

**\*\* SPECIAL MEETING \*\***  
**\*\* Please Note Change in Time & Room \*\***

**AGENDA**  
**BOARD OF PARK COMMISSIONERS**  
**Kenosha Municipal Building - Room 204**  
**Monday, June 3, 2013 - 6:45 pm**

**Chairman: Michael J. Orth**                      **Vice Chairman: Anthony Kennedy**  
**Commissioner: Chris Schwartz**              **Commissioner: Rocco J. LaMacchia, Sr.**  
**Commissioner: Kevin E. Mathewson**

**Call to Order**  
Roll Call

1. Request to extend the Conditional Use Permit for a new public safety communication tower at 6210 60th Street. *(Kenosha County/Nash Park) (District 15) (Referred from Council on 5/20/13) (Also referred to CP-Ayes 7:Noes 0)*

**DIRECTOR AND/OR SUPERINTENDENT COMMENTS**  
**CITIZEN COMMENTS/COMMISSIONER COMMENTS/OTHER BUSINESS AS AUTHORIZED BY LAW**

IF YOU ARE DISABLED AND NEED ASSISTANCE, PLEASE CALL 653-4052 BEFORE THIS MEETING

NOTICE IS HEREBY GIVEN THAT A MAJORITY OF THE MEMBERS OF THE COMMON COUNCIL MAY BE PRESENT AT THE MEETING, AND ALTHOUGH THIS MAY CONSTITUTE A QUORUM OF THE COMMON COUNCIL, THE COUNCIL WILL NOT TAKE ANY ACTION AT THIS MEETING.

<i>Planning &amp; Zoning Division 625 52nd Street Kenosha, WI 53140 262.653.4030</i>	<i>Kenosha City Plan Commission  FACT SHEET</i>	May 23, 2013	Item #1
<b><i>Request to extend the Conditional Use Permit for a new public safety communication tower at 6210 60th Street. (Kenosha County/Nash Park) (District #15) PUBLIC HEARING</i></b>			

**LOCATION/SURROUNDINGS:**

Site: 6210 60<sup>th</sup> Street  
 Zoned: IP Institutional Park / AIR-4 Airport Overlay District

**NOTIFICATIONS/PROCEDURES:**

The alderman of the district, Alderman Orth, has been notified. This item will also be reviewed by the Board of Parks Commissioners, before the final approval by the Common Council.

**ANALYSIS:**

- Kenosha County received approval of a Conditional Use Permit for a new public safety communication tower from the Common Council on November 5, 2012.
- The applicant is requesting a six-month extension to the approval.
- The City has been working with an appraiser for this site based on regulations of the Department of Natural Resources and the National Park Service. That appraisal is needed before permits can be issued for the project.
- The original Conditions of Approval will still apply. All outstanding Conditions of Approval were satisfied. A lease for the site must still be approved.
- The extension will give the applicant additional time to obtain building permits.

**RECOMMENDATION:**

A recommendation is made to approve a six-month extension, subject to the original Conditions of Approval.

  
 Brian R. Wilke, Development Coordinator

  
 Jeffrey B. Labahn, Director

May 3, 2013

To whom it may concern:

Kenosha County respectfully requests a 6 month extension of the conditional use permit for the Nash Park Tower project.

Regards,

A handwritten signature in black ink that reads "Frank P. Martinelli". The signature is written in a cursive style with a long horizontal line extending to the right from the end of the name.

Frank P. Martinelli  
Engineering Project Manager  
Kenosha County

Planning & Zoning Division 625 52nd Street Kenosha, WI 53140 262.653.4030	<b><i>Kenosha City Plan          Commission          Conditions of Approval</i></b>	<b>Kenosha          County/Nash Park          6210 60th Street</b>	October 18, 2012
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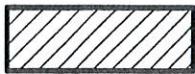
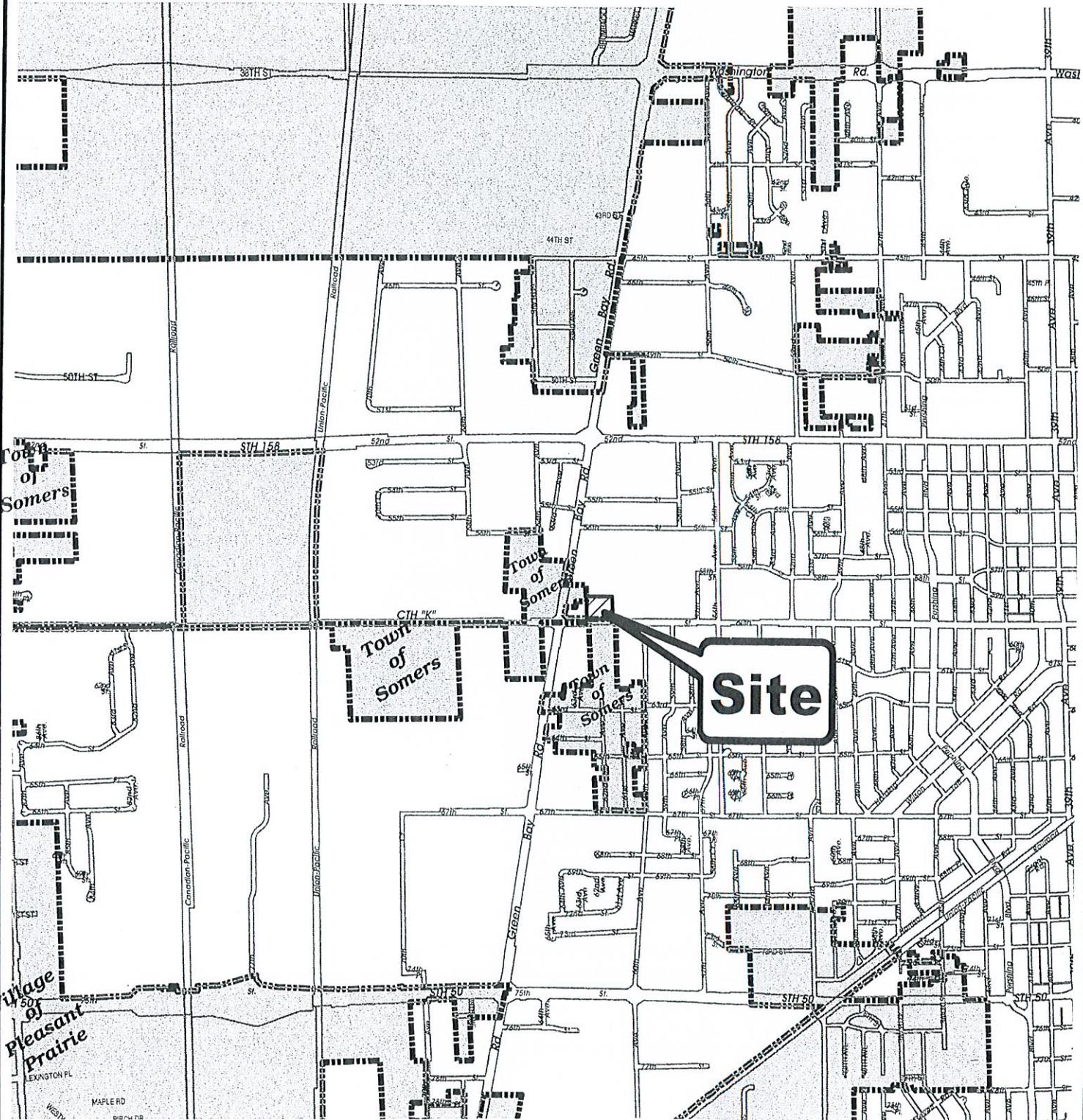
1. The following Conditions of Approval will run with the land and shall be included in a document recorded with the Kenosha County Register of Deeds:
  - a. The applicant shall obtain all required construction permits from the Department of Community Development & Inspections. This includes, but is not limited to Erosion Control, Building, Electrical and Occupancy permits.
  - b. The applicant shall obtain a Driveway permit from the Department of Public Works.
  - c. All signs shall comply with Chapter 15 of the Code of General Ordinances and the applicant shall obtain sign permits for all new signs. A separate submission and permits are required for all signs. Sign information provided under the Conditional Use Permit is for reference only and does not constitute sign permit approval.
  - d. The development shall be constructed per the approved plans on file with the Department of Community Development & Inspections, Room 308, 625 52<sup>nd</sup> Street, Kenosha, WI 53140. Any changes to the approved plans shall require an amendment to the Conditional Use Permit. All changes shall be submitted to the Department of Community Development & Inspections for review and approval.
  - e. Prior to the issuance of any occupancy permits, all parking areas, drives and designated paved areas shall have the initial lift of asphalt installed. The building exterior shall be completed per the approved plans and the Conditional Use Permit shall be recorded with the Kenosha County Register of Deeds. All improvements indicated on the plans, including landscaping, shall be installed prior to the issuance of a final Occupancy permit. The recording fees for the Conditional Use Permit shall be submitted by the applicant.
  - f. Compliance with City and State and/or Federal Codes and Ordinances. The buildings shall comply with the current Code standards in effect upon application for a building permit.
  - g. The applicant shall meet all applicable Conditions of Approval and obtain a building permit within six (6) months of Common Council approval of the Conditional Use Permit or the Conditional Use Permit shall be null and void.
  - h. All vehicles shall be parked within the designated paved areas.
  - i. All improvements, including landscaping, shall be maintained per the approved plans. Any damaged fencing, landscaping or building shall be replaced or reconstructed per the approved plans.
  - j. Compliance with the Operational Plan.

Planning & Zoning Division 625 52nd Street Kenosha, WI 53140 262.653.4030	<b>Kenosha City Plan          Commission          Conditions of Approval</b>	<b>Kenosha          County/Nash Park          6210 60th Street</b>	October 18, 2012
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- k. Compliance with the Lease Agreement between the City of Kenosha, Board of Park Commissioners for the City of Kenosha and the County of Kenosha.
- 2. The following conditions of approval shall be satisfied with City Staff prior to the issuance of any construction permits.
  - a. The exterior material of the equipment shelter shall be brick as shown in Exhibit "B" provided with the application.
  - b. The barbed wire shown on the fence shall be removed. The chain-link fence shall be shown as vinyl-coated chain-link and revised plans submitted for review and approval.
  - c. The equipment shelter shall have a roof pitch of 4:12. The roof shall be shingled. Revised plans showing the pitch and shingle detail shall be submitted for review and approval.
  - d. The Landscape Plan shall show some additional evergreen screening along the south side of the fenced area.
  - e. Plans shall be provided which more clearly indicate what the tower will look like and the possible mounting heights for equipment.
  - f. An Operational Plan shall be submitted indicating the name and address of the facility operator along with the facility maintenance detail.
  - g. Final determination by the FAA is required prior to the issuance of construction permits.

# City of Kenosha

## Vicinity Map Kenosha County Public Safety Tower CUP



Subject Property: 6210 60th Street



Municipal Boundary



0 410 820 1,230 1,640 2,050  
Feet

**GENERAL NOTES**

1. All work to be done per (insert) or 3000 psi (insert) in 28 days.
2. Verify all dimensions, elevations, and utility locations.
3. Confirm all applicable codes, ordinances and safety standards.
4. Verify all utility locations and depths.
5. Verify all existing conditions and materials.
6. No concrete to be poured without Architect's prior review.
7. All concrete to be placed with all ties, Owner's and Architect's approval.
8. Leave site clean, neat and free of debris at all times.
9. Specifications, Drawings, Addenda and Change Orders.
10. Obtain all necessary permits and approvals for on-site safety. Each professional and provides their own engineering to provide a safe work place.
11. These drawings contain no provisions or procedures for on-site safety. Each professional and provides their own engineering to provide a safe work place.
12. These drawings contain no provisions or procedures for on-site safety. Each professional and provides their own engineering to provide a safe work place.
13. Show all existing and all underground utilities.
14. Show all existing and all underground utilities.
15. Show all existing and all underground utilities.
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29. Show all existing and all underground utilities.
30. Show all existing and all underground utilities.

**MATERIAL INDICATIONS**

Corth. Block	Stair Fin.
Ridge Insulation	Concrete
Concrete Block	Finished Wood
Aluminum	Stone Fin.
Lumber (Rough)	Plaster
Steel	Block Insulation

**DRAWING LEGEND**

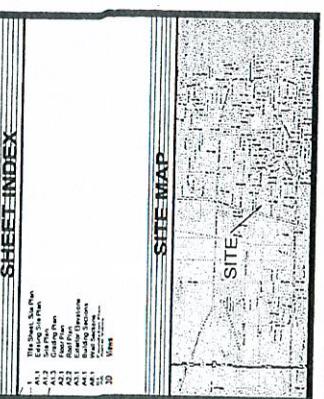
4-481.0 New or Required Point Elevation	10' Horizontal Distance
4-481.0 Existing Point Elevation	10' Horizontal Distance
4-481.0 Existing Contours	Building Section
4-481.0 New or Required Contours	Column Grid
4-481.0 Existing Contours	Wall Section

**CONSULTANTS**

ARCHITECT: Kueny Architects, LLC 1005 Cornelia Drive Pleasant Prairie, Wisconsin 53144  
 443-8801

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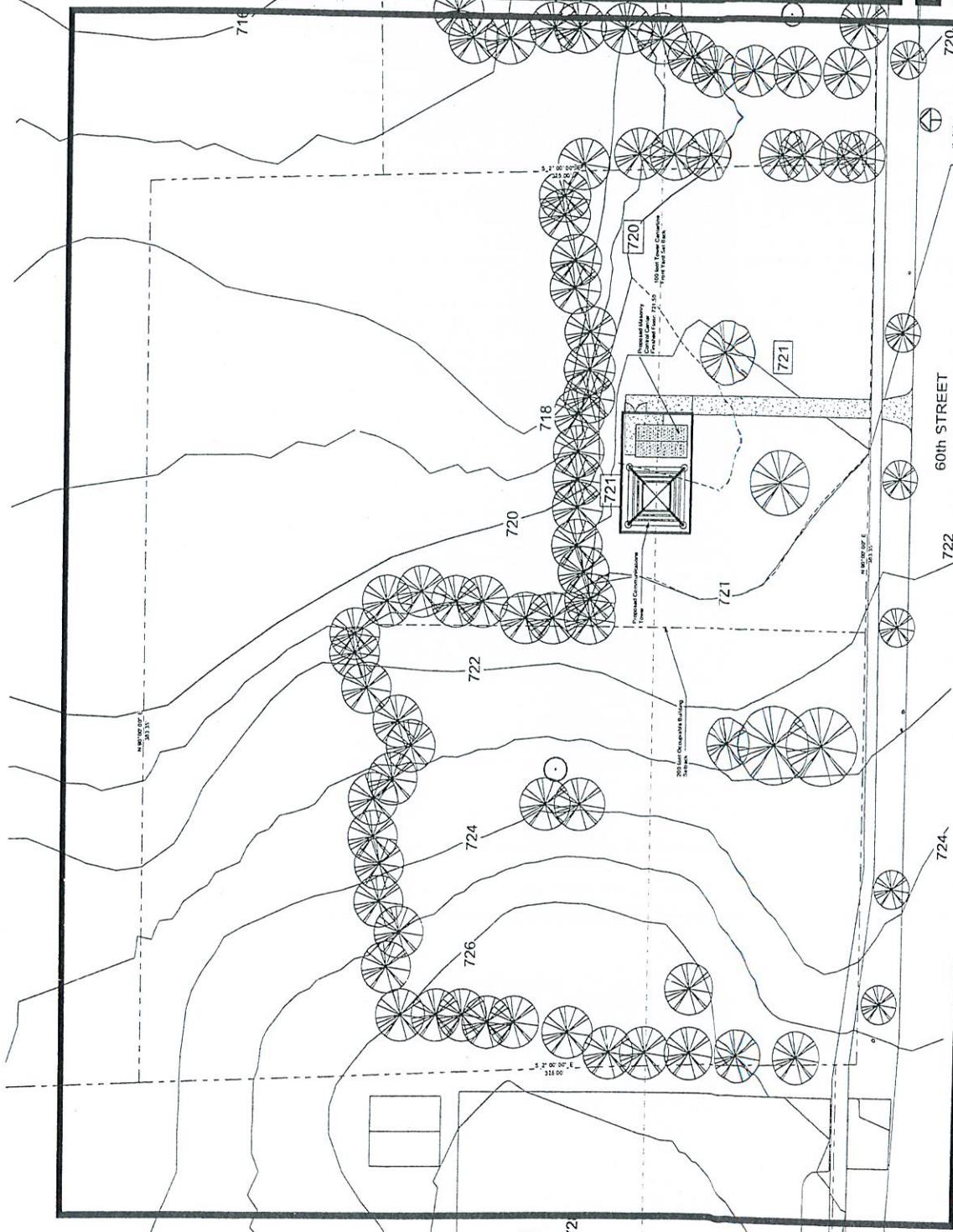


Kenosha County Communications Tower and Control Center

**Kueny Architects**

1

3 September 2011



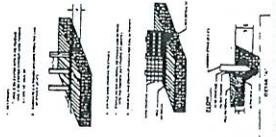
6210 60th Street (County Trunk Highway K)

**COUNTY OF KENOSHA, WISCONSIN**

Kenosha, Wisconsin 53142

**SILT FENCE NOTES**

1. ALL SILT FENCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING NOTES AND THE ATTACHED DRAWINGS.
2. THE SILT FENCE SHALL BE CONSTRUCTED WITH A MINIMUM OF 10% OVERLAP BETWEEN ADJACENT SECTIONS.
3. THE SILT FENCE SHALL BE MAINTAINED AT ALL TIMES TO ENSURE PROPER FUNCTIONING.
4. THE SILT FENCE SHALL BE REMOVED IMMEDIATELY UPON COMPLETION OF THE CONSTRUCTION PROJECT.
5. THE SILT FENCE SHALL BE CONSTRUCTED WITH A MINIMUM OF 10% OVERLAP BETWEEN ADJACENT SECTIONS.
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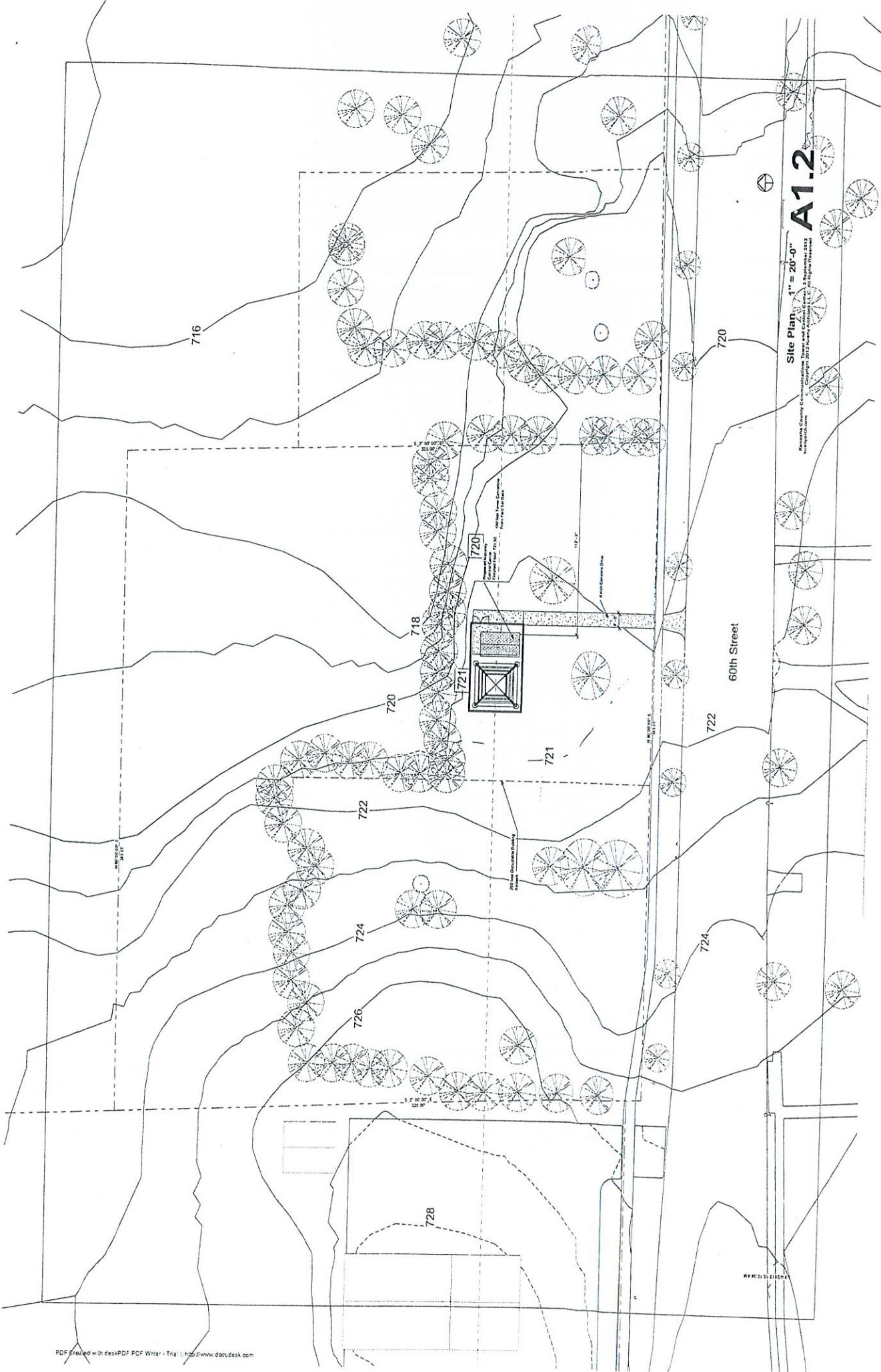


Tax Parcel #08-222-34-451-022  
 124,512.85 square feet  
 2.858 acres

**A1.1**

Existing Site Plan As Indicated  
 MERRICK COUNTY CONSULTING ENGINEERS AND SURVEYORS  
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60th Street

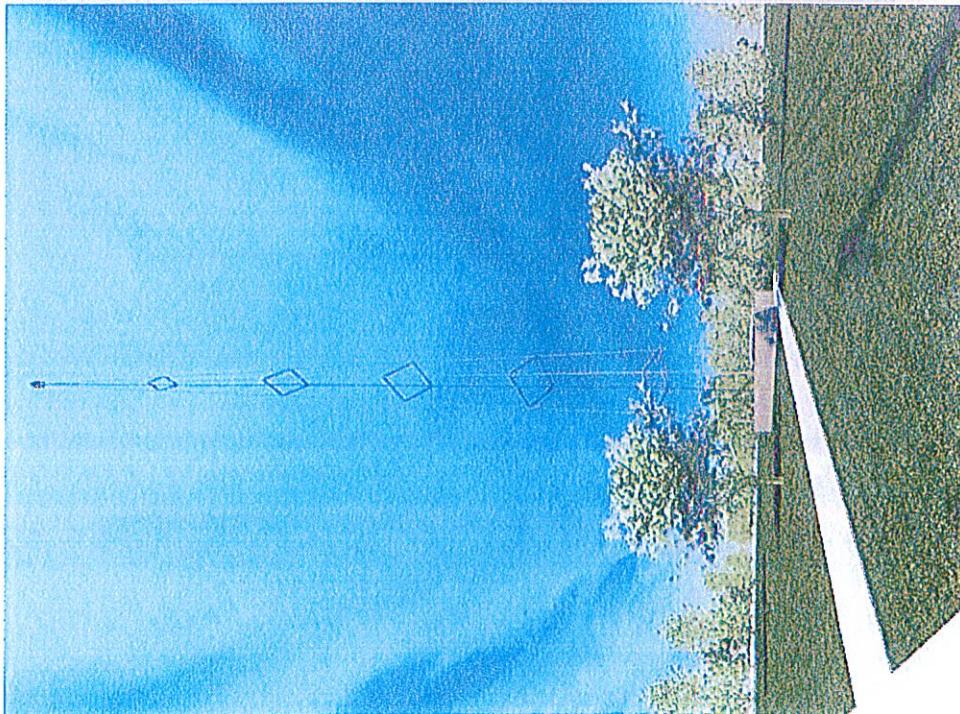


Site Plan 1" = 20'-0"

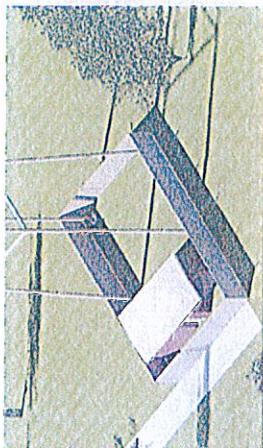
**A1.2**

RENNALS COUNTY COMMUNITY DEVELOPMENT DEPARTMENT  
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 Lincoln, NE 68502  
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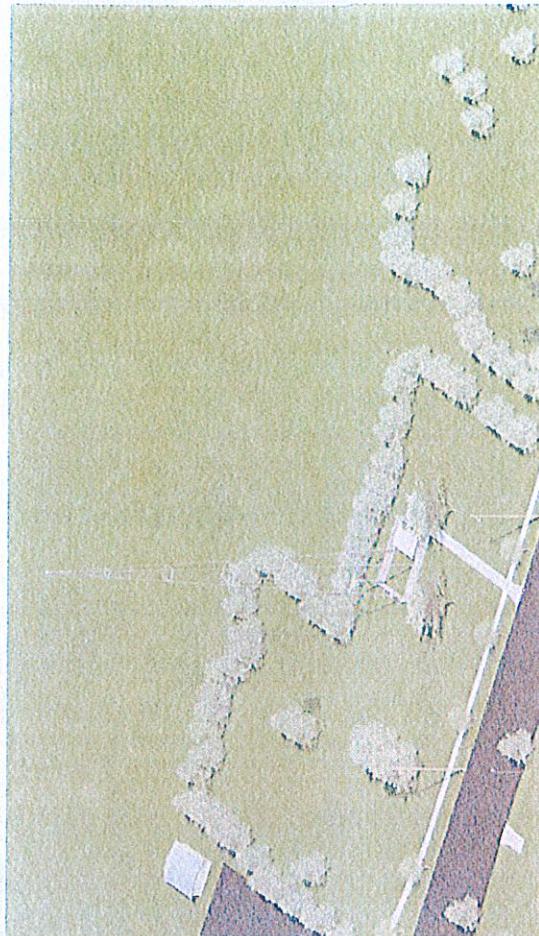
① Ground Level Looking Northwest  
1/2" = 1'-0"



② Aerial Looking Southwest  
1/2" = 1'-0"



③ Bird's Eye Looking Southwest  
1/2" = 1'-0"



④ Aerial Looking Northwest  
1/2" = 1'-0"

Views 1/2" = 1'-0" 3D

Marion County Communications, Access and Control Center - 2 September 2012  
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