
Mayor Keith Bosman - Chairman, Alderperson Scott Gordon - Vice-Chairman
Alderperson Jan Michalski, Alderperson Kurt Wicklund,
Patrick DeGrace, Anita Faraone, Robert Hayden, Bradley Kleba, Anderson Lattimore and Jessica Olson

Call to Order and Roll Call

Approval of Minutes from June 4, 2015

1. Conditional Use Permit for a Community Based Residential Facility addition and rehabilitation to the existing Brookside Care Center at 3506 Washington Road. (Brookside Care Center) (District 6) PUBLIC HEARING
2. Conditional Use Permit Extension for a 45-unit apartment building to be located at 720 59th Place. (Residences at Library Park) (District 2) PUBLIC HEARING
3. Conditional Use Permit for a new communication tower to be located at 7923 Sheridan Road. (T-Mobile/Sheridan Lanes) (District 12) PUBLIC HEARING
4. Conditional Use Permit for a contractors storage yard to be located at 8010 and 8020 75th Street. (Lorenz) (District 16) PUBLIC HEARING
5. Zoning Ordinance By the Mayor - To Repeal and Recreate Subparagraph 3.031 F. and 3.032 F. of the Zoning Ordinance for the City of Kenosha, Wisconsin regarding Accessory Yard Requirements in the RR-1 Rural Single-Family Residential and RR-2 Suburban Single-Family Residential Districts. PUBLIC HEARING

Public Comments

Commissioner Comments

Staff Comments

Adjournment

*If you are disabled in need of assistance, please call 262.653.4030 at least 72 hours before this meeting.
Notice is hereby given that a majority of the members of the Common Council may be present at the meeting.
Although this may constitute a quorum of the Common Council, the Council will not take any action at this meeting.*

CITY PLAN COMMISSION
Minutes
June 4, 2015

MEMBERS PRESENT: Mayor Bosman, Alderperson Gordon, Alderperson Michalski, Alderperson Wicklund, Patrick DeGrace, Anita Faraone, Robert Hayden, Bradley Kleba, Jessica Olson

MEMBERS EXCUSED: Anderson Lattimore

STAFF PRESENT: Jeffrey B. Labahn and Rich Schroeder

Others Present: Alderperson Johnson

The meeting was called to order at 5:00 p.m. by Mayor Bosman and roll call was taken.

A motion was made by Alderperson Michalski and seconded by Patrick DeGrace to approve the minutes of the May 21, 2015 meeting. The motion passed. (Ayes 9, Noes 0)

Mayor Bosman asked that all items be taken together for public hearing purposes and voted on separately. Items 1 through 4 were read.

- 1. Request to initiate the rezoning to Remove and/or add Floodway (FW) for various properties North of State Trunk Highway 50 and East of County Trunk Highway MB. (Strawberry Creek/FEMA) (District 16) PUBLIC HEARING**
- 2. City Plan Commission Resolution - To Amend the *Comprehensive Plan for the City of Kenosha: 2035* regarding property North of State Trunk Highway 50 and East of County Trunk Highway MB. (Strawberry Creek/FEMA) (District 16) PUBLIC HEARING**
- 3. By the City Plan Commission - To Create Subsection 18.02 pp. of the Zoning Ordinance to Amend the *Land Use Map for the City of Kenosha: 2035*. (Strawberry Creek/FEMA) (District 16) PUBLIC HEARING**
- 4. By the City Plan Commission - Rezoning to Remove and/or add Floodway (FW) for various properties North of State Trunk Highway 50 and East of County Trunk Highway MB. (Strawberry Creek/FEMA) (District 16) PUBLIC HEARING**

Public hearing opened.

Attorney Mike McTernan, 6633 Green Bay Road, representing the Strawberry Creek old course owners, was available for questions.

Alderperson Bob Johnson, 10902 75th Street, Alderman of the District, said many home owners needed to carry flood insurance because of this map error. Will there be any reimbursement for insurance costs? Alderperson Johnson asked if this will affect any future development?

Louis Fowler, 15115 60th Street, owns a farm north of Strawberry Creek and wants to know if this will affect his property.

Rory Howarth, 7114 155th Avenue, the letter states the Floodplain is replaced with a different zoning. Can you explain the language?

Public hearing closed.

Mayor Bosman noted that Staff has been working for years with the FEMA on correcting these maps.

Rich Schroeder, Deputy Director, added that the final corrections will take effect on August 21, 2015. There was no reference made of the City reimbursing these people for the flood insurance costs they incurred. A FEMA representative had indicated that the homeowner may receive some credit if the insurance was purchased from them and a LOMR is approved, but they would need to talk to their insurance agent or FEMA on that. The City is not involved. Mr. Schroeder said after the meeting he will meet with any property owners that have specific questions or would like further explanation on the map changes.

Ms. Faraone asked if SEWRPC was involved in this revision. Mr. Schroeder said they were involved with the initial Flood Maps only. Ms. Faraone asked if this rezoning would affect the Park Plan. Mr. Schroeder said the are impacted needs additional study.

A motion was made by Ms. Faraone and seconded by Alderperson Michalski to approve Item 1, the initiation.

Alderperson Michalski thanked Staff for all their work on this map revision.

Mr. DeGrace asked if this will affect any future development and what happens if we don't adopt the maps. Mr. Schroeder said the revised Flood Insurance Rate Maps (FIRM) will go into affect on August 21, 2015 whether we approve this today or not. If we fail to adopt the maps, property owners may not be able to get insurance on their property and it would not help the owners. Mr. McTernan's clients have undeveloped properties that may be affected. They may need another LOMR to move forward.

Ms. Olson said this has been a long process and we hope there will be some credit back to the home owners.

The motion to approve Item 1 passed. (Ayes 9, Noes 0)

A motion was made by Ms. Faraone and seconded by Ms. Olson to approve Item 2, the City Plan Resolution. The motion passed. (Ayes 9, Noes 0)

A motion was made by Alderperson Michalski and seconded by Ms. Olson to approve Item 3, Zoning Ordinance Subsection 18.02 pp. The motion passed. (Ayes 9, Noes 0)

A motion was made by Ms. Faraone and seconded by Alderperson Gordon to approve Item 4, the Rezoning. The motion passed. (Ayes 9, Noes 0)

Public Comments

Nasser Museitif, 6021 33rd Avenue, said the Commission approved a Special Exception for his outdoor dining fencing. Mr. Museitif distributed pictures of the site and thanked the Department of Community Development & Inspections for all their assistance.

Aldersperson Johnson updated the Commission that the Lorenz Conditional Use Permit Appeal was referred back to the City Plan Commission at the last Common Council meeting.

Frank Gilson, 7620 144th Avenue, has land south of Highway 50 and thought nothing could be built on this property.

Commissioner Comments

No Commissioner comments.

Staff Comments

A motion to adjourn was made by Mr. DeGrace and seconded by Mr. Hayden. The motion passed. (Ayes 9, Noes 0) The meeting adjourned at 5:28 p.m.

Minutes Prepared by: Kay Schueffner, Department of Community Development & Inspections

Thursday, June 18, 2015 at 5:00 pm
Municipal Building
625 52nd Street - Room 202 - Kenosha, WI 53140

Conditional Use Permit for a Community Based Residential Facility addition and rehabilitation to the existing Brookside Care Center at 3506 Washington Road. (Brookside Care Center) (District 6)
PUBLIC HEARING

NOTIFICATIONS AND APPROVAL REQUIREMENTS:

Alderson Paff, District 6, has been notified. Alderson Kennedy was also notified as his district is within 100 feet. The City Plan Commission is the final review authority.

LOCATION AND ANALYSIS:

Site: 3506 Washington Road
Zoned: IP Institutional Park District / SWO Shoreland Wetland Overlay / FW Floodway District

1. Kenosha County is proposing to add two (2) wings on to the existing Brookside Care Center building.
 - a. One wing is two-stories and will add forty-eight (48) resident rooms for rehabilitation patients.
 - b. The other wing is one-story and will add twenty-four (24) rooms classified as a Community Based Residential Facility.
2. The existing facility will also be remodeled in several areas on the interior.
3. Multiple site improvements are proposed, including additional off-street parking areas. Kenosha County owns the residential property directly east of the Brookside Care Center. The residence is proposed to be razed. The Site Plan shows this area for parking and a storage garage. The house would have to be razed and the property rezoned to IP Institutional Park in order to develop this area. Plans for the storage garage were not provided. Therefore, the garage is not part of this request.
4. The proposed exterior materials are brick, cement board siding and asphalt shingles.
5. The plans were sent to City Departments for their review. Their comments are included in the attached Conditions of Approval.
6. The plans generally comply with Sections 4 and 14 of the Zoning Ordinance.

RECOMMENDATION:

A recommendation is made to approve the Conditional Use Permit, subject to the attached Conditions of Approval.



Brian Wilke, Development Coordinator



Jeffrey B. Lapan, Director

1. The following Conditions of Approval will run with the land and shall be included in a document recorded with the Kenosha County Register of Deeds:
 - a. The applicant shall obtain all required construction permits from the Department of Community Development & Inspections. This includes, but is not limited to Erosion Control, Building, Plumbing, Electrical and Occupancy permits.
 - b. The applicant shall obtain Driveway, Sidewalk, Street Opening and Parking Lot permits from the Department of Public Works.
 - c. All signs shall comply with Chapter 15 of the Code of General Ordinances and the applicant shall obtain sign permits for all new signs. A separate submission and permits are required for all signs. Sign information provided under the Conditional Use Permit is for reference only and does not constitute sign permit approval.
 - d. The development shall be constructed per the approved plans on file with the Department of Community Development & Inspections, Room 308, 625 52nd Street, Kenosha, WI 53140. Any changes to the approved plans shall require an amendment to the Conditional Use Permit. All changes shall be submitted to the Department of Community Development & Inspections for review and approval.
 - e. Prior to the issuance of any Occupancy permits, all parking areas, drives and designated paved areas shall have the initial lift of asphalt installed. The building exterior shall be completed per the approved plans, the exterior lighting shall be installed and the Conditional Use Permit shall be recorded with the Kenosha County Register of Deeds. All improvements indicated on the plans, including landscaping, shall be installed prior to the issuance of a final Occupancy permit. The recording fees for the Conditional Use Permit shall be submitted by the applicant.
 - f. Compliance with City and State and/or Federal Codes and Ordinances . The buildings shall comply with the current Code standards in effect upon application for a building permit.
 - g. All roof top mechanicals shall be properly screened per Section 14.07 B.10 of the Zoning Ordinance.
 - h. All trash containers shall be stored within the enclosure or building. The applicant/owner shall be responsible for waste collection and removal for the development. The City of Kenosha shall not provide waste collection or removal services or incur any cost in this regard.
 - i. The applicant shall meet all applicable Conditions of Approval and obtain a building permit within twelve (12) months of City Plan Commission approval of the Conditional Use Permit or the Conditional Use Permit shall be null and void.
 - j. All vehicles shall be parked within the designated paved areas.
 - k. All improvements, including landscaping, shall be maintained per the approved plans. Any damaged fencing, landscaping or building shall be replaced or reconstructed per the approved

plans.

- I. Prior to final Occupancy of the building, the applicant shall provide an electronic copy of the following information to the Fire Prevention Bureau:
 - i. Site Plan as-built
 - ii. Floor Plan as -built
 - iii. Site Utilities
 - iv. Sprinkler Plans
 - v. Fire Alarm Plans

- m. This approval is for the rehabilitation and Community Based Residential Facility building additions only. The Storage garage shall be approved under a separate review.

2. The following conditions of approval shall be satisfied with City Staff prior to the issuance of any construction permits.
 - a. The Drainage Plan shall be revised and resubmitted for review and approval addressing comments listed in the Public Works memo dated June 11, 2015.
 - b. The Utility Plan shall be revised and resubmitted for review and approval addressing the comments listed in the Kenosha Water Utility Memo dated June 8, 2015.
 - c. Detail on a gated wood or masonry trash enclosure shall be submitted for review and approval.
 - d. A Tree Protection/Removal permit shall be obtained per Chapter 34 of the Code of General Ordinances.
 - e. The following shall occur to the property at 3308 Washington Road before construction can begin on the new parking lot and storage garage in this area:
 - i. Rezoned to IP Institutional Park,
 - ii. The structure razed,
 - iii. The parcel combined with the property at 3506 Washington Road.
 - f. The Site Plan or Floor Plan shall show a calculation of the number of beds in the existing and proposed facility to determine the off-street parking requirements.



**THE CITY OF
KENOSHA**
PUBLIC WORKS
ENGINEERING

TO: Brian Wilke, Development Coordinator

FROM: Shelly Billingsley, P.E.
City Engineer

DATE: June 11, 2015
SUBJECT: PLAN REVIEW COMMENTS
Project Description: Brookside Care Center
Location: 3506 Washington Road

Our staff has reviewed the plans for this project. The following comments are provided:

Parking Lot Ordinance Compliance	Sufficient	Deficient	Not Applicable
Parking Lot Paved	X		
Standard Stall Width	X		
Parking Lot Layout	X		
Parking Lot Lighting Shown		X	
Parking Lot Lighting Adequate		X	
Handicapped Parking		X	
Driveway Locations		X	
Driveway Width	X		
Passing Blister or Accel/Decel Lanes			X
Sidewalks Adequate			X
Drive Thru Lane Design			X

Public Streets	Sufficient	Deficient	Not Applicable
Geometric Design			X
Pavement Width			X
Pavement Thickness Design			X
Established Grades			X
Plan Details			X
Sidewalks			X
Street Lights			X

Site Grading/Drainage	Sufficient	Deficient	Not Applicable
Drainage Plan		X	
Storm Sewer		X	
Storm Water Detention		X	
Drainage Calculations		X	

Project Approval/Permits Needed	Yes	No	Not Applicable
Project Approved for Permitting		X	
Withhold Permits: See Comments	X		
Approve Footing/ Foundation Only (per condition)			X
Parking Lot Permit Required	X		
Driveway Permits Required	POSSIBLE BASED ON COMMENTS		
Sidewalk Permit Required	POSSIBLE BASED ON COMMENTS		
Street Opening Permit Required	POSSIBLE BASED ON COMMENTS		
Stormwater Permit Required	POSSIBLE BASED ON COMMENTS		
Erosion Control Required	X		

Grading & Drainage Comments:

1. Please provide a bound copy of the SWMP.
2. Provide Storm Sewer with elevations on the grading plan C200.
3. Provide the USGS Datum and conversion for plan elevations on pages C100, 200, & 300.
4. Show on C100 a table indicating the total area and proposed area of impervious surfaces. Also include the proposed area to be disturbed for the project.

5. Storm sewer pipe materials are not labeled on the plan. All storm sewers within the City's right of way and entering or exiting the detention pond must be RCP.
6. The erosion control plans were not reviewed as a part of the CUP process. They will be reviewed when an erosion control permit application is submitted to the City.
7. Storm sewer profiles shall be provided. All utility crossing shall be shown.
8. Reconsider the alignment of watermain and storm sewer in the southwest corner of the property. Too many utility crossings at one location.
9. If over 1 acre of disturbance, the project will require that a stormwater permit be issued prior to construction. This can only be issued once staff concludes that the plans meet the City's stormwater ordinance and all stormwater related items are approved.
10. City ordinance requires that the detention pond be constructed first and accepted by the City prior to other construction or that the developer provide an escrow or other acceptable assurance to the City in an amount equal to the construction costs of the stormwater system.
11. City requirements state that grates should be 3" by 3" stainless steel and the top grate needs to be capable of withstanding a 250lb load without deflecting. The top grate also needs to be bolted or locked down in a manner that it can be reasonably removed for inspection or cleaning of the inside of the structure.
12. Provide full size hydrology plan sheets with SWMP.
13. Provide a Professional Engineering Seal on SWMP and Site Civil Drawings.

Traffic Comments:

1. Need Lighting Plan with photometrics shown. EL100A Not provided.
2. Sheet C200 shows slopes steeper than 4:1 with a parking lot at the edge. Need to provide a barrier curb to prevent vehicles from driving down embankment.
3. Show existing west driveway approach. Width of new drive should match the width of the existing approach.
4. Insert a table indicating number of parking stalls and number of ADA and Van accessible stalls.
5. During preliminary discussions with Shelly Billingsley (Acting Director of Public Works – City of Kenosha) and Greg Holverson (Assistant City Engineer – City of Kenosha), Kenosha County was going to work with the property owner on the south side of Washington Road to potentially shift the existing median opening to match the east driveway or Kenosha County was going to look into possibly shifting the east driveway to match existing median opening. Were any discussion had with the property owner across Washington Road?

Other Comments:

1. The proposed retaining wall in the Landscaping Sheet L100 in the northwest corner of basin 2P is not shown on the grading plan. Make plans concurrent. Need retaining wall details as well as showing a railing for walls over 5 feet high.

cc: Cathy Austin; Greg Holverson; Kile Kuhlmeier; Gerard Koehler, Kevin Risch

Engineering Services
4401 Green Bay Road
Kenosha WI 53144

Phone (262) 653-4315
Fax (262) 653-4303



"Providing and Protecting Kenosha's Greatest Natural Resource"

MEMO

To: Brian Wilke, Development Coordinator

From: Ian C. Bagley, P.E., Water Engineer

Date: June 8, 2015

Subject: Brookside Care Center Addition

Location: 3506 Washington Road

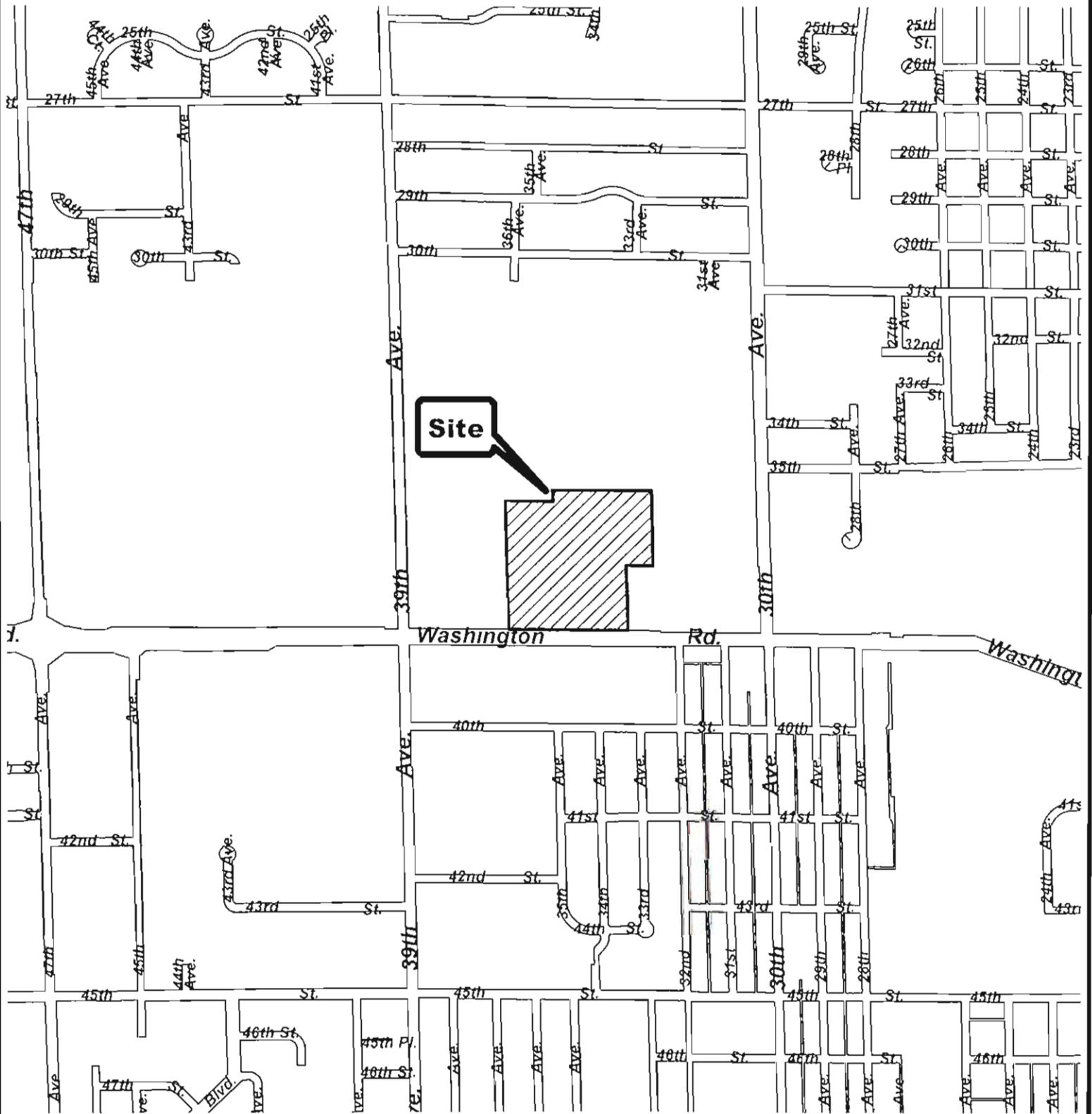
The Kenosha Water Utility (KWU) has reviewed the submittal for the above referenced project. Further information from the Developer is required before the Utility can complete this review. Please withhold all permits until the following information is submitted.

1. Show the water meter size and location, including a detail or diagram, on the construction plans, not with the MEP submittal. The water meter shall have unobstructed access, twelve inches (12") from the inside wall, twelve to twenty-four inches (12"-24") above the floor. The meter shall have a valve on the inlet and outlet pipe. Water meter to be supplied by KWU.
2. All water meters one and one half inches (1-1/2") or greater shall have a bypass with a two way ball valve with locking handle as manufactured by RuB, or approved equal.
3. Meters three inches (3") and larger shall have a two inch (2") test plug provided between the outlet side of the meter and the outlet valve.
4. A 3C18 gauge cable by Belden-M, or approved equal, shall be installed in a one half inch (1/2") conduit through the exterior wall for the remote meter reader. Remote reader to be field located by KWU meter division.
5. Since this is a looped system with two connections to the public water main, check valves within manholes or vaults shall be installed in accordance with Wisconsin Administrative Code NR 811.68(3). As an alternative, provide internal plumbing plans which show that the two services do not interconnect within the building.
6. Label invert elevations on all water and sanitary service stubs and fittings and provide pipe slopes for all water and sanitary service lines.

7. Water main and services shall have a blue 12 gauge locator wire installed along the entire length. Locator wire shall be brought to the surface in the curb box, at each fire hydrant and at the edge of the building and enclosed in a curb box with "water" on the cover.
8. An "Internal / External" manhole seal as manufactured by Adaptor, Inc. shall be provided for the existing sanitary sewer manhole north of INL-12. A detail for the seal can be found at <http://www.adaptorinc.com/pdf/inxspecc.pdf>.
9. Sanitary sewer laterals shall have a green 12 gauge locator wire installed along the entire length. Locator wire shall be brought to the surface at the edge of the building and enclosed in a curb box with "sewer" on the cover.
10. Include the following note on the Utility Plans:
 - a. Water services larger than two inches (2") shall be flushed and bacteria tested in accordance with KWU Chapter XXXII Rules & Regulations, Rule 06-34.
11. There appear to be conflicts between the proposed storm sewer near Storm Water Basin 1P and the proposed water service as well as the proposed fire department connector service. The storm sewer has an invert elevation of approximately 67.8±. The water service and fire department connector service have an invert elevation of approximately 67.4± based on the proposed grading plan and the note that the services shall have a minimum of six feet (6') of cover.

CC: Mr. Robert Carlson, P.E., Director of Engineering Services

City of Kenosha
Vicinity Map
Brookside Care Center Addition CUP



**Development Review Application
City of Kenosha, Wisconsin**

MAILING INFORMATION

NAME OF PROJECT: Proposed Brookside Care Center

Check one (1) of the following boxes to indicate the recipient of all correspondence:

<input type="radio"/>	Name and Address of Applicant [Please print]: <u>Ray Arbet</u> <u>Kenosha County Department of Public Works</u> <u>19600 75th Street</u> <u>Bristol, WI 53104</u>	Phone: <u>(262) 857-1870</u> Fax: _____ E-Mail: <u>ray.arbet@kenoshacounty.org</u>
<input checked="" type="radio"/>	Name and Address of Architect/Engineer [Please print]: <u>Mike Oates</u> <u>Eppstein Uhen Architects</u> <u>333 East Chicago Street</u> <u>Milwaukee, WI 53202</u>	Phone: <u>414-271-5350</u> Fax: _____ E-Mail: <u>mikeo@eua.com</u>
<input type="radio"/>	Name and Address of Property Owner (if other than applicant)[Please print]: <u>Ray Arbet</u> <u>Brookside Care Center</u> <u>3506 Washington Road</u> <u>Kenosha, WI</u>	Phone: <u>(262) 857-1870</u> Fax: _____ E-Mail: _____

PROJECT LOCATION

Location of Development (street address and / or parcel number): 3506 Washington Road

TYPE OF LAND DEVELOPMENT

Check all that apply. Note: Additional information may be required within individual Sections.

<input type="checkbox"/>	Certified Survey Map	Section 1	Page 3
<input type="checkbox"/>	Concept Review (<i>Land Division</i>)	Section 2	Page 4
<input type="checkbox"/>	Concept Review (Multi-Family Residential or Non-Residential)	Section 3	Page 5
<input checked="" type="checkbox"/>	Conditional Use Permit	Section 4	Pages 6 & 7
<input type="checkbox"/>	Developer's Agreement	Section 5	Page 8
<input type="checkbox"/>	Final Plat	Section 6	Pages 9 & 10
<input type="checkbox"/>	Lot Line Adjustment Survey	Section 7	Page 11
<input type="checkbox"/>	Preliminary Plat	Section 8	Pages 12 & 13
<input type="checkbox"/>	Rezoning	Section 9	Pages 14 & 15
<input type="checkbox"/>	Site Plan Review	Section 10	Pages 16 & 17

**PRIOR TO SUBMITTING THIS APPLICATION TO THE DEPARTMENT OF CITY DEVELOPMENT,
PLEASE REVIEW THE APPROPRIATE SECTION(S) FOR FEES, REQUIREMENTS AND APPROPRIATE APPENDICES.**

*Submit this cover page, completed application, applicable section(s) and appendices
along with ALL required plans, information and fees to:*

Department of Community Development & Inspections
Planning Division
625 52nd Street, Room 308
Kenosha, WI 53140

Phone: 262.653.4030
Fax: 262.653.4045

Office Hours:
M - F 8:00 am – 4:30 pm

**SECTION 4
CONDITIONAL USE PERMIT**

Additional Information Required:	Building or Addition Square Footage: <u>57,200 s.f.</u>
	Existing Building Size: <u>70,599 s.f.</u>
	Site Size: <u>22.8173 Acres (6688 Acres - Parcel 2)</u>
	Current # of Employees <u>100/ shift</u> Anticipated # of New Employees <u>20/ shift</u>
Anticipated Value of Improvements <u>\$16,700,000</u>	

Submittal Requirements:	<ul style="list-style-type: none"> > Ten (10) full size scaled copies of Specified Plans indicated below drawn at a standard engineering scale > Developer Site Plan/Conditional Use Permit Checklist (Appendix A)
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If Item to be Reviewed by Plan Commission/Common Council must Submit:	<ul style="list-style-type: none"> > One (1) 8 1/2" x 11" reduction <i>or</i> twenty (20) 11" x 17" reductions of the Site/Landscape Plan, Floor Plan and Colored Building Elevations (all sides) > Sample Board containing colored samples of all exterior building materials
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Fees:	Level 1	Building or Addition Size <= 10,000 sq. ft.	Site size <= 1 acre	Review Fee \$900 = City Plan Dept. <i>or</i> \$1,025 = CPC/CC
	Level 2	10,001 - 50,000 sq. ft.	1.01 - 10 acres	\$1,175 = City Plan Dept. <i>or</i> \$1,300 = CPC/CC
	Level 3	50,001 - 100,000 sq. ft.	10.01 - 25 acres	\$1,600 = City Plan Dept. <i>or</i> \$1,725 = CPC/CC
	Level 4	> 100,001 sq. ft.	> 25.01 acres	\$2,000 = City Plan Dept. <i>or</i> \$2,125 = CPC/CC
	<ul style="list-style-type: none"> > If building size or addition and gross acreage of the site determine two (2) different fees, the greater of the two fees will be assessed. > Application fee entitles applicant to an initial review and one re-submittal. > Re-submittal fee = \$425 per re-submittal after two (2) permitted reviews. > CUP Amendment = 50% of the applicable fee as determined above. 			

Appendices to Review:	> All
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Approximate Review Time:	<ul style="list-style-type: none"> > 30 days for Staff Review > 45-60 days for City Plan Commission/Common Council Review
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The conditional use permit plans, *prepared to a standard engineering scale*, shall be submitted with this application & shall include the following information:

Building Plan:	<ul style="list-style-type: none"> EUA > Layout of building(s) including size and layout of rooms EUA > Design and architecture GL > Plans and details on fire suppression and/or standpipe GL > Plans and details on fire detection, fire alarm and other safety devices
Site Plan (based on a plat of survey)	<ul style="list-style-type: none"> JSD > Legal description of property JSD > Location and footprint of building(s) and structure(s) JSD > Locations of existing and proposed streets, drives, alleys, easements, rights-of-way, parking as required, vehicular and pedestrian access points, and sidewalks EUA > Outline of any development stages JSD > Location and details on any required emergency access roads JSD > A calculation of square footage devoted to building, paving and sidewalks, and landscaped/open space
Drainage Plan	<ul style="list-style-type: none"> JSD > Existing topography, including spot elevations of existing buildings, structures, high points, and wet areas, with any previous flood elevations JSD > Floodplain boundaries, if applicable JSD > Soil characteristics, where applicable JSD > Proposed topography of the site denoting elevations and natural drainage after construction and any proposed stormwater retention areas

**BROOKSIDE CARE
CENTER**

**3506 Washington Rd
Kenosha, WI 53144**



eppstein uhen : architects

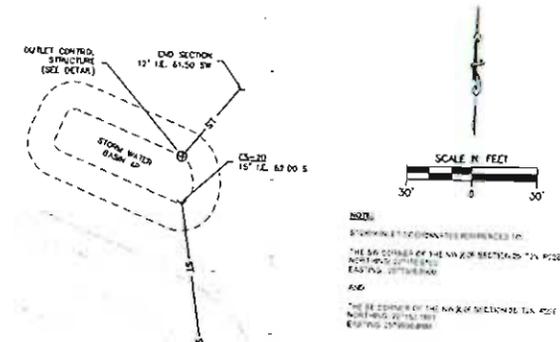
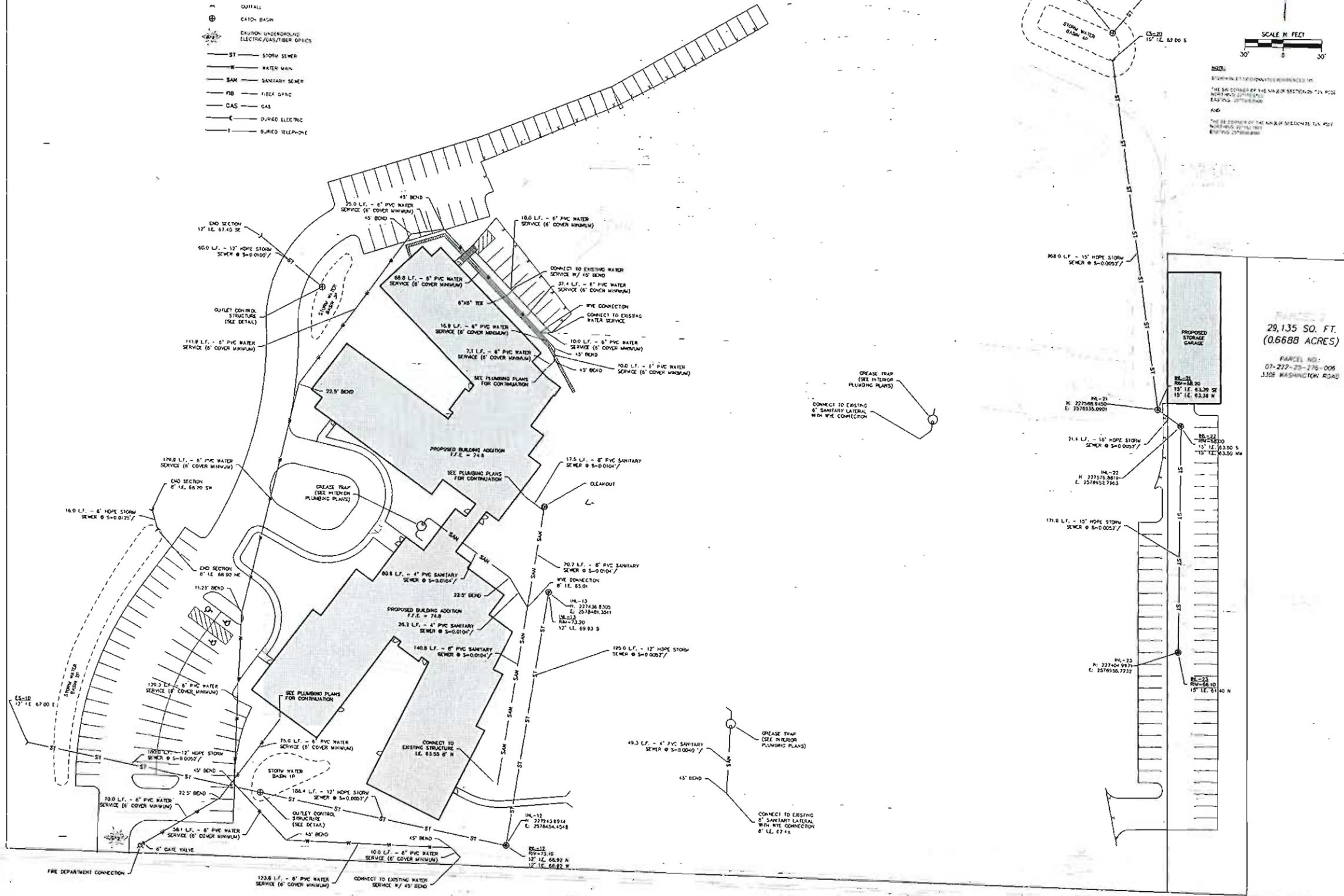
CUP SUBMITTAL

LEGEND

- ⊕ SANITARY SEWER MANHOLE
- ⊕ FIRE HYDRANT
- ⊕ WATER VALVE
- ⊕ STORM SEWER MANHOLE
- ⊕ OUTFALL
- ⊕ CATCH BASIN
- ⊕ CAUTION UNDERGROUND ELECTRIC/GAS/FIBER OPTICS
- ST STORM SEWER
- W WATER MAIN
- SAN SANITARY SEWER
- FB 1/2" BK GPIC
- GAS GAS
- E BURIED ELECTRIC
- T BURIED TELEPHONE

993,923 SQ. FT.
(22.8173 ACRES)

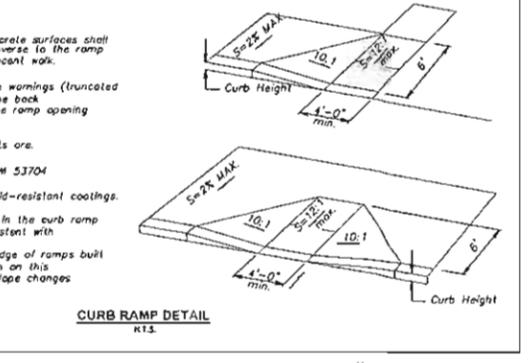
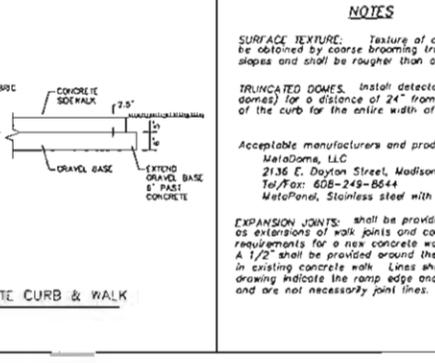
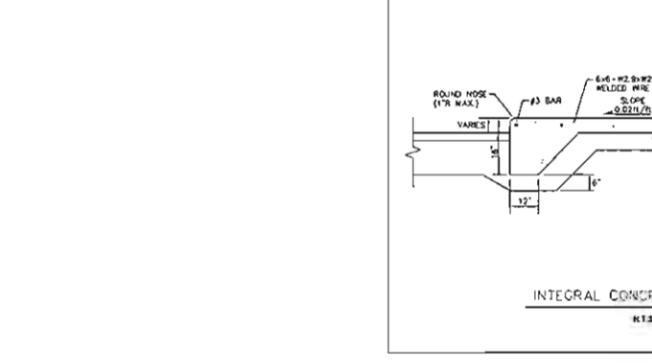
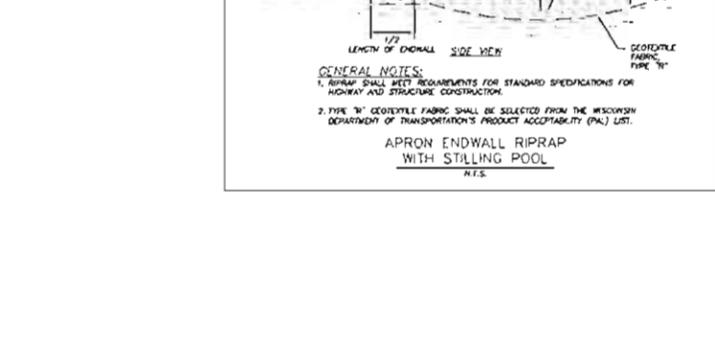
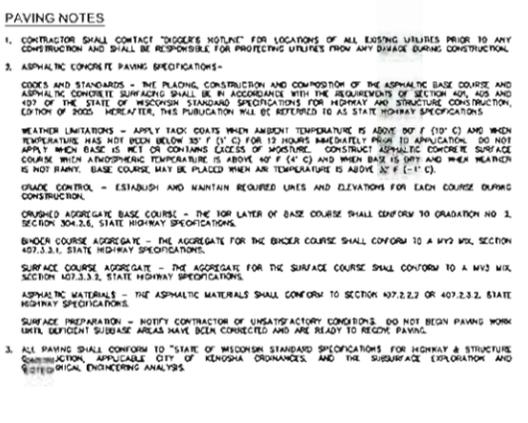
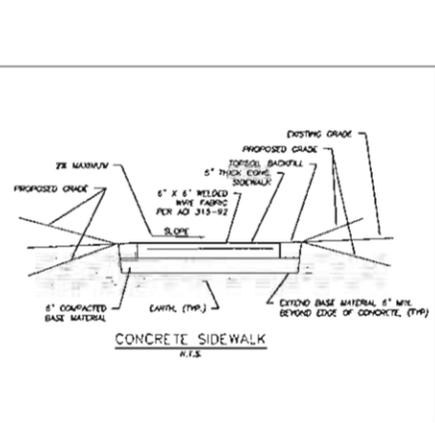
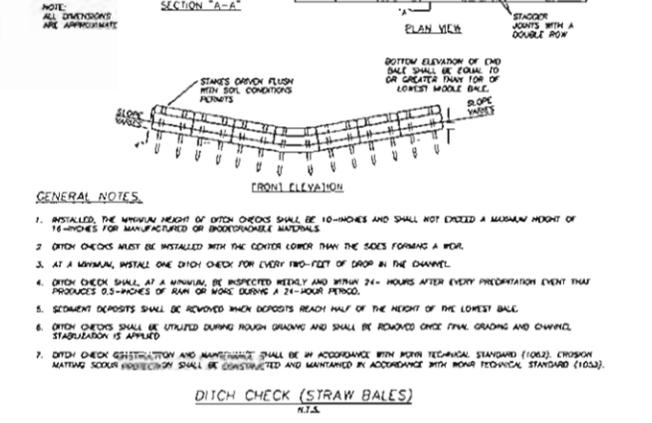
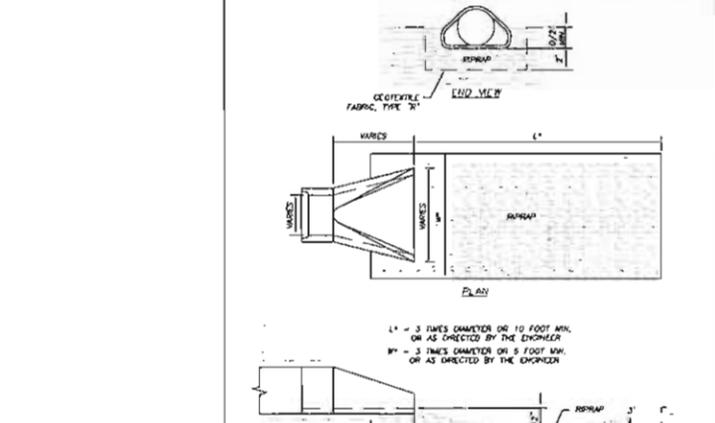
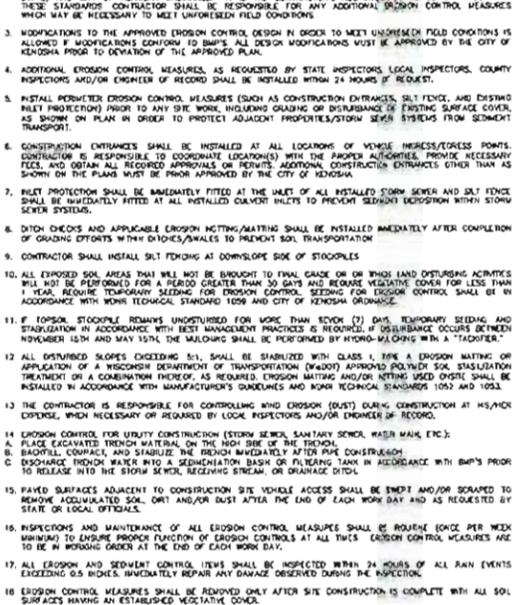
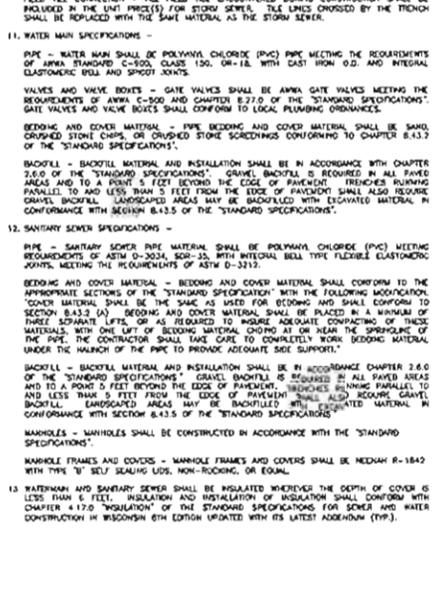
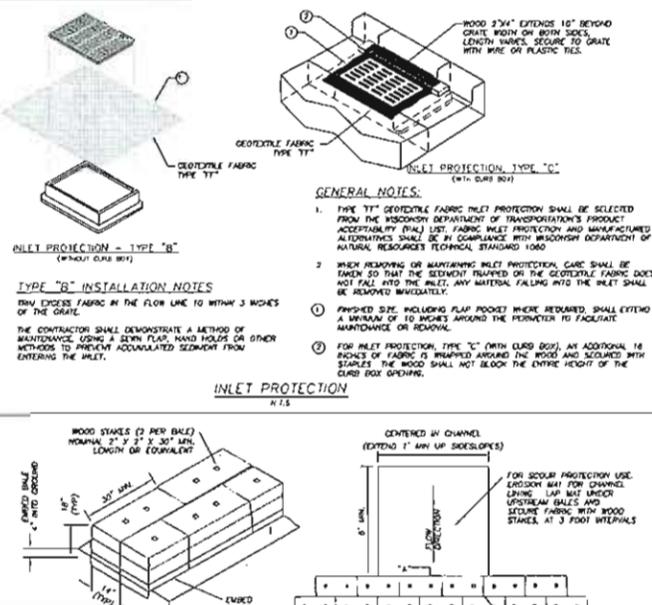
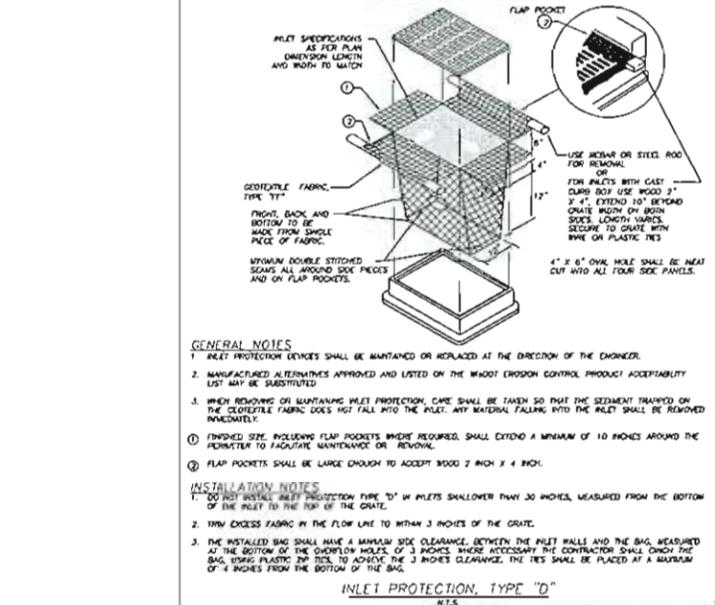
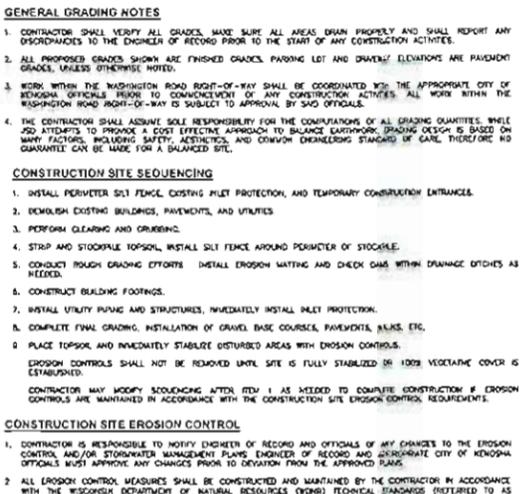
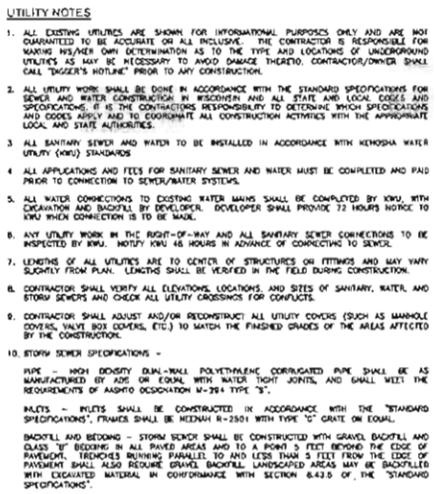
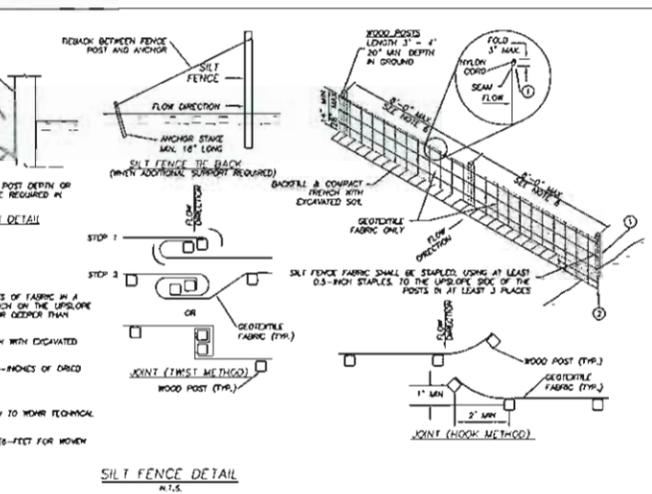
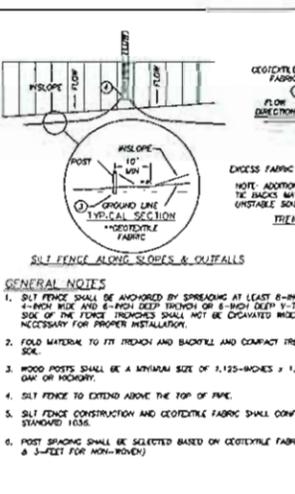
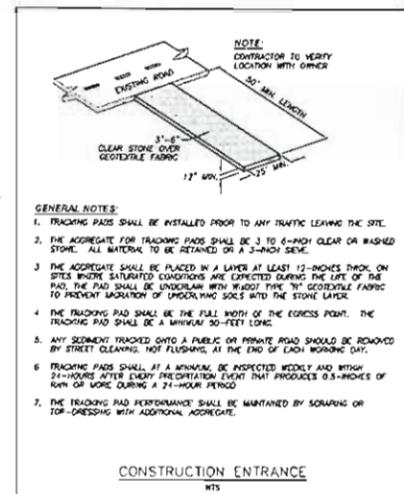
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3506 WASHINGTON ROAD



29,135 SQ. FT.
(0.6688 ACRES)

PARCEL NO. 07-222-25-278-006
1308 WASHINGTON ROAD

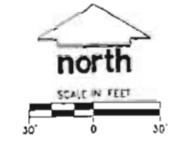
NORTH PLUMBING CONSULTANTS, LLC, 1000 W. 10TH AVENUE, SUITE 100, DENVER, CO 80202



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PARCEL 1
 993,923 SQ. FT.
 (22.8173 ACRES)

PARCEL NO: 07-222-25-251-005
 3506 WASHINGTON ROAD



eppstein uhen : architects
 153 East Center Street
 Milwaukee, WI 53202
 414.224.2700
 222 West Wisconsin Ave. Suite 800
 Kenosha, WI 53140
 414.393.1300

PROJECT INFORMATION
BROOKSIDE CARE CENTER

3506 Washington Rd
 Kenosha, WI 53144



ISSUANCE AND REVISIONS
SCHEMATIC DESIGN

DATE	DESCRIPTION

KEY PLAN

JSD Professional Services, Inc.
 Engineers • Surveyors • Planners
 1000 N. Lincoln Ave. Suite 200
 Kenosha, WI 53140
 414.393.1300
 www.jsdinc.com

SHEET INFORMATION
PROGRESS DOCUMENTS NOT FOR CONSTRUCTION
 PROJECT MANAGER: HQ
 PROJECT NUMBER: 12375-01
 DATE: 05-15-16

CONCEPT LANDSCAPE PLAN
L100

- SHADE TREES (DECIDUOUS)**
- ABM Autumn Blaze Maple
 - GMAM Green Mountain Sugar Maple
 - CLH Chagall Red Maple
 - SM Skyline Red Maple
 - AGSH Autumn Spice Maple
 - SWD Swallow White Oak
 - NRO Northern Red Oak
 - BC Bald Cypress

- ORNAMENTAL TREES (DECIDUOUS)**
- ABS Autumn Brilliance Serviceberry
 - CM Cornelian Cherry
 - TCH Thicket Color Tree Hawthorn
 - DMM D. M. M. Magnolia
 - PIC Prune Tree Flowering Crabapple
 - JTL Iron Sky Japanese Tree Lilac

- EVERGREEN TREES**
- FV1 Fairview Light Green Juniper
 - NS Norway Spruce
 - BMS Black Hills Spruce

- EVERGREEN SHRUBS**
- GVB Green Velvet Boxwood
 - SGI Sea Green Juniper
 - ICPJ Kelly Compact Filizy Juniper

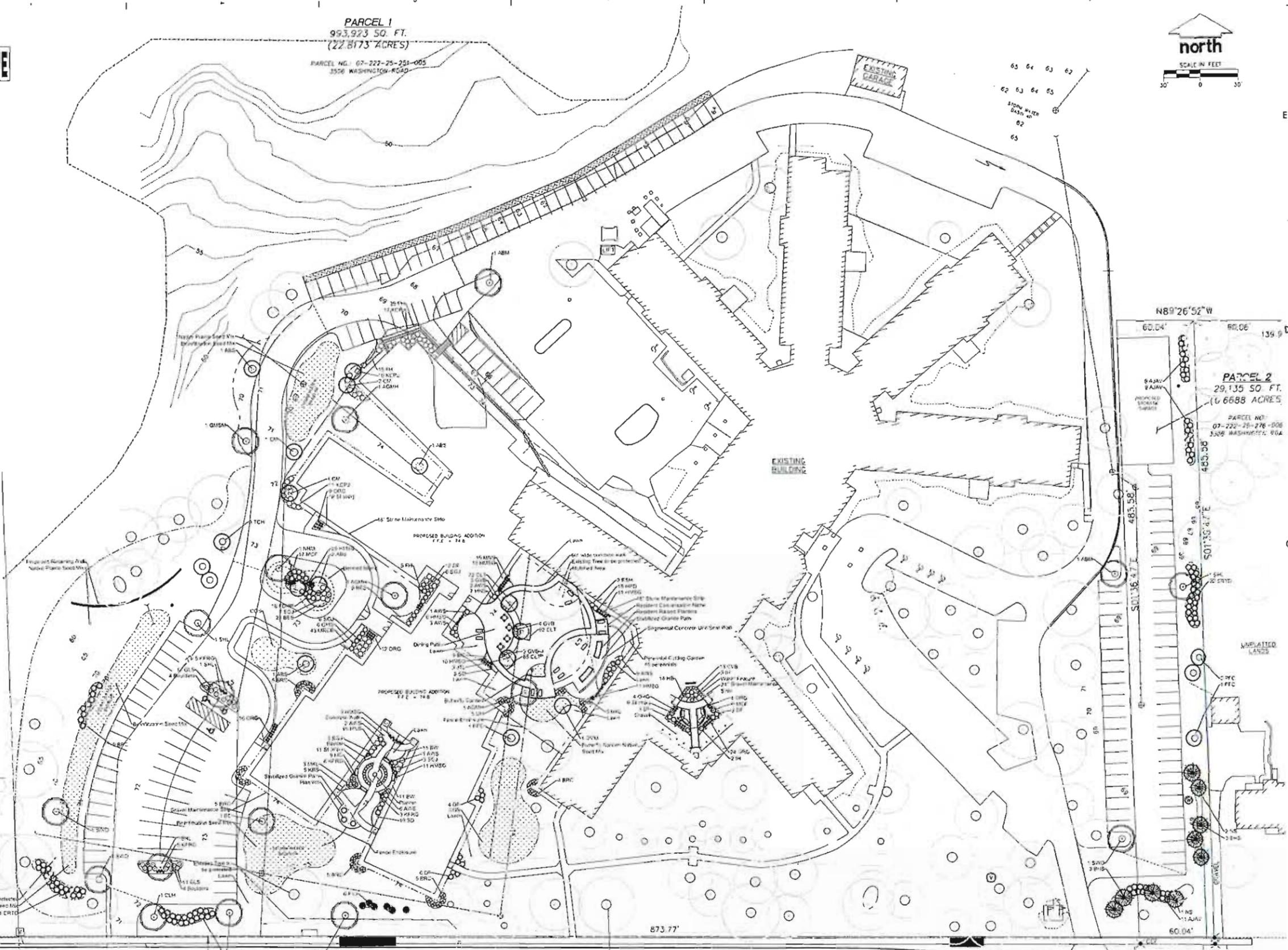
- DECIDUOUS SHRUBS**
- BRC Brilliant Red Crabapple
 - CRD Cardinal Redwing Dogwood
 - DF Deer Fielding Hia
 - SH Shrub Hydrangea
 - ESH Endless Summer Hydrangea
 - LH Lonicera Hybrid
 - GLS Goliath Fragrant Sumac
 - FDHR Frazz Dogwood Hybrid Magnolia Rose
 - AW5 Anthony Waterer Spirea
 - GMS Goldmound Spirea
 - IAL Miss Kim Dwarf Lilac
 - AJAV Autumn Jazz Arrowwood Viburnum
 - MV Michigan Viburnum

- ORNAMENTAL GRASSES**
- ZFG Zebra Foliage Feather Reed Grass
 - ORG Oriskany Feather Reed Grass
 - HRSG Heavy Metal Switch Grass

- HERBACEOUS PERENNIALS**
- PER Cutting Flower Perennials
 - BW Butterfly Weed
 - HB Heartleaf Bergenia
 - MC Monarda Coral Bells
 - MC1 Magnolia Purple Coneflower
 - MC2 White Swan Coneflower
 - HRO Happy Returns Daylily
 - MRCB Midnight Rose Coral Bells
 - FR Franconia Hosta
 - SI Casara's Brother Sidenan Iris
 - SI Sirova Quercus
 - SCD Snow Cap Daylily
 - VSS Verbena Blazing Star
 - BS3 Black-eyed Susan
 - LEVS May Night Saxifrage

- GROUNDCOVERS & VINES**
- CLT Creeping Lily Turf
 - CDL Common Day Ledge

PLANT KEY



CONCEPT LANDSCAPE PLAN

Scale: 1"=30'0"





CALL DIGGERS HOTLINE
811 or 1-800-242-8314
WIS. AREA: 259-1191
MS. STATUTE: 182.0176(1974)
REQUIRES MIN. 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE



- SHADE TREES (DECIDUOUS)**
- ABIA Autumn Blaze Maple
 - GAIA Green Mountain Sugar Maple
 - CLH Chicago Land Hardwood
 - SHL Shiloh Honey Locust
 - AGMH Autumn Gold Mareehair
 - SWO Swamp White Oak
 - NRO Northern Red Oak
 - BC Bald Cypress

- ORNAMENTAL TREES (DECIDUOUS)**
- ABS Autumn Brilliance Serviceberry
 - CM Corelian Cherry
 - TCH Thornless Cockspur Hawthorn
 - DMM Dr. Merrill Magnolia
 - PFC Prairie Fire Flowering Crabapple
 - JTL Ivory Silk Japanese Tree Lilac

- EVERGREEN TREES**
- FVJ Fairview Upright Juniper (upright)
 - NS Norway Spruce
 - BHS Black Hills Spruce

- EVERGREEN SHRUBS**
- GVJ Green Velvet Boxwood
 - SGJ Sea Green Juniper
 - KCPJ Killyas Compact Pfitzen Juniper

- DECIDUOUS SHRUBS**
- BRC Brilliant Red Chokeberry
 - CRTD Cardinal Redwing Dogwood
 - DF Dwarf Kosteropsis
 - IH Incredible Hydrangea
 - ESH Endless Summer Hydrangea
 - UH Unique Hydrangea
 - GLS Glow Fragrant Sumac
 - FDHR Frau Dringler Hainholz Rosa Rose
 - ATWS Autumn Wonders Spirea
 - GLMS Goldmound Spirea
 - MEL Miss Kate Dwarf Lilac
 - AJAV Autumn Jari Arrowwood Viburnum
 - MV Multan Viburnum

- ORNAMENTAL GRASSES**
- KFRG Karl Foerster Feather Reed Grass
 - ORG Overlawn Feather Reed Grass
 - HMSG Heavy Metal Switch Grass

- HERBACEOUS PERENNIALS**
- PER Cutting Flower Perennials
 - BW Butterfly Weed
 - HB Heartleaf Bergenia
 - KC Kusanagi Coreopsis
 - KCF Kusanagi Purple Coneflower
 - FACT White Swan Coreopsis
 - NBD Purple Raindrops Butterfly
 - NKCB Nightlight Rose Coralbells
 - FH Franseria Hosta
 - SI Caspars Brother Sibirian Iris
 - SI Snow Queen Iris
 - SCD Snow Capi Daisy
 - KBS Kobold Blazing Star
 - BES Black eyed Susan
 - MNS Mar Night Salvia

- GROUNDCOVERS & VINCS**
- CLT Creeping Jilly turf
 - COS Common Oak Sedge

PLANT KEY



eppslein uhen : architects
333 East Chicago Street
Milwaukee, WI 53212
Tel: 414.224.4400
Fax: 414.224.4401
www.eua.com

PROJECT INFORMATION

BROOKSIDE CARE CENTER
3506 Washington Rd
Kenosha, WI 53144



ISSUANCE AND REVISIONS

#	DATE	DESCRIPTION

SCHEMATIC DESIGN

KEY PLAN

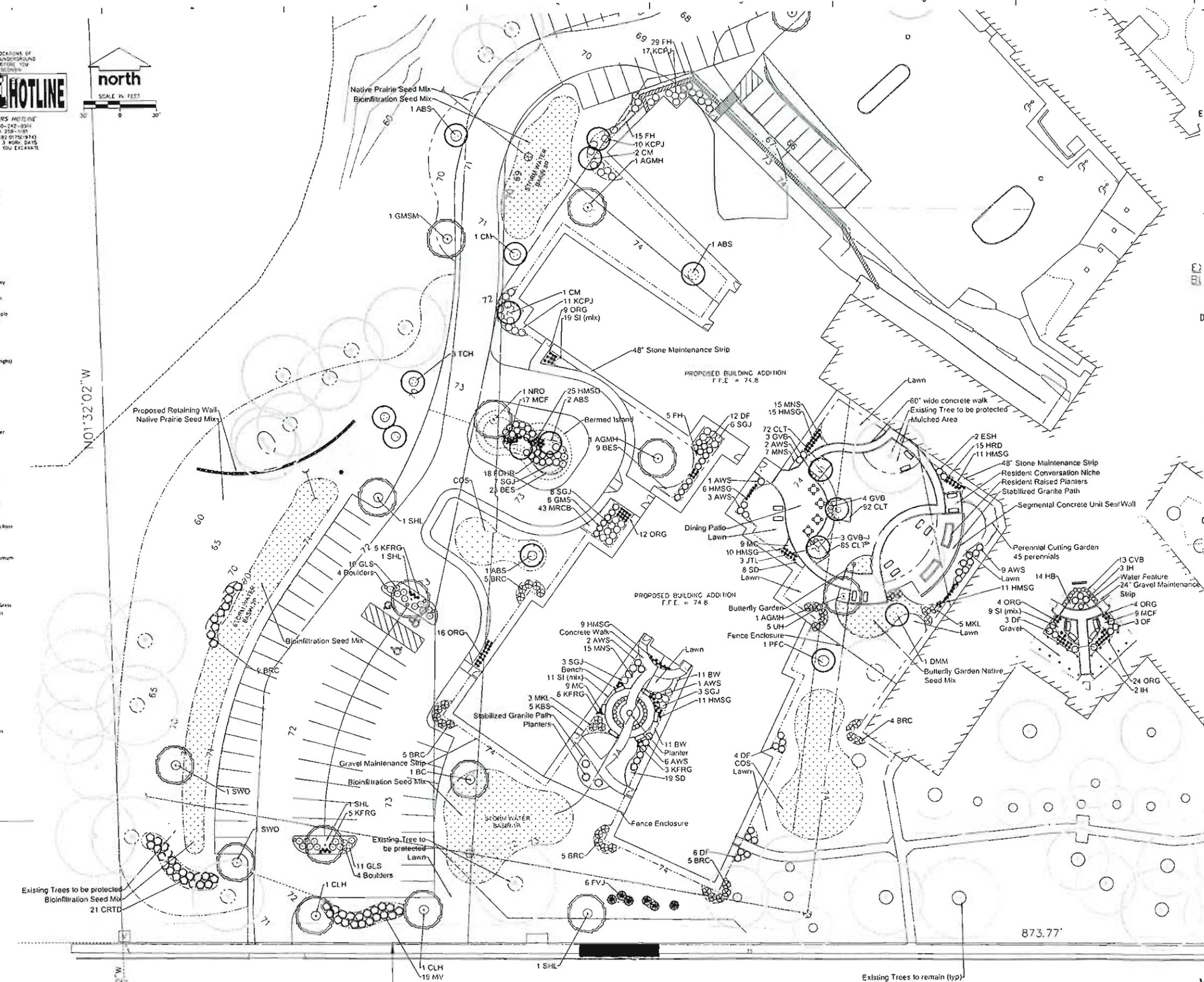
JSD Professional Services, Inc.
Engineers • Surveyors • Planners
1100 N. Lincoln Ave., Suite 200
Kenosha, WI 53142
Tel: 920.393.3333
Fax: 920.393.3334
www.jsdinc.com

SHEET INFORMATION

PROGRESS DOCUMENTS NOT FOR CONSTRUCTION
These documents are preliminary and are not to be used for construction. They are subject to change without notice. The client is responsible for obtaining all necessary permits and approvals.
PROJECT MANAGER: HIO
PROJECT NUMBER: 112375-01
DATE: 05-15-15

ENLARGED LANDSCAPE CONCEPT PLAN

L101

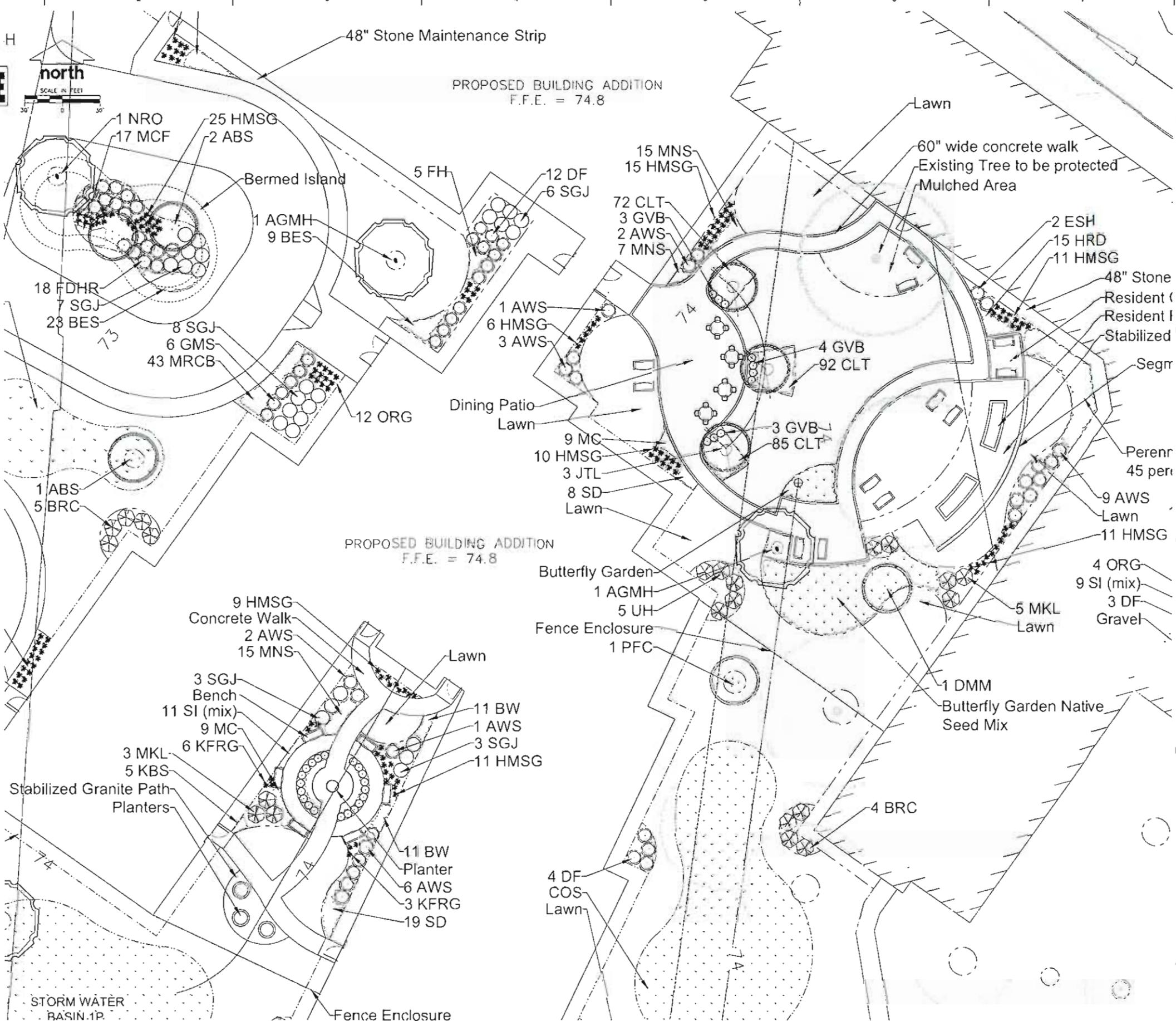


CONCEPT LANDSCAPE PLAN

Scale: 1"=20'0"



TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
DIGGERS HOTLINE
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 MILWAUKEE AREA: 259-1181
 WIS. STATUTE 183.01(2)(1974)
 REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE



- SHADE TREES (DECIDUOUS)**
- ASIM Autumn Blaze Maple
 - GSM Green Mountain Sugar Maple
 - CLH Choccoland Honeylocust
 - SHL Skyline Honeylocust
 - AGMH Autumn Gold Linden
 - SVO Swamp White Oak
 - NRO Northern Red Oak
 - BC Bald Cypress
- ORNAMENTAL TREES (DECIDUOUS)**
- ABS Autumn Brilliance Serviceberry
 - CAE Carolina Cherry
 - TCH Thornless Cockspur Hawthorn
 - DMA Dr. Merrill Magnolia
 - PFC Prairie Fire Flowering Crabapple
 - JTL Ivory Silk Japanese Tree Lilac
- EVERGREEN TREES**
- FVJ Fairview Spire Juniper Supreme
 - NS Norway Spruce
 - BNS Black Hills Spruce
- EVERGREEN SHRUBS**
- GVB Green Velvet Boxwood
 - SGJ Sea Green Juniper
 - ECPI Italian Columnar Pfitzer Juniper
- DECIDUOUS SHRUBS**
- BRC Britton Red Chokeberry
 - CRD Cardinal Redwing Dogwood
 - DF Dwarf Forsythia
 - IH Incredible Hydrangea
 - ESH Endless Summer Hydrangea
 - UH Unique Hydrangea
 - GIS Green Ice Fragrant Sumac
 - FDHR Franco Dragone Hydrangea Rose
 - AWS Anthony Waterer Spirea
 - GAS Galathea Spirea
 - MKL Mollie Kim Dwarf Lilac
 - AJAV Autumn Jazz Amurwood Viburnum
 - MV Mollitan Viburnum
- ORNAMENTAL GRASSES**
- KFRG Karl Foerster Feather Reed Grass
 - ORG Overdam Feather Reed Grass
 - HMSG Heavy Metal Switch Grass
- HERBACEOUS PERENNIALS**
- PER Cutting Flower Perennials
 - BW Butterfly Weed
 - HB Heartleaf Bergonia
 - MC Moonbeam Coreopsis
 - MCF Magenta Purple Coreopsis
 - ACF White Sweet Coreopsis
 - HRD Happy Returns Daylily
 - KRCE Koldigha Renee Carabelis
 - FR Frances Morris
 - SI Galeari's Brother Siberian Iris
 - SI Snow Queen Iris
 - SCD Super Cad Daylily
 - KES Kobold Blazing Star
 - BES Black-eyed Susan
 - MNS May Night Salvia
- GROUNDCOVERS & VINES**
- CLT Creeping Lily Turf
 - COS Common Barberry
- PLANT KEY**

eua
 eppstein uhen : architects
 3506 Washington Rd
 Kenosha, WI 53144
 227.444.2222
 www.eua.com

PROJECT INFORMATION
BROOKSIDE CARE CENTER
 3506 Washington Rd
 Kenosha, WI 53144



ISSUANCE AND REVISIONS
SCHEMATIC DESIGN

#	DATE	DESCRIPTION

KEY PLAN

JSD Professional Services, Inc.
 Engineers • Surveyors • Planners
 1000 W. Wisconsin Ave., Suite 200
 Kenosha, WI 53144
 227.444.2222
 www.jsdinc.com

SHEET INFORMATION
PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION
 PROJECT MANAGER: MD
 PROJECT NUMBER: 112375-01
 DATE: 05-15-15

ENLARGED LANDSCAPE CONCEPT PLAN

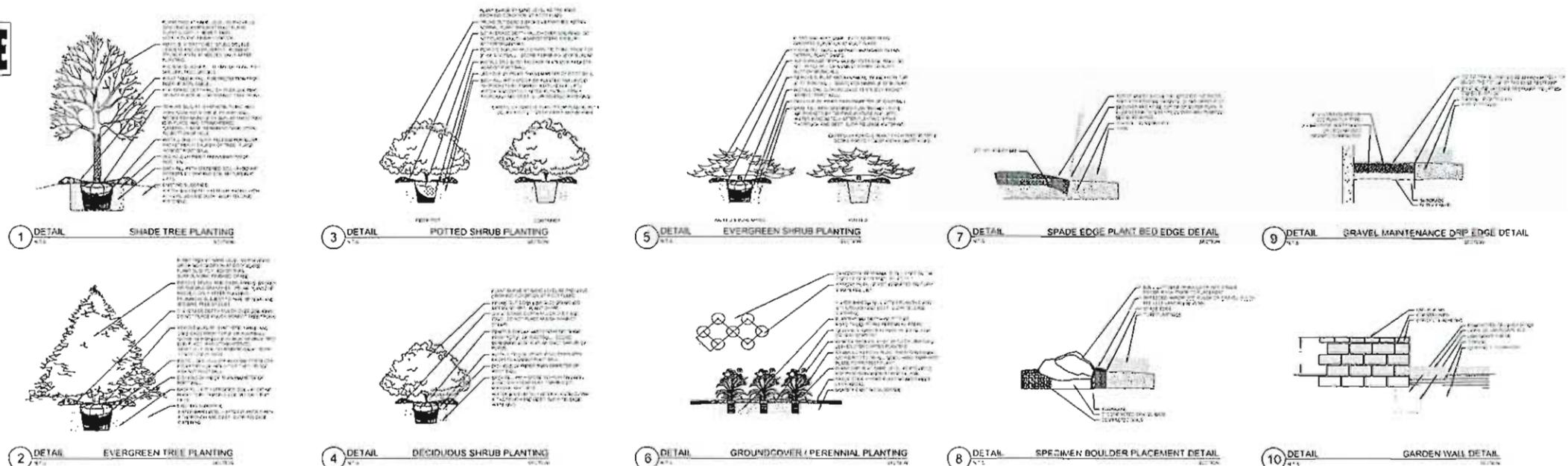
L102

CONCEPT LANDSCAPE PLAN

Scale: 1"=20'0"



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 NOTICE BEFORE YOU EXCAVATE



LANDSCAPE & HARDSCAPE DETAILS

Scale: None

PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	CALIPER	ROOT	SPECIFICATION / NOTES
Proposed Landscape Materials						
SHADE TREES (DECIDUOUS)						
ABM	2	Acer freemanii 'Autumn Blaze'	Autumn Blaze Maple	3.0"	B&B	Straight central leader, full and even crown. Prune only after planting.
GASM	1	Acer saccharum 'Green Mountain'	Green Mountain Sugar Maple	3.0"	B&B	Straight central leader, full and even crown. Prune only after planting.
GLH	2	Celtis occidentalis 'Choccoland'	Choccoland Hackberry	3.0"	B&B	Straight central leader, full and even crown. Prune only after planting.
SHI	5	Cedrus trichocarpa 'Skyline'	Skyline Honeylocust	3.0"	B&B	Straight central leader, full and even crown. Prune only after planting.
AGMH	1	Cornus florida 'Autumn Gold'	Autumn Gold Dogwood	3.0"	B&B	Straight central leader, full and even crown. Prune only after planting.
SWD	3	Quercus bicolor	Swamp White Oak	3.0"	B&B	Straight central leader, full and even crown. Prune only after planting.
NRO	3	Quercus rubra	Northern Red Oak	3.0"	B&B	Straight central leader, full and even crown. Prune only after planting.
BC	3	Taxodium distichum	Bald Cypress	3.0"	B&B	Straight central leader, full and even crown. Prune only after planting.
ORNAMENTAL TREES (DECIDUOUS)						
ABS	5	Amelanchier grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	7-8"	B&B	Well balanced multi-stemmed tree with minimum four canes, and full appearance.
CM	3	Cornus mas	European Cornelian Cherry	6-7"	B&B	Well balanced multi-stemmed tree with minimum four canes, and full appearance.
TCM	3	Cornus rugosa 'Inermis'	Thornless Cockspur Hawthorn	7-8"	B&B	Well balanced multi-stemmed tree with minimum four canes, and full appearance.
DMS	1	Malus baccata 'Dr. Neff'	Dr. Neff Malus	7-8"	B&B	Well balanced multi-stemmed tree with minimum four canes, and full appearance.
PTC	4	Malus 'Prinzess'	Princess Flowering Crabapple	7-8"	B&B	Well balanced multi-stemmed tree with minimum four canes, and full appearance.
ITL	3	Syringa reticulata 'Honey Bell'	Honey Bell Japanese Tree Lilac	7-8"	B&B	Well balanced multi-stemmed tree with minimum four canes, and full appearance.
EVERGREEN TREES						
FV	6	Juniperus scopulorum 'Fairview'	Fairview Upright Juniper (upright)	5-6"	B&B	Evenly shaped tree with branching to the ground.
NS	3	Picea abies	Norway Spruce	7-8"	B&B	Evenly shaped tree with branching to the ground.
BHS	6	Picea densata 'glauca'	Black Hills Spruce	7-8"	B&B	Evenly shaped tree with branching to the ground.
EVERGREEN SHRUBS						
QVB	23	Buxus 'Green Velvet'	Green Velvet Boxwood	10"	CONT.	Full rounded well branched shrub.
SG	24	Juniperus chinensis 'Sea Green'	Sea Green Juniper	45"	CONT.	Full rounded well branched shrub.
KCPJ	33	Juniperus chinensis 'Katalpa'	Katalpa Compact Platypus Juniper	45"	CONT.	Full rounded well branched shrub.
DECIDUOUS SHRUBS						
BRC	33	Aronia arbutifolia 'Brilliantissima'	Brilliant Red Chokeberry	42"	CONT.	Full, well rounded plant, evenly shaped.
CRD	43	Cornus sericea 'Cardinal'	Cardinal Red Dogwood	42"	CONT.	Full, well rounded plant, evenly shaped.
CF	38	Cotoneaster horizontalis	Dwarf Cotoneaster	30"	B&B	Full, well rounded plant with minimum four canes and healthy appearance.
HK	5	Hydrangea arborescens 'Inkberry'	Inkberry Hydrangea	45"	CONT.	Full, well rounded plant, evenly shaped.
ESH	2	Hydrangea macrophylla 'Endless Summer'	Endless Summer Hydrangea	45"	CONT.	Full, well rounded plant, evenly shaped.
UH	5	Hydrangea paniculata 'Unique'	Unique Hydrangea	45"	CONT.	Full, well rounded plant, evenly shaped.
GLS	21	Rhus aromatica 'Smokey'	Smokey Fragrant Sumac	45"	CONT.	Full, well rounded plant, evenly shaped.
FOHR	18	Rosa rugosa 'Fru Dagblir Hvitstjerna'	Fru Dagblir Hvitstjerna Rugosa Rose	16"	CONT.	Full, well rounded plant, evenly shaped.
AWV	24	Spiraea x bumalda 'Anthony Waterer'	Anthony Waterer Spiraea	24"	CONT.	Full, well rounded plant, evenly shaped.
GMS	6	Spiraea x bumalda 'Goldmound'	Goldmound Spiraea	24"	CONT.	Full, well rounded plant, evenly shaped.
NCL	5	Syringa patula 'Miss Kim'	Miss Kim Dwarf Lilac	24"	CONT.	Full, well rounded plant, evenly shaped.
AJAV	20	Viburnum dentatum 'Autumn Jazz'	Autumn Jazz Arrowwood Viburnum	42"	CONT.	Full, well rounded plant, evenly shaped.
MY	19	Viburnum lentago 'Molten'	Molten Viburnum	42"	B&B	Full, well rounded plant with minimum four canes and healthy appearance.
ORNAMENTAL GRASSES						
KFAG	10	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	41"	CONT.	Full, well rounded plant.
ORG	69	Calamagrostis acutiflora 'Overdam'	Overdam Feather Reed Grass	41"	CONT.	Full, well rounded plant.
HMSG	98	Panicum virgatum 'Heavy Metal'	Heavy Metal Switch Grass	41"	CONT.	Full, well rounded plant.

PLANT & MATERIAL SCHEDULE

Scale: None

PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE	SPECIFICATION / NOTES
HERBACEOUS PERENNIALS					
PER	45	Achillea millefolium Cutting Flower	Butterfly Weed	41"	Cont. Full, well rooted plant, evenly shaped.
BW	22	Achillea millefolium	Butterfly Weed	41"	Cont. Full, well rooted plant, evenly shaped.
HB	14	Achillea millefolium 'Perfect'	Heartleaf Bergenia	41"	Cont. Full, well rooted plant, evenly shaped.
MC	18	Achillea millefolium 'Moonbeam'	Moonbeam Coreopsis	41"	Cont. Full, well rooted plant, evenly shaped.
MCT	18	Achillea millefolium 'Magnus'	Magnus Purple Coreopsis	41"	Cont. Full, well rooted plant, evenly shaped.
ACT	8	Achillea millefolium 'Noble Swan'	White Swan Coreopsis	41"	Cont. Full, well rooted plant, evenly shaped.
HBD	15	Achillea millefolium 'Happy Returns'	Happy Returns Coreopsis	41"	Cont. Full, well rooted plant, evenly shaped.
MNCB	43	Achillea millefolium 'Mistral Rose'	Mistral Rose Coreopsis	41"	Cont. Full, well rooted plant, evenly shaped.
JH	49	Achillea millefolium 'Fountain'	Fountain Coreopsis	41"	Cont. Full, well rooted plant, evenly shaped.
SI	26	Achillea millefolium 'Tasmanian Blue'	Tasmanian Blue Coreopsis	41"	Cont. Full, well rooted plant, evenly shaped.
SI	13	Achillea millefolium 'Snow Queen'	Snow Queen Coreopsis	41"	Cont. Full, well rooted plant, evenly shaped.
SCO	27	Achillea millefolium 'Snow Cap'	Snow Cap Coreopsis	41"	Cont. Full, well rooted plant, evenly shaped.
KBS	5	Achillea millefolium 'Kobold'	Kobold Coreopsis	41"	Cont. Full, well rooted plant, evenly shaped.
BES	32	Achillea millefolium 'Goldstrum'	Black-eyed Susan	41"	Cont. Full, well rooted plant, evenly shaped.
MNS	22	Achillea millefolium 'May Night'	May Night Salvia	41"	Cont. Full, well rooted plant, evenly shaped.
GROUND COVERS & VINYS					
C11	222	Creeping Lilly Turf	Creeping Lilly Turf	0"	Pot. Full, well rooted plant.
COS	3438	Carex prostrata	Common Oat Sedge	2"	Plug. Full, well rooted plant.
LAWN					
		Lawn establishment Area / Grading Area		5'	Cedar Creek Premium Blue Flag Seed Mix (Ftn. 886113-6802)
	37,000	Erosion Matting for seeded areas	see plan for area delineation	5'	Erosion Matting for seeded areas
SOD					
		Sodded Areas (identified on plan)	see plan for area delineation	5'	Fresh cut, weed free, Bluegrass Blend Sod. Water immediately after installation.
ROCKS					
ROSM	370	Butterfly Garden Seed Mix	Butterfly Garden Seed Mix	5'	see plan for area delineation
NPMS	2356	Natural Plant Seed Mix	Natural Plant Seed Mix	5'	see plan for area delineation
RO	850	Recreation Seed Mix	Recreation Seed Mix	5'	see plan for area delineation
Hardscape Materials					
	3	Specimen Granite Boulders	see plan for location	16-24"	CA
	1	Common Granite Boulders	see plan for location	24-30"	CA
	3992	Heritage River Gravel Mulch (1.0-1.5" pieces)	4,000 SF	1N	2" depth
	14	Decorative Granite Surface (Block)	3,000 SF	1N	4" depth. Stabbed for ADA compliance, set over 6" compacted traffic base
	1025	Aluminum Edge Restraints (straight areas)	Perimeter Profile 3/16" x 5 1/2" Black Duralite 1-inch	1F	
	4200	Aluminum Edge Restraints (curved areas)	4,000 SF	1F	
	965	Aluminum Edge Restraints (bed area)	Perimeter Profile 3/16" x 5 1/2" Black Duralite 1-inch	1F	In all locations between 1/4" and 1/2" bed and 1/4" and 1/2" area, 1/4" and 1/2" bed only.
	7	Arise SCU Garden Planters	22" x 22" x 22" High	EA	
	110	SCU Planter	22" x 22" x 22" High	1SF	
	2	Precast Concrete Planters	30" diameter	EA	
	2	Precast Concrete Planters	36" diameter	EA	
	130	Shredded Hardwood Mulch (1" depth)	Area	CY	Bark Mulch, apply Prentiss after installation of mulch.
	90	Sod Amendments (1" depth)	Area	CY	
	90	Fertilized Topsoil (Lawn Area)	Area	CY	
	90	Fertilized Topsoil (Plant Bed Area)	Area	CY	
	2" PVC Sizing	erosion / lighting control	1F	Schedule 40 PVC	
	4" PVC Sizing	erosion / lighting control	1F	Schedule 40 PVC	

Seed Compositions:
 Cedar Creek Premium Blue Flag Seed Mix (Ftn. 886113-6802)
 10% Arroyo Kentucky Bluegrass
 10% Bluegrass
 20% Meyer Bluegrass
 20% Bluegrass
 20% Bluegrass
 20% Bluegrass
 20% Bluegrass

Soil Amendments (1" depth):
 Fertilized Topsoil (Lawn Area)
 Fertilized Topsoil (Plant Bed Area)

Soil Amendments (1" depth):
 Fertilized Topsoil (Lawn Area)
 Fertilized Topsoil (Plant Bed Area)

Soil Amendments (1" depth):
 Fertilized Topsoil (Lawn Area)
 Fertilized Topsoil (Plant Bed Area)

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 133 E. Washington St., Suite 200
 Kenosha, WI 53144
 262.399.4444
 262.399.4444

PROJECT INFORMATION
BROOKSIDE CARE CENTER
 3506 Washington Rd
 Kenosha, WI 53144



ISSUANCE AND REVISIONS
SCHEMATIC DESIGN

#	Date	Description
1	05-15-15	SCHEMATIC DESIGN

KEY PLAN

JSD Professional Services, Inc.
 Engineers • Surveyors • Planners
 1000 N. Lincoln Ave., Suite 200
 Kenosha, WI 53144
 262.399.4444
 www.jsdinc.com

SHEET INFORMATION
PROGRESS DOCUMENTS NOT FOR CONSTRUCTION

PROJECT MANAGER: MO
 PROJECT NUMBER: 12379-C1
 DATE: 05-15-15

LANDSCAPE DETAILS & SCHEDULES

L103



Agrecol
Agricultural Ecological Solutions
2918 Agriculture Drive
Madison, WI 53718
608-226-2544
www.agrecol.com

Agrecol - Agricultural Ecological Solutions
Sedge Meadow Short (Standard Mix)
Item # SWS-SMS Full Sun Exposure
Coverage Area 43,560 /SF
Seeds: 60 /SF

Mix Diversity by Type	% of Seed Count	Species Count
Grasses	7%	4
Sedges	51%	8
Wildflowers	42%	23
Legumes	DN	1
TOTALS	100%	36

Latin Name	Common Name	Origin	Total Seeds	% of Total Seeds
GRASSES				
<i>Glyceria canadensis</i>	Rainwater Grass	WI	34,304	1.31%
<i>Glyceria gracilis</i>	Reed Manna Grass	Green CO, WI	66,607	2.63%
<i>Glyceria striata</i>	Fowl Manna Grass	Walworth CO, WI	57,171	2.19%
<i>Leersia oryzoides</i>	Rice Cutgrass	Dane CO, WI	22,869	0.88%
SEDGES				
<i>Carex bebbii</i>	Bebb's Sedge	Dane CO, WI	249,926	9.56%
<i>Carex cincta</i>	Bristly Sedge	Rock CO, WI	126,963	4.79%
<i>Carex minima</i>	Fringed Sedge	Waukesha CO, WI	43,285	1.59%
<i>Carex polytricha</i>	Piscuine Sedge	Rock CO, WI	166,637	6.28%
<i>Carex stricta</i>	Common Fox Sedge	Dane CO, WI	249,926	9.56%
<i>Carex stricta</i>	Tussock Sedge	Waukesha CO, WI	33,123	1.25%
<i>Carex vulpinoidea</i>	Brown Fox Sedge	Dane CO, WI	206,271	7.92%
<i>Juncus effusus</i>	Common Rush	Waukesha CO, WI	249,926	9.56%
WILDFLOWERS				
<i>Anemone canadensis</i>	Canada Anemone	Dubuque CO, IA	5,489	2.07%
<i>Asclepias incarnata</i>	Marsh Milkweed	Dubuque CO, IA	11,861	0.45%
<i>Aster novae-angliae</i>	New England Aster	Iowa CO, WI	59,303	2.27%
<i>Aster purpureus</i>	Red-STEMMED Aster	Rock CO, WI	59,303	2.27%
<i>Eupatorium maculatum</i>	Spotted Joe Pye Weed	Iowa CO, WI	59,303	2.27%
<i>Eupatorium perfoliatum</i>	Boneset	Dane CO, WI	71,164	2.72%
<i>Gentian andrewsii</i>	Bottle Gentian	Walworth CO, WI	47,443	1.82%
<i>Halenium autumnale</i>	Sneezeweed	Iowa CO, WI	71,164	2.72%
<i>Helianthus scaberrimus</i>	Blue Flag Iris	Central IL	4,744	0.18%
<i>Lobelia cardinalis</i>	Cardinal Flower	IA	56,933	2.18%
<i>Lobelia siphilitica</i>	Great Blue Lobelia	Dane CO, WI	59,303	2.27%
<i>Liatris scariosa</i>	Water Honeysuckle	Green CO, WI	59,303	2.27%
<i>Mimulus ringens</i>	Monkey Flower	Dane CO, WI	71,164	2.72%
<i>Panicum virgatum</i>	Ditch Stonecrop	Dane CO, WI	71,164	2.72%
<i>Physostegia virginiana</i>	Obedient Plant	Jefferson CO, WI	11,861	0.45%
<i>Pyrolanthus virginianus</i>	Mountain Mint	Walworth CO, WI	47,443	1.82%
<i>Solidago rigida</i>	Ohio Goldenrod	Walworth CO, WI	47,443	1.82%
<i>Solidago rugifolia</i>	Ridge-top Goldenrod	Kenosha CO, WI	47,443	1.82%
<i>Trichostema dactyloides</i>	Purple Meadow Rue	Dubuque CO, IA	35,582	1.36%
<i>Verbena hastata</i>	Blue Vervain	Rock CO, WI	59,303	2.27%
<i>Veronica fasciculata</i>	Ironweed	Columbia CO, WI	47,443	1.82%
<i>Veronicastrum virginicum</i>	Culver's Root	Dane CO, WI	56,933	2.18%
<i>Zizia aurea</i>	Golden Alexanders	Clayton CO, WI	30,838	1.18%
LEGUMES				
<i>Cassia hebertiana</i>	Wild Senna	Dane CO, WI	6,584	0.25%

NATIVE PRAIRIE SEED MIX

Agrecol
Agricultural Ecological Solutions
2918 Agriculture Drive
Madison, WI 53718
608-226-2544
www.agrecol.com

Bird & Butterfly Seed Mix
13,00 PLS LBS / Acre 94.00 Seeds / SF

Botanical Name	Common Name	Oz/Acre
<i>Agrostis foeniculum</i>	Lavender Hyssop	0.50
<i>Allium cernuum</i>	Nodding Onion	2.00
<i>Amorpha canescens</i>	Leadplant	1.00
<i>Anemone cylindrica</i>	Thimble Weed	0.75
<i>Aquilegia canadensis</i>	Wild Columbine	0.60
<i>Asclepias incarnata</i>	Marsh (Red) Milkweed	1.50
<i>Asclepias syriaca</i>	Common Milkweed	0.75
<i>Asclepias tuberosa</i>	Butterfly Weed	2.50
<i>Aster aureus</i>	Sky Blue Aster	0.75
<i>Aster novae-angliae</i>	New England Aster	0.75
<i>Aster sagittifolius</i>	Arrow-Leaved Aster	0.50
<i>Astragalus canadensis</i>	Canada Milk Vetch	3.00
<i>Baptisia australis</i>	Blue Wild Indigo	4.00
<i>Chamaecrista fasciculata</i>	Partridge Pea	8.00
<i>Carex lanceolata</i>	Lance-Leaf (Sand) Cornopsis	2.50
<i>Carex palmata</i>	Prairie Careopsis	2.50
<i>Ostea candida</i>	White Prairie Clover	3.00
<i>Ostea purpurea</i>	Purple Prairie Clover	3.00
<i>Echinacea pallida</i>	Pale Purple Coneflower	6.00
<i>Echinacea purpurea</i>	Purple Coneflower	4.00
<i>Eryngium yuccifolium</i>	Rattlesnake Master	3.00
<i>Eupatorium maculatum</i>	Spotted Joe Pye Weed	0.50
<i>Helianthus grosseserratus</i>	Sawtooth Sunflower	0.50
<i>Helianthus scaberrimus</i>	Early Sunflower	6.00
<i>Rubia canadensis</i>	False Boneset	1.00
<i>Liatris aspera</i>	Rough Blazing Star	0.75
<i>Liatris pycnostachya</i>	Prairie Blazing Star	4.00
<i>Lobelia cardinalis</i>	Cardinal Flower	0.75
<i>Lobelia siphilitica</i>	Great Blue Lobelia	0.50
<i>Lupinus perennans</i>	Wild Lupine	6.00
<i>Manisuris fistulosa</i>	Wild Begonias	1.00
<i>Penstemon digitalis</i>	Toxiglove Beard Tongue	0.50
<i>Physostegia virginiana</i>	Obedient Plant	0.50
<i>Ranibida pinnata</i>	Yellow Coneflower	2.50
<i>Rosa arkansana</i>	Prairie Wild Rose	1.00
<i>Rudbeckia hirta</i>	Black-Eyed Susan	3.00
<i>Rudbeckia subtomentosa</i>	Sweet Black-Eyed Susan	2.50
<i>Rudbeckia triloba</i>	Brown-Eyed Susan	1.50
<i>Silene regia</i>	Royal Catchfly	1.00
<i>Siphium laciniatum</i>	Compass Plant	2.00
<i>Solidago rigida</i>	Stiff Goldenrod	0.75
<i>Solidago speciosa</i>	Showy Goldenrod	1.00
<i>Tradescantia ahienensis</i>	Ohio Spiderwort	2.00
<i>Veronica fasciculata</i>	Ironweed	1.00
<i>Veronicastrum virginicum</i>	Culver's Root	0.15
<i>Zizia aurea</i>	Golden Alexanders	4.00

Grasses, Sedges & Rushes

Botanical Name	Common Name	Oz/Acre
<i>Bouteloua curtipendula</i>	Side Oats Grass	32.00
<i>Bromus kalmii</i>	Prairie Bromie	20.00
<i>Elymus canadensis</i>	Canada Wild Rye	32.00
<i>Junco cristato</i>	June Grass	2.00
<i>Schizachyrium scaparium</i>	Little Bluestem	16.00
<i>Sporobolus heterolepis</i>	Prairie Dropseed	8.00

BUTTERFLY SEED MIX

Agrecol
Agricultural Ecological Solutions
2918 Agriculture Drive
Madison, WI 53718
608-226-2544
www.agrecol.com

Stormwater Bioinfiltration Seed Mix
6.00 PLS LBS / Acre

Botanical Name	Common Name	Oz/Acre
<i>Alopecurus subcandatus</i>	Mutt Prairie	1.00
<i>Asclepias incarnata</i>	Marsh (Red) Milkweed	2.00
<i>Aster novae-angliae</i>	New England Aster	1.00
<i>Cassia hebertiana</i>	Wild Senna	6.00
<i>Eupatorium maculatum</i>	Spotted Joe Pye Weed	0.50
<i>Eupatorium perfoliatum</i>	Boneset	0.50
<i>Helianthus grosseserratus</i>	Sawtooth Sunflower	0.75
<i>Liatris aspera</i>	Marsh Blazing Star	1.50
<i>Mimulus ringens</i>	Monkey Flower	0.15
<i>Monarda fistulosa</i>	WILD Bergamot	1.25
<i>Panicum virgatum</i>	Wild Guine	2.00
<i>Panicum virgatum</i>	Ditch Stonecrop	0.10
<i>Pyrolanthus virginianus</i>	Mountain Mint	0.50
<i>Rudbeckia hirta</i>	Black-Eyed Susan	2.00
<i>Rudbeckia subtomentosa</i>	Sweet Black-Eyed Susan	2.00
<i>Solidago rigida</i>	Ridge-top Goldenrod	4.00
<i>Solidago rigida</i>	Ridge-top Goldenrod	1.00
<i>Verbena hastata</i>	Blue Vervain	2.00
<i>Veronica fasciculata</i>	Ironweed	1.50

Grasses, Sedges & Rushes

Common Name	Oz/Acre
Common Nuttall's	4.00
Common Whip-Side	2.00
Brown Fox Sedge	1.00
Virginia Wild Rye	32.00
Fowl Manna Grass	2.00
Dudley's Rush	0.50
Rice Cut Grass	6.00
Switch Grass	4.00
Fowl Blue Grass	6.00
Dark Green Bulrush	0.50
Wool Grass	0.75
Great Bulrush	7.00
Prairie Cordgrass	4.00

BIOINFILTRATION SEED MIX

- Contractor responsible for contacting Diggers Hotline (811 or 800-242-8511) to have site marked prior to excavation or planting.
- Contractor to verify all plant quantities shown on Plant & Material List and landscape planting symbols and report any discrepancies to Landscape Architect or General Contractor.
- All plantings shall comply with standards as described in American Standard of Nursery Stock - Z60.1 ANSI (latest version). Landscape Architect reserves the right to inspect and potentially reject any plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or damaged. No sub-standard "B Grade" or "Park Grade" plant material shall be accepted. Plant material shall originate from nursery(ies) with a similar climate as the planting site.
- Any potential plant substitutions must be approved by Landscape Architect or Owner. All plants must be installed as per sizes indicated on Plant & Material Schedule, unless approved by Landscape Architect. Any changes to sizes shown on plan must be submitted in writing to the Landscape Architect prior to installation.
- Topsoil in Parking Lot Islands (if applicable): All parking lot islands to be backfilled with topsoil to a minimum depth of 18" to insure long-term plant health. Topsoil should be placed within 3" of finish grade by General Contractor / Excavation Contractor during rough grading operations/activity. The landscape contractor shall be responsible for the fine grading of all disturbed areas, planting bed areas, and lawn areas. Crown all parking lot islands a minimum of 6" to provide proper drainage, unless otherwise specified.
- Tree Planting: Plant all trees slightly higher than finished grade at the root flare. Remove excess soil from the top of the root ball, if needed. Remove and discard non-biodegradable ball wrapping and support wire. Removed biodegradable burlap and wire cage (if present) from the top 1/3 of the rootball and carefully bend remaining wire down to the bottom of the hole. Once the tree has been placed into the hole and will no longer be moved, score the remaining 2/3 of the burlap and remove the twine. Provide three slow release fertilizer for each tree planted.
- Tree Planting: Backfill tree planting holes 80% existing soils removed from excavation and 20% plant starter mix. Avoid air pockets and do not tamp soil down. Discard any gravel, rocks, heavy clay, or concrete pieces. When hole is 3/4 full, trees shall be watered thoroughly, and water left to soak in before proceeding to fill the remainder of the hole. Water again to full soak in the new planting. Each tree shall receive a 3" deep, 4-5" diameter (see planting details or planting plan) shredded hardwood bark mulch ring around all trees planted in lawn areas. Do not build up any mulch onto the trunk of any tree. Trees that are installed incorrectly will be replaced at the time and expense of the Landscape Contractor.
- Shrub Planting: All shrubs to be planted in groupings as indicated on the Landscape Plan. Install with the planting of shrubs a 5% mix of plant starter with topsoil. Install topsoil into all plant beds as needed to achieve proper grade and displace undesirable soil (see planting details). Remove all excessive gravel, clay and stones from plant beds prior to planting. When hole(s) are 3/4 full, shrubs shall be watered thoroughly, and water left to soak in before proceeding. Provide slow-release fertilizer packets at the rate of 1 per 24" height/diameter of shrub at planting.
- Mulching: All tree and shrub planting beds to receive a 3" deep layer of high quality shredded hardwood bark mulch (not pigment dyed or enviro-mulch). All perennial planting areas (groupings) shall receive a 2" layer of shredded hardwood bark mulch, and groundcover areas a 1-2" layer of the same mulch. Do not mulch annual flower beds (if applicable). Do not allow mulch to contact plant stems and tree trunks.
- Edging: All planting beds shall be edged with a 4" deep spade edge using a flat landscape spade or a mechanical edger. Bedlines are to be cut crisp, smooth as per plan. A clean definition between landscape beds and lawn is required. Pack mulch against lawn edge to hold in place.
- Plant bed preparation/Soil Amendment composition: All perennial, groundcover and annual areas (if applicable) are required to receive a blend of organic soil (Soil Amendments) amendments prior to installation. Roto-till the following materials at the following ratio, into existing soil beds or installed topsoil beds to a depth of approximately 8"-10". Containerized and baled & burlapped plant material should be back-filled with amended soil:

Per 100 SF of bed area (Soil Amendment composition):
1/2 CY Peat Moss or Mushroom Compost
1/2 CY blonded/pulverized Topsoil
1/2 CY composted manure

In rototilled beds only, also include in above mixture:
2 lbs Starter Fertilizer
- Lawn Installation for all sodded turfgrass areas: Contractor to furnish and prepare blended topsoil (2" minimum) and sod bed, removing all debris and stones 1/2" and larger. Apply a 10-10-10 starter lawn fertilizer uniformly throughout areas prior to laying sod. Use only premium sod blend according to TPI (revised 1995) and ASPA Standards. Install sod uniformly with staggered joints, laid tightly end to end and side to side. Roll sod with a walk behind roller and water immediately upon installation to a 3" depth. Stake any sod installed on slopes steeper than 1:3, and in all swale applications. Contractor is responsible to provide a smooth, uniform, healthy turf, and is responsible for the first two mowings of the newly installed turf, and is also responsible for watering during this period.
- Installation preparation for all seeded areas: remove/kill off any existing unwanted vegetation prior to seeding. Prepare the topsoil (if adequate or provide as in item #6 above) and seed bed by removing all surface stones 1" or larger. Apply a starter fertilizer and specified seed uniformly at the specified rate, and provide mulch covering suitable to germinate and establish turf. Provide seed and fertilizer specifications to Landscape Architect and Owner prior to installation. Erosion control measures are to be used in swales and on slopes in excess of 1:3 and where applicable (see Civil Engineering Drawings). Methods of installation may vary at the discretion of the Landscape Contractor on his/her responsibility to establish and guarantee a smooth, uniform, quality turf. A minimum of 2" of blended, prepared and even-compacted topsoil is required for all lawn areas. If straw mulch is used as a mulch covering, a tackifier may be necessary to avoid wind dispersal of mulch covering. Marsh hay containing reed canary grass is NOT acceptable as a mulch covering.

- Acceptable quality seed installation is defined as having:
No bare spots larger than one (1) square foot
No more than 10% of the total area with bare areas larger than one (1) square foot
A uniform coverage through all turf areas
- No-Mow seed areas: "No-Mow" fine lespede seed mix with annual rye nurse crop (available at Cedar Creek Seed Farm 888-313-6807 or Prairie Nursery 608-296-3679) or approved equivalent mix from a reputable seed mix provider. Apply at 220 lbs per acre or at rate recommended by supplier. Prepare seed bed and soil as specified in item #13 above.
- Native Prairie Seed Mix / Stormwater Seed Mix: Native seed mixes as listed on the Plant and Material List or other seeding schedules outlined on the landscape plan set. Seed mixes available from Prairie Nursery 608-296-3679 or JF New 608-848-1789 or approved equivalent mix from a reputable seed mix provider. Apply at rates specified herein, or per supplier recommendation. Prepare soil and seed bed as in item #13 above.
- Warranty and Replacements: All plantings are to be watered thoroughly at the time of planting, through construction and upon completion of project as required. Trees, Evergreens, and Shrubs (deciduous and evergreen) shall be guaranteed (100% replacement) for a minimum of one (1) year from the date of project completion. Perennials, groundcovers, and ornamental grasses shall be guaranteed for a minimum of one (1) growing season. Perennials, groundcovers, and ornamental grasses planted after September 15th shall be guaranteed through May 31st of the following year. Only one replacement per plant will be required during the warranty period, except for losses or replacements due to failure to comply with specified requirements. Watering and general ongoing maintenance instructions are to be supplied by the Landscape Contractor to the Owner upon completion of the project.
- The Landscape Contractor is responsible for the watering and maintenance of all landscape areas for a period of 45 days after the substantial completion of the landscape installation. This shall include all trees, shrubs, evergreens, perennials, ornamental grasses, turf grass, no-mow grass, and native prairie seed mix / stormwater seed mix. Work also includes weeding, edging, mulching (only if required), fertilizing, trimming, sweeping up grass clippings, pruning and deadheading.
- Project Completion: Landscape Contractor is responsible to conduct a final review of the project, upon completion, with the Landscape Architect, Client or Owner / Client Representative, and the General Contractor to answer questions, provide written care instructions for new plantings and turf, and insure that all specifications have been met.

LANDSCAPE GENERAL NOTES

Scale: None



eppslein when : architects
122 East Chicago Street
Milwaukee, WI 53202
Tel: 414.224.1111
Fax: 414.224.1112
www.eua.com

BROOKSIDE CARE CENTER

3506 Washington Rd
Kenosha, WI 53144



SCHEMATIC DESIGN

DATE	DESCRIPTION

KEY PLAN

JSD Professional Services, Inc.
Engineers - Surveyors - Planners
11000 GILBERT ST. SUITE 100
MILWAUKEE, WI 53217
TEL: 414.224.1111
FAX: 414.224.1112
WWW.JSDINC.COM

PROGRESS DOCUMENTS NOT FOR CONSTRUCTION
These documents are not for construction and should not be used for construction purposes. They are provided for informational purposes only. The user assumes all responsibility for any use of these documents.
PROJECT MANAGER: MO
PROJECT NUMBER: 112379-01
DATE: 05-15-10

LANDSCAPE NOTES

L104

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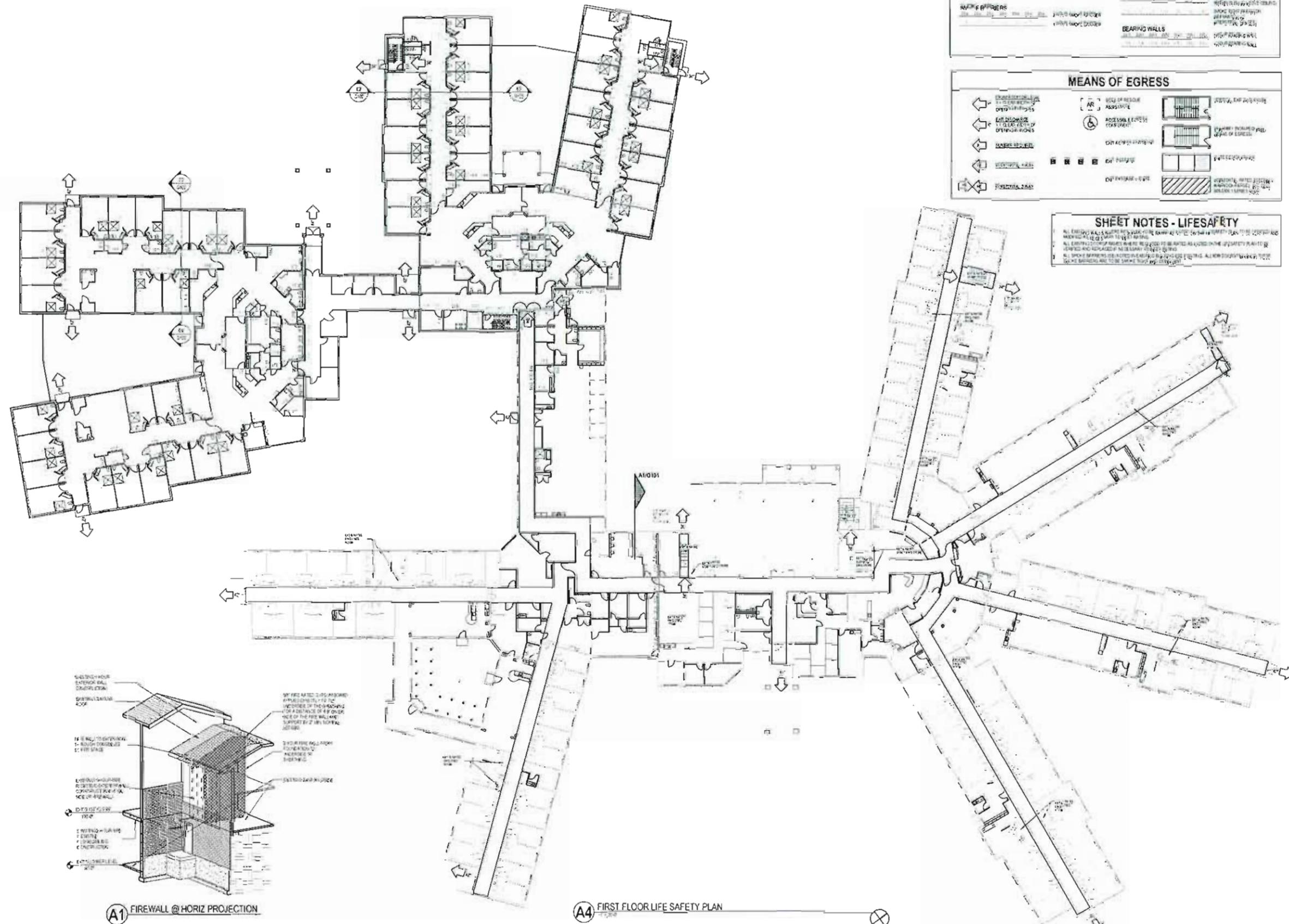
E

D

C

B

A



FIRE RESISTIVE LEGEND

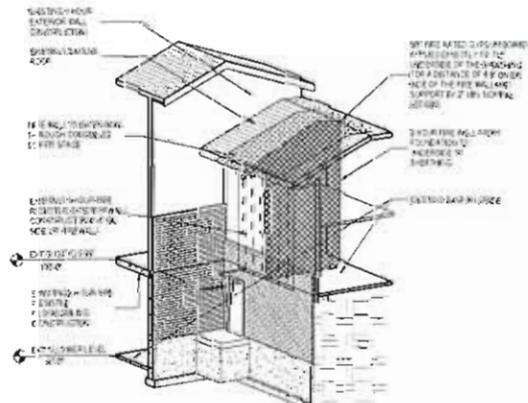
FIRE WALLS	2 HOUR FIRE WALL	1 HOUR FIRE WALL	1/2 HOUR FIRE WALL
FIRE PARTITIONS	2 HOUR FIRE PARTITION	1 HOUR FIRE PARTITION	1/2 HOUR FIRE PARTITION
FIRE BARRIERS	2 HOUR FIRE BARRIER	1 HOUR FIRE BARRIER	1/2 HOUR FIRE BARRIER
SMOKE BARRIERS	2 HOUR SMOKE BARRIER	1 HOUR SMOKE BARRIER	1/2 HOUR SMOKE BARRIER
SMOKE RESISTIVE PARTITIONS	2 HOUR SMOKE RESISTIVE PARTITION	1 HOUR SMOKE RESISTIVE PARTITION	1/2 HOUR SMOKE RESISTIVE PARTITION
BEARING WALLS	2 HOUR BEARING WALL	1 HOUR BEARING WALL	1/2 HOUR BEARING WALL

MEANS OF EGRESS

EXIT DOOR	EXIT WINDOW	EXIT STAIR	EXIT RAMP
EXIT STAIR	EXIT RAMP	EXIT DOOR	EXIT WINDOW
EXIT DOOR	EXIT WINDOW	EXIT STAIR	EXIT RAMP
EXIT STAIR	EXIT RAMP	EXIT DOOR	EXIT WINDOW

SHEET NOTES - LIFESAFETY

- ALL EXISTING WALLS SHALL BE RECONSTRUCTED TO MEET THE REQUIREMENTS OF THIS PLAN TO BE CONSIDERED AS FIRE RESISTIVE WALLS.
- ALL EXISTING DOORWAYS WHERE REQUIRED TO BE RECONSTRUCTED TO MEET THE REQUIREMENTS OF THIS PLAN TO BE CONSIDERED AS FIRE RESISTIVE DOORWAYS.
- ALL EXISTING WINDOWS WHERE REQUIRED TO BE RECONSTRUCTED TO MEET THE REQUIREMENTS OF THIS PLAN TO BE CONSIDERED AS FIRE RESISTIVE WINDOWS.



A1 FIREWALL @ HORIZ PROJECTION

A4 FIRST FLOOR LIFE SAFETY PLAN



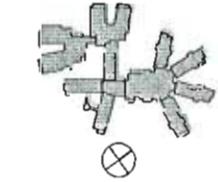
PROJECT INFORMATION
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 3506 Washington Rd
 Kenosha, WI 53144



ISSUANCE AND REVISIONS
CUP SUBMITTAL

#	DATE	DESCRIPTION

KEY PLAN

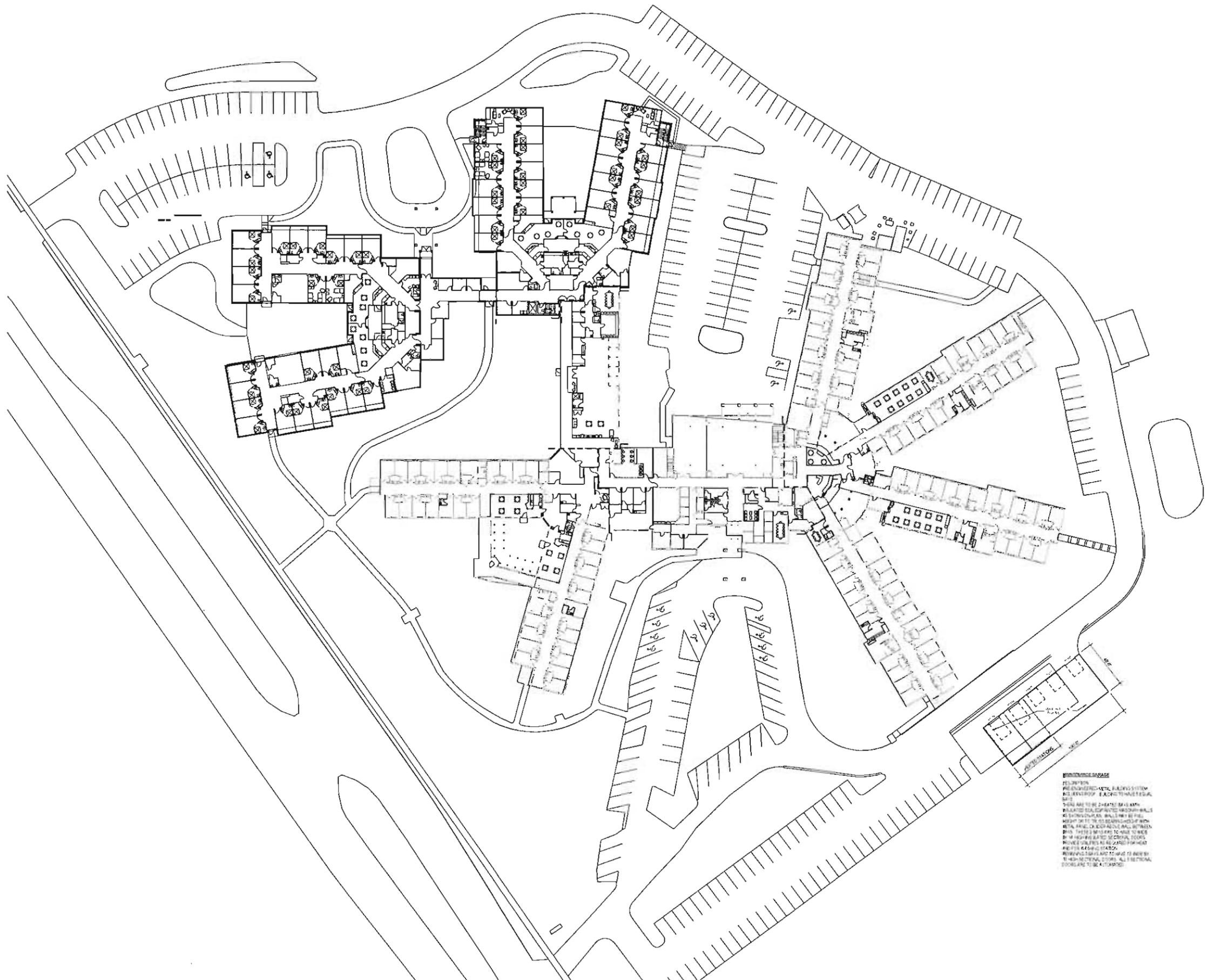


SHEET INFORMATION
PROGRESS DOCUMENTS NOT FOR CONSTRUCTION
 PROJECT MANAGER: MD
 PROJECT NUMBER: 112379-01
 DATE: 05-15-15

FIRST FLOOR LIFE SAFETY PLAN

G101

1 2 3 4 5 6 7



eppstein uhen : architects
 Milwaukee 333 East Chicago Street
 Milwaukee, WI 53202
 Telephone 414.251.1142
 Fax 414.251.1143
 Telefax 414.480.5002

PROJECT INFORMATION
BROOKSIDE CARE CENTER

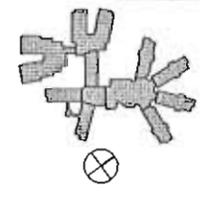
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PROJECT MANAGER MO
 PROJECT NUMBER 112379-01
 DATE 05-18-15

**FIRST FLOOR
 OVERALL PLAN**

A101

A1 FIRST FLOOR OVERALL PLAN





eppstein uhen : architects

MILWAUKEE 277 East Chicago Street
Milwaukee, WI 53202
Telephone 414 331 5562
FAX 414 331 5562
PROJECT 227 West Washington Ave. 5th Fl.
Milwaukee, WI 53204
Telephone 414 331 5562

PROJECT INFORMATION

BROOKSIDE CARE CENTER

3506 Washington Rd
Kenosha, WI 53144

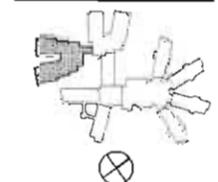


ISSUANCE AND REVISIONS

CUP SUBMITTAL

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KEY PLAN



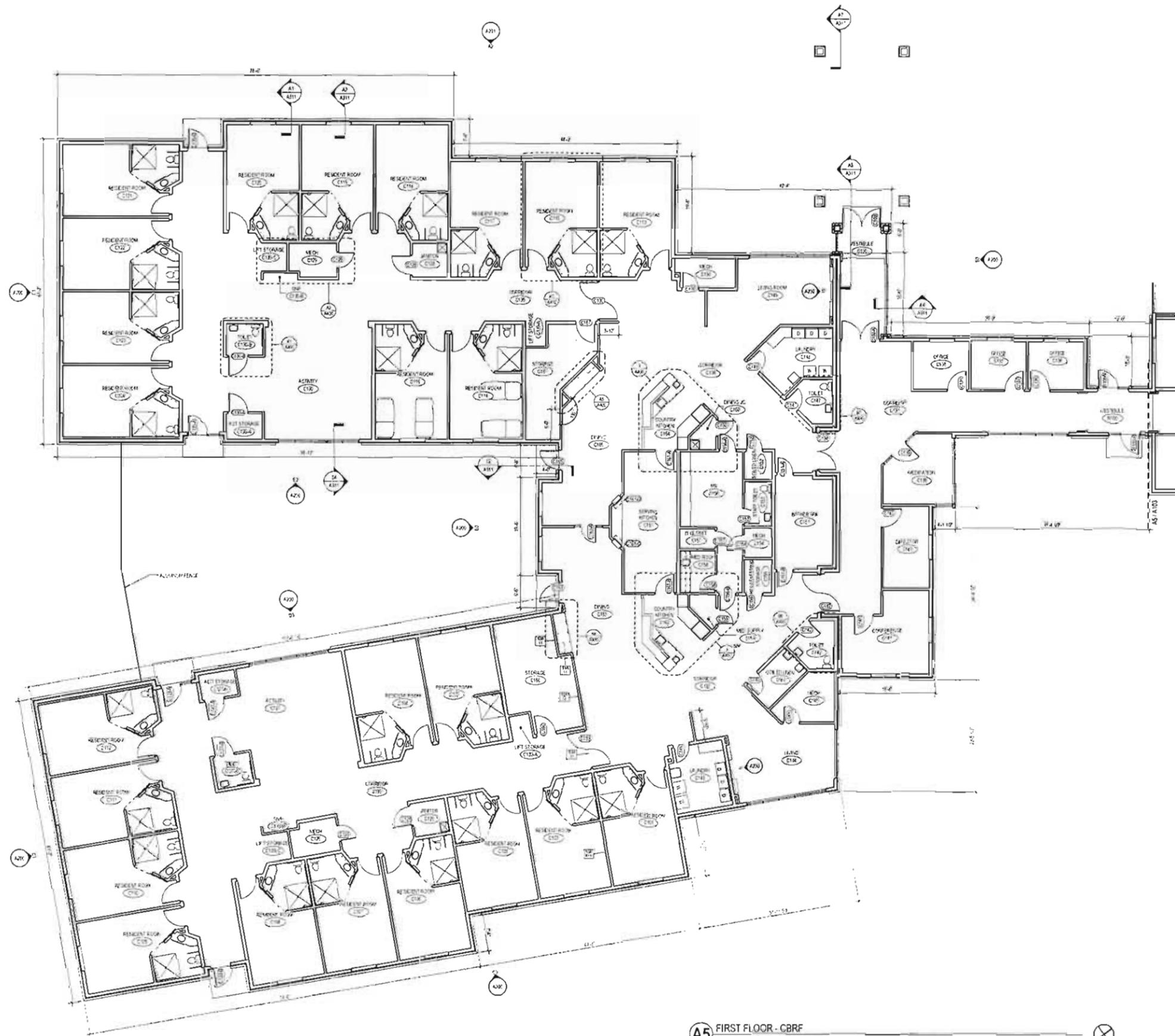
SHEET INFORMATION

**PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION**

PROJECT MANAGER: **NO**
 PROJECT NUMBER: **112379-01**
 DATE: **05-18-15**

FIRST FLOOR PLAN -
CBRF

A102



A5 FIRST FLOOR - CBRF



eppstein uhen : architects
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 Milwaukee, WI 53202
 Telephone 414 271 5262
 Madison 222 West Washington Ave. 5th Floor
 Madison, WI 53702
 Telephone 608 252 3355

PROJECT INFORMATION

BROOKSIDE CARE CENTER

3506 Washington Rd
 Kenosha, WI 53144

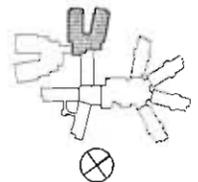


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CUP SUBMITTAL

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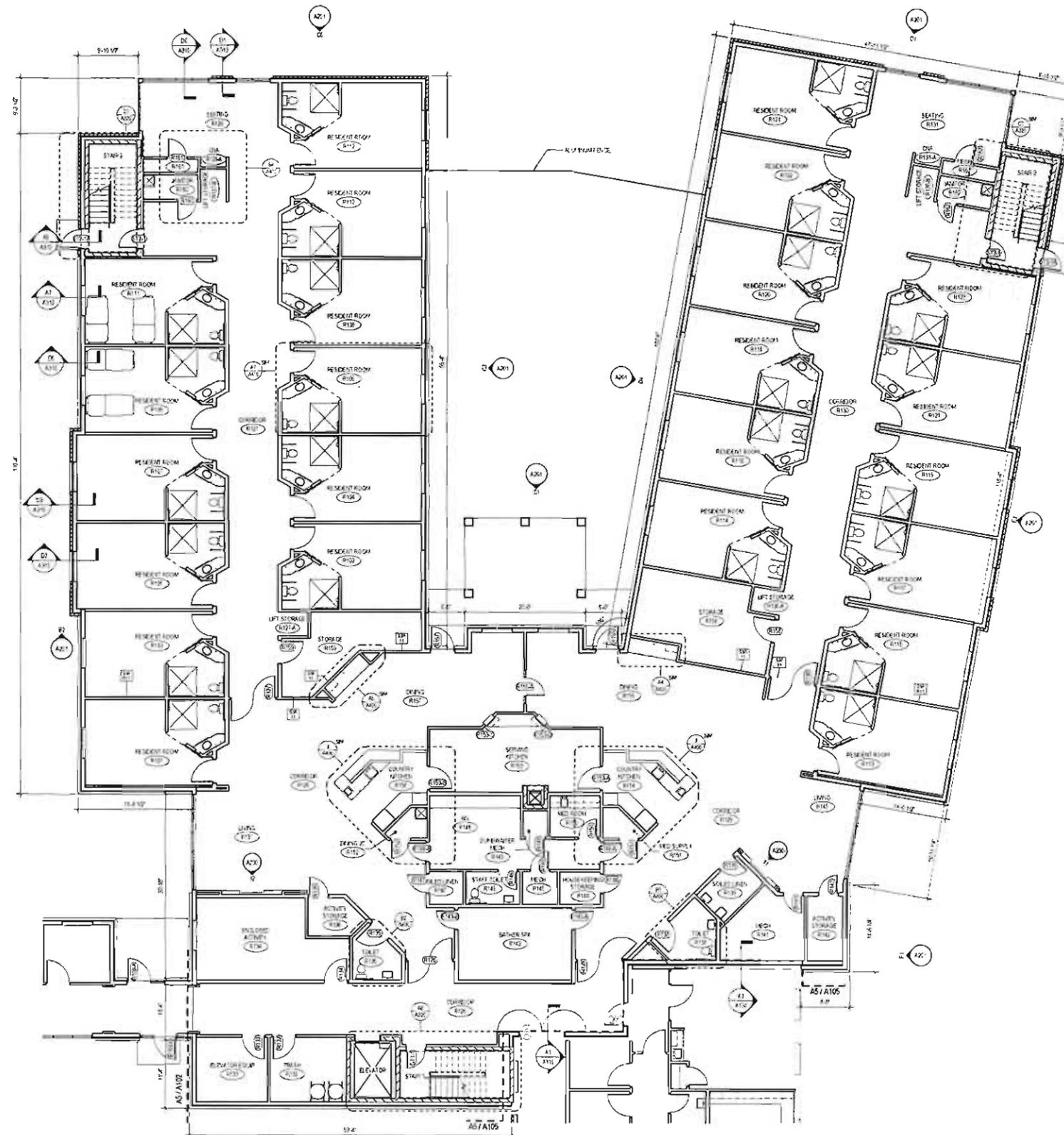
SHEET INFORMATION

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PROJECT NUMBER	112379-01
DATE	05-18-15

**FIRST FLOOR PLAN -
 REHABILITATION**

A103



A5 FIRST FLOOR - REHAB
 1/8" = 1'-0"

E
D
C
B
A

E
D
C
B
A

1 2 3 4 5 6 7

1 2 3 4 5 6 7



eppstein uhen : architects
 333 East Chicago Street
 Milwaukee, Wisconsin 53202
 Telephone 414 371 3000
 277 West Washington Ave. 5th Fl.
 Madison, Wisconsin 53703
 Telephone 608 442 1300

PROJECT INFORMATION
BROOKSIDE CARE CENTER

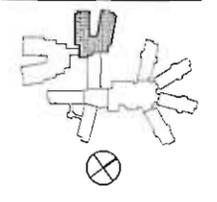
3506 Washington Rd
 Kenosha, WI 53144



ISSUANCE AND REVISIONS
CUP SUBMITTAL

#	DATE	DESCRIPTION

KEY PLAN



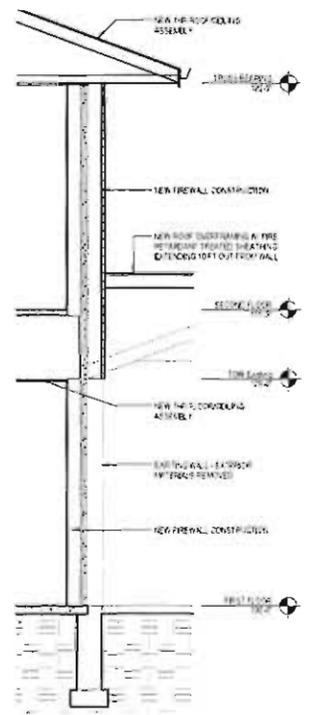
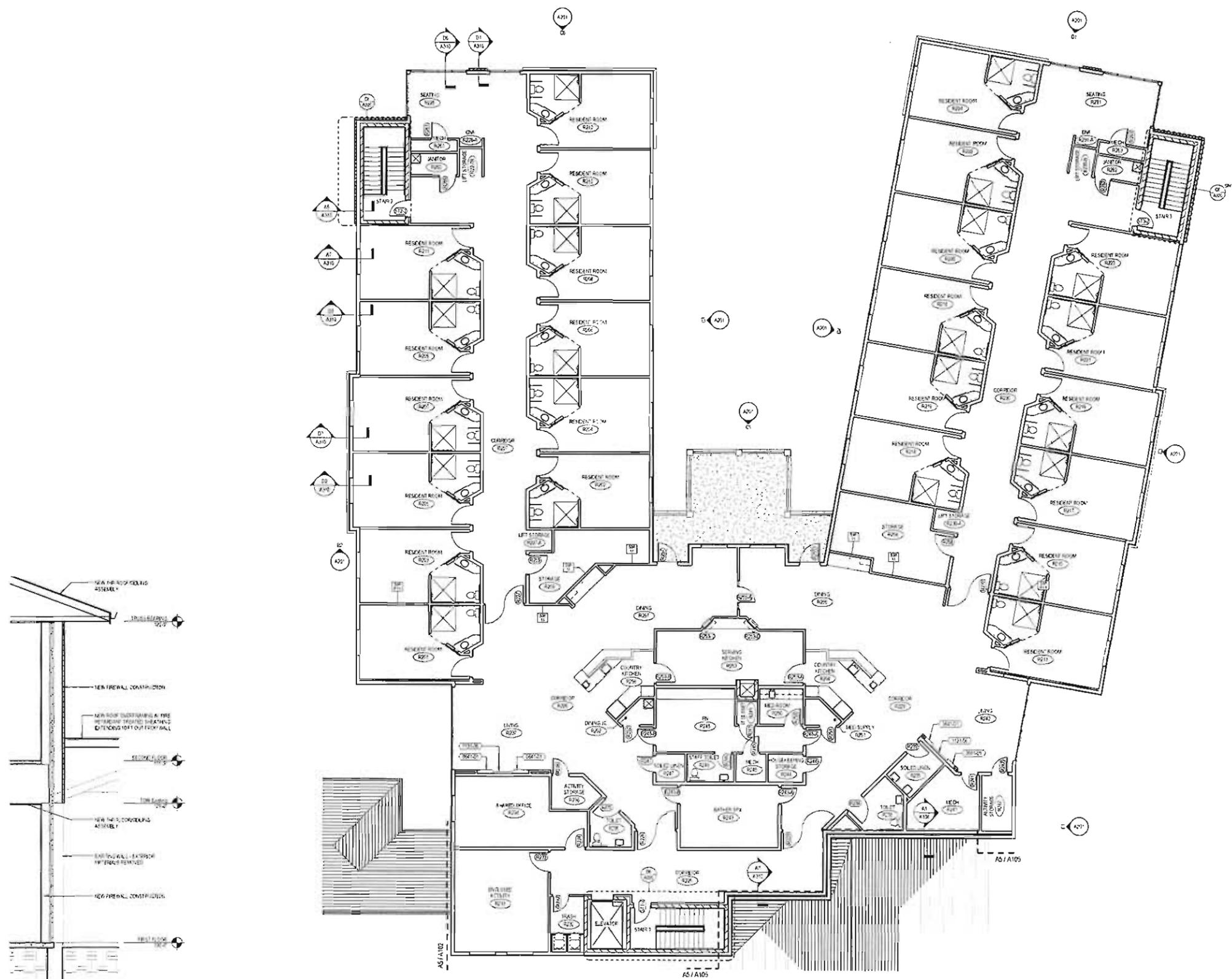
SHEET INFORMATION

**PROGRESS DOCUMENTS
 NOT FOR CONSTRUCTION**

PROJECT MANAGER: HO
 PROJECT NUMBER: 112375-01
 DATE: 05-18-15

**2ND FLOOR PLAN -
 REHABILITATION**

A104



A1 REHAB - FIREWALL
 2F-1-2

A5 SECOND FLOOR - REHAB
 2F-1-2



eppslein uhen : architects

353 East Chicago Street
Milwaukee, Wisconsin 53202
Telephone 414 271 1500
222 West Washington Ave. Suite 502
Milwaukee, Wisconsin 53102
Telephone 414 442 3366

PROJECT INFORMATION

BROOKSIDE CARE CENTER

3506 Washington Rd
Kenosha, WI 53144

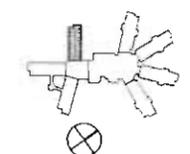


ISSUANCE AND REVISIONS

CUP SUBMITTAL

#	DATE	DESCRIPTION
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KEY PLAN



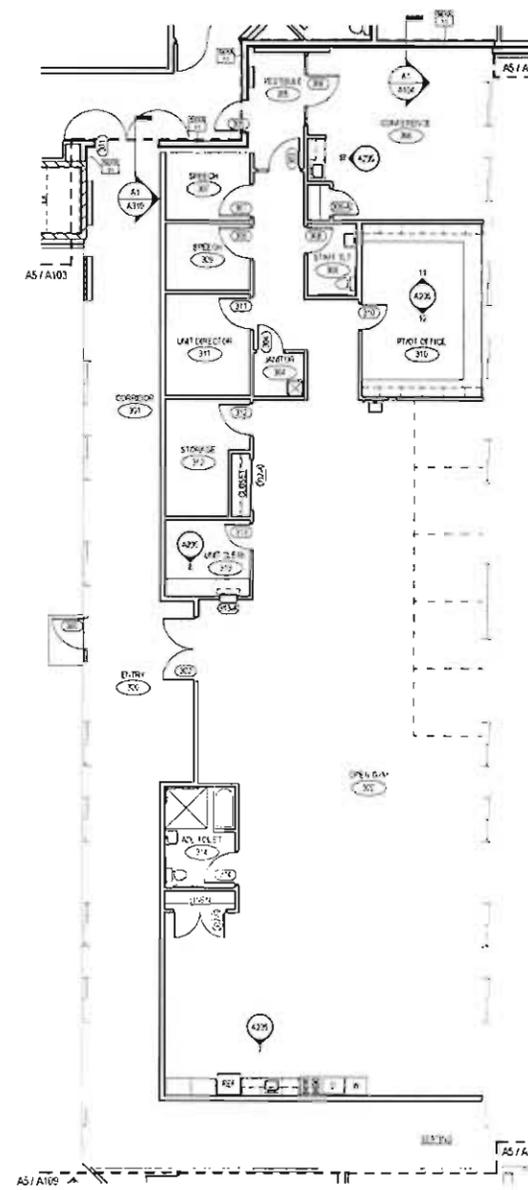
SHEET INFORMATION

PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION

PROJECT MANAGER MD
PROJECT NUMBER 112375-01
DATE 05-18-15

FIRST FLOOR PLAN -
300 WING

A105



LEGEND

	NEW CONSTRUCTION
	EXISTING CONSTRUCTION

A5 PARTIAL FLOOR PLAN
3/8" = 1'-0"





eppstein uhen : architects

MINNEAPOLIS 333 East Chicago Street
Minneapolis, Wisconsin 55401
Telephone 612 371 5200
MADISON 223 First Wisconsin Ave. 5th Fl.
Madison, Wisconsin 53703
Telephone 608 462 1300

PROJECT INFORMATION

BROOKSIDE CARE CENTER

3506 Washington Rd
Kenosha, WI 53144

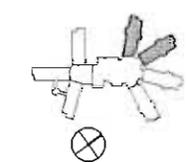


ISSUANCE AND REVISIONS

CUP SUBMITTAL

#	DATE	DESCRIPTION
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KEY PLAN



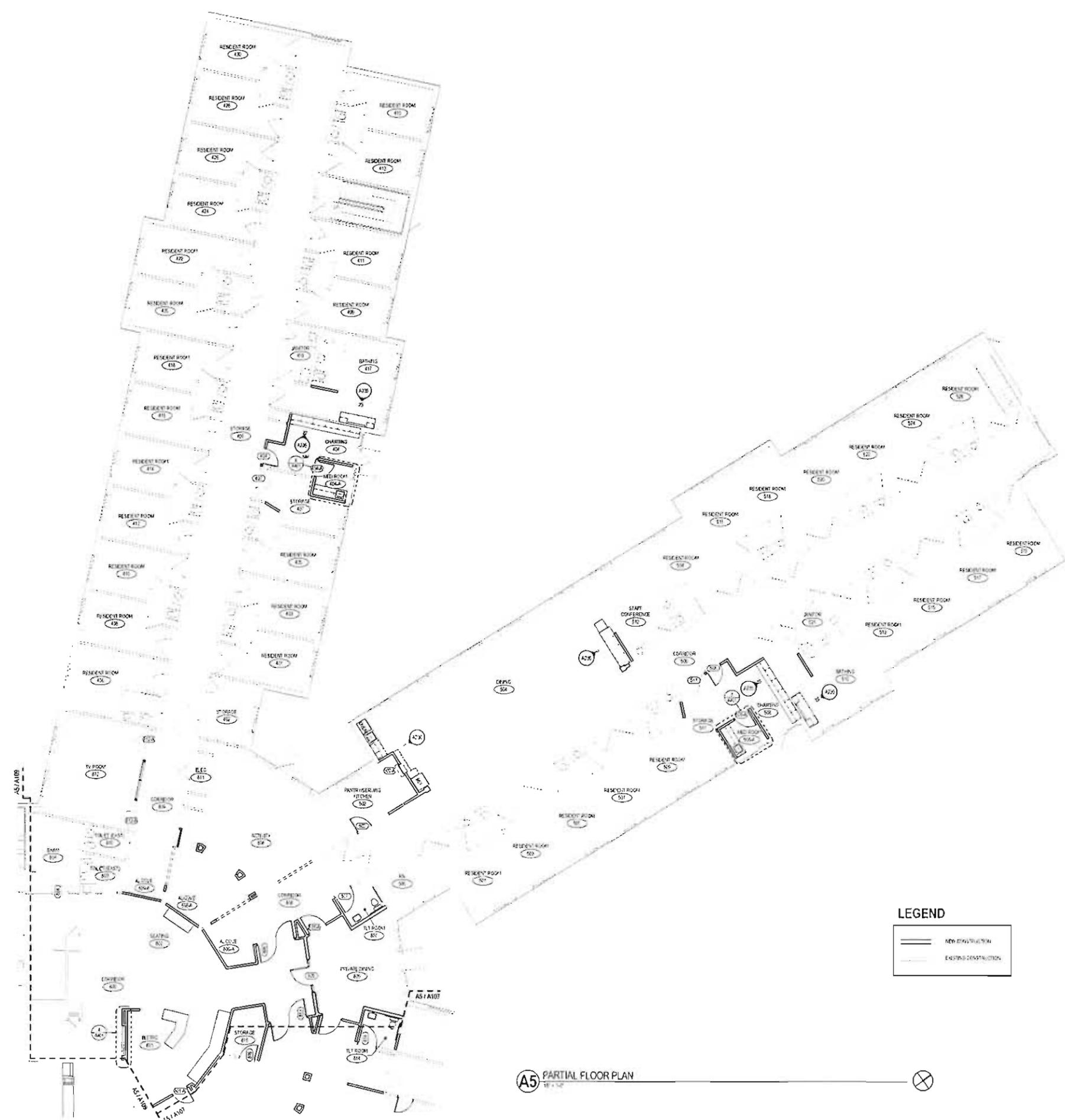
SHEET INFORMATION

PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION

PROJECT MANAGER: MD
 PROJECT NUMBER: 112375-01
 DATE: 05-18-15

FIRST FLOOR PLAN -
400 & 500 WINGS

A106



LEGEND

	NEW CONSTRUCTION
	EXISTING CONSTRUCTION

A5 PARTIAL FLOOR PLAN



E
D
C
B
A

1 2 3 4 5 6 7

1 2 3 4 5 6 7



eppstein uhen : architects
 MILWAUKEE 1333 East Chicago Street
 Milwaukee, WI 53214-3000
 Telephone 414 291 0200
 FAX 414 291 0200
 222 West Wisconsin Avenue, 5th Floor
 Madison, Wisconsin 53703
 Telephone 608 462 9700

PROJECT INFORMATION

BROOKSIDE CARE CENTER

3506 Washington Rd
 Kenosha, WI 53144

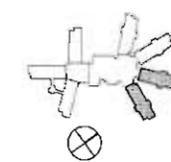


ISSUANCE AND REVISIONS

CUP SUBMITTAL

#	DATE	DESCRIPTION

KEY PLAN



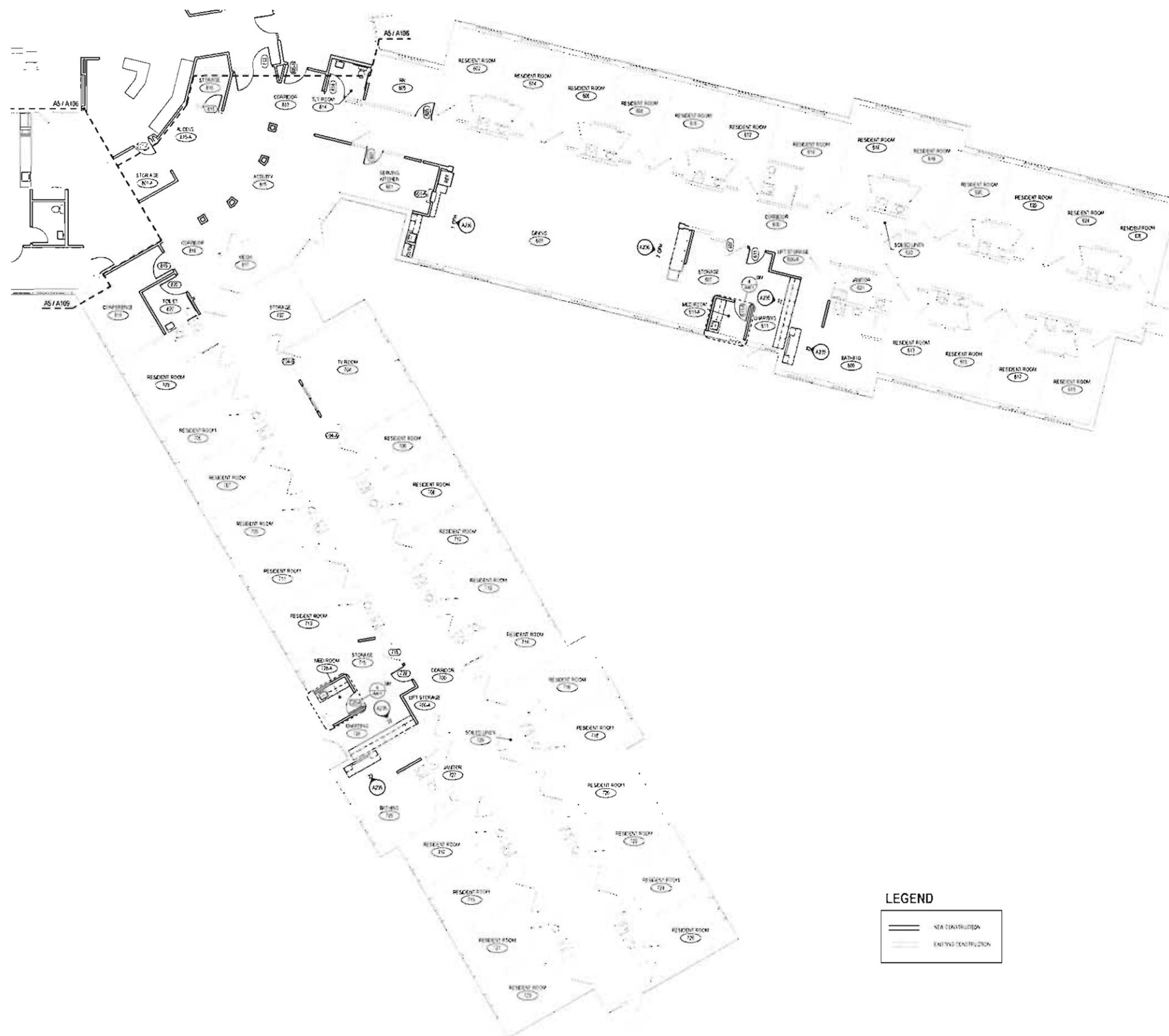
SHEET INFORMATION

**PROGRESS DOCUMENTS
 NOT FOR CONSTRUCTION**

PROJECT MANAGER: MD
 PROJECT NUMBER: 112379-01
 DATE: 05-18-15

FIRST FLOOR PLAN -
 600 & 700 WINGS

A107



LEGEND

	NEW CONSTRUCTION
	EXISTING CONSTRUCTION

A5 PARTIAL FLOOR PLAN



E
D
C
B
A

E
D
C
B
A

1 2 3 4 5 6 7

1 2 3 4 5 6 7



eppstein uhen : architects

333 East Chicago Street
Milwaukee, WI 53202
Tel: 414.224.1000
225 West Kinnear Ave. 3rd Fl.
Milwaukee, WI 53233
Tel: 414.442.3800

PROJECT INFORMATION

BROOKSIDE CARE CENTER

3506 Washington Rd
Kenosha, WI 53144

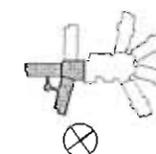


ISSUANCE AND REVISIONS

CUP SUBMITTAL

#	DATE	DESCRIPTION

KEY PLAN



LEGEND

	NEW CONSTRUCTION
	EXISTING CONSTRUCTION

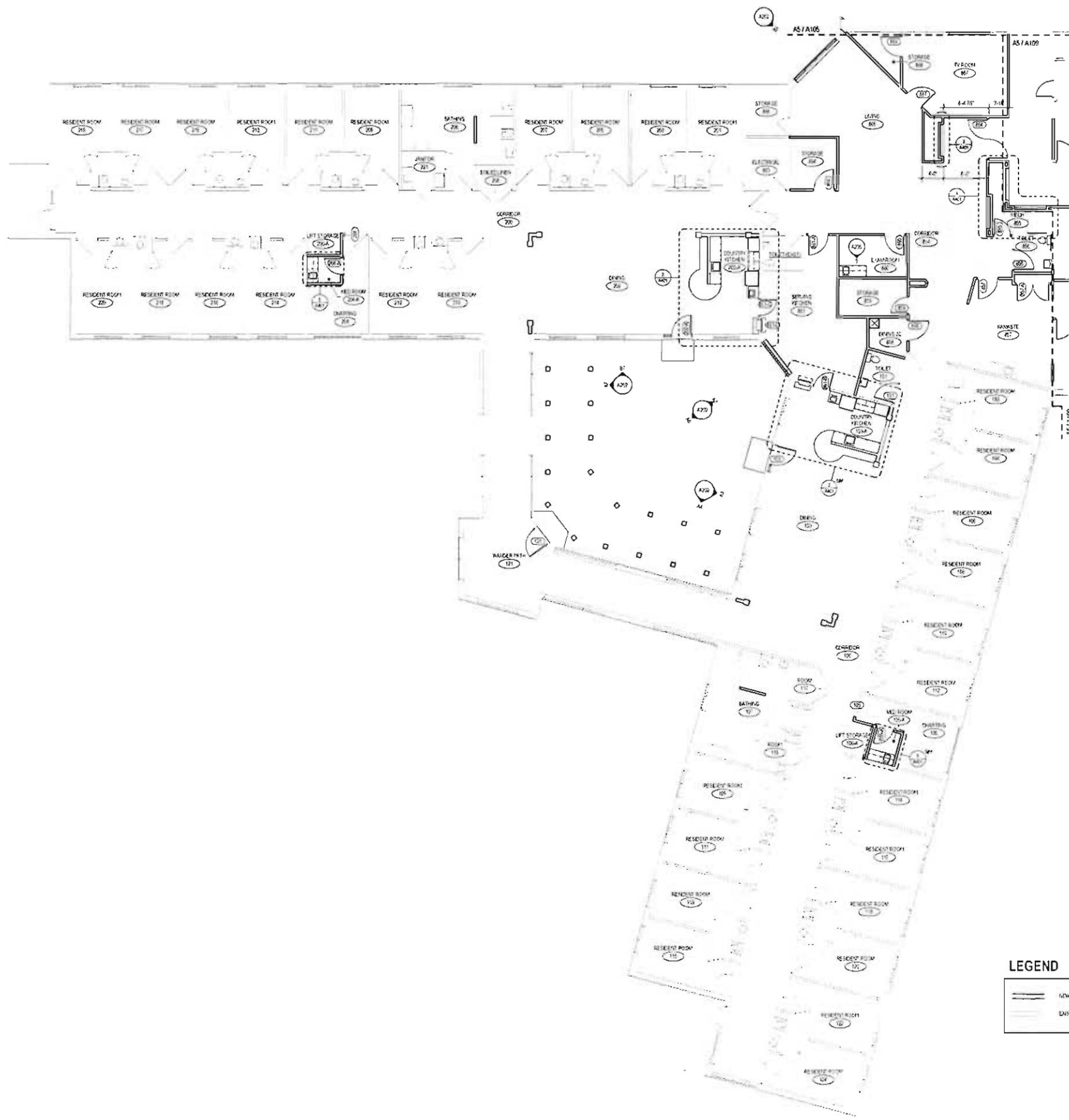
SHEET INFORMATION

**PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION**

PROJECT MANAGER: MD
PROJECT NUMBER: 112379-01
DATE: 05-18-15

FIRST FLOOR PLAN -
100, 200 & 8W WINGS

A108





eppstein uhen : architects

MILWAUKEE 333 East Chicago Street
30th Floor Milwaukee WI 53202
Telephone 414.251.1800
MADISON 222 West Washington Ave. 5th Floor
Madison Wisconsin 53703
Telephone 608.442.1300

PROJECT INFORMATION

BROOKSIDE CARE CENTER

3506 Washington Rd
Kenosha, WI 53144



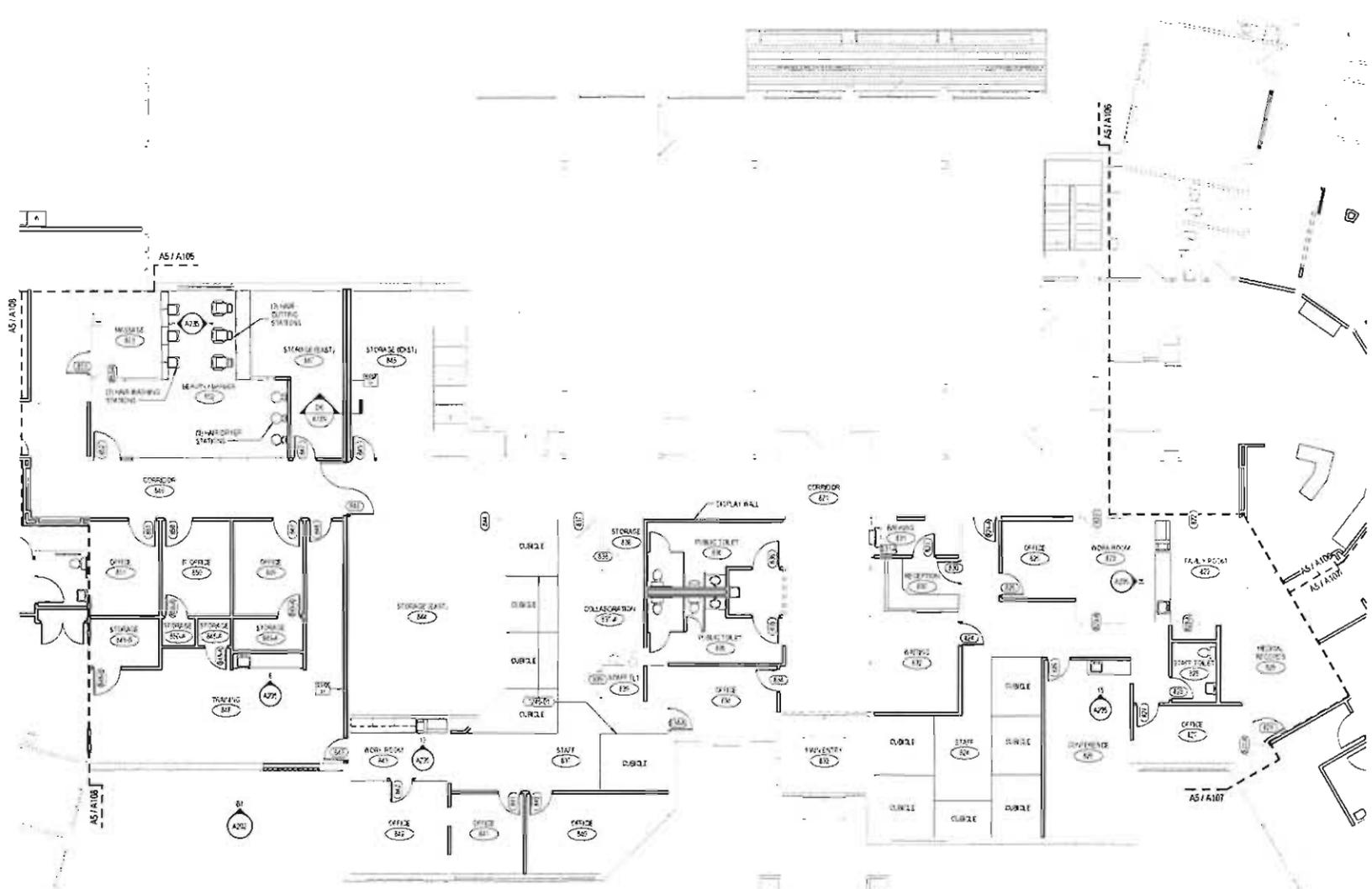
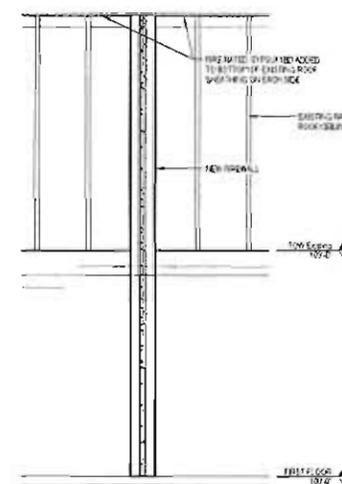
ISSUANCE AND REVISIONS

CUP SUBMITTAL

#	DATE	DESCRIPTION

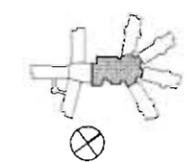
LEGEND

	NEW CONSTRUCTION
	EXISTING CONSTRUCTION



A5 FIRST FLOOR PLAN WING 8E

KEY PLAN



SHEET INFORMATION

PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION

PROJECT MANAGER	IJD
PROJECT NUMBER	112375-01
DATE	05-18-15

FIRST FLOOR PLAN -
ADMIN 8E

A109



appstein uhan : architects

111 E. East Chicago Street
Kenosha, WI 53144
Telephone: 920-402-5100
222 W. Washington Ave. Suite 420
Madison, Wisconsin 53703
Telephone: 608-442-6110

PROJECT INFORMATION

BROOKSIDE CARE CENTER

3506 Washington Rd
Kenosha, WI 53144



ISSUANCE AND REVISIONS

CUP SUBMITTAL

#	DATE	DESCRIPTION

KEY PLAN

SHEET INFORMATION

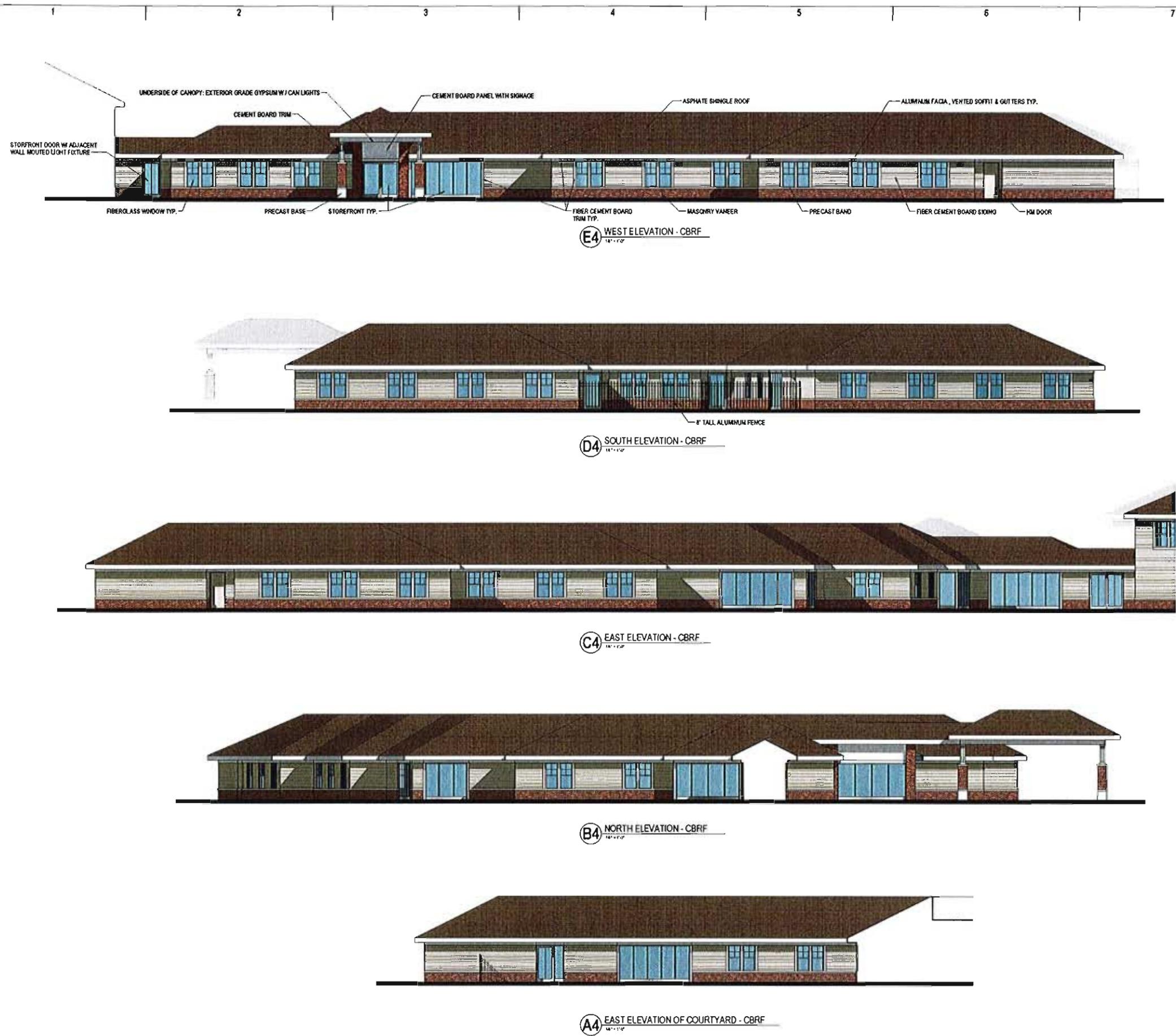
**PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION**

PROJECT MANAGER: MO
PROJECT NUMBER: 112379-01
DATE: 03-20-15

EXTERIOR
ELEVATIONS - CBRF

A200

© Appstein Uhan Architects, Inc.



E

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A

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1 2 3 4 5 6 7



eppstein uhan : architects

1110 East Chicago Street
Milwaukee, Wisconsin 53207
Telephone 414 271 5350
222 West Washington Ave. 4th Fl.
Madison, Wisconsin 53703
Telephone 608 482 5350

PROJECT INFORMATION

BROOKSIDE CARE CENTER

3506 Washington Rd
Kenosha, WI 53144



ISSUANCE AND REVISIONS

CUP SUBMITTAL

#	DATE	DESCRIPTION

KEY PLAN

SHEET INFORMATION

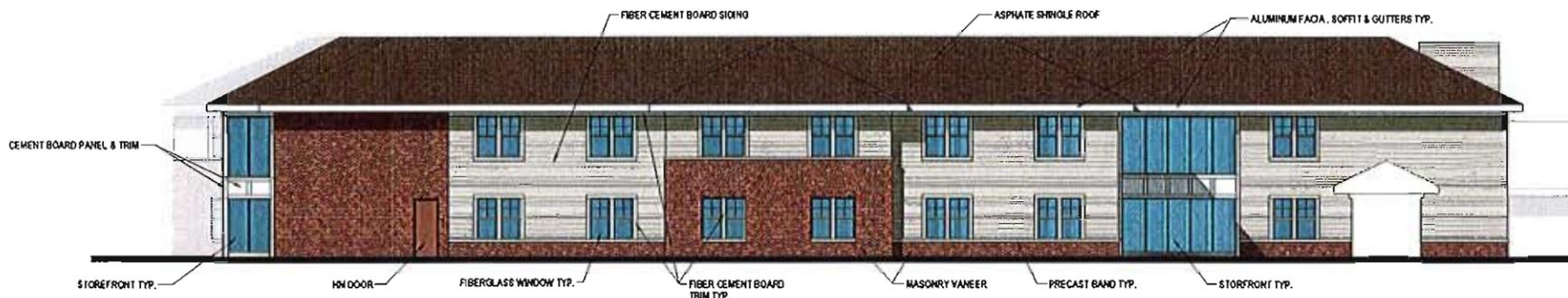
PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION

PROJECT MANAGER MW
PROJECT NUMBER 112379-01
DATE 03-20-15

EXTERIOR
ELEVATIONS -
REHAB

A201

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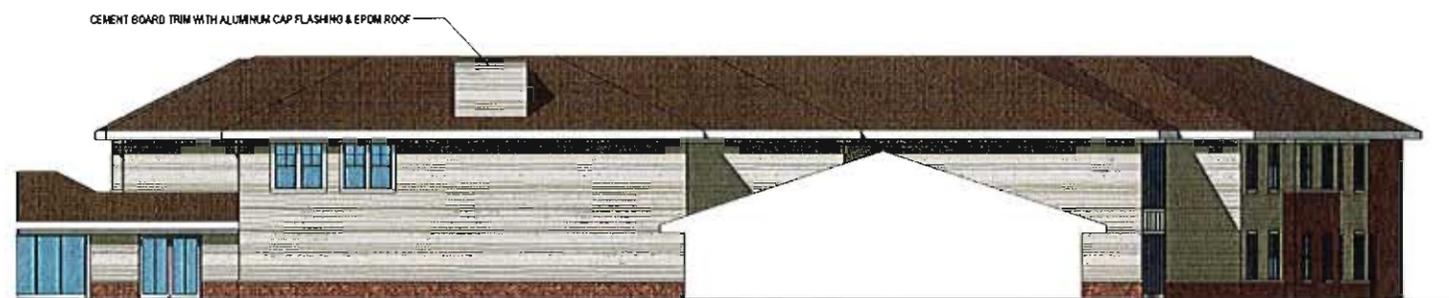
E4 SOUTH ELEVATION - REHAB
1/8" = 1'-0"



D4 WEST ELEVATION - REHAB
1/8" = 1'-0"



C4 NORTH ELEVATION - REHAB
1/8" = 1'-0"



B4 EAST ELEVATION - REHAB
1/8" = 1'-0"



A4 NORTH ELEVATION OF COURTYARD - REHAB
1/8" = 1'-0"



1 AERIAL FORM SOUTH
0.1" = 1' 0"



2 AERIAL FORM WEST
0.1" = 1' 0"



3 PERSPECTIVE FROM SOUTHWEST
0.1" = 1' 0"



4 PERSPECTIVE OF ENTRY
0.1" = 1' 0"



epstein uhen : architects
 MILWAUKEE 313 East Chicago Street
 Milwaukee, Wisconsin 53202
 Telephone 414 254 4200
 MADISON 223 West Washington Ave. 4th Fl.
 Madison, Wisconsin 53702
 Telephone 608 482 5300

PROJECT INFORMATION

BROOKSIDE CARE CENTER

3506 Washington Rd
 Kenosha, WI 53144



ISSUANCE AND REVISIONS

CUP SUBMITTAL

DATE	DESCRIPTION

KEY PLAN

SHEET INFORMATION

**PROGRESS DOCUMENTS
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PROJECT MANAGER	MO
PROJECT NUMBER	112379-01
DATE	03-20-15

EXTERIOR PERSPECTIVES

A210

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eppslein uhen : architects

1100 W. Wisconsin Ave. Suite 200
Kenosha, WI 53140
Phone: 920.391.1300
Fax: 920.391.1301
www.eppsleinuhen.com

PROJECT INFORMATION

BROOKSIDE CARE CENTER

3506 Washington Rd
Kenosha, WI 53144



ISSUANCE AND REVISIONS

DESIGN DEVELOPMENT

DATE	DESCRIPTION

KEY PLAN

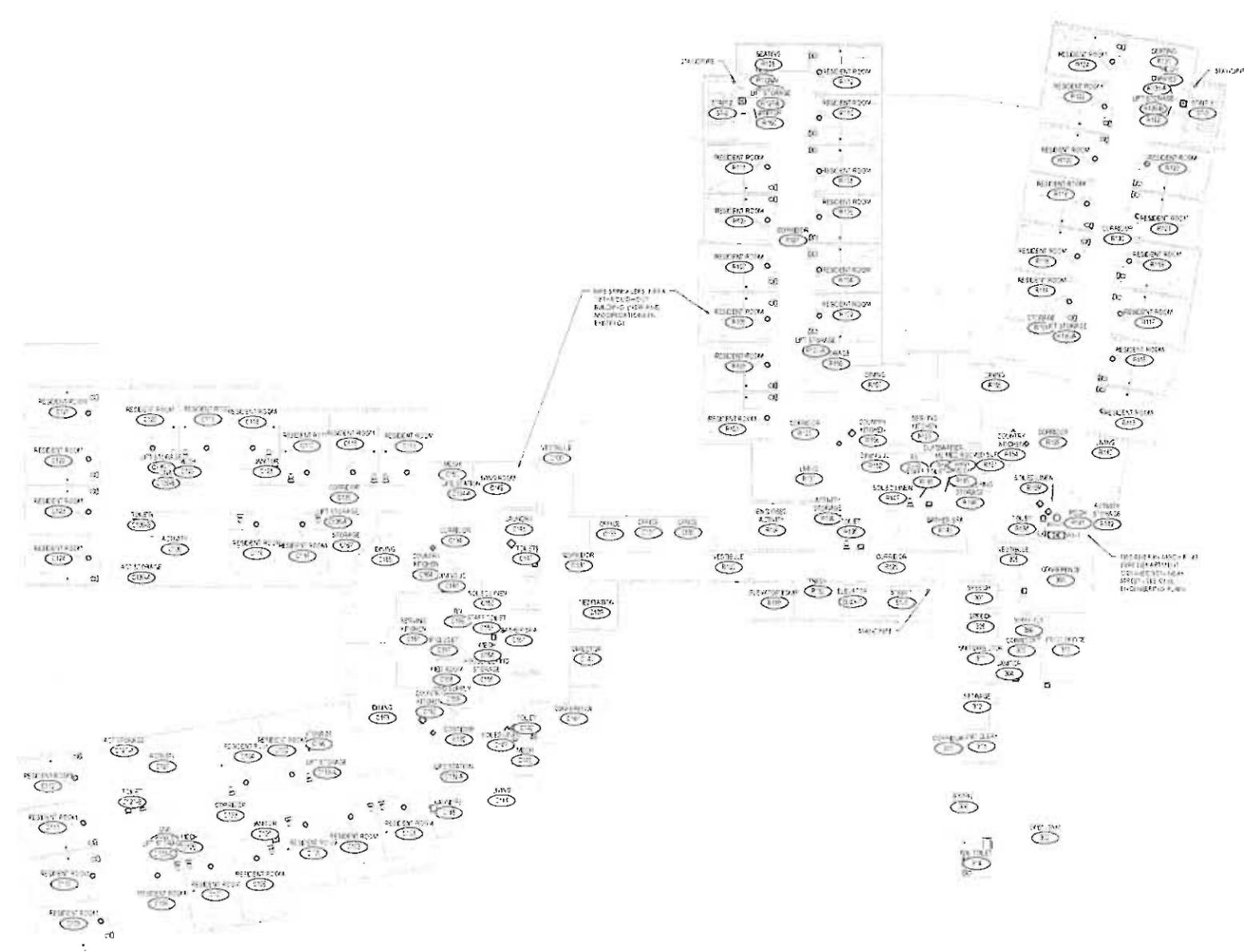
SHEET INFORMATION

**PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION**

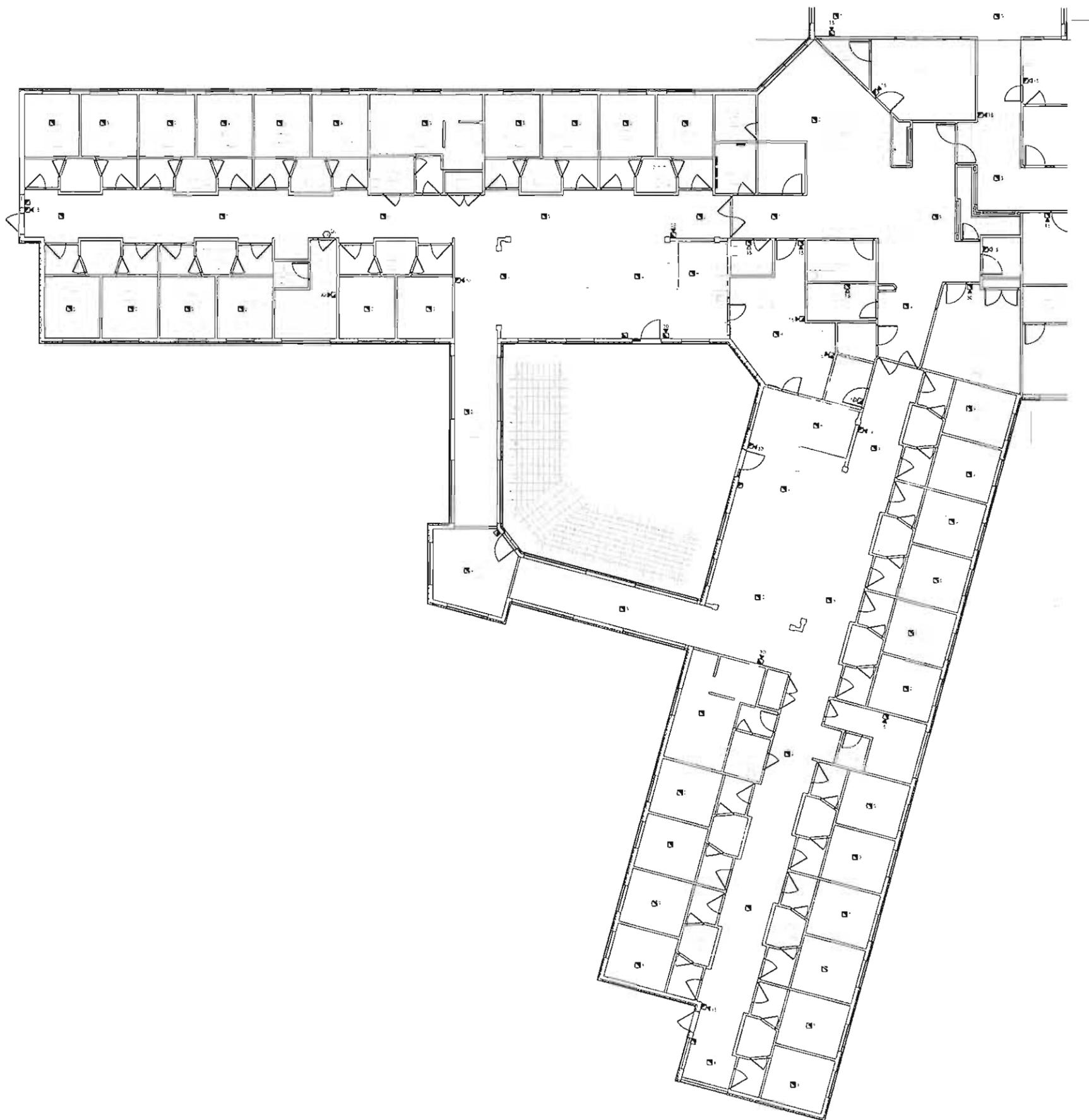
PROJECT MANAGER: MJG
PROJECT NUMBER: 112975-01
DATE: 05-04-15

FIRE PROTECTION PLAN

FP201



1 01 1st Floor Fire Protection Plan



1 FIRST FLOOR - System - 100 & 200 WING & 8W



eppstein uhlen : architects
 MILWAUKEE 233 East Exchange Street
 Milwaukee, Wisconsin 53202
 Telephone 414 221 1200
 FAX 414 221 1201
 215 West Kinnelon Ave. 5th Fl.
 New York, New York 10024
 Telephone 212 410 5802



PROJECT INFORMATION

BROOKSIDE CARE CENTER

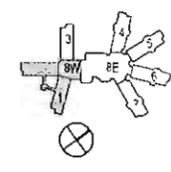
3506 Washington Rd
 Kenosha WI 53144

ISSUANCE AND REVISIONS

SCHEMATIC DESIGN

#	DATE	DESCRIPTION
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KEY PLAN



SHEET INFORMATION

PROGRESS DOCUMENTS
 NOT FOR CONSTRUCTION

PROJECT MANAGER
 PROJECT NUMBER 112379-01
 DATE 05-14-15

FIRST FLOOR PLAN -
 SYSTEM - 100&200
 WING & 8W

EY101



eppstein uhen : architects

11 Inwood 337 East Chicago Street
Milwaukee WI 53204-1200
Telephone 414 337 1152
Fax 414 337 1153
222 West Madison Box 506
Madison WI 53701-0506
Telephone 608 257 2222
telex 510122



PROJECT INFORMATION

BROOKSIDE CARE
CENTER

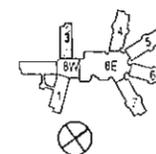
3506 Washington Rd
Kenosha WI 53144

ISSUANCE AND REVISIONS

SCHEMATIC DESIGN

#	DATE	DESCRIPTION

KEY PLAN



SHEET INFORMATION

PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION

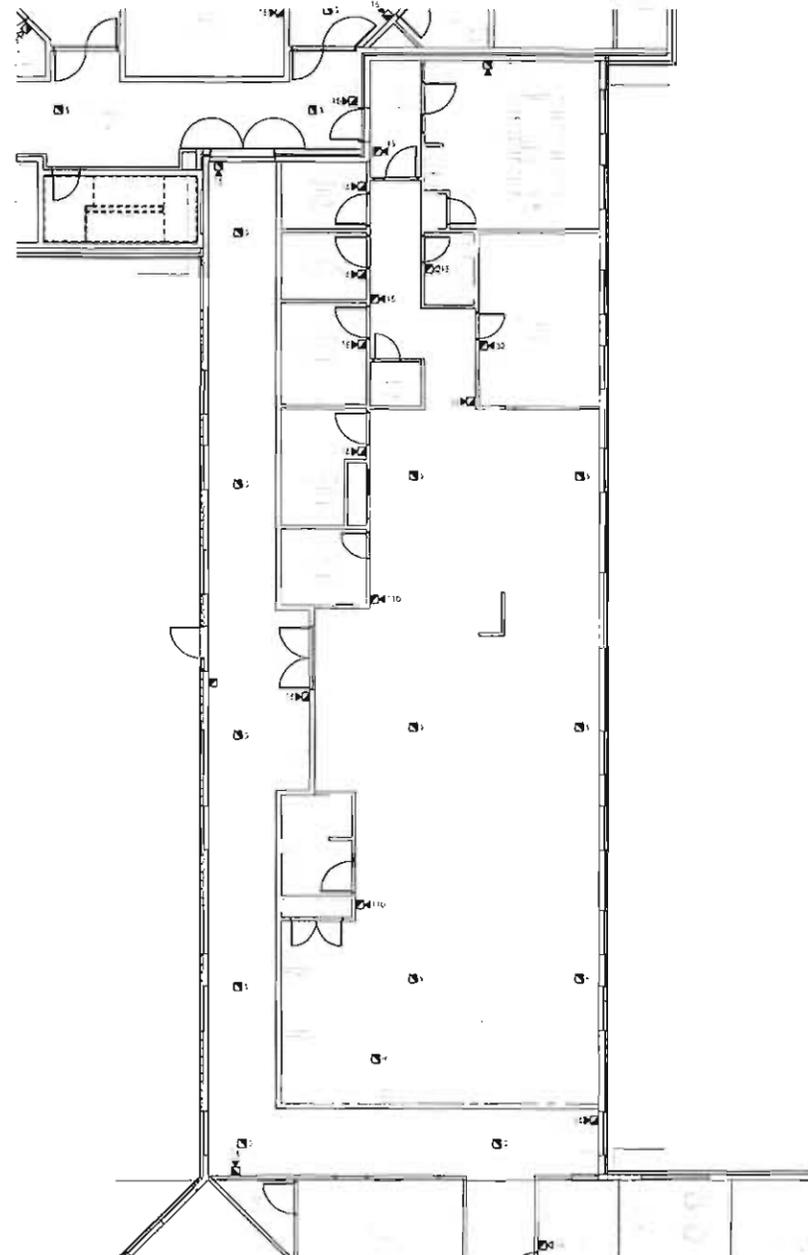
PROJECT MANAGER

PROJECT NUMBER 112379-01

DATE 06-14-15

FIRST FLOOR PLAN -
SYSTEM - 300 WING

EY102



1 FIRST FLOOR- System - 300 WING
1/8" = 1'-0"



eppstein uhen : architects

MINNEAPOLIS 250 EAST CHICAGO STREET
MINNEAPOLIS, MN 55401-2000
TELEPHONE 612 331 1507
FAX 612 331 1508
ST. LOUIS 222 AND KATHLEEN AVENUE, SUITE 402
ST. LOUIS, MO 63103-1012
TELEPHONE 314 433 5300



PROJECT INFORMATION

BROOKSIDE CARE CENTER

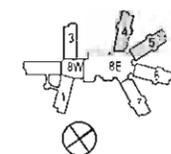
3506 Washington Rd
Kenosha WI 53144

ISSUANCE AND REVISIONS

SCHEMATIC DESIGN

#	DATE	DESCRIPTION

KEY PLAN



SHEET INFORMATION

PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION

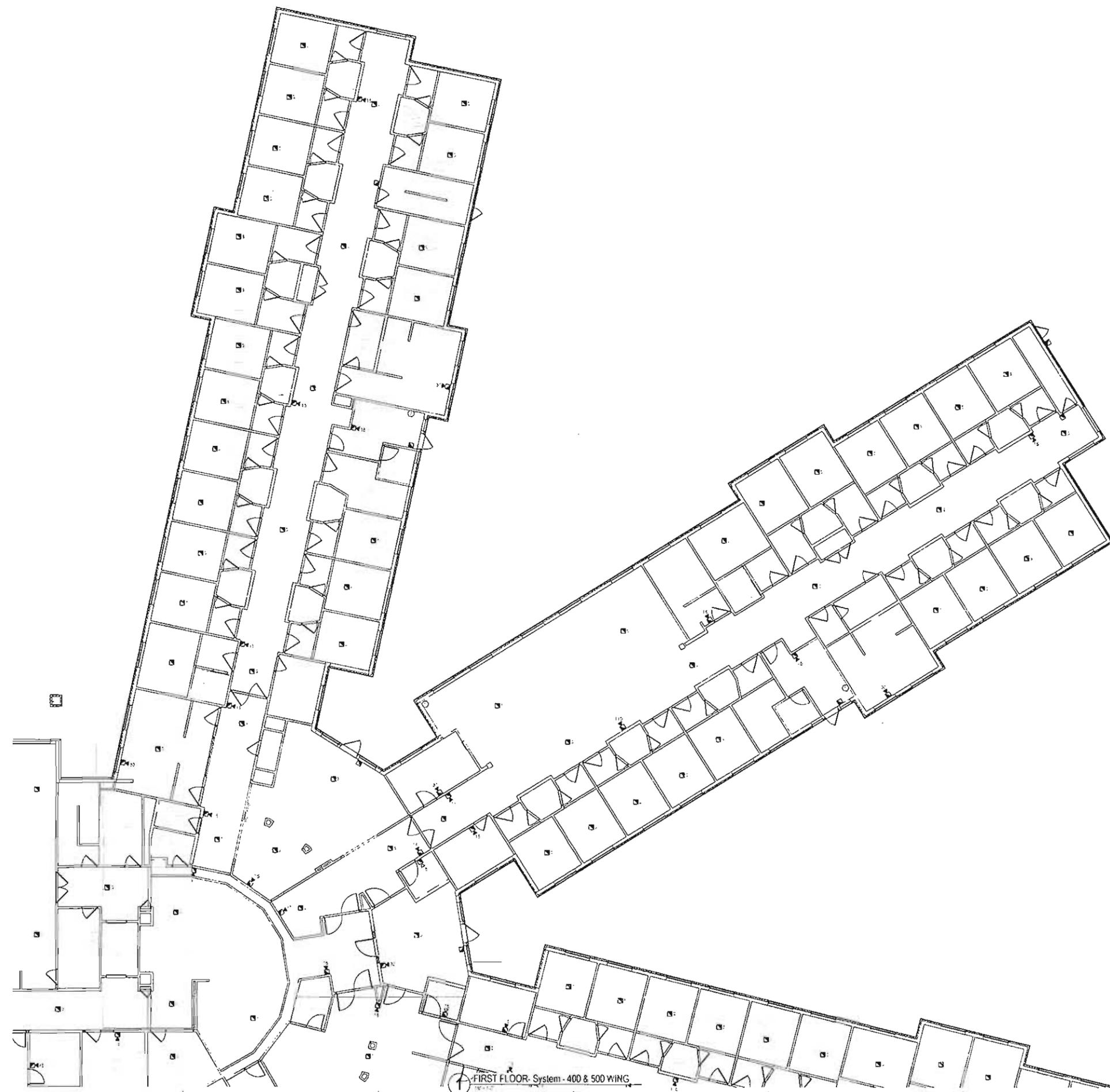
PROJECT MANAGER

PROJECT NUMBER 112379-01

DATE 05-14-15

FIRST FLOOR PLAN -
SYSTEM - 400&500
WING

EY103



FIRST FLOOR - System - 400 & 500 WING



eppstein uhen : architects

1100 East Chicago Street
Kenosha, WI 53140
Telephone: 920.271.1500
227 West Exchange Ave. Suite 500
Kenosha, WI 53140
Telephone: 920.432.5800



PROJECT INFORMATION

BROOKSIDE CARE CENTER

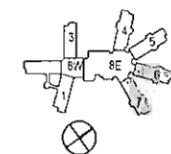
3506 Washington Rd
Kenosha WI 53144

ISSUANCE AND REVISIONS

SCHEMATIC DESIGN

#	DATE	DESCRIPTION
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KEY PLAN



SHEET INFORMATION

PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION

PROJECT MANAGER

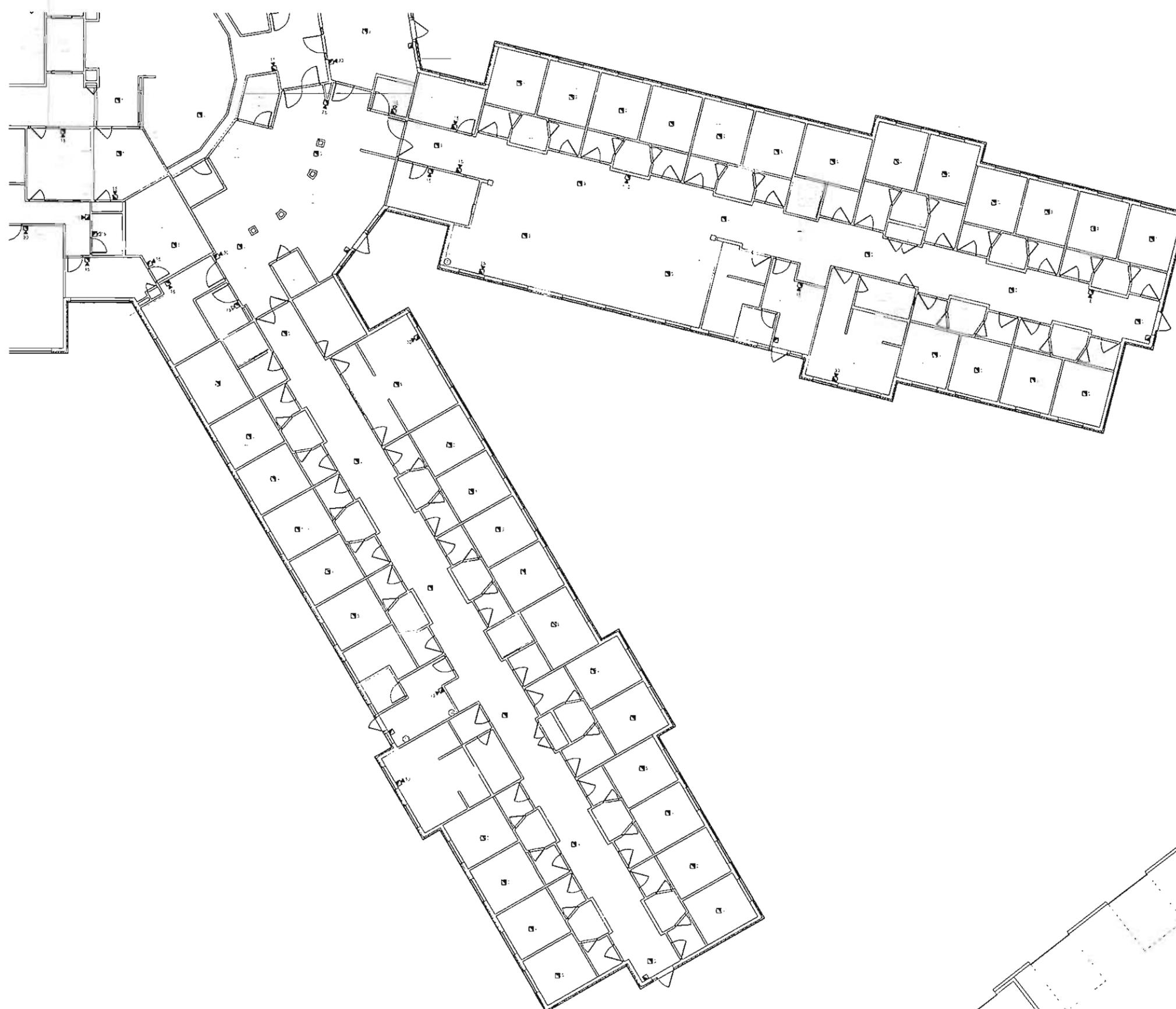
PROJECT NUMBER 112979-01

DATE 05-14-15

FIRST FLOOR PLAN -
SYSTEM - 600&700
WING

EY104

File Name: 104-Architects.rvt



1 FIRST FLOOR- System - 600 & 700 WING



eppstein uhen : architects

333 East Chicago Street
Kenosha, WI 53102
Tel: 920.392.1200
Fax: 920.392.1201
www.eua.com



PROJECT INFORMATION

BROOKSIDE CARE CENTER

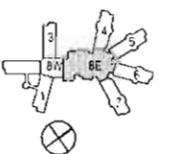
3506 Washington Rd
Kenosha WI 53144

ISSUANCE AND REVISIONS

SCHEMATIC DESIGN

#	DATE	DESCRIPTION
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KEY PLAN



SHEET INFORMATION

PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION

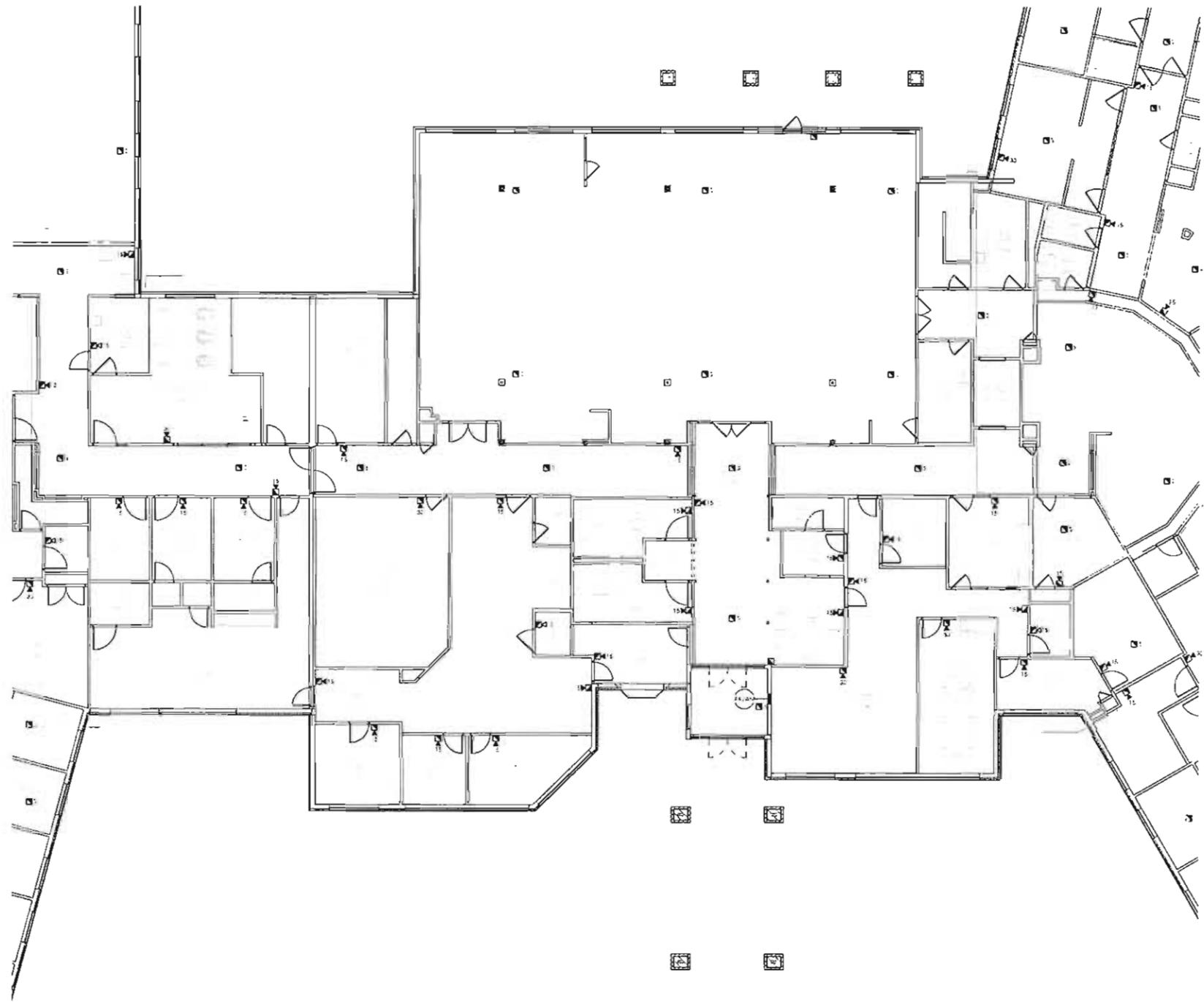
PROJECT MANAGER

PROJECT NUMBER 112979-01

DATE 05-14-15

FIRST FLOOR PLAN -
SYSTEM - ADMIN 8E

EY105



1 FIRST FLOOR - System - ADMIN 8E



eppstein uhen : architects

1300 East Du Sable Street
Milwaukee, WI 53212-2500
Telephone 414 271 4300
277 West Washington Ave. 5th Fl.
Milwaukee, WI 53233
Telephone 414 442 5800



PROJECT INFORMATION

BROOKSIDE CARE CENTER

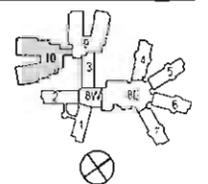
3506 Washington Rd
Kenosha WI 53144

ISSUANCE AND REVISIONS

SCHEMATIC DESIGN

#	DATE	DESCRIPTION

KEY PLAN



SHEET INFORMATION

PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION

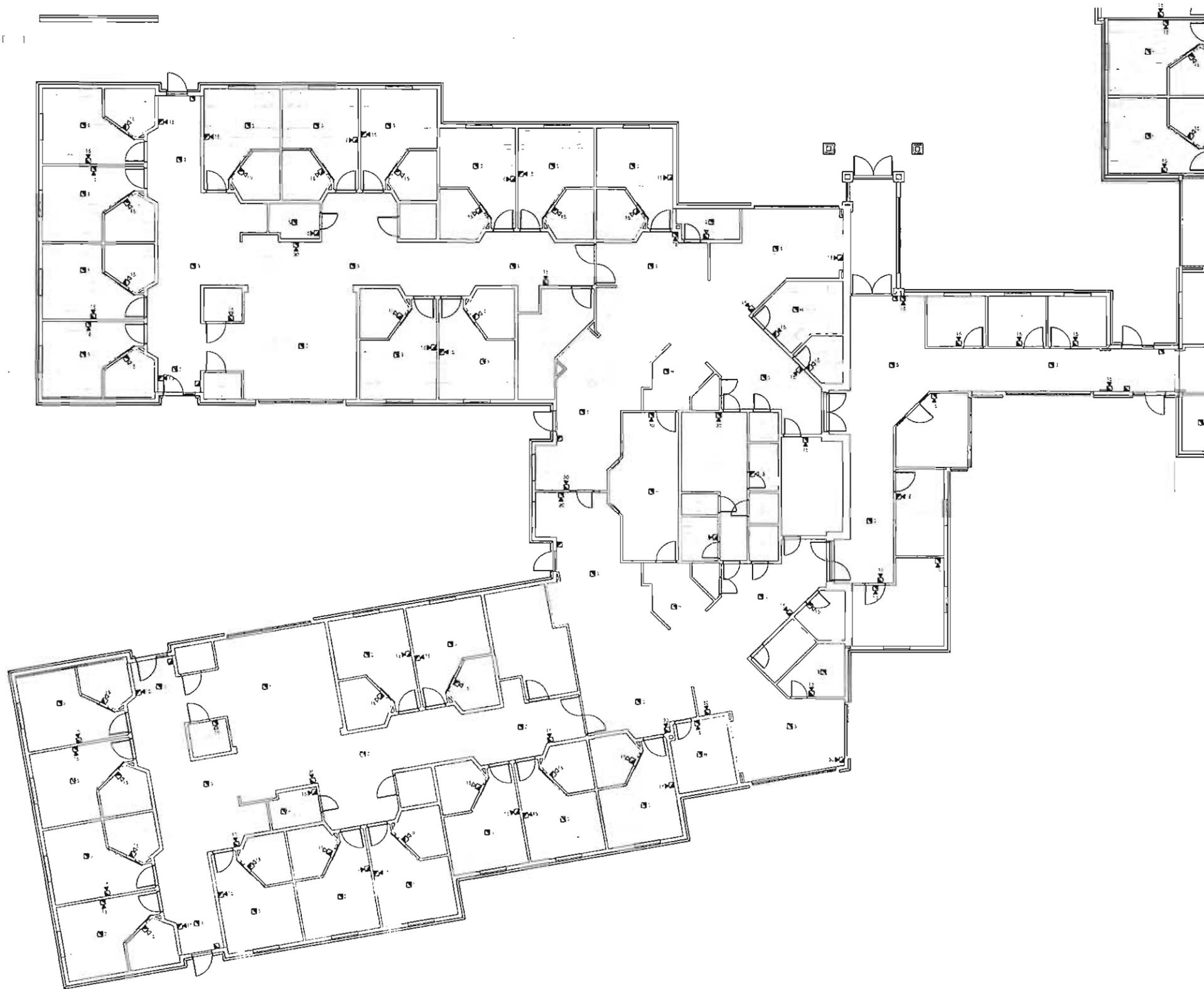
PROJECT MANAGER

PROJECT NUMBER 112375-01

DATE 05.14.15

FIRST FLOOR PLAN -
SYSTEM - CBRF

EY106



1 FIRST FLOOR - System - CBRF



eppstein uhen : architects

1111 E. Superior Street
Kenosha, WI 53144
Phone: 920.399.1111
Fax: 920.399.1112
www.eua.com



PROJECT INFORMATION

BROOKSIDE CARE CENTER

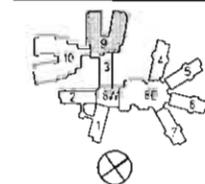
3506 Washington Rd
Kenosha WI 53144

ISSUANCE AND REVISIONS

SCHEMATIC DESIGN

#	DATE	DESCRIPTION

KEY PLAN



SHEET INFORMATION

**PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION**

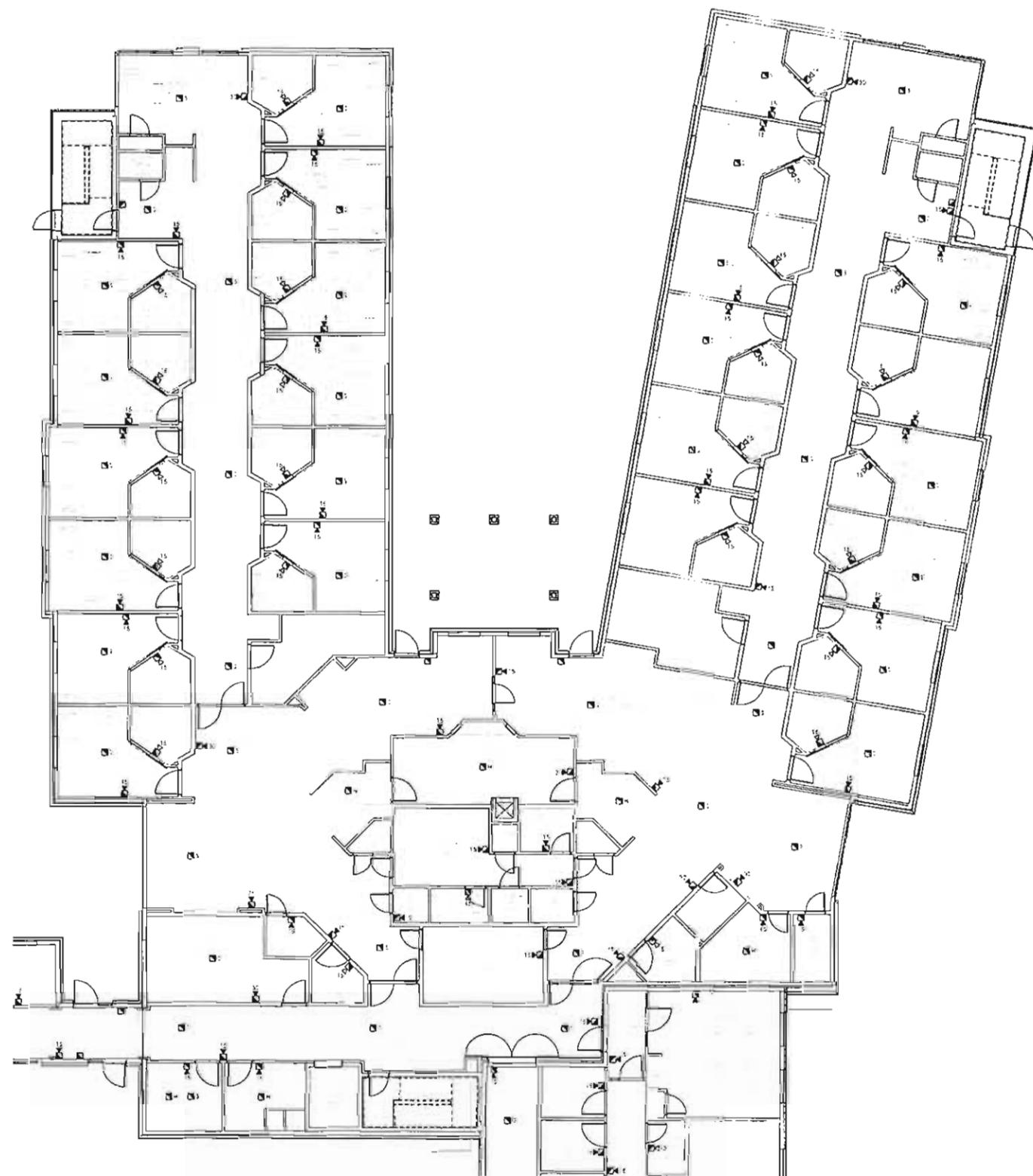
PROJECT MANAGER

PROJECT NUMBER 112175-01

DATE 05-14-15

**FIRST FLOOR PLAN -
SYSTEM -
REHABILITATION**

EY107

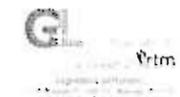


1 FIRST FLOOR - System - REHABILITATION
05-14-15



eppstein uhen : architects

1120 East Chicago Street
Kenosha WI 53140-1002
Telephone 414 221 4500
Fax 414 221 4501
227 West Washington Ave. 5th Fl.
Madison WI 53702
Telephone 608 442 3800



PROJECT INFORMATION

BROOKSIDE CARE CENTER

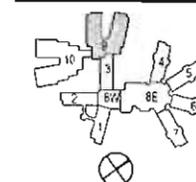
3506 Washington Rd
Kenosha WI 53144

ISSUANCE AND REVISIONS

SCHEMATIC DESIGN

NO.	DATE	DESCRIPTION

KEY PLAN



SHEET INFORMATION

PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION

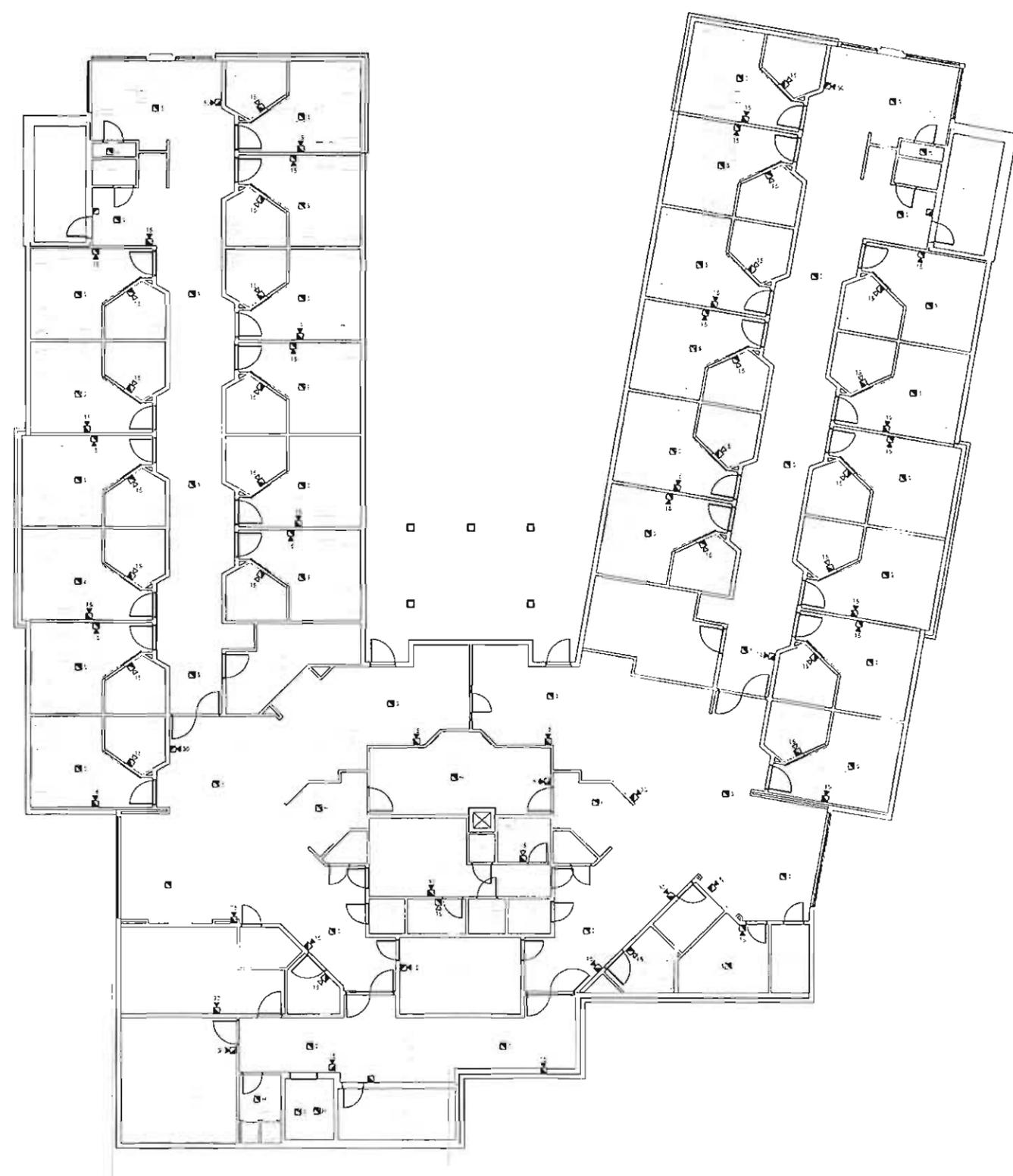
PROJECT MANAGER

PROJECT NUMBER 112275-01

DATE 06-14-15

SECOND FLOOR
PLAN - SYSTEM -
REHABILITATION

EY201



1 SECOND FLOOR-System-REHABILITATION
1"=1'-0"

E
O
C
B
A

1 2 3 4 5 6 7

1 2 3 4 5 6 7

Thursday, June 18, 2015 at 5:00 pm
Municipal Building
625 52nd Street - Room 202 - Kenosha, WI 53140

**Conditional Use Permit Extension for a 45-unit apartment building to be located at 720 59th Place.
(Residences at Library Park) (District 2) PUBLIC HEARING**

NOTIFICATIONS AND APPROVAL REQUIREMENTS:

Aldersperson Jenkins, District 2, has been notified. The City Plan Commission is the final review authority.

LOCATION AND ANALYSIS:

Site: 720 59th Place

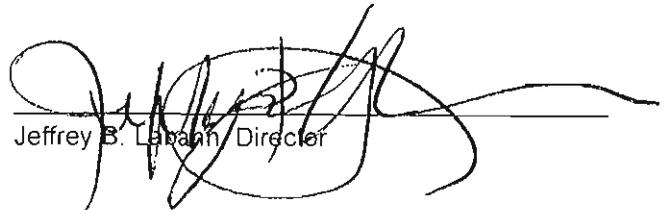
1. The Common Council approved a Conditional Use Permit to convert the former KYF Building into forty-five (45) apartment units on October 6, 2014. A Condition of Approval was that the applicant must satisfy all the conditions of Approval and pull a Building Permit within six (6) months of the approval.
2. The applicant submitted a Request to Extend the Conditional Use Permit prior to the expiration date. The request indicated that the applicant has been working with the National Park Service (NPS) on the historic aspect of the project. Due to delays with the NPS, the applicant is requesting an Extension of the Conditional Use Permit.
3. The planned exterior changes to the building had to be modified slightly based on the review by the NPS. The City of Kenosha Historic Preservation Commission reviewed and approved the changes at their meeting on April 30, 2015. Since the exterior elevations were changed from the Common Council's approval in October 2014, Staff asked the applicant to submit the new elevations with the Conditional Use Permit extension request. The revised elevations were submitted on June 5, 2015, so the extension request is now being placed on the agenda for review.
4. All of the original Conditions of Approval still apply. City Departments are currently reviewing revised plans for compliance with the Conditions of Approval.

RECOMMENDATION:

Since the Extension will allow the applicant time to satisfy the Conditions of Approval and obtain the appropriate permits, a recommendation is made to grant an Extension until April 6, 2016, subject to the attached Conditions of Approval.



Brian Wilke, Development Coordinator



Jeffrey B. Labahn, Director

Planning & Zoning Division 625 52nd Street Kenosha, WI 53140 262.653.4030	<i>Kenosha City Plan Commission Conditions of Approval</i>	Residences at Library Park 720 59th Place	September 18, 2014
--	--	--	--------------------

1. The following Conditions of Approval will run with the land and shall be included in a document recorded with the Kenosha County Register of Deeds:
 - a. The applicant shall obtain all required construction permits from the Department of Community Development & Inspections. This includes, but is not limited to Raze, Erosion Control, Building, Plumbing, Electrical and Occupancy permits.
 - b. The applicant shall obtain Driveway, Sidewalk, Street Opening and Parking Lot permits from the Department of Public Works.
 - c. All signs shall comply with Chapter 15 of the Code of General Ordinances and the applicant shall obtain sign permits for all new signs. A separate submission and permits are required for all signs. Sign information provided under the Conditional Use Permit is for reference only and does not constitute sign permit approval.
 - d. The development shall be constructed per the approved plans on file with the Department of Community Development & Inspections, Room 308, 625 52nd Street, Kenosha, WI 53140. Any changes to the approved plans shall require an amendment to the Conditional Use Permit. All changes shall be submitted to the Department of Community Development & Inspections for review and approval.
 - e. Prior to the issuance of any Occupancy permits, all parking areas, drives and designated paved areas shall have the initial lift of asphalt installed. The building exterior shall be completed per the approved plans, the exterior lighting shall be installed and the Conditional Use Permit shall be recorded with the Kenosha County Register of Deeds. All improvements indicated on the plans, including landscaping, shall be installed prior to the issuance of a final Occupancy permit. The recording fees for the Conditional Use Permit shall be submitted by the applicant.
 - f. Compliance with City and State and/or Federal Codes and Ordinances. The buildings shall comply with the current Code standards in effect upon application for a building permit.
 - g. All trash containers shall be stored within the enclosure or building. The applicant/owner shall be responsible for waste collection and removal for the development. The City of Kenosha shall not provide waste collection or removal services or incur any cost in this regard.
 - h. The applicant shall meet all applicable Conditions of Approval and obtain a building permit within six (6) months of Common Council approval of the Conditional Use Permit or the Conditional Use Permit shall be null and void.
 - i. All vehicles shall be parked within the designated paved areas.
 - j. All improvements, including landscaping, shall be maintained per the approved plans. Any damaged fencing, landscaping or building shall be replaced or reconstructed per the approved plans.
 - k. Compliance with the Operational Plan.

Planning & Zoning Division 625 52nd Street Kenosha, WI 53140 262.653.4030	Kenosha City Plan Commission Conditions of Approval	Residences at Library Park 720 59th Place	September 18, 2014
---	--	---	---------------------------

- l. The parking lot at the southwest corner of 59th Street and 8th Avenue is approved with the Conditional Use Permit of the principal building. If any parking spaces are to be removed from this parking lot, an Amendment to the Conditional Use Permit shall be required. The minimum number of off-street parking spaces shall be maintained at all times, or relief must be granted from the applicable review authority.
 - m. Compliance with any determination of the Historic Preservation Commission.
2. The following conditions of approval shall be satisfied with City Staff prior to the issuance of any construction permits.
 - a. The Drainage Plan shall be revised and resubmitted for review and approval addressing comments listed in the Public Works memo dated September 12, 2014.
 - b. The Utility Plan shall be revised and resubmitted for review and approval addressing the comments listed in the Kenosha Water Utility Memo dated September 4, 2014.
 - c. An Operational Plan shall be submitted indicating construction commencement and completion dates, management and operational control, Deed Restrictions (if any) and Bylaws or Property Owner's Association Articles of Incorporation.
 - d. The Site and Floor Plans shall include the following:
 - i. Exterior first floor wall measurements.
 - ii. Total square footage of the building and square footage of each floor.
 - iii. A breakdown in square footage of the site dedicated to building, paving and open space/landscaping.
 - e. A Fire Sprinkler System shall be installed with an interior standpipe system. A remote Fire Department Connection shall be installed with a location to be determined. A Fire Alarm System shall be installed per the Code.
 - f. The Landscape Plan shall be revised and submitted for approval by Staff. The interior parkway and new parking lot shall be landscaped per Section 14 of the Zoning Ordinance. A six (6') foot tall fence shall be installed along the south lot line of the existing parking lot.
 - g. Install a fence along the parking lot sidewalk that abuts the "trash ramp". Provide details of the fencing. The fencing shall be compatible with other fencing on the site.
 - h. A letter shall be provided for the file indicating that the project will not seek tax exemption status.
 - i. The wall along 59th Street to screen the dumpster is currently in the right-of-way and must be removed. Also, it will be in the vision clearance triangle for the exit drive of the parking lot. With this wall removed, the configuration of the dumpster enclosure must be changed. No part of the dumpster enclosure can be in the vision clearance triangle.



2008 St Johns Ave
Highland Park, IL 60035
P: 847.432.9700
F: 847.432.9701

Varin/Library Park II, LLC

Via email (bwilke@kenosha.org) & FedEx

April 1, 2015

Brian R. Wilke
Development Coordinator
City of Kenosha
625 52nd St
Kenosha, WI 53140

RE: Residences at Library Park – Conditional Use Permit

Dear Brian,

It is our understanding that the conditional use permit for the Residences at Library Park located at 720 59th Place, Kenosha, Wisconsin 53140 will expire shortly.

While we have made significant progress to proceed to construction we need additional time due to delays with the National Park Service. We hereby request the conditional use permit be extended by a period of one year. We have included our \$125 fee within the package for processing.

Please let me know if you have any questions. Thank you

Respectfully,

A handwritten signature in black ink, appearing to read "David Nankin".

David Nankin

Engineering Services
4401 Green Bay Road
Kenosha WI 53144

Phone (262) 653-4315
Fax (262) 653-4303



"Providing and Protecting Kenosha's Greatest Natural Resource"

MEMO

To: Brian Wilke, Development Coordinator

From: Ian C. Bagley, P.E., Water Engineer

Date: September 4, 2014

Subject: The Residences at Library Park

Location: 720 59th Place

The Kenosha Water Utility (KWU) has reviewed the submittal for the above referenced project. No sewer or water improvements were submitted for review. Per an email from Mr. Peter Bissen on September 3rd, it is anticipated that the existing four inch (4") water service will be insufficient and will need to be replaced. Any changes to the existing water or sanitary sewer service must be submitted to KWU for review as part of the plan review process. KWU cannot recommend the project for approval without these items being reviewed for conformance with KWU requirements.

CC: Mr. Robert Carlson, P.E., Director of Engineering Services



ENGINEERING DIVISION
 SHELLY BILLINGSLEY, P.E.
 CITY ENGINEER
 PARK DIVISION
 JEFF WARNOCK
 SUPERINTENDENT
 FLEET MAINTENANCE
 MAURO LENCI
 SUPERINTENDENT

STREET DIVISION
 JOHN H. PRIJIC
 SUPERINTENDENT
 WASTE DIVISION
 ROCKY BEDNAR
 SUPERINTENDENT

DEPARTMENT OF PUBLIC WORKS

MICHAEL M. LEMENS, P.E., DIRECTOR
 SHELLY BILLINGSLEY, P.E., DEPUTY DIRECTOR

MUNICIPAL BUILDING · 625 - 52ND ST · RM 305 · KENOSHA, WI 53140
 TELEPHONE (262) 653-4050 · FAX (262) 653-4056
 EMAIL PUBLICWORKS@KENOSHA.ORG

TO: Brian Wilke, Development Coordinator

FROM: Michael M. Lemens, P.E.
 Director of Public Works

Shelly Billingsley, P.E.
 City Engineer

[Handwritten signatures and dates]
 9-12-14
 9-12-14

DATE: September 12, 2014
SUBJECT: PLAN REVIEW COMMENTS
Project Description: Residences at Library Park
Location: 720 59th Place

Our staff has reviewed the plans for this project. The following comments are provided:

Parking Lot Ordinance Compliance	Sufficient	Deficient	Not Applicable
Parking Lot Paved		X	
Standard Stall Width		X	
Parking Lot Layout		X	
Parking Lot Lighting Shown		x	
Parking Lot Lighting Adequate		x	
Handicapped Parking		x	
Driveway Locations	x		
Driveway Width		x	
Passing Blister or Accel/Decel Lanes			x
Sidewalks Adequate	x		
Drive Thru Lane Design			x

SEP 12 2014

Public Streets	Sufficient	Deficient	Not Applicable
Geometric Design			x
Pavement Width			x
Pavement Thickness Design			x
Established Grades			x
Plan Details			x
Sidewalks			x
Street Lights			x

Site Grading/Drainage	Sufficient	Deficient	Not Applicable
Drainage Plan		x	
Storm Sewer		x	
Storm Water Detention			x
Drainage Calculations		x	

Project Approval/Permits Needed	Yes	No	Not Applicable
Project Approved for Permitting		x	
Withhold Permits: See Comments	x		
Approve Footing/ Foundation Only (per condition)			x
Parking Lot Permit Required	x		
Driveway Permits Required	x		
Sidewalk Permit Required	x		
Street Opening Permit Required	x		
Stormwater Permit Required		x	
Erosion Control Required	x		

Grading & Drainage Comments:

1. Provide a site drainage and grading plan with spot grades of proposed parking lot.
2. The site survey does not show the storm sewer in 59th Place or 59th Street or any existing connection of the roof drains from the building to the public storm sewer. It will be required that a storm sewer be installed in the parking lot to capture runoff so that it does not drain out over the public sidewalk and down the driveway approach. Include storm sewer sizing calculations in future submittals that include proposed storm sewer work.
3. Additional comments are likely when the drainage and storm sewer plans are submitted.

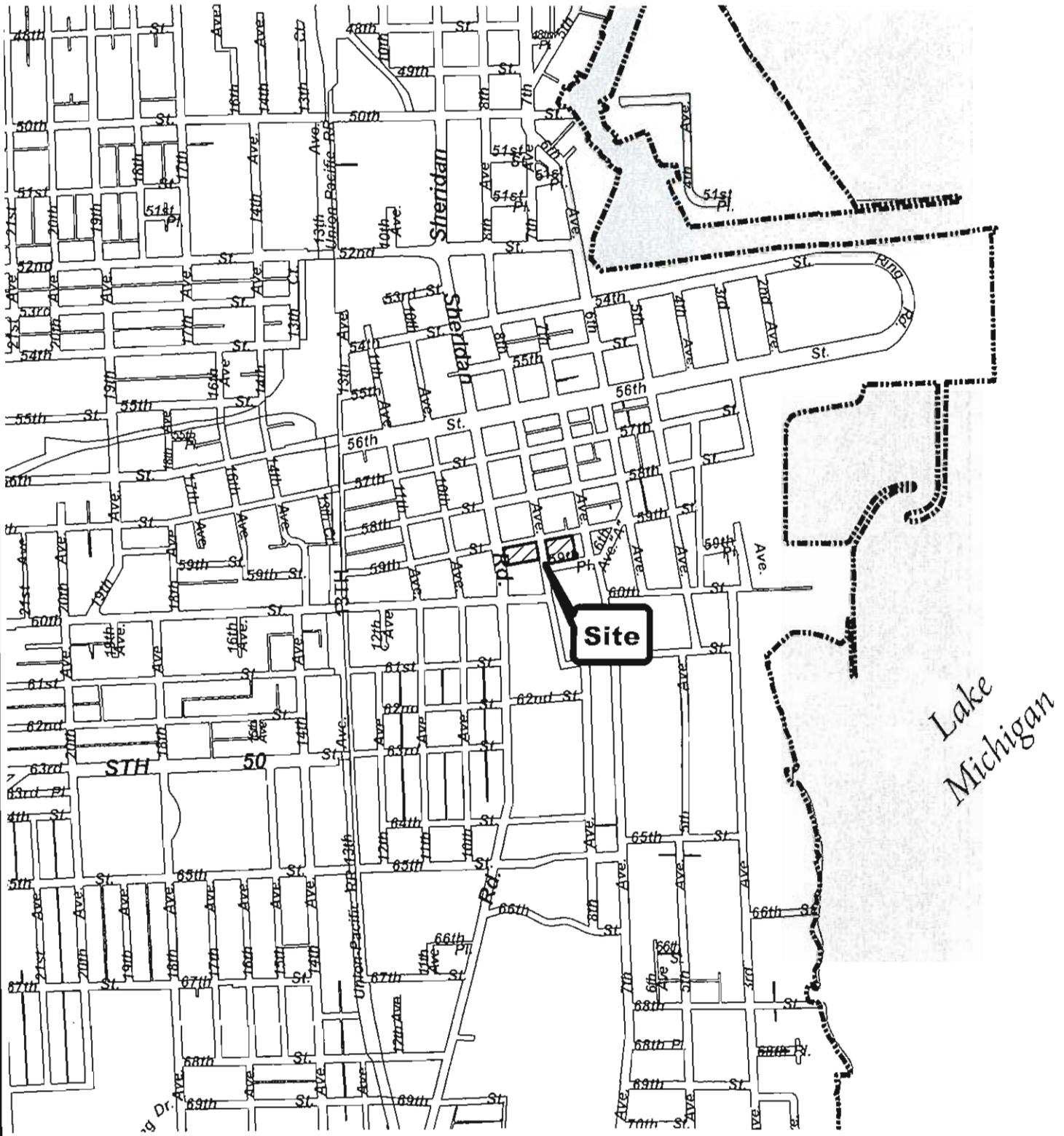
Traffic Comments:

4. Need parking lot photometric plan. All light fixtures on property shall be cut off to cut down on glare as it is distracting to motorists. Such glare would be unacceptable and must be prevented.
5. One handicap stall per 25 parking stalls.
6. Parking stall dimensions to be per ordinance table 1 and 2 in section V page 40-41 and shown on plans.
7. Pavement thickness detail not shown.
8. Driveway approaches to be Class II per 5.085.C.6 of Ordinances and a minimum of 8" concrete.

9. New sidewalk to be ADA compliant.

cc: Jeff Hansen
Shelly Billingsley
Greg Holverson
Kile Kuhlmeier
Gerard Koehler
Chase Kuffel

City of Kenosha
Vicinity Map
Residences at Library Park CUP



Lake Michigan

----- Municipal Boundary



Development Review Application City of Kenosha, Wisconsin

MAILING INFORMATION

NAME OF PROJECT: The Residences at Library Park

Check one (1) of the following boxes to indicate the recipient of all correspondence:

<input type="radio"/>	Name and Address of Applicant [Please print]: David Nankin 2008 St. Johns Avenue Highland Park, Illinois 60035	Phone: 847.432.9700 Fax: 847.432.9701 E-Mail: david@varinrealty.com
<input checked="" type="radio"/>	Name and Address of Architect/Engineer [Please print]: Thomas O'Connell Jr. 600 52nd Street Suite 220 Kenosha, Wisconsin 53140	Phone: 262.652.2800 Fax: E-Mail: tomo@pidarchitects.com
<input type="radio"/>	Name and Address of Property Owner (if other than applicant) [Please print]: _____ _____ _____	Phone: _____ Fax: _____ E-Mail: _____

PROJECT LOCATION

Location of Development (street address and / or parcel number): _____

TYPE OF LAND DEVELOPMENT

Check all that apply. Note: Additional information may be required within individual Sections.

<input type="checkbox"/>	Certified Survey Map	Section 1	Page 3
<input type="checkbox"/>	Concept Review (<i>Land Division</i>)	Section 2	Page 4
<input type="checkbox"/>	Concept Review (Multi-Family Residential or Non-Residential)	Section 3	Page 5
<input checked="" type="checkbox"/>	Conditional Use Permit	Section 4	Pages 6 & 7
<input type="checkbox"/>	Developer's Agreement	Section 5	Page 8
<input type="checkbox"/>	Final Plat	Section 6	Pages 9 & 10
<input type="checkbox"/>	Lot Line Adjustment Survey	Section 7	Page 11
<input type="checkbox"/>	Preliminary Plat	Section 8	Pages 12 & 13
<input type="checkbox"/>	Rezoning	Section 9	Pages 14 & 15
<input type="checkbox"/>	Site Plan Review	Section 10	Pages 16 & 17

**PRIOR TO SUBMITTING THIS APPLICATION TO THE DEPARTMENT OF CITY DEVELOPMENT,
PLEASE REVIEW THE APPROPRIATE SECTION(S) FOR FEES, REQUIREMENTS AND APPROPRIATE APPENDICES:**

**Submit this cover page, completed application, applicable section(s) and appendices
along with ALL required plans, information and fees to:**

Department of Community Development & Inspections
Planning Division
625 52nd Street, Room 308
Kenosha, WI 53140

Phone: 262.653.4030
Fax: 262.653.4045

Office Hours:
M - F 8:00 am - 4:30 pm

**SECTION 4
CONDITIONAL USE PERMIT**

Additional Information Required:	Building or Addition Square Footage: <u>84,945</u>			
	Existing Building Size: <u>102,345</u>			
	Site Size: <u>0.80 Acres</u>			
	Current # of Employees <u>0</u>		Anticipated # of New Employees <u>5</u>	
	Anticipated Value of Improvements <u>\$10,461,502</u>			
Submittal Requirements:	<ul style="list-style-type: none"> ➤ Ten (10) full size scaled copies of Specified Plans indicated below drawn at a standard engineering scale ➤ Developer Site Plan/Conditional Use Permit Checklist (Appendix A) 			
If Item to be Reviewed by Plan Commission/Common Council must Submit:	<ul style="list-style-type: none"> ➤ One (1) 8 1/2" x 11" reduction or twenty (20) 11" x 17" reductions of the Site/Landscape Plan, Floor Plan and Colored Building Elevations (all sides) ➤ Sample Board containing colored samples of all exterior building materials 			
Fees:	Level 1	Building or Addition Size ≤ 10,000 sq. ft.	Site size ≤ 1 acre	Review Fee \$900 = City Plan Dept. or \$1,025 = CPC/CC
	Level 2	10,001 - 50,000 sq. ft.	1.01 - 10 acres	\$1,175 = City Plan Dept. or \$1,300 = CPC/CC
	Level 3	50,001 - 100,000 sq. ft.	10.01 - 25 acres	\$1,600 = City Plan Dept. or \$1,725 = CPC/CC
	Level 4	> 100,001 sq. ft.	> 25.01 acres	\$2,000 = City Plan Dept. or \$2,125 = CPC/CC
	<ul style="list-style-type: none"> ➤ If building size or addition and gross acreage of the site determine two (2) different fees, the greater of the two fees will be assessed. ➤ Application fee entitles applicant to an initial review and one re-submittal. ➤ Re-submittal fee = \$425 per re-submittal after two (2) permitted reviews. ➤ CUP Amendment = 50% of the applicable fee as determined above. 			
Appendices to Review:	➤ All			
Approximate Review Time:	<ul style="list-style-type: none"> ➤ 30 days for Staff Review ➤ 45-60 days for City Plan Commission/Common Council Review 			
The conditional use permit plans, prepared to a standard engineering scale, shall be submitted with this application & shall include the following information:				
Building Plan:	<ul style="list-style-type: none"> ➤ Layout of building(s) including size and layout of rooms ➤ Design and architecture ➤ Plans and details on fire suppression and/or standpipe ➤ Plans and details on fire detection, fire alarm and other safety devices 			
Site Plan (based on a plat of survey)	<ul style="list-style-type: none"> ➤ Legal description of property ➤ Location and footprint of building(s) and structure(s) ➤ Locations of existing and proposed streets, drives, alleys, easements, rights-of-way, parking as required, vehicular and pedestrian access points, and sidewalks ➤ Outline of any development stages ➤ Location and details on any required emergency access roads ➤ A calculation of square footage devoted to building, paving and sidewalks, and landscaped/open space 			
Drainage Plan	<ul style="list-style-type: none"> ➤ Existing topography, including spot elevations of existing buildings, structures, high points, and wet areas, with any previous flood elevations ➤ Floodplain boundaries, if applicable ➤ Soil characteristics, where applicable ➤ Proposed topography of the site denoting elevations and natural drainage after construction and any proposed stormwater retention areas 			



VARIN REALTY
 KENOSHA, WISCONSIN

**THE RESIDENCES AT
 LIBRARY PARK**

720 59TH PLACE
 KENOSHA, WISCONSIN 53140

CONDITIONAL USE PERMIT APPLICATION SET

GENERAL NOTES

- DO NOT SCALE DRAWINGS
- CONTRACTOR SHALL FIELD VERIFY AND OBTAIN THOSE DATA FAMILIAR WITH ALL CONDITIONS AND DIMENSIONS
- ARCHITECTURE SHALL VERIFY ALL UTILITIES PLANS FOR ALL UTILITIES WORK
- ALL WORK SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL CODES FOR ALL APPLICABLE TRADES

CLIENT:
 WASHINGTON PARK LLC
 3000 ST. JAMES AVENUE
 KENOSHA, WISCONSIN 53140
 PHONE: 920.392.1111
 FAX: 920.392.1100
 ATTN: DAVID WARD

ARCHITECT:
 PARTNERS IN DESIGN ARCHITECTS
 4000 5TH STREET, SUITE 200
 KENOSHA, WISCONSIN 53140
 PHONE: 920.392.1111
 ATTN: MICHAEL DOUGLASS, AIA, LEED
 OR
 PETER BROWN



IMPORTANT DATES

PERMITTING
 SET DATE
 PROJECT COMMENCEMENT
 PROJECT COMPLETION

SHEET INDEX

01 TITLE SHEET
 PRELIMINARY
 A0 SITE SHEET
 A1 ARCHITECTURAL SITE PLAN
 A2 SITE PLAN
 A3 FIRST FLOOR PLAN
 A4 FIRST FLOOR DIMENSION PLAN
 A5 SECOND FLOOR PLAN
 A6 SECOND FLOOR DIMENSION PLAN
 A7 THIRD FLOOR PLAN
 A8 THIRD FLOOR DIMENSION PLAN
 A9 FOURTH FLOOR PLAN
 A10 FOURTH FLOOR DIMENSION PLAN
 A11 FIFTH FLOOR PLAN
 A12 FIFTH FLOOR DIMENSION PLAN
 A13 ELEVATION
 A14 NORTH ELEVATION
 A15 SOUTH ELEVATION
 A16 WEST ELEVATION
 A17 EAST ELEVATION
 A18 ELEVATION
 A19 ELEVATION
 A20 ELEVATION
 A21 ELEVATION
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 A100 ELEVATION



THE RESIDENCES AT LIBRARY PARK
 CONDITIONAL USE PERMIT
 APPLICATION SET
 DATE: 08.18.14
 NUMBER: 457.09.001

LEGEND

- 1. 4" CONCRETE OVER 2" POLYSTYRENE INSULATION WITH REINFORCING (TYPE 1-1)
- 2. 4" CONCRETE OVER 2" POLYSTYRENE INSULATION WITH REINFORCING (TYPE 2-1)
- 3. 4" CONCRETE OVER 2" POLYSTYRENE INSULATION WITH REINFORCING (TYPE 3-1)
- 4. 4" CONCRETE OVER 2" POLYSTYRENE INSULATION WITH REINFORCING (TYPE 4-1)
- 5. 4" CONCRETE OVER 2" POLYSTYRENE INSULATION WITH REINFORCING (TYPE 5-1)
- 6. 4" CONCRETE OVER 2" POLYSTYRENE INSULATION WITH REINFORCING (TYPE 6-1)
- 7. 4" CONCRETE OVER 2" POLYSTYRENE INSULATION WITH REINFORCING (TYPE 7-1)
- 8. 4" CONCRETE OVER 2" POLYSTYRENE INSULATION WITH REINFORCING (TYPE 8-1)
- 9. 4" CONCRETE OVER 2" POLYSTYRENE INSULATION WITH REINFORCING (TYPE 9-1)
- 10. 4" CONCRETE OVER 2" POLYSTYRENE INSULATION WITH REINFORCING (TYPE 10-1)

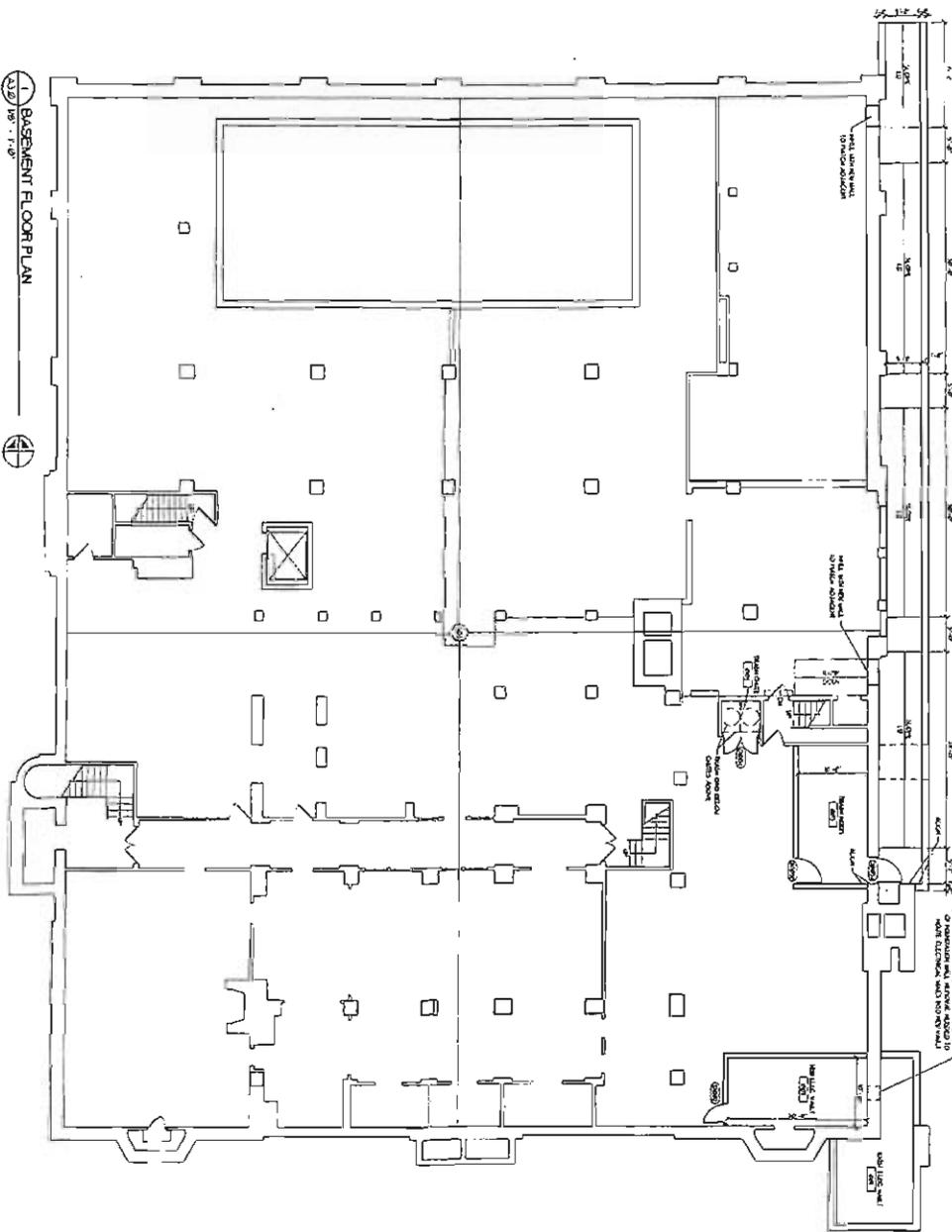
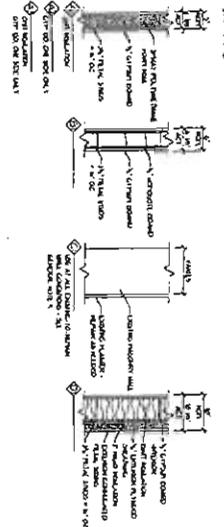
GENERAL NOTES

1. ALL CONCRETE SHALL BE CAST IN PLACE AND SHALL BE FINISHED TO THE FINISH SURFACE.
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10. ALL CONCRETE SHALL BE CAST IN PLACE AND SHALL BE FINISHED TO THE FINISH SURFACE.

FLOOR PLAN KEY NOTES

1. SEE ARCHITECT'S SPECIFICATIONS FOR ALL MATERIALS AND FINISHES.

WALL TYPES



BASEMENT FLOOR PLAN

PRELIMINARY
NOT FOR CONSTRUCTION

THE RESIDENCES AT LIBRARY PARK
720 58th Place, Kenosha, Wisconsin 53140

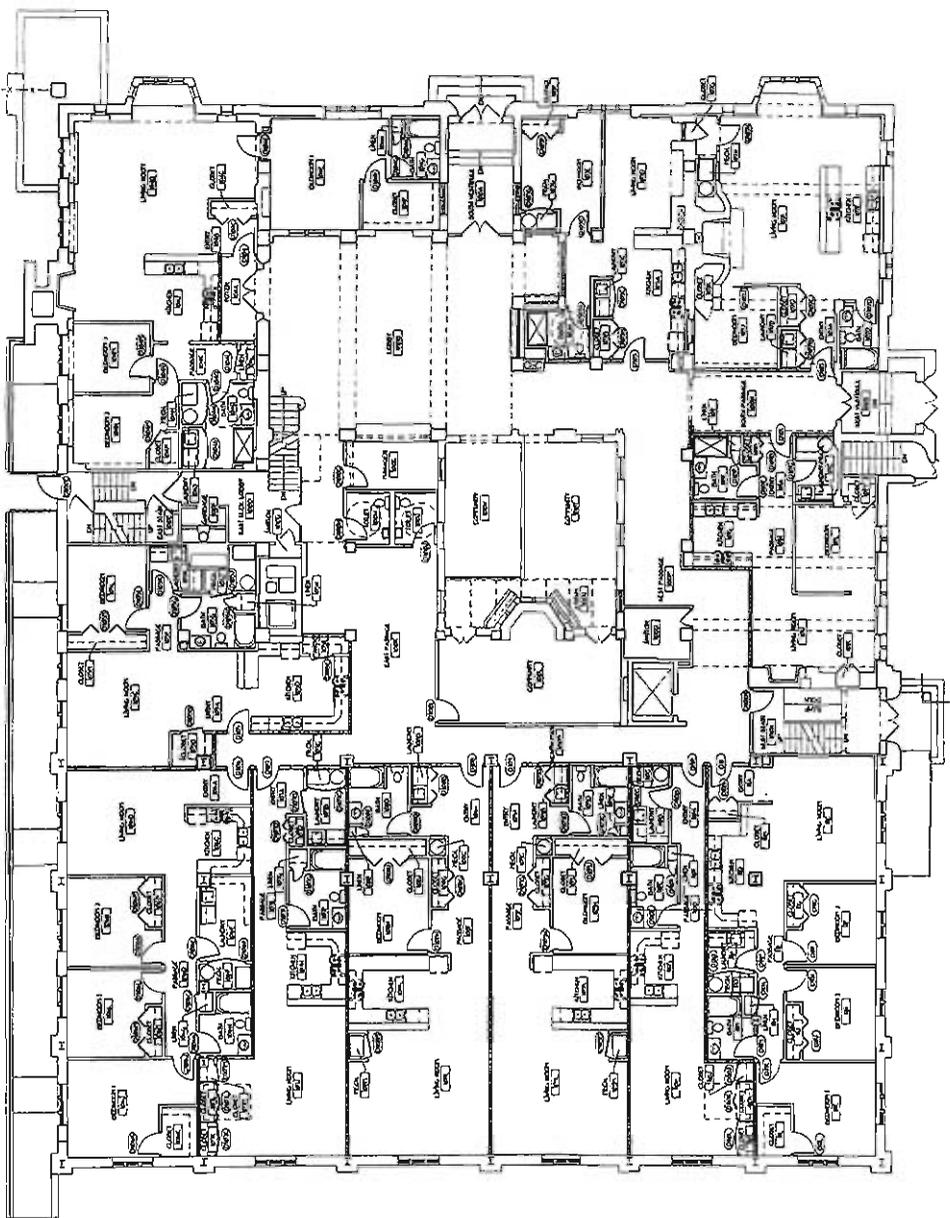
1225 N. WALTON DRIVE
KENOSHA, WI 53141
TEL: 414.393.1000

Partners in Design
ARCHITECTS

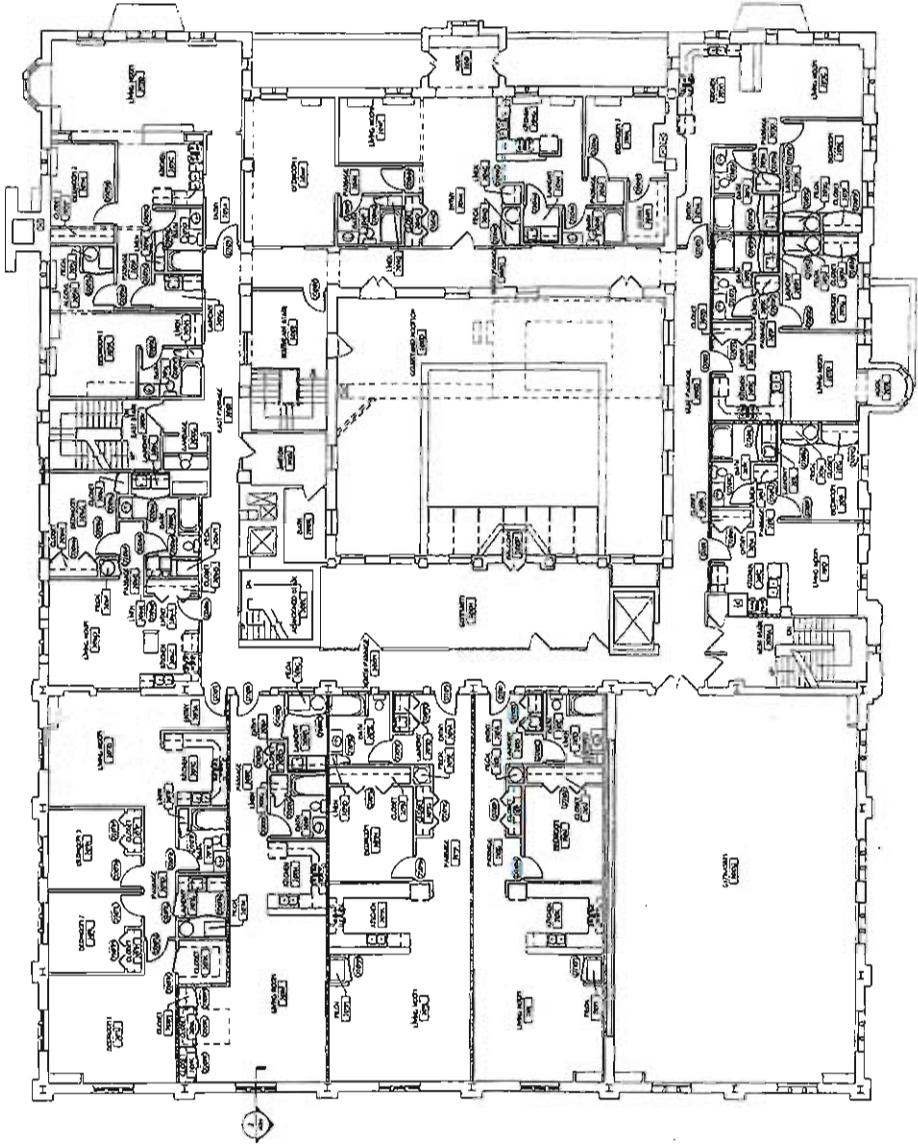


DATE: 04/19/06
DRAWN BY: JAC/ML
CHECKED BY: JAC
PROJECT NO.: 0601014
SHEET NO.

A31

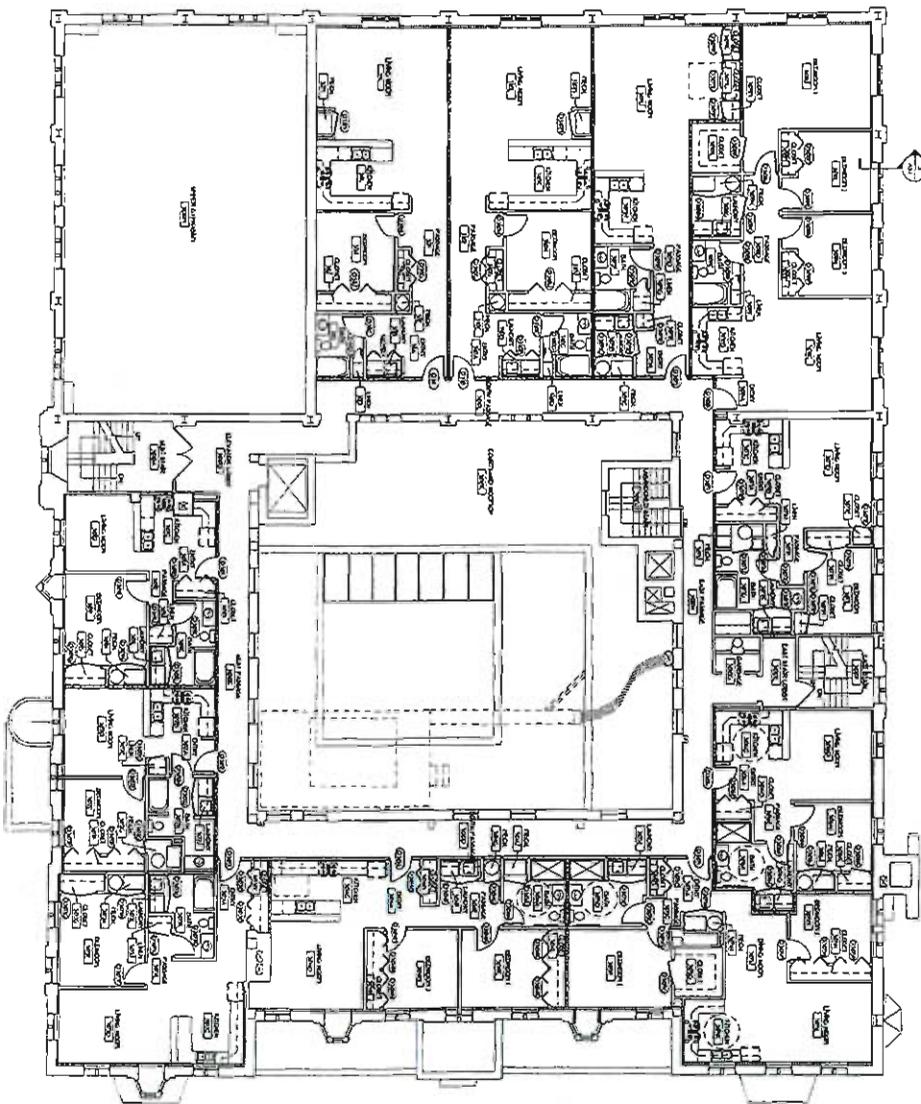


1. FIRST FLOOR PLAN
10.11.06



1 SECOND FLOOR PLAN
 1/8" = 1'-0"

1 THIRD FLOOR PLAN
1/8" = 1'-0"



A35

DATE: 03/24/14
SCALE: 1/8" = 1'-0"
PROJECT: THE RESIDENCES AT LIBRARY PARK

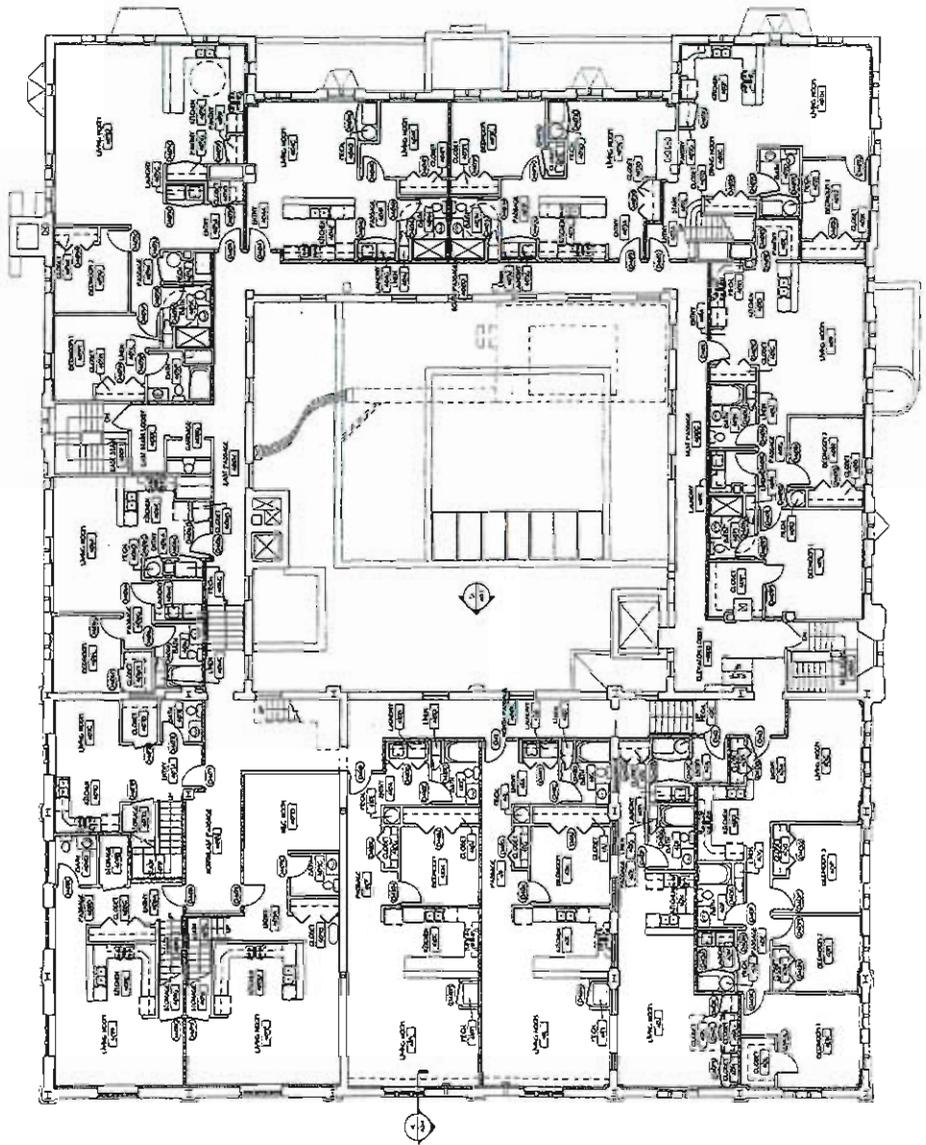


Partners in Design
ARCHITECTS

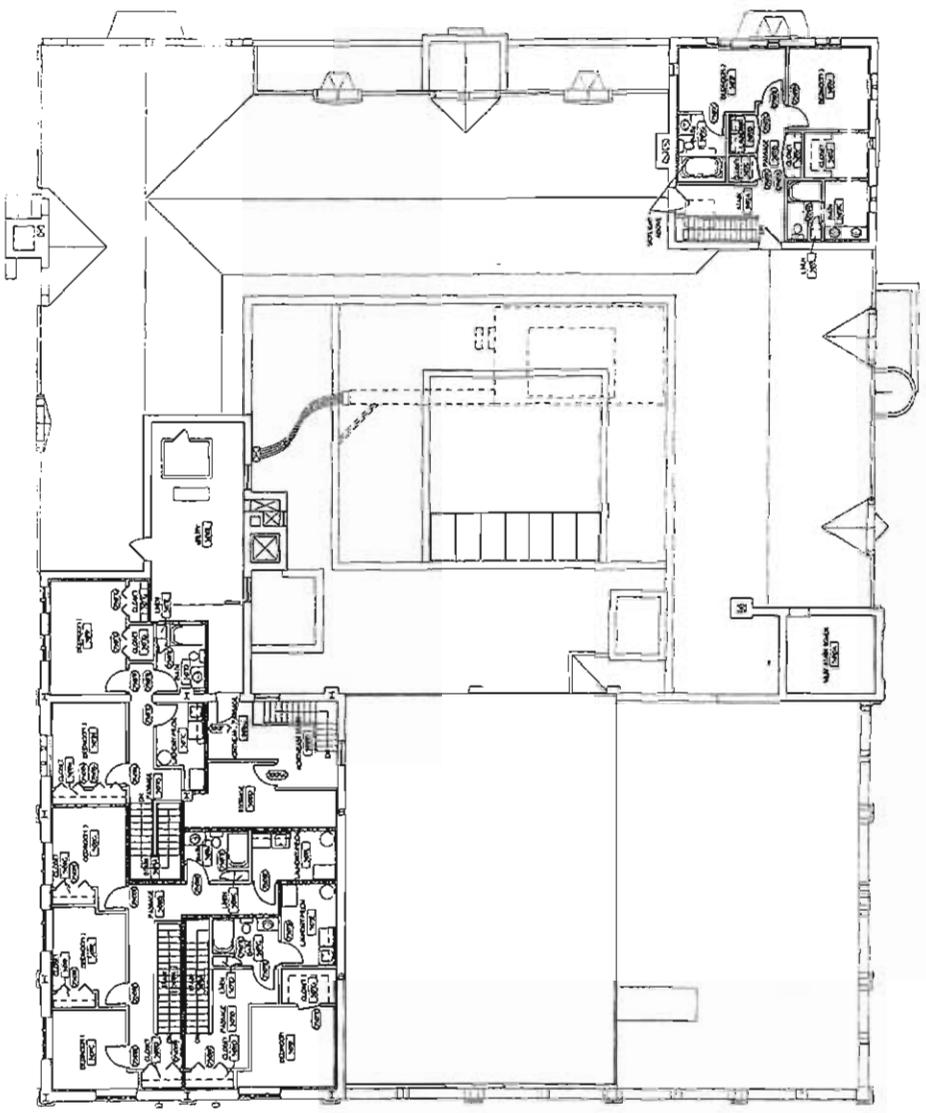
100 E. Main Street
Kenosha, WI 53142
TEL: 224.650.2400

THE RESIDENCES AT LIBRARY PARK
720 59th Place, Kenosha, Wisconsin 53140
THIRD FLOOR PLAN

PRELIMINARY
NOT FOR CONSTRUCTION



FOURTH FLOOR PLAN
1/8" = 1'-0"



1 FIFTH FLOOR PLAN
 A39 1/8" = 1'-0"

LEGEND

- 1. 1/2" THICK CONCRETE SLAB ON GRADE WITH REINFORCING BARS (10#)
- 2. 1/2" THICK GYPSUM BOARD OVER 1/2" THICK CONCRETE SLAB ON GRADE WITH REINFORCING BARS (10#)
- 3. 1/2" THICK GYPSUM BOARD OVER 1/2" THICK CONCRETE SLAB ON GRADE WITH REINFORCING BARS (10#)

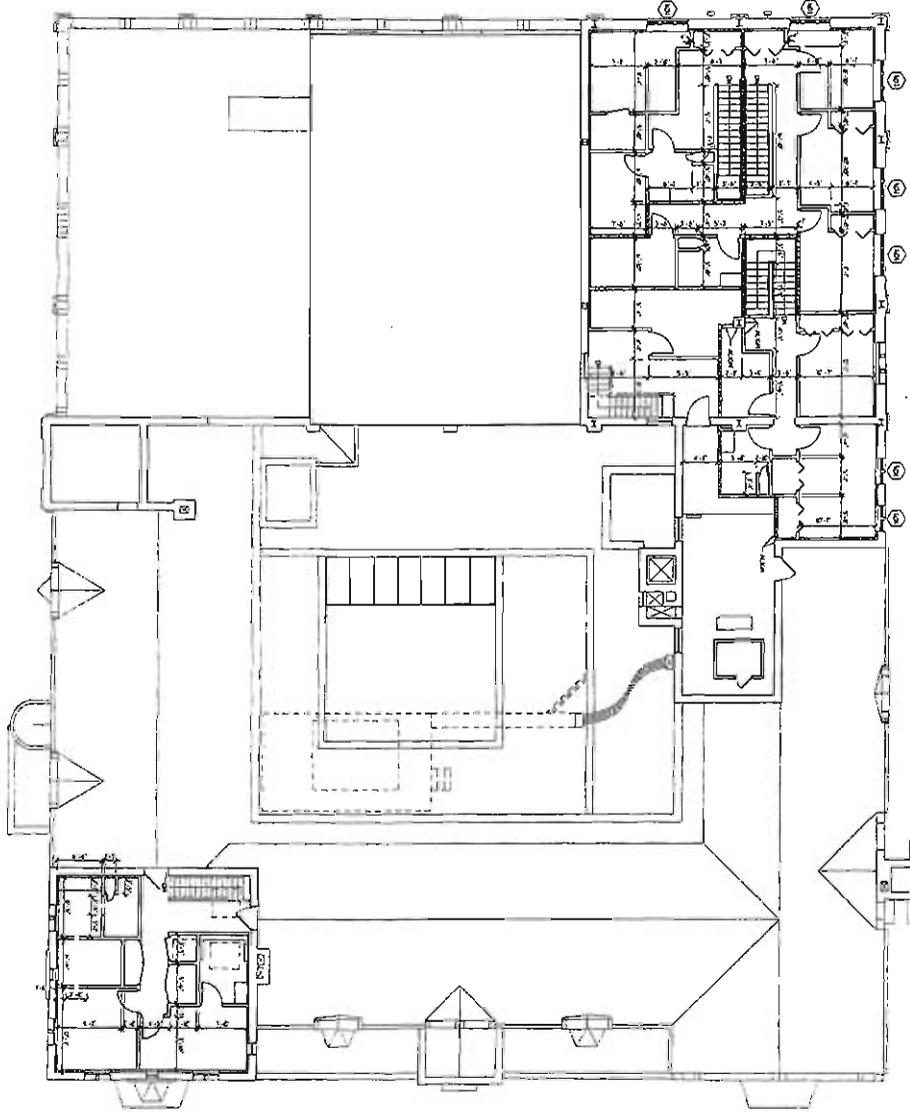
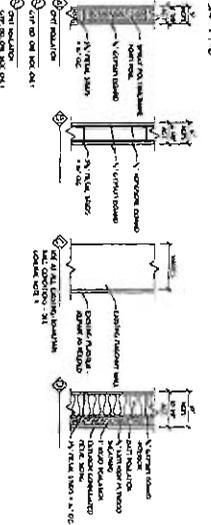
GENERAL NOTES

1. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE TO FACE UNLESS INDICATED OTHERWISE.
2. VERIFY ALL DIMENSIONS AND CONDITIONS WITH THE GENERAL CONTRACTOR AND ARCHITECT BEFORE CONSTRUCTION.
3. VERIFY ALL DIMENSIONS AND CONDITIONS WITH THE GENERAL CONTRACTOR AND ARCHITECT BEFORE CONSTRUCTION.

FLOOR PLAN KEY NOTES

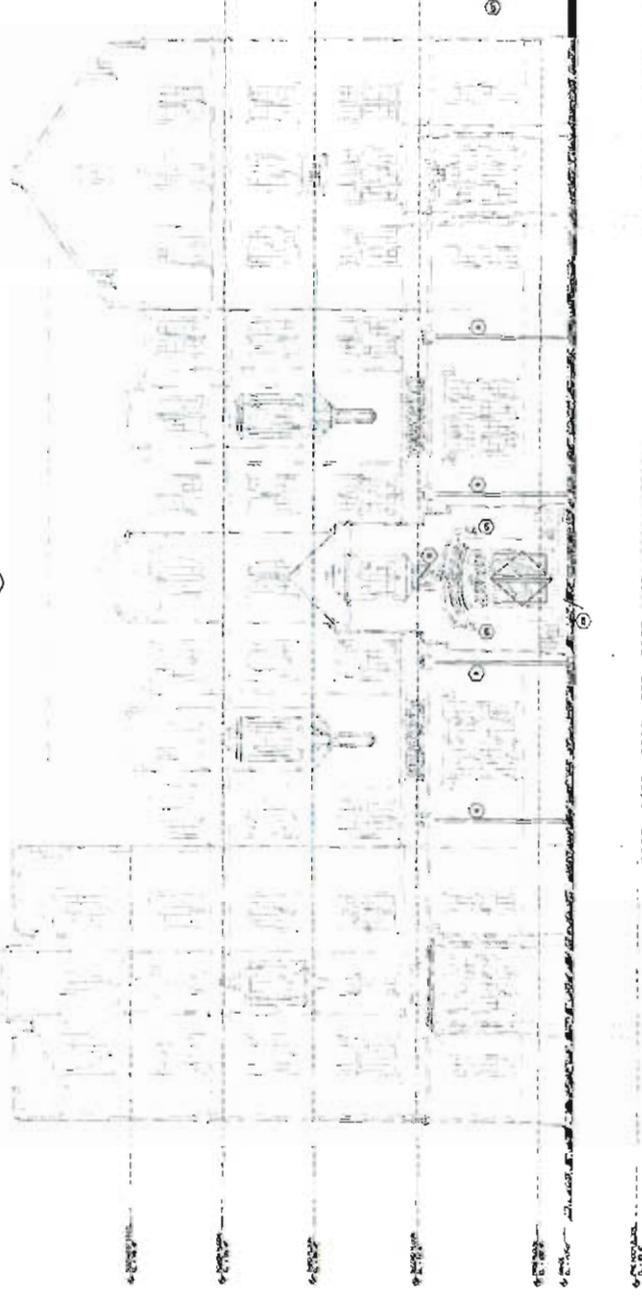
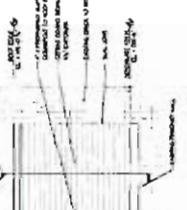
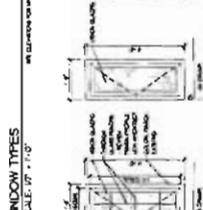
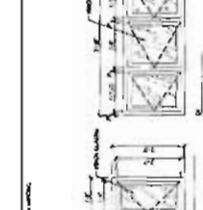
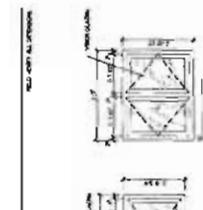
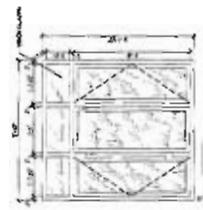
1. VERIFY ALL DIMENSIONS AND CONDITIONS WITH THE GENERAL CONTRACTOR AND ARCHITECT BEFORE CONSTRUCTION.

WALL TYPES



	400 W. Grand Ave. 3rd Fl. Kenosha, WI 53140 P: 920.393.3333	THE RESIDENCES AT LIBRARY PARK 720 59th Place, Kenosha, Wisconsin 53140 FIFTH FLOOR DIMENSION PLAN	PRELIMINARY NOT FOR CONSTRUCTION
	A3.10 1/8" = 1'-0" 10/15/14	457.07.0000 100 100	10/15/14

- PROPOSED ELEVATION KEY NOTES**
1. ALL MATERIALS TO BE MATCHED TO EXISTING MATERIALS.
 2. ALL MATERIALS TO BE MATCHED TO EXISTING MATERIALS.
 3. ALL MATERIALS TO BE MATCHED TO EXISTING MATERIALS.
 4. ALL MATERIALS TO BE MATCHED TO EXISTING MATERIALS.
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 15. ALL MATERIALS TO BE MATCHED TO EXISTING MATERIALS.
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 19. ALL MATERIALS TO BE MATCHED TO EXISTING MATERIALS.
 20. ALL MATERIALS TO BE MATCHED TO EXISTING MATERIALS.

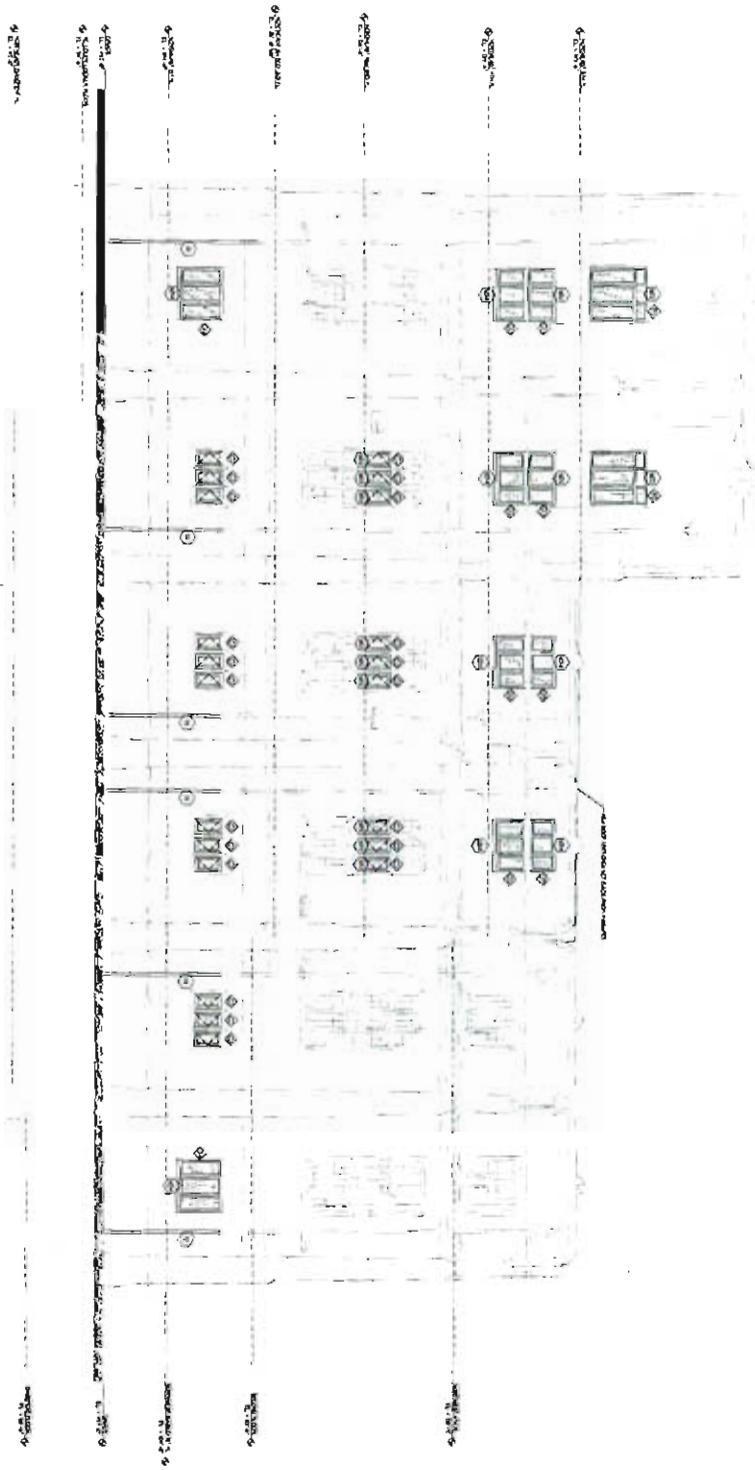


SOUTH ELEVATION
 1/4" = 1'-0"

WINDOW TYPES
SCALE: 1/4" = 1'-0"

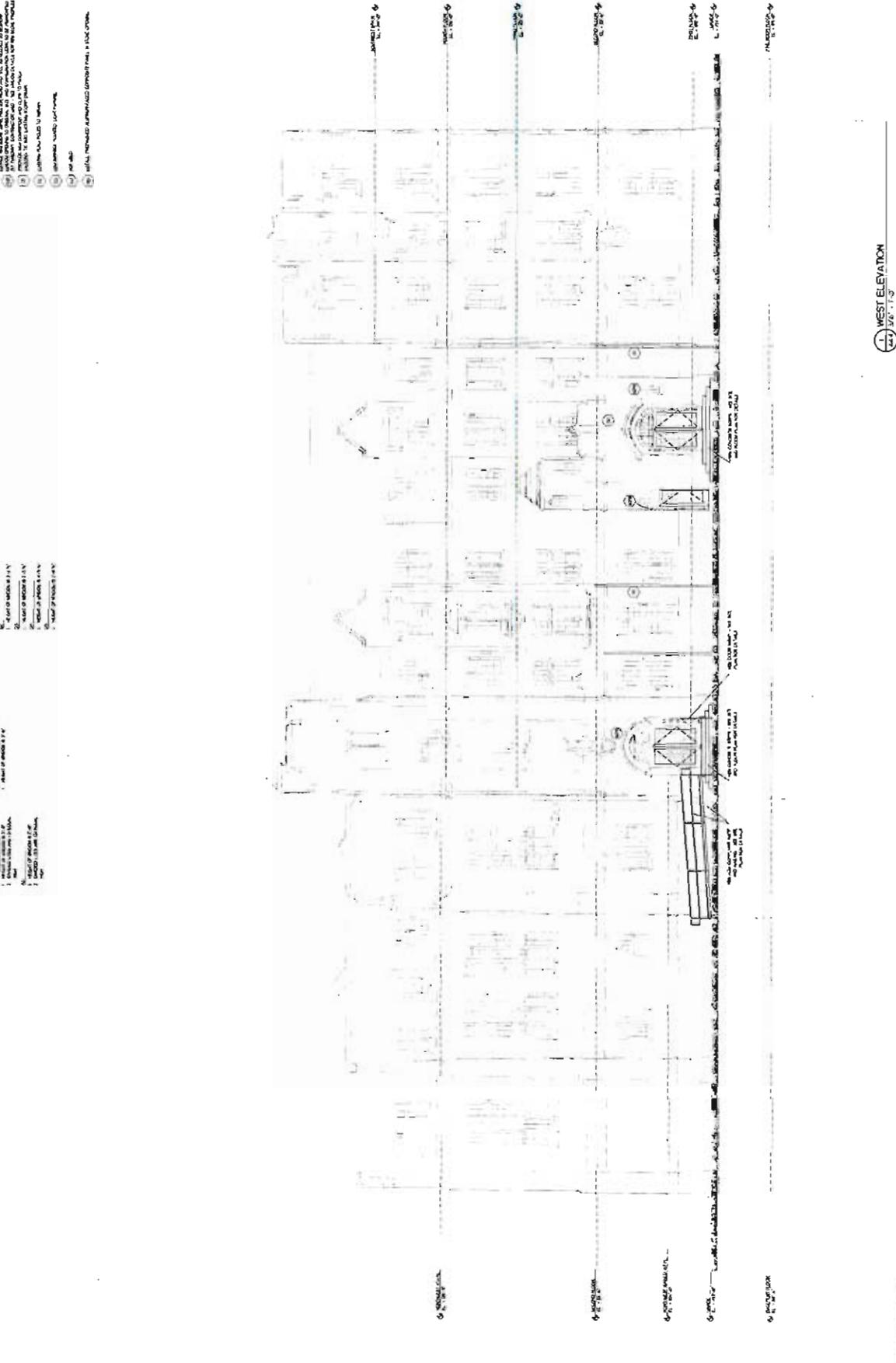
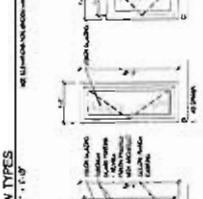
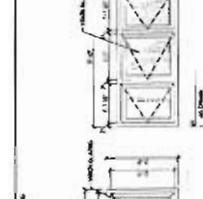
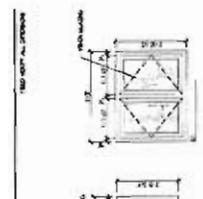
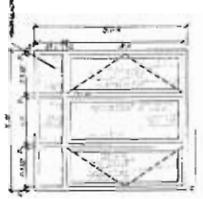
PROPOSED ELEVATION KEY NOTES

1. ALL WINDOW TYPES TO BE SUPPLIED BY THE ARCHITECT'S SELECTED MANUFACTURER.
2. ALL WINDOW TYPES TO BE SUPPLIED WITH AN ENERGY STAR RATED GLAZING SYSTEM.
3. ALL WINDOW TYPES TO BE SUPPLIED WITH AN ENERGY STAR RATED GLAZING SYSTEM.
4. ALL WINDOW TYPES TO BE SUPPLIED WITH AN ENERGY STAR RATED GLAZING SYSTEM.
5. ALL WINDOW TYPES TO BE SUPPLIED WITH AN ENERGY STAR RATED GLAZING SYSTEM.
6. ALL WINDOW TYPES TO BE SUPPLIED WITH AN ENERGY STAR RATED GLAZING SYSTEM.
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8. ALL WINDOW TYPES TO BE SUPPLIED WITH AN ENERGY STAR RATED GLAZING SYSTEM.
9. ALL WINDOW TYPES TO BE SUPPLIED WITH AN ENERGY STAR RATED GLAZING SYSTEM.
10. ALL WINDOW TYPES TO BE SUPPLIED WITH AN ENERGY STAR RATED GLAZING SYSTEM.



NORTH ELEVATION

- PROPOSED ELEVATION KEY NOTES**
1. MATERIALS TO BE USED SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 3. FINISHES TO BE USED SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
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 9. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
 10. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.



WEST ELEVATION
 SCALE: 1/8" = 1'-0"

Thursday, June 18, 2015 at 5:00 pm
Municipal Building
625 52nd Street - Room 202 - Kenosha, WI 53140

Conditional Use Permit for a new communication tower to be located at 7923 Sheridan Road. (T-Mobile/Sheridan Lanes) (District 12) PUBLIC HEARING

NOTIFICATIONS AND APPROVAL REQUIREMENTS:

Aldersperson Bostrom, District 12, has been notified. The City Plan Commission is the final review authority.

LOCATION AND ANALYSIS:

Site: 7923 Sheridan Road
Zoned: M-1 Light Manufacturing District

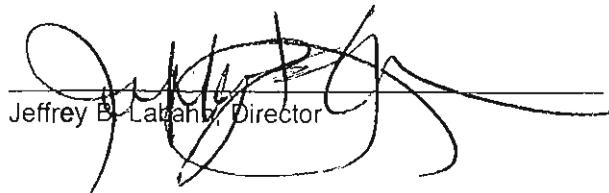
1. On December 6, 2000, City Staff approved a Conditional Use Permit for a new communication (cellular) tower behind Sheridan Lanes. The tower was constructed at a height of seventy-five (75') feet. The tower was built to support antennas for *Sprint*.
2. The applicant is proposing to remove the existing tower and construct a new one hundred (100') foot tower in the same place. A temporary mobile tower would be placed on the site while the old tower is down and the new one is being installed. The installation should take no more than four (4) weeks. The Zoning Ordinance allows for a tower to be constructed up to one hundred (100') feet in height for a privately owned site. *Sprint* and *T-Mobile* would both have antenna arrays on the tower. There would be room for an additional carrier on the proposed tower.
3. The Conditional Use Permit standards for communication towers indicate that the applicant shall demonstrate to the reasonable satisfaction of the Review Authority (City Plan Commission) that no alternative site exists for a new tower and that a City-owned site is not available within the vicinity. The Review Authority may employ the services of an outside third-party consultant to review the application to determine if the applicant has reviewed all possible options.
4. Staff recommends that the third-party consultant is not necessary, only because this is a site with an existing communication tower installation. If this was a newly proposed site, Staff would recommend the third party review.
5. The plans were sent to City Departments for their review. Their comments are included in the attached Conditions of Approval.
6. The plans generally comply with Sections 4 and 14 of the Zoning Ordinance.

RECOMMENDATION:

A recommendation is made to approve the Conditional Use Permit, subject to the attached Conditions of Approval.



Brian Wilke, Development Coordinator



Jeffrey B. Labahn, Director

1. The following Conditions of Approval will run with the land and shall be included in a document recorded with the Kenosha County Register of Deeds:
 - a. The applicant shall obtain all required construction permits from the Department of Community Development & Inspections. This includes, but is not limited to Erosion Control, Building, Electrical, Low Voltage and Occupancy permits.
 - b. The development shall be constructed per the approved plans on file with the Department of Community Development & Inspections, Room 308, 625 52nd Street, Kenosha, WI 53140. Any changes to the approved plans shall require an amendment to the Conditional Use Permit. All changes shall be submitted to the Department of Community Development & Inspections for review and approval.
 - c. Prior to the issuance of any Occupancy permits, all parking areas, drives and designated paved areas shall have the initial lift of asphalt installed. The Conditional Use Permit shall be recorded with the Kenosha County Register of Deeds. All improvements indicated on the plans, including landscaping, shall be installed prior to the issuance of a final Occupancy permit. The recording fees for the Conditional Use Permit shall be submitted by the applicant.
 - d. Compliance with City and State and/or Federal Codes and Ordinances. The buildings shall comply with the current Code standards in effect upon application for a building permit.
 - e. The applicant shall meet all applicable Conditions of Approval and obtain a construction permit within twelve (12) months of City Plan Commission approval of the Conditional Use Permit or the Conditional Use Permit shall be null and void.
 - f. All vehicles shall be parked within the designated paved areas.
 - g. All improvements, including landscaping, shall be maintained per the approved plans. Any damaged fencing, landscaping or building shall be replaced or reconstructed per the approved plans.
 - h. Compliance with the Operational Plan.
 - i. The temporary tower shall be removed from the site prior to the issuance of a final Occupancy Permit.
2. The following conditions of approval shall be satisfied with City Staff prior to the issuance of any construction permits.
 - a. The Drainage Plan shall be revised and resubmitted for review and approval addressing comments listed in the Public Works memo dated June 5, 2015.
 - b. An Operational Plan shall be submitted in conformance with Section 4.06 D.13 (f) of the Zoning Ordinance.
 - c. A letter to the property owner from the tower operator shall be provided to City Staff per Section 4.06 D.13 (k) of the Zoning Ordinance prior to the issuance of any construction permits.
 - d. The plans from T-Mobile shall be amended to show the revised tower location.
 - e. Detail on the temporary tower shall be submitted for review and approval indicating location and height of tower.



THE CITY OF
KENOSHA
 PUBLIC WORKS
 ENGINEERING

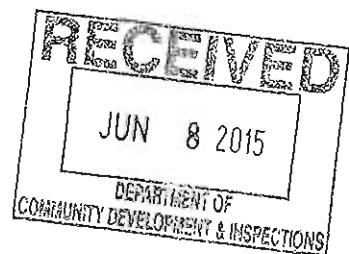
TO: Brian Wilke, Development Coordinator

FROM: Shelly Billingsley, P.E. *Shelly Billingsley*
 City Engineer

DATE: June 5, 2015
SUBJECT: PLAN REVIEW COMMENTS
Project Description: Crown Castle / T-Mobile / Sheridan Lanes Cell Tower
Location: 1120 80th Street

Our staff has reviewed the plans for this project. The following comments are provided:

Parking Lot Ordinance Compliance	Sufficient	Deficient	Not Applicable
Parking Lot Paved			X
Standard Stall Width			X
Parking Lot Layout			X
Parking Lot Lighting Shown			X
Parking Lot Lighting Adequate			X
Handicapped Parking			X
Driveway Locations			X
Driveway Width			X
Passing Blister or Accel/Decel Lanes			X
Sidewalks Adequate			X
Drive Thru Lane Design			X



Public Streets	Sufficient	Deficient	Not Applicable
Geometric Design			X
Pavement Width			X
Pavement Thickness Design			X
Established Grades			X
Plan Details			X
Sidewalks			X
Street Lights			X

Site Grading/Drainage	Sufficient	Deficient	Not Applicable
Drainage Plan			X
Storm Sewer			X
Storm Water Detention			X
Drainage Calculations			X

Project Approval/Permits Needed	Yes	No	Not Applicable
Project Approved for Permitting	X		
Withhold Permits: See Comments			
Approve Footing/ Foundation Only (per condition)			X
Parking Lot Permit Required		X	
Driveway Permits Required		X	
Sidewalk Permit Required		X	
Street Opening Permit Required		X	
Stormwater Permit Required		X	
Erosion Control Required	X		

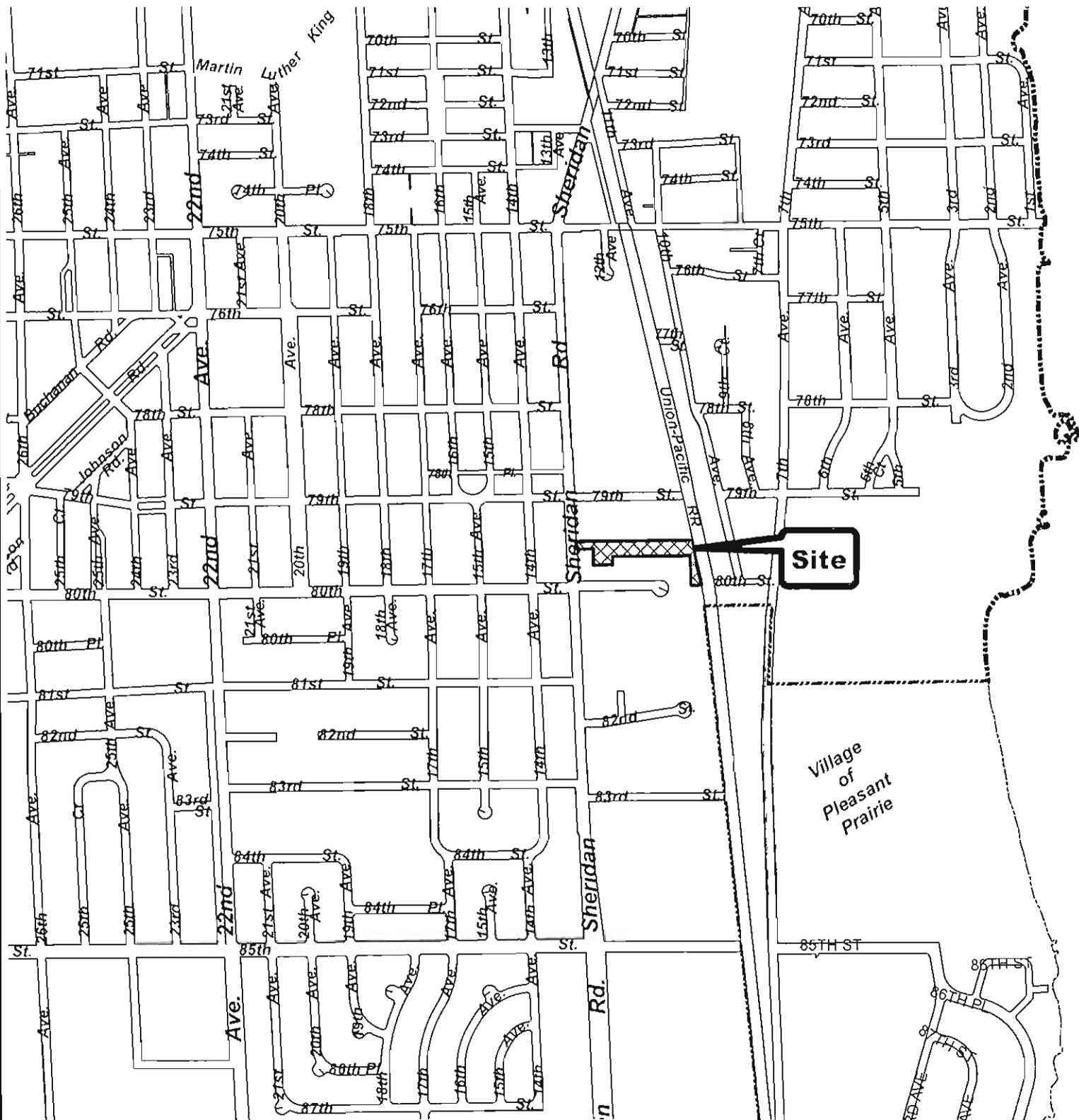
Comments:

1. Will require existing conditions to be documented for the entrance to Tower easement. If any damage to the existing asphalt pavement or grass, contractor will be required to restore in kind.
2. Access to easement will require trimming of two existing shrubs which will require coordination with property owner.
3. Need to define the landscaping requirements where damage will occur during construction of the new tower and demolition of the existing tower.
4. Need to contact the adjacent railroad prior to construction, especially with a possibility of any incidents of the tower or crane falling onto the tracks.
5. The erosion control permit is required and plan will be reviewed when the permit is submitted to the City for review.

cc: Cathy Austin; Shelly Billingsley; Greg Holverson; Kile Kuhlmeier; Gerard Koehler, Kevin Risch (Clark Deltz)

City of Kenosha

Vicinity Map
T-Mobile/Sheridan Lanes CUP

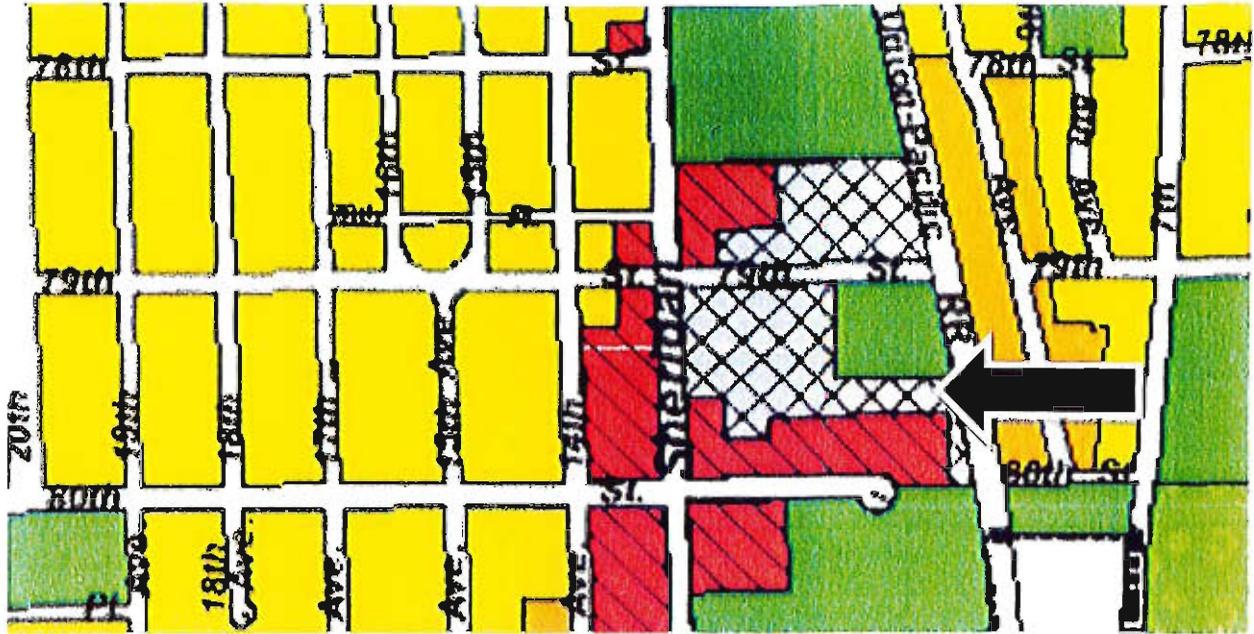




CROWN CASTLE & T-MOBILE CENTRAL LLC

CONDITIONAL USE PERMIT APPLICATION TO "REPLACE" THE EXISTING SEVENTY (70') FOOT MONOPOLE TOWER WITH A NEW ONE HUNDRED (100') FOOT MONOPOLE TOWER TO HOLD A NEW T-MOBILE WIRELESS ANTENNA FACILITY

1120 80TH STREET, KENOSHA, WI 53143



-  M-1 LIGHT MANUFACTURING
-  M-2 HEAVY MANUFACTURING
-  B-2 COMMUNITY BUSINESS
-  IP INSTITUTIONAL PARK



PROJECT SUMMARY

Petitioner

Crown Castle Towers owns the existing 70' tower located at 1120 80th Street. T-Mobile is a leading national wireless phone carrier and very interested in collocating on this tower, but it will NOT work as currently constructed. To make it work, Crown needs to replace this tower with a new 100' tower in the same lease area. By doing so, Crown cannot only lease space to T-Mobile and Sprint, but an additional carrier as well.

Why just not extend the tower versus replacing with a new one?

If this could be done, T-Mobile and Crown would prefer this, but it's not possible due to the 30' that is needed. The only option is to replace the tower and the plans included in this application show there is room for the new tower inside the existing lease area. The property is zoned M-1 and abuts railroad tracks to the east, wooded area to the north and the bowling alley to the south. The additional 30' will have minimal impact on the area. Cellular and other wireless phones have become widely used and accepted form of business, personal and other communications. In addition to traditional voice service, people are using them to access the Internet, text messaging, email and other data transfer. Wireless phone networks have also become a critical part of the nation's emergency communications infrastructure. Recent studies indicate that over 65 million "911" and distress calls were placed on wireless phones in the United States annually. Hence, wireless networks not only provide a means for everyday business and personal communications, but have also become an essential part of the nation's emergency communications infrastructure.

What other options did T-Mobile consider?

T-Mobile looked at the US Cellular tower to the north located at 7817 Sheridan Road, but that is too far north of the coverage objective and offered too low of a centerline at 60'. Since there are no other towers in the area, T-Mobile would have to consider a new raw land option for a new tower. We thought Kenosha would prefer T-Mobile work with Crown to modify the *existing* tower that is already part of the visual landscape, versus proposing a brand new tower.

Requested Action

Crown Castle and T-Mobile Central LLC respectfully request a Conditional Use Permit and any other relief necessary to accommodate the installation of a wireless antenna facility as proposed in this zoning application.

**Development Review Application
City of Kenosha, Wisconsin**

MAILING INFORMATION

NAME OF PROJECT: Crown / T-mobile Sheridan Lanes Bowling Alley

Check one (1) of the following boxes to indicate the recipient of all correspondence:

<input checked="" type="radio"/>	Name and Address of Applicant (Please print): <u>Crown Castle</u> <u>20 Martingdale, Ste 440</u> <u>Schaumburg, IL 60173</u> <u>Auth Agent - Ray Shinkle</u>	Phone: <u>773-960-8781</u> Fax: <u>NA</u> E-Mail: <u>Shinkle@insite-inc.com</u>
<input type="radio"/>	Name and Address of Architect/Engineer (Please print): <u>Fullerton Eng.</u> <u>9400 Bryn Mawr Ave, Ste 200</u> <u>Rosemont, IL 60018</u>	Phone: <u>847-292-0200</u> Fax: <u>847-292-0206</u> E-Mail: _____
<input type="radio"/>	Name and Address of Property Owner (if other than applicant)(Please print): <u>Crown Castle owns the tower</u> <u>leasing rights.</u>	Phone: _____ Fax: _____ E-Mail: _____

PROJECT LOCATION

Location of Development (street address and / or parcel number): 1120 80th Street, Kenosha

TYPE OF LAND DEVELOPMENT

Check all that apply. Note: Additional information may be required within individual Sections.

<input type="checkbox"/>	Certified Survey Map	Section 1	Page 3
<input type="checkbox"/>	Concept Review (Land Division)	Section 2	Page 4
<input type="checkbox"/>	Concept Review (Multi-Family Residential or Non-Residential)	Section 3	Page 5
<input checked="" type="checkbox"/>	Conditional Use Permit	Section 4	Pages 6 & 7
<input type="checkbox"/>	Developer's Agreement	Section 5	Page 8
<input type="checkbox"/>	Final Plat	Section 6	Pages 9 & 10
<input type="checkbox"/>	Lot Line Adjustment Survey	Section 7	Page 11
<input type="checkbox"/>	Preliminary Plat	Section 8	Pages 12 & 13
<input type="checkbox"/>	Rezoning	Section 9	Pages 14 & 15
<input type="checkbox"/>	Site Plan Review	Section 10	Pages 16 & 17

**PRIOR TO SUBMITTING THIS APPLICATION TO THE DEPARTMENT OF CITY DEVELOPMENT,
PLEASE REVIEW THE APPROPRIATE SECTION(S) FOR FEES, REQUIREMENTS AND APPROPRIATE APPENDICES.**

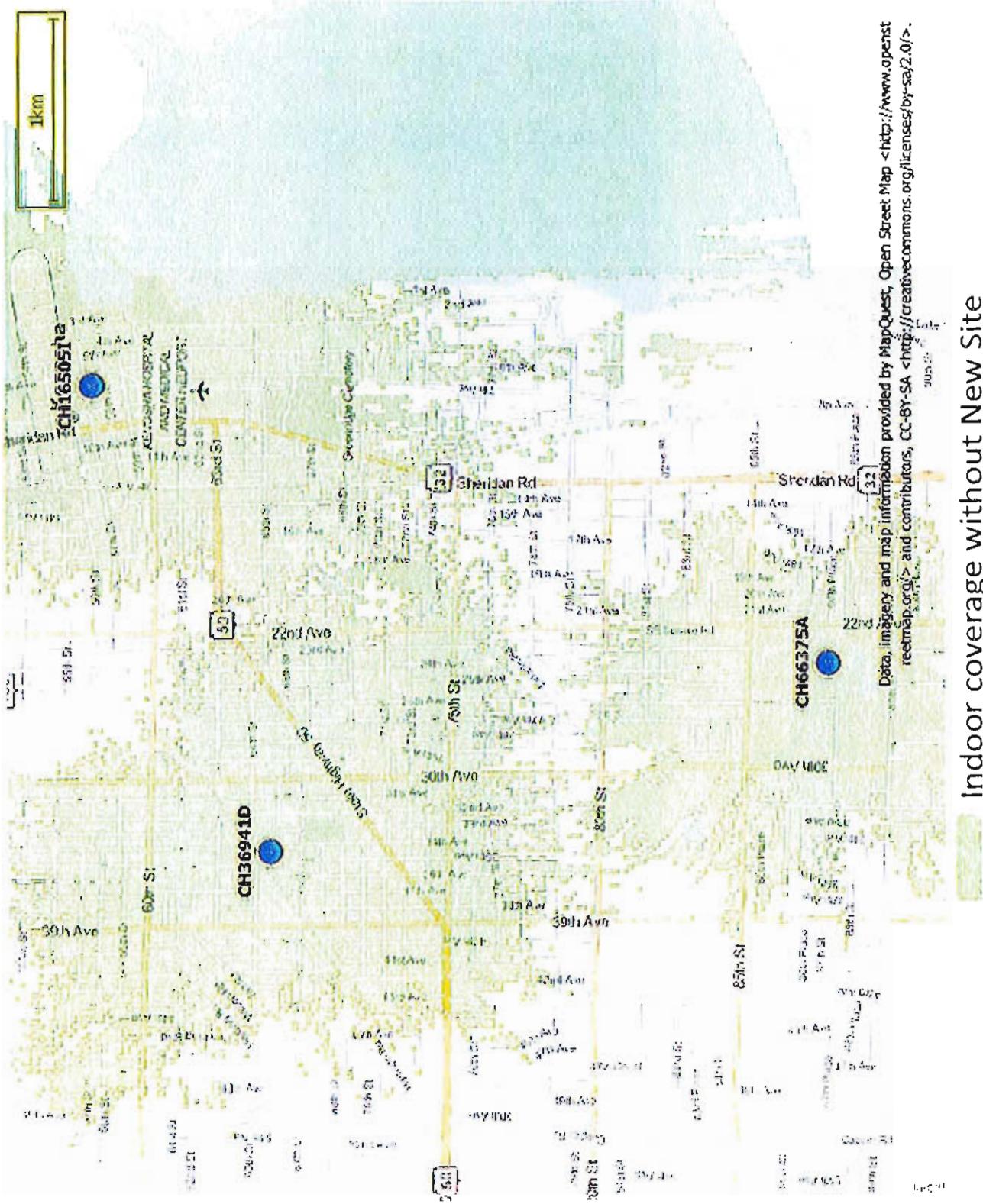
*Submit this cover page, completed application, applicable section(s) and appendices
along with ALL required plans, information and fees to:*

Department of Community Development & Inspections
Planning Division
625 52nd Street, Room 308
Kenosha, WI 53140

Phone: 262.653.4030
Fax: 262.653.4045

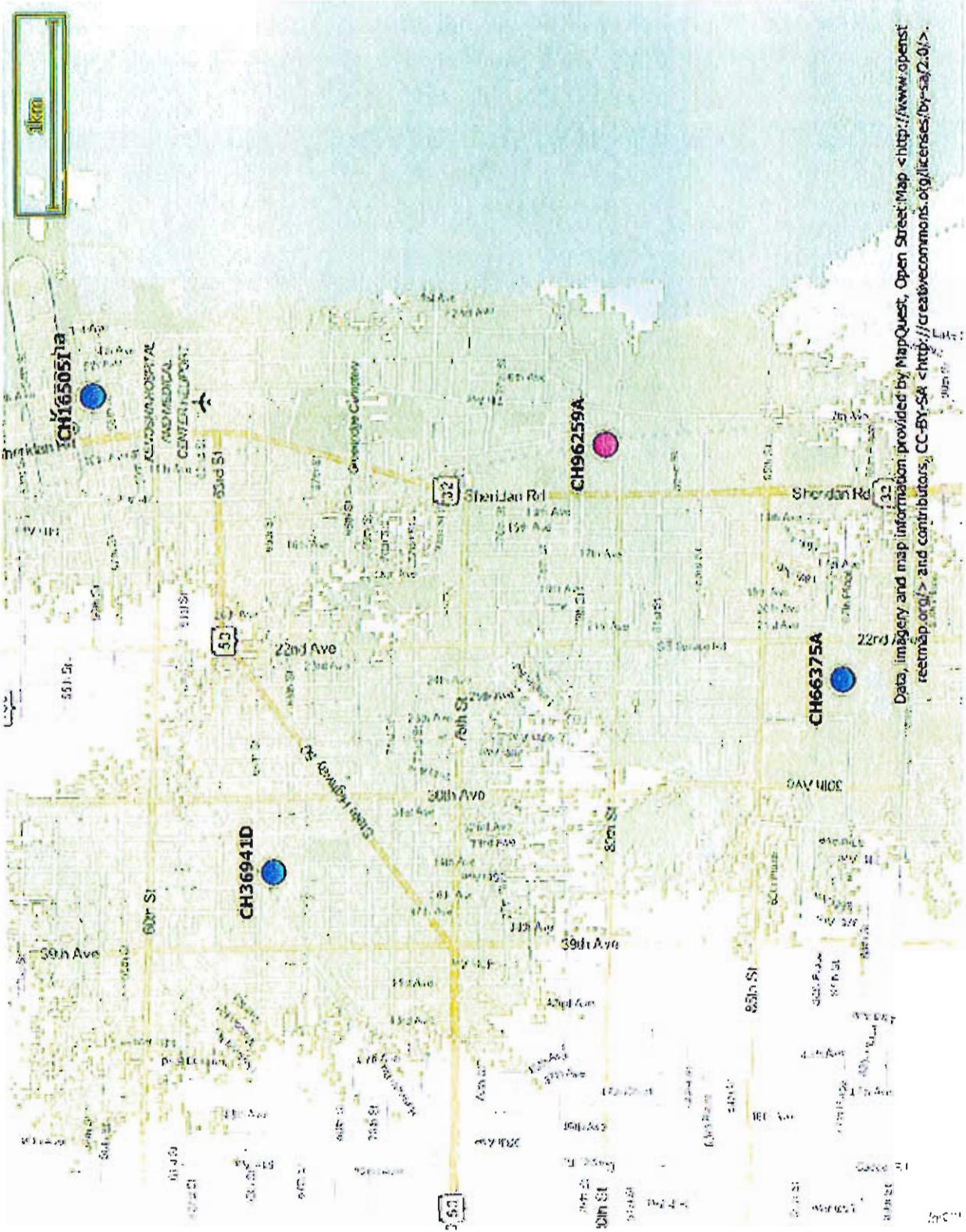
Office Hours:
M - F 8:00 am - 4:30 pm

T-Mobile Existing Coverage



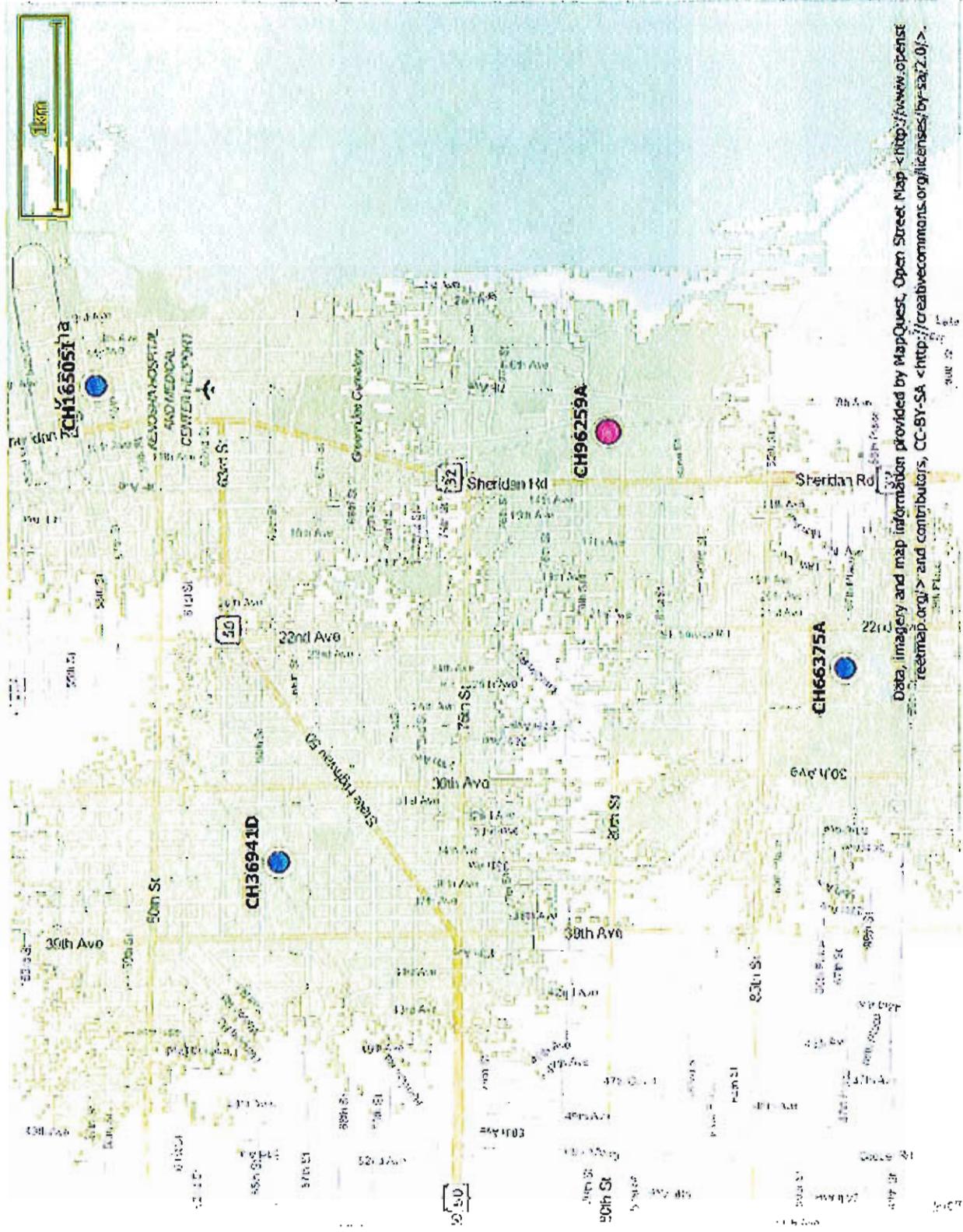
Indoor coverage without New Site

T-Mobile Proposed Coverage



Indoor coverage with New Site at 100 Ft

T-Mobile Proposed Coverage



Data, imagery and map information provided by MapQuest, Open Street Map <<http://www.openstreetmap.org/>> and contributors, CC-BY-SA <<http://creativecommons.org/licenses/by-sa/2.0/>>

Indoor coverage with New Site at 60 Ft

NSD Scope and Existing Co-location options

The purpose of this ring is to off-load the on-air site CH66375A and to provide more capacity and improve the customer experience in immediate area of Kenosha (Approx. 0.5 miles from search ring center). The ring center is located at the intersection of 80th St and 14th Ave.

The following co-location options are available in the search ring:

1. US Cellular Tower 777331 is located at 7817 Sheridan Rd, Kenosha, and is 0.3 miles from search ring center. The available height for T-Mobile antennas on this tower is 60Ft. In order to fill coverage hole with in 0.5 miles from the search ring center, T-Mobile desired antenna height is 100 Ft. With 60 Ft the candidate is not meeting the coverage objective and therefore not considered as a viable option.
2. Crown Tower 875416 is located at 1120 80th St, Kenosha, and is 0.2 miles from search ring center. The available height for T-Mobile antenna on this tower is also 60 Ft, same as US Cellular Tower. With 60 Ft this candidate is not meeting the coverage objective (Refer Slide 3). However the candidate will meet the T-Mobile coverage objective if the drop and swap option (60 Ft to 100 Ft) is considered.

Neighboring On Air Site Locations

Neighboring Sites	Address
CH66375A	8730 22nd Ave. Kenosha, WI - 53143
CH36941D	6724 39th Avenue, Kenosha, WI - 53225
CH16505I	625 57th Street, Kenosha, WI - 53140



SHERIDAN LANES BOWLING ALLEY

SITE NAME

SITE NUMBER

875416

SITE ADDRESS

1120 80th STREET
KENOSHA, WI 53143

SITE TYPE

MONOPOLE



shaping the wireless world
CROWN CASTLE, USA
20 N. MARTINGALE, SUITE 440
SCHAUMBURG, IL 60173

FULLERTON

9600 W. BRYN MAWR AVE., SUITE 300
ROSEMONT, ILLINOIS 60018
TEL: 647-292-0200
FAX: 647-292-0206
COWI: 1450-11
www.FullertonEngineering.com

Checked by: VT
Approved by: MB

#	DATE	DESCRIPTION	BY
1	3/30/15	LEASE EXHIBIT	RC
2	6/11/15	REV. LEASE EXHIBIT	RC

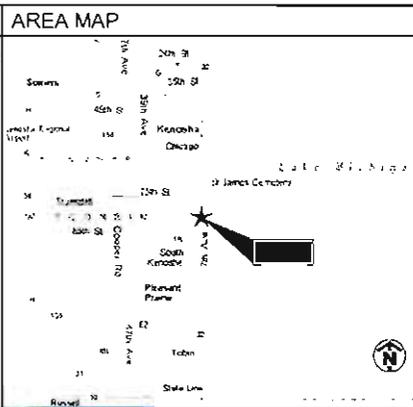
CODE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS NEEDS TO BE CONSTRUCTED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

BUILDING CODE:
2009 INTERNATIONAL BUILDING CODE

ELECTRICAL CODE:
2011 NATIONAL ELECTRICAL CODE

ACCESSIBILITY REQUIREMENTS:
FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAP ACCESS REQUIREMENTS ARE NOT REQUIRED.



PROJECT SUMMARY

SITE NAME: SHERIDAN LANES BOWLING ALLEY
SITE NUMBER: 875416
SITE ADDRESS: 1120 80th STREET, KENOSHA, WI 53143
COUNTY: KENOSHA
ZONING JURISDICTION: CITY OF KENOSHA
ZONING CLASSIFICATION: N/A
PARCEL ID#: N/A

SITE COORDINATES:
LATITUDE: 42° 33' 53.38"
LONGITUDE: -87° 49' 19.99"
GROUND ELEVATION: 609'

TOWER OWNER:
COMPANY: CROWN CASTLE
CONTACT: SHAWN LYON
ADDRESS: 20 N. MARTINGALE, SUITE 440, SCHAUMBURG, IL 60173
EMAIL: shawn.lyon@crowncastle.com
PH: (647) 273-0496

SHEET INDEX

SHEET	DESCRIPTION
T-1	TITLE SHEET
L-1	OVERALL SITE PLAN
L-2	ENLARGED EXISTING SITE PLAN
L-3	ENLARGED PROPOSED SITE PLAN
L-4	EXISTING ELEVATION
L-5	PROPOSED ELEVATION

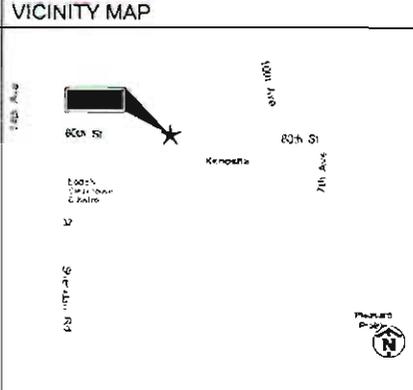
PRELIMINARY - NOT FOR CONSTRUCTION

PROJECT DESCRIPTION

- THE WIRELESS COMMUNICATIONS FACILITY IS NOT INTENDED FOR HUMAN OCCUPANCY.
- THIS FACILITY DOES NOT REQUIRE POTABLE WATER AND WILL NOT PRODUCE ANY SEWAGE.
- SCOPE OF WORK CONSISTS OF REMOVING AND REPLACING EXISTING 70' MONOPOLE W/PROPOSED 100' MONOPOLE.

DATE COMBINATION: 7011

NOTE: DRAWING SCALES ARE FOR 11"x17" SHEETS UNLESS OTHERWISE NOTED.



CONSTRUCTION MANAGER:
COMPANY: CROWN CASTLE
CONTACT: EDWARD MITCHELL
EMAIL: edward.mitchell@crowncastle.com
PH: (312) 231-0688

ENGINEERING FIRM:
COMPANY: FULLERTON ENGINEERING CONSULTANTS, INC.
CONTACT: VENIRA YAKO
EMAIL: vyako@fullertonengineering.com
OFFICE: (847) 292-0200 EX (242)

CERTIFICATION STATEMENT:

I CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLY WITH THE REQUIREMENTS OF THE 2009 INTERNATIONAL BUILDING CODE.

LICENSED ENGINEER WISCONSIN

DATE SIGNED: _____ EXPRESSES: _____ LICENSE#: _____

SITE NAME
SHERIDAN LANES BOWLING ALLEY

SITE ID
875416

SITE ADDRESS
1120 80th STREET
KENOSHA, WI 53143

SHEET NAME
TITLE SHEET

SHEET NUMBER
T-1

THIS DRAWING IS THE PROPERTY OF FULLERTON ENGINEERING CONSULTANTS, INC. IT IS FOR THE EXCLUSIVE USE OF THIS PROJECT. ANY RE-USE OF THIS DRAWING WITHOUT THE EXPRESS WRITTEN CONSENT OF FULLERTON ENGINEERING CONSULTANTS, INC. IS PROHIBITED.



shaping the wireless world
 CROWN CASTLE, USA
 20 N. MARTINGALE, SUITE 440
 Schaumburg, IL 60193

FULLERTON

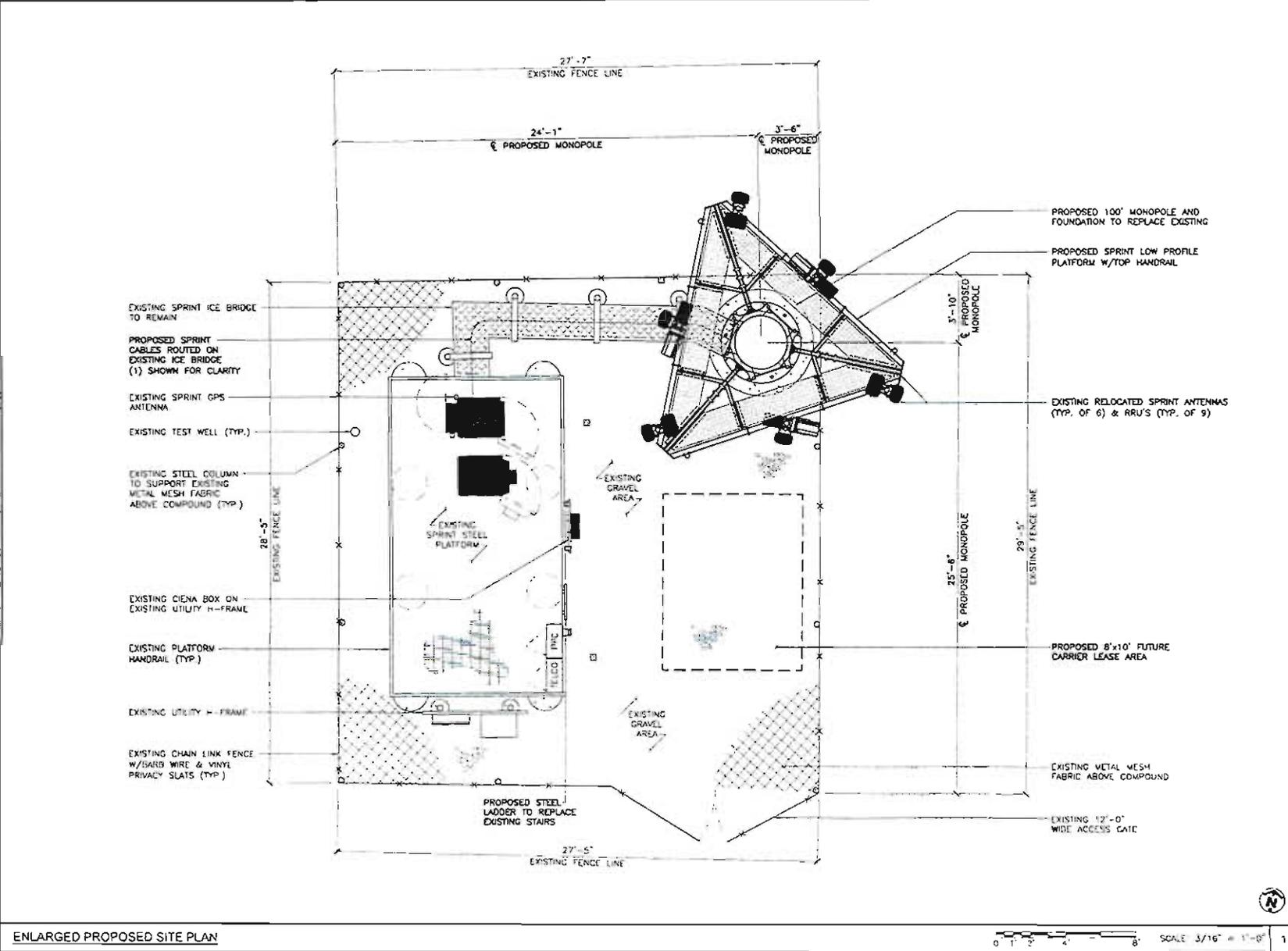
9600 W. BETH MAHR AVE., SUITE 200
 ROSEMONT, ILLINOIS 60018
 TEL: 847-297-0200
 FAX: 847-297-0206
 CO#AR 3630-11
 www.FullertonEngineering.com

ORDERED BY:	VT		
APPROVED BY:	MB		
#	DATE	DESCRIPTION	INT
	3/30/15	LEASE EXHIBIT	RC
	6/11/15	REV. LEASE EXHIBIT	RC

PRELIMINARY - NOT FOR CONSTRUCTION

SIGNED DATE:

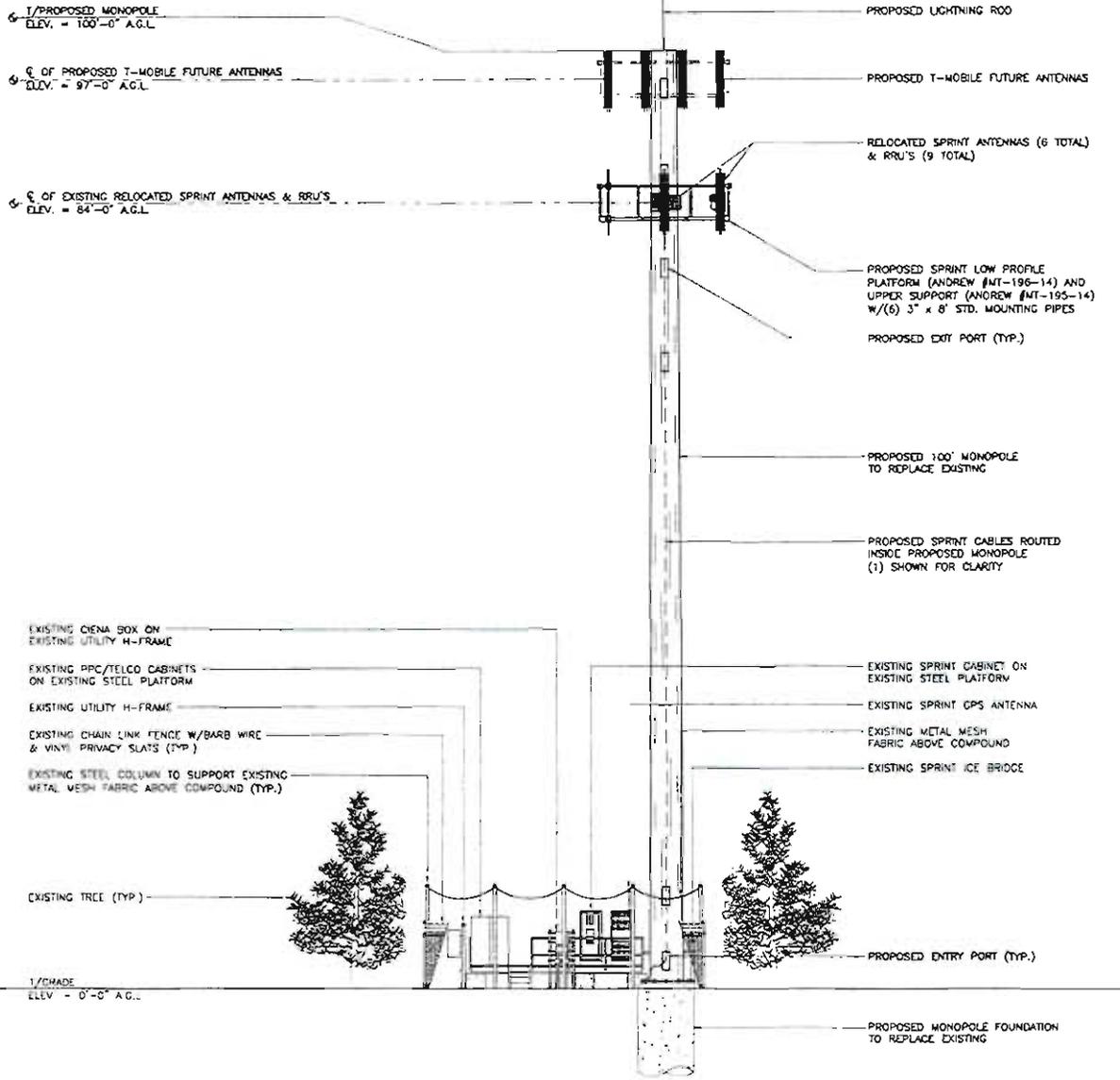
SITE NAME	SHERIDAN LANES BOWLING ALLEY
SITE I.D.	875416
SITE ADDRESS	1120 80th STREET KENOSHA, WI 53143
SHEET NAME	ENLARGED PROPOSED SITE PLAN
SHEET NUMBER	L-3



ENLARGED PROPOSED SITE PLAN

SCALE 3/16" = 1'-0" 1

THIS DRAWING IS THE PROPERTY OF FULLERTON ENGINEERING CONSULTANTS, INC. IT IS FOR THE EXCLUSIVE USE OF THIS PROJECT AND NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN CONSENT OF FULLERTON ENGINEERING CONSULTANTS, INC. IS PROHIBITED.



1/PROPOSED MONOPOLE
ELEV. = 100'-0" A.G.L.

2/C OF PROPOSED T-MOBILE FUTURE ANTENNAS
ELEV. = 97'-0" A.G.L.

3/C OF EXISTING RELOCATED SPRINT ANTENNAS & RRU'S
ELEV. = 84'-0" A.G.L.

EXISTING CIENA BOX ON
EXISTING UTILITY H-FRAME

EXISTING RPC/TELCO CABINETS
ON EXISTING STEEL PLATFORM

EXISTING UTILITY H-FRAME

EXISTING CHAIN LINK FENCE W/BARB WIRE
& VINYL PRIVACY SLATS (TYP.)

EXISTING STEEL COLUMN TO SUPPORT EXISTING
METAL MESH FABRIC ABOVE COMPOUND (TYP.)

EXISTING TREE (TYP.)

1/GRADE
ELEV. = 0'-0" A.G.L.

PROPOSED LIGHTNING ROD

PROPOSED T-MOBILE FUTURE ANTENNAS

RELOCATED SPRINT ANTENNAS (6 TOTAL)
& RRU'S (9 TOTAL)

PROPOSED SPRINT LOW PROFILE
PLATFORM (ANDREW #MT-196-14) AND
UPPER SUPPORT (ANDREW #MT-195-14)
W/(6) 3" x 8" STD. MOUNTING PIPES

PROPOSED ENTRY PORT (TYP.)

PROPOSED 100' MONOPOLE
TO REPLACE EXISTING

PROPOSED SPRINT CABLES ROUTED
INSIDE PROPOSED MONOPOLE
(1) SHOWN FOR CLARITY

EXISTING SPRINT CABINET ON
EXISTING STEEL PLATFORM

EXISTING SPRINT GPS ANTENNA

EXISTING METAL MESH
FABRIC ABOVE COMPOUND

EXISTING SPRINT ICE BRIDGE

PROPOSED ENTRY PORT (TYP.)

PROPOSED MONOPOLE FOUNDATION
TO REPLACE EXISTING



SENDING THE WIRELESS WORLD
CROWN CASTLE, USA
20 N. MARTINGALE, SUITE 440
SCHAUMBURG, IL 60173

FULLERTON

9600 W. BRYAN MAWR AVE. SUITE 200
ROSEMONT, ILLINOIS 60018
TEL: 617-292-0200
FAX: 617-292-0206
CDMR 3620-11
www.fullertonengineering.com

CHECKED BY:	VI		
APPROVED BY:	MB		
#	DATE	DESCRIPTION	INT.
	3/30/15	LEASE EXHIBIT	RC
	6/11/15	REV. LEASE EXHIBIT	RC

PROLIMINARY - NOT FOR CONSTRUCTION

SIGNED DATE:	
SITE NAME	SHERIDAN LANES BOWLING ALLEY
SITE ID	875416
SITE ADDRESS	1120 BOW STREET KENOSHA, WI 53143
SHEET NAME	PROPOSED ELEVATION
SHEET NUMBER	L-5

PROPOSED ELEVATION

SCALE N.T.S. 1

THIS DRAWING IS THE PROPERTY OF FULLERTON ENGINEERING CONSULTANTS, INC. IT IS FOR THE EXCLUSIVE USE OF THIS PROJECT. ANY RE-USE OF THIS DRAWING WITHOUT THE EXPRESSED WRITTEN CONSENT OF FULLERTON ENGINEERING CONSULTANTS, INC. IS PROHIBITED.

**Conditional Use Permit for a contractor's storage yard to be located at 8010 and 8020 75th Street.
(Lorenz) (District 16) PUBLIC HEARING**

NOTIFICATIONS AND APPROVAL REQUIREMENTS:

Alderson Johnson, District 16, has been notified. The City Plan Commission is the final review authority.

LOCATION AND ANALYSIS:

Site: 8010 and 8020 75th Street
Zoned: M-2 Heavy Manufacturing District / FW Floodway / C-2 Lowland Conservancy District

1. Lorenz Excavating has been operating on the properties at 8010 and 8020 75th Street for an undetermined amount of time without an Occupancy Permit or a Conditional Use Permit, which are required for storage yards of a contractor. The site currently has several piles of mulch, stone, firewood and other assorted materials.
2. City Staff issued orders to the property owner in September of 2014 to apply for and obtain an Occupancy Permit and a Conditional Use Permit for the site. Several incomplete or unacceptable Conditional Use Permit applications were submitted by the applicant. Staff requested that a plan be prepared by a professional design firm. Due to the winter conditions, a survey of the site was not able to be prepared by the professional design firm until this Spring. When the plan was prepared, the applicant submitted a completed application. Staff has allowed the business to remain operational while the review process is ongoing.
3. The Site Plan submitted by the applicant generally shows where the material piles are currently stored. The plan does not show any areas proposed for paving or landscaping. Consistent with other Conditional Use Permit requests for a contractor storage yard, Staff will be requiring Conditions of Approval that include the following items:
 - a. The entire parking lot in front of the office building at 8020 75th Street shall be paved and striped with a minimum of five (5) parking spaces. The parking lot shall include lighting, drainage, a concrete drive approach and accent landscaping.
 - b. Any areas where rubber-wheeled vehicles are stored shall be paved. Tracked vehicles may be stored on a gravel surface.
 - c. A minimum of thirty (30') foot wide paved access road is required along the East property line, 8010 75th Street.
 - d. A minimum of thirty (30') feet shall be maintained between material piles.
 - e. All piles shall be a minimum of ten (10') feet from all property lines.
 - f. Material piles shall not exceed twenty (20') feet in height.

- g. The two (2) dirt piles in the FW Floodway Zoning District shall be removed and the base elevation restored.
4. Since the site is currently in operation without approvals, Staff will be recommending that the above Conditions of Approval include specific deadlines to be met. If the deadlines are not complied with, a Stop Work Order, reinspection fees and/or citations should be posted/issued on the site until the deficiencies are complied with.
5. The plans were sent to City Departments for their review and their comments are included in the attached Conditions of Approval.
6. This item was denied by the City Plan Commission on May 7, 2015. The City Plan Commission cited concerns from the neighborhood residents about dust, noise and airborne contaminants in their denial of the Conditional Use Permit. The applicant did not appear at the public hearing. The applicant appealed the denial of the Conditional Use Permit to the Common Council per Section 4.04 H. of the Zoning Ordinance. The Common Council heard the appeal at their meeting on June 1, 2015. The Common Council voted to send the Conditional Use Permit application back to the City Plan Commission for further review. The applicant was present at the Common Council meeting.
7. After the City Plan Commission denied the application on May 7, 2015. City Staff issued a *Notice of Violation and Order to Comply* to the applicant. The Orders stipulated:
 - a. That mulch was not allowed to be ground or dyed on the site, and new material could not be brought in to make mulch, effective immediately.
 - b. To remove a fill pile that was placed illegally in the floodplain on the north end of the property.
 - c. To remove several Nuisance Motor Vehicles from the site by no later than May 26, 2015.
 - d. To remove all materials and equipment from the site by no later than June 11, 2015.
8. City Staff, including Community Development & Inspections (CDI) Staff and the Fire Prevention Bureau Chief met with the applicant at the site on Thursday, May 21, 2015. The concern from the applicant was that the mulch and raw material piles, if left alone, could pose a serious fire hazard since the piles generate heat when they are not processed. The Fire Prevention Bureau Chief confirmed this. The applicant was advised that he was under Orders not to process mulch, and if he did, he would be subject to reinspection fees.
9. On Friday, May 22, 2015, the Department of Natural Resources (DNR) sends Mr. Lorenz a Notice of Non-Compliance for filling wetlands. He is given until Monday, June 22, 2015 to remove the materials from the wetland.
10. On Thursday, May 28, 2015 and May 29, 2015, CDI Staff inspected the Site. The Nuisance Motor Vehicles had not been removed from the site. The floodplain fill pile had not been removed from the site and mulch was being dyed. Reinspection fees of \$72 and \$90 were issued.
11. On Monday, June 8, 2015, the Mayor, City Administrator, CDI Staff and the Fire Prevention Bureau Chief again met with the applicant to discuss the potential fire hazard. It was determined that Amended Orders should be issued to allow the applicant to grind and dye the existing raw materials and mulch piles on the site in order to remove them from the site to lessen or eliminate the potential fire hazard. The *Amended Notice of Violation and Orders to Comply* dated June 9, 2015 (attached) allowed this operation to occur until Thursday, June 18, 2015, the date of the City Plan Commission hearing. On the June 8, 2015 inspection, it was also noted that the Nuisance Motor Vehicles had been removed from the site, but the floodplain fill pile had not been completely removed. Another reinspection fee was issued, this time in the amount of \$180 in accordance with the escalated fee schedule per City Ordinance.

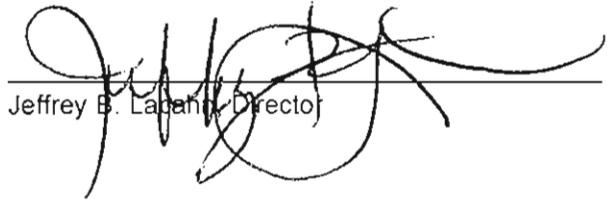
12. City Staff also met separately with a representative of the Kenosha County Health Department. He indicated that his Department could not provide enforcement on the odor issue as it was not deemed "toxic" or "noxious". He was also going to contact the Wisconsin Department of Natural Resources (DNR) to check on enforcement of dust and potential contamination of the ground with the mulch dye.

RECOMMENDATION:

A recommendation is made to approve the Conditional Use Permit, subject to the attached Conditions of Approval.



Brian Wilke, Development Coordinator



Jeffrey B. Lapant, Director

/u2/acct/ep/ckays/1CPC/2015/JUNE18/Staff-cup-lorenz.doc

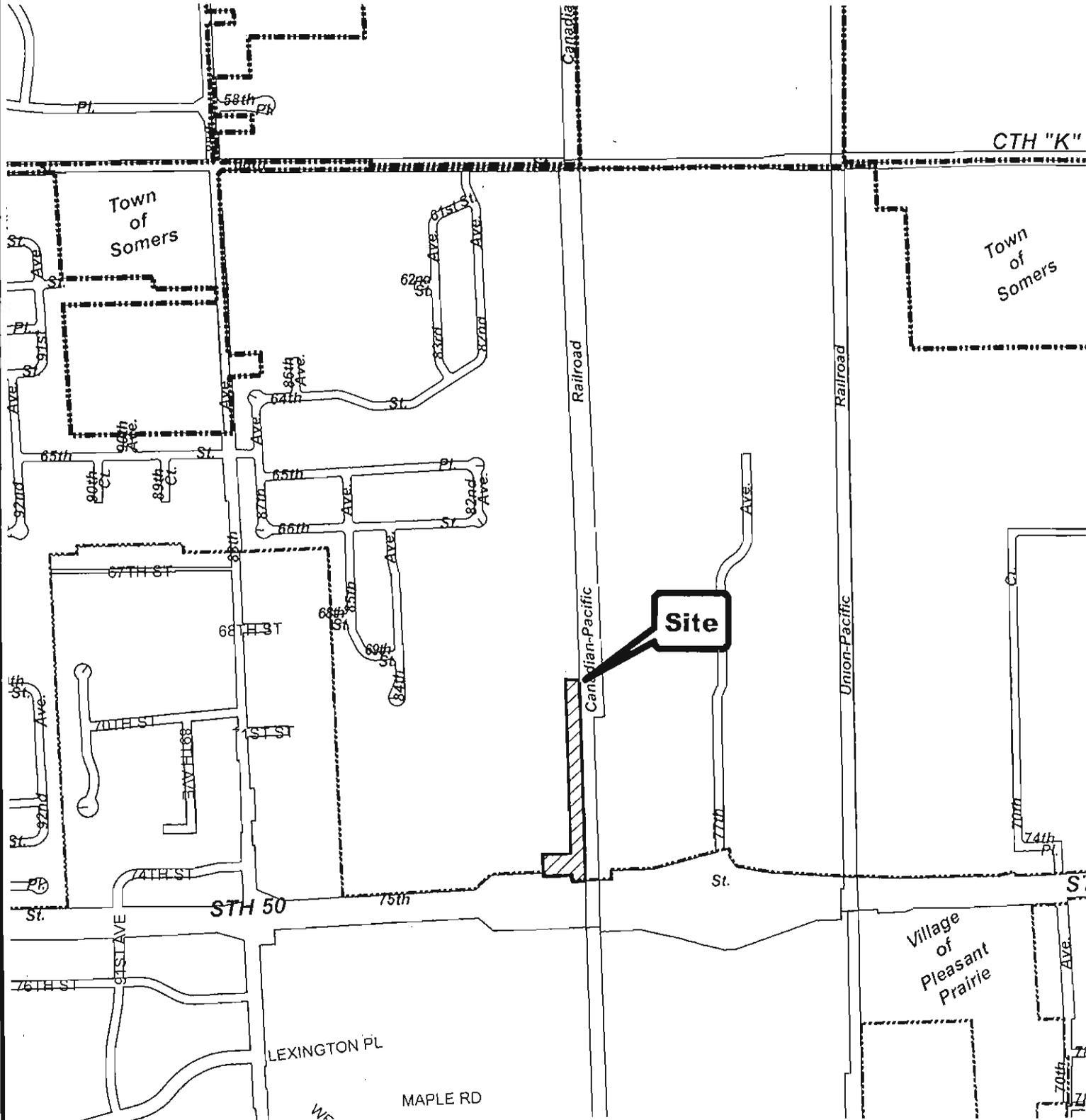
1. The following Conditions of Approval will run with the land and shall be included in a document recorded with the Kenosha County Register of Deeds:
 - a. The applicant shall obtain all required construction permits from the Department of Community Development & Inspections. This includes, but is not limited to Erosion Control and Occupancy permits.
 - b. The applicant shall obtain Driveway and Parking Lot permits from the Department of Public Works prior to commencing work.
 - c. All signs shall comply with Chapter 15 of the Code of General Ordinances and the applicant shall obtain Sign Permits for all new signs. A separate submission and permits are required for all signs. Sign information provided under the Conditional Use Permit is for reference only and does not constitute Sign Permit approval.
 - d. The development shall be constructed per the approved plans on file with the Department of Community Development & Inspections, Room 308, 625 52nd Street, Kenosha, WI 53140. Any changes to the approved plans shall require an amendment to the Conditional Use Permit. All changes shall be submitted to the Department of Community Development & Inspections for review and approval.
 - e. Prior to the issuance of any Occupancy permits, all parking areas, drives and designated paved areas shall have the initial lift of asphalt installed. The exterior lighting shall be installed and the Conditional Use Permit shall be recorded with the Kenosha County Register of Deeds. All improvements indicated on the plans, including landscaping, shall be installed prior to the issuance of a final Occupancy permit. The recording fees for the Conditional Use Permit shall be submitted by the applicant.
 - f. Compliance with City and State and/or Federal Codes and Ordinances.
 - g. All trash containers shall be stored within the enclosure or building. The applicant/owner shall be responsible for waste collection and removal for the development. The City of Kenosha shall not provide waste collection or removal services or incur any cost in this regard.
 - h. All rubber-wheeled vehicles shall be parked within the designated paved areas.
 - i. All improvements, including landscaping, shall be maintained per the approved plans. Any damaged fencing, landscaping or building shall be replaced or reconstructed per the approved plans.
 - j. Compliance with the Operational Plan dated April 8, 2015.
 - k. Materials piles shall not exceed twenty (20') feet in height. All piles shall be a minimum of ten (10') feet from the property lines. A minimum of thirty (30') feet shall be maintained between materials piles.

- I. No activity shall emit odorous matter of such nature or quantity as to be offensive, obnoxious, or unhealthful outside the premises, nor shall any activity emit dust, fumes, vapors or gases in such quantities as to cause spoiling or danger to the health of persons, animals, vegetation or other property, all as measured and controlled by Chapter NR 400-494 "Air Pollution Control" of the Wisconsin Administrative Code.
 - m. The City requirements in 75th Street right-of-way would have to be permitted by WisDOT, the City would need confirmation that WisDOT has permitted these improvements. Contact at WisDOT would be: Kevin Koehnke, P.E. Permits Coordinator, WisDOT Systems Development SE Region; via email at kevin.koehnke@dot.wi.gov or by phone at 262-548-5891.
 - n. General note: STH 50 and 75th Street Frontage Road is programmed for reconstruction in 2021 and design activities are ongoing now. Contact would be: Jason Dahlgren, PE, Project manager, WisDOT SE Region; via email at jason.dahlgren@dot.wi.gov or by cell phone at 414-750-3278.
 - o. Nuisance Motor Vehicles, as defined in Section 16.02 B. of the Code of General Ordinances shall not be stored on the exterior of the premises.
2. The following Conditions of Approval shall be satisfied with City Staff prior to the issuance of any construction permits. Any Condition(s) of Approval that is/are not complied with will result in the issuance of a Stop Work Order, reinspection fees and/or citations on the site until compliance is achieved.
 - a. Compliance with the June 9, 2015, *Amended Notice of Violation and Order to Comply*.
 - b. The following items shall be **shown on the plan and submitted to City Staff** no later than Thursday, July 2, 2015:
 - i. A parking lot in front of the office building paved with asphalt or concrete, striped with a minimum of five (5) parking spaces and including a ADA van accessible parking space, with a sign noting van accessible. The parking lot shall include parking lot lighting. The parking lot shall comply with all drainage requirements of the City of Kenosha Zoning Ordinance and Code of General Ordinances. A Landscape Plan shall show an interior parkway landscaped area between the parking lot and right-of-way and a Landscape Plan for the entire site shall be submitted which complies with Section 14 of the Zoning Ordinance.
 - ii. Any areas where rubber-wheeled vehicles are stored or used shall be paved. Tracked vehicles may be stored on a gravel surface if shown and approved on the plans.
 - iii. A minimum thirty (30') feet wide paved access road is required along the Easternmost property line.
 - iv. A minimum of thirty (30') feet shall be maintained between materials piles and all access roads between piles shall be paved.
 - v. All piles shall be a minimum of ten (10') feet from the property lines.
 - vi. The Operational Plan shall be amended to clarify what "materials to be ground" means.
 - vii. Additional detail is required on the plans including proposed contours and drainage directions. Additional comments are expected once additional details are added to the plan.

viii. 75th Street, abutting this parcel, is Frontage Road connection to STH 50 and under WisDOT jurisdiction. The City requires four (4") inch thick sidewalk and paved eight (8") inch thick concrete driveway approach with eight (8") inch thick sidewalk abutting the driveway.

- c. The following items shall be **completed** no later than four (4) weeks after City Staff approves the plan items required in 2.b. or Thursday, August 13, 2015:
- i. A parking lot in front of the office building paved with asphalt or concrete, striped with a minimum of five (5) parking spaces and including an ADA van accessible parking space with a sign noting van accessible. The parking lot shall include parking lot lighting. The parking lot shall comply with all drainage requirements of the City of Kenosha Zoning Ordinance and Code of General Ordinances. A Landscape Plan shall show an interior parkway landscaped area between the parking lot and right-of-way and a Landscape Plan for the entire site shall be submitted for approval which complies with Section 14 of the Zoning Ordinance and the landscaping installed.
 - ii. Any areas where rubber-wheeled vehicles are stored or used shall be paved. Tracked vehicles may be stored on a gravel surface if shown and approved on the plans.
 - iii. A minimum thirty (30') feet wide paved access road is required along the Easternmost property line.
 - iv. A minimum of thirty (30') feet shall be maintained between materials piles and all access roads between piles shall be paved.
 - v. All piles shall be a minimum of ten (10') feet from the property lines.
- d. Compliance with the Wisconsin Department of Natural Resources letter from Elaine Johnson to Brad Lorenz dated May 22, 2015.
- e. No additional mulching operations, acceptance of new raw materials or dying shall occur on the site until an Occupancy Permit is issued.

City of Kenosha
 Vicinity Map
 Lorenz Excavating
 Contractor's Storage Yard CUP



----- Municipal Boundary



April 8, 2015

OPERATION PLANS

VARIOUS TYPES OF LOADERS, DUMP TRUCKS, GRINDERS

TRASH IS PICKED UP EVERYDAY AND PUT IN DUMPSTER, DUMPED MONTHLY

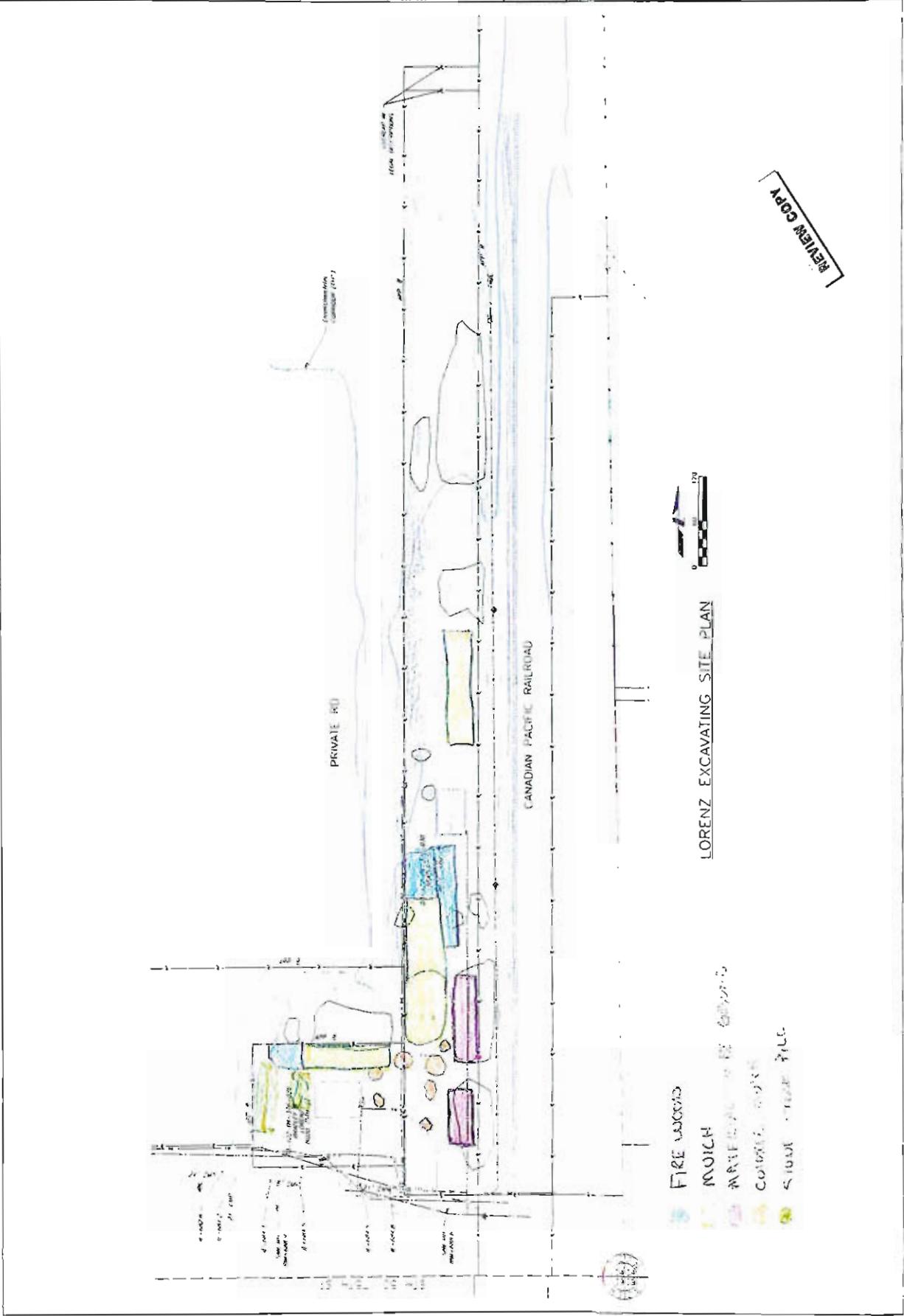
ALL EQUIPMENT HAVE MUFFLERS AND SOUND DEADENING SYSTEMS

EQUIPMENT DUST IS CONTROLLED BY WATER AS NEEDED

WIND BLOWN MATERIALS ARE NOT PROCESSED WHEN WIND IS A FACTOR

HOURS OF OPERATION 7:00 AM - 5:30 PM

FIRE PROTECTION, FIRE EXTINGUISHERS AND PROPER STORAGE OF ALL FLAMMABLE MATERIALS AS REQUIRED PER FIRE MARSHALL INSPECTORS



Proposed Plan

**Development Review Application
City of Kenosha, Wisconsin**

MAILING INFORMATION

NAME OF PROJECT: LORENZ EXCAVATING & TOP SOIL INC.

Check one (1) of the following boxes to indicate the recipient of all correspondence:

<input checked="" type="radio"/>	Name and Address of Applicant [Please print]: <u>BRADLEY S LORENZ</u> <u>8020 75ST KENOSHA WI 53142</u>	Phone: <u>OFFICE (262-697-0359) CELL 262-620-0097</u> Fax: <u>262-697-9084</u> E-Mail: <u>LORENZ-EXCAVATING@SBC.GLOBA.NET</u>
<input type="radio"/>	Name and Address of Architect/Engineer [Please print]: _____ _____ _____	Phone: _____ Fax: _____ E-Mail: _____
<input type="radio"/>	Name and Address of Property Owner (if other than applicant) [Please print]: _____ _____ _____	Phone: _____ Fax: _____ E-Mail: _____

PROJECT LOCATION

Location of Development (street address and / or parcel number): _____

TYPE OF LAND DEVELOPMENT

Check all that apply. Note: Additional information may be required within individual Sections.

<input type="checkbox"/>	Certified Survey Map	Section 1	Page 3
<input type="checkbox"/>	Concept Review (<i>Land Division</i>)	Section 2	Page 4
<input type="checkbox"/>	Concept Review (Multi-Family Residential or Non-Residential)	Section 3	Page 5
<input checked="" type="checkbox"/>	Conditional Use Permit	Section 4	Pages 6 & 7
<input type="checkbox"/>	Developer's Agreement	Section 5	Page 8
<input type="checkbox"/>	Final Plat	Section 6	Pages 9 & 10
<input type="checkbox"/>	Lot Line Adjustment Survey	Section 7	Page 11
<input type="checkbox"/>	Preliminary Plat	Section 8	Pages 12 & 13
<input type="checkbox"/>	Rezoning	Section 9	Pages 14 & 15
<input type="checkbox"/>	Site Plan Review	Section 10	Pages 16 & 17

**PRIOR TO SUBMITTING THIS APPLICATION TO THE DEPARTMENT OF CITY DEVELOPMENT,
PLEASE REVIEW THE APPROPRIATE SECTION(S) FOR FEES, REQUIREMENTS AND APPROPRIATE APPENDICES.**

*Submit this cover page, completed application, applicable section(s) and appendices
along with ALL required plans, information and fees to:*

Department of Community Development & Inspections
 Planning Division
 625 52nd Street, Room 308
 Kenosha, WI 53140

Phone: 262.653.4030
 Fax: 262.653.4045

Office Hours:
 M - F 8:00 am - 4:30 pm

Planning & Zoning

Community Development

262.653.4030
262.653.4045 FAX
Room 308



Building Inspections

Property Maintenance

262.653.4263
262.653.4254 FAX
Room 100

DEPARTMENT OF COMMUNITY DEVELOPMENT & INSPECTIONS

Municipal Building · 625 52nd Street · Kenosha, WI 53140
www.kenosha.org

Jeffrey B. Labahn, Director

Richard Schroeder, Deputy Director

September 30, 2014

Bradley S. Lorenz
8020 75th Street
Kenosha, WI 53142

Dear Mr. Lorenz:

SUBJECT: Illegal Occupancy Enforcement Notification - 8010 and 8020 75th Street

It has come to our attention that a new business is in operation at subject property without a valid Business Occupancy Permit and without an approved Conditional Use Permit. A new Business Occupancy Permit is required any time a new building and/or site is occupied for commercial purposes.

This letter serves as notice that you are required to obtain a Business Occupancy Permit no later than **October 8, 2014**. The permit will be subject to a five-times (5X) penalty fee for operating a business without an occupancy permit.

After you apply and pay for an occupancy permit and pass your required inspections on the buildings on the site, you will be allowed to utilize the buildings for business purposes. Use of the yard for piles of landscape materials is a conditional use in the M-2 (Heavy Manufacturing) district. You will need to obtain a Conditional Use Permit (CUP) from the City before you will be allowed to operate in the outside storage yard. Please be advised that the CUP will include requirements such as paving the site, site screening, and operational restrictions regarding material pile heights and items allowed to be stored on the site. The CUP application must be received in our office no later than **October 10, 2014**; or, all of the materials must be removed from the site by that date.

Failure to comply as specified above will result in the assessment of reinspection fees (to the property owner) in accordance with Section(s) 11.01 of the Zoning Ordinance. The amount of the reinspection fee starts at \$72.00 and escalates with each reinspection, up to a maximum fee of \$360.00 per inspection. These charges, if not paid within thirty (30) days of billing, will be added to the real estate tax bill for this property as a special charge, along with an administrative fee of \$100.00. No further notice and order shall be necessary for any "recurring violation" committed by a person within any one (1) year period.

If you have any questions, please feel free to contact me at 262.653.4049; or, you may e-mail me at bwilke@kenosha.org.

Sincerely,

DEPARTMENT OF COMMUNITY
DEVELOPMENT AND INSPECTIONS

Brian R. Wilke
Development Coordinator

BRW:saz

Planning & Zoning

Community Development

262.653.4030
262.653.4045 FAX
Room 308



Building Inspections

Property Maintenance

262.653.4263
262.653.4254 FAX
Room 100

DEPARTMENT OF COMMUNITY DEVELOPMENT & INSPECTIONS

Municipal Building · 625 52nd Street · Kenosha, WI 53140.

www.kenosha.org

Jeffrey B. Labahn, Director

Richard Schroeder, Deputy Director

November 21, 2014

Bradley S. Lorenz
8020 75th Street
Kenosha, WI 53142

Dear Mr. Lorenz:

SUBJECT: Conditional Use Permit (CUP) Application - 8010 - 8020 75th Street

This letter is to confirm our discussion held on Wednesday November 19, 2014. I indicated to you that your CUP application was incomplete, as it did not include the required review fee of \$1,300; and, the Site Plan was not to scale and difficult to interpret.

Based on our discussion, a revised CUP application, including the application fee and ten (10) copies of a scaled site plan must be submitted no later than 4:30 pm on Tuesday, December 2, 2014.

Failure to comply as specified above will result in the assessment of reinspection fees (to the property owner) in accordance with Section(s) 11.01 of the Zoning Ordinance. The amount of the reinspection fee starts at \$72.00 and escalates with each reinspection, up to a maximum fee of \$360.00 per inspection. These charges, if not paid within thirty (30) days of billing, will be added to the real estate tax bill for this property as a special charge, along with an administrative fee of \$100.00. No further notice and order shall be necessary for any "recurring violation" committed by a person within any one (1) year period.

If you have any questions, please feel free to contact me at 262.653.4049; or, you may e-mail me at bwilke@kenosha.org.

Sincerely,

DEPARTMENT OF COMMUNITY
DEVELOPMENT AND INSPECTIONS

Brian R. Wilke
Development Coordinator

BRW:saz

Planning & Zoning

Community Development

262.653.4030
262.653.4045 FAX
Room 308



Building Inspections

Property Maintenance

262.653.4263
262.653.4254 FAX
Room 100

DEPARTMENT OF COMMUNITY DEVELOPMENT & INSPECTIONS

Municipal Building · 625 52nd Street · Kenosha, WI 53140
www.kenosha.org

Jeffrey B. Labahn, Director

Richard Schroeder, Deputy Director

December 11, 2014

Bradley S. Lorenz
8020 75th Street
Kenosha, WI 53142

Dear Mr. Lorenz:

SUBJECT: Conditional Use Permit (CUP) Application - 8010 - 8020 75th Street

The Department of Community Development and Inspections is in receipt of your application for a Conditional Use Permit. The site plan submitted with the application is deficient in several areas and must be corrected before review can be commenced. The following items need to be addressed:

1. The plan must be drawn to a standard engineering scale (i.e. 1" = 20').
2. A drainage plan is required. The plan must include information on the existing grades on the property, as well as proposed grades. Based on items 1 and 2, Staff highly recommends that you hire a professional architect, engineer, and/or surveyor to prepare your plan submittal.
3. The site plan submitted does not show the existing environmental zoning areas, including FW Floodway (floodplain) and C-2 Lowland Resource Conservancy (wetlands). Filling or storing of materials in these areas may be prohibited or restricted based on the zoning. The site plan shall show these environmental areas.
4. The property to the north of your office building is zoned RM-2 (Multi-family Residential District) and is not under your ownership. Therefore, no materials piles shall be shown on the plan for this property; and, if a materials pile exists there today, it must be removed immediately and the area restored to its previous condition. The City will not support a rezoning of the area adjacent to your property, as it will negatively affect the compliance of the apartment complex with the Zoning Ordinance.
5. Staff will be making a recommendation to the Plan Commission that any area used

8010-8020 75th Street
CUP Letter
Page 2

for vehicle access or materials piles be paved with asphalt or concrete. Aisles shall be maintained between buildings and materials piles at all times for emergency access and shall be shown on the plans. Existing or proposed accesses into the property from the public street shall be shown as well.

A complete application must be re-submitted no later than January 5, 2015.

Failure to submit a revised application by that date will result in the assessment of reinspection fees (to the property owner) in accordance with Section(s) 11.01 of the Zoning Ordinance. The amount of the reinspection fee starts at \$72.00 and escalates with each reinspection, up to a maximum fee of \$360.00 per inspection. These charges, if not paid within thirty (30) days of billing, will be added to the real estate tax bill for this property as a special charge, along with an administrative fee of \$100.00. No further notice and order shall be necessary for any "recurring violation" committed by a person within any one (1) year period.

If you have any questions, please feel free to contact me at 262.653.4049; or, you may e-mail me at bwilke@kenosha.org.

Sincerely,

DEPARTMENT OF COMMUNITY
DEVELOPMENT AND INSPECTIONS



Brian R. Wilke
Development Coordinator

BRW:saz

Zimbra

bwilke@kenosha.org

Notice of non-compliance

From : Brian Wilke <bwilke@kenosha.org> Thu, Jan 22, 2015 10:06 AM
Subject : Notice of non-compliance  1 attachment
To : lorenz-excavating@sbcglobal.net
Cc : Jeff Labahn (jlabahn@kenosha.org)
<jlabahn@kenosha.org>, Rich Schroeder
<rschroeder@kenosha.org>

Mr. Lorenz:

Per our discussion yesterday, please see attached a plan set from the most recent contractor's storage yard approved by the City. This plan set is typical of the type of plans and quality of plans that we require for a complete Conditional Use Permit application.

Since we have issued repeated orders to you to submit a complete application for compliance with the Zoning Ordinance and have yet to receive an acceptable plan, **this email shall serve as notice that if we do not a) receive a fully completed and acceptable plan set in our office or b) get confirmation from a professional plan design firm that plans are being prepared by the close of business on Tuesday January 27, 2015, the City will issue a stop work order on your site. If a stop work order is issued, no employees will be allowed on the site and no business is to be transacted until such time as the stop work order is lifted. If a professional design firm is preparing your plan set, we will need a definitive timeline from them indicating when plans will be completed and submitted.**

I look forward to your prompt attention to this matter.

Brian R. Wilke
Development Coordinator
City of Kenosha -
Dept. of Community Development & Inspections
625 52nd Street
Kenosha, WI 53140
(262)653-4049 Phone



May 12, 2015

Bradley S. Lorenz
8020 75th Street
Kenosha, WI 53142

Dear Mr. Lorenz

RE: NOTICE OF VIOLATION AND ORDER TO COMPLY
8010 and 8020 75th Street - Parcel Numbers 03-122-04-376-030 and 03-122-04-376-026

Dear Mr. Lorenz:

Since the sites you own at 8010 and 8020 75th Street do not currently have valid business Occupancy Permits, and since your application for a Conditional Use Permit to operate the sites as a contractor's storage yard was denied by the City Plan Commission at their meeting on May 7, 2015, your business is currently operating in violation of the City of Kenosha Zoning Ordinance which requires a business Occupancy Permit and a Conditional Use Permit. Attached is a *Notice of Violation and Order to Comply* notice which lists each violation and the time allowed for compliance.

The attached *Notice of Violation and Order to Comply* relates to violations of City Zoning Ordinance and Code of General Ordinances only. Violations of Federal, State and County Codes and Ordinances, if any, will be handled under separate notice from the applicable jurisdictions.

Failure to comply by the dates indicated on the attached *Notice of Violation and Order to Comply* will result in the imposition of reinspection fees in accordance with Section 11.01 of the Zoning Ordinance, the issuance of municipal citations in accordance with Sections 11.02 and 11.021 of the Zoning Ordinance, the commencement of a civil lawsuit to enjoin and abate the illegal use of the property in accordance with Sections 11.021 and 11.03 of the Zoning Ordinance, and such other legal remedies as may be available to the City.

Reinspection fees start at \$72.00 and escalate with each reinspection, up to a maximum of \$360.00 per reinspection. These charges, if not paid within thirty (30) days of billing, will be added to the real estate tax bill for the property as a special charge, along with an administrative fee of \$100.00. No further notice and order shall be necessary for any "recurring violation" committed by a person within any one (1) year period. Upon conviction, municipal forfeitures range between \$25.00 and \$1,000.00 for each offense and each day that a violation continues to exist constitutes a separate offense.

In the event you wish to avoid the above enforcement actions being initiated, you must comply with the attached Order. If you have any questions, please contact me at 262.653.4049 or via email at bwilke@kenosha.org.

Sincerely,

Brian R. Wilke
Development Coordinator



June 11, 2015

Brad Lorenz
8020 75th Street
Kenosha, WI 53142

Dear Mr. Lorenz:

RE: Conditional Use Permit Application for 8010 - 8020 75th Street

At their meeting on June 1, 2015, the Common Council reviewed your Appeal to the City Plan Commission's denial of your Conditional Use Permit. The Common Council voted to send the item back to the City Plan Commission for their review.

Please be advised that the City Plan Commission will hold a public hearing on your Conditional Use Permit application at the following meeting:

***City Plan Commission
Thursday, June 18, 2015
5:00 pm
Municipal Building, 625 52nd Street - Room 202***

You and/or your representative should be at this meeting to answer any questions the City Plan Commission may have.

If you have any questions, please contact me at 262.653.4049 or via email at bwilke@kenosha.org.

Sincerely,

Brian R. Wilke
Development Coordinator

BRW:kas

BRW:kas
Enclosure

c: State Representative Peter Barca
Mayor Keith Bosman
Aldersperson Bob Johnson
Jeffrey B. Labahn, Director, Community Development & Inspections
Jonathan Mulligan, Assistant City Attorney
Rich Schroeder, Deputy Director, Community Development & Inspections

AMENDED NOTICE OF VIOLATION AND ORDER TO COMPLY
City of Kenosha
Department of Community Development and Inspections
625 52nd Street, Room 308, Kenosha, WI 53140
262.653.4030

Location of Violation: 8010 and 8020 75th Street

Owner/Violator Bradley Lorenz
Lorenz Excavating
8020 75th Street
Kenosha, WI 53142

You are hereby notified of the following violations of the *Zoning Ordinance* and *Code of General Ordinances* at the above locations. You are required to correct the following violations by the dates listed in each item. Failure to do so will result in the imposition of reinspection fees, the issuance of municipal citations, the commencement of a civil lawsuit to enjoin and abate the violations listed below, and such other legal remedies available to the City.

1. Mulch is being prepared and manufactured on the property without an approved Conditional Use Permit.
 - **The delivery and/or receipt of materials to manufacture mulch continues to be prohibited as stated in the original Notice of Violation and Order to Comply dated May 12, 2015.**
 - **Based on the recommendation of the City of Kenosha Fire Prevention Bureau, the grinding and dyeing of existing mulch piles on the site is permitted until June 18, 2015. For the avoidance of doubt, grinding and dyeing of any material not currently in materials piles on the site as of the date of this Amended Notice is strictly prohibited.**

(Violation of 2.01 of the Zoning Ordinance).
2. Fill and materials have been placed in an area zoned FW Floodway (noted as "Environmental Corridor (Typ.)" on your submitted site plan). All fill and materials shall be removed from the area zoned FW Floodway and the base elevation reestablished. An erosion control permit may be needed at the location where the fill is to be removed and at the location where the fill is to be placed, which location shall not be the properties subject to this Order. If the location where the fill is to be placed is within the City of Kenosha, an erosion control permit may be needed for that location as well.
 - **Comply by May 26, 2015.** *(Violation of Section 2.08 A. and 3.20 D.4. of the Zoning Ordinance).*
3. The site currently has several Nuisance Motor Vehicles as defined in Section 7.126 of the Code of General Ordinances. All Nuisance Motor Vehicles shall either be removed from the site or corrected to comply with the provisions of the Code of General Ordinances.
 - **Comply by May 26, 2015.** *(Violation of 7.126 of the Code of General Ordinances)*
4. Materials and equipment for use by a contractor are being stored on the exterior of the property without an approved Conditional Use Permit. All materials and equipment related to the contractor use including, but not limited to, mulch, stone, raw wood materials, firewood and construction equipment shall be removed from the site exterior.
 - **Comply by June 25, 2015.** *(Violation of 2.01 of the Zoning Ordinance).*

Dated at Kenosha, Wisconsin this 9th day of June, 2015.

CITY OF KENOSHA

By: B. R. Wilke
Brian R. Wilke
Development Coordinator

NOTICE OF VIOLATION AND ORDER TO COMPLY
City of Kenosha
Department of Community Development and Inspections
625 52nd Street, Room 308, Kenosha, WI 53140
262.653.4030

Location of Violation: 8010 and 8020 75th Street

Owner/Violator Bradley Lorenz
Lorenz Excavating
8020 75th Street
Kenosha, WI 53142

You are hereby notified of the following violations of the *Zoning Ordinance* and *Code of General Ordinances* at the above locations. You are required to correct the following violations by the dates listed in each item. Failure to do so will result in the imposition of reinspection fees, the issuance of municipal citations, the commencement of a civil lawsuit to enjoin and abate the violations listed below, and such other legal remedies available to the City.

1. Mulch is being prepared and manufactured on the property without an approved Conditional Use Permit.
 - **The delivery and/or receipt of materials to manufacture mulch, including, but not limited to, the grinding of mulch and the dyeing of mulch shall cease immediately upon service of this Notice of Violation and Order to Comply.**
(Violation of 2.01 of the Zoning Ordinance).

2. Fill and materials have been placed in an area zoned FW Floodway (noted as "Environmental Corridor (Typ.)" on your submitted site plan). All fill and materials shall be removed from the area zoned FW Floodway and the base elevation reestablished. An erosion control permit may be needed at the location where the fill is to be removed and at the location where the fill is to be placed, which location shall not be the properties subject to this Order. If the location where the fill is to be placed is within the City of Kenosha, an erosion control permit may be needed for that location as well.
 - **Comply by May 26, 2015.**
(Violation of Section 2.08 A. and 3.20 D.4. of the Zoning Ordinance).

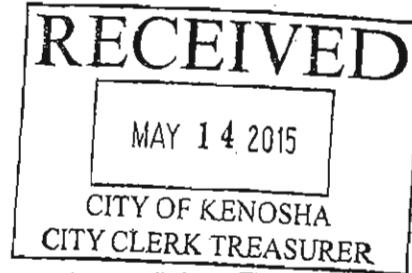
3. The site currently has several Nuisance Motor Vehicles as defined in Section 7.126 of the Code of General Ordinances. All Nuisance Motor Vehicles shall either be removed from the site or corrected to comply with the provisions of the Code of General Ordinances.
 - **Comply by May 26, 2015.**
(Violation of 7.126 of the Code of General Ordinances)

4. Materials and equipment for use by a contractor are being stored on the exterior of the property without an approved Conditional Use Permit. All materials and equipment related to the contractor use including, but not limited to, mulch, stone, raw wood materials, firewood and construction equipment shall be removed from the site exterior.
 - **Comply by June 11, 2015.**
(Violation of 2.01 of the Zoning Ordinance).

Dated at Kenosha, Wisconsin this 12th day of May, 2015

CITY OF KENOSHA

By: 
Brian R. Wilke
Development Coordinator



May 14, 2015

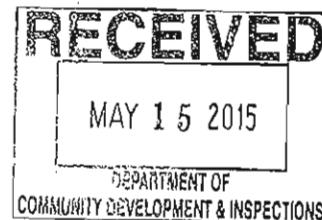
Hello, my name is Brad Lorenz, President of Lorenz Excavating and Topsoil, Inc. There was a public hearing on May 7th, 2015. I talked to Brian Wilke about it and I had the wrong date, May 14th, 2015 was the date on the paperwork I had received. That would be the reason I did not appear at the May 7th, 2015 hearing.

Brian Wilke and Rich Schroeder came to my property to tell me that my occupancy permit was denied. I am still in the process of making improvements that were stated in occupancy compliance. So I am appealing the decision of the Plan Commission and asking for an overturn review for the occupancy. This would be for the reason under grounds of a simple mistake of a date. I have been working very closely with Brian Wilke and am requesting that we need to have a new public hearing so that we can move forward.

Thank you,

A handwritten signature in black ink, appearing to read "Brad Lorenz". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Brad Lorenz





May 8, 2015

Bradley S. Lorenz
8020 75th St.
Kenosha, WI 53142

Dear Mr. Lorenz:

RE: Conditional Use Permit for Lorenz Contractor's Storage Yard-8010 and 8020 75th St

This is to advise you that your Conditional Use Permit application was denied by the City Plan commission at their meeting on May 7th, 2015

Please be advised that per Section 4.04 H. of the City Zoning Ordinance, which is enclosed, you may appeal the decision to the Common Council. If you wish to appeal this decision, you will need to:

- 1) File a written request for an appeal with the City Clerk no later than 4:30 p.m. on Monday, June 8, 2015
- 2) Accompany the written request with the review fee of \$350.00.

If you have any questions, please contact me at 262.653.4049 or via email at bwilke@kenosha.org.

Sincerely,

COMMUNITY DEVELOPMENT & INSPECTIONS

Brian R. Wilke
Development Coordinator

BRW:jmu
enclosure
CC: Mayor Keith Bosman
Aldersperson Bob Johnson
Jeff Labahn, CDI
Rich Schroeder, CDI

CITY PLAN COMMISSION
Minutes
May 7, 2015

MEMBERS PRESENT: Alderperson Gordon, Alderperson Michalski, Alderperson Wicklund, Anita Faraone, Robert Hayden, Anderson Lattimore

MEMBERS EXCUSED: Mayor Bosman, Patrick DeGrace, Brad Kleba and Jessica Olson

STAFF PRESENT: Jeffrey B. Labahn and Brian Wilke

The meeting was called to order at 5:08 p.m. by Alderperson Gordon and roll call was taken.

A motion was made by Alderperson Michalski and seconded by Mr. Lattimore to approve the minutes of the April 9, 2015 meeting. The motion passed. (Ayes 6, Noes 0)

A motion was made by Mr. Lattimore and seconded by Alderperson Wicklund to take Item 2 first and then go to Item 1. The motion passed. (Ayes 6, Noes 0)

2. Public Building Review for a 1,542 s.f. addition to the Kenosha Unified School District Educational Support Center at 3600 52nd Street. (District 10) PUBLIC HEARING

Public hearing opened.

Mike Risselada, Partners In Design Architects, 600 52nd Street and John Setter, Kenosha Unified School District, 3600 52nd Street were available for questions.

Public hearing closed.

Brian Wilke, Development Coordinator, gave an overview of the project.

A motion was made by Mr. Lattimore and seconded by Mr. Hayden to approve the review. The motion passed. (Ayes 6, Noes 0)

1. Conditional use Permit for a contractor's storage yard to be located at 8010 and 8020 75th Street. (Lorenz) (District 16) PUBLIC HEARING

Public hearing opened.

Dennis Dahlberg, 8200 75th Street-Lot #35, distributed a folder of pictures to each Commissioner. Mr. Dahlberg has concerns with the odor being emitted, the dust and dirt in the air, the dyes in the wood that Mr. Lorenz is mulching on his property, the height of the mulch or dirt piles and the junk cars in the yard.

Paul Rowan, 8200 75th Street-Lot #45, distributed some papers to the Commissioner. Mr. Rowan is concerned the smell (air pollution), the dyes within the wood being

mulched, the air pollution, ground contamination, and junk in the yard.

Randy Waas, 8200 75th Street-Lot #26, is concerned with the work being done in the road and the noise from the property. Mr. Waas said they just want things cleaned up.

William Glidden, 8200 75th Street-Lot #28, wants to know where the used skids are coming from, are they contaminated.

Dolly Dahlberg, 8200 75th Street-Lot #35, said they don't want to shut Mr. Lorenz down, they just want to improve the air quality and have him do the mulching somewhere else.

Deb Perry, 8200 75th Street-Lot #60, said the mulching creates a big problem with the air quality.

Dominic Ruffalo, 8200 75th Street-Lot #61, said Mr. Lorenz does what he wants and doesn't follow the rules. Mr. Ruffalo's concerns include the garbage in the yard, his trucks blocking the road, no set hours, and air quality/health issues.

Trisha Glidden, 8200 75th Street-Lot #28, concerns include the semis parking on the road.

Peter Barca, 1339 38th Avenue, said he has bet with the Mayor and has been out to the Prairie Lakes Estates area to observe the problems. Mr. Barca said the biggest problem is the odor and air pollution. This business is not compatible with this location.

Judy Tanzer, 8200 75th Street-Lot #49, asked what does Mr. Lorenz have permits for? Ms. Tanzer said Mr. Lorenz's operation devalues their property.

Dana Larsen, 8200 75th Street-Lot #69, wants the City to verify that Mr. Lorenz is allowed to do what he is doing at the site. There is also a large white tank marked "poison" next to the wetlands. Ms. Larson is concerned about seepage into the wetland area.

Don Lajeunesse, 8200 75th Street-Lot #27, said the community has a number of older citizens there and this type of air quality affects them more.

Public hearing closed.

Mr. Wilke showed a video of the site and gave an overview of what has transpired. Staff has created a timeline for the applicant to abide to the issues in the Conditions of Approval.

Ms. Faraone said Mr. Lorenz is not represented here tonight and she doesn't support the Conditional Use Permit.

Aldersperson Michalski asked Staff if Aldersperson Johnson supports the project. Mr. Wilke said he has received emails from the alderman and believes he is concerned with some issues. Aldersperson Michalski asked if we know if the pallets are toxic. Mr. Wilke said we have no evidence of that. Aldersperson Michalski said since Mr. Lorenz is not hear and the previous work without permits, he doesn't support the project.

Mr. Hayden does not support the project.

Mr. Lattimore asked for clarification on requirements by Staff and results from Mr. Lorenz. Mr. Lattimore asked if the wetlands have been affected by Mr. Lorenz's business or his practices. Mr. Wilke we don't know about the wetlands for sure, but Mr. Lorenz does have things stacked in the floodplain area. Mr. Lattimore will not support the project.

Aldersperson Wicklund asked how Staff became aware of Mr. Lorenz operating without permits. Jeffrey Labahn, Director, said he became aware when concerned citizens of Prairie Lakes Estates notified him with their concerns. The area is zoned Industrial, but Mr. Lorenz is not the long term owner. The business activity has ramped up recently. Aldersperson Wicklund suggested that the soil be tested for contamination before any permits are granted.

Aldersperson Wicklund asked if we know the height of the piles. Mr. Labahn said no, we don't know that. Aldersperson Wicklund asked about the laws on grinding pallets. Mr. Labahn said he has had ongoing discussion with the County Health Department and they have been at the site on several occasions. Mr. Labahn will follow-up on the site monitoring. Aldersperson Wicklund asked for a more definitive Operational Plan.

Aldersperson Gordon asked if Mr. Lorenz has any permits. Mr. Wilke said they applied for a Business Occupancy. Other departments have signed off on this, but our department has not yet signed off on that application. Aldersperson Gordon asked when this application procedure started. Mr. Wilke said September of 2014, with a few reinspection fees. Aldersperson Gordon recommended that a Stop Work Order be issued and asked Staff to follow up on that.

Ms. Faraone made a motion to deny the application and place a Stop Work Order on the business immediately. The motion died for lack of a second. Mr. Labahn noted there are other ways Staff can be more aggressive with the applicant, but they don't have the authority to issue a Stop Work Order.

A motion was made by Ms. Faraone and seconded by Mr. Hayden to deny the Conditional Use Permit. The motion passed. (Ayes 6, Noes 0)

Public Comments

No public comments.

Commissioner Comments

Aldersperson Michalski, Mr. Lattimore, Aldersperson Wicklund and Ms. Faraone thanked the public for speaking. Aldersperson Michalski added Commission must act on items from the agenda. Ms. Faraone asked Staff to have the City Attorney review the Lorenz item.

Ms. Faraone also suggested that a Commissioner is consistently gone from the meeting their appointment should be looked at.

Staff Comments



May 22, 2015

CERTIFIED MAIL

File Ref: ENF-SE-2015-30-01923

Bradley Lorenz
8020 75 St.
Kenosha, WI 53142

Subject: Notice of Non-Compliance for wetland fill on property located in the SE1/4-SW1/4 S4, T1N, R22E, Kenosha County

Dear Mr. Lorenz:

It has come to the Department's attention that you, or persons acting on your behalf, have disposed vegetative material such as logs, and other waste within wetlands mapped under the Wisconsin Wetland Inventory towards the north end of the site located in the SE1/4 of the SW1/4 of Section 4, Township 1 North, Range 22 East, City of Kenosha, Kenosha County. According to Kenosha County's tax records, the project site has tax key number 03-122-04-376-030 (listed to Bradley Lorenz). Attached is the map of the property with the overlaid Wisconsin Wetland Inventory.

Based on the information available at this time, we believe that written authorization pursuant to s. 281.36, 401 CWA, Wis. Stats. is required prior to conducting this type of activity. A review of Department permit records indicates that approvals have not been issued for your project.

We recommend that you discontinue any additional work on this project. At this time it is requested that you provide a plan to the Department by Friday, June 5, 2015 for the removal of the materials to clearly upland areas and any subsequent site restoration that may be required. Removal of the materials from mapped wetlands to clearly upland areas is required by June 22, 2015.

This work may also require authorization from the Corps of Engineers, Kenosha County and/or the City of Kenosha. We strongly recommend that you contact them to determine whether local approvals are needed.

By no later than June 5, 2015, please contact me at (262) 574-2136 or email Elaine.Johnson@wisconsin.gov with your plans for removal. Your prompt attention in this matter is greatly appreciated. I look forward to hearing from you soon.

We are committed to service excellence.

Visit our survey at <http://dnr.wi.gov/customerurvey> to evaluate how I did.

Sincerely,

A handwritten signature in cursive script, appearing to read "Elaine Johnson".

Elaine Johnson
Water Management Specialist

CC: Marie Kopka, U.S. Army Corps of Engineers
Dan Treloar, County of Kenosha
Jeffrey Labahn, City of Kenosha
John Sinclair, DNR Conservation Warden
Michelle Scott, Waterway Field Supervisor
File



TO: Mayor Keith Bosman
Members of the Common Council

FROM: Brian Wilke, Department of Community Development & Inspections *BW*

RE: **Appeal of City Plan Commission denial of a Conditional Use Permit for a Contractor's Storage Yard to be located at 8010 and 8020 75th Street. (Lorenz) (District 16)**

DATE: June 1, 2015

The applicant, Brad Lorenz, is Appealing the denial of his Conditional Use Permit application for a Contractor's Storage Yard at 8010 and 8020 75th Street.

The application was denied by the City Plan Commission at their meeting on May 7, 2015. Mr. Lorenz did not attend the meeting because he noted the wrong date on his calendar. Per Section 4.04 H. of the Zoning Ordinance, Mr. Lorenz has chosen to Appeal the decision of the City Plan Commission to the Common Council. The Appeal was received by the City Clerk within the thirty (30) day time limit after the decision of the City Plan Commission.

The Staff Report for the City Plan Commission meeting is attached for reference. In addition to the Staff Report, the following sequence of events is pertinent to this issue:

- **September 30, 2014** - Community Development & Inspections (CD&I) issues the attached Notice to Mr. Lorenz that his business is in operation without a Business Occupancy Permit or a Conditional Use Permit, which are required for a Contractor's Storage Yard. The letter requires Mr. Lorenz to obtain a Business Occupancy Permit and apply for a Conditional Use Permit.
- **November 21, 2014** - A second attached Notice is sent to Mr. Lorenz indicating that his Conditional Use Permit application was unacceptable and did not meet the requirements of Chapter 4 of the Zoning Ordinance.
- **December 11, 2014** - A third attached Notice is sent to Mr. Lorenz with details on what items are missing from his Conditional Use Permit application.
- **January 6, 2015** - A Reinspection Fee is issued to the property owner for failure to submit the Conditional Use Permit by the date specified in the Notice.
- **January 22, 2015** - Staff recommends that Mr. Lorenz hire a professional firm to prepare the Site Plan and application, Mr. Lorenz hires Clark Dietz Engineering to prepare the documents. Staff discussed the preparation of the plans with Clark Dietz representatives. Unfortunately, due to the winter weather conditions, Clark Dietz was unable to survey the site until the snow cover melted. By late March, Clark Dietz had prepared the Conditional Use Permit plans.

- **April 7, 2015** - Mr. Lorenz submits a complete Conditional Use Permit application packet. The plans are reviewed by City Departments.
- **May 7, 2015** - The City Plan Commission holds a Public Hearing on the application. Mr. Lorenz, who was notified of the meeting and sent copies of the Agenda and Staff Report on May 1, 2015, does not attend the meeting. About 10-12 residents speak in opposition to the application. Their concerns include noise, dust and pollution, among other items. The City Plan Commission votes 6-0 to deny the application based on the residents concerns.
- **May 8, 2015** - Staff sends the attached letter to Mr. Lorenz indicating that his Conditional Use Permit application was denied and that he had a right to Appeal the decision within thirty (30) days of the decision.
- **May 12, 2015** - Staff issues Mr. Lorenz the attached *Notice of Violation and Order to Comply*. The *Order* requires Mr. Lorenz to cease the mulch operation immediately, including accepting new materials, grinding mulch and/or dying mulch. He is also ordered to remove the illegal fill from the Floodplain areas of the property and remove nuisance motor vehicles. The last *Order* is to remove all materials and equipment from the site within thirty (30) days of the *Order*.
- **May 14, 2015** - Mr. Lorenz submits his Appeal to the City Clerk's office.
- **May 22, 2015** - Mr. Lorenz is sent the attached letter from Elaine Johnson, Wisconsin Department of Natural Resources (WDNR). The letter indicates that he must remove all material that he placed within the designated wetlands by no later than Monday, June 22, 2015.

Two (2) of the *Orders* listed in the *Notice of Violation and Orders to Comply* (Item 1 and Item 2) have not been complied with to date. Mr. Lorenz met with Brian Wilke, CD&I and Pat Ryan, Fire Prevention Bureau on Thursday May 21, 2015. Mr. Lorenz stated his concern that an existing pile of raw wood materials on the site might start a fire if the material was not ground into mulch. Material piles such as these can generate high amounts of heat if left unattended. Mr. Ryan indicated that the threat may be legitimate. Mr. Lorenz was advised that his *Orders* state the mulch was not to be ground on the property, if Mr. Lorenz grinds the mulch, he would be subject to Reinspection Fees for non-compliance with the *Orders*, as he has the option to remove the material from the site. Staff received complaints from the neighborhood over the Memorial Day weekend indicating that Mr. Lorenz ground mulch on three (3) different days. Fees and citations will be levied accordingly, based on the *Orders*. Also, the *Orders* require a pile of dirt/topsoil to be removed from the Floodplain on the north end of the property by no later than Tuesday, May 26, 2015. An inspection conducted on Thursday, May 28, 2015 showed that the material pile was still in the Floodplain.

If you have any questions, please contact me at 262.653.4049 or via email at bwilke@kenosha.org.

BRW:kas
Attachment

Thursday, June 18, 2015 at 5:00 pm
Municipal Building
625 52nd Street - Room 202 - Kenosha, WI 53140

Zoning Ordinance By the Mayor - To Repeal and Recreate Subparagraph 3.031 F. and 3.032 F. of the Zoning Ordinance for the City of Kenosha, Wisconsin regarding Accessory Yard Requirements in the RR-1 Rural Single-Family Residential and RR-2 Suburban Single-Family Residential Districts. PUBLIC HEARING

NOTIFICATIONS AND APPROVAL REQUIREMENTS:

The Common Council is the final review authority.

LOCATION AND ANALYSIS:

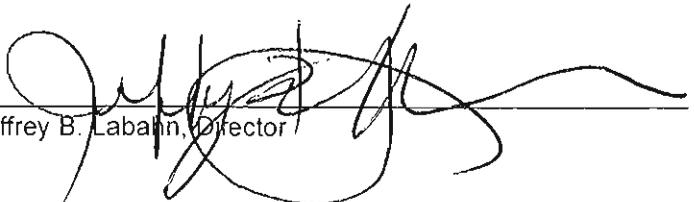
Site: City - Wide

1. The Zoning Ordinance currently has yard requirements for the RR-1 Rural Single Family Residential and the RR-2 Suburban Single-Family Residential Districts.
2. The attached Zoning Ordinance would create yard requirements for accessory buildings, structures or uses in those Districts.
3. The Zoning Ordinance currently has similar accessory building, structure or uses yard requirements for other residential districts.

RECOMMENDATION:

A recommendation is made to approve the attached Zoning Ordinance Amendment.


Pa Phouala Vang, Planner


Jeffrey B. Labahn, Director

ORDINANCE NO. _____

SPONSOR: THE MAYOR

**TO REPEAL AND RECREATE SUBPARAGRAPH 3.031 F. AND 3.032 F.
OF THE ZONING ORDINANCE FOR THE CITY OF KENOSHA, WISCONSIN
REGARDING ACCESSORY YARD REQUIREMENTS IN THE RR-1 RURAL SINGLE-
FAMILY RESIDENTIAL AND RR-2 SUBURBAN SINGLE-FAMILY RESIDENTIAL
DISTRICTS**

The Common Council of the City of Kenosha, Wisconsin, do ordain as follows:

Section One: Subparagraph 3.031 F. of the Zoning Ordinance for the City of

Kenosha, Wisconsin is hereby repealed and recreated as follows:

3.031 RR-1 RURAL SINGLE-FAMILY RESIDENTIAL DISTRICT

F. Yard Requirements.

1. Front Yard. There shall be a minimum front yard of sixty-five **feet (65')** feet from the right-of-way of all Federal, State and County Trunk Highways and thirty **feet (30')** feet from all other roads.

2. Side Yard. There shall be a minimum side yard of fifteen **feet (15')** feet in width on each side of all structures.

3. Rear Yard. There shall be a minimum rear yard of twenty-five **feet (25')** feet.

~~**4. Shore Yard.** There shall be a minimum shore yard of seventy-five (75') feet from the ordinary high water mark of any navigable water.~~

4. Accessory Buildings, Structures or Uses.

a. Accessory Front Yard. There shall be a minimum accessory front yard of seventy feet (70') measured from the front lot line, or from the setback line of any major street.

b. Accessory Side Yards.

(1) Accessory Interior Side Yards. There shall be a minimum accessory interior side yard of four feet (4').

(2) Accessory Street Side Yard. There shall be a minimum street side yard of twenty feet (20') measured from the street side lot line, or from the setback line of any major street.

c. Accessory Rear Yard. There shall be a minimum accessory rear yard of four feet (4') except that where a rear lot line in a RR-1 District fronts on a street and where a side lot line in the RR-1 District abuts or is across an alley from a residential district, the other residential district yard requirement on that street shall apply as the accessory rear yard requirement.

d. Distance Between Accessory Buildings or Structures and the Principal Building or Structure.

Accessory buildings or structures shall not be constructed closer than five feet (5') to any principal building or structure on the lot.

e. Maximum Coverage of Lot with Accessory Buildings or Structures. Accessory buildings or structures, other than swimming pools, shall not cover any portion of a lot in excess of the area outlined in §3.03 of this Ordinance.

5. Shore Yard. There shall be a minimum shore yard of seventy-five feet (75') from the ordinary high water mark of any navigable water.

Section Two: Subparagraph 3.032 F. of the Zoning Ordinance for the City of

Kenosha, Wisconsin is hereby repealed and recreated as follows:

3.032 RR-2 SUBURBAN SINGLE-FAMILY RESIDENTIAL DISTRICT

F. Yard Requirements.

1. Front Yard. There shall be a minimum front yard of sixty-five feet (65') feet from the right-of-way of all Federal, State and County Trunk Highways and thirty feet (30') feet from all other roads.

2. Side Yard. There shall be a minimum side yard of ten feet (10') feet in width on each side of all structures.

3. Rear Yard. There shall be a minimum rear yard of twenty-five feet (25') feet.

~~**4. Shore Yard.** There shall be a minimum shore yard of seventy-five (75') feet from the ordinary high water mark of any navigable water.~~

4. Accessory Buildings, Structures or Uses.

a. Accessory Front Yard. There shall be a minimum accessory front yard of seventy feet (70') measured from the front lot line, or from the setback line of any major street.

b. Accessory Side Yards.

(1) Accessory Interior Side Yards. There shall be a minimum accessory interior side yard of four feet (4').

(2) Accessory Street Side Yard. There shall be a minimum street side yard of twenty feet (20') measured from the street side lot line, or from the setback line of any major street.

c. Accessory Rear Yard. There shall be a minimum accessory rear yard of four feet (4') except that where a rear lot line in an RR-2 District fronts on a street and where a side lot line in the RR-2 District abuts or is across an alley from a residential district, the other residential district yard requirement on that street shall apply as the accessory rear yard requirement.

d. Distance Between Accessory Buildings or Structures and the Principal Building or Structure.

Accessory buildings or structures shall not be constructed closer than five feet (5') to any principal building or structure on the lot.

e. Maximum Coverage of Lot with Accessory Buildings or Structures. Accessory buildings or structures, other than swimming pools, shall not cover any portion of a lot in excess of the area outlined in §3.03 of this Ordinance.

~~**5. Shore Yard.** There shall be a minimum shore yard of seventy-five feet (75') from the ordinary high water mark of any navigable water.~~

Section Three: This Ordinance shall become effective upon passage and publication.

ATTEST: _____ City Clerk

APPROVED: _____ Mayor

Passed:

Published:

Drafted By:
EDWARD R. ANTARAMIAN
City Attorney