



Agenda
City Plan Commission Meeting
Municipal Building, 625 52nd Street - Room 202, Kenosha, WI
Thursday, June 9, 2016
5:00 pm

Mayor John Antaramian, Chairperson
Alderman Jan Michalski
Commissioner Pat DeGrace
Commissioner Scott Haraty
Commissioner Lydia Spottswood

Alderman Dan Prozanski, Vice-Chairperson
Alderman John Fox
Commissioner Anita Faraone
Commissioner Brad Kleba

Call to Order
Roll Call
Citizens Comments

Approval of the Minutes of the Meeting held May 19, 2016

1. Conditional Use Permit for a new grocery store to be located at 3524 57th Avenue. (Aldi's) (District 5)
PUBLIC HEARING
2. City Plan Commission Resolution - To Amend the Land Use Plan Map for the Comprehensive Plan for the City of Kenosha: 2035 regarding property at 5894 122nd Avenue. (Southport Commons, LLC) (District 16) PUBLIC HEARING
3. Zoning Ordinance by the City Plan Commission - To Create Subsection 18.02 xx. of the Zoning Ordinance to Amend the Land Use Plan Map for the City of Kenosha: 2035. (Southport Commons, LLC) (District 16) PUBLIC HEARING
4. Zoning Ordinance by the Mayor - To Rezone a Portion of the Property at 5894 122nd Avenue from A-2 Agricultural Land Holding District to M-1 Light Manufacturing District in Conformance with Section 10.02 of the Zoning Ordinance. (Southport Commons, LLC) (District 16) PUBLIC HEARING

Commissioners' Comments

*IF YOU ARE DISABLED AND NEED ASSISTANCE, PLEASE CALL 653-4030 BY NOON
OF THIS MEETING DATE TO MAKE ARRANGEMENTS FOR REASONABLE ON-SITE ACCOMMODATIONS.*

CITY PLAN COMMISSION
Minutes
May 19, 2016

MEMBERS PRESENT: Mayor Antaramian, Alderperson Prozanski, Alderperson Michalski, Alderperson Fox, Patrick DeGrace, Anita Faraone, Scott Haraty, Brad Kleba, Jessica Olson and Lydia Spottswood

STAFF PRESENT: Jeff Labahn and Rich Schroeder

The meeting was called to order at 5:00 pm by Mayor Antaramian, roll call was taken.

Citizens Comments

Barry Thomas, 1312 93rd Avenue, is concerned about the reduced parking area because of spaces being leased to 5706 8th for their off-street parking.

Carol Phelps, 7409 14th Avenue, is concerned about the reduced parking area because of spaces being leased to 5706 8th for their off-street parking.

Ms. Olson arrived.

Byron Downy, 7819 Pershing Boulevard, is concerned with the intersection of 39th Avenue and 75th Street. Mr. Downy suggested a round-about might be a solution.

Mayor Antaramian said the round-about was previously discussed, but not well received.

Public hearing closed.

A motion was made by Alderperson Michalski and seconded by Mr. DeGrace to approve the minutes of April 7, 2016. The motion passed. (Ayes 10, Noes 0)

Oath of Office was given to Mayor Antaramian, Alderperson Prozanski, Alderperson Fox, Scott Haraty and Lydia Spottswood by Mr. Labahn.

Mayor Antaramian asked that Items 1 and 2 be taken together for public hearing purposes. Both items were read.

- 1. Conditional Use Permit for a hotel to be located at 5706 8th Avenue. (Heritage House) (District 2) PUBLIC HEARING**
- 2. Request for Relief to the off-street parking requirements of Section 6.01 of the Zoning Ordinance for a hotel addition to be located at 5706 8th Avenue. (Heritage House) (District 2) PUBLIC HEARING**

Public hearing opened.

Alderperson Michalski noted that the Historic Preservation Commission voted to approve the Certificate of Appropriateness

Ben Marshall, Gorman and Company, 200 North Main Street, Oregon, WI gave an

overview of the project.

Ms. Spottswood asked if there could be some recess off of the street at the front entrance. Mr. Marshall explained that involves the public right-of-way and is much more complicated.

Aldersperson Michalski asked if the swimming pool will be restored. Mr. Marshall said no, it will have a false deck and be converted into meeting space. It will be constructed to allow for it to be returned to a pool at a future date.

Aldersperson Fox asked that Mr. Marshall explain the requirements from the Historic Preservation Commission. Mr. Marshall said they were concerned with the South facade of the addition and would like more articulation. We are looking at changing the window pattern to create a different rhythm. We will also look into doing some signage or murals to add interest.

Katie Traxel, 4302 85th Street, welcomes the restoration, but would like to share the parking lot instead of having specific stalls designated for that address only.

Byron Downy, 7819 Pershing Boulevard, is concerned that the funding will run out and the project will not be completed. Could we have them put money into escrow?

Public hearing closed.

Rich Schroeder, Deputy Director, explained that they cannot open the addition until they have an Occupancy Permit, which means they need to be completely done. If the Commission would like to see more articulation, you could designate that the applicant work with Staff to finalize.

Ms. Faraone is concerned with the price and the amount of money that Gorman and Company is contributing. Ms. Faraone would rather see the building razed and does not support.

Aldersperson Michalski asked if the Parking Lease was already in existence. Jeff Labahn, Director, said yes, it shows they will receive 75 parking spaces.

Ms. Olson said she is not sure this is the best use of the site, she also is not loving the elevations. Ms. Olson does not like the thought of designating half of the lot to them when parking in the downtown is already an issue.

Mr. DeGrace asked how the parking spaces would be designated for the hotel. Mr. Labahn said there would be signs.

Mr. Kleba asked if there was any survey done regarding parking issues prior to the Leasing of the parking stalls. Mr. Labahn said not formal study that he was aware of. Mr. Kleba said this is a good use of the land and he is leaning towards supporting the project.

Aldersperson Fox said there are three (3) parking areas and twenty-four (24) spaces more than needed. What are the extra spaces for? Mr. Labahn said the developer feels they would like to have extra spaces. The parking exception approval is needed because they don't own the property were the designated spaces are located.

Mr. DeGrace asked if there were any other options and will the church have enough parking. Mr. Labahn said there are no other options, the church still has half of the lot and the street. Mr. DeGrace asked how the lot would be policed. Mr. Labahn said that Transit is responsible.

Ms. Faraone asked how much Gorman is paying for the parking from the City. Mr. Labahn said \$3,000 per year.

Ms. Olson is concerned with Mangia's losing the parking and also that both businesses, Mangia's and the Heritage House will need parking at the same time of day.

Aldersperson Prozanski asked who owns the Heritage House property and what are the taxes generated. Mr. Labahn said the City owns the property and \$0 funds are generated. Aldersperson Prozanski asked the value of the renovation and addition. Mr. Labahn said approximately \$10 million. Aldersperson Prozanski said then taxes revenue will be generated in the future - what is our other option and what will that cost. Mr. Labahn said we could raze the building and it would cost several hundred thousand dollars.

Aldersperson Prozanski asked the status of the financing. Mr. Marshall said we have State and Federal Historic Tax Credits and various loans, we will know more by August. Aldersperson Prozanski supports the project.

Ms. Spottswood asked if the applicant researched underground parking. Mr. Marshall said yes, the area is just too small.

Aldersperson Michalski said the amount of \$3,000 for parking is small, but right now we receive nothing. It is a free lot for the church.

Ms. Olson asked what is needed to move forward. Mr. Labahn said if there are specific changes you would like to the articulation, they can be noted. Otherwise Staff will work with the developer to add articulation.

Ms. Olson asked if there were any concerns from Mangia. Mr. Labahn said Condition 1.m. allows for a Cross Access Easement to they can receive deliveries at the back of the building. Sue Tishuk, 3609 16th Street, from Mangia's said they support the project but want to ensure they can still receive deliveries at the back of building. They would also like to work with Gorman to secure parking for both sites.

Ms. Faraone asked how much money has Gorman secured to date. Mr. Marshall said between funds and letters of intent, \$23 million.

Aldersperson Fox asked when the Lease for parking starts and when will they exercise their rights. Mr. Labahn said they must secure permits by July 1st. Mr. Marshall added they will need a few lots for staging of materials and the worker vehicles, but they will not enforce all of the parking until they open their doors for business.

A motion was made by Aldersperson Michalski and seconded by Mr. Kleba to approve Item 1, the Conditional Use Permit with the following additions: Additional articulation on the south elevation, which may include horizontal banding or signage. Review of the curb cut in the loading area. The motion passed. (Ayes 9, Noes 1) *Ms. Faraone voted no.*

A motion was made by Alderperson Michalski and seconded by Alderperson Prozanski to approve Item 2, the Relief to the off-street parking requirement with the Condition that the applicant submit a schedule to the City detailing the time frame on when each of the three (3) lots will need to be used. The motion passed. (Ayes 9, Noes 1) *Ms. Faraone voted no.*

Mayor Antaramian asked that Items 3 and 4 be taken together for public hearing purposes. Both items were read.

3. Amendment to the Conditional Use Permit for a 3000-seat stadium to be located at 8730 22nd Avenue. (KUSD/Ameche Field) (District 9) PUBLIC HEARING

4. Amendment to the Conditional Use Permit for a 3000-seat stadium to be located at 3700 Washington Road. (KUSD/Bradford Stadium) (District 6) PUBLIC HEARING

Public hearing opened.

Pat Finnemore, 3600 52nd Street, said they would like to use the recently approved materials on the proposed stadium renovation.

Public hearing closed.

A motion was made by Ms. Faraone and seconded by Mr. DeGrace to approve Item 3.

Ms. Spottswood asked if graffiti could be removed from the panels easily. Mr. Finnemore said we have very little graffiti problems because of the numerous cameras on the property, but graffiti is removable.

The motion passed. (Ayes 10, Noes 0)

A motion was made by Ms. Faraone and seconded by Alderperson Michalski to approve Item 4. The motion passed. (Ayes 10, Noes 0)

5. Conditional Use Permit for a 92-bed Community Based Residential Facility to be located at 5024 Green Bay Road. (Kenosha Assisted Living-Bay Ridge Center) (District 16) PUBLIC HEARING

Public hearing opened.

Jim Celano was available for questions.

Public hearing closed.

Mr. Schroeder said this permit would be for three (3) separate buildings. There is an existing basin on the site. The project would be exempt from the Distance and Density Exception.

A motion was made by Ms. Faraone and seconded by Ms. Olson to approve the Conditional Use Permit.

Mayor Antaramian noted to Staff that in the future he would like to see larger boards and a better description of the project materials at the presentation.

Ms. Spottswood asked about the memo from Ian Bagley at Kenosha Water, with information to be submitted. Mr. Schroeder said that is similar to any other Condition that must be met. Ms. Spottswood asked for the time frame of the overall project. Mr. Schroeder referred to the applicant. Kris Aubrey, W245 N4837 Swan Road, Pewaukee, said they will begin with the building at the far west and work according to the response from the community. They plan to finish within a 2 year time frame.

The motion passed. (Ayes 10, Noes 0)

6. Conditional Use Permit for an automobile body shop to be located at 5912 Sheridan Road. (Car Doctor) (District 2) PUBLIC HEARING

Public hearing opened.

Sal Khindri, 730 Sheridan Road, #103, said the Conditional Use Permit was previously approved and extended, but time expired before they could address all of the Conditions.

Public hearing closed.

Aldersperson Michalski asked for assurance that the applicant would complete the body shop. Mr. Khindri said they had underestimated the cost of everything, but now they have the funds. Aldersperson Michalski asked about the air quality from the body shop. Mr. Khindri said they have the air suppression system for the paint booth and will keep the door closed at all times to contain the noise.

Aldersperson Fox asked for verification that all work would be done inside, that the fence would be replaced and the landscaping completed. Mr. Khindri said yes. Aldersperson Fox asked if the doors would be open during operating hours. Mr. Khindri said only for cars to enter and exit.

Ms. Spottswood said so Occupancy can't happen until all Conditions are satisfied? Mr. Schroeder said the body shop is separate from the car sales. We could add a Condition stating: The overhead doors to the body shop and storage garage shall be closed during business hours.

Ms. Faraone asked if there is any outdoor display of products. Mr. Khindri said cars only.

A motion was made by Ms. Faraone and seconded by Mr. Kleba to approve the Conditional Use Permit with the additional Condition that the overhead doors on the body shop and storage area to be closed during business hours. The motion passed. (Ayes 10, Noes 0)

Mayor Antaramian asked that Items 7 and 8 be taken together for public hearing purposes. Both items were read.

7. Conditional Use Permit for a new automobile parts store to be located at 8025 22nd Avenue. (O'Reilly Auto Parts) (District 12) PUBLIC HEARING

8. Request for Relief to the off-street parking requirements of Section 6.01 of the Zoning Ordinance for a new automobile parts store to be located at 8025 22nd Avenue. (O'Reilly Auto Parts) (District 12) PUBLIC HEARING

Public hearing opened.

Justin Petersburg, 1736 E. Sunshine, Springfield, MO, is the architect and noted he didn't feel they would need the fencing as they have decided to go with underground detention.

Public hearing closed.

Mr. Schroeder said the old Panda restaurant will be razed and replaced with the proposed auto parts store. Staff suggests that the Plan Commission consider the requirement of windows in the two (2) northernmost indentations on the east elevation. Staff also recommends additional articulation and landscaping on the south elevation. This is the first that Staff has heard of the underground storage basins. Our question to the applicant will be if that will be additional parking or green space. Mr. Petersburg said it will be green space. Mr. Schroeder said that would be acceptable.

A motion was made by Alderperson Michalski and seconded by Ms. Faraone to approve Item 7, the Conditional Use Permit, with the added Condition. The motion passed. (Ayes 10, Noes 0)

A motion was made by Alderperson Michalski and seconded by Ms. Faraone to approve Item 8, the Request for Relief to the off-street parking requirements. The motion passed. (Ayes 10, Noes 0)

9. Request for Relief to the off-street parking requirements of Section 6.01 of the Zoning Ordinance for a warehouse addition to be located at 2706 63rd Street. (Otto Nelson) (District 3) PUBLIC HEARING

Public hearing open.

Jeff Zastoupil, 2706 63rd Street, was available for questions.

Public hearing closed.

Alderperson Michalski said he had complaints from people on 26th Avenue regarding dust from semis when you are training semi drivers. Mr. Zastoupil said they have a lease with a truck training school and the driving is in a different area. They have never had any complaints. Alderperson Michalski asked Staff to check if they have the correct zoning for a truck school.

A motion was made by Mr. DeGrace and seconded by Ms. Olson to approve the Special Exception. The motion passed. (Ayes 10, Noes 0)

Mayor Antaramian asked that Items 1 and 2 be taken together for public hearing purposes. Both items were read.

10. Ordinance by the Mayor - To Annex 0.795 acres of land, more or less, located North of County Trunk Highway N and West of 128th Avenue from the Town of Paris to the City of Kenosha. (Route 142, LLC/#4) (District 16)

PUBLIC HEARING

11. Resolution by the Mayor - To Amend the Official Map for the City of Kenosha, Wisconsin to include the Annexation of Parcel Numbers #45-4-221-252-0320 and #45-4-221-252-0325 in the Town of Paris, Kenosha County, Wisconsin. (Route 142, LLC/#4) (District 16) PUBLIC HEARING

Public hearing opened.

Virginia Hookstra, 6209 75th Street, asked if these parcels from Paris are part of the debated properties or separate. Mayor Antaramian said no.

Brad Folkert, Route 142, LLC, 12575 Uline Drive, was available for questions.

Public hearing closed.

A motion was made by Ms. Spottswood and seconded by Alderperson Michalski to approve Item 10, the Annexation. The motion passed. (Ayes 10, Noes 0)

A motion was made by Ms. Olson and seconded by Alderperson Prozanski to approve Item 11, the Resolution for the Official Map. The motion passed. (Ayes 10, Noes 0)

12. Resolution By The Mayor - To Amend The Official Map For The City Of Kenosha, Wisconsin, To Remove The Paris Parkway (A Segment Of The Former West Frontage Road For Interstate Highway 94 Between County Trunk Highway N And State Highway 142) As A Designated Street, Pursuant To Section 62.23(6)(C), Wisconsin Statutes. (Paris Parkway) (District 16) PUBLIC HEARING

Public hearing opened, no comments, public hearing closed.

A motion was made by Ms. Faraone and seconded by Ms. Olson. The motion passed. (Ayes 10, Noes 0)

Addendum #1

1. Quit Claim Deed from Route 142, LLC to the City of Kenosha regarding 0.795 acres for 128th Avenue Right-of-Way North of CTH N. (District 16) PUBLIC HEARING

Public hearing opened, no comments, public hearing closed.

A motion was made by Alderperson Michalski and seconded by Mr. DeGrace to approve the Quit Claim Deed. the motion passed. (Ayes 10, Noes 0)

Commissioner's Comments

Ms. Olson gave her resignation, effective immediately. Ms. Olson said she enjoyed serving, but the demands from her job at this time do not allow her to continue.

Mayor Antaramian said that there will be some special meetings in the near future to discuss what we would like to see with the City, including specific standards we would like to implement.

The meeting adjourned at 7:04pm.

Meeting Minutes Prepared by: Kay Schueffner, Community Development & Inspections

Draft



CITY PLAN COMMISSION
Staff Report - Item 1

Thursday, June 9, 2016 at 5:00 pm
Municipal Building
625 52nd Street - Room 202 - Kenosha, WI 53140

**Conditional Use Permit for a new grocery store to be located at 3524 57th Avenue. (Aldi's) (District 5)
PUBLIC HEARING**

NOTIFICATIONS AND APPROVAL REQUIREMENTS:

Alderson LaMacchia, District 5, has been notified. The City Plan Commission is the final review authority.

LOCATION AND ANALYSIS:

Site: 3524 57th Avenue
Zoned: B-2 Community Business District / AIR-4 Airport Overlay District

1. Aldi's is proposing to construct a new 19,787 s.f. grocery store to be located on a platted lot in the Kenosha Pointe development at the northeast corner of Washington Road and Green Bay Road. The development is considered a Unified Business District.
2. The proposed exterior building materials are stone, brick and cement board siding. A criteria of the Unified Business District is that materials and colors match from building to building. The proposed building is primarily a red brick building, with brown brick accents. Staff would like the red brick color to be examined for a different product sample that would more closely match the existing buildings. The colors and materials of the tower elements at the corners are unique to Aldi's. The colors of these corner elements are acceptable to Staff.
3. Aldi's has worked extensively with Staff to meet and exceed the minimum design standards with the building elevations. Staff recommends approval of the attached building elevations.
4. The parking lot will connect via a vehicular cross access to the multi-tenant building to the south. The drives within the Unified Business District are private drives.
5. The plans were sent to City Departments for their review. Their comments are included in the attached Conditions of Approval.
6. The plans generally comply with Sections 4 and 14 of the Zoning Ordinance.

RECOMMENDATION:

A recommendation is made to approve the Conditional Use Permit, subject to the attached Conditions of Approval.

Brian Wilke, Development Coordinator

Jeffrey B. Labarr, Director

1. The following Conditions of Approval will run with the land and shall be included in a document recorded with the Kenosha County Register of Deeds:
 - a. The applicant shall obtain all required construction permits from the Department of Community Development & Inspections. This includes, but is not limited to Erosion Control, Building, Plumbing, Electrical and Occupancy permits.
 - b. The applicant shall obtain Stormwater and Parking Lot permits from the Department of Public Works.
 - c. All signs shall comply with Chapter 15 of the Code of General Ordinances and the applicant shall obtain sign permits for all new signs. A separate submission and permits are required for all signs. The site is permitted one (1) monument sign. Sign information provided under the Conditional Use Permit is for reference only and does not constitute sign permit approval.
 - d. The development shall be constructed per the approved plans on file with the Department of Community Development & Inspections, Room 308, 625 52nd Street, Kenosha, WI 53140. Any changes to the approved plans shall require an amendment to the Conditional Use Permit. All changes shall be submitted to the Department of Community Development & Inspections for review and approval.
 - e. Prior to the issuance of any Occupancy permits, all parking areas, drives and designated paved areas shall have the initial lift of asphalt installed. The building exterior shall be completed per the approved plans, the exterior lighting shall be installed and the Conditional Use Permit shall be recorded with the Kenosha County Register of Deeds. All improvements indicated on the plans, including landscaping, shall be installed prior to the issuance of a final Occupancy permit. The recording fees for the Conditional Use Permit shall be submitted by the applicant.
 - f. Compliance with City and State and/or Federal Codes and Ordinances. The buildings shall comply with the current Code standards in effect upon application for a building permit.
 - g. All roof top mechanicals shall be properly screened per Section 14.07 B.10 of the Zoning Ordinance.
 - h. All trash containers shall be stored within the enclosure or building. The applicant/owner shall be responsible for waste collection and removal for the development. The City of Kenosha shall not provide waste collection or removal services or incur any cost in this regard.
 - i. The applicant shall meet all applicable Conditions of Approval and obtain a building permit within twelve (12) months of City Plan Commission approval of the Conditional Use Permit or the Conditional Use Permit shall be null and void.
 - j. Outdoor display of products is prohibited.
 - k. All vehicles shall be parked within designated paved areas.
 - l. All improvements, including landscaping, shall be maintained per the approved plans. Any damaged fencing, landscaping or building shall be replaced or reconstructed per the approved plans.

- m. Cross access shall be provided to adjacent parcels, if required, at a future date by the City.
 - n. Prior to final Occupancy of the building, the applicant shall provide an electronic copy of the following information to the Fire Prevention Bureau:
 - i. Site Plan as-built
 - ii. Floor Plan as-built
 - iii. Site Utilities
 - iv. Sprinkler Plans
 - v. Fire Alarm Plans
 - o. Compliance with the Operational Plan dated May 7, 2016.
 - p. The Assessor's Office will require actual costs on the project to be submitted prior to issuance of a Final Occupancy Permit. The costs supplied must include: all improvement costs to the raw land (retention, site elevation work, site ingress/egress work, etc.), all materials and labor associated with construction of the building, all materials and labor associated with site improvements (asphalt /concrete work, site lighting, site landscaping, etc.), and all developers profit.
2. The following Conditions of Approval shall be satisfied with City Staff prior to the issuance of any construction permits:
- a. The Drainage Plan shall be revised and resubmitted for review and approval addressing comments listed in the Public Works memo dated June 3, 2016.
 - b. The Utility Plan shall be revised and resubmitted for review and approval addressing the comments listed in the Kenosha Water Utility memo dated May 26, 2016.
 - c. A remote Fire Department Connection is required per Ordinance.
 - d. A sidewalk shall be shown on the plan connecting the sidewalk at the northeast corner of the building to the private sidewalk on 57th Avenue.
 - e. If the dumpster is proposed to be stored in the truck dock area, the rail or top of the east retaining wall must be amended to show a site-obscuring fence to the screen the dumpster.
 - f. The exterior dimension of the pilasters shall be amended on the Floor Plan to match the elevations.
 - g. A sidewalk shall be shown on the public right-of-way on Green Bay Road with the following note:
"Proposed public sidewalk per City of Kenosha standards. Property owner shall be required to construct sidewalk when Green Bay Road is improved to an urban-type section. The sidewalk shall be constructed at the time of installation of the new pavement and curb and gutter. Final civil details to be coordinated with the City and adjacent developments prior to construction."



**THE CITY OF
KENOSHA**
PUBLIC WORKS
ENGINEERING

TO: Brian Wilke, Development Coordinator

FROM: Shelly Billingsley, M.B.A., P.E.
Director of Public Works

Shelly Billingsley
6-3-16

DATE: June 3, 2016
SUBJECT: PLAN REVIEW COMMENTS #1
Project Description: Aldi's (35th Street)
Location: Southeast Corner of 35th Street & Green Bay Road

Our staff has reviewed the plans for this project. The following comments are provided:

Parking Lot Ordinance Compliance	Sufficient	Deficient	Not Applicable
Parking Lot Paved	X		
Standard Stall Width	X		
Parking Lot Layout		X	
Parking Lot Lighting Shown	X		
Parking Lot Lighting Adequate	X		
Handicapped Parking		X	
Driveway Locations		X	
Driveway Width	X		
Passing Blister or Accel/Decel Lanes			X
Sidewalks Adequate	X		
Drive Thru Lane Design			X

Public Streets	Sufficient	Deficient	Not Applicable
Geometric Design			X
Pavement Width			X
Pavement Thickness Design			X
Established Grades			X
Plan Details			X
Sidewalks			X
Street Lights			X

Site Grading/Drainage	Sufficient	Deficient	Not Applicable
Drainage Plan		X	
Storm Sewer		X	
Storm Water Detention		X	
Drainage Calculations		X	

Project Approval/Permits Needed	Yes	No	Not Applicable
Project Approved for Permitting		X	
Withhold Permits: See Comments	X		
Approve Footing/ Foundation Only (per condition)		X	
Parking Lot Permit Required	X		
Driveway Permits Required		X	
Sidewalk Permit Required		X	
Street Opening Permit Required		X	
Stormwater Permit Required	X		
Erosion Control Required	X		

General Comments:

1. Plans must be stamped and signed by a Professional Engineer licensed in the state of Wisconsin for approval to permit.

Grading & Drainage Comments:

1. Define a swale line with proposed elevations on the south side of proposed building to assure drainage away from building.
2. Please provide local storm sewer calculations for the new storm sewer being placed in the parking lot.
3. Please clarify what STM MH #7 is – open grate for drainage only? Is this a catch basin? Provide means of separating oil from stormwater.
4. Since the development will disturb over 1 acre, a construction site WPDES permit must be obtained through the WDNR prior to the start of construction.

Traffic Comments:

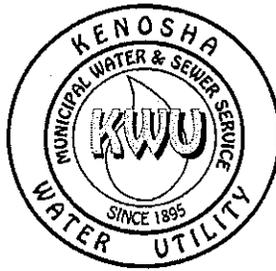
1. Provide a copy of the cross access easement with the property to the south. At least one (1) vehicle and pedestrian access point to adjoining site shall be granted cross easement, per Zoning Ordinance H. (1) found on XIV-9.
2. The north driveway is too close to the intersection particularly given the large intersection radius that allows high speed turning maneuvers through the intersection. PC of driveway must be a minimum 40 feet from PC of curve coming south off of 35th St per WisDOT FDM 11-25. Provide a vision corridor around curve.
3. Parking adjacent to the front of buildings shall maintain a seven (7') foot separation from the building to accommodate pedestrian circulation and have some type of wheel stop or curbing to keep vehicles from parking on pedestrian walkway. City Zoning Ordinance 14.07 C. Site Plan, 15. (a. and b.) located on page XIV-9, pertains to this issue and should be referenced for further clarification.

4. Standard Detail Sheet C-4 is missing ADA stall and sign details. Van accessible ADA parking stall to be 11-foot-wide and center aisle to be 5-foot-wide in an effort to help avoid confusion within the user group that has tendencies of parking in the 8-foot-wide aisle, blocking the legally parked van in the stall.
5. Provide clarification on intent of short angles "stalls" closest to building.

cc: **Cathy Austin; Greg Holverson; Kile Kuhlmeier; Ryan Spackman; Kevin Risch (Clark-Dietz)**

Engineering Services

4401 Green Bay Road
Kenosha, WI 53144
Phone (262) 653-4315
Fax (262) 653-4303



"Providing and Protecting Kenosha's Greatest Natural Resource. . .Water"

MEMO

To: Brian Wilke, Development Coordinator

From: Ian C. Bagley, P.E., Water Engineer

Date: May 26, 2016

Subject: Aldi's

Location: Southeast Corner of 35th Street and Green Bay Road

The Kenosha Water Utility (KWU) has reviewed the submittal for the above referenced project. Further information from the Developer is required before the Utility can complete this review. Please withhold all permits until the following information is submitted.

1. The plans must show the water meter size and location, including a detail or diagram, on the construction plans, not with the MEP submittal. The water meter shall have unobstructed access, twelve inches (12") from the inside wall, twelve to twenty-four inches (12"-24") above the floor. The meter shall have a valve, preferably ball type, on the inlet and outlet pipe. All water meters one and one half inches (1-1/2") or greater shall have a bypass with a two way ball valve with locking handle as manufactured by RuB, or approved equal.
2. Meters three inches (3") and larger shall have a two inch (2") test plug provided between the outlet side of the meter and the outlet valve.
3. A 3C18 gauge cable by Belden-M, or approved equal, shall be installed in a one half inch (1/2") conduit through the exterior wall for the remote meter reader. Remote reader to be field located by KWU meter division.
4. Water services larger than two inches (2") shall be flushed and bacteria tested in accordance with KWU Chapter XXXII Rules & Regulations, Rule 06-35.
5. The pressure test on the water service shall only be conducted after the bacteriological sampling is complete and certified safe by KWU.
6. Water services shall have a blue 12 gauge locator wire installed along the entire length. Locator wire shall be brought to the surface in the curb box, at the hydrant, and at the edge of the building and enclosed in a locator box with "water" on the cover.
7. Based on the nozzle elevation of 720.75 and the top of the curb elevation of 719.53, there is not the minimum required distance of eighteen inches (18") between the adjacent grade and the center of the nozzle.



THE CITY OF
KENOSHA
SMART & BETTER COURSE

8. Sanitary sewer laterals shall have a green 12 gauge locator wire installed along the entire length. Locator wire shall be brought to the surface at the edge of the building and enclosed in a locator box with "sewer" on the cover.
 9. Please note that the private sanitary manhole shown on Sheet C-3 will function as the sampling manhole for this development. KWU must be provided written authorization from the property owner to access the manhole for sampling purposes.
 10. "Internal / External" manhole seals as manufactured by Adaptor, Inc. shall be provided for each private sanitary sewer manhole installed. A detail for the seal can be found at <http://www.adaptorinc.com/pdf/inexspec.pdf>.
 11. A sewer connection fee based on water meter size shall apply to this development.
 12. Connection to the existing water service and sanitary lateral stubs shall be inspected by KWU personnel. A minimum 48 hour notice shall be provided to KWU to accommodate inspection request.
 13. A portion of the parking lot as well as extensive landscaping and light poles are shown within the twenty foot (20') water main easement. Please note that the existing easement agreement states the following:
 - "...no structure, paving or landscaping (other than grass) shall be erected or placed over or upon Real Estate without the advance, written approval of the General Manager of Water Utility, and then subject to reasonable conditions, such as, but not limited to, replacement or removal of authorized improvements at the cost of Grantor, when required by Grantee.
- Based on the above, any asphalt pavement, landscaping (other than grass), or light poles are subject to removal by KWU in order to access our facilities without replacement. Placing these items within the easement is at the risk of the developer.
14. All plantings within the easement shall be at least five feet (5') from all utilities.
 15. There are light poles shown which appear to be directly on top of the existing water main. The outside of the light pole base shall be a minimum of five feet (5') from the outside edge of the water main.

The following items were noted during the course of the review process and are provided as a courtesy to the designer, but are not required for approval:

1. Based on the invert elevations on Sheet C-3, the slope of the sanitary sewer between the building and the private manhole should be 4.53%, not 3.50% as the plans show.
2. There appears to be a direct conflict between the bottom of the storm sewer and the top of the water main approximately thirty feet (30') north of HYD #1. This is based on the requirement for a six foot (6') minimum bury for the water main. Having actual slopes on the plans would make this much clearer.
3. Based on KWU records, the existing sanitary stub is six inches (6") in diameter and not eight inches (8") as the plans currently show. Also, the original design for this stub showed it extending thirty five feet (35') west from the main into the site with a design elevation of 709.02 at the stub.

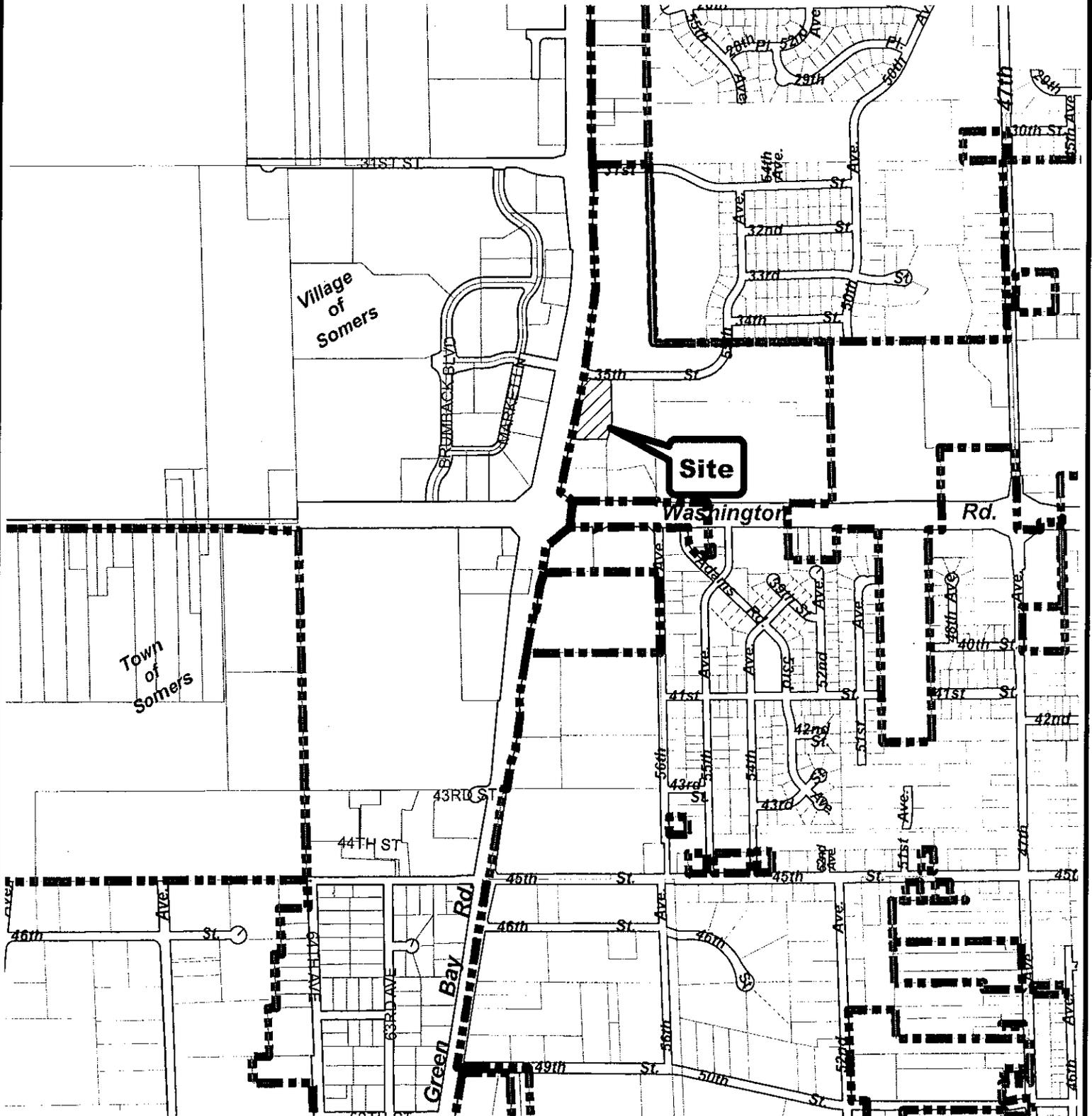
Feel free to contact me with any questions or concerns.

CC: Edward St. Peter, General Manager
Curt Czamecki, P.E., Director of Engineering Services



City of Kenosha

General Location Map Aldi Conditional Use Permit



----- Municipal Boundary



0 1,000 Feet

ALDI INC
at southeast corner of Greenbay Road and 35th St.
City of Kenosha, Kenosha County, Wisconsin
Storm Water Maintenance Plan / Storm Water Pollution Prevention Plan

The ALDI Site is a portion of "Parcel 2" as defined in the Storm Water Detention Pond Use and Maintenance Declaration made August 4, 2004 by Regal Apartment Homes, LLC and recorded on August 6, 2004 as document number 1399618 with Kenosha County Recorder (the "Agreement"). Pursuant to the Agreement, Parcel 2, along with the Regal Parcels, all share a common storm water management system, including a storm water detention pond located on Parcel 1 (as defined in the Agreement). This storm water system was previously installed when surrounding properties within Parcels 1,2,3 and 4 (as defined in the Agreement) were developed. The storm water system was installed in accordance with City of Kenosha approval and the ALDI Site is utilizing this system in accordance with the rights and obligations granted under the Agreement."

As part of this approved Regional Storm water facility, on site Storm water needs will be limited to a local conveyance system that will join with the regional conveyance system.

The Storm water conveyance system requires routine maintenance to keep it functioning correctly. The following details the schedule and type of work to be performed in order to maintain the proper functioning of the storm sewer. ALDI will be responsible for the maintenance as follows.

Long Term Maintenance

The detention facility's outlet pipe and water quality and quantity pipes shall be inspected a minimum of twice annually and after each rainfall event of 0.5" or greater.

Storm inlets, manholes and/or catch basins shall be inspected at a minimum of twice annually. Litter, debris, sediments, and blockages shall be removed if they are found to be present. The property owner shall create a log of all maintenance activities, including the date and type of maintenance performed. The owner shall retain inspection and maintenance records onsite for 5 years and provide the city with the records upon request.

Good Housekeeping

Semiannual (and after rainfall events of 0.5" or greater) site inspections for trash and debris shall be conducted.

Maintenance Reports

The owner shall keep a log of all maintenance activities, including the date and type of maintenance performed. The following page contains an example log that the owner may use.

Property Owner Date



APPLICATION FOR DEVELOPMENT REVIEW
Forms #CDI301 thru #CDI310 (rev. 1/16)

MAILING INFORMATION

NAME OF PROJECT: ALDI Kenosha, WI

Check either the Applicant or Architect/Engineer box to indicate the recipient of all correspondence. The property owner will be copied on all correspondence.



Name and Address of Applicant [Please print]:
ALDI Inc.
9342 S. 13th Street
Oak Creek, WI 53154

Phone: 414-570-1860 x 122
 Fax: 414-570-1864
 E-Mail: Tom.Howald@aldi.us



Name and Address of Architect/Engineer [Please print]:
Key Engineering Group Ltd. (Mark Seidl)
735 N. Water Street, Suite 510
Milwaukee, Wisconsin 53202

Phone: 414-224-8300
 Fax: 414-224-8383
 E-Mail: mseidl@keyengineering.com

Name and Address of Property Owner (if other than applicant)[Please print]:
Gendell Partners Kenosha LLC
3201 Old Glenview Rd., Suite 300
Wilmette, IL 60091

Phone: _____
 Fax: _____
 E-Mail: _____

PROJECT LOCATION

Location of Development (street address and / or parcel number): Gretn Bay Road & 35th Street Kenosha, WI
 Tax Key: 08-222-27-101-022

TYPE OF LAND DEVELOPMENT

Check all that apply. Note: Additional information may be required within individual Sections.

<input type="checkbox"/>	Certified Survey Map #CDI301	Section 1	Page 3
<input type="checkbox"/>	Concept Review (Land Division) #CDI302	Section 2	Page 4
<input type="checkbox"/>	Concept Review (Multi-Family Residential or Non-Residential) #CDI303	Section 3	Page 5
<input checked="" type="checkbox"/>	Conditional Use Permit #CDI304	Section 4	Pages 6 & 7
<input type="checkbox"/>	Developer's Agreement #CDI305	Section 5	Page 8
<input type="checkbox"/>	Final Plat #CDI306	Section 6	Pages 9 & 10
<input type="checkbox"/>	Lot Line Adjustment Survey #CDI307	Section 7	Page 11
<input type="checkbox"/>	Preliminary Plat #CDI308	Section 8	Pages 12 & 13
<input type="checkbox"/>	Rezoning #CDI309	Section 9	Pages 14 & 15
<input type="checkbox"/>	Site Plan Review #CDI310	Section 10	Pages 16 & 17

Prior to submitting this Application to the Department of Community Development and Inspections, please review the appropriate sections for fees, requirements and appropriate appendices. Submit this cover page, completed application, applicable section(s) and appendices along with ALL required plans, information and fees to the address listed below.

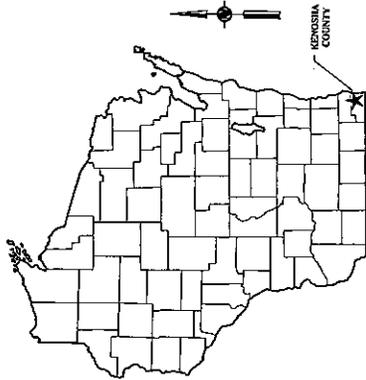


APPLICATION FOR CONDITIONAL USE PERMIT
Form #CDI304 (rev. 1/16)

<i>SECTION 4</i> CONDITIONAL USE PERMIT				
Additional Information Required:	Building or Addition Square Footage: <u>19,787</u> Existing Building Size: _____ Site Size: <u>110,834 sq ft (2.54 AC)</u> Current # of Employees _____ Anticipated # of New Employees <u>12</u> Anticipated Value of Improvements <u>\$2 Million</u>			
Submittal Requirements:	<ul style="list-style-type: none"> ➤ Ten (10) full size scaled copies of Specified Plans indicated below drawn at a standard engineering scale ➤ Developer Site Plan/Conditional Use Permit Checklist (Appendix A) 			
If Item to be Reviewed by Plan Commission/Common Council must Submit:	<ul style="list-style-type: none"> ➤ One (1) 8 1/2" x 11" reduction <i>or</i> one (1) 11" x 17" reduction of the Site/Landscape Plan, Floor Plan and Colored Building Elevations (all sides) ➤ Sample Board containing colored samples of all exterior building materials 			
Fees:	Level 1	<u>Building or Addition Size</u> ≤ 10,000 sq. ft.	<u>Site size</u> ≤ 1 acre	<u>Review Fee</u> \$900 = City Plan Dept. <i>or</i> \$1,025 = CPC/CC
	Level 2	10,001 - 50,000 sq. ft.	1.01 - 10 acres	\$1,175 = City Plan Dept. <i>or</i> \$1,300 = CPC/CC
	Level 3	50,001 - 100,000 sq. ft.	10.01 - 25 acres	\$1,600 = City Plan Dept. <i>or</i> \$1,725 = CPC/CC
	Level 4	> 100,001 sq. ft.	> 25.01 acres	\$2,000 = City Plan Dept. <i>or</i> \$2,125 = CPC/CC
	<ul style="list-style-type: none"> ➤ If building size or addition and gross acreage of the site determine two (2) different fees, the greater of the two fees will be assessed. ➤ Application fee entitles applicant to an initial review and one re-submittal. ➤ Re-submittal fee = \$425 per re-submittal after two (2) permitted reviews. ➤ CUP Amendment = 50% of the applicable fee as determined above. 			
Appendices to Review:	<ul style="list-style-type: none"> ➤ All 			
Approximate Review Time:	<ul style="list-style-type: none"> ➤ 30 days for Staff Review ➤ 45-60 days for City Plan Commission/Common Council Review 			
The conditional use permit plans, <i>prepared to a standard engineering scale</i> , shall be submitted with this application & shall include the following information:				
Building Plan:	<ul style="list-style-type: none"> ➤ Layout of building(s) including size and layout of rooms ➤ Design and architecture ➤ Plans and details on fire suppression and/or standpipe ➤ Plans and details on fire detection, fire alarm and other safety devices 			
Site Plan (based on a plat of survey)	<ul style="list-style-type: none"> ➤ Legal description of property ➤ Location and footprint of building(s) and structure(s) ➤ Locations of existing and proposed streets, drives, alleys, easements, rights-of-way, parking as required, vehicular and pedestrian access points, and sidewalks ➤ Outline of any development stages ➤ Location and details on any required emergency access roads ➤ A calculation of square footage devoted to building, paving and sidewalks, and landscaped/open space 			

PROPOSED ALDI GREEN BAY ROAD & 35TH ST.

for
ALDI INC.
KENOSHA, Wisconsin



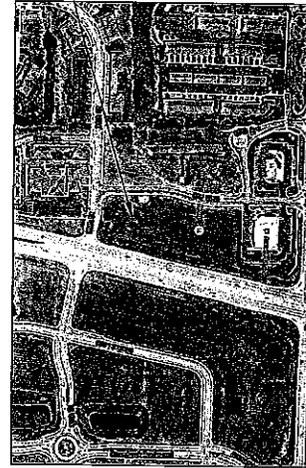
SITE LOCATION

SHEET NO.
C1
C2
C3
C4

TITLE
SITE PLAN
PAVING AND EROSION CONTROL PLAN
PAVING AND CURB PLAN
STANDARD DETAILS

REVISIONS

DATE	DESCRIPTION



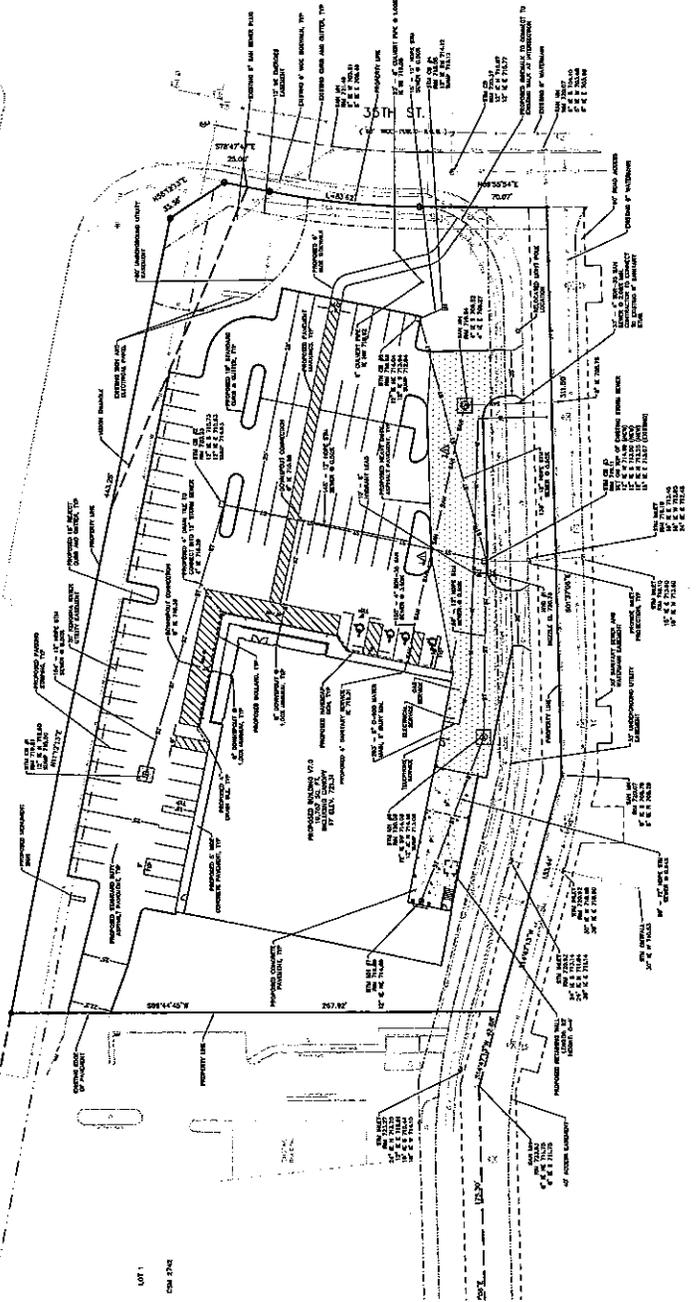
VICINITY MAP
NOT TO SCALE



- NOTES:
- 1) ALL EXISTING UTILITIES SHALL BE PLACED UNDER TO ACT AND BE PROTECTED BY THE CONTRACTOR. ALL UTILITIES SHALL BE REPAIRED AND MAINTAINED PER MINIMUM TECHNICAL STANDARDS. UNDESIRABLE EXISTING UTILITIES SHALL BE REMOVED AND REPAIRED PER CITY OF KENOSHA STANDARDS.
 - 2) ALL UTILITIES SHALL BE PROTECTED BY THE CONTRACTOR. ALL UTILITIES SHALL BE REPAIRED AND MAINTAINED PER MINIMUM TECHNICAL STANDARDS. UNDESIRABLE EXISTING UTILITIES SHALL BE REMOVED AND REPAIRED PER CITY OF KENOSHA STANDARDS.
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 - 4) ALL UTILITIES SHALL BE PROTECTED BY THE CONTRACTOR. ALL UTILITIES SHALL BE REPAIRED AND MAINTAINED PER MINIMUM TECHNICAL STANDARDS. UNDESIRABLE EXISTING UTILITIES SHALL BE REMOVED AND REPAIRED PER CITY OF KENOSHA STANDARDS.
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 - 7) ALL UTILITIES SHALL BE PROTECTED BY THE CONTRACTOR. ALL UTILITIES SHALL BE REPAIRED AND MAINTAINED PER MINIMUM TECHNICAL STANDARDS. UNDESIRABLE EXISTING UTILITIES SHALL BE REMOVED AND REPAIRED PER CITY OF KENOSHA STANDARDS.
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 - 10) ALL UTILITIES SHALL BE PROTECTED BY THE CONTRACTOR. ALL UTILITIES SHALL BE REPAIRED AND MAINTAINED PER MINIMUM TECHNICAL STANDARDS. UNDESIRABLE EXISTING UTILITIES SHALL BE REMOVED AND REPAIRED PER CITY OF KENOSHA STANDARDS.

UTILITY CROSSING	NAME	APPROXIMATE DEPTH	APPROXIMATE WIDTH	APPROXIMATE DISTANCE
1	1" WATER	12.000	12.000	12.000
2	1" WATER	12.000	12.000	12.000
3	1" WATER	12.000	12.000	12.000
4	1" WATER	12.000	12.000	12.000
5	1" WATER	12.000	12.000	12.000
6	1" WATER	12.000	12.000	12.000
7	1" WATER	12.000	12.000	12.000
8	1" WATER	12.000	12.000	12.000
9	1" WATER	12.000	12.000	12.000
10	1" WATER	12.000	12.000	12.000

GREEN BAY RD. S.T.H. 31"
(Paving Rate: 1000 YDS)



- LEGEND:
- 1. EXISTING UTILITY
 - 2. EXISTING UTILITY
 - 3. EXISTING UTILITY
 - 4. EXISTING UTILITY
 - 5. EXISTING UTILITY
 - 6. EXISTING UTILITY
 - 7. EXISTING UTILITY
 - 8. EXISTING UTILITY
 - 9. EXISTING UTILITY
 - 10. EXISTING UTILITY



SCALE IN FEET
0 30'

PROJECT NUMBER 280702Z		DATE 5/9/16	
SHEET NUMBER C-3		DATE 5/9/16	
PAVING AND UTILITY PLAN ALDI INC. GREEN BAY RD. & 35TH ST. KENOSHA, WI			
DESIGNED BY M.T.S.	DATE 5/9/16	APPROVED BY J.M.	DATE 5/9/16
DRAWN BY M.T.S.	DATE 5/9/16	CHECKED BY J.M.	DATE 5/9/16
PROJECT NUMBER 280702Z	DATE 5/9/16	PROJECT NUMBER 280702Z	DATE 5/9/16

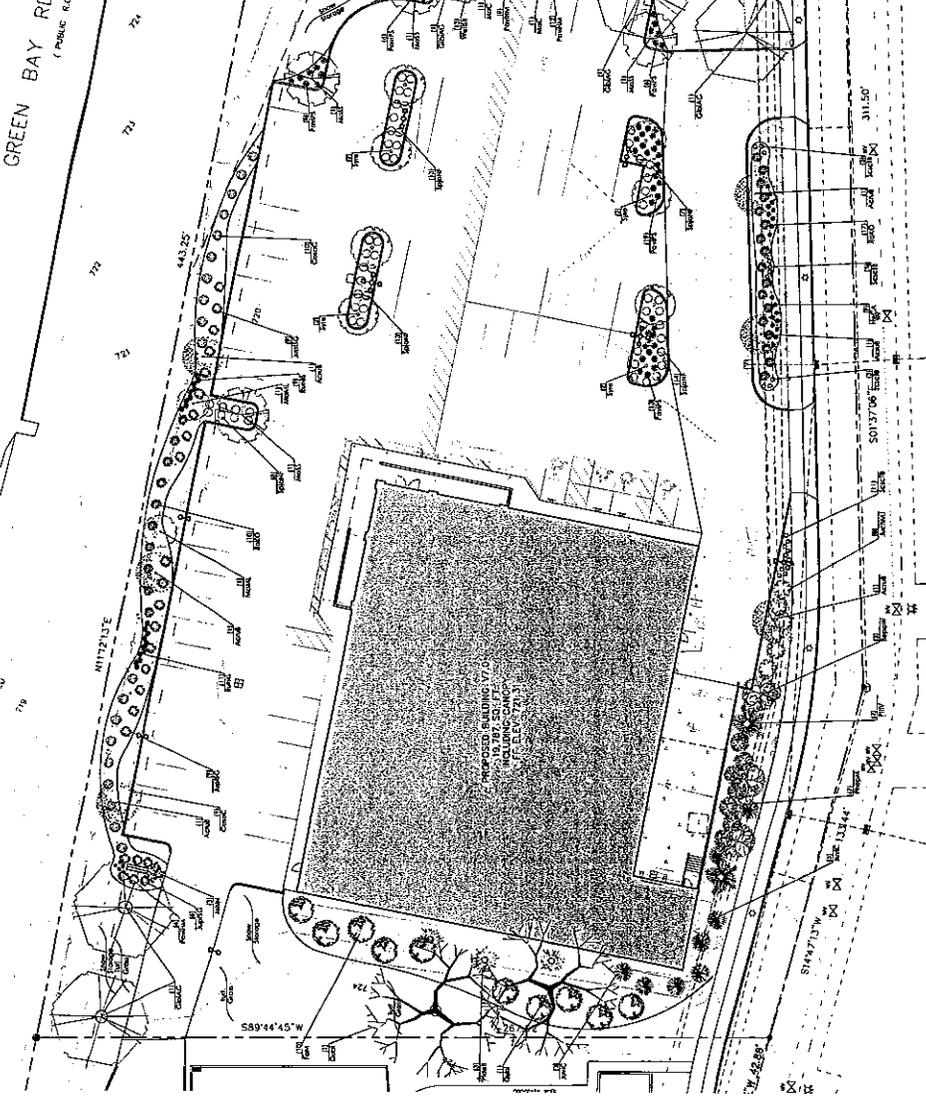
PROPOSED LANDSCAPE PLAN

DATE: 05/09/16
SCALE: 1" = 20' 0"

PROJECT: ALDI Food Store
ADDRESS: Green Bay Rd. & 35th St.
CITY: Kenosha, WI 53144

GENERAL NOTES

1. ALL PLANTING SHALL BE INSTALLED AND MAINTAINED AT THE CONTRACTOR'S EXPENSE.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF KENOSHA AND THE WISCONSIN DEPARTMENT OF TRANSPORTATION (DOT).
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
4. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF KENOSHA LANDSCAPE DESIGN STANDARDS.
5. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES.
6. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF KENOSHA LANDSCAPE DESIGN STANDARDS.
7. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
8. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF KENOSHA LANDSCAPE DESIGN STANDARDS.
9. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES.
10. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF KENOSHA LANDSCAPE DESIGN STANDARDS.



PROPOSED LANDSCAPE PLAN

Proposed Plant Schedule Table

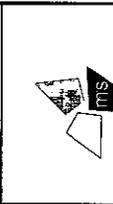
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
1	ARJ3	⊙	Artemisia tridentata	Artemisia	1 1/2' Cal - 1 1/2'	Common
2	ARJ4	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
3	ARJ5	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
4	ARJ6	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
5	ARJ7	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
6	ARJ8	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
7	ARJ9	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
8	ARJ10	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
9	ARJ11	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
10	ARJ12	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
11	ARJ13	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
12	ARJ14	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
13	ARJ15	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
14	ARJ16	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
15	ARJ17	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
16	ARJ18	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
17	ARJ19	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
18	ARJ20	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
19	ARJ21	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
20	ARJ22	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
21	ARJ23	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
22	ARJ24	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
23	ARJ25	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
24	ARJ26	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
25	ARJ27	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
26	ARJ28	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
27	ARJ29	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
28	ARJ30	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
29	ARJ31	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
30	ARJ32	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
31	ARJ33	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
32	ARJ34	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
33	ARJ35	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
34	ARJ36	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
35	ARJ37	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
36	ARJ38	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
37	ARJ39	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
38	ARJ40	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
39	ARJ41	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
40	ARJ42	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
41	ARJ43	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
42	ARJ44	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
43	ARJ45	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
44	ARJ46	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
45	ARJ47	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
46	ARJ48	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
47	ARJ49	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
48	ARJ50	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
49	ARJ51	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
50	ARJ52	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
51	ARJ53	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
52	ARJ54	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
53	ARJ55	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
54	ARJ56	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
55	ARJ57	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
56	ARJ58	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
57	ARJ59	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
58	ARJ60	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
59	ARJ61	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
60	ARJ62	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
61	ARJ63	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
62	ARJ64	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
63	ARJ65	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
64	ARJ66	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
65	ARJ67	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
66	ARJ68	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
67	ARJ69	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
68	ARJ70	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
69	ARJ71	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
70	ARJ72	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
71	ARJ73	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
72	ARJ74	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
73	ARJ75	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
74	ARJ76	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
75	ARJ77	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
76	ARJ78	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
77	ARJ79	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
78	ARJ80	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
79	ARJ81	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
80	ARJ82	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
81	ARJ83	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
82	ARJ84	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
83	ARJ85	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
84	ARJ86	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
85	ARJ87	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
86	ARJ88	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
87	ARJ89	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
88	ARJ90	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
89	ARJ91	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
90	ARJ92	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
91	ARJ93	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
92	ARJ94	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
93	ARJ95	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
94	ARJ96	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
95	ARJ97	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
96	ARJ98	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
97	ARJ99	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
98	ARJ100	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
99	ARJ101	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
100	ARJ102	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common

Proposed Plant Schedule Table

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
1	ARJ103	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
2	ARJ104	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
3	ARJ105	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
4	ARJ106	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
5	ARJ107	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
6	ARJ108	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
7	ARJ109	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
8	ARJ110	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
9	ARJ111	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
10	ARJ112	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
11	ARJ113	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
12	ARJ114	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
13	ARJ115	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
14	ARJ116	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
15	ARJ117	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
16	ARJ118	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
17	ARJ119	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
18	ARJ120	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
19	ARJ121	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
20	ARJ122	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
21	ARJ123	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
22	ARJ124	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
23	ARJ125	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
24	ARJ126	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
25	ARJ127	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
26	ARJ128	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
27	ARJ129	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
28	ARJ130	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
29	ARJ131	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
30	ARJ132	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
31	ARJ133	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
32	ARJ134	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
33	ARJ135	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
34	ARJ136	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
35	ARJ137	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
36	ARJ138	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
37	ARJ139	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
38	ARJ140	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
39	ARJ141	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
40	ARJ142	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
41	ARJ143	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
42	ARJ144	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
43	ARJ145	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
44	ARJ146	⊙	Artemisia tridentata	Artemisia	2' - 2' 1/2'	Common
45	ARJ147	⊙	Artemisia tridentata	Artemisia	2	

DATE:	06/07/16
REVISION:	
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CONSULTANTS
 ms consultants, inc.
 2221 Shiloh Road
 Columbus, Ohio 43228-1647
 Tel: 614.888.7370



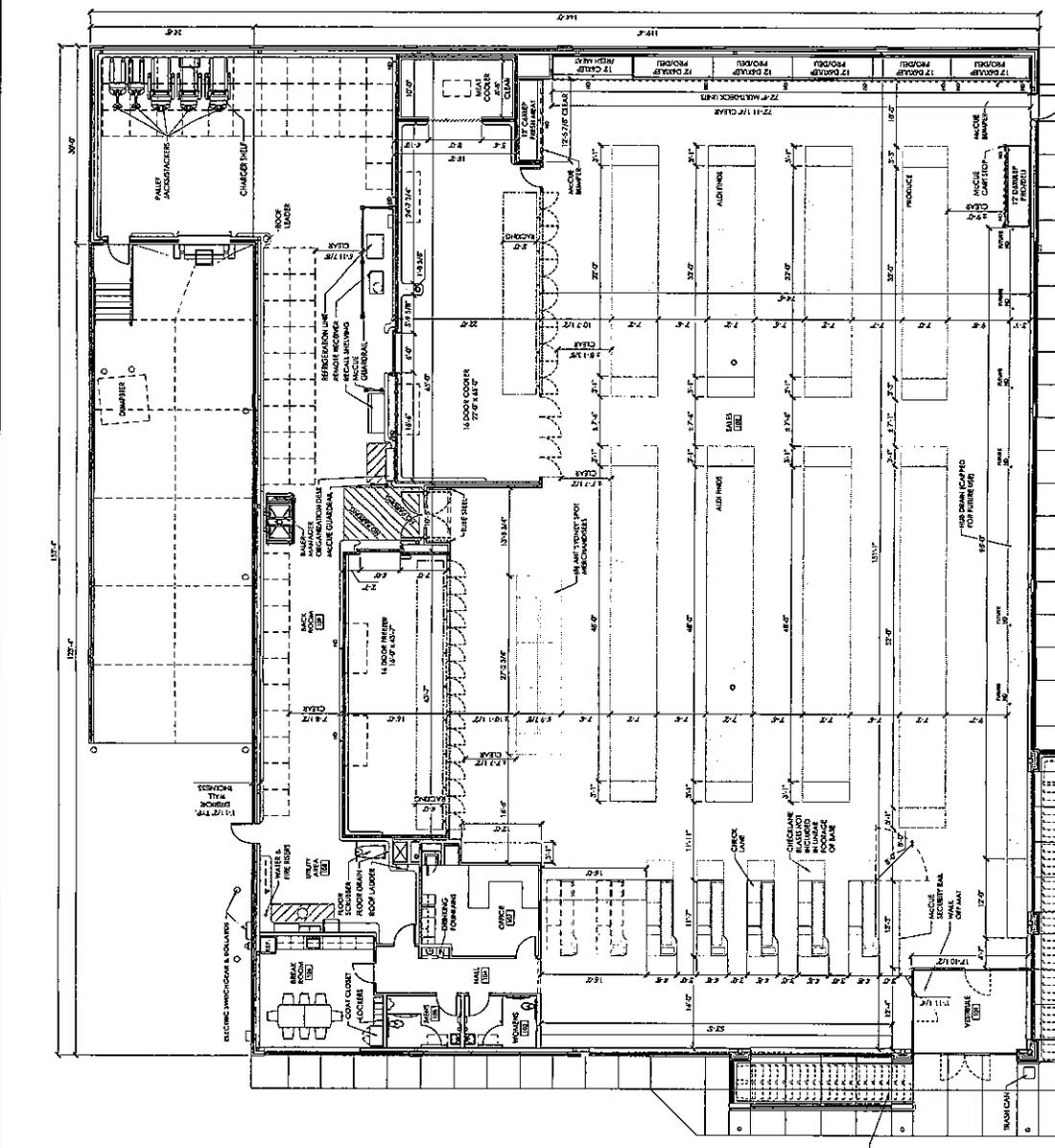
ms consultants, inc.
 2221 Shiloh Road
 Columbus, Ohio 43228-1647
 Tel: 614.888.7370

DESIGNED BY: JBR
 REVIEWED BY: ACC
 SEAL



ALDI Inc. Store #: TBD
 Kenosha, WI
 Green Bay Rd. & 35th St.
 Kenosha, WI 53144
 Kenosha County
 Project Name & Location:
Operations Plan

Drawing Name:
 Prototype Ref: 07/26/16
 Project No: 40321-14
 Type: LHD-V7
 Scale: As Noted
 Drawing No: A-131



AREA	AREA NAME	AREA NO.	AREA TYPE	AREA DIMENSIONS	AREA AREA
1	MEAT	101	MEAT	10'0" x 10'0"	100
2	BAKERY	102	BAKERY	10'0" x 10'0"	100
3	CANDY	103	CANDY	10'0" x 10'0"	100
4	ICE CREAM	104	ICE CREAM	10'0" x 10'0"	100
5	FROZEN	105	FROZEN	10'0" x 10'0"	100
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9	PRODUCE	109	PRODUCE	10'0" x 10'0"	100
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Issue:	Date:
A Concept No. 1	6/30/16
B	
C	
D	

Revisions:	Date:
1	
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DO NOT SCALE EXAMS

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ms consultants, inc.
engineers, architects, planners
2221 Suncoast Road
Kenosha, WI 53144
phone 914.888.7300
fax 914.888.7570

DRAWN BY: JB

REVIEWED BY: ACC

Scale

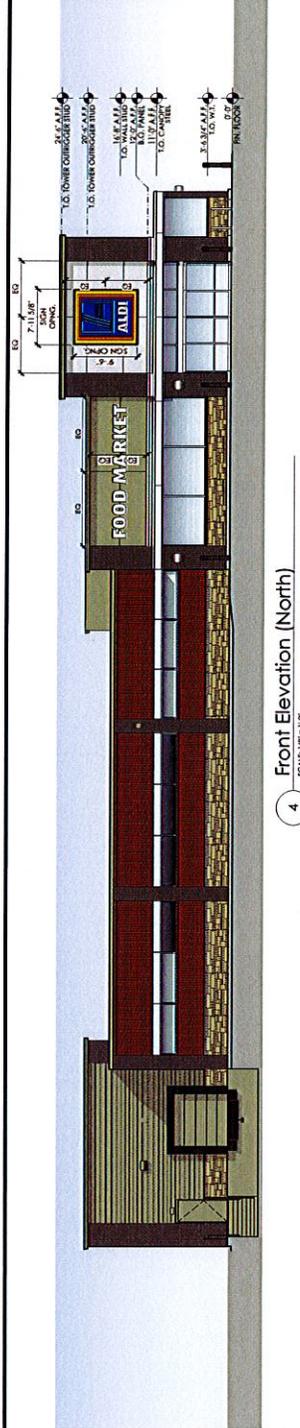


ALDI Inc.
100 South 10th Street
Kenosha, WI 53140

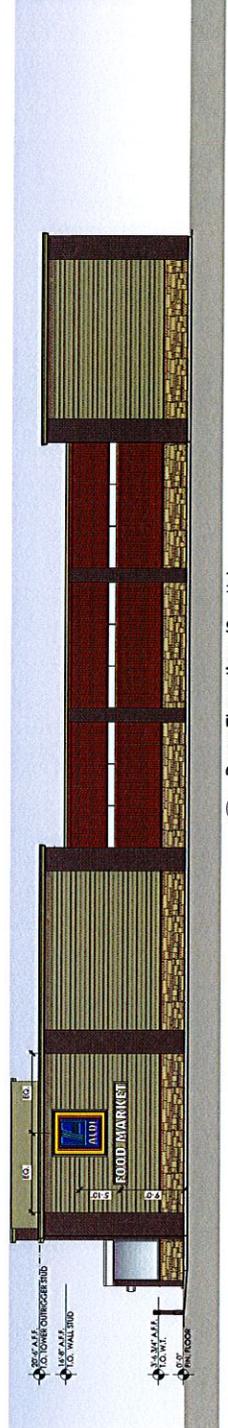
ALDI Inc. Store #: TBD
Kenosha, WI
Green Bay Rd. & 35th St.
Kenosha, WI 53144
Kenosha County
Project Name & Location:

Exterior Elevations
Drawing Name:
Prototype Bk: 02/26/16
Project No: 40321-14
Type: LHRD-V7

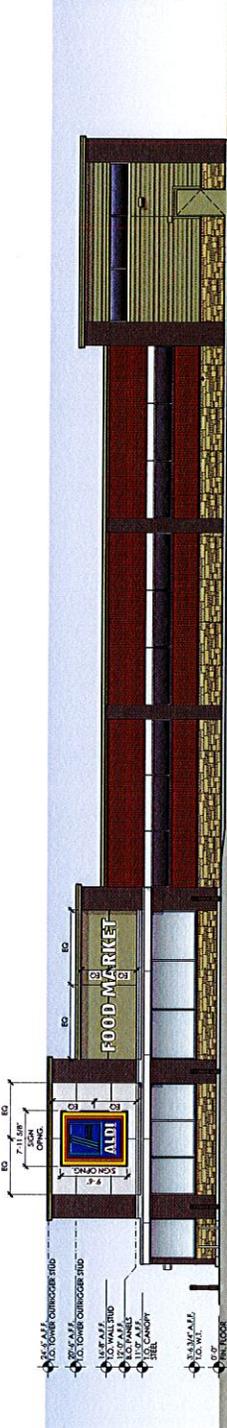
Scale: As Noted
Drawing No: A-201



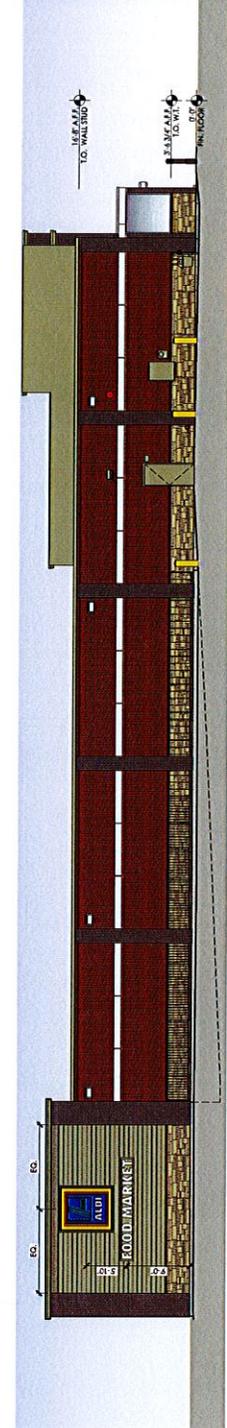
4 Front Elevation (North)
SCALE 1/8" = 1'-0"



3 Rear Elevation (South)
SCALE 1/8" = 1'-0"



2 Side Elevation (West)
SCALE 1/8" = 1'-0"



1 Side Elevation (East)
SCALE 1/8" = 1'-0"

DESCRIPTION	QUANTITY	SQ. FT. PER SIGN	TOTALS
TOWER SIGN	2	74.0	148.0
WALL SIGN	2	46.5	93.0
FOOD MARKET SIGN	2	21.3	42.6
TOTAL SIGNAGE			311.8

Signage is shown for reference only and shall be subject to final design.

Please note that the colors shown here are a graphical representation of the proposed signage. Due to the nature of electronic media, colors may vary depending on computer or printer used.

For review of actual costs, a material sample board should be created on a project specific basis.



CITY PLAN COMMISSION
Staff Report - Item 2

Thursday, June 9, 2016 at 5:00 pm
Municipal Building
625 52nd Street - Room 202 - Kenosha, WI 53140

City Plan Commission Resolution to Amend the Land Use Plan Map for the Comprehensive Plan for the City of Kenosha: 2035, regarding property at 5894 122nd Avenue. (Southport Commons, LLC) (District 16) PUBLIC HEARING

NOTIFICATIONS AND APPROVAL REQUIREMENTS:

Aldersperson Downing, District 16, has been notified. This City Plan Commission Resolution recommends the Common Council approve the Amendment through a Zoning Ordinance Amendment.

LOCATION AND ANALYSIS:

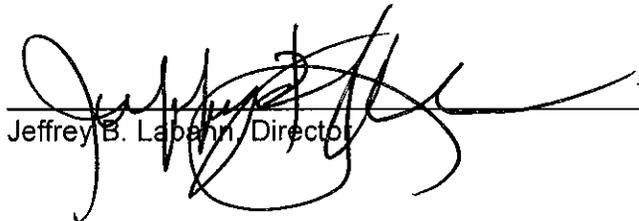
Site: 5894 122nd Avenue

1. Wisconsin Statutes require the City Plan Commission to adopt a City Plan Commission Resolution to recommend that the Common Council adopt amendments to the Comprehensive Plan. The City Plan Commission will need six (6) affirmative votes from the Commission to pass.
2. The attached Resolution satisfies this requirement and will be attached to the Zoning Ordinance to create Subsection 18.02 xx. to Amend the *Land Use Plan for the City of Kenosha: 2035* for the referenced properties from *Commercial* to *Industrial* and *Government & Institutional*. The change in land use to *Industrial* for the subject property is in conjunction with the Rezoning Petition and the Concept Plan submitted for an industrial building. Although no Concept Plan has been submitted, the change in land use to *Government & Institutional* for the subject property and for the properties east of 122nd Avenue is to allow for potential office developments in the future.
3. The adopted Comprehensive Plan designated this site as *Commercial*. Staff believes that manufacturing and office uses are more appropriate at this location.

RECOMMENDATION:

A recommendation is made to approve the City Plan Commission Resolution amending the Comprehensive Plan.


PaPhouala Vang, Planner


Jeffrey B. Labahn, Director

CITY PLAN COMMISSION RESOLUTION # __-16

By: City Plan Commission

**To Amend the Land Use Plan Map for the Comprehensive Plan for the City of Kenosha: 2035
Property at 5894 122nd Avenue (Southport Commons, LLC)**

WHEREAS, the City of Kenosha, pursuant to Section 62.23 of the Wisconsin Statutes, has established the City Plan Commission; and

WHEREAS, the Common Council adopted "A Comprehensive Plan for the City of Kenosha: 2035" on April 19, 2010, following extensive public participation; and

WHEREAS, a property owner has submitted a request to amend the Land Use designation for the referenced properties from *Commercial* to *Industrial* and *Institutional & Government*, as mapped on the attached Map C4-16 and on the Land Use Plan map adopted by the Common Council as part of the Comprehensive Plan; and

WHEREAS, the City Plan Commission finds that the Comprehensive Plan, with the proposed amendment, contains all of the required elements specified in Section 66.1001(2) of the Wisconsin Statutes and the Comprehensive Plan, with the proposed amendment, is internally consistent; and

WHEREAS, the City has duly noticed and will hold a public hearing on the proposed amendment, following the procedures in Section 66.1001(4)(d) of the Wisconsin Statutes.

NOW, THEREFORE BE IT RESOLVED that pursuant to Section 66.1001(4)(b), the City Plan Commission for the City of Kenosha, Wisconsin, hereby approves the amendment to "A Comprehensive Plan for the City of Kenosha: 2035" as shown on the attached Map C4-16.

BE IT FURTHER RESOLVED, that the City Plan Commission, for the City of Kenosha, Wisconsin, does hereby recommend that the Common Council enact a Zoning Ordinance adopting the Comprehensive Plan Amendment.

Adopted this _____ day of _____, 2016

ATTEST:

Jeffrey B. Labahn, Secretary of City Plan Commission

APPROVE:

Mayor John M. Antaramian, Chairman of City Plan Commission

City of Kenosha

Comprehensive Land Use Plan Amendment

Southport Commons, LLC petition

Supplement No. C4-16

Ordinance No. _____



Property Requested to be changed from:

-  Commercial to Wetlands
-  Commercial to Industrial
-  Commercial to Government and Institutional
-  Commercial to Right-of-Way
-  Future Right-of-Way to Government and Institutional
-  Future Right-of-Way to Right-of-Way





CITY PLAN COMMISSION
Staff Report - Item 3

Thursday, June 9, 2016 at 5:00 pm
Municipal Building
625 52nd Street - Room 202 - Kenosha, WI 53140

By the City Plan Commission - To Create Subsection 18.02 xx. of the Zoning Ordinance to amend the Land Use Map for the City of Kenosha: 2035. (Southport Commons, LLC) (District 16) PUBLIC HEARING

NOTIFICATIONS AND APPROVAL REQUIREMENTS:

Aldersperson Downing, District 16, has been notified. The Common Council is the final review authority.

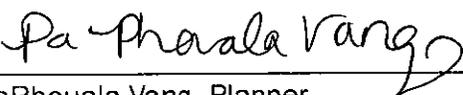
LOCATION AND ANALYSIS:

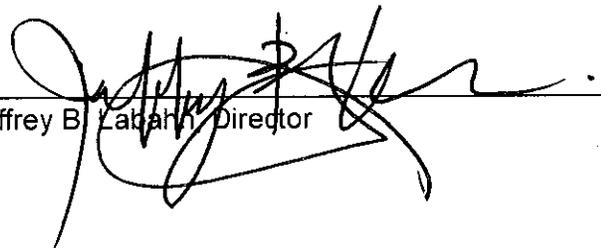
Site: 5894 122nd Avenue

1. The Common Council adopted *A Comprehensive Plan for the City of Kenosha: 2035* on April 19, 2010.
2. Wisconsin Statutes require the Common Council to adopt an Ordinance for Amendments to the Comprehensive Plan.
3. The attached Zoning Ordinance references Map C4-16, which identifies the Amendment to the Land Use Plan located in the Comprehensive Plan. The Amendment will change the land use designation for the referenced properties from *Commercial* to *Industrial* and *Government & Institutional*. The change in land use to *Industrial* for the subject property is in conjunction with the Rezoning Petition and the Concept Plan submitted for an industrial building. Although no Concept Plan has been submitted, the change in land use to *Government & Institutional* for the subject property and the properties east of 122nd Avenue is to allow for potential office developments in the future.
4. The Amendment will also change the land use designation for the surrounding area to reflect updates to the Comprehensive Plan:
 - a. *Commercial* to *Wetlands*
 - b. *Commercial* to *Right-of-Way*
 - c. *Future Right of Way* to *Government & Institutional*
 - d. *Future Right-of-Way* to *Right-of-Way*

RECOMMENDATION:

A recommendation is made to approve the proposed Zoning Ordinance.


PaPhouala Vang, Planner


Jeffrey B. Zatkoff, Director

ORDINANCE NO. _____

SPONSOR: CITY PLAN COMMISSION

**TO CREATE SUBSECTION 18.02 xx. OF THE ZONING
ORDINANCE TO AMEND THE LAND USE PLAN MAP
FOR THE CITY OF KENOSHA: 2035**

The Common Council of the City of Kenosha, Wisconsin, do ordain as follows:

Section One: Subsection 18.02 xx. of the Zoning Ordinance for the City of Kenosha, Wisconsin, is hereby created as follows:

xx. By map C4-16 on file with the Department of Community Development and Inspections.

Section Two: This Ordinance shall become effective upon passage and publication.

ATTEST: _____ City Clerk

APPROVED: _____ Mayor Date: _____

Passed:

Published:

Drafted By:
JONATHAN A. MULLIGAN
Assistant City Attorney

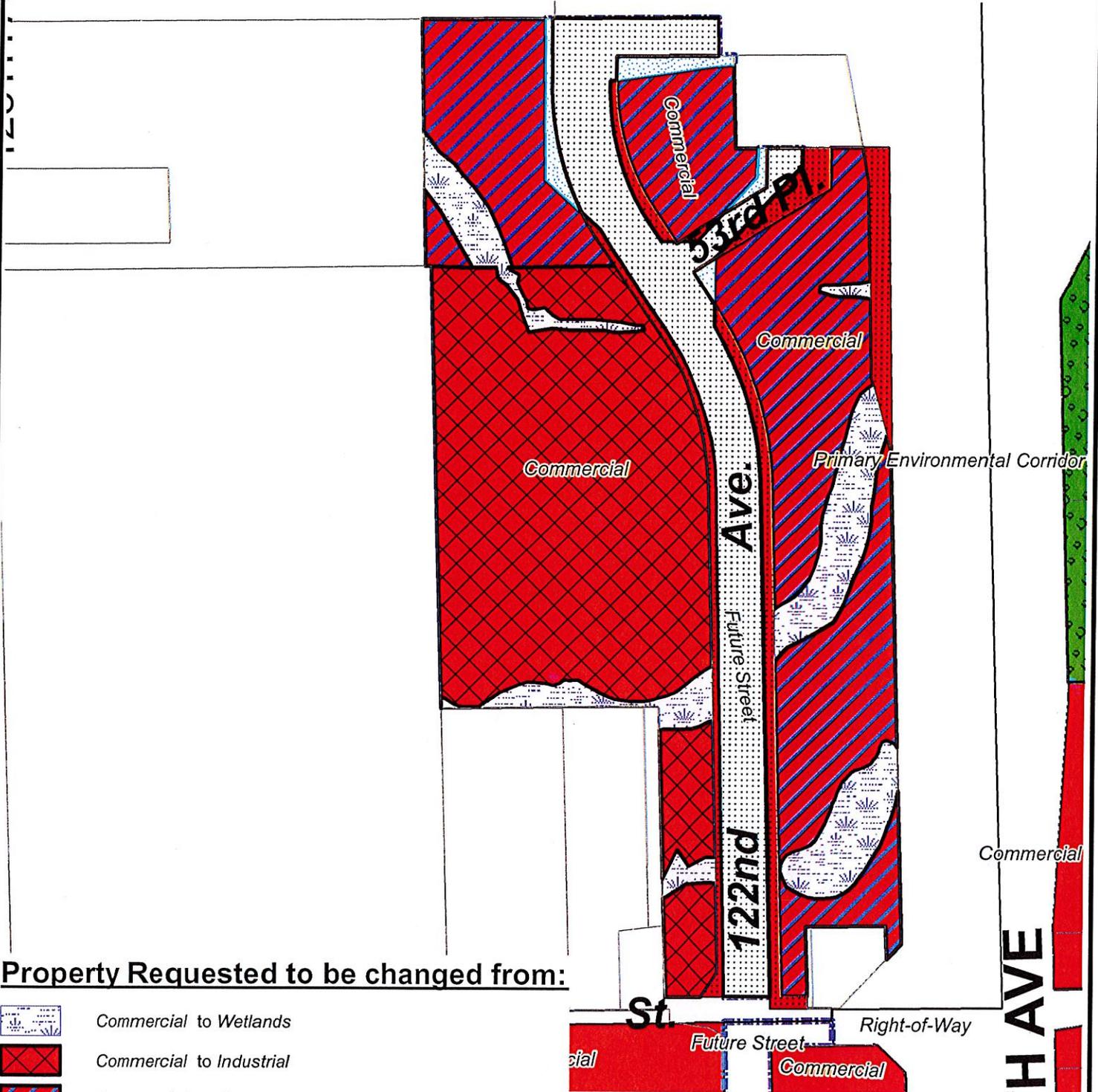
City of Kenosha

Comprehensive Land Use Plan Amendment

Southport Commons, LLC petition

Supplement No. C4-16

Ordinance No. _____



Property Requested to be changed from:

-  Commercial to Wetlands
-  Commercial to Industrial
-  Commercial to Government and Institutional
-  Commercial to Right-of-Way
-  Future Right-of-Way to Government and Institutional
-  Future Right-of-Way to Right-of-Way





CITY PLAN COMMISSION
Staff Report - Item 4

Thursday, June 9, 2016 at 5:00 pm
Municipal Building
625 52nd Street - Room 202 - Kenosha, WI 53140

Zoning Ordinance by the Mayor - To Rezone a Portion of the Property at 5894 122nd Avenue from A-2 Agricultural Land Holding District to M-1 Light Manufacturing District in Conformance with Section 10.02 of the Zoning Ordinance. (Southport Commons, LLC) (District 16) PUBLIC HEARING

NOTIFICATIONS AND APPROVAL REQUIREMENTS:

Aldersperson Downing, District 16, has been notified. Property owners within 100 feet of the proposed rezoning were notified. The Common Council is the final review authority.

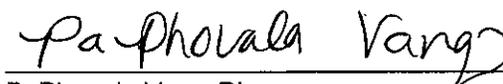
LOCATION AND ANALYSIS:

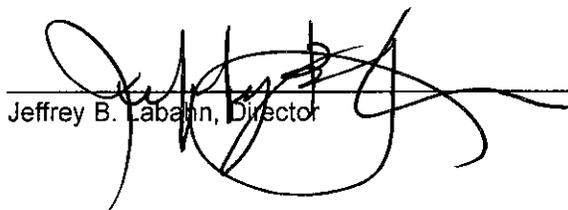
Site: 5894 122nd Avenue	North: A-2 Agricultural Land Holding / Agriculture and Vacant
Neighborhood: N/A	South: A-2 Agricultural Land Holding / Agriculture and Vacant
	East: A-2 Agricultural Land Holding / Right-of-Way
	West: Town of Paris / Agriculture and Vacant

1. The owner of the property, H. Gary Stetson, is requesting to Rezone the property from *A-2 Agricultural Land Holding District* to *M-1 Light Manufacturing District*. The purpose of the rezoning is to allow for the construction of a 242,115 s.f. industrial building.
2. The project would be developed as a speculative building. A Concept Plan has been submitted as part of the Rezoning Petition. Depending on the proposed use of the building, the project may be approved as a Site Plan Review at Staff Level or possibly a Conditional Use at the City Plan Commission or Common Council level. The proposed building material is painted insulated precast concrete panels. The Concept Plan shows two hundred fifty-seven (257) proposed parking spaces for the proposed building.
3. Rezoning of the property to *M-1 Light Manufacturing District* is not consistent with the adopted *Comprehensive Plan for the City of Kenosha: 2035*, which designates this site as *Commercial*. An Amendment to that plan is required for the City to approve the Rezoning. The Amendment is on this agenda.
4. The final development will also be required to be in compliance with the applicable City, State and Federal Ordinances, Codes and development standards.

RECOMMENDATION:

A recommendation is made to approve the rezoning in accordance with Section 10.05 of the Zoning Ordinance.


PaPhouala Vang, Planner


Jeffrey B. Labahn, Director

REZONING ORDINANCE NO. _____

SPONSOR: THE MAYOR

**To Rezone a Portion of the Property at 5894 122nd Avenue from A-2
Agricultural Land Holding District to M-1 Light Manufacturing District in
Conformance with Section 10.02 of the Zoning Ordinance.
(Southport Commons, LLC) (District 16)**

The Common Council of the City of Kenosha, Wisconsin, do ordain as follows:

Section One: That the land shown on the attached Supplement Map No. Z4-16 be, and the same hereby is, zoned and districted as indicated on said map.

Section Two: This Ordinance shall be in full force and effect upon passage and the day after its publication.

ATTEST: _____ City Clerk

APPROVED: _____ Mayor Date: _____

Passed:

Published:

Drafted by:
JONATHAN A. MULLIGAN
Assistant City Attorney

City of Kenosha

Southport Commons, LLC petition

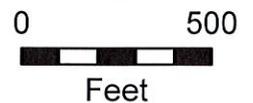
District Map
Rezoning

Supplement No. Z4-16
Ordinance No. _____



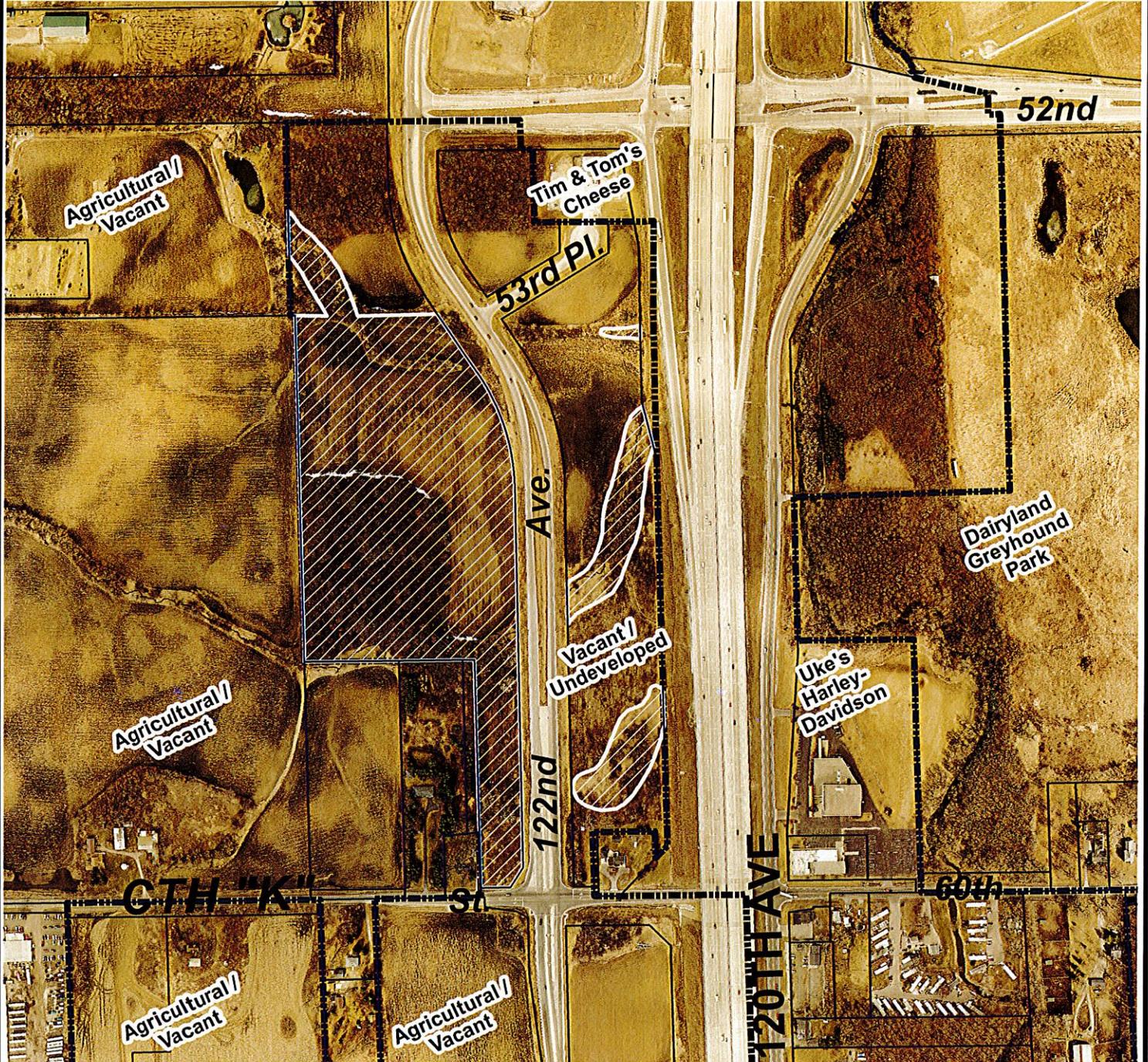
Property Requested to be Rezoned from:

-  A-2 Agricultural Land Holding to C-2 Lowland Conservancy
-  A-2 Agricultural Land Holding to M-1 Light Manufacturing



City of Kenosha

Land Use Map Southport Commons rezoning



 Property Requested to be Rezoned



0 500


Feet

City of Kenosha

Comprehensive Land Use Plan Amendment

Southport Commons, LLC petition

Supplement No. _____

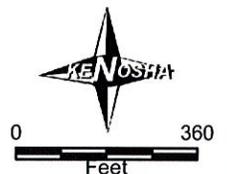
C4-16

Ordinance No. _____



Property Requested to be changed from:

-  Commercial to Wetlands
-  Commercial to Industrial
-  Commercial to Government and Institutional
-  Commercial to Right-of-Way
-  Future Right-of-Way to Government and Institutional
-  Future Right-of-Way to Right-of-Way





APPLICATION FOR REZONING
Form #CDI309 (rev. 1/16)

Additional Information Required:	<p>Current Zoning District: <u>A-2</u></p> <p>Proposed Zoning District: <u>M-1 Light Manufacturing District</u></p> <p>Proposed Type of Rezoning: (Check all applicable)</p> <p><input type="checkbox"/> Single-family Residential</p> <p><input type="checkbox"/> Two-family Residential</p> <p><input type="checkbox"/> Multi-family Residential (3 or more units)</p> <p><input checked="" type="checkbox"/> Institutional, Commercial or Industrial</p>
Submittal Requirements:	<ul style="list-style-type: none"> ➤ Rezoning Petition (sample below) filled out according to the particular situation. The current owner(s) of the property must sign the petition. ➤ Building and Site Development Plans as indicated below.
Fees:	<ul style="list-style-type: none"> ➤ Rezoning Fee = \$550 (For projects that <i>do not</i> require building and site development plans) <u>OR</u> ➤ Rezoning with Concept Plan = \$1,150 (For projects that require building and site development plans) <p><i>The City retains the fee whether the rezoning is approved or denied. The applicant should contact Community Development and Inspections – Planning Division to verify the total fee before submitting the rezoning application.</i></p>
Appendices to Review:	➤ N/A
Approximate Review Time:	➤ 60-75 days (Reviewed by City Plan Commission and Common Council)

A rezoning request can be initiated by:

- The City Plan Commission
- The Common Council
- A petition of 50 percent or more of the owners of property within the area proposed to be rezoned

The Honorable Mayor
and Members of the Common Council
Kenosha, WI

Dear Members of the Common Council:

It is requested that my property located at *(address or parcel number)* be rezoned from *(present zoning)* to *(proposed rezoning)*. The purpose of the rezoning is to permit *(proposed use of the property)*.

Attached is a conceptual development plan including building, site development, land use and operational plans as required by Section 10 of the City of Kenosha Zoning Ordinance, and a receipt of the rezoning fee. I understand that development of the referenced property proposed for rezoning is required to be consistent with the conceptual development plans submitted with my rezoning petition.

Please inform me of the date this item will be reviewed by the City Plan Commission. The meeting notice should be sent to *(list one name only)* at *(address)*. I can be reached at *(phone number)* if there are any questions regarding my request for the rezoning.

Sincerely,

Current Property Owner

SOUTHPORT COMMONS, LLC
a WISCONSIN LIMITED LIABILITY COMPANY
3535 Patten Road, Apt. 2B,
Highland Park, IL 60035

May 9, 2016

The Honorable Mayor
and Members of the Common Council
Kenosha, WI

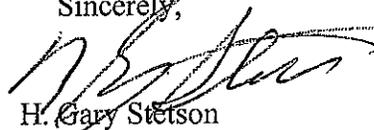
Dear Members of the Common Council:

Please be advised that I am the authorized agent for Southport Commons, LLC. It is requested that the Southport Commons, LLC property located at Parcel Id No. 08-221-36-402-003 ("Property") be rezoned from A-2 to M-1 Light Manufacturing District. The purpose of the rezoning is to permit a 241,000 industrial building to be constructed on the Property.

Being submitted herewith is a conceptual development plan including building, site development, land use and operational plans as required by Section 10 of the City of Kenosha Zoning Ordinance, and a receipt of the rezoning fee. I understand that development of the referenced property proposed for rezoning is required to be consistent with the conceptual development plans submitted with my rezoning petition.

Please inform me of the date this item will be reviewed by the City Plan Commission. The meeting notice should be sent to H. Gary Stetson at 3535 Patten Road, Apt. 2B, Highland Park, IL 60035. I can be reached at 847-656-6566 if there are any questions regarding my request for the rezoning.

Sincerely,



H. Gary Stetson

Authorized Agent for Southport Commons, LLC

