor - To approve a Two-Lot Certified Survey Map for property at the northeast corner of Green Bay Road and Washington Road. (Kenosha Pointe) (District #16) PUBLIC HEARING
8. Request to Amend the Conditional Use Permit for Festival Foods at 3207 80th Street to add a drive-thru service lane. (Festival Foods) (District #14) PUBLIC HEARING
9. Conditional Use Permit for three new self-storage facilities to be located at 4217 Green Bay Road. (Barth Storage) (District #16) PUBLIC HEARING
10. Request to Amend the Conditional Use Permit for a 5,177 s.f. restaurant with a drive-thru to be located at 12214 75th Street. (McDonald's) (District #16) PUBLIC HEARING
11. By the Mayor - To Amend Subsection 17.02 B. of the Code of General Ordinances entitled "Specific Words and Phrases", To Repeal and Recreate Subsection 17.12 C. entitled "Building Permits", To Renumber Subsections 17.12 D. and E. as 17.12 E. and F. respectively and To Create Subsection 17.12 D. entitled Temporary Certificate of Occupancy PUBLIC HEARING

Public Comments

Commissioner Comments

Staff Comments

Adjournment

**CITY PLAN COMMISSION**  
**Minutes**  
**August 29, 2013**

**MEMBERS PRESENT:** Mayor Bosman, Alderman Kennedy, Alderman Michalski, Kathryn Comstock, Anita Faraone, Robert Hayden, Anderson Lattimore and Ron Stevens

**MEMBERS EXCUSED:** Alderman Mathewson and Jessica Olson

**STAFF PRESENT:** Zohrab Khaligian

The meeting was called to order at 5:00 p.m. by Mayor Bosman and roll call was taken.

**1. By the Mayor - To Create Tax Incremental District #16, City of Kenosha, Wisconsin, Under Section 66.1105(4)(gm), Wisconsin Statutes. (District #16) PUBLIC HEARING**

Public hearing opened.

Zohrab Khaligian, Community Development Specialist, said the first item is to Create the Boundaries for the TID. The proposed boundaries have not changed from the August 5, 2013 meeting designating the preliminary boundaries. Mr. Khaligian explained this is an Industrial TID. That means that 50% of the site must be suitable for Industrial development, and be zoned for Industrial. The City Plan Commission approved the rezoning of this property at their last meeting.

Public hearing closed.

*Alderman Kennedy arrived.*

A motion was made by Ms. Faraone and seconded by Mr. Stevens to approve the creation of Incremental District #16. The motion carried. (Ayes 8; Noes 0)

**2. By the Mayor - To Adopt a Project Plan for Tax Incremental District #16. PUBLIC HEARING**

Public hearing opened.

Mr. Khaligian said that changes have been made to the plan. The Developer is not looking at Kenosha at the only possible site for building, so we had to present our best deal to secure the development being built here. Previously, the project was going to be developer funded, where they do the borrowing and would be reimbursed when the taxes came in. Now, the City will do the borrowing and provide \$17 million to the developer to build. The City will be reimbursed when the taxes come in.

Jeff Zyglar, KTR Capital Partners, thanked the Commissioners for holding the Special City Plan Commission meeting.

Public hearing closed.

A motion was made by Mr. Stevens and seconded by Ms. Faraone to approve the Adoption of the TID.

Alderman Michalski asked for clarification on the borrowing. Mr. Khaligian said the City will borrow \$17 million, the developer will borrow the other \$200 million. The City will pay themselves with the taxes they receive. Alderman Michalski asked what the exposure would be if the developer agreement falls through. Mr. Khaligian said that by September 16th, when this item goes to the Common Council for approval, the Financial Agreement will be ready and specify the details. If the Developer does not close on the property, they won't get any funding from the City.

Mr. Lattimore asked about the wetlands. Mr. Zyglar said they currently have about half of the credits necessary to convert the wetlands, they will convert when more credits come in.

Ms. Comstock asked if there is anyway to encourage the Developer to use local people for the labor and development. Mr. Labahn confirmed with the Developer that local contractors have been included in the bids and have the same opportunity as everyone else. The end user plans to hire locally and the others in construction will take this under advisement.

The motion passed. (Ayes 8; Noes 0)

#### **Public Comments**

No public comments

#### **Commissioner Comments**

No Commissioner comments

#### **Staff Comments**

A motion to adjourn was made by Alderman Michalski and seconded by Mr. Lattimore. The motion passed. (Ayes 8; Noes 0) The meeting adjourned at 5:09 p.m.

*Minutes Prepared by: Kay Schueffner, Department of Community Development & Inspections*

Planning & Zoning Division 625 52nd Street - Room 308 Kenosha, WI 53140 262.653.4030	Kenosha City Plan Commission  <b>FACT SHEET</b>	September 19, 2013	Item 10
<b>Request to Amend the Conditional Use Permit for a 5,177 s.f. restaurant with a drive-thru to be located at 12214 75th Street. (McDonald's) (District #16) PUBLIC HEARING</b>			

**LOCATION/SURROUNDINGS:**

Site: 12214 75th Street  
 Zoned: B-2 Community Business District

**NOTIFICATIONS/PROCEDURES:**

The alderman of the district, Alderman Downing, has been notified. The Common Council is the final review authority.

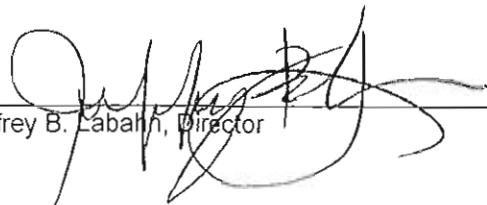
**ANALYSIS:**

- McDonald's received approval from the Common Council on March 18, 2013 for a new restaurant with a drive-thru at their current location at 12214 75th Street. The current restaurant would be razed to make room for the new building.
- McDonald's is requesting an Amendment to the approved drive-thru. They would like to add a third drive-thru window along the north elevation. The third window would be used to fulfill orders that were delayed at the second window where pickup would normally occur. The proposed new window meets the stacking requirements of the Zoning Ordinance.
- The applicant is also requesting a six-month extension to the Conditional Use Permit to obtain additional time to pull a building permit. To date, a Building Permit has not yet been obtained, as McDonald's is hoping to coordinate their reconstruction with the road work planned by the Wisconsin Department of Transportation.
- All of the original Conditions of Approval still apply. Only a few of the conditions have been addressed since the March meeting.
- The plans generally comply with Sections 4 and 14 of the Zoning Ordinance.

**RECOMMENDATION:**

A recommendation is made to approve the Conditional Use Permit Amendment and extend the approval six months, subject to the attached Conditions of Approval.

  
 Brian R. Wilke, Development Coordinator

  
 Jeffrey B. Labahn, Director

1. The following Conditions of Approval will run with the land and shall be included in a document recorded with the Kenosha County Register of Deeds:
  - a. The applicant shall obtain all required construction permits from the Department of Community Development & Inspections. This includes, but is not limited to Raze, Erosion Control, Building, Plumbing, Electrical and Occupancy permits.
  - b. The applicant shall obtain Driveway, Sidewalk and Parking Lot permits from the Department of Public Works. Any work in the STH 50, 123rd Avenue or 74th Street rights-of-way may require a permit from the Wisconsin Department of Transportation.
  - c. All signs shall comply with Chapter 15 of the Code of General Ordinances and the applicant shall obtain sign permits for all new signs. A separate submission and permits are required for all signs. Sign information provided under the Conditional Use Permit is for reference only and does not constitute sign permit approval. If the business is closed for more than ninety (90) days, the existing sign will need to comply with Chapter 15 of the General Code.
  - d. The development shall be constructed per the approved plans on file with the Department of Community Development & Inspections, Room 308, 625 52<sup>nd</sup> Street, Kenosha, WI 53140. Any changes to the approved plans shall require an amendment to the Conditional Use Permit. All changes shall be submitted to the Department of Community Development & Inspections for review and approval.
  - e. Prior to the issuance of any Occupancy permits, all parking areas, drives and designated paved areas shall have the initial lift of asphalt installed. The building exterior shall be completed per the approved plans, the exterior lighting shall be installed and the Conditional Use Permit shall be recorded with the Kenosha County Register of Deeds. All improvements indicated on the plans, including landscaping, shall be installed prior to the issuance of a final Occupancy permit. The recording fees for the Conditional Use Permit shall be submitted by the applicant.
  - f. Compliance with City and State and/or Federal Codes and Ordinances. The buildings shall comply with the current Code standards in effect upon application for a building permit.
  - g. All roof top mechanicals shall be properly screened per Section 14.07 B.10 of the Zoning Ordinance.
  - h. All trash containers shall be stored within the enclosure or building. The applicant/owner shall be responsible for waste collection and removal for the development. The City of Kenosha shall not provide waste collection or removal services or incur any cost in this regard.
  - i. The applicant shall meet all applicable Conditions of Approval and obtain a building permit within six (6) months of Common Council approval of the Conditional Use Permit or the Conditional Use Permit shall be null and void.
  - j. Outdoor display of products is prohibited.
  - k. All vehicles shall be parked within the designated paved areas.

- l. All improvements, including landscaping, shall be maintained per the approved plans. Any damaged fencing, landscaping or building shall be replaced or reconstructed per the approved plans.
  - m. Compliance with the Operational Plan.
  - n. The applicant shall obtain a Stormwater Management Permit and enter into a Stormwater Management Maintenance Agreement prior to the issuance of any construction permits.
2. The following conditions of approval shall be satisfied with City Staff prior to the issuance of any construction permits.
- a. The Drainage Plan shall be revised and resubmitted for review and approval addressing comments listed in the Public Works memo dated February 21, 2013.
  - b. The Utility Plan shall be revised and resubmitted for review and approval addressing the comments listed in the Kenosha Water Utility Memo dated February 19, 2013.
  - c. An Operational Plan shall be submitted indicating hours of operation, numbers of employees and information on waste management and pickup.
  - d. The plans shall include a calculation of the maximum number of occupants of the restaurant to determine the number of off-street parking spaces required.
  - e. Remove the three (3) easternmost parking stalls in the bank of parking stalls located immediately south of the building. These spaces conflict with the seventy-five (75') foot stacking requirement of the drive-thru.
  - f. The Site Plan on page C3.0 shows snow storage removal areas in two (2) landscaped medians that are heavily landscaped on page L1.0. Please coordinate these plans to show a snow storage area in a non-landscaped area.
  - g. The building elevations shall be revised to address the following:
    - i) Label all elevations North, South, East and West.
    - ii) The East elevation shall comply with the sixty (60%) percent articulation requirement for elevations that abut a public street. Since this elevation faces a primary visual corridor of the site, Staff was expecting a more highly articulated design than what was presented.



ENGINEERING DIVISION  
SHELLY BILLINGSLEY, P.E.  
CITY ENGINEER

PARK DIVISION  
JEFF WARNOCK  
SUPERINTENDENT

FLEET MAINTENANCE  
MAURO LENCI  
SUPERINTENDENT

STREET DIVISION  
JOHN H. PRIJIC  
SUPERINTENDENT

WASTE DIVISION  
ROCKY BEDNAR  
SUPERINTENDENT

**DEPARTMENT OF PUBLIC WORKS**

MICHAEL M. LEMENS, P.E., DIRECTOR  
SHELLY BILLINGSLEY, P.E., DEPUTY DIRECTOR

MUNICIPAL BUILDING · 625 · 52ND ST · RM 305 · KENOSHA, WI 53140  
TELEPHONE (262) 653-4050 · FAX (262) 653-4056  
EMAIL PUBLICWORKS@KENOSHA.ORG

**TO:** Brian Wilke, Development Coordinator

**FROM:** Michael M. Lemens, P.E.  
Director of Public Works

Shelly Billingsley, P.E.  
City Engineer

*[Handwritten signatures and date]*  
2-27-13

**DATE:** February 21, 2013  
**SUBJECT:** PLAN REVIEW COMMENTS  
**Project Description:** McDonald'd Rebuild  
**Location:** 12214 75<sup>th</sup> Street

Our staff has reviewed the plans for this project. The following comments are provided:

Parking Lot Ordinance Compliance	Sufficient	Deficient	Not Applicable
Parking Lot Paved	X		
Standard Stall Width	X		
Parking Lot Layout	X		
Parking Lot Lighting Shown		X	
Parking Lot Lighting Adequate		X	
Handicapped Parking	X		
Driveway Locations	X		
Driveway Width	X		
Passing Blister or Accel/Decel Lanes			X
Sidewalks Adequate			X
Drive Thru Lane Design	X		

<b>Public Streets</b>	<b>Sufficient</b>	<b>Deficient</b>	<b>Not Applicable</b>
Geometric Design			X
Pavement Width			X
Pavement Thickness Design			X
Established Grades			X
Plan Details			X
Sidewalks			X
Street Lights			X

<b>Site Grading/Drainage</b>	<b>Sufficient</b>	<b>Deficient</b>	<b>Not Applicable</b>
Drainage Plan	X		
Storm Sewer		X	
Storm Water Detention		X	
Drainage Calculations		X	

<b>Project Approval/Permits Needed</b>	<b>Yes</b>	<b>No</b>	<b>Not Applicable</b>
Project Approved for Permitting		X	
Withhold Permits: See Comments			X
Approve Footing/ Foundation Only (per condition)			X
Parking Lot Permit Required	X		
Driveway Permits Required	X		
Sidewalk Permit Required	X		
Street Opening Permit Required			X
State Permit Required	X		

**Other Comments:**

**Traffic Comments:**

- Detailed lighting plan is required
- Provide photometric data for the parking lot.
- Design information is needed for the storm sewer and storm water detention.

cc: Cathy Austin  
 Clement Abongwa  
 Kile Kuhlmeier  
 Gerard Koehler

**Engineering Services**  
4401 Green Bay Road  
Kenosha WI 53144

Phone (262) 653-4315  
Fax (262) 653-4303



*"Providing and Protecting Kenosha's Greatest Natural Resource"*

MEMO

To: Brian Wilke, Development Coordinator

From: Ian C. Bagley, P.E., Water Engineer

Date: February 19, 2013

Subject: McDonald's Rebuild

Location: 12214 75<sup>th</sup> Street

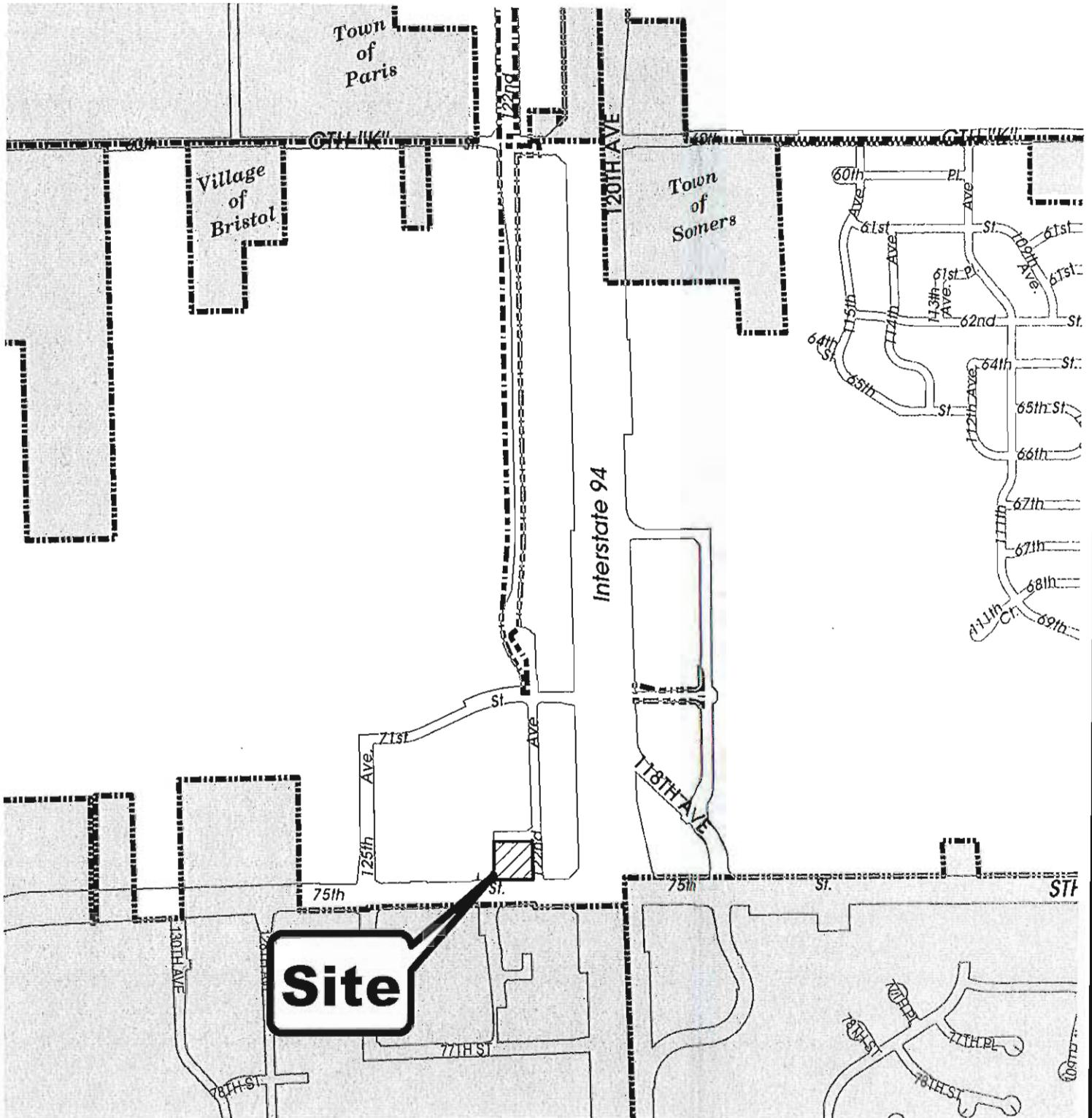
The Kenosha Water Utility (KWU) has reviewed the submittal for the above referenced project. Further information from the Developer is required before the Utility can complete this review. Please withhold all permits until the following information is submitted.

1. Show the water meter size and location, including a detail or diagram. The water meter shall have unobstructed access, twelve inches (12") from the inside wall, twelve to twenty-four inches (12"-24") above the floor. The meter shall have a gate valve on the inlet and outlet pipe.
2. All water meters one and one half inches (1-1/2") or greater shall have a bypass with a rub two way ball valve with locking handle.
3. Meters three inches (3") and larger shall have a two inch (2") test plug provided between the outlet side of the meter and the outlet valve.
4. A 3C18 gauge cable by Belden-M, or approved equal, shall be installed in a one half inch (1/2") conduit through the exterior wall for the remote meter reader. Remote reader to be field located by KWU meter division.
5. KWU records show that the existing building has a one and one half inch (1-1/2") meter. If a larger meter will be installed with the new building the Developer will need to pay a prorated sewer connection fee for the larger meter.
6. Show the existing two inch (2") water service to be cut and capped at the property line and abandon the valve box.
7. Label invert elevations on all water service stubs.
8. Water services shall have a minimum of five and one half feet (5-1/2') of cover to finished grade.
9. Please note that the six inch (6") service connection will require a deposit of \$1,800 and the connection work will be performed by KWU on a time and material basis.

10. The service valve within the STH 50 right-of-way shall be a resilient wedge seated gate valve, with a minimum operating pressure of 200 PSI, as manufactured by AFC (American Flow Control), Kennedy, Clow, or Mueller and shall be connected via mechanical joint. The valve shall close in a clockwise turning operation with non-rising stems and a 2-inch square tapered operating nut. All packing gland to bonnet and bonnet to body nuts and bolts shall be stainless steel.
11. The service valve shall not be placed within a vault as the plan currently shows. Instead it shall be installed within a valve box in accordance with KWU specifications. The valve box shall be Armor 5-245-48 poly iron shaft screw type of adequate length to extend from the valve to finished grade. Valve box covers shall be cast iron and clearly marked "Water".
12. Water services larger than two inches (2") shall be flushed and bacteria tested in accordance with KWU Chapter XXXII Rules & Regulations, Rule 06-29.
13. Water services shall have a blue 12 gauge locator wire installed along the entire length. Locator wire shall be brought to the surface in the curb box and at the edge of the building and enclosed in a curb box with "water" on the cover.
14. Bulkhead the existing sanitary sewer lateral at each manhole and bulkhead all abandoned manholes in accordance with Section 3.2.24 of the Standard Specifications for Sewer and Water in Wisconsin, Sixth Edition, with both Addenda.
15. Show rim and invert elevations at all sanitary and storm sewer manholes.
16. Label pipe lengths and slopes for sanitary sewer, storm sewer and water service lines.
17. Sanitary sewer laterals shall have a green 12 gauge locator wire installed along the entire length. Locator wire shall be brought to the surface at the edge of the building and enclosed in a curb box with "sewer" on the cover.
18. As this is a development associated with food service, a sampling manhole is required. The sanitary sewer manhole (SMH 2) located at the northeast corner of the parcel may be used as the sampling manhole for the development provided that KWU is given written authorization to access the structure.
19. KWU water main and sanitary sewer detail sheets shall be included with the construction plans. These detail sheets can be found on the KWU website (<http://www.kenoshawater.org/engineering.html>).
20. Include the following notes on the Utility Plan:
  - A. All sanitary sewer and water to be installed in accordance with Kenosha Water Utility (KWU) Standards.
  - B. All applications and fees for sanitary sewer and water must be completed and paid prior to connection to sewer/water systems.
  - C. All water connections to existing water mains shall be completed by KWU, with excavation and backfill by the developer. Developer shall provide 72 hours notice to KWU when connection is to be made.
  - D. Any utility work in the right-of-way and all sanitary sewer connections to be inspected by KWU. Notify KWU 48 hours in advance of connecting to sewer.

City of Kenosha

Vicinity Map  
McDonald's Rebuild CUP



# MICHAEL BEST

& FRIEDRICH LLP

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Susan M. Sager  
Direct 414.225.4929  
Email [smsager@michaelbest.com](mailto:smsager@michaelbest.com)

September 3, 2013

*Via Personal Delivery*

Department of Community Development  
and Inspections  
ATTN: Brian Wilke  
City of Kenosha  
625 52<sup>nd</sup> Street  
Room 308  
Kenosha, WI 53140

Re: *Request or Conditional Use Permit Amendment and Sign Approval – McDonald's at  
12214 75<sup>th</sup> Street, Kenosha, Wisconsin*

Dear Mr. Wilke:

As per our discussion, McDonald's USA, LLC is requesting an Amendment to the Conditional Use Permit and Site Plan Approval granted by the City of Kenosha in March 2013 for the property located at 12214 75<sup>th</sup> Street in the City of Kenosha.

Enclosed please find the following:

1. Building Elevations (24" x 36" and 11" x 17") (5 copies);
2. Site Plan (24" x 36" and 11" x 17") (5 copies);
3. Signage Plan (24" x 36" and 11" x 17") (5 copies); and
4. Check in the amount of \$650 for Application Review Fees.

Pursuant to the directive on the City of Kenosha's Application Packet for Sign Permit, a sign packet has been emailed to [grohde@kenosha.org](mailto:grohde@kenosha.org).

McDonald's USA, LLC requests that the City of Kenosha extend the Conditional Use Permit timeframe for receipt of building permits be extended an additional six (6) months.

# MICHAEL BEST

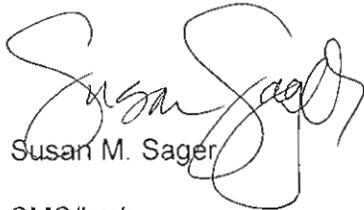
& FRIEDRICH LLP

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If you have any questions or require additional information, please do not hesitate to contact me.

Sincerely,

Michael Best & Friedrich LLP



Susan M. Sager

SMS/kmb

Enclosures

Cc: Dawn Bourseau – McDonald's (w/out encl.)  
Andrew Uttan – V3 Companies (w/out encl.)  
Jesse Downing – 16<sup>th</sup> District Alderman, City of Kenosha (w/out encl.)











Planning & Zoning Division 625 52nd Street Kenosha, WI 53140 262.653.4030	Kenosha City Plan Commission  <b>FACT SHEET</b>	September 19, 2013	Item 11
<b>By the Mayor - To Amend Subsection 17.02 B. of the Code of General Ordinances entitled "Specific Words and Phrases", To Repeal and Recreate Subsection 17.12 C. entitled "Building Permits", To Renumber Subsections 17.12 D. and E. as 17.12 E. and F. respectively and To Create Subsection 17.12 D. entitled Temporary Certificate of Occupancy PUBLIC HEARING</b>			

**LOCATION/SURROUNDINGS:**

City-Wide

**NOTIFICATIONS/PROCEDURES:**

This item will also be reviewed by the Public Works Committee before final approval by the Common Council.

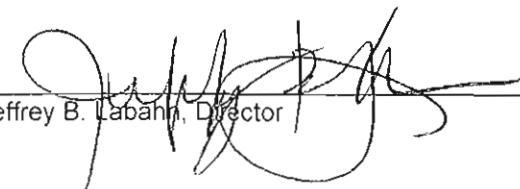
**ANALYSIS:**

- This Ordinance is to clarify existing Ordinances and to allow commercial developments which are under a Developer's Agreement and Land Division to construct public improvements concurrent with building construction.
- The improvements would still need to be completed before building occupancy. In addition, all drainage basins would still need to be operational before building permits are issued.

**RECOMMENDATION:**

A recommendation is made to approve the attached Ordinance.

  
 Rich Schroeder, Deputy Director

  
 Jeffrey B. Labahn, Director

**DRAFT 09/06/13**

SPONSOR: THE MAYOR

**TO AMEND SUBSECTION 17.02 B. OF THE CODE OF GENERAL ORDINANCES ENTITLED "SPECIFIC WORDS AND PHRASES", TO REPEAL AND RECREATE SUBSECTION 17.12 C. ENTITLED "BUILDING PERMITS", TO RENUMBER SUBSECTIONS 17.12 D. AND E. AS 17.12 E. AND F. RESPECTIVELY AND TO CREATE SUBSECTION 17.12 D. ENTITLED TEMPORARY CERTIFICATE OF OCCUPANCY**

The Common Council of the City of Kenosha, Wisconsin, do ordain as follows:

**Section One:** Subsection 17.02 B. of the Code of General Ordinances for the City of Kenosha, Wisconsin, entitled "Specific Words and Phrases" is hereby amended by removing numerical designations.

**Section Two:** Subsection 17.02 B. of the Code of General Ordinances for the City of Kenosha, Wisconsin, entitled "Specific Words and Phrases" is hereby amended by adding the following definitions:

**Commercial Construction.** The act of building any structure, or that part of any structure that is not designed or used exclusively for single-family and two-family residences.

**Commercial Real Estate Development.** A Land Division for Commercial Construction or making improvements to facilitate or allow Commercial Construction.

**Residential Construction.** The act of building any structure, or that part of any structure designed or used exclusively for single-family and two-family residences.

**Residential Real Estate Development.** A Land Division for Residential Construction or involving improvements to facilitate or allow Residential Construction.

**Section Three:** Subsection 17.12 C. of the Code of General Ordinances for the City of Kenosha, Wisconsin, is hereby repealed and recreated as follows:

~~C. **Building Permits.** No Building Permit shall be issued until the following conditions have all been met:~~

- ~~1. The site must be graded per the approved plan.~~
- ~~2. The Land Division and Development Agreement must be approved, signed and recorded by the County Register of Deeds.~~
- ~~3. All infrastructure, including sanitary and storm sewer and water, including all retention/detention ponds, must be installed and functional. The binder course of asphalt and curb and gutter must be installed.~~
- ~~4. The Subdivider shall provide copies of all of the improvements plans—as built—both in print and in a digital format satisfactory to the Department of Community Development and Inspections, the City Engineer, and~~

the General Manager of the Kenosha Water Utility;

**C. Building Permits.**

1. No Building Permit shall be issued for a Residential Real Estate Development until the following conditions have all been met:

a. The Land Division and Development Agreement have been approved, signed and recorded with the Kenosha County Register of Deeds.

b. All required public improvements, including all retention/detention basins and outlet structures, must be installed and functional.

c. The binder course of asphalt on streets and curb and gutter must be installed.

d. The Land Division must be graded in accordance with the approved grading plan.

e. As-built plans of all required improvements, including all retention/detention basins and outlet structures, in acceptable print and digital form must be submitted to the Department of Community Development and Inspections, the City Engineer, and the General Manager of the Kenosha Water Utility.

2. No Building Permit shall be issued for a Commercial Real Estate Development until the following conditions have all been met:

a. The Land Division and Development Agreement has been approved, signed and recorded with the Kenosha County Register of Deeds.

b. Access to the Land Division for all required inspections acceptable to the Department of Community Development and Inspections, the City Engineer and the General Manager of the Kenosha Water Utility must be provided.

c. All required storm water drainage facilities, including retention/detention basins and outlet structures must be installed and functional.

d. As-built plans of all required storm water drainage facilities, including retention/detention basins and outlet structures, in acceptable print and digital form must be submitted to the Department of Community Development and Inspections, the City Engineer, and the General Manager of the Kenosha Water Utility.

**Section Four:** Subsection 17.12 D. and E. of the Code of General Ordinances are

hereby renumbered as 17.12 E. and 17.12 F. respectively.

**Section Five:** Subsection 17.12 D. of the Code of General Ordinances is hereby created

as follows:

**D. Temporary Certificate of Occupancy.** No Temporary Certificate of Occupancy shall be issued for a Commercial Real Estate Development until the following conditions have all been met.

1. All required public improvements must be installed and functional.

2. The Land Division must be graded in accordance with the approved grading plan.

3. As-built plans of all required public improvements in acceptable print and digital form must be

submitted to the Department of Community Development and Inspections, the City Engineer, and the General Manager of the Kenosha Water Utility.

**Section Six:** This Ordinance shall become effective upon passage and publication.

ATTEST: \_\_\_\_\_ City Clerk

APPROVED: \_\_\_\_\_ Mayor

Passed:

Published:

Drafted By:  
JONATHAN A. MULLIGAN  
Assistant City Attorney

Planning & Zoning Division 625 52nd Street Kenosha, WI 53140 262.653.4030	Kenosha City Plan Commission  <b>FACT SHEET</b>	September 19, 2013	Item 1
<b>City Plan Resolution: To Amend the Land Use Plan Map for the Comprehensive Plan for the City of Kenosha: 2035, regarding property at the northeast corner of 38th Street and 120th Avenue. (KTR Capital Partners) (District #16) PUBLIC HEARING</b>			

**LOCATION/SURROUNDINGS:**

Site: Northeast corner of 38th Street and 120th Avenue

**NOTIFICATIONS/PROCEDURES:**

The alderman of the district, Alderman Downing, has been notified. This City Plan Commission Resolution recommends the Common Council approve the Amendment through a Zoning Ordinance Amendment.

**ANALYSIS:**

- Wisconsin Statutes require the City Plan Commission to adopt a City Plan Commission Resolution to recommend that the Common Council adopt amendments to the Comprehensive Plan.
- The attached Resolution satisfies this requirement and will be attached to the Zoning Ordinance to create Subsection 18.02 y. to Amend the *Land Use Plan for the City of Kenosha: 2035* for a portion of the referenced properties from *Wetlands* to *Industrial*.
- The owner of the property has requested the land use change to *Industrial* to facilitate the development of a distribution facility on the site. The Conditional Use Permit for that project is included on this agenda.

**RECOMMENDATION:**

A recommendation is made to approve the City Plan Commission Resolution amending the Comprehensive Plan.



\_\_\_\_\_  
 Brian R. Wilke, Development Coordinator



\_\_\_\_\_  
 Jeffrey B. Labahn, Director

CITY PLAN COMMISSION RESOLUTION # \_\_-13

By: City Plan Commission

**To Amend the Land Use Plan Map for the Comprehensive Plan for the City of Kenosha: 2035 Property at the Northeast corner of 38th Street and 120th Avenue (KTR Capital Partners)**

**WHEREAS**, the City of Kenosha, pursuant to Section 62.23 of the Wisconsin Statutes, has established the City Plan Commission; and

**WHEREAS**, the Common Council adopted "A Comprehensive Plan for the City of Kenosha: 2035" on April 19, 2010, following extensive public participation; and

**WHEREAS**, a property owner has submitted a request to amend the Land Use designation for a portion of the referenced properties from *Wetlands* to *Industrial*, as mapped on the attached Map C4-13 and on the Land Use Plan map adopted by the Common Council as part of the Comprehensive Plan; and

**WHEREAS**, the City Plan Commission finds that the Comprehensive Plan, with the proposed amendment, contains all of the required elements specified in Section 66.1001(2) of the Wisconsin Statutes and the Comprehensive Plan, with the proposed amendment, is internally consistent; and

**WHEREAS**, the City has duly noticed and will hold a public hearing on the proposed amendment, following the procedures in Section 66.1001(4)(d) of the Wisconsin Statutes.

**NOW, THEREFORE BE IT RESOLVED** that pursuant to Section 66.1001(4)(b), the City Plan Commission for the City of Kenosha, Wisconsin, hereby approves the amendment to "A Comprehensive Plan for the City of Kenosha: 2035" as shown on the attached Map C4-13.

**BE IT FURTHER RESOLVED**, that the City Plan Commission, for the City of Kenosha, Wisconsin, does hereby recommend that the Common Council enact a Zoning Ordinance adopting the Comprehensive Plan Amendment.

Adopted this \_\_\_\_ day of \_\_\_\_\_, 2013

ATTEST:

\_\_\_\_\_  
Jeffrey B. Labahn, Secretary of City Plan Commission

APPROVE:

\_\_\_\_\_  
Mayor Keith Bosman, Chairman of City Plan Commission

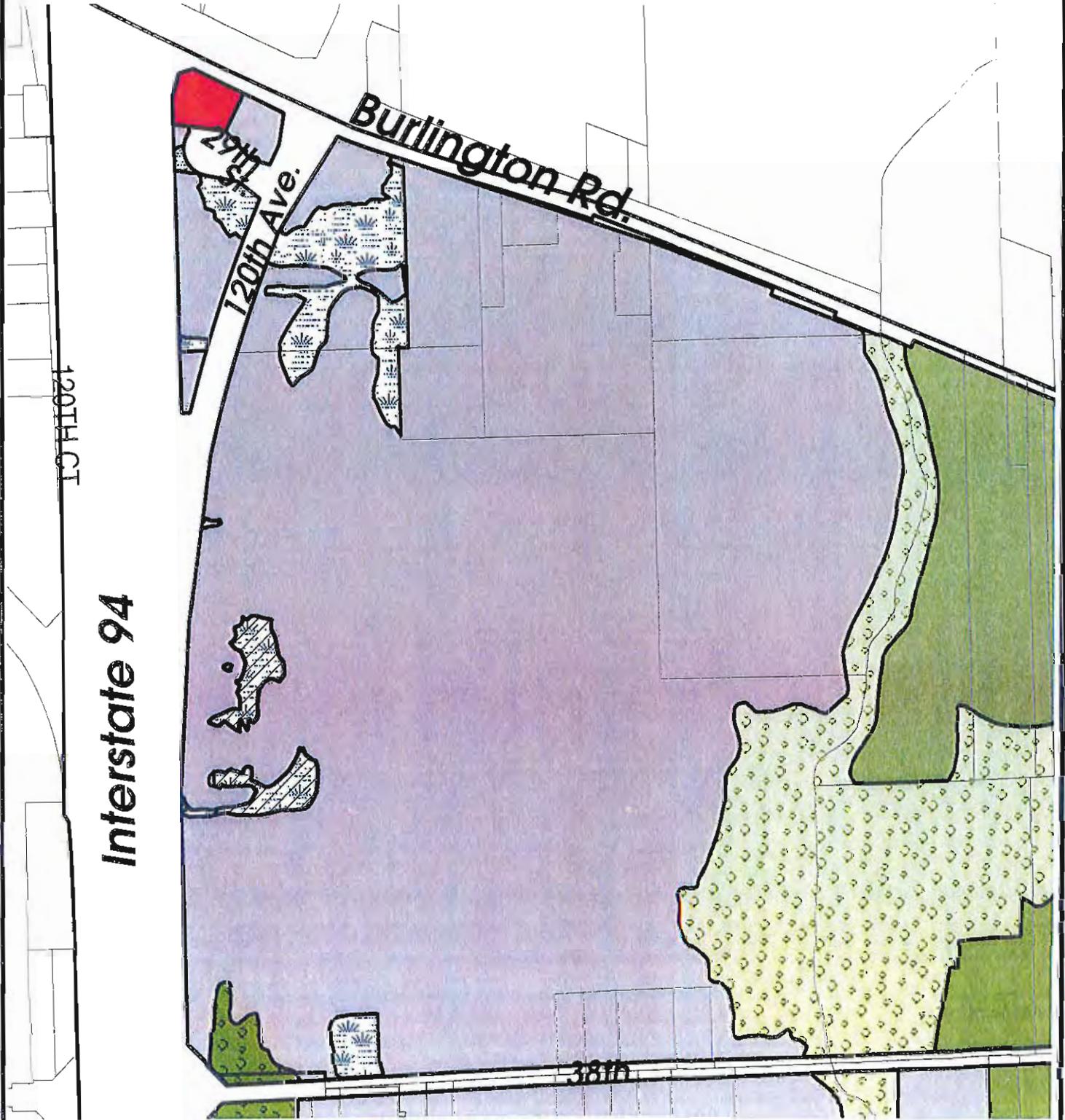
# City of Kenosha

## Comprehensive Plan Amendment

Next Partners I, LLC Petition

Supplement No. C4-13

Ordinance No. \_\_\_\_\_



Property requested to be changed from  
Wetland to Industrial



0 62.5 125 250 375 500 Feet

Planning & Zoning Division 625 52nd Street Kenosha, WI 53140 262.653.4030	Kenosha City Plan Commission  <b>FACT SHEET</b>	September 19, 2013	Item 2
<b>By the Mayor to Create Subsection 18.02 y. of the Zoning Ordinance to Amend the Land Use Plan Map for the City of Kenosha: 2035. (KTR Capital Partners) (District #16) PUBLIC HEARING</b>			

**LOCATION/SURROUNDINGS:**

Site: Northeast corner of 38th Street and 120th Avenue

**NOTIFICATIONS/PROCEDURES:**

The alderman of the district, Alderman Downing, has been notified. The Common Council is the final review authority.

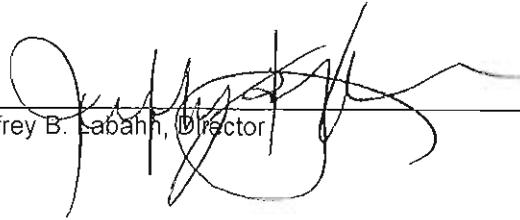
**ANALYSIS:**

- The Common Council adopted *A Comprehensive Plan for the City of Kenosha: 2035* on April 19, 2010.
- Wisconsin Statutes require the Common Council to adopt an Ordinance for Amendments to the Comprehensive Plan.
- The attached Zoning Ordinance references Map C4-13, which identifies the Amendment to the Land Use Plan located in the Comprehensive Plan. The Amendment will change the land use designation for a portion of the referenced properties from *Wetlands* to *Industrial*.

**RECOMMENDATION:**

A recommendation is made to approve the proposed Zoning Ordinance.

  
 Brian R. Wilke, Development Coordinator

  
 Jeffrey B. Labahn, Director

ORDINANCE NO. \_\_\_\_\_

SPONSOR: CITY PLAN COMMISSION

TO CREATE SUBSECTION 18.02 y. OF THE ZONING  
ORDINANCE TO AMEND THE LAND USE PLAN MAP  
FOR THE CITY OF KENOSHA: 2035

The Common Council of the City of Kenosha, Wisconsin, do ordain as follows:

**Section One:** Subsection 18.02 y. of the Zoning Ordinance for the City of

Kenosha, Wisconsin, is hereby created as follows:

y. By map C4-13 on file with the Department of Community Development and  
Inspections.

**Section Two:** This Ordinance shall become effective upon passage and  
publication.

ATTEST: \_\_\_\_\_ City Clerk

APPROVED: \_\_\_\_\_ Mayor

Drafted By:  
JONATHAN A. MULLIGAN  
Assistant City Attorney

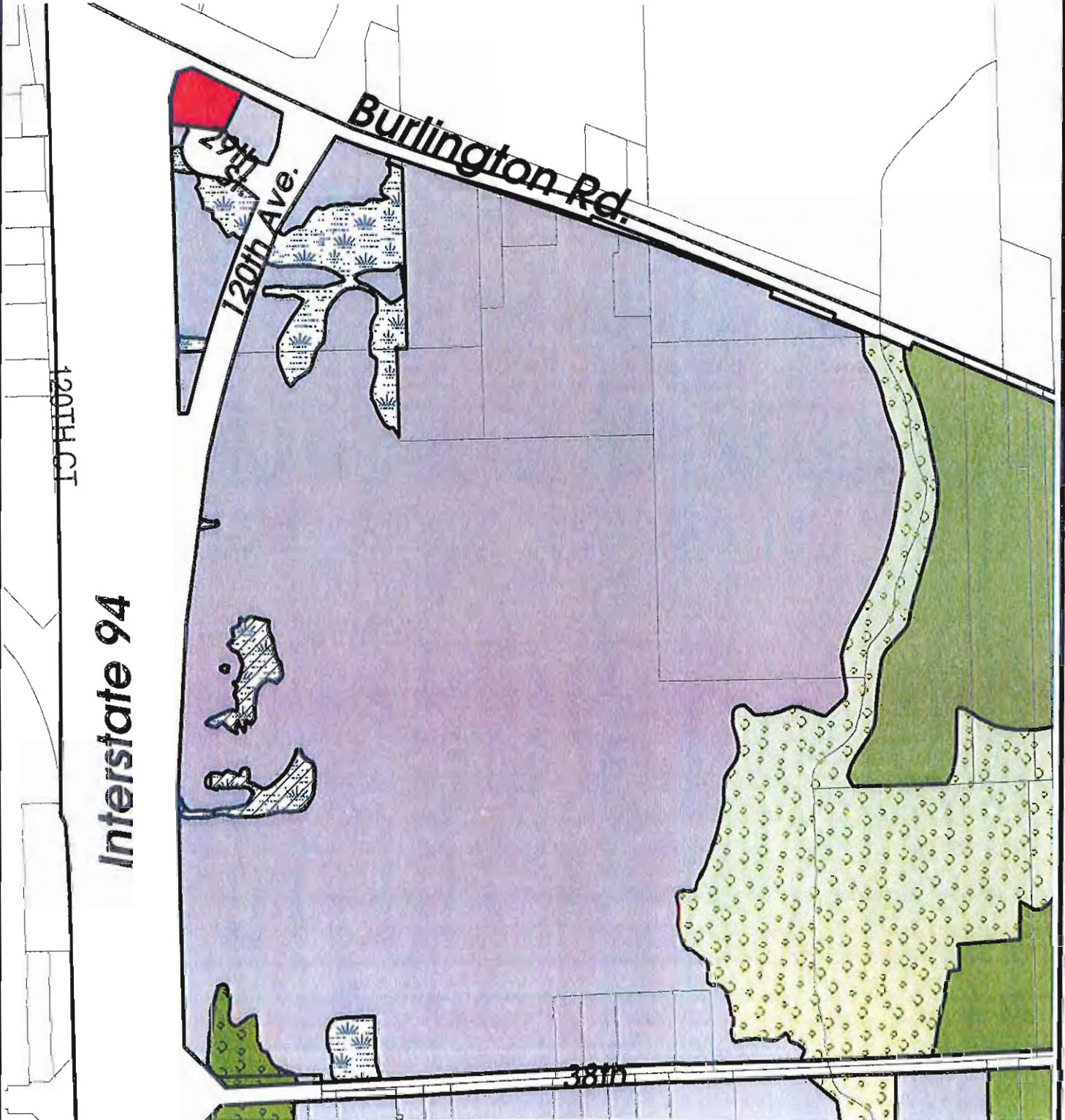
# City of Kenosha

## Comprehensive Plan Amendment

Next Partners I, LLC Petition

Supplement No. C4-13

Ordinance No. \_\_\_\_\_



Property requested to be changed from  
Wetland to Industrial



0 62.5 125 250 375 500  
[Scale bar]

Planning & Zoning Division 625 52nd Street Kenosha, WI 53140 262.653.4030	Kenosha City Plan Commission  <b>FACT SHEET</b>	September 19, 2013	Item 3
<b>By the Mayor - Petition to Rezone a portion of the property at the northeast corner of 38th Street and 120th Avenue from C-2 Lowland Resource Conservancy District to M-2 Heavy Manufacturing in conformance with Section 10.02 of the Zoning Ordinance. (KTR Capital Partners) (District #16)</b> <b>PUBLIC HEARING</b>			

**LOCATION/SURROUNDINGS:**

**Site:** Northeast corner of 38th Street and 120th Avenue **Neighborhood:** West Corridor

**Vicinity Zoning/Land Use**

**North:** Town of Somers/Agricultural

**South:** C-2, A-2/Environmental, Single-Family Residential

**East:** Town of Somers/Environmental

**West:** Town of Paris/Agricultural

**NOTIFICATIONS/PROCEDURES:**

The alderman of the district, Alderman Downing, has been notified. Property owners within 100 feet of the proposed rezoning were notified. The Common Council is the final review authority.

**ANALYSIS:**

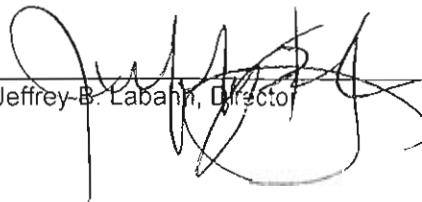
- The owner of the property is requesting to rezone the property from *C-2 Lowland Resource Conservancy District* to *M-2 Heavy Manufacturing District*. The purpose of the rezoning is to facilitate in the development of a distribution center on the site.
- Rezoning of the property to *M-2 Heavy Manufacturing* is not consistent with the adopted *Comprehensive Plan for the City of Kenosha: 2035*, which lists this site as *Wetlands*. An Amendment to the *Comprehensive Plan for the City of Kenosha: 2035* is included on this agenda as well.
- The development of the property is required to be consistent with all City, State and Federal Ordinances and regulations.
- Prior to development, the owner must obtain a Conditional Use Permit from the Common Council to construct a distribution center on the site, which is also included on this agenda.
- The Wisconsin Department of Natural Resources and Army Corps of Engineers will have to approve any filling of wetland areas on the site. The approval has not yet been granted, but will be required before final action by the Common Council occurs.

**RECOMMENDATION:**

A recommendation is made to approve the rezoning in accordance with Section 10.05 of the Zoning Ordinance



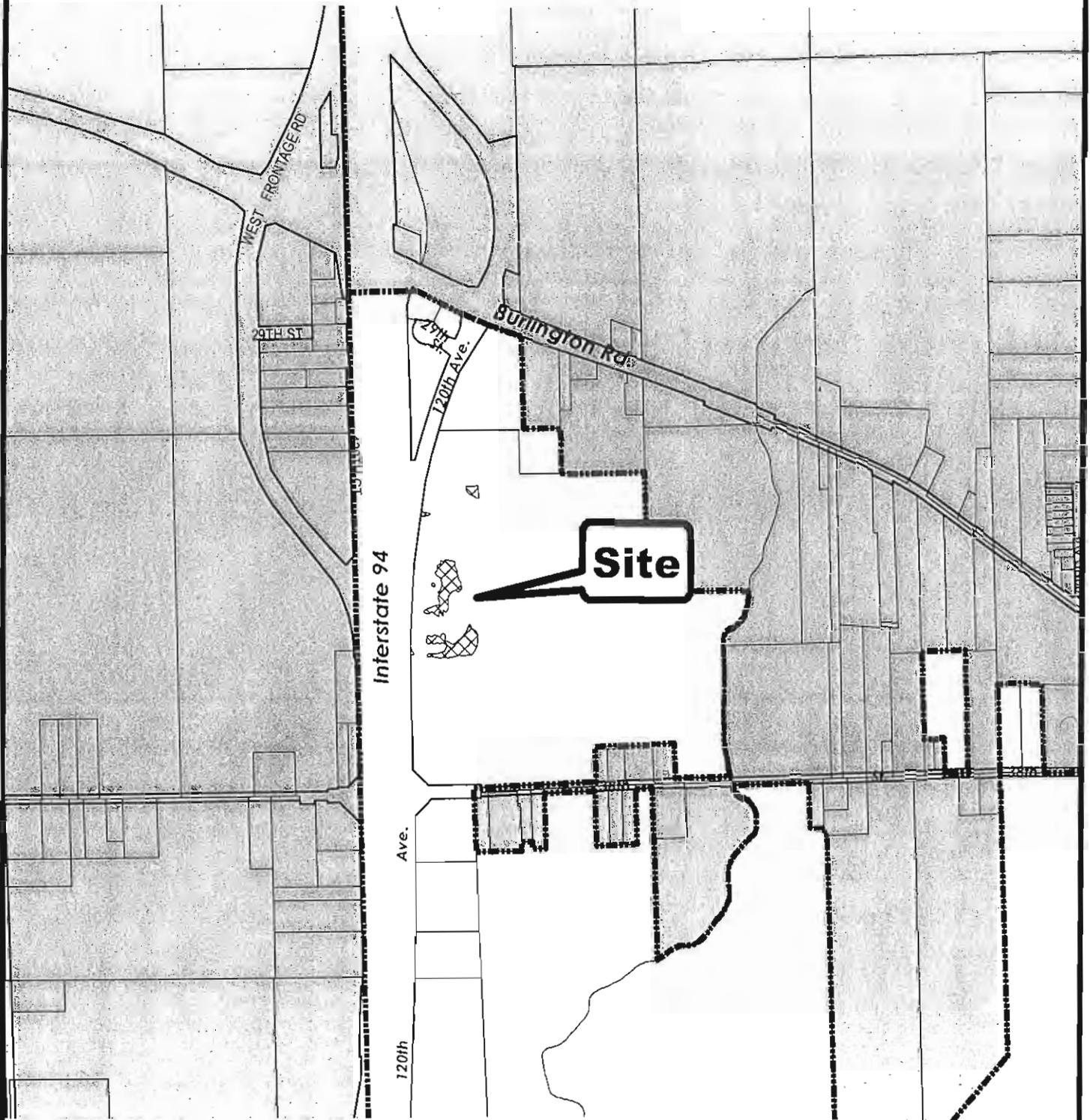
Brian R. Wilke, Development Coordinator



Jeffrey B. Labahn, Director

# City of Kenosha

Vicinity Map  
Next Partners I, LLC rezoning



Property requested to be rezoned



0 250 500 750 1,000  
Feet

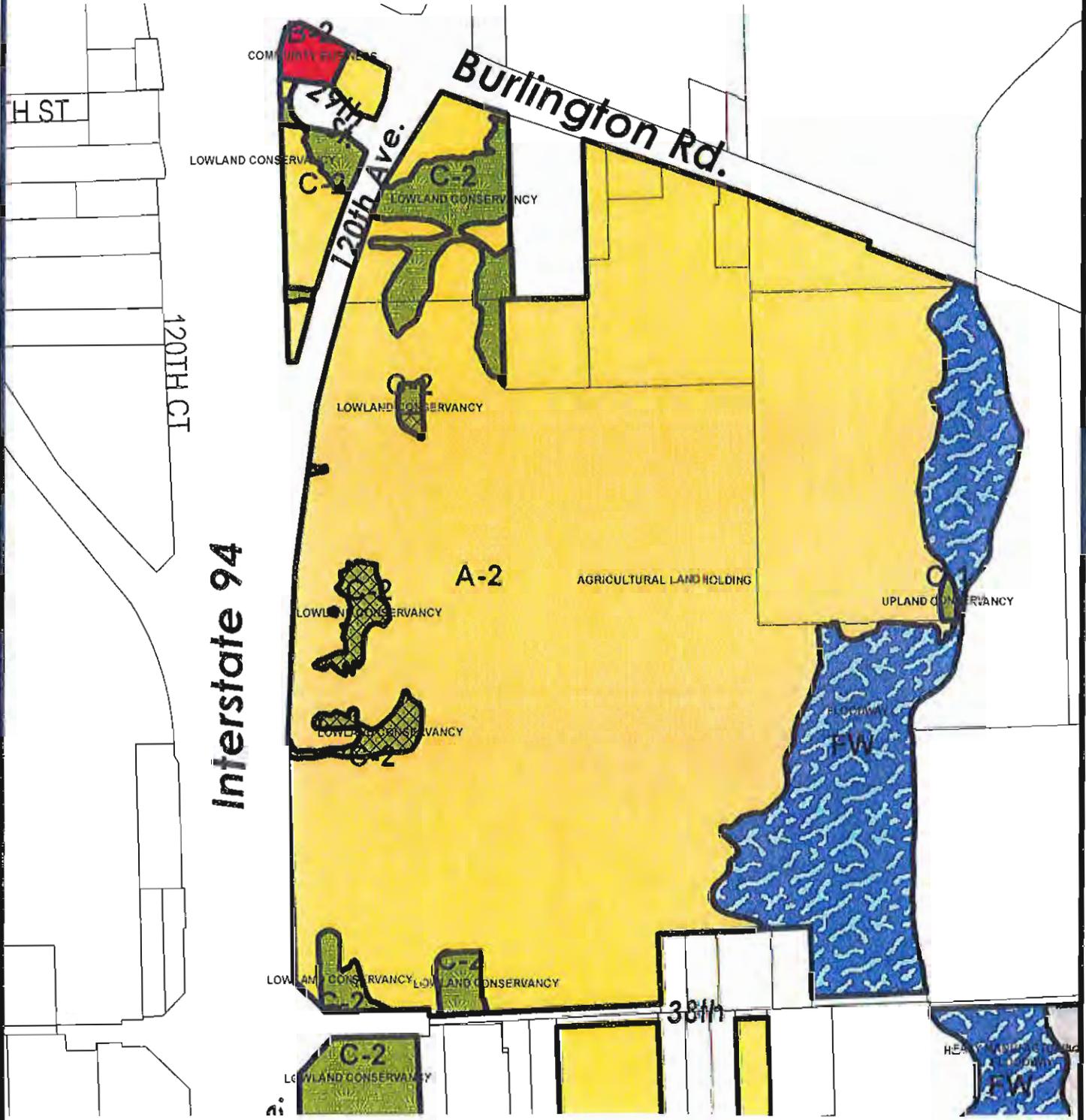
# City of Kenosha

District Map  
Rezoning

Supplement No. 27-13

Ordinance No. \_\_\_\_\_

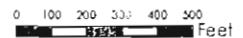
Next Partners I, LLC petition



Property requested to be rezoned from:



C-2 Lowland Conservancy to  
M-2 Heavy Manufacturing



# City of Kenosha

## Land Use Map

### Next Partners I, LLC Rezoning



Property requested to be rezoned



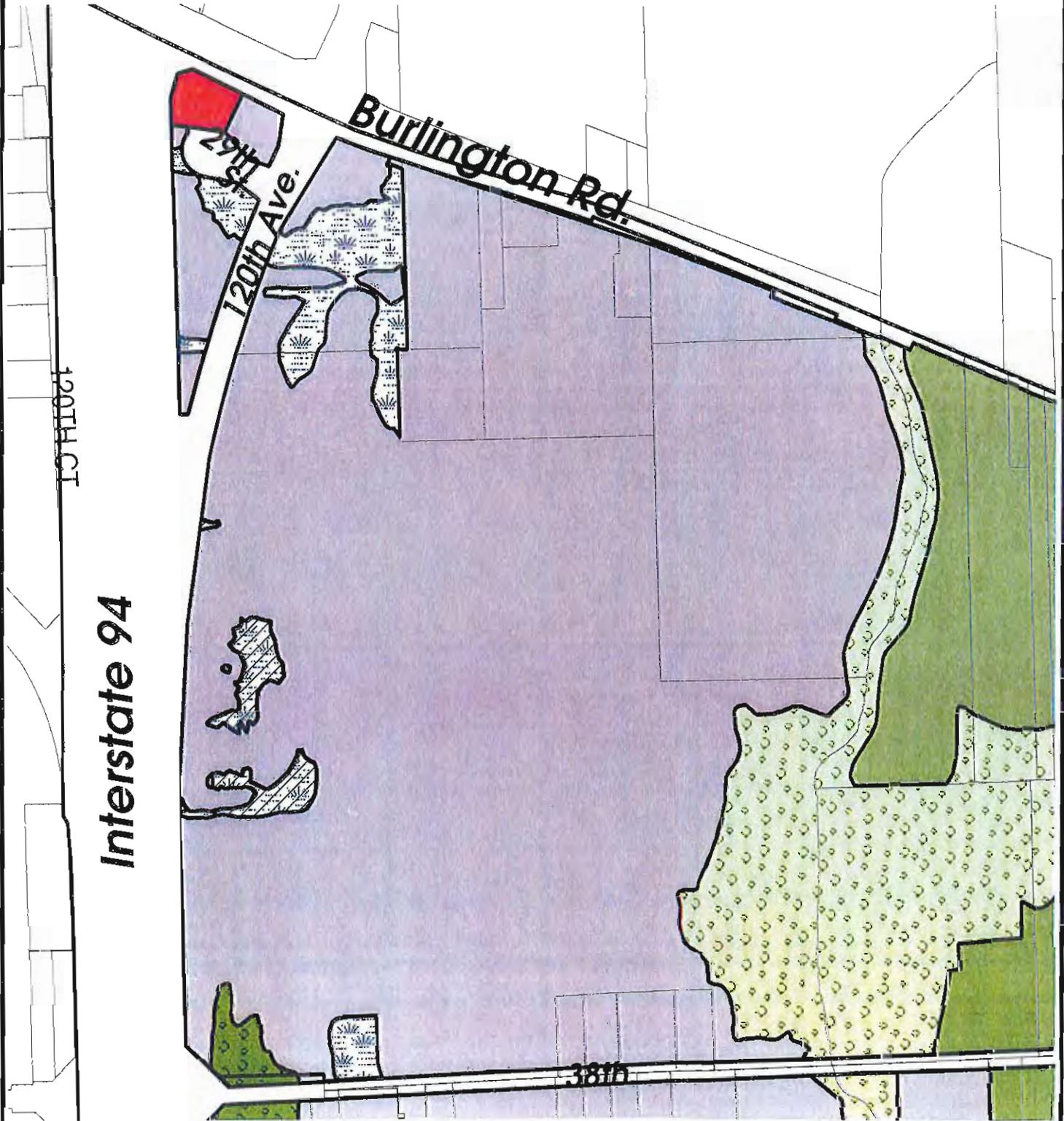
# City of Kenosha

## Comprehensive Plan Amendment

Next Partners I, LLC Petition

Supplement No. C4-13

Ordinance No. \_\_\_\_\_



Property requested to be changed from  
Wetland to Industrial





August 23, 2013

Mayor Keith Bosman  
City of Kenosha  
625 52nd Street  
Room 300  
Kenosha, WI 53140

**RE: Petition for Rezoning/Kenosha Enterprise Park/38th Street**

Dear Mayor Bosman and Members of the Common Council:

This is a request to have the parcels listed below Rezoned from C-1 (Conservancy) to M-2 (Heavy Manufacturing). This rezoning effort is specific to wetland areas that will be permitted for impact prior to the meeting date.

Parcel #08-222-30-201-010  
Parcel #08-222-30-120-025  
Parcel #07-222-19-301-042  
Parcel #07-222-19-301-043  
Parcel #07-222-19-301-044

The purpose of this rezoning is to facilitate the construction of a warehousing/distribution facility consistent with prior rezone efforts on this parcel.

I have enclosed a Conceptual Development Plan including the Building, Site Development, Land Use, and Operational Plans as required by Section 10 of the City of Kenosha Ordinance.

Also, enclosed please find the Rezoning Fee of \$550.00 in the form of a check which is made payable to the City of Kenosha. I understand that development of the referenced parcels proposed for Rezoning is required to be consistent with the Conceptual Development Plan submitted with this Rezoning Petition. Please advise me of the date this item will be reviewed by the City Plan Commission. The meeting notice should be sent to me at the address below.

Please do not hesitate to call me at (212) 710-5072 or (917) 435-9865 should you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to read 'Jeff Zyglar', with a long horizontal flourish extending to the right.

Jeffrey A. Zyglar  
Vice President - Development

Encl.

cc: Adam Artz, Pinnacle Engineering Group  
Lou Berchicci, KTR Capital Partners



Planning & Zoning Division 625 52nd Street - Room 308 Kenosha, WI 53140 262.653.4030	Kenosha City Plan Commission  <b>FACT SHEET</b>	September 19, 2013	Item 4
<b>Conditional Use Permit for a 1,017,879 s.f. distribution center to be located at the northeast corner of 38th Street and 120th Avenue. (Project Onyx) (District #16) PUBLIC HEARING</b>			

**LOCATION/SURROUNDINGS:**

Site: Northeast corner of 38th Street and 120th Avenue  
 Zoned: A-2 / C-2 / FFO / Air-3 / Air-4  
 (Pending Zoning change to M-2 Heavy Manufacturing for A-2 Zoning and portion of C-2 Zoning)

**NOTIFICATIONS/PROCEDURES:**

The alderman of the district, Alderman Downing, has been notified. The Common Council is the final review authority.

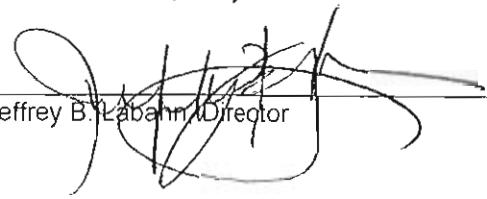
**ANALYSIS:**

- The applicant has submitted a Conditional Use Permit application to construct a trucking/distribution facility on property at the northeast corner of 38th Street and 120th Avenue. The tenant of the facility has requested to remain anonymous at this time.
- The property owner has submitted two (2) rezoning petitions for the site.
  - The first petition, requesting to rezone from A-2 Agricultural Land Holding to M-2 Heavy Manufacturing, is scheduled for a final hearing at the Common Council on September 16, 2013.
  - The second petition would rezone some of the C-2 Lowland Resource Conservancy District to M-2 Heavy Manufacturing. The second petition is also included on this agenda.
- A Developer's Agreement will be required with this project. The public right-of-way on the north end of the site will actually be a private road. However, sanitary sewer and water main installed around and through the site will be public and therefore the Developer's Agreement is needed.
- A Traffic Impact Analysis (TIA) is being prepared. If the State (120th Avenue), County (CTH S) or City (38th Street) need any public improvements as a result of the TIA, those improvements will be included in the Developer's Agreement. All public improvements will be at the developer's expense.
- The building exterior will be primarily precast concrete wall panels with multiple windows.
- Truck traffic will enter and exit at a designated, separate access point on 38th Street. Vehicular traffic will have the ability to enter off of 120th Avenue or a separate access on 38th Street.
- Plans were sent to City Departments for their review. Their comments are included in the attached Conditions of Approval.
- The plans generally comply with Sections 4 and 14 of the Zoning Ordinance.

**RECOMMENDATION:**

A recommendation is made to approve the Conditional Use Permit, subject to the attached Conditions.

  
 Brian R. Wilke, Development Coordinator

  
 Jeffrey B. Labahn, Director

Planning & Zoning Division  
625 52nd Street  
Kenosha, WI 53140  
262.653.4030

***Kenosha City Plan  
Commission  
Conditions of Approval***

**Project Onyx**  
Northeast corner of 38th  
street and 120th Avenue

September 19, 2013

1. The following Conditions of Approval will run with the land and shall be included in a document recorded with the Kenosha County Register of Deeds:
  - a. The applicant shall obtain all required construction permits from the Department of Community Development & Inspections. This includes, but is not limited to Erosion Control, Building, Plumbing, Electrical and Occupancy permits.
  - b. The applicant shall obtain Driveway, Sidewalk, Street Opening and Parking Lot permit from the Department of Public Works.
  - c. All signs shall comply with Chapter 15 of the Code of General Ordinances and the applicant shall obtain sign permits for all new signs. A separate submission and permits are required for all signs. Sign information provided under the Conditional Use Permit is for reference only and does not constitute sign permit approval.
  - d. The development shall be constructed per the approved plans on file with the Department of Community Development & Inspections, Room 308, 625 52nd Street, Kenosha, WI 53140. Any changes to the approved plans shall require an amendment to the Conditional Use Permit. All changes shall be submitted to the Department of Community Development & Inspections for review and approval.
  - e. Prior to the issuance of any Occupancy permits, all parking areas, drives and designated paved areas shall have the initial lift of asphalt installed. Any improvements required in the Developer's Agreement shall be completed. The building exterior shall be completed per the approved plans, the exterior lighting shall be installed and the Conditional Use Permit shall be recorded with the Kenosha County Register of Deeds. All improvements indicated on the plans, including landscaping, shall be installed prior to the issuance of a final Occupancy permit. The recording fees for the Conditional Use Permit shall be submitted by the applicant.
  - f. Compliance with City and State and/or Federal Codes and Ordinances and any Conditions noted in the recorded Developers Agreement. The buildings shall comply with the current Code standards in effect upon application for a building permit.
  - g. All trash containers shall be stored within the enclosure or building. The applicant/owner shall be responsible for waste collection and removal for the development. The City of Kenosha shall not provide waste collection or removal services or incur any cost in this regard.
  - h. The applicant shall meet all applicable Conditions of Approval and obtain a building permit within six (6) months of Common Council approval of the Conditional Use Permit or the Conditional Use Permit shall be null and void.

Planning & Zoning Division  
625 52nd Street  
Kenosha, WI 53140  
262.653.4030

**Kenosha City Plan  
Commission  
Conditions of Approval**

**Project Onyx**  
Northeast corner of 38th  
street and 120th Avenue

September 19, 2013

- i. All vehicles shall be parked within the designated paved areas.
  - j. All improvements, including landscaping, shall be maintained per the approved plans. Any damaged fencing, landscaping or building shall be replaced or reconstructed per the approved plans.
  - k. Cross access shall be provided to adjacent parcels if required at a future date by the City.
  - l. Compliance with the Operational Plan dated August 20, 2013.
2. The following conditions of approval shall be satisfied with City Staff prior to the issuance of any construction permits.
- a. The Drainage Plan shall be revised and resubmitted for review and approval addressing comments listed in the Public Works memo dated September 11, 2013.
  - b. The Utility Plan shall be revised and resubmitted for review and approval addressing the comments listed in the Kenosha Water Utility Memo dated September 9, 2013.
  - c. Storm water detention basins shall be constructed and operational prior to the issuance of a Footing and Foundation permit.
  - d. A Land Division shall be recorded prior to the issuance of a Footing and Foundation permit.
  - e. The proposed public road at the north end of the property shall be shown on all plans as a private road.
  - f. Additional fire hydrants shall be shown in the east and west parking lots. Contact the Fire Prevention Bureau for further details.
  - g. Indicate on the Site Plan the breakdown in square footage dedicated to paving, landscaping/open space, retention and building .
  - h. A Developer's Agreement shall be approved by the City and executed by all parties prior to the issuance of any construction permits. A cash escrow or letter of credit shall be posted with the City and/or KWU prior to the installation of any public improvements.



ENGINEERING DIVISION  
 SHELLY BILLINGSLEY, P.E.  
 CITY ENGINEER

PARK DIVISION  
 JEFF WARNOCK  
 SUPERINTENDENT

FLEET MAINTENANCE  
 MAURO LENCI  
 SUPERINTENDENT

STREET DIVISION  
 JOHN H. PRIJIC  
 SUPERINTENDENT

WASTE DIVISION  
 ROCKY BEDNAR,  
 SUPERINTENDENT

**DEPARTMENT OF PUBLIC WORKS**

MICHAEL M. LEMENS, P.E., DIRECTOR  
 SHELLY BILLINGSLEY, P.E., DEPUTY DIRECTOR

MUNICIPAL BUILDING · 625 - 52ND ST · RM 305 · KENOSHA, WI 53140  
 TELEPHONE (262) 653-4050 · FAX (262) 653-4056  
 EMAIL PUBLICWORKS@KENOSHA.ORG

**TO:** Brian Wilke, Development Coordinator

**FROM:** Michael M. Lemens, P.E.  
 Director of Public Works

Shelly Billingsley, P.E.  
 City Engineer

*Handwritten signatures and date:*  
 [Signature] 9-11-13  
 [Signature] Shelly Billingsley

**DATE:** September 11, 2013  
**SUBJECT:** PLAN REVIEW COMMENTS  
**Project Description:** Project Onyx  
**Location:** East Frontage Road and 38<sup>th</sup> Street

Our staff has reviewed the plans for this project. The following comments are provided:

Parking Lot Ordinance Compliance	Sufficient	Deficient	Not Applicable
Parking Lot Paved	X		
Standard Stall Width	X		
Parking Lot Layout	X		
Parking Lot Lighting Shown	X		
Parking Lot Lighting Adequate	X		
Handicapped Parking	X		
Driveway Locations	X		
Driveway Width	X		
Passing Blister or Accel/Decel Lanes ***			
Sidewalks Adequate		X	
Drive Thru Lane Design			X

\*\*\* Comments will be provided when the TIA is submitted.

Public Streets	Sufficient	Deficient	Not Applicable
Geometric Design ***			
Pavement Width ***			
Pavement Thickness Design		X	
Established Grades		X	
Plan Details		X	
Sidewalks		X	
Street Lights		X	

\*\*\* Comments will be provided when the TIA is submitted.

Site Grading/Drainage	Sufficient	Deficient	Not Applicable
Drainage Plan		X	
Storm Sewer		X	
Storm Water Detention		X	
Drainage Calculations		X	

Project Approval/Permits Needed	Yes	No	Not Applicable
Project Approved for Permitting		X	
Withhold Permits: See Comments	X		
Approve Footing/ Foundation Only (per condition)			X
Parking Lot Permit Required		X	
Driveway Permits Required		X	
Sidewalk Permit Required		X	
Street Opening Permit Required		X	
Stormwater Permit Required	X		
Erosion Control Required	X		
State Permit Required		X	

### Grading & Drainage Comments:

1. Note that all comments from the "Kenosha Fulfillment Center Mass Grading" CUP review dated August 16, 2013 still apply. It is anticipated that the project engineer will address those comments in an updated submittal that will include a revised stormwater management plan.
2. Provide a table in the plans showing the total site area, total disturbed area, and pre and post-construction impervious areas.
3. If the private roads on the north side of the site are ever to be dedicated as public streets, the storm sewer in these areas needs to be constructed to meet City standards. The City requires all public storm sewer under the pavement of a street be concrete. Also, the City has specific details for public storm sewer structures. If the developers intention is to build the street to

public street standards, contact Jeff Hansen and request the City's standard details for inclusion in the plans.

4. The City's published stormwater criteria requires that any storm sewer entering or exiting a stormwater pond be concrete.
5. Provide additional spot grades on the pavement and curb lines around the entrances to the site from public streets.
6. The site grading plan includes several proposed contours that are incorrectly labeled.
7. Show overland flow paths on the site grading plan.
8. Provide a detail on the proposed retaining wall located near the south pond. Note that any retaining wall greater than 2' in height requires a fence.
9. The top of the 36" storm sewer between ES 1 and CB 2 appears to conflict with the bottom of the 42" storm sewer between MH 54 and MH 55.
10. The storm sewer between CB 20 and CB 19 is labeled as a 36" pipe. There is 42" storm sewer on each side of this pipe segment.
11. Provide storm sewer access easements to the east and north ponds. Easements need to provide for vehicular access to the pond outlet structures.
12. Provide additional detail on the pond overflows. Dimension the areas of riprap or turf reinforcement mats (TRMs) and specify which specific products of TRM are to be used (or specify a class of TRM in from the Wisconsin DOT's Product Acceptability List).

#### **Traffic Comments:**

1. Obtain an address for the site.
2. The asphalt thickness of the streets should be 8 inches minimum and the base should be 6 inches minimum.
3. Comments for the public R.O.W improvements on 38<sup>th</sup> Street will be provided when plans for the improvements are submitted.
4. Handicap ramps are recommended for the sidewalk serving the bus drop-off locations.
5. Install sidewalk on the driveway linking 38<sup>th</sup> Street. The sidewalk should connect to the sidewalk network in the parking lot.
6. The Public Works Department reserves the rights to make further comments on street design when the TIA and the public improvement plans are submitted.

cc: Jeff Hansen  
Clement Abongwa  
Kile Kuhlmeier  
Gerard Koehler

**Engineering Services**

4401 Green Bay Road  
Kenosha WI 53144

Phone (262) 653-4315  
Fax (262) 653-4303



*"Providing and Protecting Kenosha's Greatest Natural Resource"*

MEMO

To: Brian Wilke, Development Coordinator

From: Ian C. Bagley, P.E., Water Engineer

Date: September 9, 2013

Subject: Project Onyx

Location: Northeast Corner of 38<sup>th</sup> Street and 120<sup>th</sup> Avenue

The Kenosha Water Utility (KWU) has reviewed the submittal for the above referenced project. Further information from the Developer is required before the Utility can complete this review. Please withhold all permits until the following information is submitted.

1. According to KWU records, the cul-de-sac labeled as "32<sup>nd</sup> Place" is actually 29<sup>th</sup> Street.
2. Show the water meter size and location, including a detail or diagram, on the construction plans, not with the MEP submittal. The water meter shall have unobstructed access, twelve inches (12") from the inside wall, twelve to twenty-four inches (12"-24") above the floor. The meter shall have a gate valve on the inlet and outlet pipe.
3. All water meters one and one half inches (1-1/2") or greater shall have a bypass with a two way ball valve with locking handle as manufactured by RuB, or approved equal.
4. Meters three inches (3") and larger shall have a two inch (2") test plug provided between the outlet side of the meter and the outlet valve.
5. A 3C18 gauge cable by Belden-M, or approved equal, shall be installed in a one half inch (1/2") conduit through the exterior wall for the remote meter reader. Remote reader to be field located by KWU meter division.
6. Water services larger than two inches (2") shall be flushed and bacteria tested in accordance with KWU Chapter XXXII Rules & Regulations, Rule 06-34.
7. Show any existing wells. (Wells must be properly abandoned before connection to water distribution system)
8. Water services shall have a minimum of 5-1/2' of cover to finished grade.
9. Label invert elevations on all water service stubs and fittings and provide pipe slopes for all water service lines.

10. Valve spacing along the public main shall be no more than 500 feet in accordance with NR 811.70.
11. Provide elevations for the invert, flange and the center of large coupling at each fire hydrant.
12. All water main materials, installation and testing shall conform to Kenosha Water Utility specifications. A copy of these specifications shall be included in the project manual or incorporated into the construction drawings. These specifications can be found at: [http://www.kenoshawater.org/images/KWU\\_Water\\_Main\\_Specifications4-10.pdf](http://www.kenoshawater.org/images/KWU_Water_Main_Specifications4-10.pdf).
13. Water main and services shall have a blue 12 gauge locator wire installed along the entire length. Locator wire shall be brought to the surface in the curb box, at each fire hydrant and at the edge of the building and enclosed in a curb box with "water" on the cover.
14. "Internal / External" manhole seals as manufactured by Adaptor, Inc. shall be provided for each sanitary sewer manhole installed. A detail for the seal can be found at <http://www.adaptorinc.com/pdf/inexspec.pdf>.
15. Sanitary sewer laterals shall have a green 12 gauge locator wire installed along the entire length. Locator wire shall be brought to the surface at the edge of the building and enclosed in a curb box with "sewer" on the cover.
16. If there is any potential for food processing or food service at this site a sampling manhole will need to be installed along the sanitary sewer lateral, upstream of the sanitary sewer main, in accordance with Rule 08-05(02) of the Kenosha Water Utility Rules and Regulations. The developer must provide KWU with written authorization to access the sampling manhole.
17. All sanitary sewer materials, installation and testing shall conform to Kenosha Water Utility specifications. A copy of these specifications shall be included in the project manual or incorporated into the construction drawings. These specifications can be found at: <http://www.kenoshawater.org/images/sewer%20specifications.pdf>.
18. The KWU water main and sanitary sewer detail sheets shall be included on a separate sheet and shall not be placed within the designer's title block or include utility plan notes specific to this project. These detail sheets can be found on the KWU website (<http://www.kenoshawater.org/engineering.html>).
19. Include the following notes on the Utility Plans:
  - a. All sanitary sewer and water to be installed in accordance with Kenosha Water Utility (KWU) Standards.
  - b. All applications and fees for sanitary sewer and water must be completed and paid prior to connection to sewer/water systems.
  - c. All water connections to existing water mains shall be completed by KWU, with excavation and backfill by the developer. Developer shall provide 72 hours notice to KWU when connection is to be made.
  - d. Any utility work in the right-of-way, public utility easement and all sanitary sewer connections to be inspected by KWU. Notify KWU 48 hours in advance of connecting to sewer.
20. All sanitary sewer and water main shall be installed by the developer under the terms of a Developer's Agreement with KWU.

21. Provide copies of all approved WDNR/DSPS submittals, including sanitary sewer sizing calculation worksheet for the area being served.

The following comments relate to specific items noted by page number:

Sheets C-16, C-18 and C-20

- The hydrants along the East Frontage Road shall be provided with access drives as they are all within a 4:1 backslope.

Sheets C-17 and C-21

- The utility easement shall have a cross slope of no greater than 25:1 (4%). Currently, slopes are as high as 4:1 (25%). Additionally, there shall be paved access along the utility easement. As an alternative, the sanitary sewer may be placed within the paved loading area, east of the building, within an easement.

Sheet C-23

- Note 7 states that all on-site utilities shall be privately owned and maintained by the property owner. However, the sanitary sewer within the utility easement in Lot 3 and the sanitary sewer and water main within the east/west road will be owned and maintained by KWU.
- Eliminate the references to sanitary and water in Note 8 as the City of Kenosha Public Works Department is not the correct contact.
- Revise the hydrants portion of Note 16 to read as follows: All fire hydrants, public and private, shall meet the requirements of the Kenosha Water Utility. Hydrants shall be compression type with a five and one-quarter inch (5-1/4") valve opening, two (2) two and one-half inch (2-1/2") NST nozzle connections, one (1) Kenosha Standard pumper connection (Traverse City Iron Works #405-26, 4 threads per inch and 5.812 inch diameter). The base shall have a six inch (6") mechanical joint connection with a rubber gasket and fluorocarbon coated Cor-Blue T-Bolts and nuts. Hydrant top operating nut and nozzle cap nuts shall be one and one-quarter inch (1-1/4") pentagon. All hydrants shall close in a clockwise direction. Hydrants shall be Mueller Super Centurion 200 or Kennedy Guardian. Each hydrant shall receive a final coat of red paint after installation.

Sheets C-24, C-26 and C-28

- Plan and profile sheets for public water main shall be provided. This includes all main along the East Frontage Road, within 29<sup>th</sup> Street and the East/West Road.

Sheet C-29

- The invert elevation of San Stub 10.1 does not appear to work with the east invert elevation of San MH 10 shown on Sheet C-34. Additionally, this stub appears to be in direct conflict with the storm sewer between MH 60 and MH 61.
- The water stub shown at the east limit of the water main shall be extended to the east limit of the utility easement for future connection.

Sheet C-31

- Some of the sanitary sewer manholes have a drop of 0.10 feet across them and some do not. As a general note for the sanitary sewer, provide a drop of 0.10 feet across all manholes.

- Plan and profile sheets shall not be placed on City of Kenosha Department of Public Works – Engineering title blocks. The designer shall use their typical title blocks for all plan and profile sheets.
- The invert elevation of the storm sewer crossing at Sta. 503+05 appears to be incorrect.

Sheet C-32

- The invert elevations of the three storm sewer crossings and the sizes of the crossings at Sta. 509+33 and 511+60 appear to be incorrect.

Sheet C-33

- The invert elevation of the storm sewer crossing at Sta. 516+34 appears to be incorrect.
- Storm sewer crossings at Sta. 519+35 and 522+49 are missing from the profile view.

Sheet C-34

- The sanitary sewer length between San MH 11 and San MH 12 appears to be incorrect.
- Storm sewer crossings at Sta. 111+43 and 112+25 are missing from the profile view.

Sheet C-35

- The invert elevation of the storm sewer crossing at Sta. 102+92 appears to be incorrect.
- Storm sewer crossings at Sta. 102+63 and 105+31 as well as the water main crossing at Sta. 100+70 are missing from the profile view.

Sheet C-36

- The water main crossing at Sta. 3451+85 is missing from the profile view.
- There shall be slurry backfill along the sanitary sewer and water main pavement crossings at 29<sup>th</sup> Street.
- There shall be an additional valve and stub for future extension of the water main north of the tee at the north limit of the water main along the East Frontage Road.

Sheet C-37

- The water main crossing at Sta. 19+41 is missing from the profile view.
- A second valve shall be shown for the service to the parcel at the southwest corner of the intersection of the East Frontage Road and Burlington Road. This valve shall be located in the right-of-way within ten feet (10') of the east parcel line.
- Stub 26 shall be extended north to the south property line of 11809 Burlington Road and Valve 25.0 shall be moved to within ten feet (10') of the property line.
- It shall be noted that if the parcel along the south side of 29<sup>th</sup> Street uses the stub provided to connect to the public water main an additional valve will need to be installed in the right-of-way within ten feet (10') of the parcel line.

Sheet C-47

- It shall be noted that the fire hydrant detail is for private hydrants only. All public hydrants shall conform with the standard KWU details.

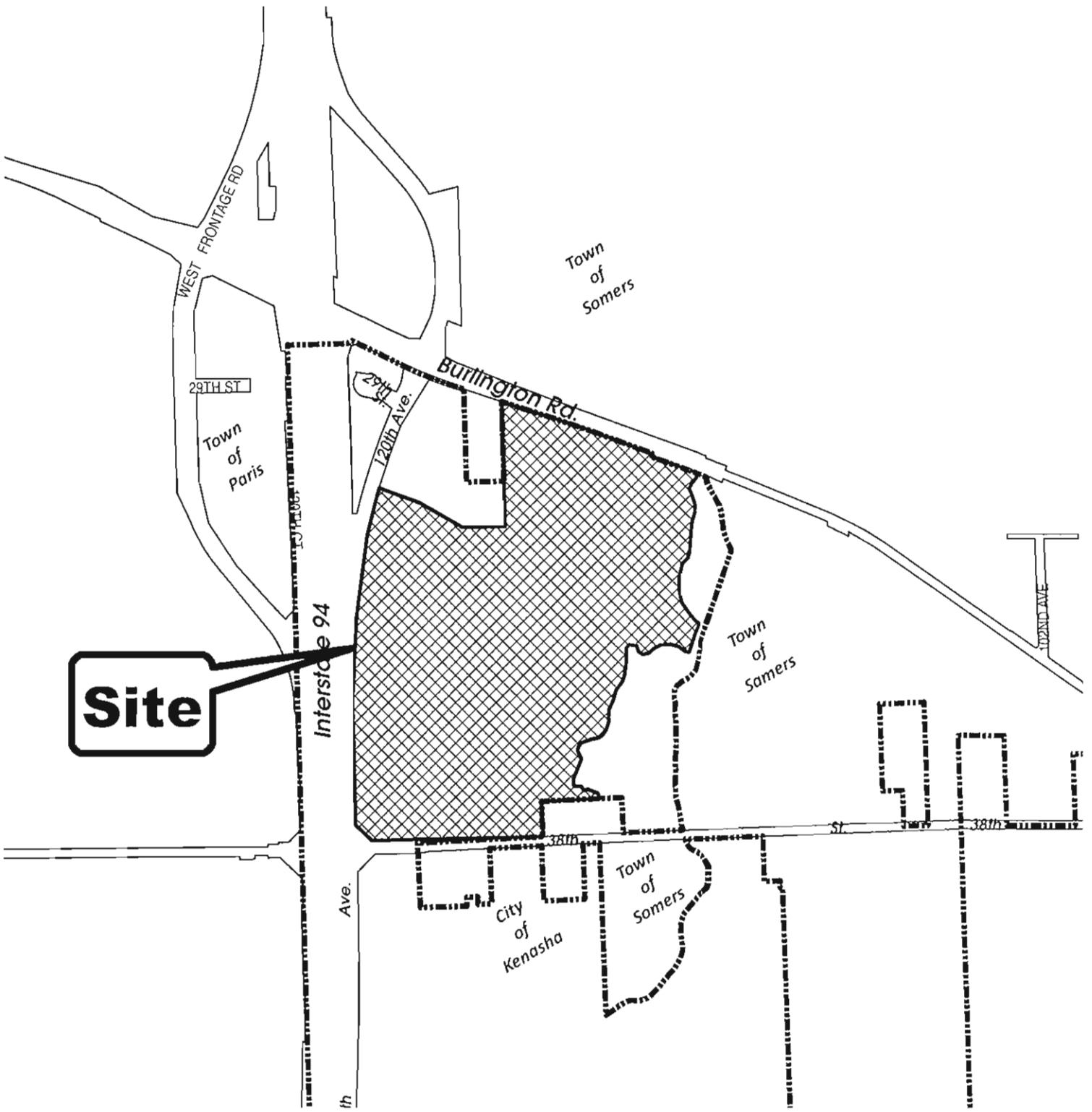
Sheets L1.5 and L1.6

- There shall be no trees within the public utility easement.

CC: Mr. Robert Carlson, P.E., Director of Engineering Services

City of Kenosha

Vicinity Map  
Project Onyx CUP



**Site**

----- Municipal Boundary



## Plan of Operations Project Onyx

---

The project consists of a 1 million square foot distribution center for a specific user which remains undisclosed at this time. The user will employ approximately 1,100 people over two shifts during regular (non-holiday) months. During the holiday season, the number of employees will increase and the number of shifts will increase to three, Monday through Sunday, to meet sales demands. Security is on site 24-7 and is fairly extensive due to the nature of the user's business.

Ingress/egress is provided via multiple access points to minimize traffic congestion and separate automobile and truck traffic. This includes a proposed public roadway on the north end of the project to also serve the future parcel to the northeast. A parking field of approximately 2,500 spaces is provided to promote efficiency during shift change throughout the year. The configuration of the parking is optimized to meet user needs based on their years of experience at other similar facilities. Code compliant ADA spaces are provided as well as motorcycle spaces, loading, and drop-off zones. A staggered shift change time is also employed to further avoid traffic problems. A final TIA is in the process of being submitted and approved with the Department of Transportation. All details and recommendations in the TIA are anticipated to be implemented.

Truck deliveries occur regularly throughout the entire day at one secure checkpoint at the south end. 92 truck docks are required on the building to meet user requirements. The truck court will be fenced and completely segregated from the employee parking lot to enhance safety and circulation patterns. Truck docks will face east and will not be visible from the front of the building. An emergency only access gate is proposed at the north end of the truck court. Ample queuing room is provided on-site based on user experience and expectations to avoid trucks from backing up onto the adjacent public roadways.

Refuse pick-up will also occur via the truck court. Refuse will be compacted and stored in closed, covered containers. No other outdoor storage of material is anticipated at this time. No significant quantities of hazardous materials will be stored on the property. Minor amounts of such materials used for cleaning and normal maintenance of building spaces and equipment will be stored in the building in accordance with all applicable state and federal regulations. The user also has a robust emergency plan that complies with all state and federal regulations.

Other site amenities include multiple stormwater ponds, which will be maintained as required in the stormwater management agreement with the City. An above ground water storage tank and pump house is required by the user to supplement the public water supply for the fire suppression system. This is anticipated to be placed at the northeast corner of the building. The color and style of this facility will complement the main building. Customary landscaping, signage and lighting will also be provided and maintained on a regular basis.

**Development Review Application  
City of Kenosha, Wisconsin**

**MAILING INFORMATION**

**NAME OF PROJECT:** Project Onyx

*Check one (1) of the following boxes to indicate the recipient of all correspondence:*

<input checked="" type="radio"/>	Name and Address of Applicant (Please print): KTR WIS III LLC Attn: Jeffrey A. Zygler 300 Barr Harbor Drive, Suite 150 Conshohocken, PA 19428	Phone: 212.710.5072 Fax: 212.710.5061 E-Mail: jzygler@ktrcapital.com
<input type="radio"/>	Name and Address of Architect/Engineer (Please print): Pinnacle Engineering Group ATTN: Adam Artz 15850 W. Bluemound Road Suite 310 Brookfield, WI 53005	Phone: 262-754-8888 Fax: 262-754-8850 E-Mail: adam.artz@pinnacle-engr.com
<input type="radio"/>	Name and Address of Property Owner (if other than applicant)(Please print): Next Partners ATTN: Phil Jennings 614 West Doty Street Suite 108 Madison, WI 53703	Phone: 649-665-1337 Fax: E-Mail: phil@nextpartners.us

**PROJECT LOCATION**

Location of Development (street address and / or parcel number): Multiple parcels generally described as the land east of I-94, south of STH 142/CTH S, north of 38th Street, and west of the Kilbourn Road Ditch.

**TYPE OF LAND DEVELOPMENT**

**Check all that apply. Note: Additional information may be required within individual Sections.**

<input checked="" type="checkbox"/>	Certified Survey Map	Section 1	Page 3
<input type="checkbox"/>	Concept Review ( <i>Land Division</i> )	Section 2	Page 4
<input type="checkbox"/>	Concept Review (Multi-Family Residential or Non-Residential)	Section 3	Page 5
<input checked="" type="checkbox"/>	Conditional Use Permit	Section 4	Pages 6 & 7
<input type="checkbox"/>	Developer's Agreement	Section 5	Page 8
<input type="checkbox"/>	Final Plat	Section 6	Pages 9 & 10
<input type="checkbox"/>	Lot Line Adjustment Survey	Section 7	Page 11
<input type="checkbox"/>	Preliminary Plat	Section 8	Pages 12 & 13
<input type="checkbox"/>	Rezoning	Section 9	Pages 14 & 15
<input type="checkbox"/>	Site Plan Review	Section 10	Pages 16 & 17

**PRIOR TO SUBMITTING THIS APPLICATION TO THE DEPARTMENT OF CITY DEVELOPMENT,  
PLEASE REVIEW THE APPROPRIATE SECTION(S) FOR FEES, REQUIREMENTS AND APPROPRIATE APPENDICES.**

*Submit this cover page, completed application, applicable section(s) and appendices  
along with ALL required plans, information and fees to:*

Department of Community Development & Inspections  
Planning Division  
625 52nd Street, Room 308  
Kenosha, WI 53140

Phone: 262.653.4030  
Fax: 262.653.4045  
  
Office Hours:  
M - F 8:00 am - 4:30 pm

**SECTION 4  
CONDITIONAL USE PERMIT**

**Additional Information Required:**  
**Building or Addition Square Footage:** N/A - Pond & Grading only at this time  
**Existing Building Size:** There are 5 existing residential homes on the property at this time.  
**Site Size:** Approx. disturbed area = 125 acres  
**Current # of Employees** N/A **Anticipated # of New Employees** 1,100  
**Anticipated Value of Improvements** \$180,000,000

**Submittal Requirements:**

- Ten (10) full size scaled copies of Specified Plans indicated below drawn at a standard engineering scale
- Developer Site Plan/Conditional Use Permit Checklist (Appendix A)

**If Item to be Reviewed by Plan Commission/Common Council must Submit:**

- One (1) 8 1/2" x 11" reduction *or* forty (40) 11" x 17" reductions of the Site/Landscape Plan, Floor Plan and Colored Building Elevations (all sides)
- Sample Board containing colored samples of all exterior building materials

Fees:	<u>Building or Addition Size</u>	<u>Site size</u>	<u>Review Fee</u>
Level 1	< = 10,000 sq. ft.	< = 1 acre	\$900 = City Plan Dept. <i>or</i> \$1,025 = CPC/CC
Level 2	10,001 - 50,000 sq. ft.	1.01 - 10 acres	\$1,175 = City Plan Dept. <i>or</i> \$1,300 = CPC/CC
Level 3	50,001 - 100,000 sq. ft.	10.01 - 25 acres	\$1,600 = City Plan Dept. <i>or</i> \$1,725 = CPC/CC
Level 4	> 100,001 sq. ft.	> 25.01 acres	\$2,000 = City Plan Dept. <i>or</i> \$2,125 = CPC/CC

- If building size or addition and gross acreage of the site determine two (2) different fees, the greater of the two fees will be assessed.
- Application fee entitles applicant to an initial review and one re-submittal.
- Re-submittal fee = \$425 per re-submittal after two (2) permitted reviews.
- CUP Amendment = 50% of the applicable fee as determined above.

**Appendices to Review:** ➤ All

**Approximate Review Time:**

- 30 days for Staff Review
- 45-60 days for City Plan Commission/Common Council Review

The conditional use permit plans, *prepared to a standard engineering scale*, shall be submitted with this application & shall include the following information:

**Building Plan:**

- Layout of building(s) including size and layout of rooms
- Design and architecture
- Plans and details on fire suppression and/or standpipe
- Plans and details on fire detection, fire alarm and other safety devices

**Site Plan**  
(based on a plat of survey)

- Legal description of property
- Location and footprint of building(s) and structure(s)
- Locations of existing and proposed streets, drives, alleys, easements, rights-of-way, parking as required, vehicular and pedestrian access points, and sidewalks
- Outline of any development stages
- Location and details on any required emergency access roads
- A calculation of square footage devoted to building, paving and sidewalks, and landscaped/open space

**Drainage Plan**

- Existing topography, including spot elevations of existing buildings, structures, high points, and wet areas, with any previous flood elevations
- Floodplain boundaries, if applicable
- Soil characteristics, where applicable
- Proposed topography of the site denoting elevations and natural drainage after construction and any proposed stormwater retention areas



Division of Transportation System Development  
Southeast Regional Office  
141 N.W. Barlow Street  
P.O. Box 798  
Waukesha, WI 53187-0798

Scott Walker, Governor  
Mark Gottlieb, P.E., Secretary  
Internet: [www.dot.wisconsin.gov](http://www.dot.wisconsin.gov)

Telephone: (262) 548-5903  
Facsimile (FAX): (262) 548-5662

E-Mail: [waukesha.dtd@dot.wi.gov](mailto:waukesha.dtd@dot.wi.gov)

August 12, 2013

JEFF LABAHN  
CITY OF KENOSHA  
625 52<sup>ND</sup> STREET RM 308  
KENOSHA, WI 53140

Dear Mr. Labahn:

Subject: Log #3473 -- Development Submittal  
Kenosha Fulfillment Center Development  
I-94 East Frontage Road and County S  
Kenosha County

We have reviewed the initial information forwarded for the subject development. The Department concurs that a Traffic Impact Analysis (TIA) is necessary for this development in order to understand the impacts, determine access and establish the improvement requirements. After the TIA has been accepted, the permit process will proceed.

Please find the parameters for conducting the traffic impact evaluation on the attached review sheet. We look forward to working with the City of Kenosha regarding this development plan. Please include a written statement from the City with the next submittal to explain where the development is in the municipal approval process and to indicate their basic concurrence with the type of development proposed for this site.

If you have any questions regarding traffic issues, please contact the undersigned at (262) 548-5626. Please direct any questions regarding the Trans 233 process to Susan King, Land Division Coordinator at (262) 548-6713. Andy Maxwell, Permit Coordinator (262) 521-5344, will process any necessary permits. Also, please reference the identification log number (#3473) when forwarding all correspondence.

Sincerely,

A handwritten signature in cursive script that reads "Art Baumann".

Art Baumann, P.E.  
Traffic Operations Engineer

Enclosure

Cc: Jennifer Murray / Vicki Haskell, DOT-Central Office, Traffic Forecasting  
Robert Elkin / Hans Higdon, DOT  
Dave Brantner / Susan Voight, DOT  
Andy Maxwell / Susan King, DOT  
Jeff Bohlen, DOT  
Gary Sipsma, Kenosha County  
John Bieberitz, TADi

**Project:** Log #3473 Kenosha Fulfillment Center Development  
I-94 East Frontage Road & County S, Kenosha County  
**Review Unit:** Traffic Operations  
**Reviewer:** Art Baumann – SE Region (262) 548-5626  
**Date:** August 12, 2013

The development's plan shows internal circulation and street connections to serve the development. In addition to the planning already done, the development needs to be designed in consideration with traffic issues and development in and around the study area. ***A Traffic Impact Analysis*** is needed to understand the traffic impacts, access and improvement needs for these proposed developments. ***This analysis shall look at the trip generation for the development and consider the effects of recent and proposed developments in the vicinity.***

There is a need to select a qualified Traffic Engineering Consultant familiar with the trip generation /distribution practices, with the ability to conduct capacity analysis, evaluate results and prepare the report. Please follow the ***Statewide TIA Guidelines, adopted November 2012*** for preparing the traffic evaluation study. The parameters below outline the elements to include in this study. ***The TIA shall provide an analysis through the build out year (2014) and horizon year (2024). If the municipality/developer wishes to consider additional phased improvements, additional analysis years should be identified and included in the traffic projections, analysis and recommendations. The DOT reserves the right to request additional information or analyses to address specific operational or safety concerns.***

#### Access Issues

The development's plan including the future surrounding developments will generate a significant volume of traffic. The following outlines the parameters for establishing access and site plan design for the subject development:

- 1) The Department will require traffic data (trip generation, distribution and assignment) before we can accept the traffic study.
- 2) Evaluation of the traffic information will help in planning the best access for this development. Please show the development along both sides of County S, County N and I-94 East Frontage Road, land use and locations of access.
- 3) Up to four access points to I-94 East Frontage Road will be allowed for this development. Locations shall conform to the I-94 Access Management Plan unless approved by the Department. Please evaluate geometric improvement considerations, traffic signal warrants (if necessary), proper spacing of access points from existing/proposed intersections and proper sight distance at intersections.
- 4) Other points of access shall be developed from the local public roadway network at proper spacing from the state highway.
- 5) Evaluation of operations, level of service and improvement analysis will be needed at I-94 West Frontage Road & WIS 142, I-94 & WIS 142 Interchange Southbound Ramps, I-94 & WIS 142 Interchange Northbound Ramps, I-94 East Frontage Road & County S, County S & proposed access points, County S & County N, County S & County H, I-94 East Frontage Road proposed access points, I-94 West Frontage Road & County N, I-94 East Frontage Road & County N, County N & proposed access points and other locations as identified in the TIA.
- 6) Set back requirements shall be shown along I-94 East Frontage Road.
- 7) Vision/Sight Distance must be reviewed to ensure access meets DOT criteria (per FDM).

## Study Area

- The TIA shall incorporate the following study area: WIS 142/County S from I-94 West Frontage Road to County H, County N from I-94 West Frontage Road to County S and I-94 East Frontage Road from County N to County S.
- Development peak times – weekday AM peak (7:15 to 8:15 am) and PM peak (4:30 to 5:30 pm). Check all movements at existing intersections to ensure other times are not a dominant volume for any movement. If another time is the peak for any turn movement, this data must be shown and considered when establishing improvements and storage lengths.
- Any capacity problems at proper access points need to be addressed through separating movements or providing alternate access.
- The traffic study must consider the City of Kenosha's Master Plan (zoning and street network) and any known future development plans.
- If the development accounts for more than 20 percent of the traffic for any one movement at intersections beyond these limits, the area must be expanded accordingly.

## Report Development

This study report will need to determine the traffic generated by the development and any other planned developments within the study area. ***The study will then evaluate the operation to determine the necessary storage lengths at intersections and any required improvements.*** In addition, recommendations must be developed to address any deficiencies. The following lists other study elements that the consultant is advised to pay particular attention to through the study process:

- 1) Explain, through narrative discussion and/or exhibits, the existing use and proposed changes to the property and parcels within the study area. Clearly identify the ***stages and time frame*** for each portion of the development. Exhibits showing staging break down are beneficial.
- 2) As discussed in the guidelines, traffic exhibits need to be developed based on DOT traffic counts and forecasts.
- 3) The TIA shall utilize DOT counts and projection data as the base line for analysis. Please contact Robert Elkin (262) 548-58704 for this information. **The counts performed by TADi don't appear to capture any volume from the Gordon Food Services warehouse on County N. Additional investigation or recounting will need to be done to determine what the issue is.**
- 4) Please note that there are existing traffic signals at the County S & County H intersection. Please contact Kenosha County for further information regarding signal timing and operations.
- 5) A DOT project (I.D. 1030-22-72) is currently underway for I-94. The improvements for this project are expected to be completed in the fall of 2014. Please contact Jeff Bohlen at (414) 750-2928 for additional information.
- 6) Please utilize the current edition of the ***ITE Trip Generation*** manual for the development's trip generation or provide appropriate documentation on other methods of trip generation. The trip generation provided in the Initial Development Review document is acceptable. The revised trip distribution dated August 7, 2013 is acceptable. The trip assignments shall be revised as shown on the attached to account for the truck deliveries to the site. Existing traffic volume exhibits will need to be revised pending resolution of item #3 above.
- 7) Label all major streets within the study area and all access points within the study area (show distances, land uses and ownership).

- 8) Include the existing and final transportation detail as discussed in the guidelines. Analyze development access points for the base year to determine if existing operations will handle traffic. Record improvements to address any deficiencies revealed through the evaluation.



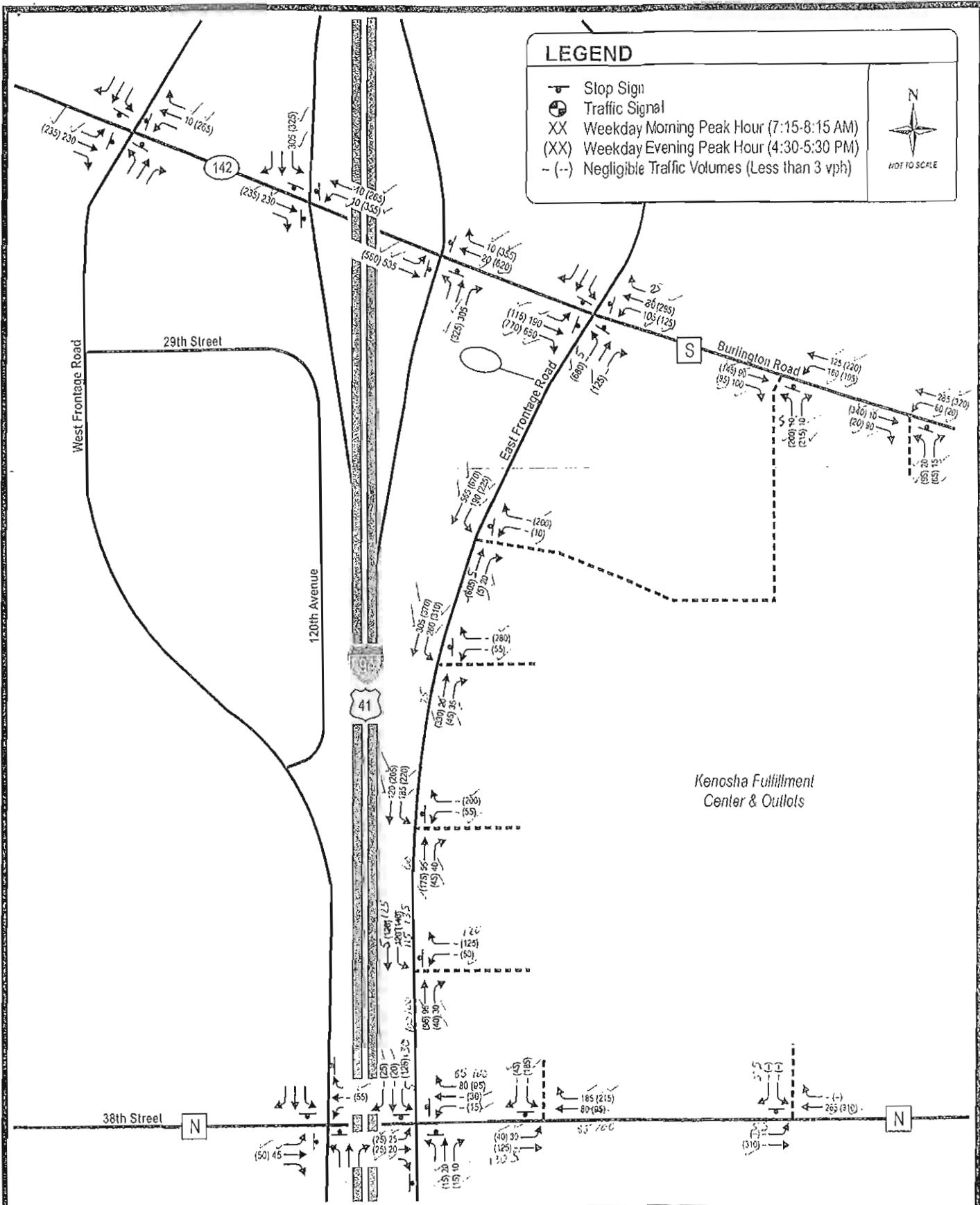


EXHIBIT DATE: 08-07-13

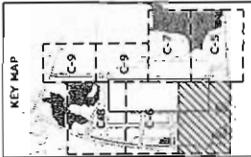
**EXHIBIT 8A**  
**SITE NEW TRIPS - PEAK SEASON (NOVEMBER & DECEMBER)**

**KENOSHA, WISCONSIN**



**LEGEND**

- Proposed Building Footprint
- Proposed Paving
- Proposed Stormwater Pond
- Proposed Wetlands
- Proposed Greenway
- Proposed Frontage Road
- Proposed Right-of-Way
- Proposed Utility Line
- Proposed Property Line
- Proposed Security Line
- Proposed Wetlands
- Proposed Stormwater Pond
- Proposed Greenway
- Proposed Frontage Road
- Proposed Right-of-Way
- Proposed Utility Line
- Proposed Property Line
- Proposed Security Line



**NOTES**

1. THE INFORMATION ON THIS SHEET WAS OBTAINED FROM THE RECORD DRAWINGS AND FIELD SURVEY DATA.
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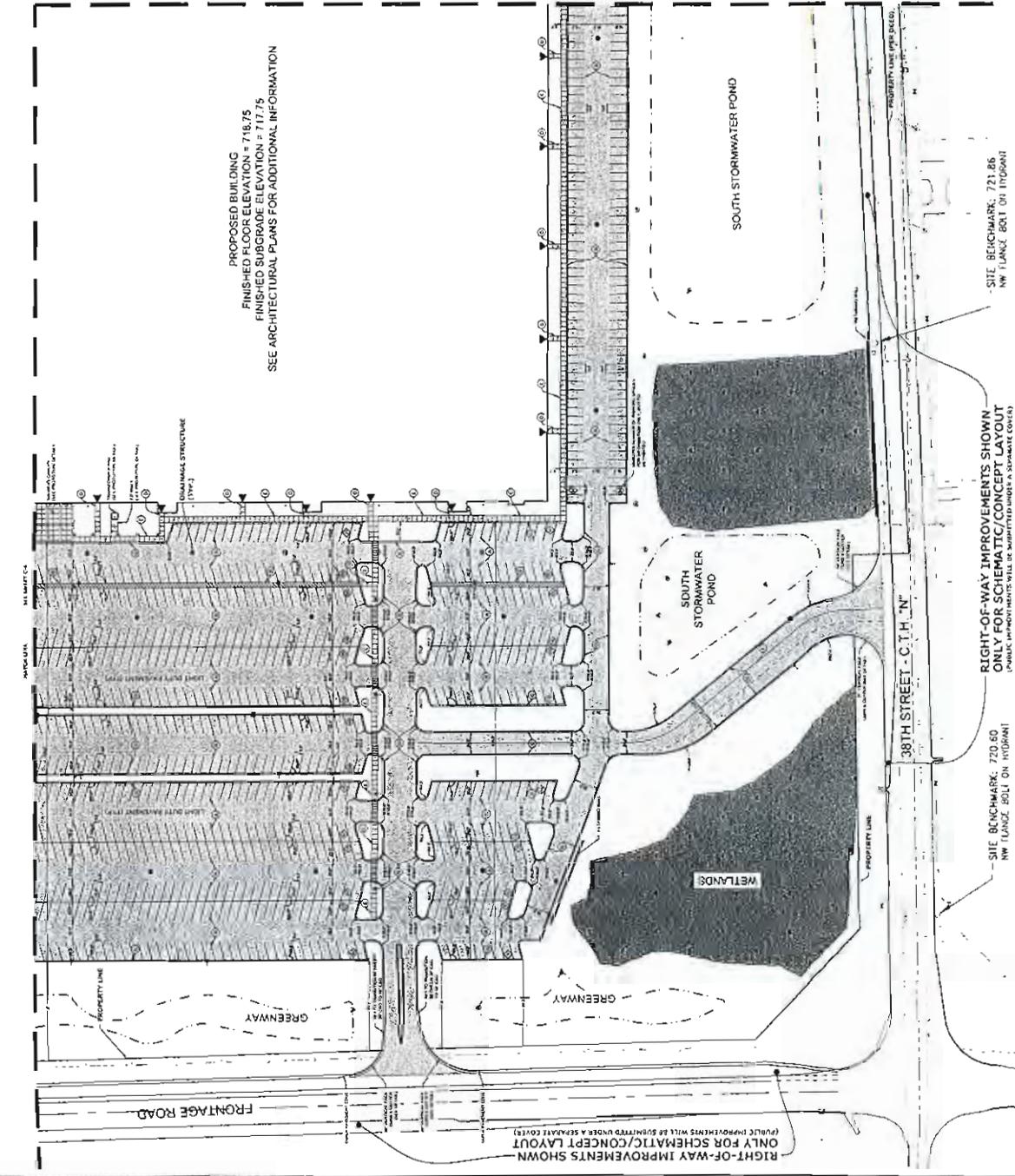
**EXISTING CONDITIONS SURVEY:**

THE INFORMATION ON THIS SHEET WAS OBTAINED FROM THE RECORD DRAWINGS AND FIELD SURVEY DATA.

**REVISIONS**

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**SHEET**  
C-4  
C-53



**PROJECT ONYX**  
KENOSHA, WI



**PINNACLE ENGINEERING GROUP**  
INCORPORATED  
1000 WEST WISCONSIN AVENUE  
MILWAUKEE, WI 53233  
TEL: 414.224.2200  
WWW.PINNACLE-ENGR.COM

PLANNING DESIGN DELIVERY  
ARCHITECTURE  
LANDSCAPE ARCHITECTURE  
CIVIL ENGINEERING  
ELECTRICAL ENGINEERING  
MECHANICAL ENGINEERING  
PLUMBING ENGINEERING  
SURVEYING



**LEGEND**

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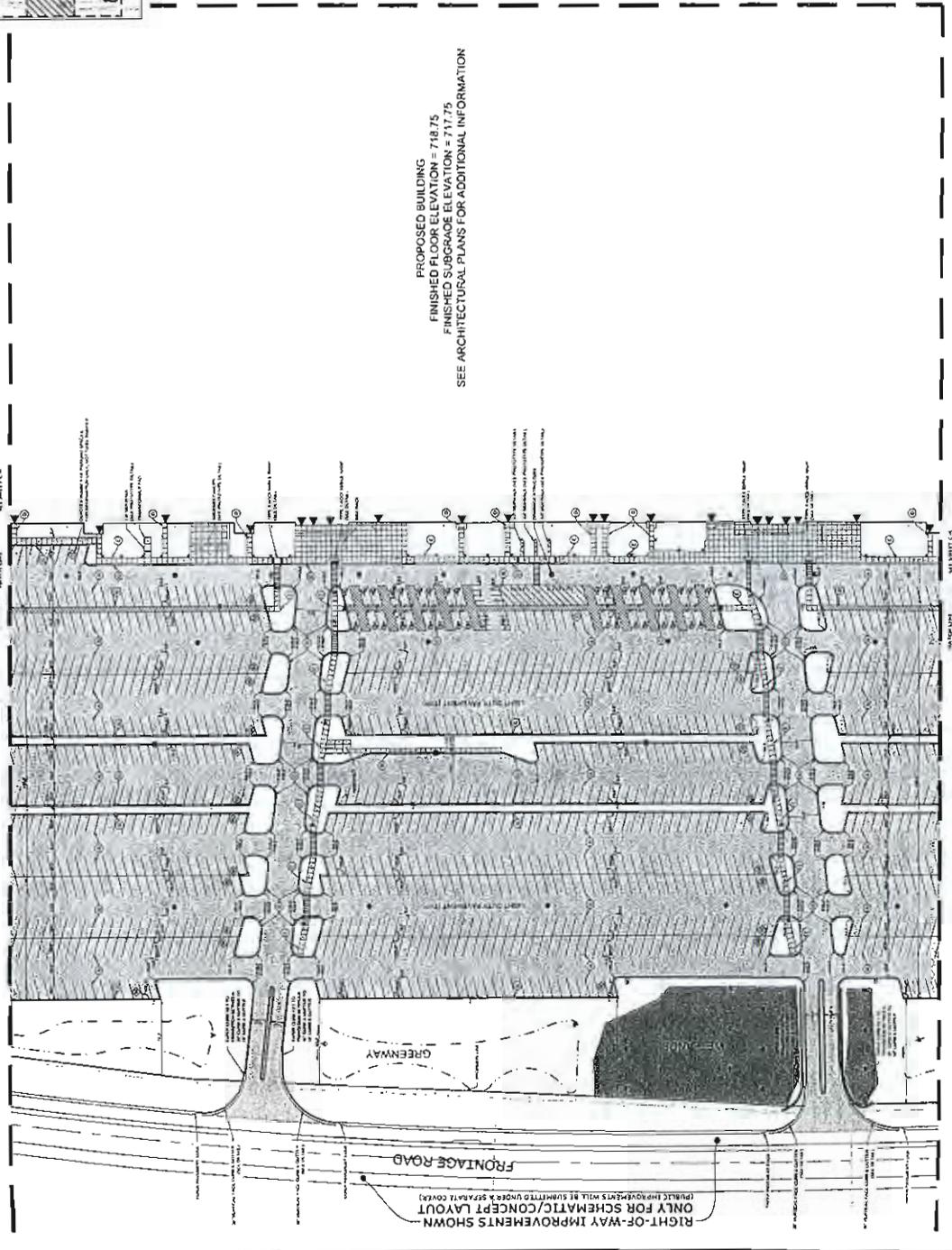
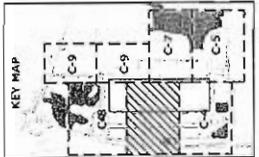
**EXISTING CONDITIONS SURVEY:**

THIS SURVEY WAS CONDUCTED BY [FIRM NAME] ON [DATE]. THE SURVEY DATA IS BASED ON THE FOLLOWING INFORMATION:

- 1. FIELD SURVEY DATA.
- 2. AERIAL PHOTOGRAPHS.
- 3. GROUND PHOTOGRAPHS.
- 4. GPS DATA.
- 5. TOTAL STATION DATA.
- 6. DISTANCE MEASUREMENTS.
- 7. ANGLE MEASUREMENTS.
- 8. ELEVATION MEASUREMENTS.
- 9. PROPERTY RECORDS.
- 10. PUBLIC RECORDS.
- 11. AS-BUILT RECORDS.
- 12. CONSTRUCTION RECORDS.
- 13. SURVEYING RECORDS.
- 14. ENGINEERING RECORDS.
- 15. ARCHITECTURAL RECORDS.
- 16. LANDSCAPE RECORDS.
- 17. UTILITY RECORDS.
- 18. ENVIRONMENTAL RECORDS.
- 19. HISTORICAL RECORDS.
- 20. OTHER RECORDS.

**REVISIONS**

NO.	DATE	DESCRIPTION
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SITE DIMENSIONAL & PAVING PLAN

PROJECT ONYX  
 KENOSHA, WI

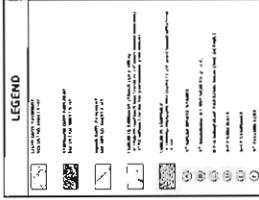
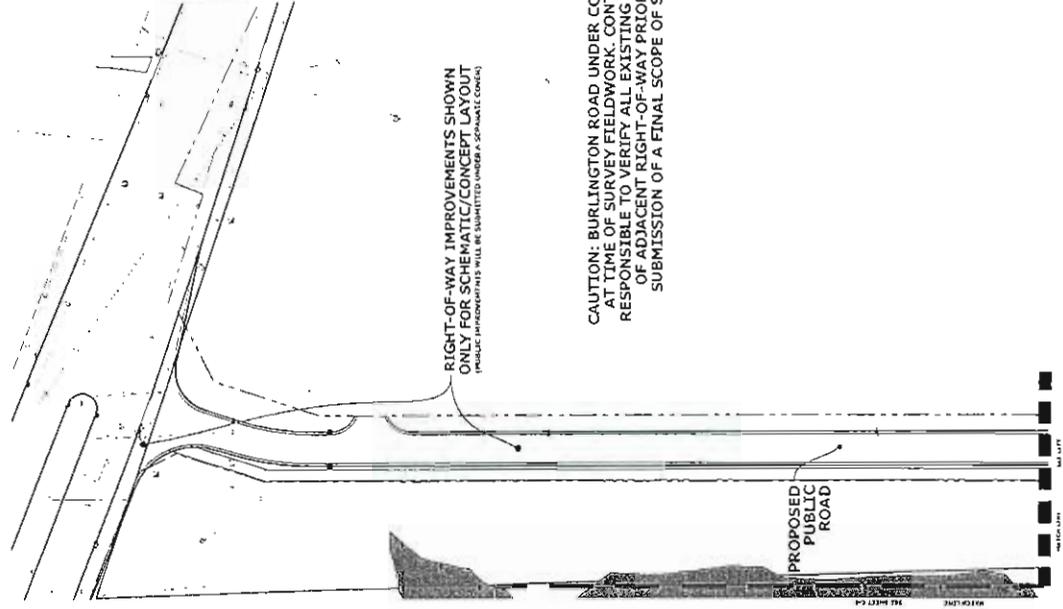
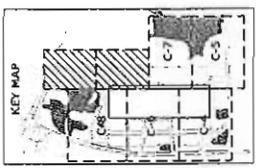


PLAN DESIGN DELIVER  
 PINNACLE ENGINEERING GROUP  
 1000 W. WISCONSIN ST., SUITE 200  
 KENOSHA, WI 53140  
 TEL: 920.393.3333  
 FAX: 920.393.3334  
 WWW.PINNACLE-ENG.COM

**LEGEND**

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**NOTES**

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2. THE PROPOSED PUBLIC ROAD IS SHOWN FOR SCHEMATIC/CONCEPT LAYOUT ONLY. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS OF ADJACENT RIGHT-OF-WAY PRIOR TO THE SUBMISSION OF A FINAL SCOPE OF SERVICES.
3. THE EXISTING CONDITIONS SURVEY IS BASED ON THE DATA PROVIDED BY THE CLIENT. THE ENGINEER HAS CONDUCTED VISUAL VERIFICATION OF THE SURVEY DATA AND HAS FOUND IT TO BE REASONABLY ACCURATE.
4. THE EXISTING CONDITIONS SURVEY DOES NOT INCLUDE A FIELD SURVEY OF THE PROPOSED PUBLIC ROAD.
5. THE EXISTING CONDITIONS SURVEY DOES NOT INCLUDE A FIELD SURVEY OF THE PROPOSED IMPROVEMENTS.
6. THE EXISTING CONDITIONS SURVEY DOES NOT INCLUDE A FIELD SURVEY OF THE PROPOSED UTILITY LINES.
7. THE EXISTING CONDITIONS SURVEY DOES NOT INCLUDE A FIELD SURVEY OF THE PROPOSED LANDSCAPE.
8. THE EXISTING CONDITIONS SURVEY DOES NOT INCLUDE A FIELD SURVEY OF THE PROPOSED SIGNAGE.
9. THE EXISTING CONDITIONS SURVEY DOES NOT INCLUDE A FIELD SURVEY OF THE PROPOSED LIGHTING.
10. THE EXISTING CONDITIONS SURVEY DOES NOT INCLUDE A FIELD SURVEY OF THE PROPOSED FURNITURE.
11. THE EXISTING CONDITIONS SURVEY DOES NOT INCLUDE A FIELD SURVEY OF THE PROPOSED TRAFFIC SIGNALS.
12. THE EXISTING CONDITIONS SURVEY DOES NOT INCLUDE A FIELD SURVEY OF THE PROPOSED STREET LIGHTS.
13. THE EXISTING CONDITIONS SURVEY DOES NOT INCLUDE A FIELD SURVEY OF THE PROPOSED BIKEWAYS.
14. THE EXISTING CONDITIONS SURVEY DOES NOT INCLUDE A FIELD SURVEY OF THE PROPOSED PEDESTRIAN CROSSINGS.
15. THE EXISTING CONDITIONS SURVEY DOES NOT INCLUDE A FIELD SURVEY OF THE PROPOSED PARKING AREAS.
16. THE EXISTING CONDITIONS SURVEY DOES NOT INCLUDE A FIELD SURVEY OF THE PROPOSED LOADING DOCKS.
17. THE EXISTING CONDITIONS SURVEY DOES NOT INCLUDE A FIELD SURVEY OF THE PROPOSED TRUCK TRAILERS.
18. THE EXISTING CONDITIONS SURVEY DOES NOT INCLUDE A FIELD SURVEY OF THE PROPOSED TRUCK DRIVERS.
19. THE EXISTING CONDITIONS SURVEY DOES NOT INCLUDE A FIELD SURVEY OF THE PROPOSED TRUCK ENGINEERS.
20. THE EXISTING CONDITIONS SURVEY DOES NOT INCLUDE A FIELD SURVEY OF THE PROPOSED TRUCK MANAGERS.

**EXISTING CONDITIONS SURVEY:**

THIS SURVEY WAS CONDUCTED ON [DATE] BY [SURVEYOR NAME]. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE SURVEYING ACT AND THE RULES OF PROFESSIONAL CONDUCT. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE SURVEYING ACT AND THE RULES OF PROFESSIONAL CONDUCT. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE SURVEYING ACT AND THE RULES OF PROFESSIONAL CONDUCT.

**GRAPHICAL SCALE:**

1" = 100'

**REVISIONS**

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**PROJECT ONYX**  
KENOSHA, WI

**PINNACLE ENGINEERING GROUP**  
Pinnacle Engineering Group, Inc.  
1000 North Lincoln Street, Kenosha, WI 53142  
Phone: 920.393.3333  
Fax: 920.393.3334  
www.pinnacle-eng.com

**RTR CAPITAL PARTNERS**

**PLANNING DESIGN DELIVER**  
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1000 North Lincoln Street, Kenosha, WI 53142  
Phone: 920.393.3333  
Fax: 920.393.3334  
www.pinnacle-eng.com

**SITE DIMENSIONAL & PAVING PLAN**

**SHEET C-9 OF C-53**





WEST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION

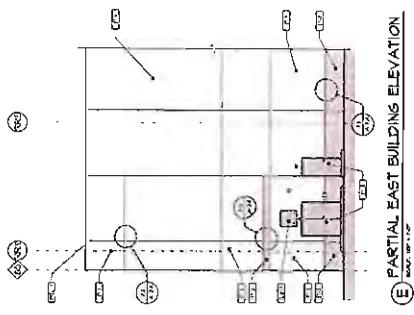
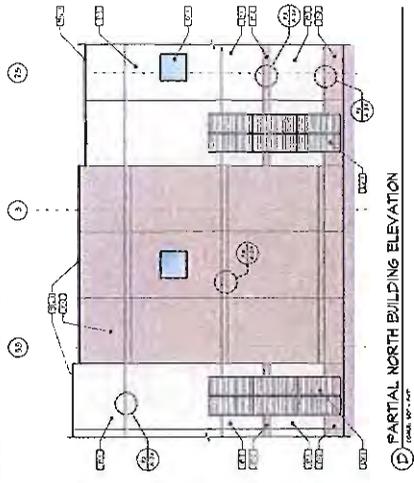
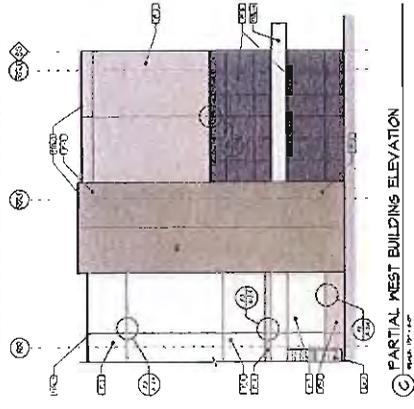
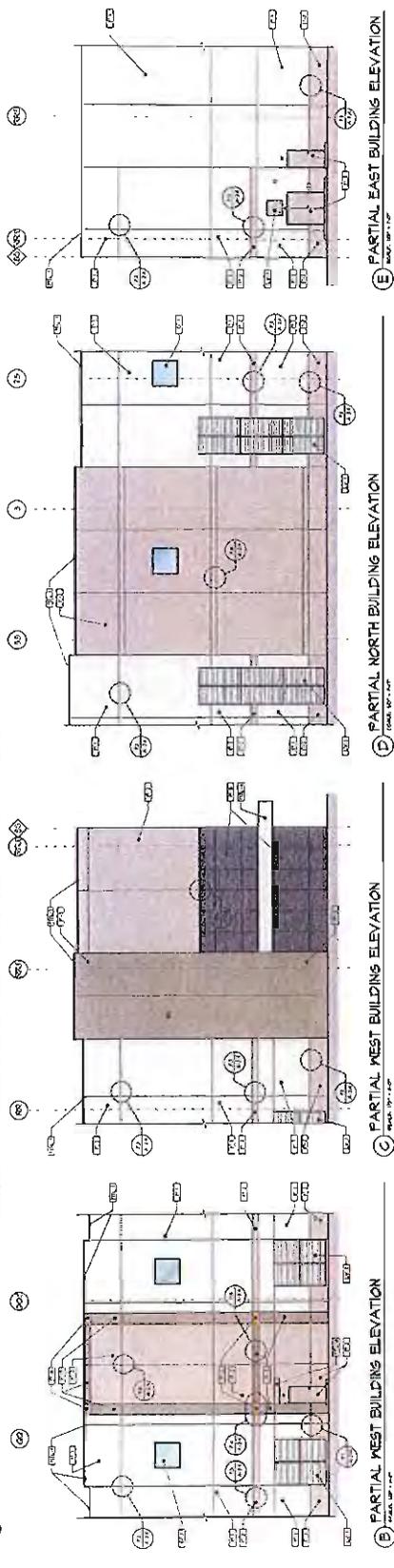
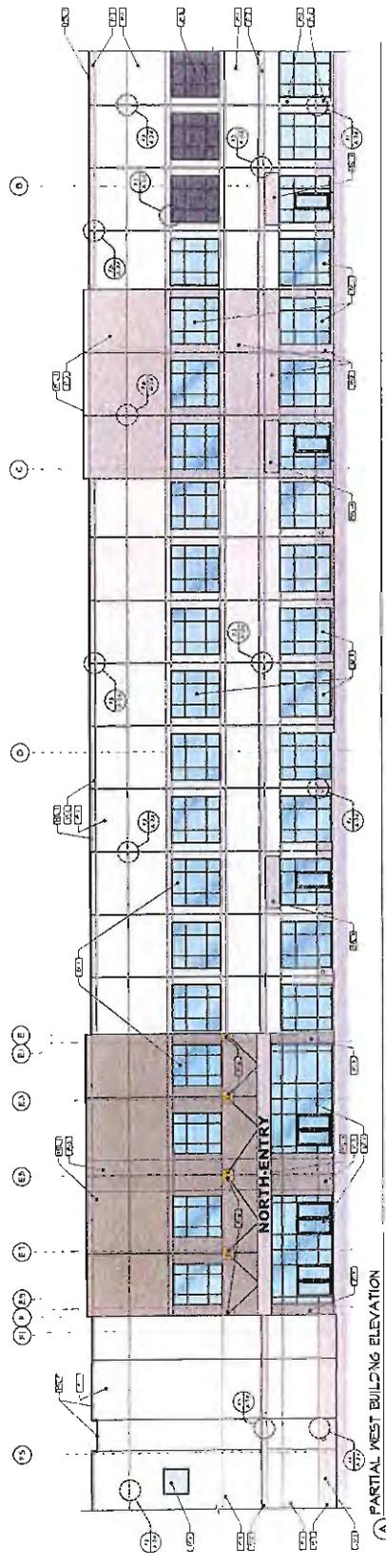


EAST ELEVATION

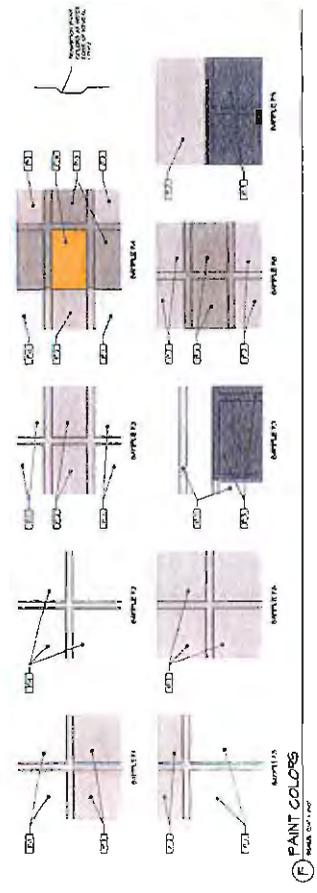


Project Onyx  
Kenosha, Kenosha County, Wisconsin  
August 19, 2013





- PT EXTERIOR WALLS  
PAVEMENT
- PS EXTERIOR WALLS  
PAVEMENT
- PE EXTERIOR WALLS  
PAVEMENT
- PG EXTERIOR WALLS  
PAVEMENT

















PROJECT ONYX  
FOR  
KTR WIS III LLC  
38TH STREET & BURLINGTON ROAD  
KENOSHA, KENOSHA COUNTY, WISCONSIN  
P/O Box 8994, 300 Burr Harbor Drive, Suite #150, Conshohocken, PA 19328

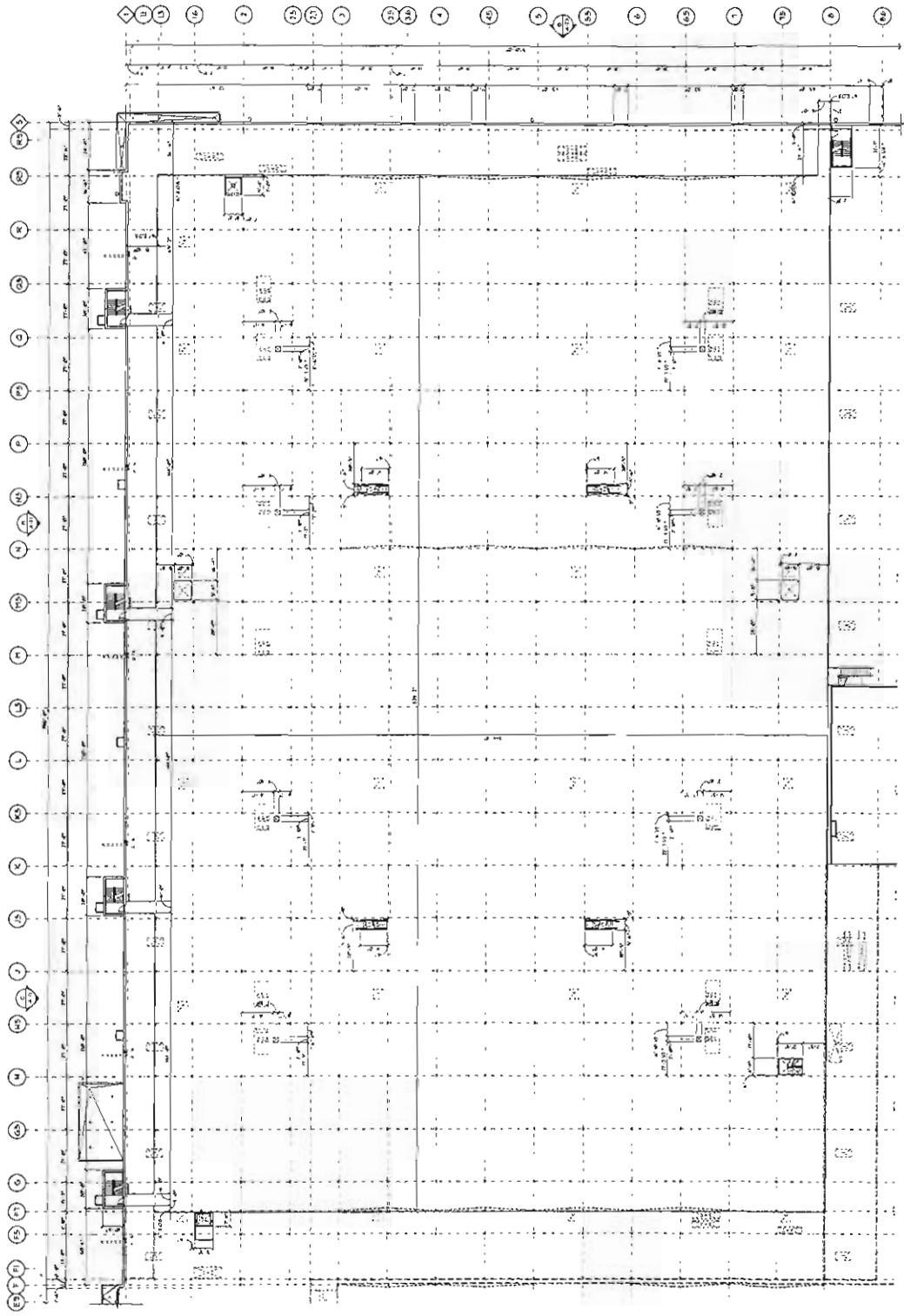
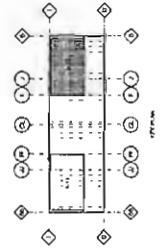


100% New Construction  
10/15/2013  
10/15/2013

NO.	REVISION	DATE

**SYMBOL LEGEND**

	SEE ARCHITECT'S NOTES FOR



(A) NORTH RSP BUILDING PLAN - 1ST ELEVATED LEVEL (10'-6" A.F.F.)



**KTR**  
CAPITAL PARTNERS

**PROJECT ONYX**  
36TH STREET & BURLINGTON ROAD  
KENOSHA, KENOSHA COUNTY, WISCONSIN  
KTR WIS III LLC  
Five Tower Drive, 300 Barr Harbor Drive, Suite #150, Conshohocken, PA 19128

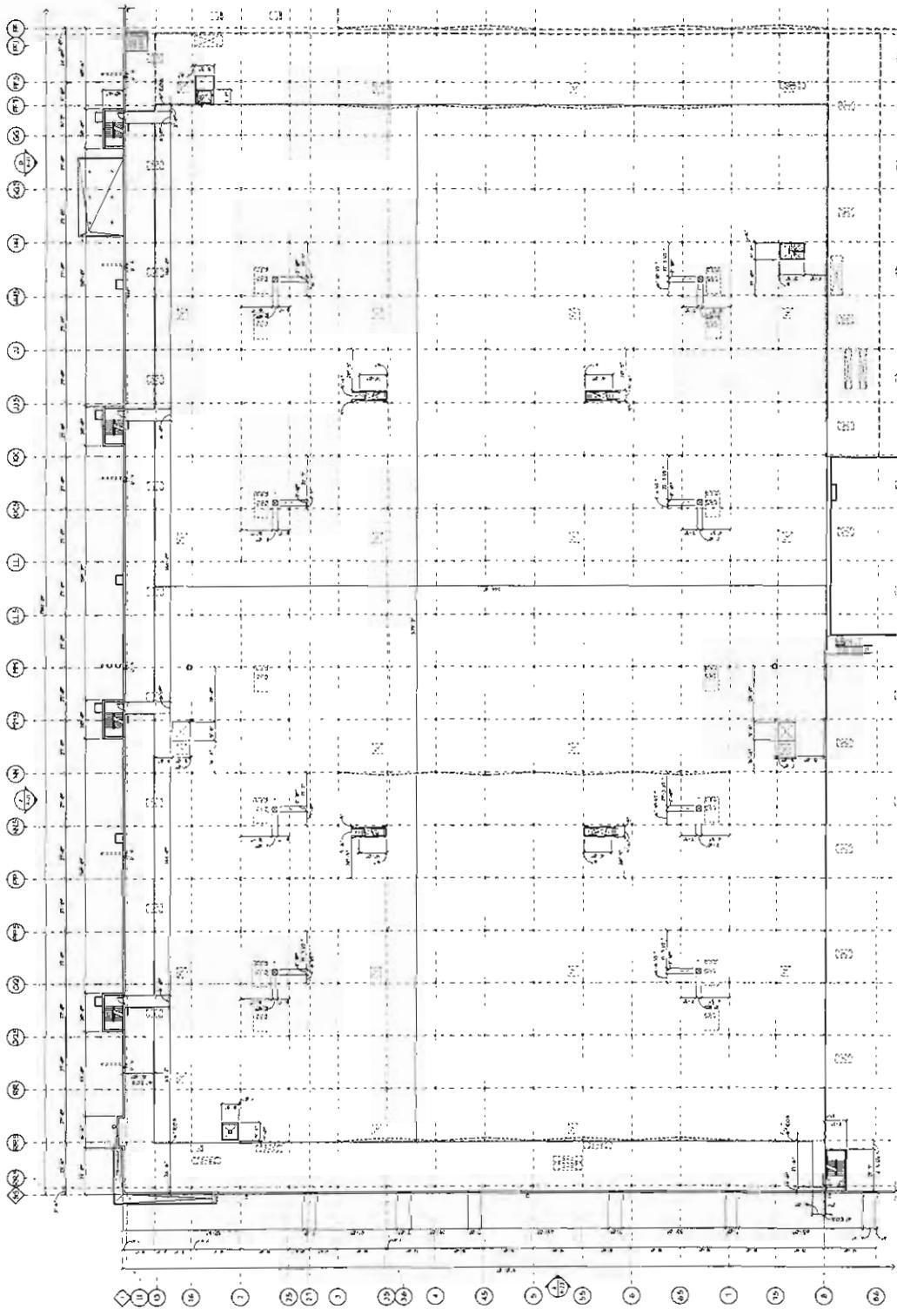
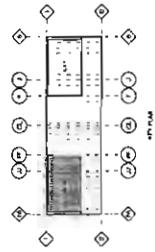
DATE	DESCRIPTION

**SOUTH RSP FLOOR PLAN - 1ST ELEVATED LEVEL (10'-6")**  
LEVEL (10'-6")

**A-1.8**

**SYMBOL LEGEND**

○	10' SQUARE COLUMN
□	12' SQUARE COLUMN
◇	14' SQUARE COLUMN
○	16' SQUARE COLUMN
□	18' SQUARE COLUMN
◇	20' SQUARE COLUMN
○	24' SQUARE COLUMN
□	30' SQUARE COLUMN
◇	36' SQUARE COLUMN
○	48' SQUARE COLUMN
□	60' SQUARE COLUMN
◇	72' SQUARE COLUMN
○	84' SQUARE COLUMN
□	96' SQUARE COLUMN
◇	108' SQUARE COLUMN
○	120' SQUARE COLUMN
□	144' SQUARE COLUMN
◇	180' SQUARE COLUMN
○	216' SQUARE COLUMN
□	270' SQUARE COLUMN
◇	324' SQUARE COLUMN
○	360' SQUARE COLUMN
□	432' SQUARE COLUMN
◇	504' SQUARE COLUMN
○	576' SQUARE COLUMN
□	648' SQUARE COLUMN
◇	720' SQUARE COLUMN
○	800' SQUARE COLUMN
□	900' SQUARE COLUMN
◇	1000' SQUARE COLUMN



**SOUTH RSP BUILDING PLAN - 1ST ELEVATED LEVEL (10'-6" A.F.F.)**









James J. K...  
Professional Engineer  
No. 111111  
Wisconsin  
Mechanical

**KTR**  
CAPITAL PARTNERS

**PROJECT ONYX**  
28TH STREET & BURLINGTON ROAD  
KENOSHA, KENOSHA COUNTY, WISCONSIN  
FOR  
KTR WIS III LLC  
1500 TOWER DRIVE, 200 BAY HARBOR DRIVE, SUITE #150, COVINGTON, PA 15120

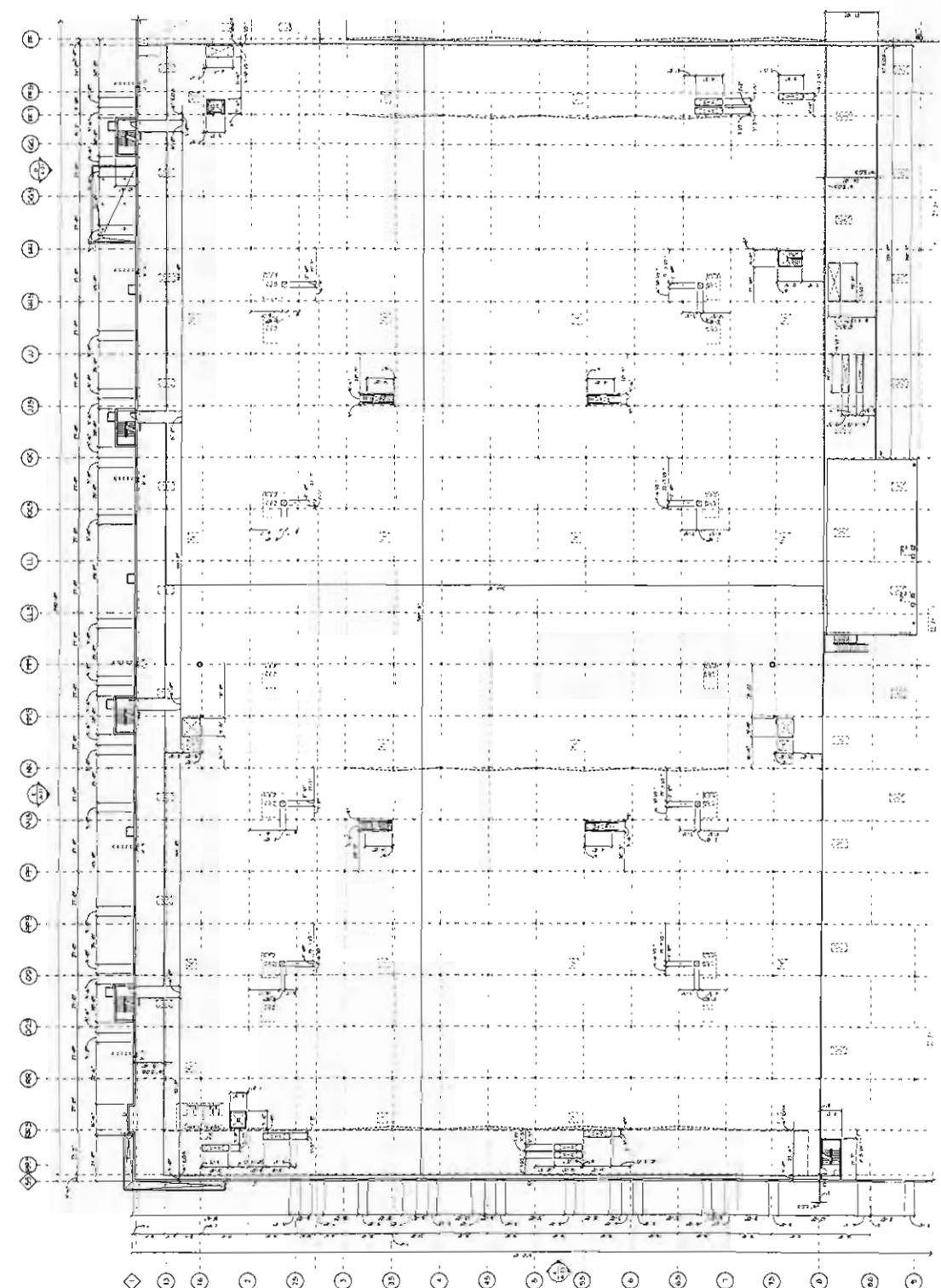
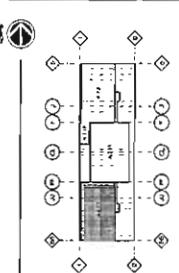
NO.	REVISION	DATE	BY	CHKD.

**SOUTH RSP FLOOR PLAN AND NOTES**  
LEVEL (21'-0")  
DATE: 07-07-07  
BY: JJK  
CHKD: JJK

**A-112**

**SYMBOL LEGEND**

	1. ALL LIGHTS TO BE INSTALLED TO THE SOUTH RSP FLOOR PLAN AND NOTES
	2. ALL LIGHTS TO BE INSTALLED TO THE SOUTH RSP FLOOR PLAN AND NOTES
	3. ALL LIGHTS TO BE INSTALLED TO THE SOUTH RSP FLOOR PLAN AND NOTES
	4. ALL LIGHTS TO BE INSTALLED TO THE SOUTH RSP FLOOR PLAN AND NOTES
	5. ALL LIGHTS TO BE INSTALLED TO THE SOUTH RSP FLOOR PLAN AND NOTES
	6. ALL LIGHTS TO BE INSTALLED TO THE SOUTH RSP FLOOR PLAN AND NOTES
	7. ALL LIGHTS TO BE INSTALLED TO THE SOUTH RSP FLOOR PLAN AND NOTES
	8. ALL LIGHTS TO BE INSTALLED TO THE SOUTH RSP FLOOR PLAN AND NOTES
	9. ALL LIGHTS TO BE INSTALLED TO THE SOUTH RSP FLOOR PLAN AND NOTES
	10. ALL LIGHTS TO BE INSTALLED TO THE SOUTH RSP FLOOR PLAN AND NOTES



**(A) SOUTH RSP BUILDING PLAN - 2ND ELEVATED LEVEL (21'-0" A.F.F.)**

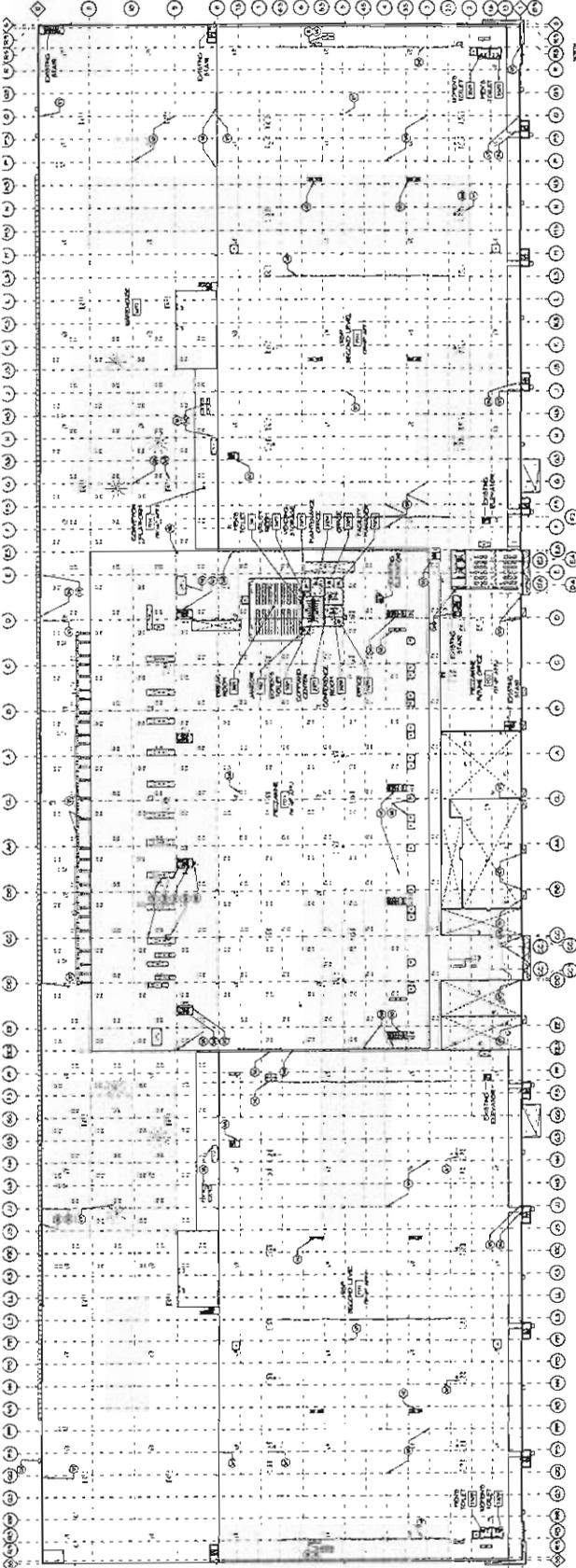




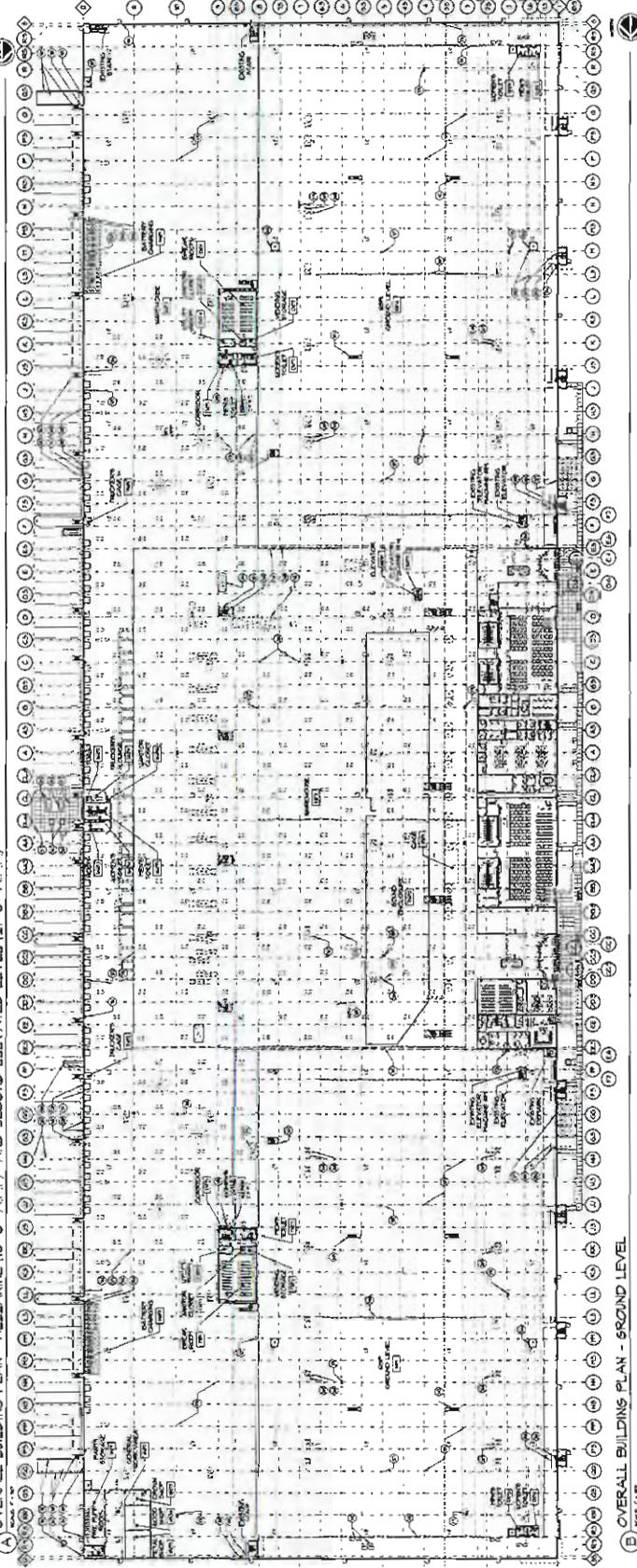
PROJECT ONYX  
9811 STREET & BURLINGTON ROAD  
KENOSHA, KENOSHA COUNTY, WISCONSIN  
FOR  
KTR WIS III LLC  
1515 River Bridge, 300 East Harbor Drive, Suite 1500, Cedarbrook, PA 18128

KTR  
CAPITAL PARTNERS

1515 River Bridge, 300 East Harbor Drive, Suite 1500, Cedarbrook, PA 18128  
KTR WIS III LLC  
1515 River Bridge, 300 East Harbor Drive, Suite 1500, Cedarbrook, PA 18128



(A) OVERALL BUILDING PLAN - MEZZANINE (18'-0" A.F.F.) AND SECOND ELEVATED LEVEL (21'-0" A.F.F.)



(B) OVERALL BUILDING PLAN - GROUND LEVEL





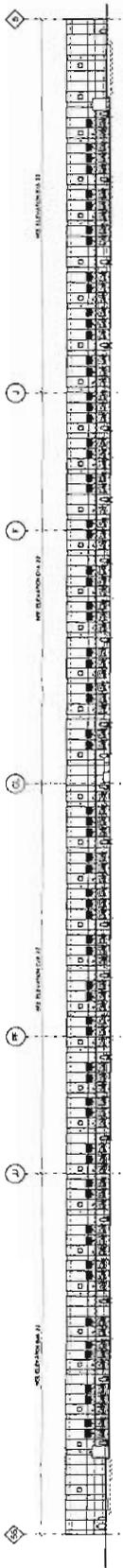




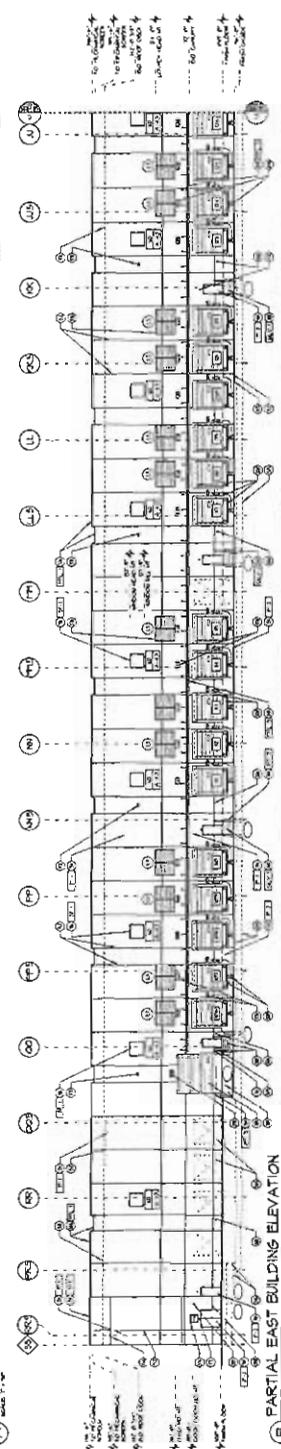




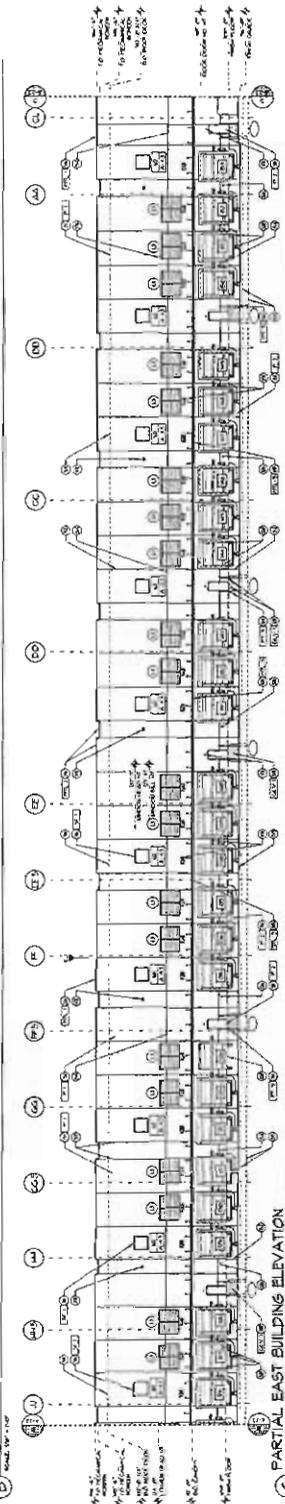




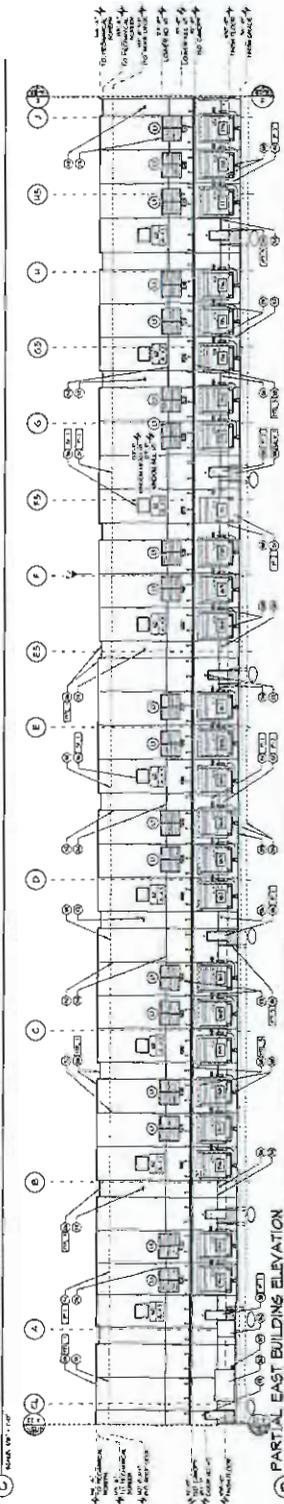
**A OVERALL EAST BUILDING ELEVATION**  
SCALE: 1/8" = 1'-0"



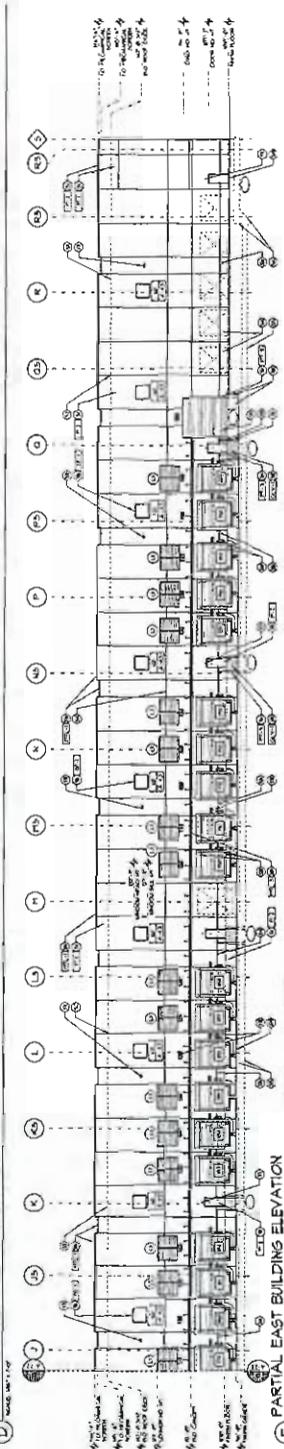
**B PARTIAL EAST BUILDING ELEVATION**  
SCALE: 1/8" = 1'-0"



**C PARTIAL EAST BUILDING ELEVATION**  
SCALE: 1/8" = 1'-0"



**D PARTIAL EAST BUILDING ELEVATION**  
SCALE: 1/8" = 1'-0"

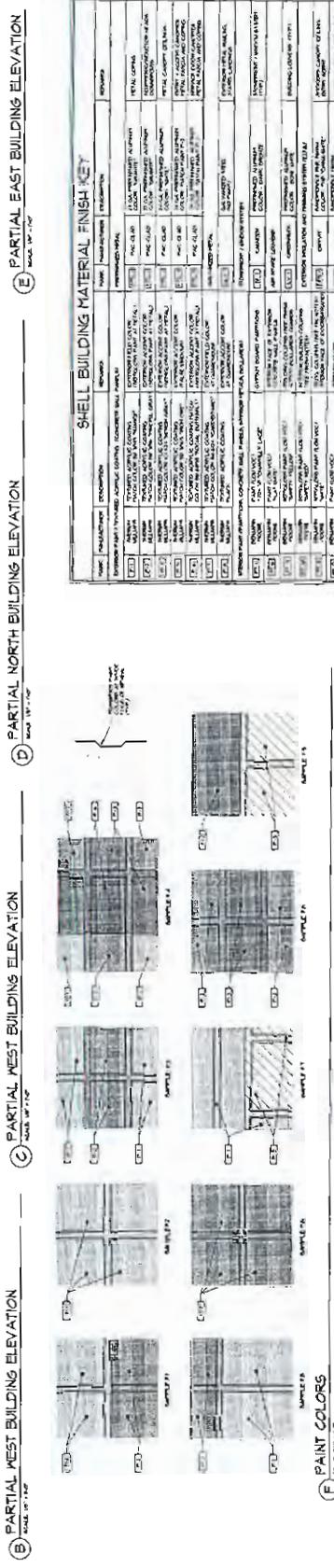
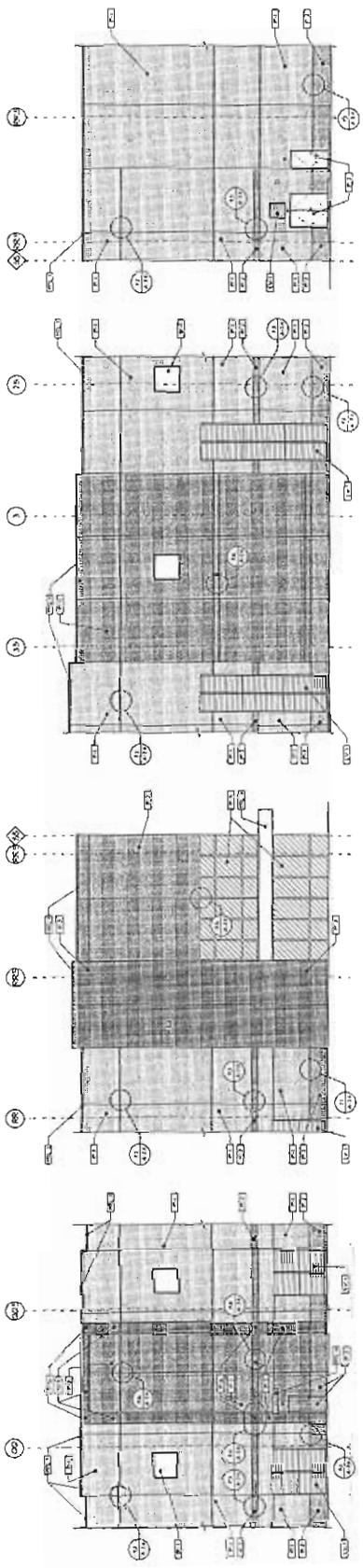
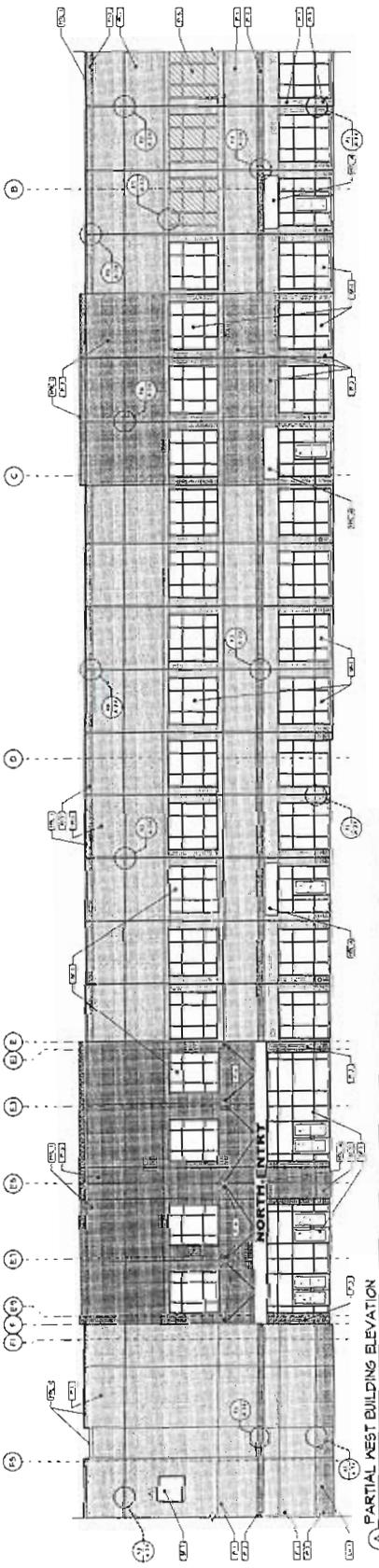


**E PARTIAL EAST BUILDING ELEVATION**  
SCALE: 1/8" = 1'-0"

**SYMBOL LEGEND**

○	WALL FINISH
□	GLASS CURTAIN WALL
□	GLASS PARTITION
□	GLASS DOOR
□	GLASS WINDOW
□	GLASS SKYLIGHT
□	GLASS ROOF
□	GLASS BALCONY
□	GLASS STAIR
□	GLASS ELEVATOR
□	GLASS RAMP
□	GLASS SIGN
□	GLASS LETTER
□	GLASS NUMBER
□	GLASS SYMBOL
□	GLASS OTHER





### SHELL BUILDING MATERIAL FINISH KEY

NO.	DESCRIPTION	REMARKS	APPLICABLE
1	CONCRETE	CONCRETE	CONCRETE
2	PAINT	PAINT	PAINT
3	GLASS	GLASS	GLASS
4	BRICK	BRICK	BRICK
5	STONE	STONE	STONE
6	ROOFING	ROOFING	ROOFING
7	MECHANICAL	MECHANICAL	MECHANICAL
8	LANDSCAPE	LANDSCAPE	LANDSCAPE
9	UTILITY	UTILITY	UTILITY
10	FINISH	FINISH	FINISH

### SHELL BUILDING FINISH NOTES

1. SEE SHEET FOR FINISH SCHEDULE FOR MATERIALS, COLORS, AND FINISHES.
2. ALL FINISHES SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
3. ALL FINISHES SHALL BE APPLIED IN ACCORDANCE WITH THE ARCHITECT'S REQUIREMENTS.
4. ALL FINISHES SHALL BE APPLIED IN ACCORDANCE WITH THE LOCAL CODES AND REGULATIONS.
5. ALL FINISHES SHALL BE APPLIED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
6. ALL FINISHES SHALL BE APPLIED IN ACCORDANCE WITH THE PROJECT SCHEDULE.

### PAINT COLORS

REVISED BY: [REDACTED]

NO.	DESCRIPTION	REMARKS
1	PAINT	PAINT
2	PAINT	PAINT
3	PAINT	PAINT
4	PAINT	PAINT
5	PAINT	PAINT
6	PAINT	PAINT
7	PAINT	PAINT
8	PAINT	PAINT
9	PAINT	PAINT
10	PAINT	PAINT

PROJECT ONYX  
 98TH STREET & BURLINGTON ROAD  
 KENOSHA, WISCONSIN

KTR WIS III LLC  
 1710 Tower Bridge, 200 Bay Harbor Drive, Suite #150, Conshohocken, PA 19348



NO.	DATE	DESCRIPTION
1	11/11/2014	ISSUED FOR PERMIT
2	01/21/2015	ISSUED FOR CONSTRUCTION
3	03/11/2015	ISSUED FOR CONSTRUCTION
4	03/11/2015	ISSUED FOR CONSTRUCTION
5	03/11/2015	ISSUED FOR CONSTRUCTION
6	03/11/2015	ISSUED FOR CONSTRUCTION
7	03/11/2015	ISSUED FOR CONSTRUCTION
8	03/11/2015	ISSUED FOR CONSTRUCTION
9	03/11/2015	ISSUED FOR CONSTRUCTION
10	03/11/2015	ISSUED FOR CONSTRUCTION
11	03/11/2015	ISSUED FOR CONSTRUCTION
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97	03/11/2015	ISSUED FOR CONSTRUCTION
98	03/11/2015	ISSUED FOR CONSTRUCTION
99	03/11/2015	ISSUED FOR CONSTRUCTION
100	03/11/2015	ISSUED FOR CONSTRUCTION

SCALE: 1/8" = 1'-0"

DATE: 03/11/2015

BY: [Signature]

CHECKED: [Signature]

DESIGNED: [Signature]

PROJECT ONYX

98TH STREET & BURLINGTON ROAD

KENOSHA, WISCONSIN

KTR WIS III LLC

1710 Tower Bridge, 200 Bay Harbor Drive, Suite #150, Conshohocken, PA 19348

SCALE: 1/8" = 1'-0"

DATE: 03/11/2015

BY: [Signature]

CHECKED: [Signature]

DESIGNED: [Signature]

PROJECT ONYX

98TH STREET & BURLINGTON ROAD

KENOSHA, WISCONSIN

KTR WIS III LLC

1710 Tower Bridge, 200 Bay Harbor Drive, Suite #150, Conshohocken, PA 19348

SCALE: 1/8" = 1'-0"

DATE: 03/11/2015

BY: [Signature]

CHECKED: [Signature]

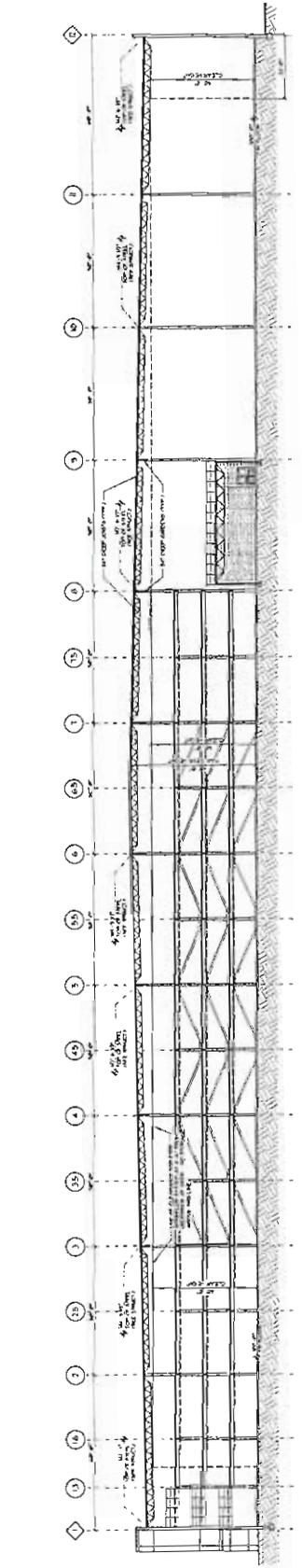
DESIGNED: [Signature]

PROJECT ONYX

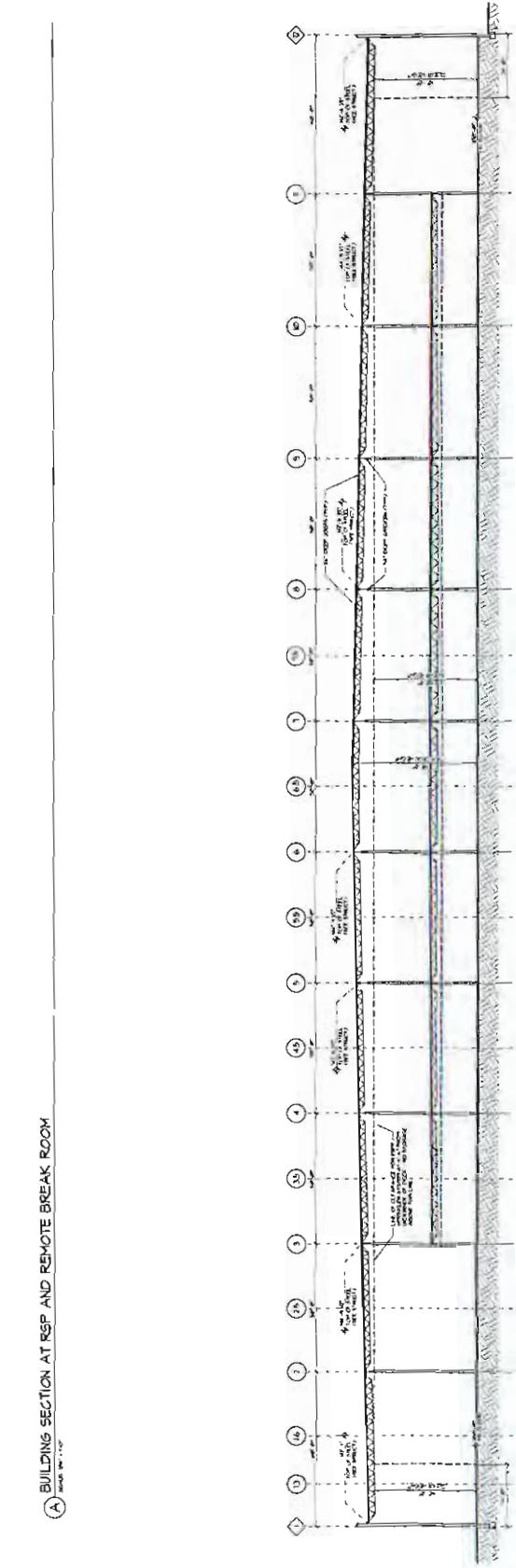
98TH STREET & BURLINGTON ROAD

KENOSHA, WISCONSIN

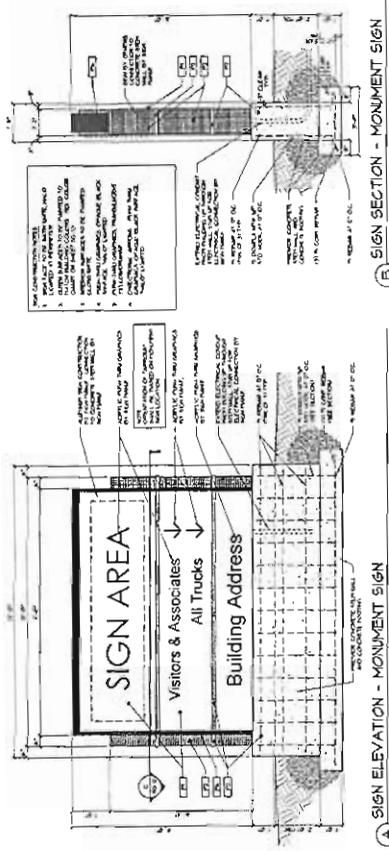
KTR WIS III LLC



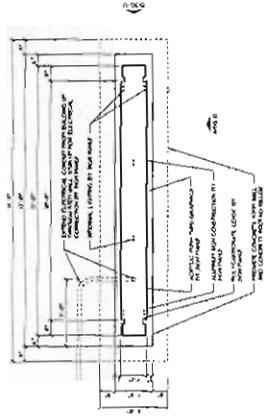
(A) BUILDING SECTION AT RSP AND REMOTE BREAK ROOM  
 SCALE: 1/8" = 1'-0"



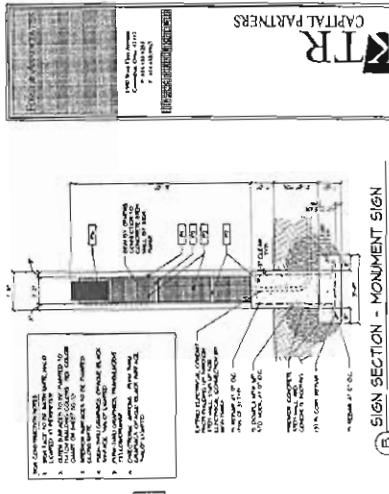
(B) BUILDING SECTION AT PROCESS MEZZANINE  
 SCALE: 1/8" = 1'-0"



A SIGN ELEVATION - MONUMENT SIGN  
SCALE: 1/8" = 1'-0"



C SIGN PLAN - MONUMENT SIGN  
SCALE: 1/8" = 1'-0"



E SIGN SECTION - MONUMENT SIGN  
SCALE: 1/8" = 1'-0"

**COLOR GENERAL NOTES**

1. ALL COLORS TO BE MATCHED TO THE FOLLOWING CHART. MATCHING SHOULD BE DONE IN THE FIELD UNDER REAL WORLD CONDITIONS. MATCHING SHOULD BE DONE IN THE FIELD UNDER REAL WORLD CONDITIONS. MATCHING SHOULD BE DONE IN THE FIELD UNDER REAL WORLD CONDITIONS.

2. MATCHING SHOULD BE DONE IN THE FIELD UNDER REAL WORLD CONDITIONS. MATCHING SHOULD BE DONE IN THE FIELD UNDER REAL WORLD CONDITIONS. MATCHING SHOULD BE DONE IN THE FIELD UNDER REAL WORLD CONDITIONS.

3. MATCHING SHOULD BE DONE IN THE FIELD UNDER REAL WORLD CONDITIONS. MATCHING SHOULD BE DONE IN THE FIELD UNDER REAL WORLD CONDITIONS. MATCHING SHOULD BE DONE IN THE FIELD UNDER REAL WORLD CONDITIONS.

**CUSTOM SIGNAGE COLORS**

NAME	MANUFACTURER	FINISH
C1 WHITE	PRIMA	PRIMA
C2 BLACK	PRIMA	PRIMA
C3 YELLOW	PRIMA	PRIMA
C4 GRAY	PRIMA	PRIMA
C5 RED	PRIMA	PRIMA
C6 BLUE	PRIMA	PRIMA

**MONUMENT SIGNAGE COLORS**

P1	MONUMENT SIGNAGE COLOR
P2	MONUMENT SIGNAGE COLOR
P3	MONUMENT SIGNAGE COLOR
P6	MONUMENT SIGNAGE COLOR
DOT	MONUMENT SIGNAGE COLOR

Planning & Zoning Division 625 52 <sup>nd</sup> Street Kenosha, WI 53140 262.653.4030	Kenosha City Plan Commission  <b>FACT SHEET</b>	September 19, 2013	Item 5
<b>By the Mayor - To approve a Three-Lot Certified Survey Map for property at the northeast corner of 38th Street and 120th Avenue. (Project Onyx) (District #16) PUBLIC HEARING</b>			

**LOCATION/SURROUNDINGS:**

Site: Northeast corner of 38th Street and 120th Avenue  
 Zoned: A-2 Agricultural Land Holding / C-2 Lowland Resource Conservancy

**NOTIFICATIONS/PROCEDURES:**

The alderman of the district, Alderman Downing, has been notified. This item will also be reviewed by the Public Works Committee before final approval by the Common Council.

**ANALYSIS:**

- In conjunction with the Conditional Use Permit application for a new distribution center on the property on the northeast corner of 38th Street and 120th Avenue, the applicant has submitted the attached three-lot Certified Survey Map. The lots are described as follows:
  - Lot 1 is an undevelopable lot due to a large amount of wetlands on the site.
  - Lot 2 will provide for a future industrial development.
  - Lot 3 is the location of the distribution center and related improvements.
- City Staff has requested that the road, proposed to be dedicated to the public and shown on the north end of Lot 3 and west end of Lot 2, actually be constructed as a private street.
- Plans were sent to City Departments for their review. Their comments are included on the attached Resolution.
- The Certified Survey Map generally complies with Chapter 17 of the Code of General Ordinances.

**RECOMMENDATION:**

A recommendation is made to approve the Certified Survey Map, subject to the attached Resolution.

*B. R. Wilke*

\_\_\_\_\_  
 Brian R. Wilke, Development Coordinator

*Jeffrey B. Labahn*

\_\_\_\_\_  
 Jeffrey B. Labahn, Director

BY: THE MAYOR

**TO APPROVE A THREE-LOT CERTIFIED SURVEY MAP**  
**Property at the Northeast Corner of 38th Street and 120th Avenue (Project Onyx)**

**BE IT RESOLVED** by the Common Council of the City of Kenosha, Wisconsin, that a Certified Survey Map relating to eight (8) parcels at the Northeast corner of 38th Street and 120th Avenue is herein and hereby approved subject to the following conditions:

1. Compliance with all applicable State and City codes and ordinances.
2. Payment of all applicable fees, including recording fees.
3. Payment of all taxes, special assessments and stormwater utility fees prior to recording. The Owner shall provide the City Clerk-Treasurer, a certificate from the County Treasurer, stating that there are no past-due real estate taxes or special assessments on the parcel of real estate which is being divided.
4. The Certified Survey Map shall be null and void if not recorded within six (6) months of approval by the Common Council.
5. A digital copy of the Certified Survey Map shall be provided to the City prior to recording.
6. The calculation of the size of Outlot 1 at 131,352 square feet appears to be inaccurate. Please recalculate.
7. Legal description reads in part, "...and arc of a curve, whose center lies to the Northeast, whose radius is 2912.93 feet and whose chord bears North 71°32'54" East 252.77 feet .... The chord bears **SOUTH** 71°32'54"W.
8. There is a line on Sheet 1 which is labeled **S87°36'38"W 0.87'**, but has no corresponding line in the legal description. Why not?
9. The area labeled as "dedicated to the public for street purposes" shall be removed from the CSM. This road shall be private.
10. A Developer's Agreement between the City and the KWU shall be approved and executed by all parties prior to recording of the CSM.
11. Show all storm sewer and sanitary sewer, water main and combined utility easements on the CSM. This includes any combined utility easements that will need to be created when the East/West Road is private. Each easement shall have a metes and bounds legal description.
12. Compliance with all the preceding conditions as a prerequisite for authorizing Mayor and City Clerk-Treasurer to sign the Certified Survey Map.

Adopted this \_\_\_\_ day of \_\_\_\_\_, 2013

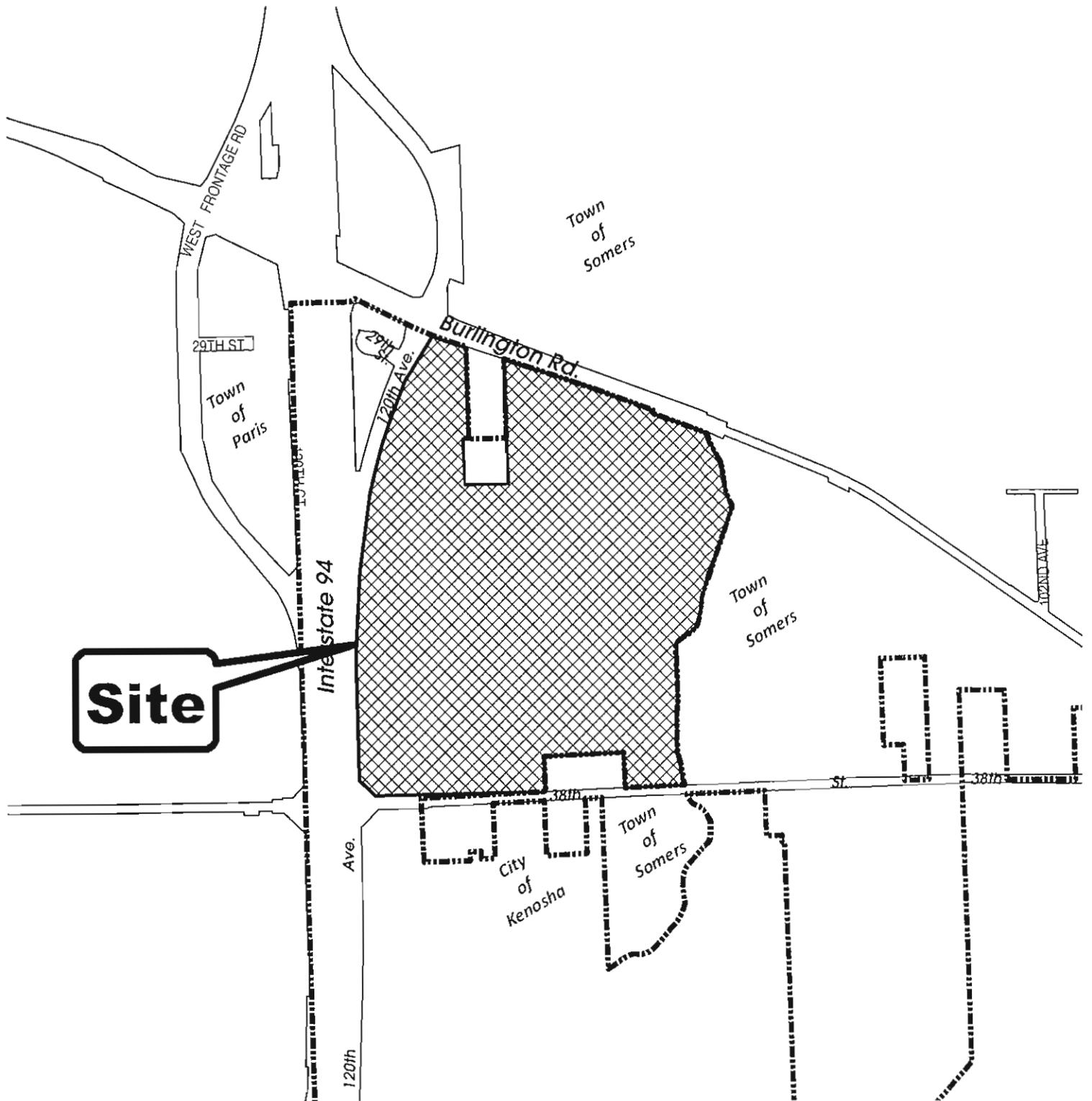
ATTEST:

\_\_\_\_\_  
Debra L. Salas, City Clerk-Treasurer

APPROVE:

\_\_\_\_\_  
Keith G. Bosman, Mayor

*City of Kenosha*  
Vicinity Map  
Project Onyx CSM



**Site**

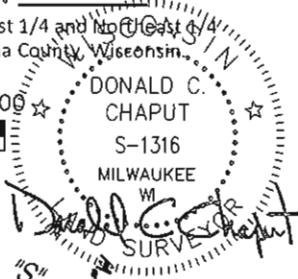
----- Municipal Boundary



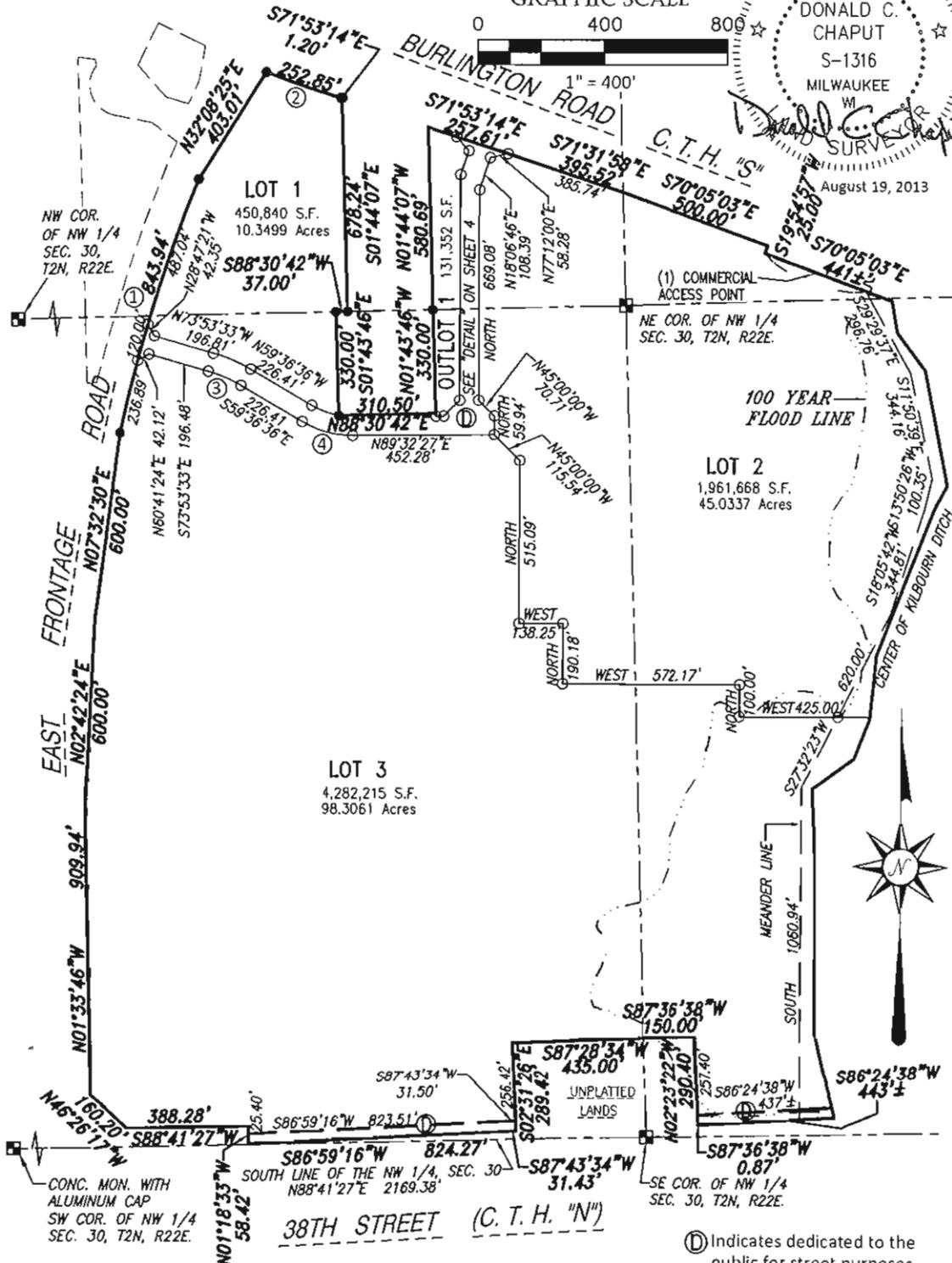
# CERTIFIED SURVEY MAP NO.

Part of the Southwest 1/4 and Southeast 1/4 of Section 19 and in the Northwest 1/4 and Northeast 1/4 of Section 30 all in Town 2 North, Range 22 East in the City of Kenosha, Kenosha County, Wisconsin

GRAPHIC SCALE



August 19, 2013



- Ⓛ Indicates dedicated to the public for street purposes.
- Indicates found 3/4" iron rod.
- Indicates set 1.315" O.D. iron pipe 18" in length, weighing 1.68 lbs. per lineal foot.

## CHAPUT LAND SURVEYS LLC

234 W. FLORIDA STREET  
MILWAUKEE, WI 53204  
414-224-8068  
www.chaputlandsurveys.com

Bearings are referenced to the Wisconsin State Plane Coordinate System (South Zone), in which the west line of the Northwest 1/4 of Section 30 bears North 01°34'08" West

See sheet 2 for curve data.

This instrument was drafted by Donald C. Chaput, Registered Land Surveyor S-1316

Drawing No. 1281-grb  
Sheet 1 of 4 Sheets

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Part of the Southwest 1/4 and Southeast 1/4 of Section 19 and in the Northwest 1/4 and Northeast 1/4 of Section 30 all in Town 2 North, Range 22 East in the City of Kenosha, Kenosha County, Wisconsin.

## SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN)  
 :SS  
 MILWAUKEE COUNTY)

I, DONALD C. CHAPUT, a registered land surveyor, do hereby certify:

THAT I have surveyed, divided and mapped part of the Southwest 1/4 and Southeast 1/4 of Section 19 and in the Northwest 1/4 and Northeast 1/4 of Section 30 all in Town 2 North, Range 22 East in the City of Kenosha, Kenosha County, Wisconsin, bounded and described as follows:

COMMENCING at the Southwest corner of the Northwest 1/4 of Section 30, thence North 88°41'27" East along the South line of said 1/4 Section 511.72 feet to a point; thence North 01°18'33" West 60.00 feet to a point on the North line of 38th Street and the East line of a Frontage Road and the point of beginning of the lands to be described; thence North 46°26'17" West along said East line 160.20 feet to a point; thence North 01°33'46" West along said East line 909.94 feet to a point; thence North 02°42'24" East along said East line 600.00 feet to a point; thence North 07°32'30" East along said East line 600.00 feet to a point; thence Northeasterly 843.94 feet along said East line and arc of a curve, whose center lies to the Southeast, whose radius is 4950.0 feet and whose chord bears North 17°14'27" East 842.92 feet to a point; thence North 32°08'25" East along said East line 403.01 feet to a point on the South line of Burlington Road; thence Southeasterly 252.85 feet along said South line and arc of a curve, whose center lies to the Northeast, whose radius is 2912.93 feet and whose chord bears North 71°32'54" East 252.77 feet to a point; thence South 71°53'14" East along said South line 1.20 feet to a point; thence South 01°44'07" East 678.24 feet to a point; thence South 88°30'42" West 37.00 feet to a point; thence South 01°43'46" East 330.00 feet to a point; thence North 88°30'42" East 310.50 feet to a point; thence North 01°43'46" West 330.00 feet to a point; thence North 01°44'07" West 580.69 feet to a point on the South line of Burlington Road; thence South 71°53'14" East along said South line 257.61 feet to a point; thence South 71°31'58" East along said South line 395.52 feet to a point; thence South 70°05'03" East along said South line 500.00 feet to a point; thence South 19°54'57" West along said South line 25.00 feet to a point; thence South 70°05'03" East along said South line 350.33 feet to a meander corner, said point being North 70°05'03" West 91 feet more or less from the center of the Kilbourn Ditch; thence South 29°29'37" East along a Meander line 296.76 feet to a point; thence South 11°50'39" East along said Meander line 344.16 feet to a point; thence South 13°50'26" West along said Meander line 100.35 feet to a point; thence South 18°05'42" West along said Meander line 344.81 feet to a point; thence South 27°32'23" West along said Meander line 620.00 feet to a point; thence due South along said Meander line 1060.94 feet to the centerline of 38th Street, said point being South 86°24'38" West 114 feet more or less from the center of the Kilbourn Ditch; thence South 86°24'38" West along said centerline 330.40 feet to a point; thence North 02°23'22" West 290.40 feet to a point; thence South 87°36'38" West 150.00 feet to a point; thence South 87°28'34" West 435.00 feet to a point; thence South 02°31'26" East 289.42 feet to a point on the centerline of 38th Street; thence South 87°43'34" West along said centerline 31.43 feet to a point; thence South 86°59'16" West along said centerline 824.27 feet to a point; thence North 01°18'33" West 58.42 feet to a point on the North line of 38th Street; thence South 88°41'27" West along said North line 388.28 feet to the point of beginning. Including those lands lying between the aforesaid meander line and the center of the Kilbourn Ditch

THAT I have made this survey, land division and map by the direction of Next Partners I, LLC, a Wisconsin limited liability company, owner of said land.

THAT such map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

THAT I have fully complied with the provisions of Section 236.34 of the Wisconsin Statutes, the Land Division Ordinance of the Land Division Ordinance of Kenosha County in surveying, dividing and mapping the same.

DATE: August 19, 2013

  
 DONALD C. CHAPUT  
 REGISTERED LAND SURVEYOR S-1316  
 CHAPUT  
 S-1316  
 MILWAUKEE  
 WI  
 LAND SURVEYOR

### CURVE TABLE

CURVE	LOT	ARC	RADIUS	CH. BEARING	CHORD	DELTA
1	TOTAL	843.94'	4950.00'	N17°14'27"E	842.92'	9°46'06"
1	3	236.89'	4950.00'	N13°43'40"E	236.87'	2°44'32"
1	OL 1	120.00'	4950.00'	N15°47'36"E	120.00'	1°23'20"
1	1	487.04'	4950.00'	N19°18'23"E	486.83'	5°38'14"
2	1	252.85'	2912.93'	S71°32'54"E	252.77'	4°58'24"
3 N.	1	128.38'	515.00'	N66°45'05"W	128.05'	14°16'57"
3 S.	3	113.42'	455.00'	S66°45'05"E	113.13'	14°16'57"
4 N.	1	93.42'	255.00'	N70°06'17"W	92.89'	20°59'23"
4 S.	3	169.60'	315.00'	S75°02'05"E	167.56'	30°50'57"

**CERTIFIED SURVEY MAP NO. \_\_\_\_\_**

Part of the Southwest 1/4 and Southeast 1/4 of Section 19 and in the Northwest 1/4 and Northeast 1/4 of Section 30 all in Town 2 North, Range 22 East in the City of Kenosha, Kenosha County, Wisconsin.

OWNER'S CERTIFICATE

Next Partners I, LLC, a Wisconsin limited liability company, as owner, certify that I caused the land described on this map to be surveyed, divided, mapped and dedicated as represented on this map in accordance with the City of Kenosha ordinance regulating the platting of land and the Kenosha County ordinance regulating the platting of land, and Chapter 236.34 of the Wisconsin Statutes, I hereby declare the above restrictions to be a covenant running with the land, binding on all future owners thereof.

WITNESS the hand and seal of \_\_\_\_\_, this \_\_\_\_\_ day of \_\_\_\_\_, 2013.

STATE OF ILLINOIS)  
                                  :SS  
                                  COUNTY)

Personally came before me this \_\_\_ day of \_\_\_\_\_, 2013, the above named \_\_\_\_\_, trustee to me known as the person who executed the foregoing instrument and acknowledged the same.

\_\_\_\_\_  
Notary Public, State of \_\_\_\_\_  
My commission expires. \_\_\_\_\_  
My commission is permanent.

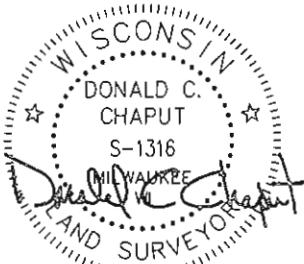
CONSENT OF CORPORATE MORTGAGEE

\_\_\_\_\_, a Wisconsin banking association, mortgagee of the above described land, does hereby consent to the surveying, dividing and mapping the land described on this map and does hereby consent to the above certificate of Next Partners I, LLC, a Wisconsin limited liability company.

By \_\_\_\_\_ Its  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_

STATE OF WISCONSIN)  
                                  :SS  
                                  \_\_\_\_\_ COUNTY)

Personally came before me this \_\_\_ day of \_\_\_\_\_, 2013, \_\_\_\_\_ of \_\_\_\_\_, to me known as the person who executed the foregoing instrument and acknowledged that he executed the foregoing instrument as such officer as the deed of said corporation, by its authority.



\_\_\_\_\_  
Notary Public  
State of Wisconsin  
My commission expires. \_\_\_\_\_  
My commission is permanent.



**SECTION 1  
CERTIFIED SURVEY MAP**

<b>Additional Information Required:</b>	<b>Number of Lots:</b> <del>5 via 2 separate CSMs</del> <u>4 LOTS</u> <b>Zoning District:</b> <u>Project is currently being rezoned from AG to Manufacturing</u> <b>Proposed Zoning Change, if any:</b> <u>See above</u>
<b>Submittal Requirements:</b>	<ul style="list-style-type: none"> <li>&gt; Ten (10) copies of Certified Survey Map (Applicant to keep original)</li> <li>&gt; Four (4) copies of Drainage Plan (when required)</li> <li>&gt; Signed Checklist below</li> </ul>
<b>Fees:</b>	<ul style="list-style-type: none"> <li>&gt; 2-Lot Certified Survey Map = \$750</li> <li>&gt; 3-Lot Certified Survey Map = \$800</li> <li>&gt; 4-Lot Certified Survey Map = \$850</li> <li>&gt; With a Developer's Agreement = \$1,500</li> <li>&gt; Re-submittals = \$400</li> </ul> <b>Miscellaneous fees</b> <ul style="list-style-type: none"> <li>&gt; All special assessments and taxes shall be paid prior to recording. The Department of Community Development and Inspections will record the map with the Kenosha County Register of Deeds and recording fees shall be paid at that time by the applicant.</li> </ul>
<b>Park Fees:</b>	<ul style="list-style-type: none"> <li>&gt; Five percent (5%) of the value of the property, but not less than \$1,415 per lot. Note that park fees are only collected for residentially-zoned property and are due at the time of acquiring building permits. The City may require dedication of the land in lieu of fee.</li> </ul>
<b>Appendices to Review:</b>	<ul style="list-style-type: none"> <li>&gt; D, E, F and G</li> </ul>
<b>Approximate Review Time:</b>	<ul style="list-style-type: none"> <li>&gt; 45 - 60 days (Reviewed by City Plan Commission, Public Works Committee and Common Council)</li> </ul>

The land division will be reviewed for compliance with Chapters 17 and 35 of the City Code of General Ordinances, City Zoning Ordinance, any neighborhood or master land use plans for the area, and Chapter 236 of the Wisconsin State Statutes.

The applicant shall be responsible for the costs of project engineering, design, construction, and inspection as follows (when applicable):

1. The applicant is responsible for installing all improvements and infrastructure, including but not limited to, utilities (water, sanitary and storm sewer), oversizing of utilities, sidewalks, streets, street lights and signs, retention/detention basins, street trees, etc.
2. The applicant is responsible for any off-site improvements for the development, including but not limited to, traffic signals and signs, median openings, and street improvements/widening.
3. Payment of inspection and engineering services performed by the City and Kenosha Water Utility for the project.
4. Applicant responsible for posting of all required assurance to cover required improvements.

**Checklist to be completed and signed:**

- Scale and north arrow
- Scale of plans less than or equal to 1" = 100'
- Date of original and revisions noted
- Certification from surveyor that Plat complies with Chapter 17
- Reproducible paper less than 36" in width
- Location of all existing structures and first floor elevations
- Location of utility and drainage easements
- Exact length and bearing of the centerline of all streets
- Exact street width along the line of any obliquely intersecting street
- Railway rights-of-way within and abutting the plat
- Location and size of all lands to be dedicated for public use (when required)
- Comprehensive drainage plan
- Special restrictions relating to access control, planting strips, restrictive yard requirements, etc. (when required)
- Major street setback or WisDOT setbacks (if applicable)
- Map shows entirety of all parcels in proposed certified survey map

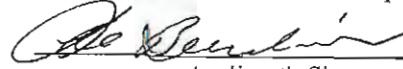
**Checklist to be completed and signed:**

- Floodplain limits of the 100 year recurrence interval flood
- Location of any wetlands, shoreland, or other environmental areas (if applicable)

**Plans to be submitted (when applicable)**

- Street plans and profiles
- Sanitary sewer plans and profiles
- Storm sewer plans
- Grading/drainage plans
- Water main plans and profiles
- Erosion control plans
- Landscape plans

I hereby certify that I have reviewed the City ordinances and provided ten (10) full-sized sets of all required information.



Applicant's Signature

Planning & Zoning Division 625 52nd Street - Room 308 Kenosha, WI 53140 262.653.4030	Kenosha City Plan Commission  <b>FACT SHEET</b>	September 19, 2013	Item 6
<b>Conditional Use Permit for a 10,498 s.f. multi-tenant building to be located at the northeast corner of Green Bay Road and Washington Road. (Kenosha Pointe) (District #5) PUBLIC HEARING</b>			

**LOCATION/SURROUNDINGS:**

Site: Northeast corner of Green Bay Road and Washington Road  
 Zoned: B-2 Community Business District / Air -4 Airport Overlay District

**NOTIFICATIONS/PROCEDURES:**

The alderman of the district, Alderman LaMacchia, has been notified. This item will also be reviewed by the Public Works Committee before final approval by the Common Council.

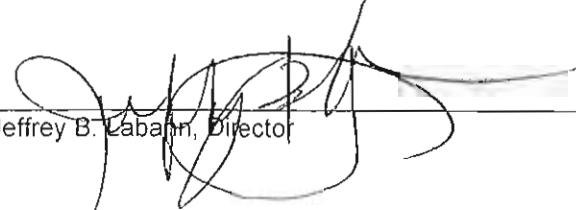
**ANALYSIS:**

- The applicant is proposing to construct a multi-tenant building at the Kenosha Pointe Shopping Center located at the northeast corner of Green Bay Road and Washington Road.
- The proposed building would be located directly north of the existing CVS Pharmacy and northwest of the existing McDonald's.
- The proposed exterior materials are brick, stone, block and EIFS. The red brick on the building will be required to match the brick that's been used on the CVS and McDonald's in the Unified Business Center. The stone has been added to the building at Staff's request to be compatible with the CVS and McDonald's buildings, which have used stone as well.
- The applicant has indicated that two (2) of the potential tenants are a Subway Restaurant with a drive-thru and a dentist's office.
- Plans were sent to City Departments for their review. Their comments are included in the attached Conditions of Approval.
- The plans generally comply with Sections 4 and 14 of the Zoning Ordinance.

**RECOMMENDATION:**

A recommendation is made to approve the Conditional Use Permit, subject to the attached Conditions of Approval

  
 Brian R. Wilke, Development Coordinator

  
 Jeffrey B. Labahn, Director

Planning & Zoning Division 625 52nd Street Kenosha, WI 53140 262.653.4030	<b><i>Kenosha City Plan          Commission          Conditions of Approval</i></b>	<b>Kenosha Pointe          NEC of Green Bay Road          and Washington Road</b>	September 19, 2013
--	---	---	--------------------

1. The following Conditions of Approval will run with the land and shall be included in a document recorded with the Kenosha County Register of Deeds:
  - a. The applicant shall obtain all required construction permits from the Department of Community Development & Inspections. This includes, but is not limited to Erosion Control, Building, Plumbing, Electrical and Occupancy permits.
  - b. The applicant shall obtain Sidewalk and Parking Lot permits from the Department of Public Works.
  - c. All signs shall comply with Chapter 15 of the Code of General Ordinances and the applicant shall obtain sign permits for all new signs. A separate submission and permits are required for all signs. Sign information provided under the Conditional Use Permit is for reference only and does not constitute sign permit approval. Since the site is part of a Unified Business Center, it is permitted only a monument sign.
  - d. The development shall be constructed per the approved plans on file with the Department of Community Development & Inspections, Room 308, 625 52nd Street, Kenosha, WI 53140. Any changes to the approved plans shall require an amendment to the Conditional Use Permit. All changes shall be submitted to the Department of Community Development & Inspections for review and approval.
  - e. Prior to the issuance of any Occupancy permits, all parking areas, drives and designated paved areas shall have the initial lift of asphalt installed. The building exterior shall be completed per the approved plans, the exterior lighting shall be installed and the Conditional Use Permit shall be recorded with the Kenosha County Register of Deeds. All improvements indicated on the plans, including landscaping, shall be installed prior to the issuance of a final Occupancy permit. The recording fees for the Conditional Use Permit shall be submitted by the applicant.
  - f. Compliance with City and State and/or Federal Codes and Ordinances and any Conditions noted in the recorded Developers Agreement. The buildings shall comply with the current Code standards in effect upon application for a building permit.
  - g. All roof top mechanicals shall be properly screened per Section 14.07 B.10 of the Zoning Ordinance.
  - h. All trash containers shall be stored within the enclosure or building. The applicant/owner shall be responsible for waste collection and removal for the development. The City of Kenosha shall not provide waste collection or removal services or incur any cost in this regard.

Planning & Zoning Division 625 52nd Street Kenosha, WI 53140 262.653.4030	<i><b>Kenosha City Plan          Commission          Conditions of Approval</b></i>	Kenosha Pointe NEC of Green Bay Road and Washington Road	September 19, 2013
--	---	--	--------------------

- i. The applicant shall meet all applicable Conditions of Approval and obtain a Building Permit within six (6) months of Common Council approval of the Conditional Use Permit or the Conditional Use Permit shall be null and void.
  - j. Outdoor display of products is prohibited.
  - k. All vehicles shall be parked within the designated paved areas.
  - l. All improvements, including landscaping, shall be maintained per the approved plans. Any damaged fencing, landscaping or building shall be replaced or reconstructed per the approved plans.
  - m. Cross access shall be provided to adjacent parcels if required at a future date by the City.
  - n. Compliance with the Operational Plan dated August 6, 2013.
2. The following conditions of approval shall be satisfied with City Staff prior to the issuance of any construction permits.
- a. The Drainage Plan shall be revised and resubmitted for review and approval addressing comments listed in the Public Works memo dated August 23, 2013.
  - b. The Utility Plan shall be revised and resubmitted for review and approval addressing the comments listed in the Kenosha Water Utility Memo dated August 19, 2013.
  - c. Detail on a gated wood or masonry trash enclosure shall be submitted for review and approval. The exterior material shall be wood, or a masonry material to match the building.
  - d. Based on codes, any building over 3,500 s.f. must be sprinklered. In addition, the tenant spaces will all need to be either separated by fire walls or the entire building will need to be sprinklered. Contact the Fire Prevention Bureau for further details.
  - e. The drive-thru lane on the north end of the building does not meet the seventy-five (75') foot stacking distance requirement of the Zoning Ordinance. The stacking distance shall not interfere with other on-site traffic movements. It appears that this area will need a significant redesign to meet the minimum requirements.
  - f. Sidewalks are required along the Green Bay Road frontage. The sidewalk shall connect to the existing sidewalk, which terminates to the southeast of the CVS Pharmacy.

Planning & Zoning Division  
625 52nd Street  
Kenosha, WI 53140  
262.653.4030

***Kenosha City Plan  
Commission  
Conditions of Approval***

**Kenosha Pointe**  
NEC of Green Bay Road  
and Washington Road  
September 19, 2013

- g. The site shall include defined pedestrian connectors to the public sidewalk along Green Bay Road and the private sidewalk along the east edge of the property. Include a paved walkway and crosswalk striping where ever the walk crosses a drive aisle.
- h. The building elevations shall comply with the design standards of Section 14 of the Zoning Ordinance. Specifically, the east elevation shall have a minimum of sixty (60%) of the facade containing windows, awnings or other articulation.
- i. The Site Plan refers to a masonry wall along the west edge of the parking lot with details provided in the Architectural Plans. The details were not provided. Please provide the details of the masonry wall.
- j. Provide a new materials board indicating that the brick colors will be compatible with the other existing buildings in the Unified Business Center.
- k. A minimum of one (1) paved cross access drive shall be paved to the lot to the north with a minimum of twenty-four (24') foot wide pavement.

/u2/accl/cp/ckays/1CPC/2013/SEP19/6conditions-kenoshapointe.odt



ENGINEERING DIVISION  
 SHELLY BILLINGSLEY, P.E.  
 CITY ENGINEER

PARK DIVISION  
 JEFF WARNOCK  
 SUPERINTENDENT

FLEET MAINTENANCE  
 MAURO LENCI  
 SUPERINTENDENT

STREET DIVISION  
 JOHN H. PRIJIC  
 SUPERINTENDENT

WASTE DIVISION  
 ROCKY BEDNAR,  
 SUPERINTENDENT

**DEPARTMENT OF PUBLIC WORKS**

MICHAEL M. LEMENS, P.E., DIRECTOR  
 SHELLY BILLINGSLEY, P.E., DEPUTY DIRECTOR

MUNICIPAL BUILDING · 625 - 52ND ST · RM 305 · KENOSHA, WI 53140  
 TELEPHONE (262) 653-4050 · FAX (262) 653-4056  
 EMAIL PUBLICWORKS@KENOSHA.ORG

TO: Brian Wilke, Development Coordinator

FROM: Michael M. Lemens, P.E.  
 Director of Public Works

Shelly Billingsley, P.E.  
 City Engineer

*[Handwritten signatures and initials]*  
 8-29-13

DATE: August 23, 2013  
 SUBJECT: PLAN REVIEW COMMENTS  
 Project Description: Kenosha Pointe Multi-Tenant Development  
 Location: Northeast corner of Green Bay Road and Washington Road

Our staff has reviewed the plans for this project. The following comments are provided:

Parking Lot Ordinance Compliance	Sufficient	Deficient	Not Applicable
Parking Lot Paved	X		
Standard Stall Width	X		
Parking Lot Layout	X		
Parking Lot Lighting Shown	X		
Parking Lot Lighting Adequate	X		
Handicapped Parking	X		
Driveway Locations	X		
Driveway Width	X		
Passing Blister or Accel/Decel Lanes			X
Sidewalks Adequate	X		
Drive Thru Lane Design	X		

Public Streets	Sufficient	Deficient	Not Applicable
Geometric Design			X
Pavement Width			X
Pavement Thickness Design			X
Established Grades			X
Plan Details			X
Sidewalks			X
Street Lights			X

Site Grading/Drainage	Sufficient	Deficient	Not Applicable
Drainage Plan		X	
Storm Sewer		X	
Storm Water Detention			X
Drainage Calculations			X

Project Approval/Permits Needed	Yes	No	Not Applicable
Project Approved for Permitting		X	
Withhold Permits: See Comments	X		
Approve Footing/ Foundation Only (per condition)			X
Parking Lot Permit Required	X		
Driveway Permits Required	X		
Sidewalk Permit Required	X		
Street Opening Permit Required	X		
Stormwater Permit Required	X		
Erosion Control Required	X		
State Permit Required	X		

**Grading & Drainage Comments:**

1. Note that the erosion control review is separate from the CUP review and the erosion control plan will be reviewed when the erosion control permit is applied for.
2. Provide storm sewer sizing calculations.
3. The approved stormwater management plan that covers the site includes an existing detention pond located south of 34<sup>th</sup> Street. This plan assumes that **all** runoff from the 100 year storm will be captured by the pond. The proposed grading plan shows that the overland flow path for runoff in excess of the storm sewer capacity for the majority of the site is to an inlet in the Green Bay Road right-of-way. The storm sewer that drains this inlet bypasses the existing detention pond. Provide calculations showing how much flow is lost to the Green Bay Road inlet and is not

captured by the pond. It may be required that the design of the site be altered so that the overland flow drains to 57<sup>th</sup> Avenue (as much of it does in the pre-construction state) or some detention may be required to ensure that runoff is routed to the pond.

4. Provide construction details.

**Traffic Comments:**

1. Obtain an address for the site.

cc: Jeff Hansen  
Clement Abongwa  
Kile Kuhlmeier  
Gerard Koehler

**Engineering Services**

4401 Green Bay Road  
Kenosha WI 53144

Phone (262) 653-4315  
Fax (262) 653-4303



*"Providing and Protecting Kenosha's Greatest Natural Resource"*

MEMO

To: Brian Wilke, Development Coordinator

From: Ian C. Bagley, P.E., Water Engineer

Date: August 19, 2013

Subject: Kenosha Pointe Multi-Tenant Development

Location: Northeast corner of Green Bay Road and Washington Road

The Kenosha Water Utility (KWU) has reviewed the submittal for the above referenced project. Further information from the Developer is required before the Utility can complete this review. Please withhold all permits until the following information is submitted.

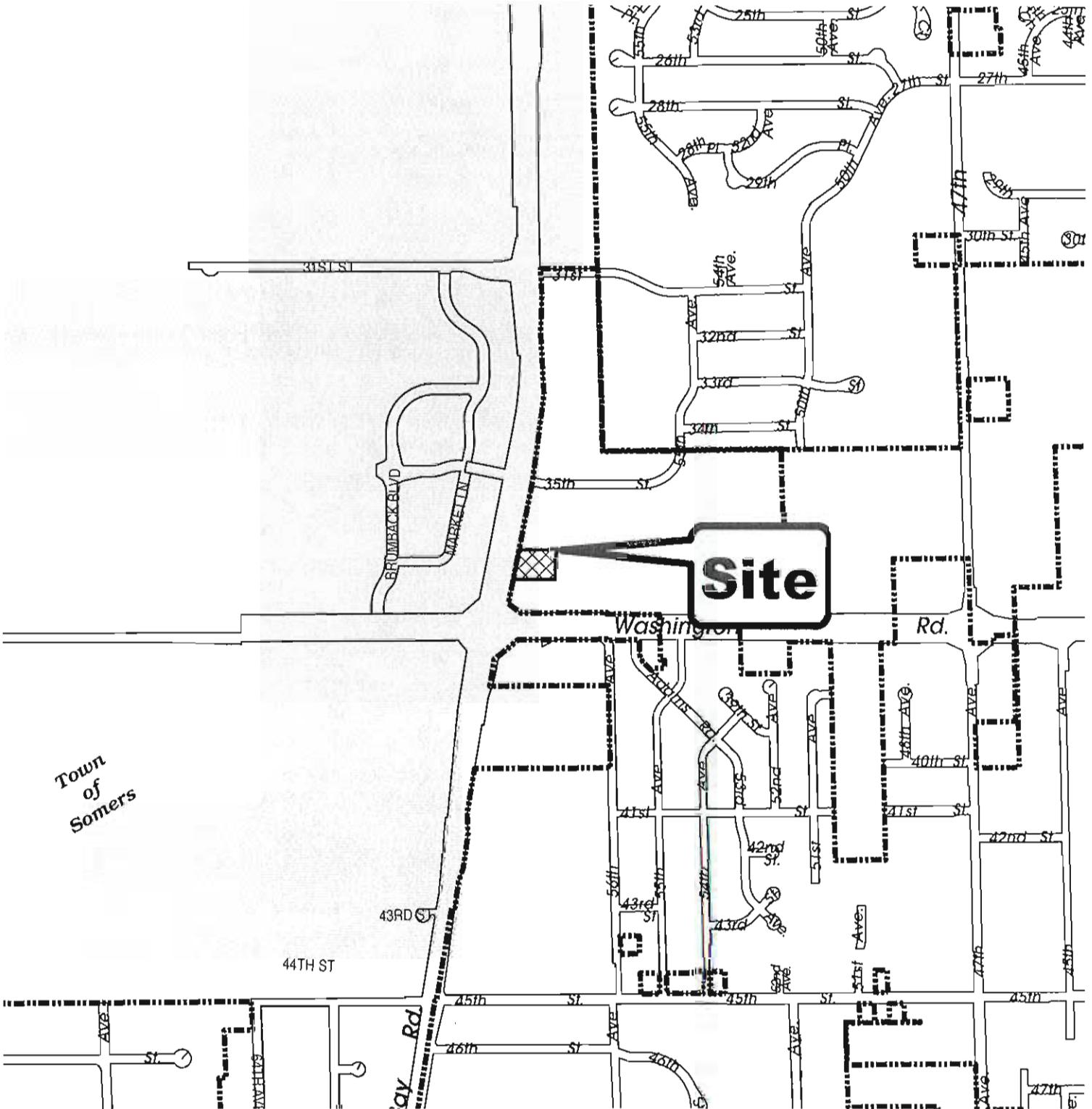
1. The monument sign along STH 31 is shown partially within the KWU easement. No signs shall be placed within KWU easements and this sign shall be shown completely outside of the 20' easement.
2. Show the water meter size and location, including a detail or diagram. The water meter shall have unobstructed access, twelve inches (12") from the inside wall, twelve to twenty-four inches (12"-24") above the floor. The meter shall have a gate valve on the inlet and outlet pipe.
3. All water meters one and one half inches (1-1/2") or greater shall have a bypass with a two way ball valve with locking handle as manufactured by RuB, or approved equal
4. A 3C18 gauge cable by Belden-M, or approved equal, shall be installed in a one half inch (1/2") conduit through the exterior wall for the remote meter reader. Remote reader to be field located by KWU meter division.
5. Include the following note on the Utility Plan
  - a. All applications and fees for sanitary sewer and water must be completed and paid prior to connection to sewer/water systems.
6. Water services larger than two inches (2") shall be flushed and bacteria tested in accordance with KWU Chapter XXXII Rules & Regulations, Rule 06-34.
7. Label invert elevations on all water service stubs and fittings and provide pipe slopes for water service lines.
8. Please note that each tenant will be required to pay a sanitary sewer connection fee based on the water meter size. Since no meter information was shown on the plans KWU is unable to provide the fee amount.

9. Install a sanitary sewer manhole at the connection point of the existing lateral. This manhole shall serve as the sampling manhole for the development and the developer shall provide KWU with written authorization to access the structure
10. Label invert elevations on all sanitary sewer service stubs.
11. "Internal / External" manhole seals as manufactured by Adaptor, Inc. shall be provided for each private sanitary sewer manhole installed. A detail for the seal can be found at <http://www.adaptorinc.com/pdf/inexspec.pdf>.
12. The KWU water main and sanitary sewer detail sheets shall be included on a separate sheet and shall not be placed within the designer's title block or include utility plan notes specific to this project. These detail sheets can be found on the KWU website (<http://www.kenoshawater.org/engineering.html>).

CC: Mr. Robert Carlson, P.E., Director of Engineering Services

# City of Kenosha

## Vicinity Map Kenosha Pointe Multi-Tenant Development CUP



Town  
of  
Somers

----- Municipal Boundary



0 200 400 600 800 1,000 Feet

August 6, 2013



P: 920|926|9800 • F: 920|926|9801  
100 Camelot Drive • Fond du Lac, WI 54935  
www.excelengineer.com

## PROJECT NARRATIVE (OPERATIONAL PLAN) Kenosha Retail Development

A retail development is being proposed between 57<sup>th</sup> Avenue and Green Bay Road. This site is located north of the CVS Pharmacy along Washington Road. The parcel number is 08-222-27-101-011. The owner of the property is Gendell Partners Kenosha, LLC. Dan Wander, the applicant for the project, is the representative of the ownership group. Scott Gendell is the Manager. His contact information is found below:

Scott Gendell  
Phone: 847-906-5019  
Address: 3201 Old Glenview, Suite 300, Wilmette, IL 60091

The proposed retail development will include 6 tenant spaces totaling 10,498 s.f. of building area. The existing site is vacant. One of the tenants will also have a drive-thru window which is located at the north end of the building. Adequate parking for the proposed development is provided west of the building with several landscape islands. Along the east side of the building is an area for service trucks. A new drive approach off of 57<sup>th</sup> Avenue is proposed. Three other entrances to the site are located off a shared drive with CVS Pharmacy. A dumpster enclosure is located along the north edge of pavement near the proposed drive off of 57<sup>th</sup> Ave. Stormwater is being conveyed to a regional pond where all stormwater management requirements will be met for stormwater quantity and quality. On-site infiltration exemption is currently being verified.

Construction schedule: Construction is expected late September 2013. Earthwork and site construction to commence followed by footing and foundation construction for the building. Site and paving to be complete before the end of November 2013 with building shell and tenant delivery by February 2014. The expected hours of operation will be Sunday-Saturday 7am-10pm. Anticipated number of occupants and employees are as follows: restaurant (50 occupants and 5 employees), dental (25 occupants, 13 employees), remainder (1 occupant per 250 S.F).

- Capital cost summary
  - Buildings \$1,080,000 - Shell is \$764,000, interior LL white box finishes of \$316,000
  - Site \$240,000
  - Landscaping \$20,000 allowance included in site
  - Special features Standard

**Development Review Application  
City of Kenosha, Wisconsin**

**MAILING INFORMATION**

**NAME OF PROJECT:** RETAIL DEVELOPMENT

*Check one (1) of the following boxes to indicate the recipient of all correspondence:*

Name and Address of Applicant (Please print):  
DAN WAJANDER (GENDELL PARTNERS KENOSHA, LLC) Phone: 847-906-5019  
3201 OLD GLENVIEW, SUITE 300 Fax: 847-679-6695  
WILMETTE, IL 60091 E-Mail: dwaender@terrace  
realestate.com

Name and Address of Architect/Engineer (Please print):  
EXCEL ENGINEERING, INC. (JASON DAVE) Phone: 920-322-1687  
100 CAMELOT DRIVE Fax: 920-926-9801  
FOND DU LAC, WI 54935 E-Mail: jason.d@excelengineer.com

Name and Address of Property Owner (if other than applicant)(Please print):  
SAME AS APPLICANT Phone: \_\_\_\_\_  
 \_\_\_\_\_ Fax: \_\_\_\_\_  
 \_\_\_\_\_ E-Mail: \_\_\_\_\_

**PROJECT LOCATION**

Location of Development (street address and / or parcel number): 57TH AVENUE

**TYPE OF LAND DEVELOPMENT**

Check all that apply. Note: Additional information may be required within individual Sections.

<input checked="" type="checkbox"/> Certified Survey Map	Section 1	Page 3
<input type="checkbox"/> Concept Review (Land Division)	Section 2	Page 4
<input type="checkbox"/> Concept Review (Multi-Family Residential or Non-Residential)	Section 3	Page 5
<input checked="" type="checkbox"/> Conditional Use Permit	Section 4	Pages 6 & 7
<input type="checkbox"/> Developer's Agreement	Section 5	Page 8
<input type="checkbox"/> Final Plat	Section 6	Pages 9 & 10
<input type="checkbox"/> Lot Line Adjustment Survey	Section 7	Page 11
<input type="checkbox"/> Preliminary Plat	Section 8	Pages 12 & 13
<input type="checkbox"/> Rezoning	Section 9	Pages 14 & 15
<input checked="" type="checkbox"/> Site Plan Review	Section 10	Pages 16 & 17

**PRIOR TO SUBMITTING THIS APPLICATION TO THE DEPARTMENT OF CITY DEVELOPMENT,  
PLEASE REVIEW THE APPROPRIATE SECTION(S) FOR FEES, REQUIREMENTS AND APPROPRIATE APPENDICES.**

*Submit this cover page, completed application, applicable section(s) and appendices  
along with ALL required plans, information and fees to:*

Department of Community Development & Inspections  
 Planning Division  
 625 52nd Street, Room 308  
 Kenosha, WI 53140

Phone: 262.653.4030  
 Fax: 262.653.4045

Office Hours:  
 M-F 8:00 am - 4:30 pm

**SECTION 4  
CONDITIONAL USE PERMIT**

<b>Additional Information Required:</b>	Building or Addition Square Footage: <u>10,498 S.F.</u>
	Existing Building Size: <u>0</u>
	Site Size: <u>60,992 S.F. (1.40 ACRES)</u>
	Current # of Employees <u>0</u> Anticipated # of New Employees <u>25</u>
	Anticipated Value of Improvements _____

<b>Submittal Requirements:</b>	<ul style="list-style-type: none"> <li>&gt; Ten (10) full size scaled copies of Specified Plans indicated below drawn at a standard engineering scale</li> <li>&gt; Developer Site Plan/Conditional Use Permit Checklist (Appendix A)</li> </ul>
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<b>If Item to be Reviewed by Plan Commission/Common Council must Submit:</b>	<ul style="list-style-type: none"> <li>&gt; One (1) 8 1/2" x 11" reduction or forty (40) 11" x 17" reductions of the Site/Landscape Plan, Floor Plan and Colored Building Elevations (all sides)</li> <li>&gt; Sample Board containing colored samples of all exterior building materials</li> </ul>
--	--

Fees:		Building or Addition Size	Site size	Review Fee
		Level 1	<= 10,000 sq. ft.	<= 1 acre
Level 2	10,001 - 50,000 sq. ft.	1.01 - 10 acres	\$1,175 = City Plan Dept. <i>or</i> \$1,300 = CPC/CC	
Level 3	50,001 - 100,000 sq. ft.	10.01 - 25 acres	\$1,600 = City Plan Dept. <i>or</i> \$1,725 = CPC/CC	
Level 4	> 100,001 sq. ft.	> 25.01 acres	\$2,000 = City Plan Dept. <i>or</i> \$2,125 = CPC/CC	

> If building size or addition and gross acreage of the site determine two (2) different fees, the greater of the two fees will be assessed.  
 > Application fee entitles applicant to an initial review and one re-submittal.  
 > Re-submittal fee = \$425 per re-submittal after two (2) permitted reviews.  
 > CUP Amendment = 50% of the applicable fee as determined above.

<b>Appendices to Review:</b>	> All
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<b>Approximate Review Time:</b>	<ul style="list-style-type: none"> <li>&gt; 30 days for Staff Review</li> <li>&gt; 45-60 days for City Plan Commission/Common Council Review</li> </ul>
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The conditional use permit plans, prepared to a standard engineering scale, shall be submitted with this application & shall include the following information:

<b>Building Plan:</b>	<ul style="list-style-type: none"> <li>&gt; Layout of building(s) including size and layout of rooms</li> <li>&gt; Design and architecture</li> <li>&gt; Plans and details on fire suppression and/or standpipe</li> <li>&gt; Plans and details on fire detection, fire alarm and other safety devices</li> </ul>
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<b>Site Plan</b> (based on a plat of survey)	<ul style="list-style-type: none"> <li>&gt; Legal description of property</li> <li>&gt; Location and footprint of building(s) and structure(s)</li> <li>&gt; Locations of existing and proposed streets, drives, alleys, easements, rights-of-way, parking as required, vehicular and pedestrian access points, and sidewalks</li> <li>&gt; Outline of any development stages</li> <li>&gt; Location and details on any required emergency access roads</li> <li>&gt; A calculation of square footage devoted to building, paving and sidewalks, and landscaped/open space</li> </ul>
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<b>Drainage Plan</b>	<ul style="list-style-type: none"> <li>&gt; Existing topography, including spot elevations of existing buildings, structures, high points, and wet areas, with any previous flood elevations</li> <li>&gt; Floodplain boundaries, if applicable</li> <li>&gt; Soil characteristics, where applicable</li> <li>&gt; Proposed topography of the site denoting elevations and natural drainage after construction and any proposed stormwater retention areas</li> </ul>
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10000 W. WASHINGTON AVENUE  
 SUITE 100  
 GREEN BAY, WI 53002  
 TEL: 920.433.1100  
 FAX: 920.433.1101  
 WWW.EXCEL-ENG.COM



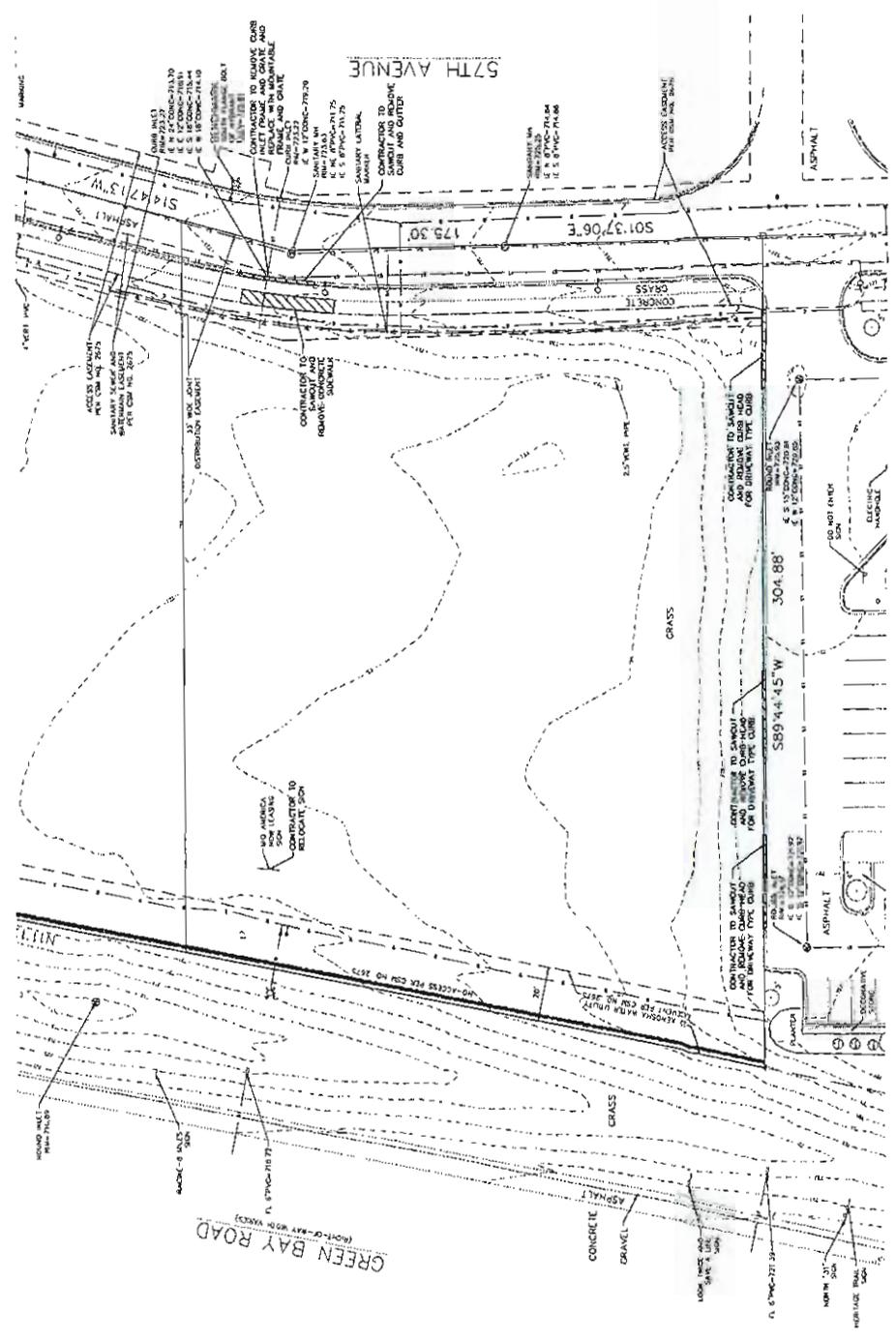
10000 W. WASHINGTON AVENUE  
 SUITE 100  
 GREEN BAY, WI 53002  
 TEL: 920.433.1100  
 FAX: 920.433.1101  
 WWW.INNOVATIVECONSTRUCTION.COM

OWNER:  
 GENDRELL PARTNERS  
 KENOSHA, LLC  
 2201 OLD GLENVIEW, SUITE 300  
 WILMETTE, IL 60091

PROJECT:  
 PROPOSED RETAIL DEVELOPMENT  
 GREEN BAY ROAD & WASHINGTON ROAD  
 KENOSHA, WI

PRELIMINARY SHEET DATES:  
 AUGUST 2, 2010

JOB NUMBER:	1300100
SHEET	C1.1

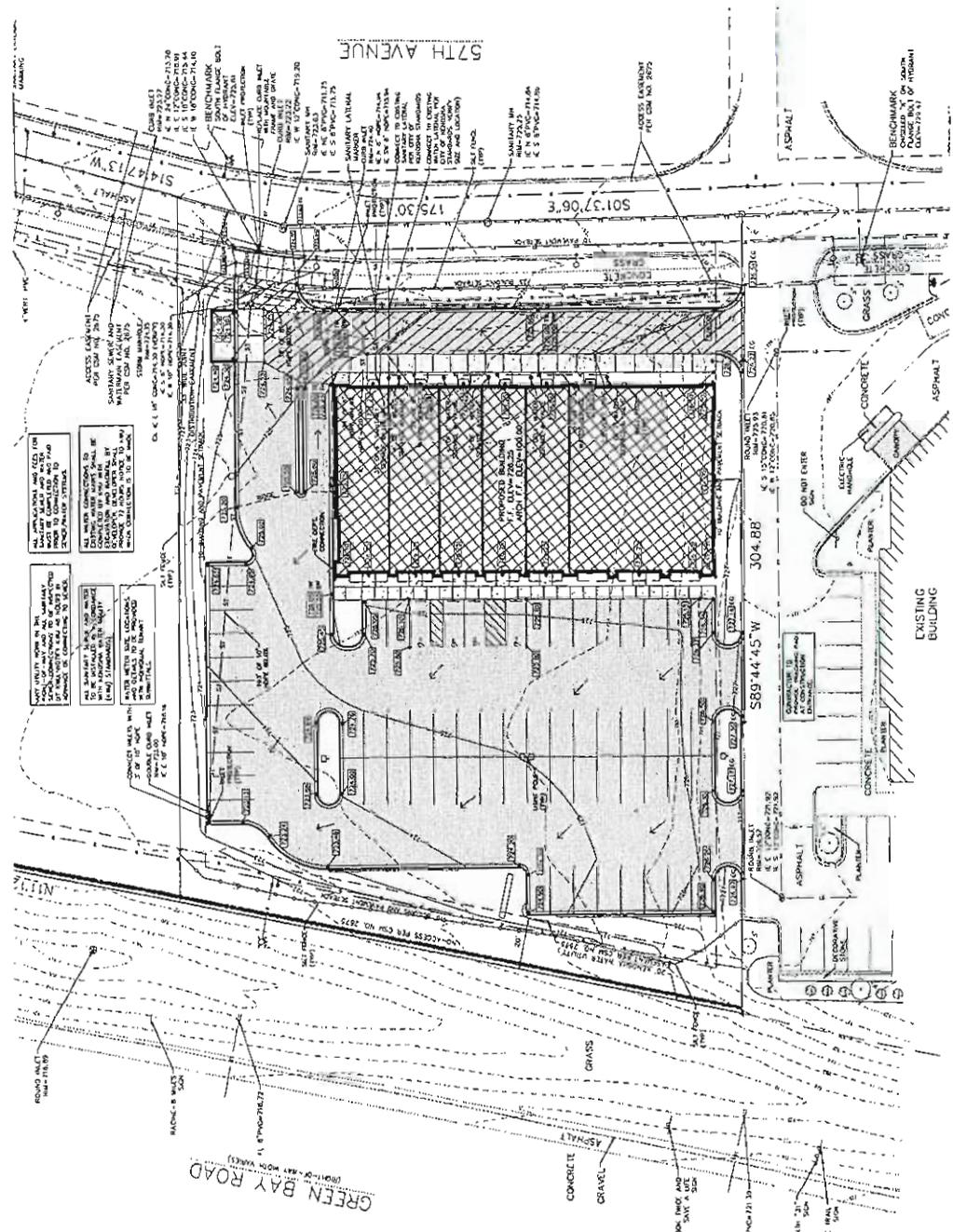


NOTE:  
 EXISTING UTILITIES SHOWN ARE INDICATED IN ACCORDANCE WITH AVAILABLE RECORDS AND FIELD SURVEY. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND ELEVATIONS OF ALL UTILITIES INCLUDING SANITARY, WATER, GAS, AND ELECTRIC UTILITIES. ALL UTILITY OWNERS SHALL BE NOTIFIED BY THE CONTRACTOR 72 HOURS PRIOR TO EXCAVATION.

EXISTING SITE AND DEMOLITION PLAN  
 NORTH  
 SCALE: 1"=20'-0"  
 1"=20' SCALE

PRELIMINARY DRAWING - NOT FOR CONSTRUCTION

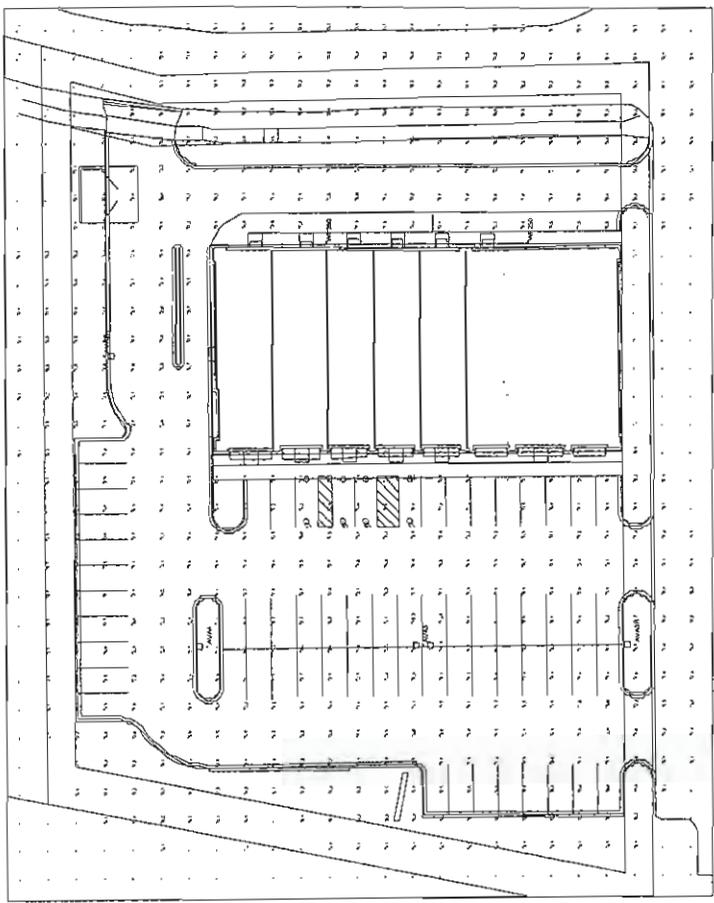




**GRADING, UTILITIES, AND EROSION CONTROL PLAN**  
 NORTH  
 SCALE: 1" = 20'-0"  
 1" = 20'  
 1" = 20'

**PRELIMINARY DRAWING - NOT FOR CONSTRUCTION**





**STATINGS**

Item	Quantity	Unit	Notes
1. 1/2" x 3/4" x 12' Slat	1000	LF	
2. 1/2" x 3/4" x 12' Slat	1000	LF	
3. 1/2" x 3/4" x 12' Slat	1000	LF	

**LUMINAIRE SCHEDULE**

Item	Quantity	Unit	Notes
1. 1/2" x 3/4" x 12' Slat	1000	LF	
2. 1/2" x 3/4" x 12' Slat	1000	LF	
3. 1/2" x 3/4" x 12' Slat	1000	LF	



**PHOTOMETRIC PLAN**  
 SCALE 1"=20'-0"  
 NORTH  
 SCALE 1"=20'-0"  
**PRELIMINARY DRAWING - NOT FOR CONSTRUCTION**

**TYPE: WP250**

**COOPER LIGHTING - LUMARK**

**DESCRIPTION:**  
 This luminaire is a recessed, rectangular, surface-mounted fixture. It is designed for use in commercial and residential applications. The fixture is available in various sizes and finishes. It is compatible with a variety of light sources, including incandescent, CFL, and LED.

**INSTALLATION:**  
 The luminaire is installed by cutting a hole in the ceiling or wall to match the fixture size. The fixture is then secured to the surface with the provided mounting hardware. The light source is inserted into the fixture and secured with the provided cover cap.

**TYPE: AVA3, AVA3H, AVA4**

**Emco**

**DESCRIPTION:**  
 This luminaire is a recessed, rectangular, surface-mounted fixture. It is designed for use in commercial and residential applications. The fixture is available in various sizes and finishes. It is compatible with a variety of light sources, including incandescent, CFL, and LED.

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**TYPE: AVA3, AVA3H, AVA4**

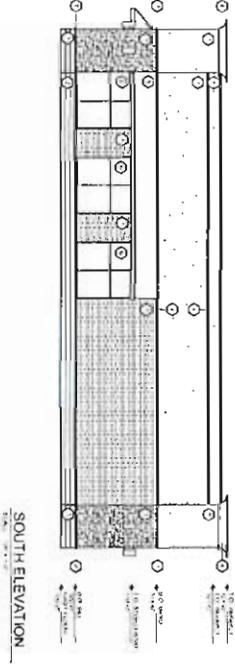
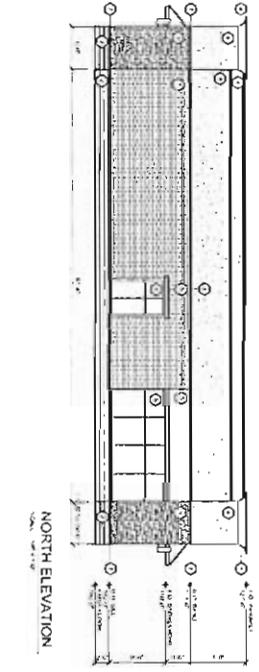
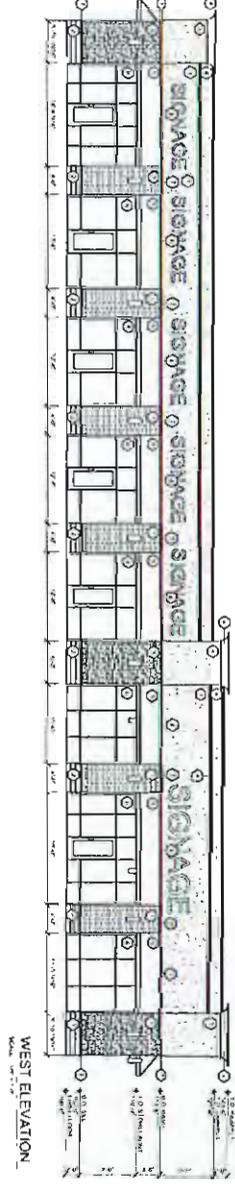
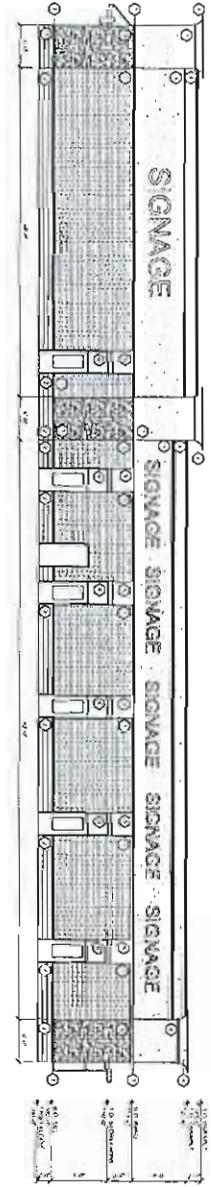
**Emco**

**DESCRIPTION:**  
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**INSTALLATION:**  
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**EXTERIOR FINISH KEY**

1	CONCRETE
2	BRICK
3	GLAZED ALUMINUM CURTAIN WALL
4	GLAZED ALUMINUM WINDOW
5	GLAZED ALUMINUM DOOR
6	GLAZED ALUMINUM ENTRY
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PRELIMINARY DRAWING - NOT FOR CONSTRUCTION

2613 EXCEL ENGINEERING INC  
 201 NUMBER  
 1300 USD  
 SHEET  
 A2.0

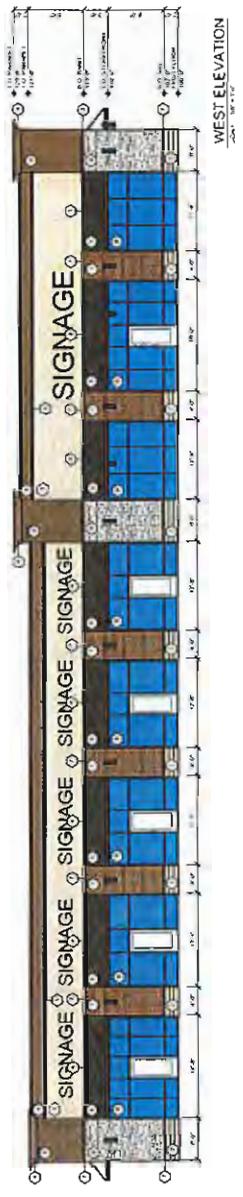
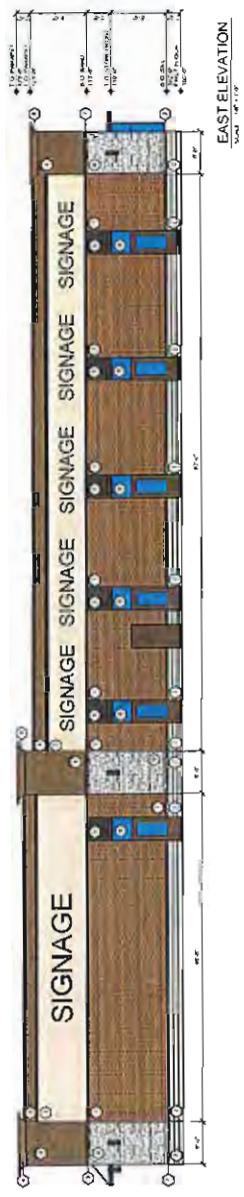
PRELIMINARY  
 SHEET DATES:  
 AUGUST 19 2013  
 AUGUST 22 2013  
 AUGUST 26 2013

**PROJECT:**  
 PROPOSED RETAIL DEVELOPMENT  
 GREEN BAY ROAD & WASHINGTON ROAD  
 KENOSHA, WI

**OWNER:**  
 GENDELL PARTNERS  
 KENOSGA, LLC  
 3201 OLD GLENVIEW, SUITE 300  
 WILMETTE, IL 60091

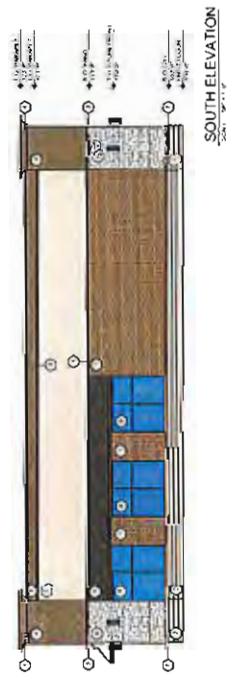
**Excel Engineering, Inc.**  
 2613 EXCEL ENGINEERING INC  
 201 NUMBER  
 1300 USD  
 SHEET  
 A2.0

**Innovative Construction Solutions, Inc.**



**EXTERIOR FINISH KEY**  
SCALE: 1/8" = 1'-0"

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**innovative**  
Construction  
Solutions, Inc.

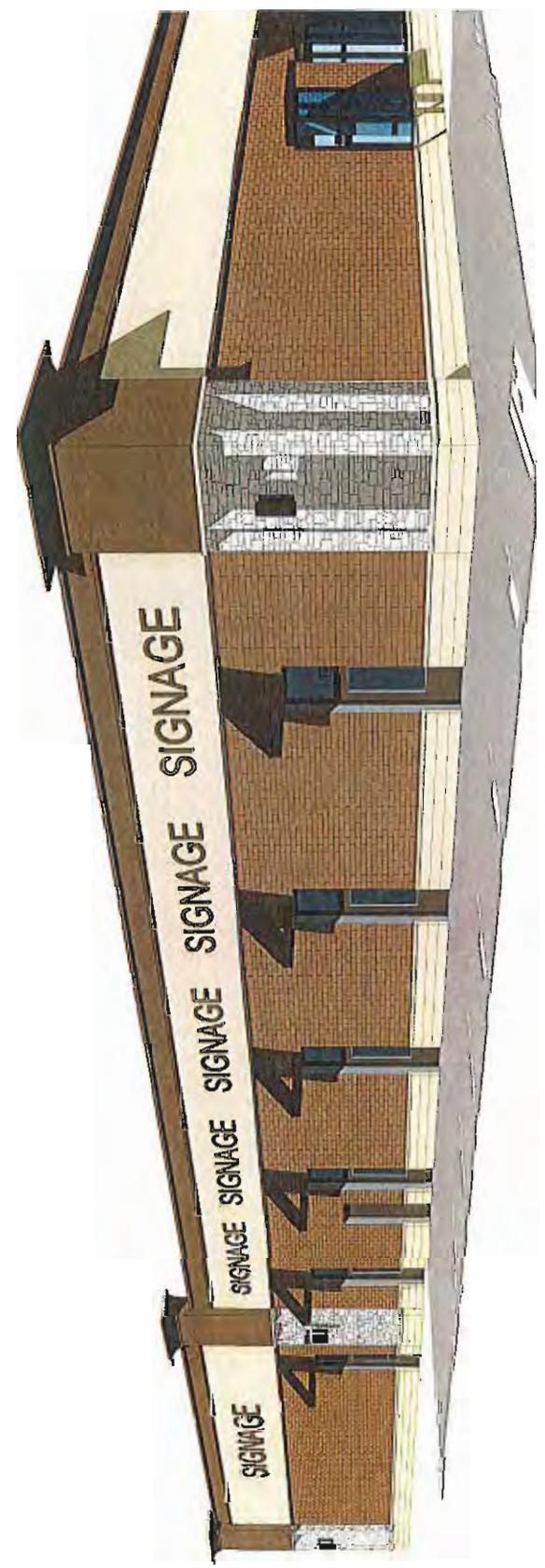
OWNER:  
GENOCELL PARTNERS  
KENOSGA LLC  
3201 OLD GLENVIEW, SUITE 300  
WILMETTE, IL 60091

PROJECT:  
PROPOSED RETAIL DEVELOPMENT  
KENOSHA WI  
GREEN BAY ROAD & WASHINGTON ROAD

PRELIMINARY  
SHEET DATES:  
AUGUST 29, 2013  
AUGUST 28, 2013

JOB NUMBER	1300100
SHEET	

A2.2



PRELIMINARY DRAWING - NOT FOR CONSTRUCTION

Planning & Zoning Division 625 52nd Street - Room 308 Kenosha, WI 53140 262.653.4030	Kenosha City Plan Commission  <b>FACT SHEET</b>	September 19, 2013	Item 7
<b>By the Mayor - To approve a Two-Lot Certified Survey Map for property at the northeast corner of Green Bay Road and Washington Road. (Kenosha Pointe) (District #16) PUBLIC HEARING</b>			

**LOCATION/SURROUNDINGS:**

Site: Northeast corner of Green Bay Road and Washington Road  
 Zoned: B-2 Community Business District / Air-4 Airport Overlay District

**NOTIFICATIONS/PROCEDURES:**

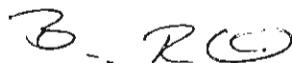
The alderman of the district, Alderman LaMacchia, has been notified. This item will also be reviewed by the Public Works Committee before final approval by the Common Council.

**ANALYSIS:**

- The applicant has submitted a Two-Lot Certified Survey Map in conjunction with the submittal of a Conditional Use Permit for a multi-tenant building, which is also included on this agenda.
- The Lots are described as follows:
  - Lot 1 would be the proposed commercial building.
  - Lot 2 would remain vacant for now, but would be a future commercial building.
- The plans were sent to City Departments for their review. Their comments are included in the attached Resolution.
- The plans generally comply with Chapter 17 of the Code of General Ordinances.

**RECOMMENDATION:**

A recommendation is made to approve the Certified Survey Map, subject to the attached Resolution.

  
 Brian R. Wilke, Development Coordinator

  
 Jeffrey B. Labahn, Director

RESOLUTION NO: \_\_\_\_ - 13

BY: THE MAYOR

**TO APPROVE A TWO-LOT CERTIFIED SURVEY MAP**  
**Property at the Northeast corner of Green Bay Road and Washington Road (Kenosha Pointe)**

**BE IT RESOLVED** by the Common Council of the City of Kenosha, Wisconsin, that a Certified Survey Map relating to one parcel at the Northeast corner of Green Bay Road and Washington Road is herein and hereby approved subject to the following conditions:

1. Compliance with all applicable State and City codes and ordinances.
2. Payment of all applicable fees, including recording fees.
3. Payment of all taxes, special assessments and stormwater utility fees prior to recording. The Owner shall provide the City Clerk-Treasurer, a certificate from the County Treasurer, stating that there are no past-due real estate taxes or special assessments on the parcel of real estate which is being divided.
4. The Certified Survey Map shall be null and void if not recorded within six (6) months of approval by the Common Council.
5. A digital copy of the Certified Survey Map shall be provided to the City prior to recording.
6. South lot line is shown as 304.88 feet; CSM 2675 labels this line as 309.88 feet. Please clarify.
7. Curve along 35th Street is labeled to have a chord length of 83.47 feet, whereas the original CSM indicates a length of 83.48 feet. This same curve is labeled as having a chord bearing of S84°25'37"E, whereas CSM 2675 indicates a chord bearing S84°25'56"E. The curve length is labeled as 83.61 feet, whereas CSM 2675 indicates an arc length of 83.62 feet. If this is the same curve from the original CSM, why are these not identical?
8. Please note on Page 2 of 3 that the Ordinances conformed to are those of the City of **Kenosha**.
9. Compliance with all the preceding conditions as a prerequisite for authorizing Mayor and City Clerk-Treasurer to sign the Certified Survey Map.

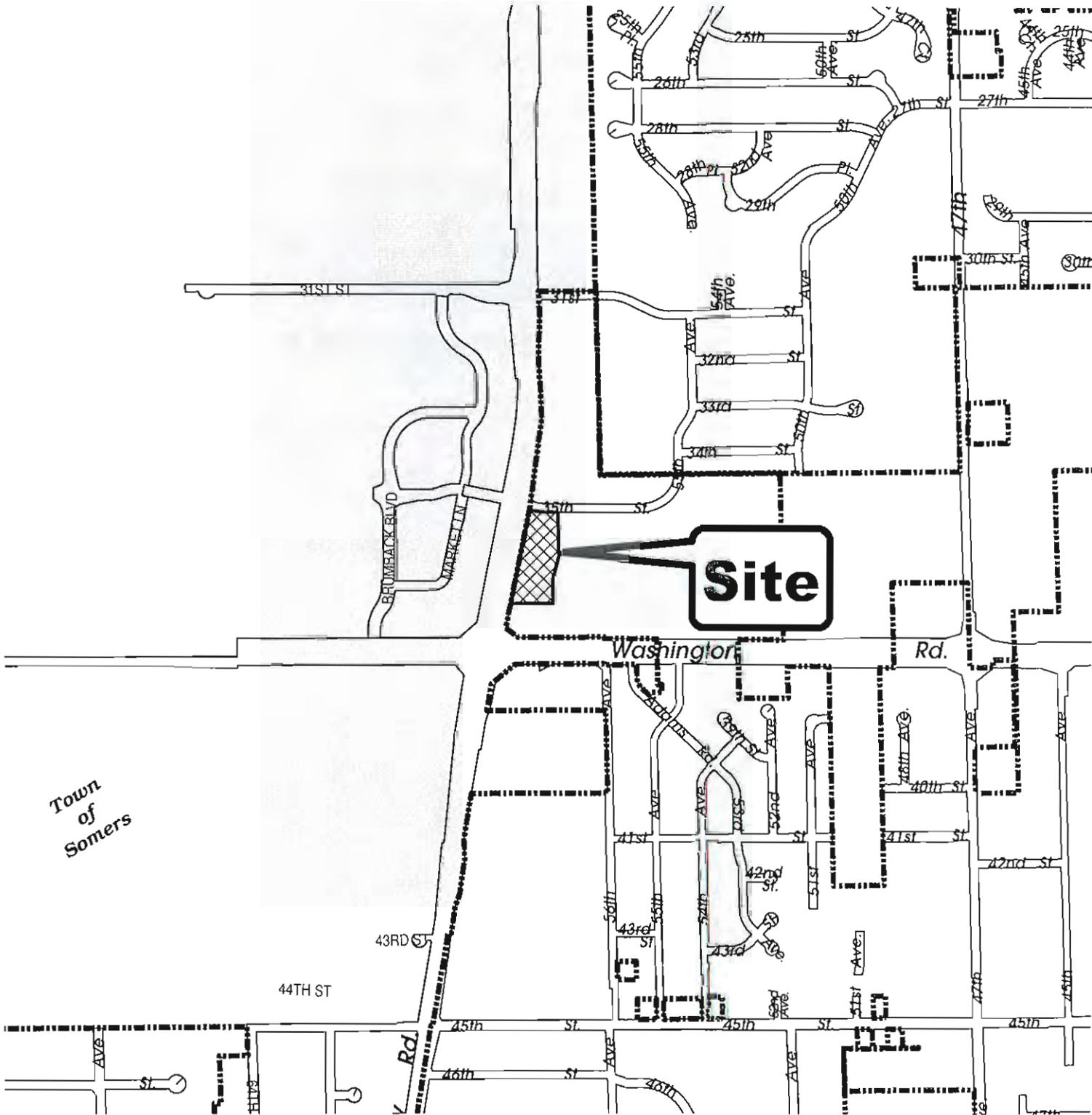
Adopted this \_\_\_\_ day of \_\_\_\_\_, 2013

ATTEST: \_\_\_\_\_  
Debra L. Salas, City Clerk-Treasurer

APPROVE: \_\_\_\_\_  
Keith G. Bosman, Mayor

# City of Kenosha

## Vicinity Map Kenosha Pointe Multi-Tenant Development CSM



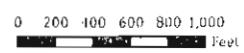
Town of Somers

**Site**

Washington Rd.

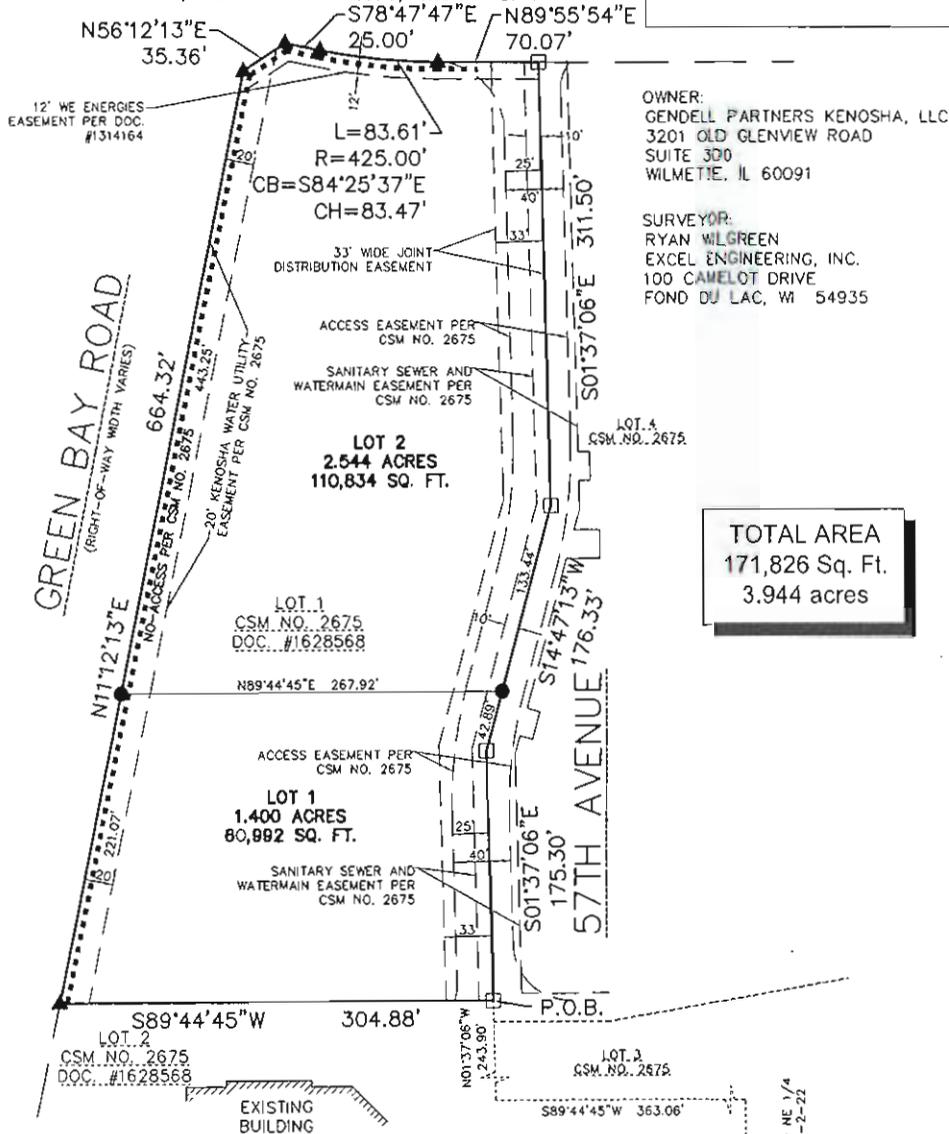


----- Municipal Boundary



# CERTIFIED SURVEY MAP

FOR  
**GENDELL PARTNERS KENOSHA, LLC**  
 A REDIVISION OF LOT 1 OF CERTIFIED SURVEY MAP NO. 2675,  
 BEING A PART OF THE SOUTHEAST 1/4 OF THE NORTHEAST  
 1/4, SECTION 27, TOWNSHIP 2 NORTH, RANGE 22 EAST, CITY  
 OF KENOSHA, KENOSHA COUNTY, WISCONSIN.



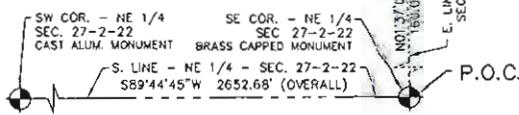
OWNER:  
 GENDELL PARTNERS KENOSHA, LLC  
 3201 OLD GLENVIEW ROAD  
 SUITE 300  
 WILMETTE, IL 60091

SURVEYOR:  
 RYAN WILGREEN  
 EXCEL ENGINEERING, INC.  
 100 CAMELOT DRIVE  
 FOND DU LAC, WI 54935

**TOTAL AREA**  
 171,826 Sq. Ft.  
 3.944 acres



- LEGEND**
- - 3/4" x 18" REBAR SET WEIGHING 1.50 LBS/FT.
  - ▲ - 1" IRON PIPE FOUND.
  - ◻ - MAG NAIL FOUND.
  - ⊙ - SECTION CORNER MON. FOUND.
  - - NO ACCESS



NORTH POINT REFERENCED TO THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (NAD 27). THE SOUTH LINE OF THE NORTHEAST QUARTER HAS A RECORDED BEARING OF SOUTH 89°-44'-45" WEST.

**EXCEL ENGINEERING, INC.**  
**SURVEYING GROUP**  
 PROJECT NO. 1.300100

Always a Better Plan  
 100 CAMELOT DRIVE  
 FOND DU LAC, WI 54935  
 PHONE: (920) 926-9800  
 FAX: (920) 926-9801

CERTIFIED SURVEY MAP # \_\_\_\_\_ VOLUME \_\_\_\_\_ PAGE \_\_\_\_\_ SHEET 1 OF 3 SHEETS

**CERTIFIED SURVEY MAP**

A REDIVISION OF LOT 1 OF CERTIFIED SURVEY MAP NO. 2675,  
BEING A PART OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF  
SECTION 27, TOWNSHIP 2 NORTH, RANGE 22 EAST,  
CITY OF KENOSHA, KENOSHA COUNTY, WISCONSIN.

**SURVEYOR'S CERTIFICATE**

I, Ryan Wilgreen, Professional Land Surveyor, hereby certify:

That I have surveyed, divided and mapped a parcel of land described below.

That I have made such Certified Survey under the direction of Gendell Partners Kenosha, LLC.,  
bounded and described as follows:

A re-division of Lot 1 of Certified Survey Map No. 2675, recorded as Document No. 1628568,  
being a part of the Southeast 1/4 of the Northeast 1/4 of Section 27, Township 2 North, Range 22 East,  
in the City of Kenosha, Kenosha County, Wisconsin, being more particularly described as follows:

Commencing at the Southeast corner of the Northeast Quarter of said Section 27, thence North  
01°-37'-06" West along the East line of the Northeast Quarter of said Section 27, a distance of 160.04  
feet; thence South 89°-44'-45" West, a distance of 363.06 feet; thence North 01°-37'-06" West, a  
distance of 243.90 feet to the Southeast corner of said Lot 1 and the point of beginning; thence South  
89°-44'-45" West along the South line of said Lot 1, a distance of 304.88 feet to the Southwest corner of  
said Lot 1; thence North 11°-12'-13" East along the Westerly line of said Lot 1, a distance of 664.32 feet  
to a Northwest corner of said Lot 1; thence North 56°-12'-13" East along a Northerly line of said Lot 1, a  
distance of 35.36 feet to a Northwest corner of said Lot 1; thence South 78°-47'-47" East along a  
Northerly line of said Lot 1, a distance of 25.00 feet to a Northerly corner of said Lot 1; thence 83.61 feet  
along a Northerly line of said Lot 1 on a curve to the left having a radius of 425.00 feet, the chord of said  
curve bears South 84°-25'-37" East, a chord distance of 83.47 feet to a Northerly corner of said Lot 1;  
thence North 89°-55'-54" East along a Northerly line of said Lot 1, a distance of 70.07 feet to the  
Northeast corner of said Lot 1; thence South 01°-37'-06" East along an Easterly line of said Lot 1, a  
distance of 311.50 feet to an Easterly corner of said Lot 1; thence South 14°-47'-13" West along an  
Easterly line of said Lot 1, a distance of 176.33 feet to an Easterly corner of said Lot 1; thence South  
01°-37'-06" East along an Easterly line of said Lot 1, a distance of 175.30 feet to the point of beginning  
and containing 3.944 acres (171,826 Sq. Ft.) of land more or less and being subject to all easements  
and restrictions of record.

That such is a correct representation of all the exterior boundaries of the land surveyed and the  
subdivision thereof made.

That I have fully complied with the provisions of Section 236.34 of the Wisconsin Statutes and  
the Subdivision Ordinance of The City of Burlington in surveying, dividing, and mapping the same.

Ryan Wilgreen, P.L.S. No. S-2647  
ryan.w@excelengineer.com  
Excel Engineering, Inc.  
Fond du Lac, Wisconsin 54935  
Project Number: 1300100

CERTIFIED SURVEY MAP #

VOLUME

PAGE

SHEET 2 OF 3 SHEETS

**CERTIFIED SURVEY MAP**

A REDIVISION OF LOT 1 OF CERTIFIED SURVEY MAP NO. 2675,  
BEING A PART OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF  
SECTION 27, TOWNSHIP 2 NORTH, RANGE 22 EAST,  
CITY OF KENOSHA, KENOSHA COUNTY, WISCONSIN.

**OWNER'S CERTIFICATE-LLC**

GENDELL PARTNERS KENOSHA, LLC. a limited liability company duly organized and existing under and by virtue of the laws of the State of Wisconsin, as Owner does hereby certify that said limited liability company caused the land described on this plat to be surveyed, divided, and mapped as represented on this plat.

GENDELL PARTNERS KENOSHA, LLC. does further certify that this plat is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:

- 1. City of Kenosha

WITNESS the hand and seal of said owners this \_\_\_\_\_ day of \_\_\_\_\_, 2013.

IN PRESENCE OF: GENDELL PARTNERS KENOSHA, LLC.

\_\_\_\_\_  
Witness Scott H. Gendell, Manager

STATE OF \_\_\_\_\_ )  
\_\_\_\_\_ COUNTY )SS

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 2013, the above named Scott H. Gendell to me known to be the person who executed the foregoing instrument and acknowledged the same.

\_\_\_\_\_  
Notary Public, \_\_\_\_\_ County, \_\_\_\_  
My Commission Expires: \_\_\_\_\_

**COMMON COUNCIL APPROVAL**

RESOLVED that this certified survey map in the City of Kenosha, GENDELL PARTNERS KENOSHA, LLC., owner, is hereby approved by the Common Council of the City of Kenosha.

Date \_\_\_\_\_ Approved \_\_\_\_\_  
Keith G. Bosman, Mayor

I HEREBY certify that the foregoing is a copy of Resolution Number \_\_\_\_\_, adopted by the Common Council of the City of Kenosha.

Date \_\_\_\_\_ Signed \_\_\_\_\_  
Deb Salas, Clerk

CERTIFIED SURVEY MAP # \_\_\_\_\_

VOLUME \_\_\_\_\_

PAGE \_\_\_\_\_

SHEET 3 OF 3 SHEETS

**SECTION 1  
CERTIFIED SURVEY MAP**

<b>Additional Information Required:</b>	Number of Lots: <u>Two (2)</u> Zoning District: <u>B2-COMMUNITY BUSINESS</u> Proposed Zoning Change, if any: <u>None</u>
<b>Submittal Requirements:</b>	<ul style="list-style-type: none"> <li>➤ Ten (10) copies of Certified Survey Map (Applicant to keep original)</li> <li>➤ Four (4) copies of Drainage Plan (when required)</li> <li>➤ Signed Checklist below</li> </ul>
<b>Fees:</b>	<ul style="list-style-type: none"> <li>➤ 2-Lot Certified Survey Map = \$750</li> <li>➤ 3-Lot Certified Survey Map = \$800</li> <li>➤ 4-Lot Certified Survey Map = \$850</li> <li>➤ With a Developer's Agreement = \$1,500</li> <li>➤ Re-submittals = \$400</li> </ul> <p>Miscellaneous fees</p> <ul style="list-style-type: none"> <li>➤ All special assessments and taxes shall be paid prior to recording. The Department of Community Development and Inspections will record the map with the Kenosha County Register of Deeds and recording fees shall be paid at that time by the applicant.</li> </ul>
<b>Park Fees:</b>	<ul style="list-style-type: none"> <li>➤ Five percent (5%) of the value of the property, but not less than \$1,415 per lot. Note that park fees are only collected for residentially-zoned property and are due at the time of acquiring building permits. The City may require dedication of the land in lieu of fee.</li> </ul>
<b>Appendices to Review:</b>	<ul style="list-style-type: none"> <li>➤ D, E, F and G</li> </ul>
<b>Approximate Review Time:</b>	<ul style="list-style-type: none"> <li>➤ 45 - 60 days (Reviewed by City Plan Commission, Public Works Committee and Common Council)</li> </ul>

The land division will be reviewed for compliance with Chapters 17 and 35 of the City Code of General Ordinances, City Zoning Ordinance, any neighborhood or master land use plans for the area, and Chapter 236 of the Wisconsin State Statutes.

The applicant shall be responsible for the costs of project engineering, design, construction, and inspection as follows (when applicable):

1. The applicant is responsible for installing all improvements and infrastructure, including but not limited to, utilities (water, sanitary and storm sewer), oversized of utilities, sidewalks, streets, street lights and signs, retention/detention basins, street trees, etc.
2. The applicant is responsible for any off-site improvements for the development, including but not limited to, traffic signals and signs, median openings, and street improvements/widening.
3. Payment of inspection and engineering services performed by the City and Kenosha Water Utility for the project.
4. Applicant responsible for posting of all required assurance to cover required improvements.

**Checklist to be completed and signed:**

- Scale and north arrow
- Scale of plans less than or equal to 1" = 100'
- Date of original and revisions noted
- Certification from surveyor that Plat complies with Chapter 17
- Reproducible paper less than 36" in width
- Location of all existing structures and first floor elevations
- Location of utility and drainage easements
- Exact length and bearing of the centerline of all streets
- Exact street width along the line of any obliquely intersecting street
- Railway rights-of-way within and abutting the plat
- Location and size of all lands to be dedicated for public use (when required)
- Comprehensive drainage plan
- Special restrictions relating to access control, planting strips, restrictive yard requirements, etc. (when required)
- Major street setback or WisDOT setbacks (if applicable)
- Map shows entirety of all parcels in proposed certified survey map

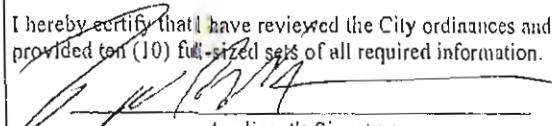
**Checklist to be completed and signed:**

- Floodplain limits of the 100 year recurrence interval flood
- Location of any wetlands, shoreland, or other environmental areas (if applicable)

**Plans to be submitted (when applicable)**

- Street plans and profiles
- Sanitary sewer plans and profiles
- Storm sewer plans
- Grading/drainage plans
- Water main plans and profiles
- Erosion control plans
- Landscape plans

I hereby certify that I have reviewed the City ordinances and provided ten (10) full-sized sets of all required information.

  
Applicant's Signature

Planning & Zoning Division 625 52nd Street - Room 308 Kenosha, WI 53140 262.653.4030	Kenosha City Plan Commission  <b>FACT SHEET</b>	September 19, 2013	Item 8
<b>Request to Amend the Conditional Use Permit for Festival Foods at 3207 80th Street to add a drive-thru service lane. (Festival Foods) (District #14) PUBLIC HEARING</b>			

**LOCATION/SURROUNDINGS:**

Site: 3207 80th Street  
 Zoned: B-2 Community Business District

**NOTIFICATIONS/PROCEDURES:**

The alderman of the district, Alderman Prozanski, has been notified. The Common Council is the final review authority.

**ANALYSIS:**

- Festival Foods received approval of a Conditional Use Permit from the Common Council on June 17, 2013. Construction on the building started shortly thereafter.
- Festival Foods is requesting to amend the approved plans to add a drive-thru for the pharmacy. The drive-thru would be located along the front of the building. The stacking distance complies with the Zoning Ordinance.
- Additional sidewalks and crosswalks are being added in the parking lot to direct pedestrian traffic to the front entrance since the drive-thru will be along the front of the building.
- The plans were sent to City Departments. Their comments are included in the attached Conditions of Approval.
- The plans generally comply with Section 4 and 14 of the Zoning Ordinance.

**RECOMMENDATION:**

A recommendation is made to approve the Amendment to the Conditional Use Permit, subject to the attached Conditions.

  
 Brian R. Wilke, Development Coordinator

  
 Jeffrey B. Labahn, Director

Planning & Zoning Division  
625 52nd Street  
Kenosha, WI 53140  
262.653.4030

***Kenosha City Plan  
Commission  
Conditions of Approval***

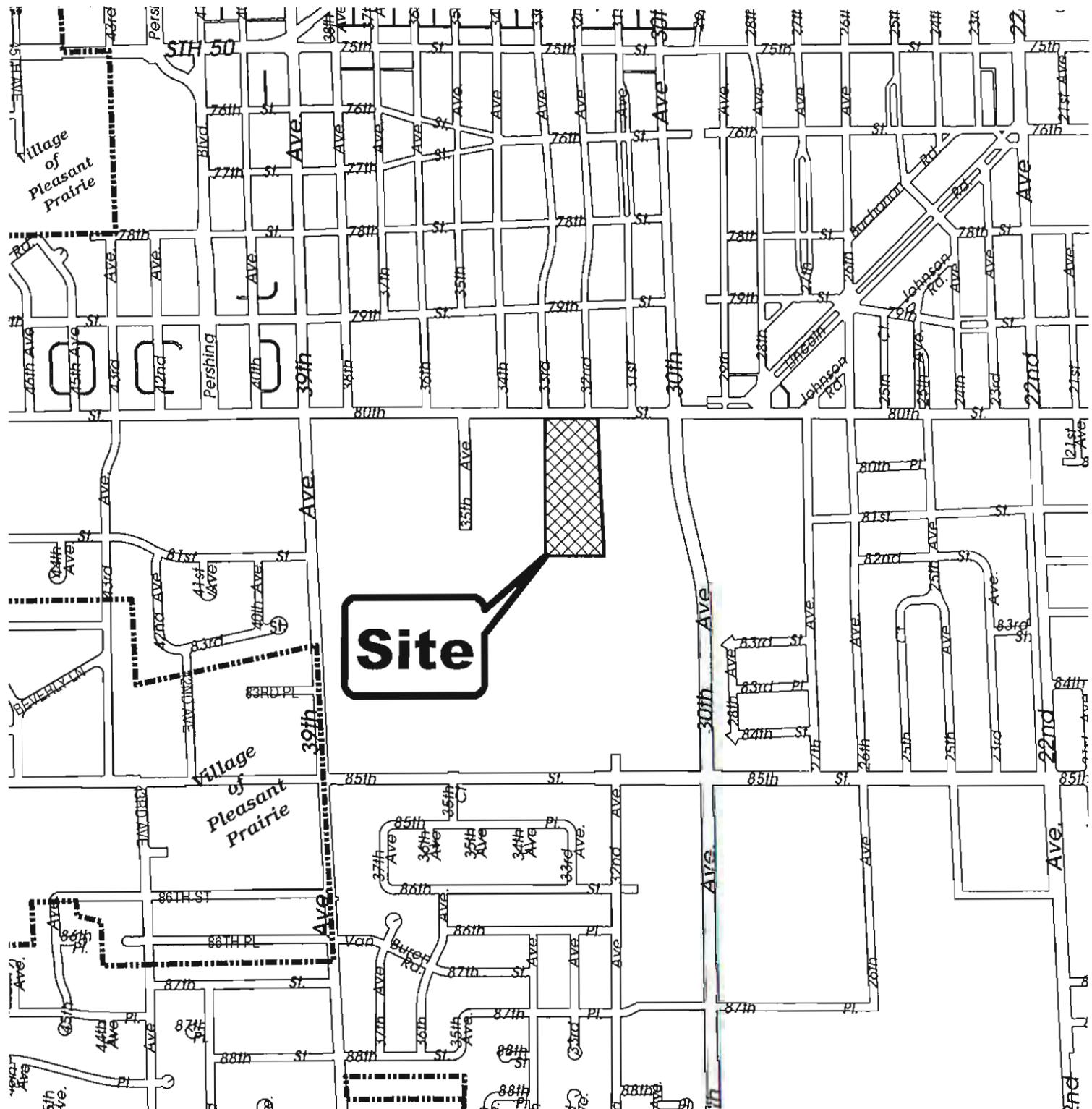
**Festival Foods**  
3207 80th Street    September 19, 2013

1. Compliance with the original Conditional Use Permit approved by the Common Council on June 17, 2013.
2. Install drive-thru signage and pavement markings.

/u2/accl/cp/ckays/1CPC/2013/SEP19/8conditions-amd-festival.odt

# City of Kenosha

## Vicinity Map Festival Foods drive-thru CUP



--- Municipal Boundary



Department of Community Development & Inspections  
625 52nd Street - Room 308  
Kenosha, Wisconsin 53140  
phone - 262.653.4030 or fax 262.653.4045

Conditional Use Permit Approval

<b>Project Name:</b>	Festival Foods	<b>Date:</b> September 9, 2013
<b>Location:</b>	3207 80th Street	
<b>Project Description:</b>	A new grocery store	
<b>Issued to:</b>	Tom Radenz REI Engineering 4080 N. 20th Avenue Wausau, WI 54401	
<b>Architect/ Engineer/ Contractor:</b>  (if applicable)		
<b>Approval Dates:</b>	Common Council – June 17, 2013 Community Development & Inspections – N/A	
<ul style="list-style-type: none"><li>• Conditions of approval (see attachment)</li><li>• Approval shall be void if a building permit is not obtained by N/A</li></ul>		

Any questions regarding the approved Conditional Use Permit should be directed to me at 262.653.4049 or via email at [bwilke@kenosha.org](mailto:bwilke@kenosha.org).



Brian Wilke  
Development Coordinator  
Community Development & Inspections

- c: Shelley Billingsley, Director of Engineering, Public Works  
Mike Callovi, Planning Technician, Community Development & Inspections  
Mike Higgins, Assessor  
Michael Moore, Commercial Building Inspector, Community Development & Inspections  
Jeffrey B. Labahn, Director, Community Development & Inspections  
Mike Lemens, Director, Public Works  
John W. Morrissey, Chief, Police Department  
Gail Rohde, Counter Clerk, Community Development & Inspections  
Patrick Ryan, Division Chief, Fire Prevention Bureau  
Ed St. Peter, General Manager, Kenosha Water Utility  
Debra Salas, City Clerk-Treasurer

<b>Project Name:</b>	Festival Foods	<b>Date:</b> September 9, 2013
<b>Location:</b>	3207 80th Street	

**Conditions of Approval**

1. The following Conditions of Approval will run with the land and shall be included in a document recorded with the Kenosha County Register of Deeds:
  - a. The applicant shall obtain all required construction permits from the Department of Community Development & Inspections. This includes, but is not limited to Erosion Control, Building, Plumbing, Electrical and Occupancy permits.
  - b. The applicant shall obtain a Driveway, Sidewalk, Street Opening and Parking Lot permit from the Department of Public Works.
  - c. All signs shall comply with Chapter 15 of the Code of General Ordinances and the applicant shall obtain sign permits for all new signs. A separate submission and permits are required for all signs. Sign information provided under the Conditional Use Permit is for reference only and does not constitute sign permit approval.
  - d. The development shall be constructed per the approved plans on file with the Department of Community Development & Inspections, Room 308, 625 52nd Street, Kenosha, WI 53140. Any changes to the approved plans shall require an amendment to the Conditional Use Permit. All changes shall be submitted to the Department of Community Development & Inspections for review and approval.
  - e. Prior to the issuance of any Occupancy permits, all parking areas, drives and designated paved areas shall have the initial lift of asphalt installed. Any recommended improvements from the Traffic Impact Analysis must be completed prior to any Occupancy. The building exterior shall be completed per the approved plans, the exterior lighting shall be installed and the Conditional Use Permit shall be recorded with the Kenosha County Register of Deeds. All improvements indicated on the plans, including landscaping, shall be installed prior to the issuance of a final Occupancy permit. The recording fees for the Conditional Use Permit shall be submitted by the applicant.
  - f. Compliance with City and State and/or Federal Codes and Ordinances. The buildings shall comply with the current Code standards in effect upon application for a building permit.
  - g. All roof top mechanicals shall be properly screened per Section 14.07 B.10 of the Zoning Ordinance.
  - h. All trash containers shall be stored within the enclosure or building. The applicant/owner shall be responsible for waste collection and removal for the development. The City of Kenosha shall not provide waste collection or removal services or incur any cost in this regard.
  - i. The applicant shall meet all applicable Conditions of Approval and obtain a building permit within six (6) months of Common Council approval of the Conditional Use Permit or the Conditional Use Permit shall be null and void.
  - j. Outdoor display of products is prohibited.
  - k. All vehicles shall be parked within the designated paved areas.

- l. All improvements, including landscaping, shall be maintained per the approved plans. Any damaged fencing, landscaping or building shall be replaced or reconstructed per the approved plans.
- m. Cross access shall be provided to adjacent parcels if required at a future date by the City.
- n. Compliance with the Operational Plan dated May 6, 2013.
- o. The existing bases, wiring and conduit for the traffic signal at 35th Avenue and 80th Street must remain in place.



August 16, 2013

**City of Kenosha Community Development & Inspections**

Attn: Brian Wilke  
625 52<sup>nd</sup> Street  
Room 308  
Kenosha, WI 53140



**Subject:**

Pharmacy Addition  
Festival Foods – 3207 80<sup>th</sup> Street  
Kenosha, WI

**Dear Mr. Wilke:**

Enclosed under the cover of this letter and my seal, you will find the completed Development Review Application for the addition of a Pharmacy with a drive-thru to the Festival Foods building. The Festival Foods team has been working hard to keep this community asset in the new development.

We respectfully submit the following information for review and approval at the September 19, 2013 Planning Commission and the October 7, 2013 City Council meetings:

- Completed Development Review Application
- Review fees, check payable to the City of Kenosha for \$1,025
- One (1) Reduced 11" x 17" and ten (10) Full Size Plans
  - Architectural Plans depicting proposed door location
  - Site Plan depicting intent plan intent

Should you have questions on any of these materials or require anything further, please do not hesitate to call.

Sincerely,  
REI Engineering, Inc.

Tom Radenz, RLS  
Project Manager

Enclosures



**RESPONSIVE. EFFICIENT. INNOVATIVE.**

4080 N. 20th Avenue Wausau, WI 54401  
715-675-9784 [www.REIengineering.com](http://www.REIengineering.com)



## Good Value Pharmacy

August 16, 2013

Brian Wilke  
City of Kenosha  
625 52<sup>nd</sup> Street, Room 308  
Kenosha, WI 53140

Dear Mr. Wilke,

This is an addendum to the Festival Foods operational plan and is in regard to the Good Value Pharmacy addition. Below are the responses to the questions requested by the City:

**Hours of operation?** The pharmacy will be open Monday-Friday, 9AM-9PM; Saturday, 9AM-6PM; and Sunday, 9AM-5PM. We are open Memorial Day, 4<sup>th</sup> of July and Labor Day, 9AM-2PM. We are closed New Years Day, Easter, Thanksgiving Day and Christmas Day.

**Number of new employees?** We will retain the current number of employees (18) and add staff as necessary.

**When are major deliveries?** We receive one medication delivery via small truck courier at 9AM Monday-Friday.

**Peak customer hours/peak traffic generators?** Peak hours are 9-10AM and 3-6PM Monday-Friday. The most drive-thru traffic occurs 3-6PM Monday-Friday.

**Examples of Good Value's community service?** We offer county wide *free* delivery six days a week. With this service we make over 25,000 deliveries per year. We offer immunizations, Medicare Part D consultations, and blood pressure screening along with traditional pharmacy services. We partner with several community agencies and participate in local health related coalitions.

**Discussion of the "Community Room"?** We intend to use the Community Room for group immunizations as well as educational classes regarding diabetes, diet and lifestyle.

Please let me know if you need any other information regarding the operation of Good Value Pharmacy.

Sincerely,

Philip T. Berce

3401 80th Street, Suite #100  
Kenosha, Wisconsin 53142-4974  
262.697.5744 Fax 262.697.5749

9916 75th Street, Suite #103  
Kenosha, Wisconsin 53142-7849  
262.925.0201 Fax 262.925.0202



**Development Review Application  
City of Kenosha, Wisconsin**

\$1,025  
PHARMACY ADDITION

**MAILING INFORMATION**

**NAME OF PROJECT:** 80<sup>th</sup> STREET CENTER

Check one (1) of the following boxes to indicate the recipient of all correspondence:

Name and Address of Applicant (Please print):  
80<sup>th</sup> STREET CENTER LLC  
118 W. PECKHAM ST.  
NKENOSH, WI 53140  
 Phone: 920.725.4000  
 Fax: 920.725.4208  
 E-Mail: larry@qigprop.com

Name and Address of Architect/Engineer (Please print):  
RAE ENGINEERING, INC.  
4080 N. 20<sup>th</sup> AVE  
WAUWATAM, WI 53401  
TOM TRADENZ  
 Phone: 715.675.9784  
 Fax: 715.675.4060  
 E-Mail: TRADENZ@RAEENGINEERING.COM

Name and Address of Property Owner (if other than applicant) (Please print):  
SAME AS APPLICANT  
 Phone: \_\_\_\_\_  
 Fax: \_\_\_\_\_  
 E-Mail: \_\_\_\_\_

**PROJECT LOCATION**

Location of Development (street address and / or parcel number): 3207 80<sup>th</sup> STREET

**TYPE OF LAND DEVELOPMENT**

Check all that apply. Note: Additional information may be required within individual Sections.

<input type="checkbox"/>	Certified Survey Map	Section 1	Page 3
<input type="checkbox"/>	Concept Review (Land Division)	Section 2	Page 4
<input type="checkbox"/>	Concept Review (Multi-Family Residential or Non-Residential)	Section 3	Page 5
<input checked="" type="checkbox"/>	Conditional Use Permit	Section 4	Pages 6 & 7
<input type="checkbox"/>	Developer's Agreement	Section 5	Page 8
<input type="checkbox"/>	Final Plat	Section 6	Pages 9 & 10
<input type="checkbox"/>	Lot Line Adjustment Survey	Section 7	Page 11
<input type="checkbox"/>	Preliminary Plat	Section 8	Pages 12 & 13
<input type="checkbox"/>	Rezoning	Section 9	Pages 14 & 15
<input type="checkbox"/>	Site Plan Review	Section 10	Pages 16 & 17

**PRIOR TO SUBMITTING THIS APPLICATION TO THE DEPARTMENT OF CITY DEVELOPMENT,  
PLEASE REVIEW THE APPROPRIATE SECTION(S) FOR FEES, REQUIREMENTS AND APPROPRIATE APPENDICES.**

Submit this cover page, completed application, applicable section(s) and appendices  
along with ALL required plans, information and fees to:

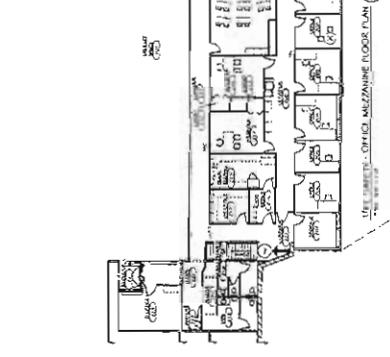
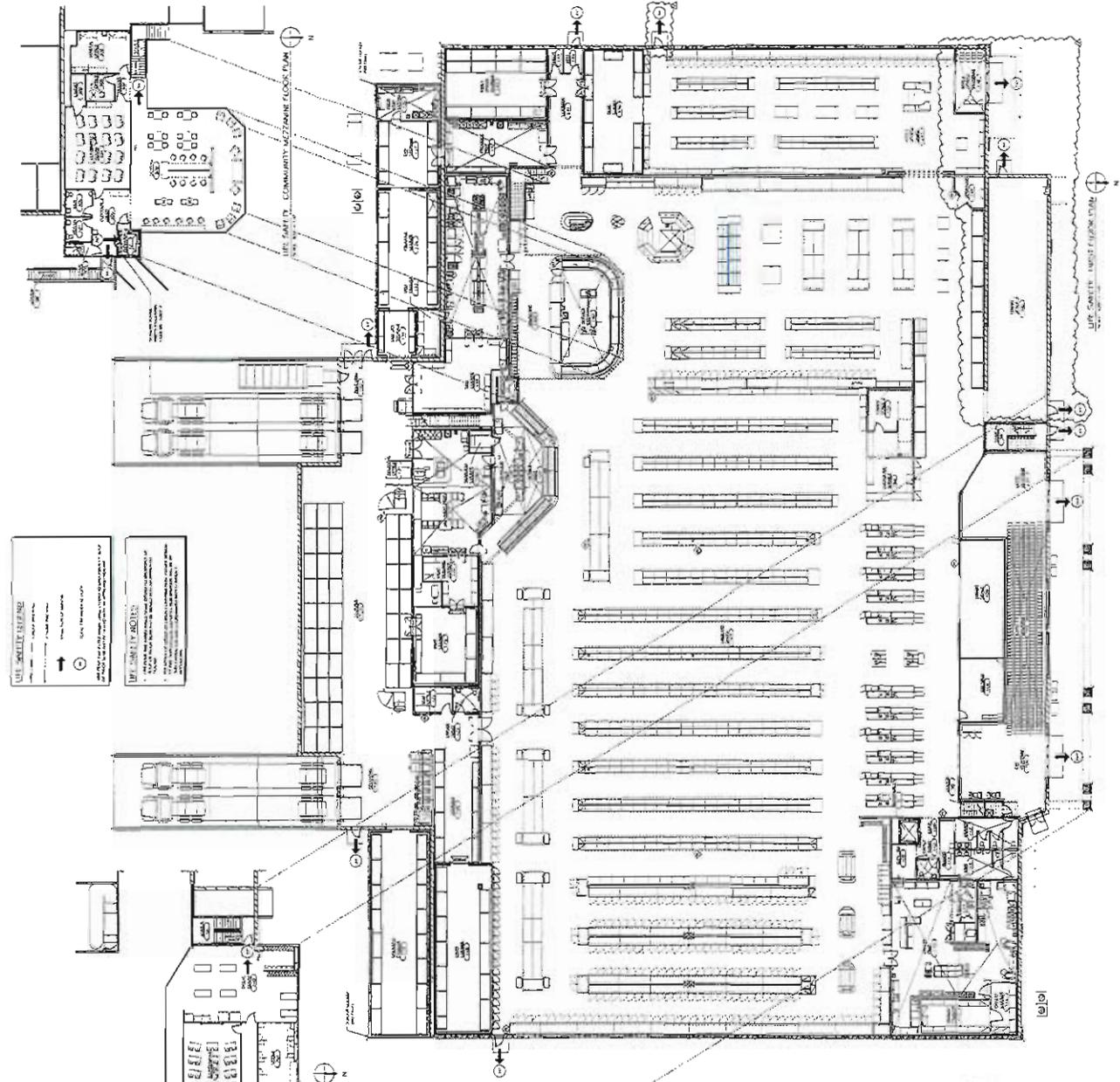
Department of Community Development & Inspections  
 Planning Division  
 625 52nd Street, Room 308  
 Kenosha, WI 53140

Phone: 262.653.4030  
 Fax: 262.653.4045  
 Office Hours:  
 M - F 8:00 am - 4:30 pm

**SECTION 4  
CONDITIONAL USE PERMIT**

<b>Additional Information Required:</b>	Building or Addition Square Footage: <u>1,744 sq ft</u> Existing Building Size: <u>75,455 sq ft</u> Site Size: <u>8.086 acres</u> Current # of Employees <u>18</u> Anticipated # of New Employees <u>20</u> Anticipated Value of Improvements <u>\$300,000</u>		
<b>Submittal Requirements:</b>	<ul style="list-style-type: none"> <li>➤ Ten (10) full size scaled copies of Specified Plans indicated below drawn at a standard engineering scale</li> <li>➤ Developer Site Plan/Conditional Use Permit Checklist (Appendix A)</li> </ul>		
<b>If Item to be Reviewed by Plan Commission/Common Council must Submit:</b>	<ul style="list-style-type: none"> <li>➤ One (1) 8 1/2" x 11" reduction <i>or</i> forty (40) 11" x 17" reductions of the Site/Landscape Plan, Floor Plan and Colored Building Elevations (all sides)</li> <li>➤ Sample Board containing colored samples of all exterior building materials</li> </ul>		
<b>Fees:</b>	<u>Building or Addition Size</u>	<u>Site size</u>	<u>Review Fee</u>
	Level 1 <= 10,000 sq. ft. Level 2 10,001 - 50,000 sq. ft. Level 3 50,001 - 100,000 sq. ft. Level 4 > 100,001 sq. ft.	<= 1 acre 1.01 - 10 acres 10.01 - 25 acres > 25.01 acres	\$900 = City Plan Dept. <i>or</i> \$1,025 = CPC/CC \$1,175 = City Plan Dept. <i>or</i> \$1,300 = CPC/CC \$1,600 = City Plan Dept. <i>or</i> \$1,725 = CPC/CC \$2,000 = City Plan Dept. <i>or</i> \$2,125 = CPC/CC
	<ul style="list-style-type: none"> <li>➤ If building size or addition and gross acreage of the site determine two (2) different fees, the greater of the two fees will be assessed.</li> <li>➤ Application fee entitles applicant to an initial review and one re-submittal.</li> <li>➤ Re-submittal fee = \$425 per re-submittal after two (2) permitted reviews.</li> <li>➤ CUP Amendment = 50% of the applicable fee as determined above.</li> </ul>		
<b>Appendices to Review:</b>	➤ All		
<b>Approximate Review Time:</b>	<ul style="list-style-type: none"> <li>➤ 30 days for Staff Review</li> <li>➤ 45-60 days for City Plan Commission/Common Council Review</li> </ul>		
The conditional use permit plans, <i>prepared to a standard engineering scale</i> , shall be submitted with this application & shall include the following information:			
<b>Building Plan:</b>	<ul style="list-style-type: none"> <li>➤ Layout of building(s) including size and layout of rooms</li> <li>➤ Design and architecture</li> <li>➤ Plans and details on fire suppression and/or standpipe</li> <li>➤ Plans and details on fire detection, fire alarm and other safety devices</li> </ul>		
<b>Site Plan</b> (based on a plat of survey)	<ul style="list-style-type: none"> <li>➤ Legal description of property</li> <li>➤ Location and footprint of building(s) and structure(s)</li> <li>➤ Locations of existing and proposed streets, drives, alleys, easements, rights-of-way, parking as required, vehicular and pedestrian access points, and sidewalks</li> <li>➤ Outline of any development stages</li> <li>➤ Location and details on any required emergency access roads</li> <li>➤ A calculation of square footage devoted to building, paving and sidewalks, and landscaped/open space</li> </ul>		
<b>Drainage Plan</b>	<ul style="list-style-type: none"> <li>➤ Existing topography, including spot elevations of existing buildings, structures, high points, and wet areas, with any previous flood elevations</li> <li>➤ Floodplain boundaries, if applicable</li> <li>➤ Soil characteristics, where applicable</li> <li>➤ Proposed topography of the site denoting elevations and natural drainage after construction and any proposed stormwater retention areas</li> </ul>		





**CODE SUMMARY**

**GENERAL NOTES:**

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.
3. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING UTILITIES AND STRUCTURAL ELEMENTS AT ALL TIMES.
5. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING CONDITIONS NOT TO BE REMOVED OR ALTERED.
7. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES.
8. THE CONTRACTOR SHALL MAINTAIN A NEAT AND ORDERLY WORK SITE AT ALL TIMES.
9. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.

**MECHANICAL NOTES:**

1. ALL MECHANICAL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
2. ALL MECHANICAL SYSTEMS SHALL BE TESTED AND BALANCED PRIOR TO OCCUPANCY.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY CLEARANCES FOR MECHANICAL EQUIPMENT.
4. ALL MECHANICAL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES.

**ELECTRICAL NOTES:**

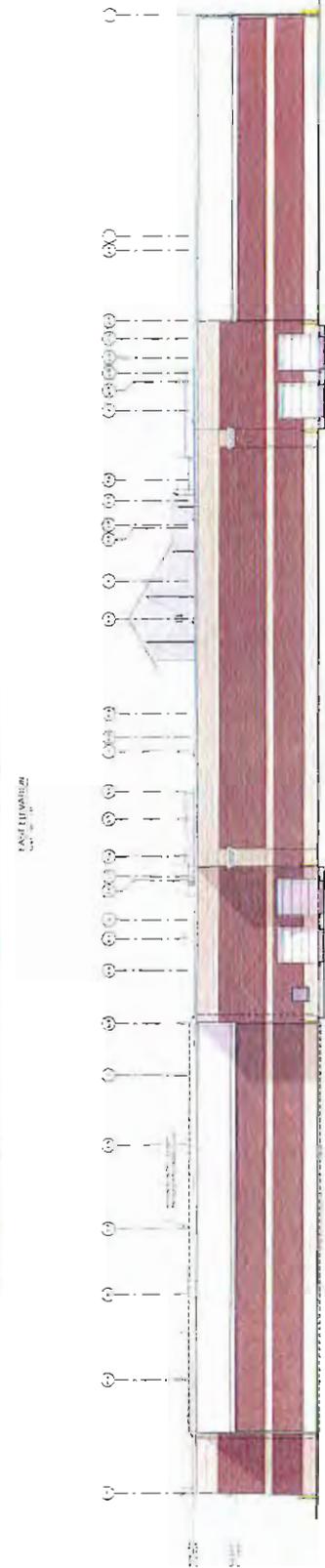
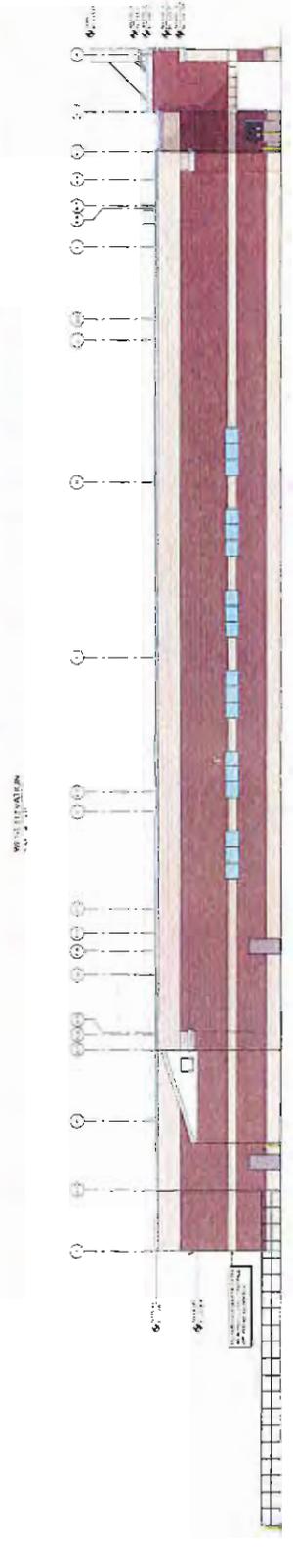
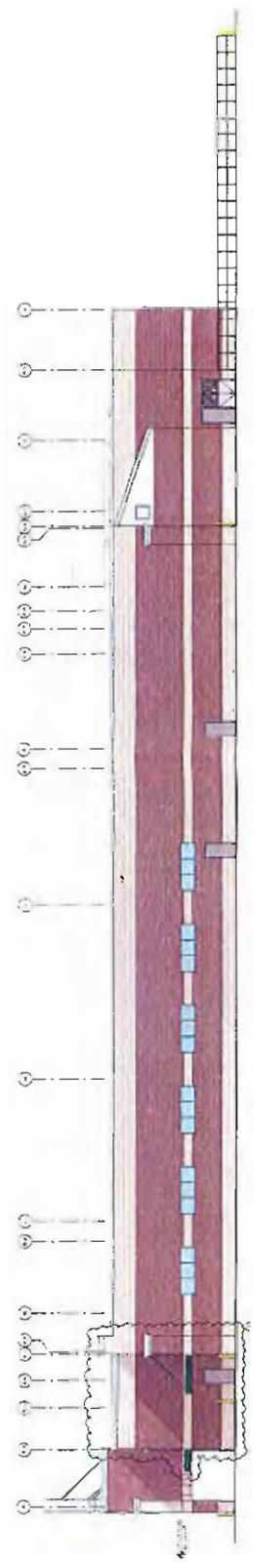
1. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
2. ALL ELECTRICAL SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY CLEARANCES FOR ELECTRICAL EQUIPMENT.
4. ALL ELECTRICAL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES.

**PLUMBING NOTES:**

1. ALL PLUMBING WORK SHALL BE IN ACCORDANCE WITH THE INTERNATIONAL PLUMBING CODE (IPC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
2. ALL PLUMBING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY CLEARANCES FOR PLUMBING EQUIPMENT.
4. ALL PLUMBING WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES.

**FINISHES:**

ALL FINISHES SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES.



Planning & Zoning Division 625 52nd Street - Room 308 Kenosha, WI 53140 262.653.4030	Kenosha City Plan Commission  <b>FACT SHEET</b>	September 19, 2013	Item 9
<b>Conditional Use Permit for three new self-storage facilities to be located at 4217 Green Bay Road. (Barth Storage) (District #16) PUBLIC HEARING</b>			

**LOCATION/SURROUNDINGS:**

Site: 4217 Green Bay Road  
 Zoned: B-2 Community Business District / Air-4 Airport Overlay District

**NOTIFICATIONS/PROCEDURES:**

The alderman of the district, Alderman Downing, has been notified. The Common Council is the final review authority.

**ANALYSIS:**

- Barth Storage has submitted an application to construct an additional three (3) self-storage buildings on their property at 4217 Green Bay Road.
- The new buildings would be constructed with decorative concrete block and steel garage doors.
- One of the buildings, labeled as "Phase 1", will be a climate-controlled building with both interior and exterior entrance storage units. The other two (2) buildings will have only exterior entrance storage units.
- Plans were sent to City Departments for their review. Their comments are included in the attached Conditions of Approval.
- The plans generally comply with Sections 4 and 14 of the Zoning Ordinance.

**RECOMMENDATION:**

A recommendation is made to approve the Conditional Use Permit, subject to the attached Conditions.

  
 Brian R. Wilke, Development Coordinator

  
 Jeffrey B. Sabath, Director

1. The following Conditions of Approval will run with the land and shall be included in a document recorded with the Kenosha County Register of Deeds:
  - a. The applicant shall obtain all required construction permits from the Department of Community Development & Inspections. This includes, but is not limited to Erosion Control, Building, Plumbing, Electrical and Occupancy permits.
  - b. The applicant shall obtain a Parking Lot permit from the Department of Public Works.
  - c. All signs shall comply with Chapter 15 of the Code of General Ordinances and the applicant shall obtain sign permits for all new signs. A separate submission and permits are required for all signs. Sign information provided under the Conditional Use Permit is for reference only and does not constitute sign permit approval.
  - d. The development shall be constructed per the approved plans on file with the Department of Community Development & Inspections, Room 308, 625 52nd Street, Kenosha, WI 53140. Any changes to the approved plans shall require an amendment to the Conditional Use Permit. All changes shall be submitted to the Department of Community Development & Inspections for review and approval.
  - e. Prior to the issuance of any Occupancy permits, all parking areas, drives and designated paved areas shall have the initial lift of asphalt installed in conformance with phasing of the Operational Plan. The building exterior shall be completed per the approved plans, the exterior lighting shall be installed and the Conditional Use Permit shall be recorded with the Kenosha County Register of Deeds. All improvements indicated on the plans, including landscaping, shall be installed prior to the issuance of a final Occupancy permit. The recording fees for the Conditional Use Permit shall be submitted by the applicant.
  - f. Compliance with City and State and/or Federal Codes and Ordinances. The buildings shall comply with the current Code standards in effect upon application for a building permit.
  - g. All roof top mechanicals shall be properly screened per Section 14.07 B.10 of the Zoning Ordinance.
  - h. All trash containers shall be stored within the enclosure or building. The applicant/owner shall be responsible for waste collection and removal for the development. The City of Kenosha shall not provide waste collection or removal services or incur any cost in this regard.
  - i. The applicant shall meet all applicable Conditions of Approval and obtain a building permit for one building within six (6) months of Common Council approval of the Conditional Use Permit and within twenty-four (24) months for all other buildings or the Conditional Use Permit shall be null and void.
  - j. Outdoor display of products is prohibited.

- k. All vehicles shall be parked within the designated paved areas.
  - l. All improvements, including landscaping, shall be maintained per the approved plans. Any damaged fencing, landscaping or building shall be replaced or reconstructed per the approved plans.
  - m. Cross access shall be provided to adjacent parcels if required at a future date by the City.
  - n. Compliance with the Operational Plan dated August 15, 2013.
2. The following conditions of approval shall be satisfied with City Staff prior to the issuance of any construction permits.
- a. The Drainage Plan shall be revised and resubmitted for review and approval addressing comments listed in the Public Works memo dated September 11, 2013.
  - b. Parcel Combination shall be recorded prior to the issuance of a Footing and Foundation permit.
  - c. A Floor Plan shall be submitted for all new buildings.
  - d. The Site Plan shall show the location of the newest Fire hydrant. A new hydrant shall be installed in the southwest area of the property.
  - e. Revise the phasing to clearly show the phasing of all improvements.



ENGINEERING DIVISION  
 SHELLY BILLINGSLEY, P.E.  
 CITY ENGINEER

PARK DIVISION  
 JEFF WARNOCK  
 SUPERINTENDENT

FLEET MAINTENANCE  
 MAURO LENCI  
 SUPERINTENDENT

STREET DIVISION  
 JOHN H. PRIJIC  
 SUPERINTENDENT

WASTE DIVISION  
 ROCKY BEDNAR  
 SUPERINTENDENT

**DEPARTMENT OF PUBLIC WORKS**

MICHAEL M. LEMENS, P.E., DIRECTOR  
 SHELLY BILLINGSLEY, P.E., DEPUTY DIRECTOR

MUNICIPAL BUILDING · 625 - 52ND ST · RM 305 · KENOSHA, WI 53140  
 TELEPHONE (262) 653-4050 · FAX (262) 653-4056  
 EMAIL PUBLICWORKS@KENOSHA.ORG

**TO:** Brian Wilke, Development Coordinator

**FROM:** Michael M. Lemens, P.E.  
 Director of Public Works

Shelly Billingsley, P.E.  
 City Engineer

*[Handwritten signatures and initials]*  
 9-12-13

**DATE:** September 11, 2013  
**SUBJECT:** PLAN REVIEW COMMENTS  
**Project Description:** Barth Storage – New Building  
**Location:** 4217 Green Bay Road

Our staff has reviewed the plans for this project. The following comments are provided:

Parking Lot Ordinance Compliance	Sufficient	Deficient	Not Applicable
Parking Lot Paved			X
Standard Stall Width			X
Parking Lot Layout			X
Parking Lot Lighting Shown			X
Parking Lot Lighting Adequate			X
Handicapped Parking			X
Driveway Locations			X
Driveway Width			X
Passing Blister or Accel/Decel Lanes			X
Sidewalks Adequate			X
Drive Thru Lane Design			X

<b>Public Streets</b>	<b>Sufficient</b>	<b>Deficient</b>	<b>Not Applicable</b>
Geometric Design			X
Pavement Width			X
Pavement Thickness Design			X
Established Grades			X
Plan Details			X
Sidewalks			X
Street Lights			X

<b>Site Grading/Drainage</b>	<b>Sufficient</b>	<b>Deficient</b>	<b>Not Applicable</b>
Drainage Plan		X	
Storm Sewer		X	
Storm Water Detention			X
Drainage Calculations		X	

<b>Project Approval/Permits Needed</b>	<b>Yes</b>	<b>No</b>	<b>Not Applicable</b>
Project Approved for Permitting		X	
Withhold Permits: See Comments	X		
Approve Footing/ Foundation Only (per condition)			X
Parking Lot Permit Required		X	
Driveway Permits Required		X	
Sidewalk Permit Required		X	
Street Opening Permit Required		X	
Stormwater Permit Required		X	
Erosion Control Permit Required	X		
State Permit Required		X	

**Grading & Drainage Comments:**

1. Submitted plan should be stamped by a professional engineer licensed in Wisconsin.
2. Provide a 20' storm sewer easement over the storm sewer main from the north edge of the parcel to where it leaves the southwest corner of the parcel. The current plans call for the new 30" storm sewer to be poly (HDPE N-12). If a poly pipe is to be installed, then the easement language shall read so that if the City needs to perform maintenance on the pipe the City will only restore the surface to gravel. If a concrete pipe is installed, the easement language can read that the City will restore the pavement.

3. Relocate an additional amount of the 30" storm sewer so that it is no closer than 10' to the proposed storage building. The current plan calls for the existing pipe to be left in place southwest of proposed manhole #2. The existing pipe comes within approximately 3' of the proposed building. Manhole #2 can be moved 15' to the west and an additional segment of 30" storm sewer should be extended to the south from this point until it intersects with the existing pipe. A manhole #3 will be required at this point of connection to the existing storm sewer.
4. Label the 30" storm sewer as "public" and the other storm sewer on the project as "private". Include a note that all work on the public storm sewer is to be per City of Kenosha requirements.
5. Include a table on the plan showing the total parcel area, area to be disturbed, and the existing and proposed areas of pervious surfaces, gravel, roof, and pavement.
6. Clearly show on the plans the limits of existing and proposed pavement, grass areas, or gravel.
7. Show a "limits of disturbance" line on the plan.
8. Provide detail on the work to be done with the existing concrete chamber (the existing 30" storm sewer connection to the southwest is to be removed and a new 30" storm sewer is proposed to the south).
9. The unlabeled storm sewer line on the east side of the proposed buildings is bolded, which makes it appear to be a proposed pipe. Clarify if this line is existing or proposed.
10. Provide construction details on the storm sewer bedding and structures that are to be a part of the 30" public storm sewer.
11. The notes on the plan call out all manholes as 48" diameter. Proposed manholes #1&2 require a 72" diameter manhole and manhole #3 may require a 60" diameter structured depending on the final angle between the existing and proposed 30" storm sewers.

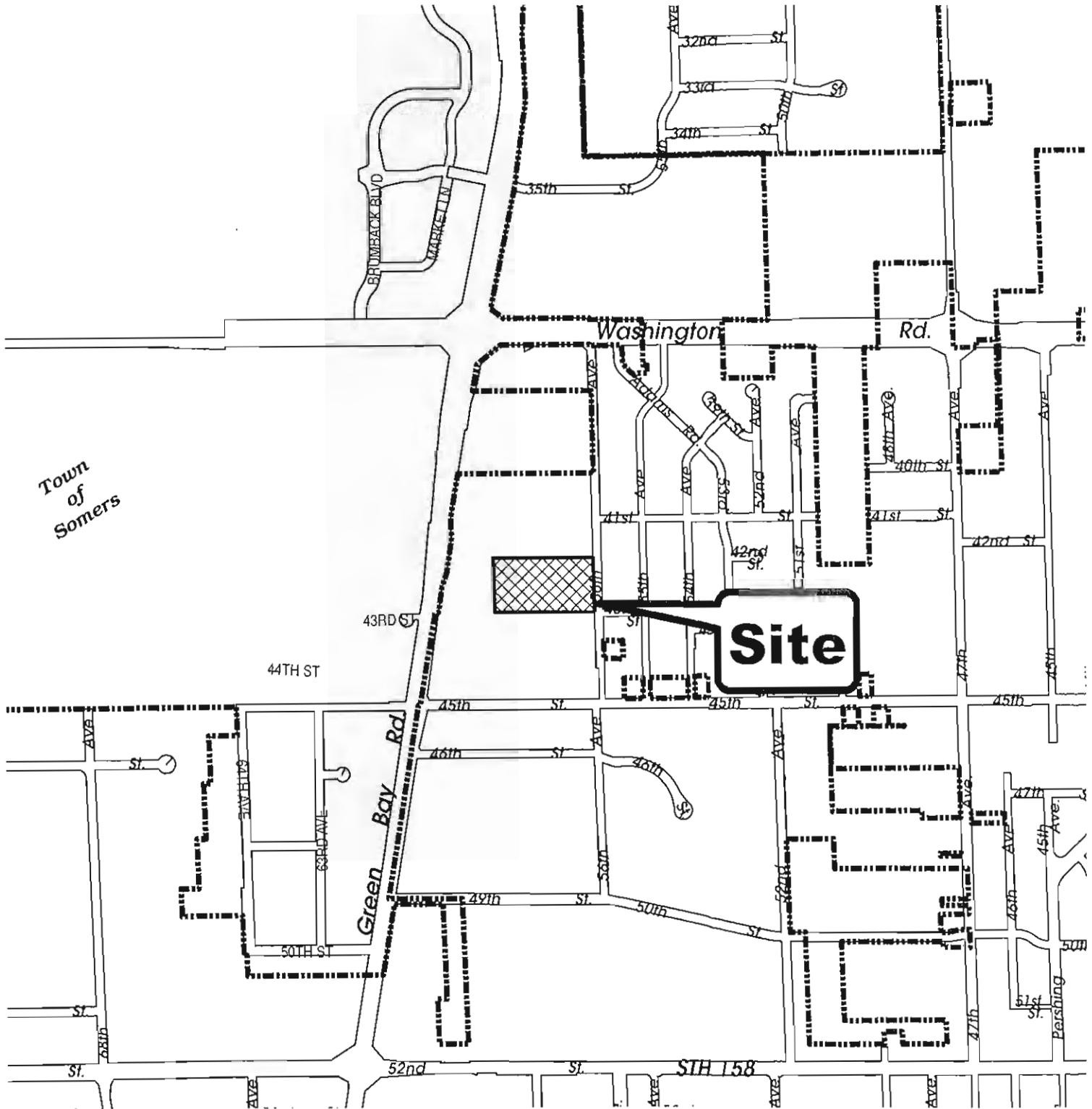
**Traffic Comments:**

**No comments**

cc: Jeff Hansen  
Clement Abongwa  
Kile Kuhlmeier  
Gerard Koehler

# City of Kenosha

## Vicinity Map Barth Storage CUP



Town of Somers

**Site**

----- Municipal Boundary



0 200 400 600 800 1,000 Feet

**BARTH STORAGE**  
4217 GREEN BAY RD  
KENOSHA, WI 53144  
262-658-9090

---

Aug. 15, 2013

Attn: City of Kenosha,  
Department of City Development

Regarding : **Barth Storage** Expansion  
Location:4217 Green Bay Rd., Kenosha, Wi 53144

**Building plans** will consist of 3 separate buildings. The buildings will be constructed one at a time. While inspections and permits for EACH BUILDING will be requested upon completion of each individual building structure. The phases for each building are listed on the building plan for *identification purposes only*, we will start building the smaller structures first. Please note the building will START with the "phase 2" identified building on the plan. Each building is a totally separate entity.  
Total square feet:19,500

**Building #1**- "Phase 2 building" ~ 15% of the project.

Size:30 x 100          3000 sq feet

This will be the **first building to be erected**. Concrete will be poured around the perimeter of this building only. The remaining concrete will be poured upon completion of each building during the separate phases.

**Building #2**- "Phase 3 building" ~15% of the project.

Size 30 x 100          300 sq feet

This will be the **2<sup>nd</sup> building to be constructed**. Again, concrete will be poured around the perimeter of this building only. The remaining concrete will be poured upon completion of *each* building.

**Building #3**- "Phase 1 building" ~70% of the project.

Size 90 x150 13,500 sq feet

This will be the **final building** to be built. Upon completion, the concrete will be poured around the perimeter of the building.

**Total number of existing storage units:** 525 (includes outside storage units)

**Operation Plan:**

**Facility Operator:** Barth Storage R.E.L.P  
1591 43<sup>rd</sup> Ave.  
Kenosha, WI 53144  
Ron & Kathy Barth  
[Kbarth2@wi.rr.com](mailto:Kbarth2@wi.rr.com)  
262-553-9303

**Facility Manager:** Chris Barth-Soto  
[cjsoto@earthlink.net](mailto:cjsoto@earthlink.net)  
cell: 262-818-4599  
home:262-654-1413

**Number of employees:** 13

**Hours of operation:** Monday-Friday 9am-5pm  
Saturday 9am-4pm  
Sunday closed

**Outside storage items allowed:** exclusively camping trailers/rvs and boats.

**Security system:** To gain access to their units, customers will use the North main entrance gate which is already in operation. The gate is an electronic system that is already functional thru Digi-gate. The customer will enter a code in the keypad to enter the premises and exit. They are allowed access from 7am-9pm 365 days per year. The manager's home phone number is also posted on the gate for emergencies. There are 2 other gates we use for semi access, one is on the southwest corner of the property and the other is on the northeast corner. These 2 extra gates are only accessible during business hours. We also have security cameras at the gate area and in the office as well as other areas on the facility grounds.

**Development Review Application  
City of Kenosha, Wisconsin**

**MAILING INFORMATION**

**NAME OF PROJECT:** Barth Storage

Check one (1) of the following boxes to indicate the recipient of all correspondence:

<input checked="" type="radio"/>	Name and Address of Applicant (Please print): <u>Barth Storage (Ron Barth)</u> <u>4217 Green Bay Rd</u> <u>Kenosha, WI 53144</u> <u>Attn: Chris Soto (mail)</u>	Phone: <u>Ron 262-553-9303</u> Fax: <u>Chris 262-818-4599</u> E-Mail: <u>KBarth2@wi.rr.com</u> <u>CSOTO@earthlink.net</u>
<input type="radio"/>	Name and Address of Architect/Engineer (Please print): <u>Butterfield, Rudic &amp; Seitz</u> <u>920 Gould St</u> <u>Racine WI</u>	Phone: <u>262-634-5565</u> Fax: <u>262-634-5618</u> E-Mail: <u>INFO@BRS-Architects.com</u>
<input type="radio"/>	Name and Address of Property Owner (if other than applicant) (Please print): <u>(Ron Barth) Barth Storage RELP</u> <u>1591 43rd Ave</u> <u>Kenosha, WI 53144</u>	Phone: <u>Ron 262-553-9303</u> Fax: <u>Chris 262-818-4599</u> E-Mail: <u>KBarth2@wi.rr.com</u> <u>CSOTO@earthlink.net</u>

**PROJECT LOCATION**

Location of Development (street address and / or parcel number): OB-222-27-4810-012

**TYPE OF LAND DEVELOPMENT**

Check all that apply. Note: Additional information may be required within individual Sections.

<input type="checkbox"/> Certified Survey Map	Section 1	Page 3
<input type="checkbox"/> Concept Review (Land Division)	Section 2	Page 4
<input type="checkbox"/> Concept Review (Multi-Family Residential or Non-Residential)	Section 3	Page 5
<input checked="" type="checkbox"/> Conditional Use Permit	Section 4	Pages 6 & 7
<input type="checkbox"/> Developer's Agreement	Section 5	Page 8
<input type="checkbox"/> Final Plat	Section 6	Pages 9 & 10
<input type="checkbox"/> Lot Line Adjustment Survey	Section 7	Page 11
<input type="checkbox"/> Preliminary Plat	Section 8	Pages 12 & 13
<input type="checkbox"/> Rezoning	Section 9	Pages 14 & 15
<input type="checkbox"/> Site Plan Review	Section 10	Pages 16 & 17

**PRIOR TO SUBMITTING THIS APPLICATION TO THE DEPARTMENT OF CITY DEVELOPMENT,  
PLEASE REVIEW THE APPROPRIATE SECTION(S) FOR FEES, REQUIREMENTS AND APPROPRIATE APPENDICES.**

Submit this cover page, completed application, applicable section(s) and appendices  
along with ALL required plans, information and fees to:

Department of Community Development & Inspections Planning Division 625 52nd Street, Room 308 Kenosha, WI 53140	Phone: 262.653.4030 Fax: 262.653.4045  Office Hours: M - F 8:00 am - 4:30 pm
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**SECTION 4  
CONDITIONAL USE PERMIT**

<b>Additional Information Required:</b>	Building or Addition Square Footage: <u>19,500 (20 30x100 10 90 + 150)</u> Existing Building Size: <u>N/A</u> Site Size: <u>30,000</u> Current # of Employees <u>13</u> Anticipated # of New Employees <u>N/A</u> Anticipated Value of Improvements <u>\$ 300,000</u>
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<b>Submittal Requirements:</b>	<ul style="list-style-type: none"> <li>➤ Ten (10) full size scaled copies of Specified Plans indicated below drawn at a standard engineering scale</li> <li>➤ Developer Site Plan/Conditional Use Permit Checklist (Appendix A)</li> </ul>
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<b>If Item to be Reviewed by Plan Commission/Common Council must Submit:</b>	<ul style="list-style-type: none"> <li>➤ One (1) 8 1/2" x 11" reduction <i>or</i> forty (40) 11" x 17" reductions of the Site/Landscape Plan, Floor Plan and Colored Building Elevations (all sides)</li> <li>➤ Sample Board containing colored samples of all exterior building materials</li> </ul>
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<b>Fees:</b>		<u>Building or Addition Size</u>	<u>Site size</u>	<u>Review Fee</u>
	Level 1	<= 10,000 sq. ft.	<= 1 acre	\$900 = City Plan Dept. <i>or</i> \$1,025 = CPC/CC
	Level 2	10,001 - 50,000 sq. ft.	1.01 - 10 acres	\$1,175 = City Plan Dept. <i>or</i> \$1,300 = CPC/CC
	Level 3	50,001 - 100,000 sq. ft.	10.01 - 25 acres	\$1,600 = City Plan Dept. <i>or</i> \$1,725 = CPC/CC
	Level 4	> 100,001 sq. ft.	> 25.01 acres	\$2,000 = City Plan Dept. <i>or</i> \$2,125 = CPC/CC
	<ul style="list-style-type: none"> <li>➤ If building size or addition and gross acreage of the site determine two (2) different fees, the greater of the two fees will be assessed.</li> <li>➤ Application fee entitles applicant to an initial review and one re-submittal.</li> <li>➤ Re-submittal fee = \$425 per re-submittal after two (2) permitted reviews.</li> <li>➤ CUP Amendment = 50% of the applicable fee as determined above.</li> </ul>			

<b>Appendices to Review:</b>	➤ All
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<b>Approximate Review Time:</b>	<ul style="list-style-type: none"> <li>➤ 30 days for Staff Review</li> <li>➤ 45-60 days for City Plan Commission/Common Council Review</li> </ul>
---------------------------------	---

The conditional use permit plans, prepared to a standard engineering scale, shall be submitted with this application & shall include the following information:

<b>Building Plan:</b>	<ul style="list-style-type: none"> <li>➤ Layout of building(s) including size and layout of rooms</li> <li>➤ Design and architecture</li> <li>➤ Plans and details on fire suppression and/or standpipe</li> <li>➤ Plans and details on fire detection, fire alarm and other safety devices</li> </ul>
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<b>Site Plan</b> (based on a plat of survey)	<ul style="list-style-type: none"> <li>➤ Legal description of property</li> <li>➤ Location and footprint of building(s) and structure(s)</li> <li>➤ Locations of existing and proposed streets, drives, alleys, easements, rights-of-way, parking as required, vehicular and pedestrian access points, and sidewalks</li> <li>➤ Outline of any development stages</li> <li>➤ Location and details on any required emergency access roads</li> <li>➤ A calculation of square footage devoted to building, paving and sidewalks, and landscaped/open space</li> </ul>
---	---

<b>Drainage Plan</b>	<ul style="list-style-type: none"> <li>➤ Existing topography, including spot elevations of existing buildings, structures, high points, and wet areas, with any previous flood elevations</li> <li>➤ Floodplain boundaries, if applicable</li> <li>➤ Soil characteristics, where applicable</li> <li>➤ Proposed topography of the site denoting elevations and natural drainage after construction and any proposed stormwater retention areas</li> </ul>
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## ZONING ORDINANCE FOR THE CITY OF KENOSHA, WISCONSIN

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- (4) Buildings less than 7,000 square feet do not have to provide a loading space.
- k. Exterior lighting shall be arranged, oriented or shielded in such a manner as to not directly radiate or glare onto residential lots in a residential district, or create a traffic hazard. No flashing lights within 150 feet of a residential district.
  - l. Minimum development area of 2.5 acres for new developments.
  - m. The petitioner and Review Authority shall agree on the following:
    - (1) A start up date for development.
    - (2) Completion date for developments.
    - (3) Commencement and completion date of any phases.
  - n. Lot and yard requirements.
    - (1) Detached buildings with street frontage must have a minimum 100 foot lot width, otherwise no minimum is required.
    - (2) Front yard shall have a minimum five (5) foot deep landscaped buffer strip.
    - (3) Street side yard shall have a minimum five (5) foot deep landscaped buffer strip.
    - (4) Rear yard when adjacent to a residential district shall be landscaped and screened.
  - o. Other issues which may have an adverse social, economic, or environmental impact or affecting the health, safety or welfare of abutting or neighboring properties or the City as a whole.

### 15. Drive-thru Facilities in Conjunction with Permitted/Conditional Uses in the B-2, B-3 and B-4 Districts:

- a. **Building Plan** as required in §4.05 B. of the Zoning Ordinance.
- b. **Site Plan** as required in §4.05 C. of the Zoning Ordinance.
- c. **Drainage Plan** as required in §4.05 D. of the Zoning Ordinance.
- d. **Landscape Plan** as required in §4.05 E. of the Zoning Ordinance.
- e. **Utility Plan** as required in §4.05 F. of the Zoning Ordinance.
- f. **Parking and Traffic Circulation Plan** in compliance with the following standards:
  - (1) Entrance to the drive-thru lane shall be located a minimum of one hundred fifty (150') feet from the intersection of the centerline of any public street.
  - (2) Drive-thru lane shall be paved.
  - (3) Drive-thru lane shall be a minimum width of eleven (11') feet.
  - (4) Vehicle stacking distance between property line and order station, or service window where there is no order station, shall be a minimum of seventy-five (75') feet.
  - (5) Vehicle stacking distance between order station where there is an order station and service window, shall be a minimum of twenty-five (25') feet.
  - (6) Distance between drive-thru lane and adjacent parking stalls, excluding stall depth, shall be a minimum of:
    - (a) 0° parallel parking - ten (10') feet.
    - (b) 60° parking - fifteen (15') feet.
    - (c) 90° parking - twenty-five (25') feet.
  - (7) Drive-thru lane shall not obstruct or interfere with any other on site driveways or traffic circulation elements.
- g. Service window shall be located so as to be visible from a public street. The service window and drive-thru lane shall be located a minimum of fifty (50') feet from a residentially zoned property. This setback shall not be applicable for buildings with residential use(s) located above the ground floor non-residential use. Drive-thru lane service window and order stations, where there is an order station, shall be effectively screened from adjacent residential properties and uses through fencing, landscaping or a combination thereof.
- h. Other issues which may have an adverse social, economic or environmental impact or affecting the health, safety or welfare of abutting or neighboring properties or the City as a whole.
- i. Alcohol beverages may not be delivered through a service window from a drive-thru facility.

### 16. Self-Service Storage Facilities in the B-2, M-1 and M-2 Districts.

- a. **Building Plan** as required in Section 4.05 B. and Section 14 of the Zoning Ordinance, plus:
  - (1) Material sample(s) and colors.

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- (2) Floor plan indicating location and size of office and storage units.
  - (3) All buildings shall be constructed of decorative masonry, brick, cut stone, or stained, painted, aggregate or decorative precast concrete panel. Concrete block, where used, shall be cast with a decorative pattern.
    - b. **Site Plan** as required in **Section 4.05 C.** and **Section 14** of the Zoning Ordinance, plus:
      - (1) Location and "footprint" of all structures.
      - (2) Location of all off-street parking spaces. All parking spaces and drives between storage buildings shall be paved with asphaltic concrete or Portland Cement concrete.
      - (3) Location of any outdoor storage areas, which shall be shown as paved with asphaltic concrete or Portland Cement concrete.
      - (4) A minimum of thirty (30') feet wide lanes shall be provided between buildings.
    - c. **Drainage Plan** as required in **Section 4.05 D.** and **Section 14** of the Zoning Ordinance.
    - d. **Landscape Plan** as required in **Section 4.05 E.** and **Section 14** of the Zoning Ordinance.
      - (1) In all cases, Option 1 of Table 3 "Interior Parkway Landscaping for Commercial Uses" of Section 14 of the Zoning Ordinance shall be used as the landscaping requirements for interior parkways.
      - (2) Fencing shall be constructed of a site-obscuring wood or masonry fence.
      - (3) Foundation plantings and site interior landscaping requirements shall be waived when the site is screened by a six (6') foot site-obscuring fence or masonry wall, including storage building walls.
      - (4) Outdoor storage areas shall be screened by a six (6') foot site-obscuring fence or masonry wall.
    - e. **Utility Plan** as required in **Section 4.05 F.** and **Section 14** of the Zoning Ordinance.
    - f. **Operational Plan** which includes:
      - (1) Name and address of facility operator.
      - (2) Number of employees.
      - (3) Hours, days and months of operation.
      - (4) Permitted items to be stored in outside storage area(s).
      - (5) Security system.
    - g. **Yard Requirements.**
      - (1) **Front Yard.** There shall be a minimum front yard of fifty (50') feet, measured from the front lot line, or from the setback of any major street.
      - (2) **Side Yards.**
        - (a) **Interior Side Yard.** There shall be a minimum interior side yard of ten (10') feet. Interior lots shall have two (2) interior side yards. Corner lots shall have one interior side yard and one street side yard.
        - (b) **Street Side Yard.** There shall be a minimum street side yard of twenty-five (25') feet. Where a side lot line in the B-2 District fronts on a street and where a rear lot line abuts or is across an alley fronts a residential district.
          - (3) **Rear Yard.** A rear yard of not less than twenty-five (25') feet is required, except that where a rear lot line in the B-2 District fronts on a street and where a side lot line in the B-2 District abuts or is across an alley from a residential district, the residential district yard requirement on that street shall apply as the rear yard requirement.
      - (c) **Rear Yard.** A rear yard of not less than twenty-five (25') feet is required, except that where a rear lot line in the B-2 District fronts on a street and where a side lot line in the B-2 District abuts or is across an alley from a residential district, the residential district yard requirement on that street shall apply as the rear yard requirement.
    - h. Vehicle stacking distance between lot line and gate or card-key system shall be a minimum of forty (40') feet.
    - i. **Outdoor Storage Areas.** Materials stored in outside storage areas shall not exceed the height of the fence and shall be maintained in an orderly manner with twenty-four (24') feet wide lanes between vehicles. Outdoor storage areas are limited to licensed and operable vehicles and boats. Construction equipment and materials shall not be permitted.
    - j. The storage of flammable liquids, highly combustible or explosive materials or hazardous chemicals shall not be permitted.
    - k. Other issues which may have an adverse social, economic or environmental impact or affecting the health, safety or welfare of abutting or neighboring properties of the City as a whole.
- 17. Automobile fuel station or automobile fuel and service station, including combination convenience store in the B-2 and B-3 Districts:**
- a. **Building Plan** as required in **Sections 4.05 B.** and **14.0** of the Zoning Ordinance, plus:
    - (1) Material and color sample(s).

