

AGENDA
KENOSHA COMMON COUNCIL
KENOSHA, WISCONSIN
Council Chambers – Room 200 – Kenosha Municipal Building
Monday, April 21, 2014
7:00 PM

CALL TO ORDER
ROLL CALL
INVOCATION
PLEDGE OF ALLEGIANCE

Approval of the minutes of the meeting held April 7, 2014. Pgs. 1-6
Matters referred to the Committees by the Mayor.
Presentation, Commendations and Awards by Mayor.
Awards and Commendations from Boards, Commissions, Authorities and
Committees.

CITIZENS' COMMENTS

A. REFERRALS

TO THE COMMITTEE ON FINANCE

- A.1. By the Mayor - To Repeal and Recreate Subsections 1.06 S.3, 4, and 7.b. (of the Code of General Ordinances for the City of Kenosha) Regarding Members, Term and Duties of the Mayor's Youth Commission.

TO THE PUBLIC WORKS COMMITTEE

TO THE PUBLIC SAFETY AND WELFARE COMMITTEE

TO THE CITY PLAN COMMISSION

B. COMMUNICATIONS, PETITIONS, REPORTS OF DEPARTMENTS

- B.1. Approval of the following applications per list on file in the Office of the City Clerk:
- a. 18 Operator's (Bartender's) licenses.
 - b. 2 Transfer of Agent Status of Beer and/or Liquor licenses.
 - c. 4 Special Class "B" Beer and/or Special "Class B" Wine licenses.
 - d. 3 Taxi Driver Licenses. Pg. 7
- B.2. Sign Code Appeal: Special Exception Request from Karen McKenzie (Aurora Health Care) for Relief from Sign Height Restrictions to Install Directional Signs at 6811 & 6815-118th Avenue (Parcel #03-122-06-325-001) (Zoning: B-2) (District #16) **PUBLIC HEARING** Pgs. 8-17
- B.3. Sign Code Appeal: Special Exception Request from McDonald's USA, LLC c/o Michael Best & Friedrich for Relief from the Requirement to Remove Existing Non-conforming Signs Where a Premise is Vacated for More than Ninety (90) Days and to Install an Additional Free-standing Sign on the Site. Property Address: 12214-75th Street (Parcel #03-121-01-450-475) (Zoning: B-2) (District #16) **HEARING** Pgs. 18-30

C. RECOMMENDATIONS FROM THE COMMITTEE ON LICENSING/PERMITS

NOTE: All licenses and permits are subject to withholding of issuance by the City Clerk as specified in Section 1.045 of the Code of General Ordinances.

- C.1. Approve applications for new Operator's (Bartender's) licenses subject to:
 - 20 demerit points:
 - a. Jason Grubbs
 - 25 demerit points:
 - b. Mahendra Gala
 - c. Jessica Sissel(L/P – Ayes 4, Noes 0) **HEARING** Pgs. 31-33

- C.2. Deny applications for new Operator's (Bartender's) licenses based on material police record and false application:
 - a. Elizabeth Bohannan (referred back to L/P on 04/07/14)
 - b. Roland Garza
 - c. Angelica Beltran(L/P – Ayes 4, Noes 0) **HEARING** Pgs. 34-45

- C.3. Approve renewal applications for Taxi Driver's Licenses subject to:
 - 40 demerit points:
 - a. David Dowell
 - 80 demerit points:
 - b. Brian Walraven(L/P – Ayes 4, Noes 0) **HEARING** Pgs. 46-47

- C.4. Deny application of Daksha Patel for a Transfer of Agent status of the Class "A" Retail Beer License located at 4924 Sheridan Road (Mobil Gas), based on not meeting statutory requirements. (District #2) (L/P – Ayes 4, Noes 0) **HEARING** Pgs. 48-51

- C.5. Approve applications for Temporary Outdoor Extension Licenses, with no adverse recommendations:
 - a. American Legion Post 21, May 24 and June 29, 2014 (504–58th Street). (District #2)
 - b. Dishes to Die For, Inc., April 26, 2014 (TG's Restaurant & Pub, 4127–7th Ave.) (District #1)(L/P – Ayes 4, Noes 0) **HEARING** Pgs. 52-62

- C.6. Approve application for a Daily Cabaret License of The Port, LLC, May 3, 2014 (714–50th Street) with no adverse recommendations. (District #2) (L/P – Ayes 4, Noes 0) **HEARING** Pgs. 63-64

- C.7. Approve applications of American Legion Post 21 (504–58th Street), for Outdoor Area Waiver of Cabaret and/or Amplified Music Licenses on May 24 and June 29, 2014, with no adverse recommendations. (District #2) (L/P – Ayes 4, Noes 0) **HEARING** Pgs. 65-66
- C.8. Approve application for an Outdoor Area Waiver of Cabaret and/or Amplified Music for a Charity Event License for Dishes to Die For, Inc., April 26, 2014 (TG's Restaurant & Pub, 4127–7th Avenue) with no adverse recommendations. (District #1) (L/P – Ayes 4, Noes 0) **HEARING** Pgs. 67-68
- C.9. Approve renewal application of First Step Services, Inc., for a Refuge Center License located at 1017-63rd Street (First Step Transitional Day Shelter), with no adverse recommendations. (District #3) (L/P – Ayes 4, Noes 0) **HEARING** Pgs. 69-72
- C.10. Approve renewal application of PRC, Inc., for a Recycling Center Activity License located at 6425–27th Avenue (PRC/Parise Recycling Center), with no adverse recommendations. (District #8) (L/P – Ayes 4, Noes 0) **HEARING** Pgs. 73-74
- C.11. Approve renewal application of PRC, Inc., for a Scrap Salvage Collector's License located at 6425–27th Avenue (PRC/Parise Recycling Center), with no adverse recommendations. (District #8) (L/P – Ayes 4, Noes 0) **HEARING** Pgs. 75-76
- C.12. Approve renewal applications for Scrap Salvage Dealer's Licenses, with no adverse recommendations:
- a. Schneider Auto Sales & Parts, Inc. (8521 Sheridan Road). (District #9)
 - b. Jantz's Yard 4 Automotive, Inc. (2500 Washington Road). (District #6)
 - c. Jantz Auto Sales, Inc. (3405 Washington Road). (District #10)
- (L/P – Ayes 4, Noes 0) **HEARING** Pgs. 77-82
- C.13. Approve Findings of Fact, Conclusions of Law and Recommendation in the matter of the Class “B” Beer/”Class C” Wine License and/or Outdoor Dining Area License of Food and Fun First, LLC, d/b/a The Good Garden Cafe and Wine Gallery, 5925–6th Avenue A, Janine Kolbeck, Agent, to suspend for a period of 10 consecutive days. (District #2) (L/P – Ayes 5, Noes 0) **HEARING**
CLOSED SESSION: The Common Council may go into closed session pursuant to §19.85 (1)(a), Wisconsin Statutes regarding this item. The Common Council will reconvene into open session. Pgs. 83-86

- C.14. Approve Findings of Fact, Conclusions of Law and Recommendation in the matter of the Cabaret License of Imagine4, LLC, d/b/a Big Shotz Sports Bar, 3000 Roosevelt Road, Kurt Streck, Agent, to revoke. (District #8) (L/P – Ayes 3, Noes 0) **HEARING**
CLOSED SESSION: The Common Council may go into closed session pursuant to §19.85 (1)(a), Wisconsin Statutes regarding this item. The Common Council will reconvene into open session. Pgs. 87-92

D. REPORTS AND RECOMMENDATIONS OF BOARDS AND COMMISSIONS

- D.1. Conditional Use Permit for a 93-room hotel to be located at 7300-125th Avenue. (Hampton Inn) (District #16) (CP - Ayes 7, Noes 0) **PUBLIC HEARING** Pgs. 93-118

E. ORDINANCES 1st READING

F. ZONING ORDINANCES 1st READING

G. ORDINANCES 2nd READING

- G.1. By Alderperson Steve G. Bostrom - To Repeal and Recreate Subsection 30.10 (Of the Code of General Ordinances) Regarding Ethics Complaints. (L/P – deny-Ayes 3, Noes 0; PW - Ayes 2, Noes 1, Abstains 1; PSW-recommendation pending - deferred until 04/28/14; Fin.- deny-Ayes 5, Noes 1) (Deferred and public hearing held 04/07/14) Pgs. 119-121

H. ZONING ORDINANCES 2nd READING

I. RESOLUTIONS

- I.1. Resolution by the Committee on Finance – Resolution To Levy a Special Assessment (under Authority of Charter Ordinance No. 26, as Amended, upon Certain Parcels of Land Within the City of Kenosha, Wisconsin) in the Amount of \$975.88 for Trash and Debris Removal. (Fin. - recommendation pending) **HEARING** Pgs. 122-123
- I.2. Resolutions by the Committee on Finance – Resolutions To Levy Special Charges Upon Various Parcels of Property Located in the City per List on File in the Office of the City Clerk:
- a. Boarding and Securing - \$344.24
 - b. Property Maintenance Reinspection Fees - \$1,914.00
- (Fin. - recommendation pending) **HEARING** Pgs. 124-128

- I.3. Resolution by the Committee on Public Works – Resolution To Order the Cost of Public Sidewalk and/or Driveway Approach Construction and/or Replacement to be Specially Assessed to Abutting Property. (Project 14-1208 Sidewalk & Curb/Gutter Program) (All Districts) (PW – recommendation pending) **PUBLIC HEARING** Pgs. 129-250
- I.4. Resolution by Alderperson David Bogdala; Co-Sponsors: Alderperson G. John Ruffolo, Steve Bostrom – Resolution To Urge the City of Kenosha Police and Fire Commission to Hold a Hearing on the Recent Allegations Made Against the Fire Chief. (PSW – motion to approve failed-Ayes 1, Noes 3) (Deferred 04/07/14) Pgs. 251-252
- I.5. Resolution by Alderperson Steve Bostrom – Resolution To Proclaim April 26, 2014 “Kenosha Autism Awareness Day”. Pg. 253
- I.6. Resolution by Alderperson Keith W. Rosenberg – Resolution To Request The Board Of Park Commissioners To Locate And Construct A Dog Park In Anderson Park. (Park – recommendation pending-deferred 60 days on 04/14/14) Pgs. 254-255
- I.7. Resolution by Alderperson David F. Bogdala; Co-Sponsors: Alderperson G. John Ruffolo, Alderperson Steve Bostrom – Resolution To Stop Further Progress of the Fire Station #4 Renovations Pending Review of the Repairs Necessary to Ensure the Safety of Fire Station #5. (PSW – deny- Ayes 3, Noes 0; Fin. - recommendation pending) Pgs. 256-257
- I.8. Resolution by the Mayor – Resolution To Adopt a Project Plan Amendment for Tax Incremental District #16, (City of Kenosha, Wisconsin, Under Section 66.1105 (4)(h)1., Wisconsin Statutes). (District #16) (CP - Ayes 6, Noes 0) Pgs. 258-284
- I.9. Resolution by the Mayor – Resolution To approve a two-lot Certified Survey Map for property at the northeast corner of 75th Street and 125th Avenue. (Hampton Inn) (District #16) (CP – Ayes 7-Noes 0; PW – recommendation pending) Pgs. 285-291

J. APPOINTMENTS/REAPPOINTMENTS BY THE MAYOR

- J.1. Reappointment to the Museum Board for a term which expires May 1, 2017:
 - a) Lynda Bogdala (7101-96th Avenue, Kenosha)
 - b) Cameron Olson (4209-89th Street, Kenosha) Pg. 292
- J.2. Reappointment of Alderman Jan Michalski (416-71st Street, Kenosha) to the Museum Board for a term which expires May 1, 2016. Pg. 293

- J.3. Reappointment of Jessica Olson (4209-89th Street, Kenosha) to the City Plan Commission for a term which expires May 1, 2016. Pg. 294
- J.4. Reappointment of Peter Sinsky (3430-16th Place, Kenosha) to the Board of Housing Appeals/Board of Zoning Appeals for a term which expires May 1, 2017. Pg. 295
- J.5. Appointment of Bradley Kleba (4215-89th Street, Kenosha) to the City Plan Commission for a term which expires May 1, 2016. Pg. 296
- J.6. Appointment of Ronald Bailey (7003-7th Avenue, Kenosha) to the Ethics Board to fulfill an unexpired term which expires June 4, 2018. Pg. 297

K. PUBLIC CONSTRUCTION AND IMPROVEMENT CONTRACTS

- K.1. Award of Contract for Project 12-1424 Southport Park Trail Development (7501-2nd Avenue) to Parking Lot Maintenance Inc. (Pewaukee, Wisconsin) in the amount of \$115,000. (District #12) (Park – Ayes 3, Noes 0; PW – recommendation pending) Pg. 298
- K.2. Award of Contract for Project 14-1208 Sidewalk & Curb/Gutter Program (Citywide Locations) to A.W. Oakes & Son (Racine, Wisconsin) in the amount of \$842,000. (Sidewalk Funds Only) (All Districts) (PW & SWU - recommendations pending) Pg. 299

L. OTHER CONTRACTS AND AGREEMENTS

- L.1. Lease By and Between the City of Kenosha (a Wisconsin Municipal Corporation) and Coins Sports Bar, Inc. (a Wisconsin Corporation). (District #7) (Fin. - Ayes 6, Noes 0; PW – recommendation pending) (Deferred 04/07/14) Pgs. 300-305

M. RECOMMENDATIONS FROM THE COMMITTEE ON FINANCE

- M.1. Request from Roberto Mercadillo to Refund a Penalty Fee in the Amount of \$720.00 for a Business Occupancy Permit for Bel Air Motors at 7550 Sheridan Road (Parcel # 06-123-07-201-012). (District #12) (Fin. - recommendation pending) **HEARING Pgs. 306-312**
- M.2. Request from Denny Vauters to Refund a Penalty Fee in the Amount of \$720.00 for a Business Occupancy Permit for Blevins Insurance at 1114-56th Street (Parcel #12-223-31-436-008). (District #2) (Fin. - recommendation pending) **HEARING Pgs. 313-322**

- M.3. Disbursement #6 - \$4,153,699.47. (Fin. - recommendation pending)
Pgs. 323-356

N. RECOMMENDATIONS FROM THE COMMITTEE ON PUBLIC WORKS

- N.1. Approval of Sidewalk Rates for 2014. (PW & Fin. - recommendations pending) Pg. 357

**O. RECOMMENDATIONS FROM THE COMMITTEE ON
PUBLIC SAFETY & WELFARE**

**P. AND SUCH MATTERS AS ARE AUTHORIZED BY LAW OR REGULAR
BUSINESS**

- a. LEGISLATIVE REPORT
- b. MAYOR'S COMMENTS
- c. ALDERPERSON COMMENTS

IF YOU ARE DISABLED AND IN NEED OF ASSISTANCE,
PLEASE CALL 653-4020 BEFORE THIS MEETING
web site: www.kenosha.org

**COMMON COUNCIL
OFFICIAL PROCEEDINGS
April 7, 2014**

Keith G. Bosman, Mayor

Debra L. Salas, City Clerk

KENOSHA MUNICIPAL
BUILDING COUNCIL
CHAMBERS ROOM 200

At a meeting of the Common Council held this evening, His Honor, Mayor Keith G. Bosman presided.

The meeting was called to order at 7:04 p.m.

On roll call, the following members of the Common Council were present: Alderpersons Haugaard, Schwartz, Michalski, Ruffolo, LaMacchia, Ohnstad, Juliana, Mathewson, Rosenberg, Kennedy, Gordon, Bostrom, Wilson, Prozanski, Downing and Bogdala. Alderperson Orth was excused.

A moment of silence was observed in lieu of the invocation.

Mayor Bosman then led the Council in the Pledge of Allegiance to the American Flag.

It was moved by Alderperson LaMacchia, seconded by Alderperson Ruffolo, to approve the minutes of the meeting held March 3, 2014.

Motion carried unanimously.

Eight citizens spoke during Citizen's Comments: Virginia Hoekstra, Diana Kanecki, Tammy Conforti, Tony Ruffalo, Michael Wilkerson, Joyce Pavlina, Pamela Gibson and Bob Waldron.

A. REFERRALS

TO THE COMMITTEE ON FINANCE

A.1. By the Mayor - To Adopt a Project Plan Amendment for Tax Incremental District #16, City of Kenosha, Wisconsin, (Under Section 66.1105 (4)(h)1., Wisconsin Statutes). (District #16) (Also referred to City Plan Commission)

TO THE PUBLIC WORKS COMMITTEE

A.2. Resolution By the Mayor - To approve a Two-Lot Certified Survey Map for property at the northeast corner of 75th Street and 125th Avenue. (Hampton Inn) (District #16) (Also referred to City Plan)

TO THE CITY PLAN COMMISSION

A.3. By the City Plan Commission - To Create Subsection 18.02 bb. (of the Zoning Ordinance) to Amend the Land Use Plan Map for the City of Kenosha: 2035.

A.4. By the Mayor - To Rezone property at 6201-14th Avenue from B-2 Community Business District to IP Institutional Park District (in conformance with Section 10.02 of the Zoning Ordinance). (St. Vincent DePaul) (District #3)

A.3.A.5. Conditional Use Permit for a 93-room hotel to be located at 7300-125th Avenue. (Hampton Inn) (District #16)

B. COMMUNICATIONS,

PETITIONS, REPORTS

OF DEPARTMENTS

B.1. It was moved by Alderperson Downing, seconded by Alderperson LaMacchia, to approve:

a. 40 applications for Operator's (Bartender's) licenses, per list on file in the office of the City Clerk.

b. 1 transfer of agent status of Beer and/or Liquor license, per list on file in the office of the City Clerk.

c. 3 applications for special Class "B" Beer and/or "Class B" Wine licenses per list on file in the office of the City Clerk.

d. 2 applications for Taxi Driver's licenses per list on file in the office of the City Clerk.

On a voice vote, motion carried.

B.2. It was moved by Alderperson Juliana, seconded by Alderperson LaMacchia, to receive and file 2014 Neighborhood Inspection Program (NIP) Operating Plan.

On a voice vote, motion carried.

C. RECOMMENDATIONS FROM THE COMMITTEE ON LICENSING/PERMITS

C.1. It was moved by Alderperson Kennedy, seconded by Alderperson Bostrom, to approve applications for new Operator's (Bartender's) licenses subject to:

20 demerit points:

a. Alisha Neely

b. Ryan Zolper

-30 demerit points:

c. Rachel Gauss

-50 demerit points:

d. Sean Bringsosen

-60 demerit points:

e. Alexandra Shwaiko

A hearing was held. Applicant b. appeared.

On a voice vote, motion carried.

C.2. It was moved by Alderperson Kennedy, seconded by Alderperson Downing, to approve applications for new Operator's (Bartender's) licenses subject to:

-0 demerit points:

a. Vincent Frederick

b. Rita Walters

- 25 demerit points:

c. Mukam Murat

- 40 demerit points:

d. Robert Menarik

e. Matthew Boylan

- 45 demerit points:

f. Robert Mitchell

- 65 demerit points:

g. Jamie Schafer

h. Maribel Castro Ramos

**COMMON COUNCIL
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April 7, 2014**

Keith G. Bosman, Mayor

Debra L. Salas, City Clerk

i. Ryan Nelson

A hearing was held. Applicant d. appeared.

On a voice vote, motion carried.

C.3. It was moved by Alderperson Kennedy, seconded by Alderperson Wilson to deny applications for new Operator's (Bartender's) licenses based on material police record and false application:

a. Tamara Nickel

b. Jeremie Berry

c. Nicholas Mercier

A hearing was held. The applicants did not appear.

On a voice vote, motion carried.

C.4. It was moved by Alderperson Kennedy, seconded by Alderperson Juliana, to deny applications for new Operator's (Bartender's) licenses based on material police record:

a. Jacy Kennedy

b. Manuel Ortiz

A hearing was held. The applicants did not appear.

On a voice vote, motion carried.

C.5. It was moved by Alderperson Downing, seconded by Alderperson Ohnstad, to deny applications for new Operator's (Bartender's) licenses based on material police record and false application:

a. Dontrell Langston

b. Elizabeth Bohannon

c. William Greathouse

d. Stephanie Sikorski

C.5.1. It was moved by Alderperson Kennedy, seconded by Alderperson Mathewson, to separate b.

On a voice vote, motion carried.

C.5.2. It was moved by Alderperson Kennedy, seconded by Alderperson Mathewson, to deny a., c. and d.

On a voice vote, motion carried.

C.5.3. It was moved by Alderperson Kennedy, seconded by Alderperson Mathewson, to send b. back to the Licensing/Permit Committee.

A hearing was held. Applicant b. appeared.

On a voice vote, motion carried.

C.6. It was moved by Alderperson Downing, seconded by Alderperson Juliana, to approve renewal application of Mohammed Museitif for a Taxi Driver's License subject to 20 demerit points.

A hearing was held. The applicant did not appear.

On a voice vote, motion carried.

C.7. It was moved by Alderperson Downing, seconded by Alderperson LaMacchia, to approve application of N&S Source, Inc., Nihal Singh, Agent, for a "Class A" Liquor License located at 6119-22nd Avenue (Uptown Pantry), subject to 25 demerit points.

A hearing was held. The applicant appeared.

On a voice vote, motion carried.

C.8. It was moved by Alderperson Schwartz, seconded by Alderperson LaMacchia, to approve application of Georgina Posada for a Class "B" Beer/"Class B" Liquor License located at 6218-22nd Avenue (Banquet Hall Luminarias), subject to 25 demerit points.

A hearing was held. The applicant and her daughter, Carol Monroy, appeared.

On a voice vote, motion carried.

C.9. It was moved by Alderperson Ohnstad, seconded by Alderperson Wilson, to approve application of The Agave Luna Azul, LLC, Jose Ochoa, Agent, for a Class "B" Beer/"Class B" Liquor License located at 2227-60th Street (The Agave Luna Azul), upon surrender of a similar license at the same location from Bombay Louie's International, Inc., with no adverse recommendations.

A hearing was held. The applicant appeared.

On a voice vote, motion carried.

C.10. It was moved by Alderperson Gordon, seconded by Alderperson LaMacchia, to approve application of The Agave Luna Azul, LLC, Jose Ochoa, Agent, for an Outdoor Extension of the Class "B" Beer/"Class B" Liquor License located at 2227-60th Street (The Agave Luna Azul), with no adverse recommendations.

A hearing was held. The applicant appeared.

On a voice vote, motion carried.

C.11. It was moved by Alderperson Downing, seconded by Alderperson Juliana, to deny application of Joshua M. Devore for a Transfer of Agent status of the Class "A" Retail Beer License located at 4924 Sheridan Road (Mobil Gas), based on material police record and false application.

A hearing was held. The applicant did not appear.

On a voice vote, motion carried.

C.12. It was moved by Alderperson Schwartz, seconded by Alderperson Gordon, to approve application of Janet Lee Fenn for a Transfer of Agent status of the Class "B" Beer/"Class B" Liquor License located at 4601-7th Avenue (Bindelli's City Zoo), subject to 0 demerit points.

A hearing was held. The applicant appeared.

On a voice vote, motion carried.

C.13. It was moved by Alderperson LaMacchia, seconded by Alderperson Ohnstad, to approve application of Janet Lee Fenn for a Transfer of Agent status of the Class "B" Beer/"Class B" Liquor License located at 2232 Roosevelt Road (Bindelli's Safari), subject to 50 demerit points.

A hearing was held. The applicant appeared.

On a voice vote, motion carried.

C.14. It was moved by Alderperson Schwartz, seconded by Alderperson LaMacchia, to approve application of Janet Lee Fenn for a Transfer of Agent status of the Class "B" Beer/"Class B" Liquor License located at 3805-22nd Avenue (Bindelli's Jungle), subject to 0 demerit points.

A hearing was held. The applicant appeared.

On a voice vote, motion carried.

C.15. It was moved by Alderperson Downing, seconded by Alderperson Juliana, to approve

**COMMON COUNCIL
OFFICIAL PROCEEDINGS
April 7, 2014**

Keith G. Bosman, Mayor

Debra L. Salas, City Clerk

applications for Probationary Cabaret Licenses with no adverse recommendations:

- a. The Agave Luna Azul, LLC (Jose Ochoa, Agent, 2227-60th Street, The Agave Luna Azul).
- b. Georgina Posada (6218-22nd Avenue, Banquet Hall Luminarias).
- c. TK Kenosha, LLC (Michael Roscioli, Agent, 7000-74th Place, Tilted Kilt).

A hearing was held. Applicant b. appeared.

On a voice vote, motion carried.

C.16. It was moved by Alderperson Mathewson, seconded by Alderperson Michalski, to approve application of Lucia Mondragon for a Yearly Public Entertainment License located at 6200-22nd Avenue (Billar La Oficina), with no adverse recommendations.

A hearing was held. The applicant did not appear.

On a voice vote, motion carried.

D. REPORTS AND RECOMMENDATIONS OF BOARDS AND COMMISSIONS

It was moved by Alderperson Michalski, seconded by Alderperson Ruffolo, to approve:

D.1. Conditional Use Permit for a multi-family residential development to be located east of 30th Avenue, north and south of 21st Street. (Sun Pointe Village)

A public hearing was held. Jonah Hetland, Development Director of Mills Enterprises, spoke.

On roll call vote, motion carried unanimously.

It was moved by Alderperson Ohnstad, seconded by Alderperson Kennedy, to approve:

D.2. Conditional Use Permit for a 40,613 s.f. airport service hangar to be located at the Kenosha Regional Airport at 9900-52nd Street. (Stein's)

A public hearing was held. Jim Cairns of Bukacek Construction, Racine, the general contractor, spoke.

On roll call vote, motion carried unanimously.

It was moved by Alderperson LaMacchia, seconded by Alderperson Schwartz, to approve:

D.3. Conditional Use Permit Amendment for a 70-unit apartment complex to be located at the southeast corner of 70th Avenue and 75th Place. (Sagewood Apartments)

A public hearing was held. The applicant, William Bodner, Bodner Property Management LLC, Mequon, spoke.

On roll call vote, motion carried unanimously.

It was moved by Alderperson Downing, seconded by Alderperson Rosenberg, to approve:

D.4. Request to Amend the Conditional Use Permit for Lowe's Home Improvement Store at 6500 Green Bay Road to allow for an outdoor display area. (Lowe's)

On roll call vote, motion carried (10-6) with Alderpersons Kennedy, Wilson, Prozanski, Schwartz, Michalski and Ruffolo voting nay.

It was moved by Alderperson Downing, seconded by Alderperson Ruffolo, to approve:

D.5. Proposed Historical Artifact listing - Reuther Central High School Murals, 913-57th Street.

A public hearing was held. No one spoke.

On a voice vote, motion carried.

E. ORDINANCES 1ST READING

F. ZONING ORDINANCES 1ST READING

G. ORDINANCES 2ND READING

Full text of ordinances are on file in the office of the City Clerk.

G.1. It was moved by Alderperson Schwartz, seconded by Alderperson Kennedy, to defer Ordinance By Alderperson Steve G. Bostrom - To Repeal and Recreate Subsection 30.10 (Of the Code of General Ordinances) Regarding Ethics Complaints for two weeks.

A public hearing was held. No one spoke for or against said ordinance.

Alderperson Juliana indicated that he would be abstaining on the vote.

On a voice vote, motion carried.

At this time, Alderpersons Rosenberg and Prozanski left the meeting.

G.2. It was moved by Alderperson Ohnstad, seconded by Alderperson Juliana, to adopt Ordinance 15-14.

A public hearing was held. No one spoke for or against said ordinance.

On roll call vote, motion carried unanimously and said ordinance was thereupon adopted:

Ordinance 15-14

By Alderperson Chris Schwartz - To Repeal and Recreate Subsection 10.075 E.1.a.; To Repeal 10.075 E.1.b.; To Reletter Subsections 10.075 E.1.c.-d.; To Repeal and Recreate Subsections 10.075 E.2.a. and E.2.b.; To Reletter 10.075 E.2.a.-b.; To Create Subsection 10.075 E.2.a.; and To Repeal And Recreate Subsection 10.075 J. (of the Code of General Ordinances) Regarding Outdoor Area Restrictions.

G.3. It was moved by Alderperson Wilson, seconded by Alderperson LaMacchia, to adopt Ordinance 16-14.

A public hearing was held. No one spoke for or against said ordinance.

On roll call vote, motion carried unanimously and said ordinance was thereupon adopted:

Ordinance 16-14

By Alderperson Chris Schwartz - To Repeal And Recreate Subsection 5.046 J.3.e.; To Reletter Subsections 5.046 J.3.f.-p.; And To Create Subsection 5.046 J.3.f. (Of The Code Of General Ordinances) Regarding Outdoor Dining Operational Regulations.

G.4. It was moved by Alderperson Ruffolo, seconded by Alderperson Ohnstad, to adopt Ordinance 17-14.

A public hearing was held. No one spoke for or against said ordinance.

On roll call vote, motion carried unanimously and said ordinance was thereupon adopted:

Ordinance 17-14

By Alderperson Chris Schwartz - To Reletter Subsections 10.076 J.3.e.-o.; And To Create Subsections 10.076 J.3.e. And J.3.f. (Of The Code Of General Ordinances Regarding Outdoor Cafe Operational Regulations.

Alderperson Rosenberg returned to the meeting.

G.5. It was moved by Alderperson Wilson, seconded by Alderperson LaMacchia, to adopt Ordinance 18-14.

A public hearing was held. No one spoke for or against said ordinance.

On roll call vote, motion carried unanimously and said ordinance was thereupon adopted:

Ordinance 18-14

**COMMON COUNCIL
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April 7, 2014**

Keith G. Bosman, Mayor

Debra L. Salas, City Clerk

By the Mayor - To Repeal And Recreate Subsections 1.055 6.b. and 1.055 7.b. (Of The Code Of General Ordinances For The City Of Kenosha) Regarding Municipal Court Procedures (In Accordance With Wisconsin Statutes).
Alderson Prozanski returned to the meeting.

H. ZONING ORDINANCES 2ND READING

H.1. It was moved by Alderson LaMacchia, seconded by Alderson Bostrom, to adopt Zoning Ordinance 19-14.

A public hearing was held. No one spoke for or against said ordinance.

On roll call vote, motion carried unanimously and said ordinance was thereupon adopted:

Zoning Ordinance 19-14

By the Mayor - Attachment and Zoning District Classification Ordinance (Under Section 66.0307, Wisconsin Statutes), City of Kenosha/Town of Somers State Approved Cooperative Plan for Parcels #80-4-222-301-0300, #80-4-222-302-0110, #80-4-222-302-0120 and #80-4-222-302-0130 at 11222, 11310, 11400 and 11410-38th Street. (KTR WIS III, LLC)

H.2. It was moved by Alderson Haugaard, seconded by Alderson LaMacchia, to adopt Zoning Ordinance 20-14.

A public hearing was held. No one spoke for or against said ordinance.

On roll call vote, motion carried unanimously and said ordinance was thereupon adopted:

Zoning Ordinance 20-14

By the Mayor - to Rezone properties at 11222, 11310, 11400 and 11410 38th Street from A-2 Agricultural Land Holding District to M-2 Heavy Manufacturing District (in conformance with Section 10.02 of the Zoning Ordinance). (KTR WIS III, LLC)

I. RESOLUTIONS

Full text of resolutions are on file in the office of the City Clerk.

I.1. It was moved by Alderson Kennedy, seconded by Alderson Schwartz, to approve Resolution 32-14.

On roll call vote, motion carried unanimously and said resolution was thereupon approved:

Resolution 32-14

By the Mayor - Resolution Awarding the Sale of \$5,300,000 Taxable General Obligation Promissory Notes, Series 2014A. I.2.-I.4. It was moved by Alderson Kennedy, seconded by Alderson Wilson, to approve Resolutions 33-14 through 35-14.

On roll call vote, motion carried unanimously and said resolutions were thereupon approved:

Resolution 33-14

By the Mayor - Resolution Authorizing the Issuance and Sale of \$4,275,000 Taxable General Obligation Promissory Notes, Series 2014B.

Resolution 34-14

By the Committee on Public Works - Preliminary Resolution Declaring Intent to Levy Assessments for Hazardous Sidewalk and/or Driveway Approach Only for Project 14-1208 Sidewalk & Curb/Gutter Program.

Resolution 35-14

By the Committee on Public Safety and Welfare - Resolution

To Designate Both Sides of 85th Street from 25th Avenue to 30th Avenue as "No Parking Standing or Stopping 7:00 AM To 4:30 PM School Days.

I.5. It was moved by Alderson Mathewson, seconded by Alderson Bostrom, to approve Resolution by Alderson Kevin Mathewson; Co-Sponsors: Alderson G. John Ruffolo, David Bogdala, Steve Bostrom - Resolution To Urge the City of Kenosha Police and Fire Commission to Hold a Hearing on the Recent Allegations Made Against the Fire Chief.

I.5.1. It was moved by Alderson LaMacchia, seconded by Alderson Juliana, to defer for two weeks.

On a voice vote, motion carried.

I.6. It was moved by Alderson Michalski, seconded by Alderson Bogdala, to approve Resolution 36-14.

A public hearing was held. No one spoke for or against said resolution.

On roll call vote, motion carried unanimously and said resolution was thereupon approved:

Resolution 36-14

By the Mayor - Resolution to Amend the Official Map for the City of Kenosha, Wisconsin, to include the Attachment of various parcels (Parcel 80-4-222-301-0300, #80-4-222-302-0110, #80-4-222-302-0120 and #80-4-222-302-0130 located at 11222, 11310, 11400 and 11410 38th Street) in the Town of Somers, Kenosha County, Wisconsin, in accordance with the approved City of Kenosha/Town of Somers Cooperative Plan (under Section 66.0307 of the Wisconsin Statutes). (KTR WIS III, LLC)

At this time, Aldersons Juliana and Downing left the meeting.

I.7.-I.8. It was moved by Alderson Kennedy, seconded by Alderson Gordon, to approve Resolution 37-14 through 38-14.

On roll call vote, motion carried unanimously and said resolutions were thereupon approved:

Resolution 37-14

By the Mayor - To Support the Kenosha Commission On The Arts Awards Recognition Program.

Resolution 38-14

By the Mayor - Resolution To Approve a four-lot Certified Survey Map to be located at 3803 and 3809-7th Avenue. (Estes)

J. APPOINTMENTS/

REAPPOINTMENTS BY THE MAYOR

It was moved by Alderson Kennedy, seconded by Alderson Gordon, to approve:

J.1. Appointment of Douglas W. Ball (1326-85th Street, Kenosha) to the Board of Review for a term which expires April 15, 2019.

J.2. Appointment of Philip Wattles (11102-4th Avenue, Pleasant Prairie) to the Mayor's Youth Commission for a term which expires November 1, 2015.

On roll call vote, motion carried unanimously.

K. PUBLIC CONSTRUCTION AND IMPROVEMENT CONTRACTS

**COMMON COUNCIL
OFFICIAL PROCEEDINGS
April 7, 2014**

Keith G. Bosman, Mayor

Debra L. Salas, City Clerk

L. OTHER CONTRACTS AND AGREEMENTS

It was moved by Alderperson Kennedy, seconded by Alderperson Gordon, to approve:

L.1. Permanent Storm Sewer and Detention Pond Easement & Agreement By and Between First Park Kenosha Owners' Assn, Inc. and the City of Kenosha, Wisconsin.

L.2. Stormwater Management Practices Maintenance Agreement for Stormwater Maintenance Facilities By and Between the City of Kenosha, Wisconsin and First Park Kenosha Owners' Assn, Inc. L.3. Permanent Storm Sewer Easement and Agreement By and Between FR-Kenosha, LLC and the City of Kenosha.

L.4. Stormwater Management Practices Maintenance Agreement for Stormwater Maintenance Facilities between the City of Kenosha, Wisconsin and WAB Holdings 70, LLC.

L.5. Permanent Storm Sewer and Detention Pond Easement & Agreement between WAB Holdings 70, LLC and the City of Kenosha, Wisconsin.

L.6. Development Agreement between the City of Kenosha and WAB Holdings 70, LLC regarding property at the southeast corner of 70th Avenue and 75th Place. (Sagewood Apartments)

On roll call vote, motion carried unanimously.

It was moved by Alderperson Schwartz, seconded by Alderperson LaMacchia, to approve:

L.7. Amendment to the 2014 Home Program Description.

A public hearing was held. No one spoke for or against the amendment.

On roll call vote, motion carried (13-1) with Alderperson Bogdala voting nay.

It was moved by Alderperson LaMacchia, seconded by Alderperson Ohnstad, to approve:

L.8. Community Housing Development Organization Agreement Through the HOME Investment Partnerships (HOME) Program By and Between the City of Kenosha, Wisconsin and Habitat for Humanity of Kenosha, Inc.

A public hearing was held. Joyce Pavlina, President of Habitat for Humanity of Kenosha, Inc., spoke.

On roll call vote, motion carried (13-1) with Alderperson Bogdala voting nay.

It was moved by Alderperson Kennedy, seconded by Alderperson LaMacchia, to approve:

L.9. Clinical Affiliation Agreement for Health Occupations by and between the City (of Kenosha) and Gateway Technical College.

On roll call vote, motion carried unanimously.

It was moved by Alderperson Michalski, seconded by Alderperson Ruffolo, to defer for two weeks:

L.10. Lease By and Between the City of Kenosha (a Wisconsin Municipal Corporation) and Coins Sports Bar, Inc. (a Wisconsin Corporation).

On a voice vote, motion carried.

Alderperson Juliana returned to the meeting.

It was moved by Alderperson LaMacchia, seconded by Alderperson Schwartz, to approve:

L.11. Lease Agreement between City of Kenosha, Wisconsin and Stein's Aircraft Services, LLC #4222.

L.12. Agreement Respecting the Employment of School Crossing Guards By and Between The City of Kenosha, Wisconsin, A Wisconsin Municipal Corporation and Kenosha Unified School District, No. 1, A Wisconsin Common School District.

On roll call vote, motion carried unanimously.

M. RECOMMENDATIONS FROM THE COMMITTEE ON FINANCE

M.1. It was moved by Alderperson Wilson, seconded by Alderperson Michalski to deny:

Request from Brad Lorenz to Refund Penalty Fees in the Total Amount of \$699.12 for Permits Associated with a Raze at 8622-60th Street (Parcel #08-222-33-301-021).

A hearing was held. No one spoke.

On roll call vote, motion carried (14-1) with Alderperson Juliana voting nay.

It was moved by Alderperson Michalski, seconded by Alderperson LaMacchia to deny:

M.2. Request from Sandra Sloan to Refund a Penalty Fee in the Amount of \$720.00 for a Business Occupancy Permit for Concept Sales Midwest at 625- 57th Street, Suite 300 (Parcel #12-223-31-479-003).

On roll call vote, motion carried unanimously.

It was moved by Alderperson Kennedy, seconded by Alderperson Gordon to approve:

M.3. Disbursement Record #4 - \$29,212,139.71.

M.4. Disbursement Record #5 - \$6,475,854.26.

On roll call vote, motion carried unanimously.

N. RECOMMENDATIONS FROM THE COMMITTEE ON PUBLIC WORKS

It was moved by Alderperson Kennedy, seconded by Alderperson Gordon, to approve Final Acceptance of:

N.1. Acceptance of Project 12-1027 Epoxy Pavement Markings (Citywide Locations) which has been satisfactorily completed by Century Fence Company (Pewaukee, Wisconsin). The final amount of the contract is \$65,500.

On roll call vote, motion carried unanimously.

**O. RECOMMENDATIONS FROM THE COMMITTEE ON
PUBLIC SAFETY & WELFARE**

P. AND SUCH MATTERS S ARE AUTHORIZED BY LAW OR REGULAR BUSINESS

P.1. It was moved by Alderperson Kennedy, seconded by Alderperson Ohnstad, to concur with the recommendation of the Finance Committee to deny the Claim of Albert J. Lucci, Sr.

On roll call vote, motion carried unanimously.

P.2. It was moved by Alderperson Michalski, seconded by Alderperson Schwartz, to concur with the recommendation of the Finance Committee to approve Claim of T. J. Howard.

A point of order was called out by Alderperson Prozanski. He indicated that the clerk had misread the votes of the Finance Committee – the Committee approved Item P.1. and denied Item P.2.

It was moved by Alderperson Kennedy, seconded by Alderperson Juliana, to reconsider Item P.1.

On a voice vote, motion carried.

It was moved by Alderperson Ohnstad, seconded by Alderperson to approve Item P.1.

On roll call vote, motion carried unanimously.

Item P.2. was read again.

**COMMON COUNCIL
OFFICIAL PROCEEDINGS
April 7, 2014**

Keith G. Bosman, Mayor

Debra L. Salas, City Clerk

It was moved by Alderperson Wilson, seconded by Alderperson LaMacchia, to deny.

On roll call vote, motion carried unanimously.

P.3. It was moved by Alderperson Mathewson, seconded by Alderperson Wilson, to concur with the recommendation of the Finance Committee to settle the Claim of Michael D Richardson II.

On roll call vote, motion carried unanimously.

ADJOURNMENT

There being no further business to come before the Common Council, it was moved by Alderperson Wilson, seconded by Alderperson Kennedy, to adjourn at 8:56 pm.

On a voice vote, motion carried.

Approved:

**KEITH G. BOSMAN
MAYOR**

Attest:

**DEBRA L. SALAS
CITY CLERK/TREASURER**

B.1.	April 21, 2014			NO ADVERSE	
a.	BARTENDERS				RENEWAL
	First Name	Last Name	Address	Business Name	
1	Amanda	Dandurand	5512 60 th St. #109	Kwik Trip	No
2	Julie	Erickson	2222 Lincoln Rd	Piggly Wiggly	No
3	Mathieu	Evans	7820 County Line Rd	Good Garden Cafe	No
4	Dallas	Kavina	7409 98 th Ave Unit I		No
5	Melissa	Koga-Cowart	5502 60 th St #208	Sportz Plaza Mobil	No
6	Ryan	Knudsen	8532 34 th Ave	Piggly Wiggly	No
7	Ronald	Krok	2815 27 th St	Rumor's Lounge	No
8	Edward	LeMay	7723 33 rd Ave	Art Bar	No
9	Heather	Marescalco	7748 10 th Ave		No
10	David	Murphy	1009 43 rd St	Mobil	No
11	Jesse	Nelson	8553 48 th Ave	Walgreens	No
12	Jessenia	Pagan-Miller	8011 60 th Ave	Walgreens	No
13	Morgan	Pascual	9047 17 th Ave #202	Lotus	No
14	Beth	Rockwell	2517 71st St	Kenosha Kingfish	No
15	Lee	Rockwell	2517 71 st St	Kenosha Kingfish	No
16	Betzabe	Rueda	5227 13 th Ave #1101		No
17	Kathryn	Sangbusch	9321 66 th St		No
18	Benjamin	Saunders	7623 39 th Ave	Festival Foods	No
	TOTAL =	18			
b.	TRANSFER OF AGENT				
	First Name	Last Name	Address	Business Name	
1	Carly	Adams	7727 37 th Ave	CVS #8774~ 2207 80 th St	
2	Manal	Yusuf	3123 55 th Ct #58	Quality Grocery ~ 1820 50 th St	
	TOTAL =	2			
c.	SPECIAL CLASS "B"				
	Event Date	Organization Name	Location of Event	Event	
1	07/11-13/14	Kenosha Rotary West	Lincoln Park Ball Diamond	Kenosha Rotary West Softball Tournament	
	SPECIAL CLASS "Class B"				
	Event Date	Organization Name	Location of Event	Event	
2	05/17/14	MGV Harmonia – Kenosha	7207 14 th Ave	Spring Concert & Dance	
3	06/07/14	Brother 2 Brother	51 st Place, between 6 th Ave & 7 th Ave	Brother 2 Brother Burger Block Bash	
4	08/16/14	Mary Lou & Arthur Mahone Foundation	Celebration Place	Harbor Park Jazz & Blues Fest	
	TOTAL =	4			
d	TAXI DRIVERS				
	First Name	Last Name	Address	Business Name	
1	Robert	Mason	2608 Johnson Rd	Keno Cabs, Inc.	Yes
2	Charles	Ulrich	11214 11 th Ave	Keno Cabs, Inc.	Yes
3	Michael	Werwie	514 57 th St	Keno Cabs, Inc.	Yes
	TOTAL =	3			

Planning & Zoning
Community Development

262.653.4030
262.653.4045 FAX
Room 308



Building Inspections
Property Maintenance

262.653.4263
262.653.4254 FAX
Room 100

DEPARTMENT OF COMMUNITY DEVELOPMENT & INSPECTIONS

Municipal Building · 625 52nd Street · Kenosha, WI 53140
www.kenosha.org

Jeffrey B. Labahn, Director

Richard Schroeder, Deputy Director

TO: Keith G. Bosman, Mayor
Members of the City of Kenosha Common Council

FROM: Brian Wilke, Development Coordinator BW
Department of Community Development and Inspections

SUBJECT: Special Exception Request from Karen McKenzie (Aurora Health Care) for Relief from Sign Height Restrictions to Install Directional Signs at 6811 & 6815 118th Avenue (Parcel #03-122-06-325-011) (District 16)

DATE: April 16, 2014

Section 15.07 B of the Code of General Ordinances provides the City of Kenosha Common Council with the capability to grant Special Exceptions for signs based on the following criteria:

Special Exceptions. Upon application for a Special Exception, the Common Council may, after investigation and public hearing, grant a Special Exception from the terms of this Ordinance where such Special Exception will do substantial justice.

Aurora received approval to build a new Cancer Treatment Center on the property at 6811 118th Avenue on March 18, 2013. Construction commenced shortly thereafter and is expected to be completed by the end of April, 2014.

On March 10, 2014, Aurora submitted sign permit applications for three types of signs on the site: wall signs, a monument sign, and directional signs. The wall signs met the criteria of Chapter 15 of the Code of General Ordinances and were approved. The dimensions for the monument sign exceeded the height and size allowed per code. Through negotiations with staff, Aurora reduced the size and height of the monument sign so the sign would comply with City code. That sign was then approved.

The signs of concern are the directional signs, particularly in two (2) areas. While directional signs are exempt from the requirement of obtaining permits, they must comply with certain standards. The standards require that the sign:

- 1) The sign(s) can be no more than three feet (3') in height
- 2) The sign face area(s) can be no more than eight square feet (8sf) in area (includes only the logo and writing)
- 3) The sign(s) may not contain a commercial message visible from the public right-of-way

The directional sign applications submitted by Aurora showed the proposed signs to be five feet (5') in height; and, one of the signs was adjacent to the 118th Avenue right-of-way where the commercial message would be legible from the public right-of-way. The other two (2) signs also include a commercial message, but are interior to the site and their messages would not be visible from the public right-of-way.

April 21, 2014 Pg. 8

Special Exception - Sign
6811 118th Avenue
Page 2

Applicant Response

Aurora has requested an additional two feet (2') for each directional sign for a maximum height of five feet (5'). They have also asked for the commercial message to be included on the sign adjacent to 118th Avenue. They have argued that a directional sign only three feet (3') in height can be covered under snow for most of the winter and would not be visible or effective.

Staff Recommendation:

Since Aurora has already reduced their monument sign height and size to comply with City Ordinances, the impact of the higher directional signs will be minimal, and the site will contain multiple, legal commercial messages visible from the right-of-way, Staff recommends approval of the Special Exception requests for the sign height, as long as the logo and text on the sign face do not exceed eight square feet (8sf) in area per Chapter 15 of the Code of General Ordinances.

BRW/saz
Attachments

CITY OF KENOSHA
COMMUNITY DEVELOPMENT AND INSPECTIONS

CHAPTER 15 - SIGN ORDINANCE
APPEALS / SPECIAL EXCEPTIONS TO COMMON COUNCIL
APPLICATION FORM

625 52nd Street, Room 100 Kenosha, WI 53140 Telephone: 262.653.4263

OWNER KENOSHA HEALTHCARE PHONE NUMBER 414-276-4632
PROPERTIES, LLC
ADDRESS 1110 N. OLD WORLD THIRD ST. SUITE 610,
MILWAUKEE, WI

If the applicant is other than the property owner, a notarized signature of the property owner authorizing the applicant to act on his/her behalf is required

APPLICANT AUREORA HEALTH CARE MAKEN MCKENZIE PHONE NUMBER 414-649-7745
ADDRESS 2900 W. OKLAHOMA AVE. MILWAUKEE, WI 53215
ADDRESS OF SPECIAL EXCEPTION REQUEST 6811 & 6815 118TH AVE
(If the property is undeveloped, a parcel number is required)

SPECIFIC SPECIAL EXCEPTION USE BEING REQUESTED SPECIAL EXCEPTION
OF AREA & HEIGHT OF SITE DIRECTIONAL
SIGNS.

Attach the necessary supplemental forms as defined in the
"SPECIAL EXCEPTION APPLICATION INSTRUCTIONS"

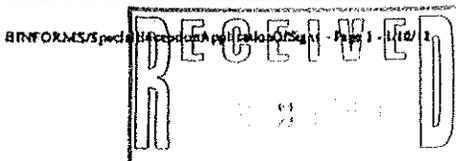
Documentation: On a separate sheet(s) of paper, a full justification of your request is required.

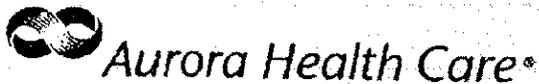
I hereby authorize City of Kenosha's staff and elected officials to inspect the premises of the above-described property. I hereby affirm that all statements herein and attached hereto are true and correct to the best of my knowledge and belief.

[Signature] DATE 3-19-14
SIGNATURE (Owner or Agent for Owner) James R. Reinhold, Kenosha Healthcare Properties, LLC

FOR OFFICIAL USE ONLY

Date Filed _____ Receipt Number _____





March 20, 2014

City of Kenosha
Community Development and Inspections
Attn: Brian Wilke
625 52nd Street, Room 100
Kenosha, WI 53140

RE: Aurora Health Center
6811-6815 118th Avenue
Application for Special Exception
Chapter 15 - Sign Ordinance

Dear Brian:

Enclosed please find the Application for Special Exception to the Sign Ordinance for Aurora Health Care's project at 6811-6815 118th Avenue. Aurora seeks this variance with the approval and support of Kenosha Healthcare Properties, LLC, the property owner.

Our justification for seeking the variance can be summarized as follows:

- Height - Because these signs are wayfinding / directional in nature, the requested height of 5 feet will allow for improved visibility for drivers and will more closely match the standard 5 to 7 foot height of most nationally recognized traffic control signs. Given that all three of the directional signs included in this application will be adjacent to driveways / roadways, a height restriction of 3 feet creates the possibility that the signs will be obscured for extended periods of time during the winter months due to drifting and snowplowing. This potential safety hazard can be addressed by increasing the height to the requested 5 feet.
- Logo - Aurora Health Care's corporate logo will appear at the top of the directional signs, just above the directional copy (note - the name itself is not a logo, but rather the name of this particular building - only the infinity symbol constitutes a logo). No variance is necessary for two of the signs (Monuments 2 & 3) because the logo is not "visible from off the lot." The sign at the Northwest corner of the parcel (Monument 1) will require a variance. The variance should be granted because the logo (defined as the infinity symbol) is incidental to the overall message of the sign and occupies < 1% of the total area of the sign and only 5% of the text area of the sign. Additionally, including the logo on all three signs allows for consistency and can help improve wayfinding.
- Area - The shape of the signs is an important branding element for Aurora, one which Aurora would like to continue. This size and style of directional sign is in use at the Aurora Medical Center a few miles from this site. The requested signs have been reduced in size from Aurora's preferred directional sign standards (as used at other medical centers such as Summit, Two Rivers, Green Bay, and Grafton) to better meet the City of Kenosha's requirements. While the area of the overall sign may exceed the code's limits, the area of the portion of the sign that includes text is only 5.5 square feet, which is 2.5 square feet below the 8 square foot allowance.



Aurora Health Care®

- Purpose – While all directional signs are important, none more so than those at medical facilities where the viewers are often sick or in stressful situations, making user friendly directional signage of greater importance.

We greatly appreciate your consideration, as well as the consideration of the Common Council, of this application for special exception. Please feel free to contact me at 414-649-7745 with any questions that you may have.

Sincerely,

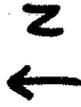
Karen McKenzie
Director of Facilities Planning & Design
Aurora Health Care

CITY OF KENOSHA
DEPARTMENT OF COMMUNITY DEVELOPMENT & INSPECTIONS
625-52ND STREET, ROOM 100 KENOSHA, WI 53140

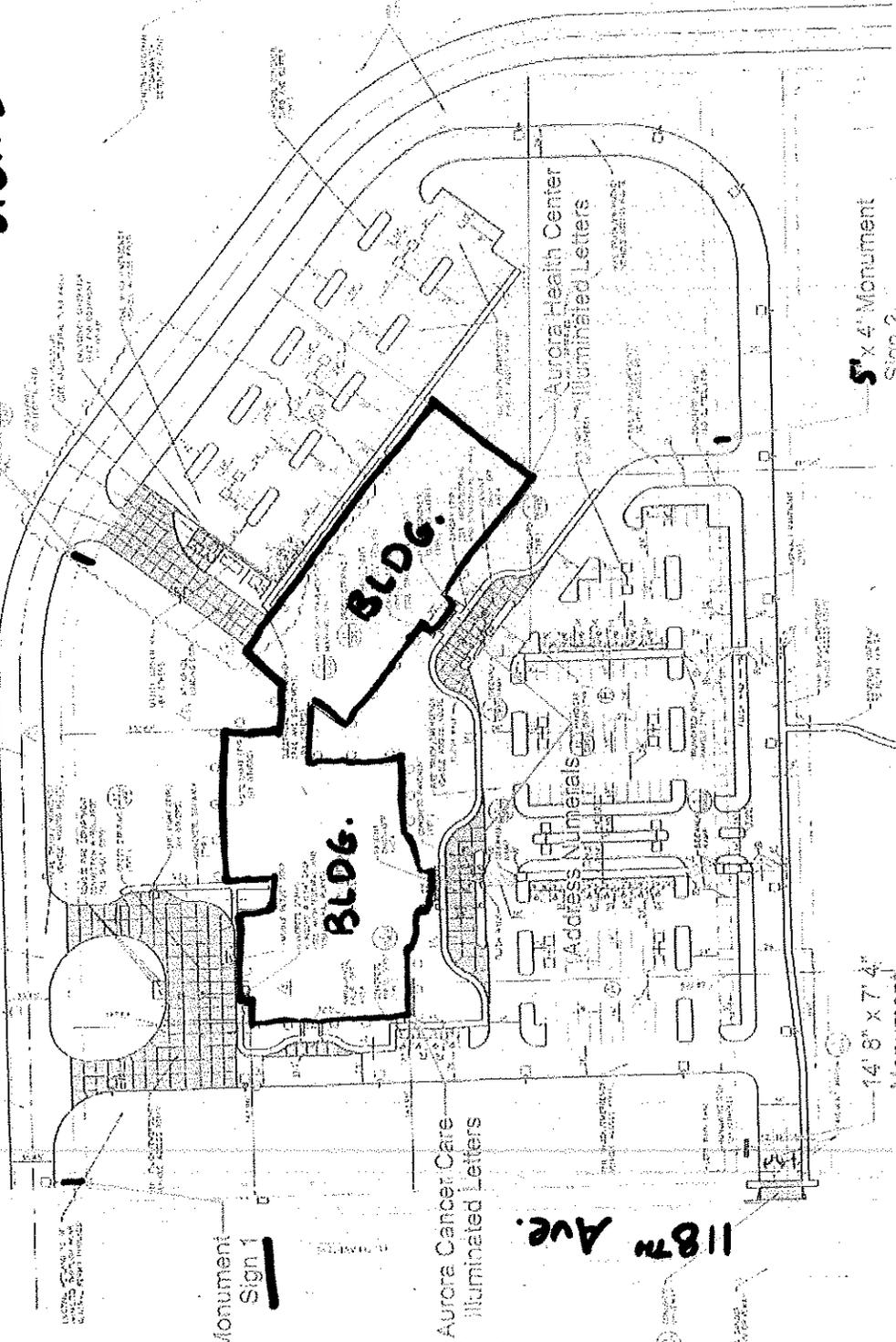
RECEIVED FROM: KAMINSKI, MATTHEW R.
DATE RECEIVED: MARCH 20, 2014
AMOUNT RECEIVED: \$125.00
DONOR ID.: HGAILR

EIPT TYPE: MISCELLANEOUS
PAYMENT METHOD: CHECK NO.: 1858

DESCRIPTION	AMOUNT
SIGN APPEAL: AURORA HEALTHCARE 6811 118TH AVENUE	\$125.00



39" x 5' Monument
SIGN 3



5' x 4' Monument
Sign 1

Aurora Cancer Care
Illuminated Letters

118th Ave.

14' 8" x 7' 4"
Monument

5' x 4' Monument
Sign 2

SOUTH WATER SIGNS 901 W. Church Aurora, IL 60112 Tel: 630.593.4809 Fax: 630.593.4515	CLIENT Aurora Health Care	PROJECT NAME New Site Signs 6911-15 118th Ave, Menomonee, WI	DATE 07.08.10	SHEET NO. 07.09.13 10.07.13 02.11.14
	PROJECT ADDRESS 6911-15 118th Ave, Menomonee, WI	PROJECT NUMBER 70946618	DATE 07.08.10	SHEET NO. 07.09.13 10.07.13 02.11.14

STEINHAFELS

Sign 2

Side B

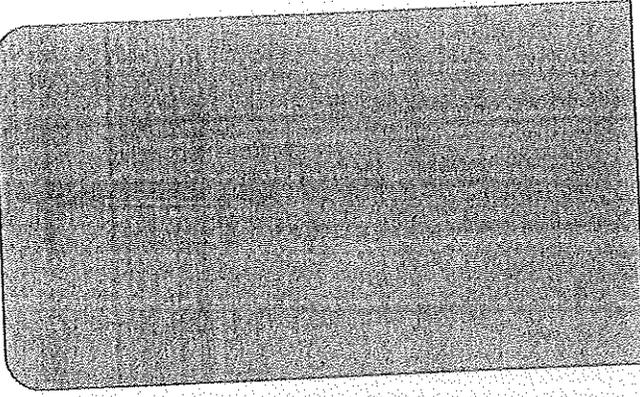
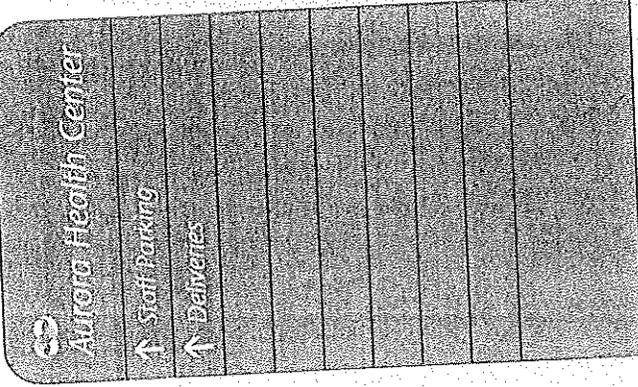
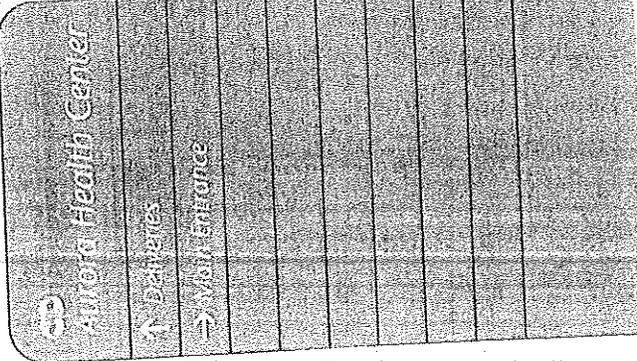
Side A

Sign 1

Side B

Side A

48"



4" Deep Fabricated non-illuminated monument with 6" radius corners.
 Single pole mounted with concrete pier in dirt, min 42" Deep foundation

Changeable face mounted panels with painted counter sunk screws
 All panels with applied white vinyl graphics (confirm matte or reflective)

Non-Illuminated Directional Monument

3/4" = 1'

SOUTH WATER

SIGNS

PH 262.335.4200
 FAX 262.335.4210

301 - Chicago
 Evanston, IL 60201

PROJECT Aurora Health Care 3811-45 112th Ave, Kenosha, WI 10/18/13	DATE 07.09.13	TRACK # 7021812
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PROJECT Aurora Health Care 3811-45 112th Ave, Kenosha, WI 10/18/13	DATE 07.09.13 07.18.13 10.07.13
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Room 308



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Room 100

DEPARTMENT OF COMMUNITY DEVELOPMENT & INSPECTIONS

Municipal Building · 625 52nd Street · Kenosha, WI 53140
www.kenosha.org

Jeffrey B. Labahn, Director

Richard Schroeder, Deputy Director

April 16, 2014

Karen McKenzie
Aurora Health Care
2900 W. Oklahoma Avenue
Milwaukee, WI 53215

Dear Ms. McKenzie:

Subject: Special Exception Request for Relief from Sign Area and Height Restrictions to Install Directional Signs at 6811 & 6815 118th Avenue

The City of Kenosha Common Council will review your above-referenced request at their regular meeting to be held on Monday, April 21, 2014, at 7:00 p.m in Room 200 of the Municipal Building.

If you have any questions, please contact me at 262.653.4257 or szampanti@kenosha.org.

Sincerely,

Department of Community
Development and Inspections

Sue Zampanti
Sue Zampanti, Secretary

/SAZ

Planning & Zoning

Community Development

262.653.4030
262.653.4045 FAX
Room 308



Building Inspections

Property Maintenance

262.653.4263
262.653.4254 FAX
Room 100

DEPARTMENT OF COMMUNITY DEVELOPMENT & INSPECTIONS

Municipal Building · 625 52nd Street · Kenosha, WI 53140
www.kenosha.org

Jeffrey B. Labahn, Director

Richard Schroeder, Deputy Director

TO: Keith G. Bosman, Mayor
Members of the City of Kenosha Common Council

FROM: Brian Wilke, Development Coordinator *BW*
Department of Community Development and Inspections

SUBJECT: Special Exception Request from McDonald's USA, LLC for Relief from the Requirement to Remove Existing Non-conforming Signs Where a Premise is Vacated for More than Ninety (90) Days, and to Install an Additional Free-standing Sign; Property Address: 12214 75th Street; Petitioner: Michael Best & Friedrich

DATE: April 16, 2014

Section 15.07 B of the Code of General Ordinances provides the City of Kenosha Common Council with the capability to grant Special Exceptions for signs based on the following criteria:

Special Exceptions. Upon application for a Special Exception, the Common Council may, after investigation and public hearing, grant a Special Exception from the terms of this Ordinance where such Special Exception will do substantial justice.

Analysis:

the State Department of Transportation (WisDOT) has had plans for many years to build and reconstruct several roads in the area of the McDonald's restaurant located at 12214 75th Street. Based on this road work from WisDOT, McDonald's made plans to raze their existing restaurant and build a new one on the same site in conjunction with the WisDOT work. McDonald's received Conditional Use Permit approval from the City on March 18, 2013, to rebuild at their site. After receiving building permits from the City, demolition of the old building began on April 1, 2014. The new building is currently under construction on the site.

As part of the negotiations to rebuild the site, McDonald's asked that the existing "highway" sign on the site be allowed to remain (photo attached). That sign is 105 feet tall and 213.61 square feet in size, which far exceeds any of the height and square-footage allowed in Chapter 15 of the Code of General Ordinances (which is a maximum of thirty-five feet (35') in height and 150 square feet in area). When staff reviewed the request in 2011, our response was that Section 15.09 regarding non-conforming signs indicates that all non-conforming signs on a premise that is vacated for longer than ninety (90) days shall be removed. Staff informed McDonald's that if the premise was vacated (i.e., no business being transacted on the site) for less than ninety (90) days, the sign could remain; but, if the site was vacated for longer than ninety (90) days, the sign must come down or a Special

April 21, 2014 Pg. 18

Exception must be granted by the Common Council. McDonald's has requested the Special Exception with the anticipation that the site could be vacated for longer than ninety (90) days.

As McDonald's has requested to keep the highway sign on the site, Chapter 15 does not allow any other freestanding signs on the site, as only one freestanding sign is allowed per site. McDonald's would like to place a monument sign at the southwest corner of the site. The sign itself must be slightly reduced in size to meet the eighty square-foot (80sf) maximum size requirements of Chapter 15, but the additional sign is not allowed if the highway sign is retained. Therefore, McDonald's is also requesting a Special Exception to be allowed to erect the monument sign.

History

Much of this area was developed when the properties were in the Town of Bristol (now the Village of Bristol) under the standards of that township. The properties have since been annexed or attached to the City of Kenosha and are thereby subject to City Zoning and General Code requirements. There are several existing highway signs in the general vicinity, including signs at Cracker Barrel and Knights Inn. Several more have been taken down over the years, as buildings have been demolished (Long John Silver's) or have been redeveloped (BP). Those signs have come down at the request of staff as a condition of approving the new project. It should be noted, however, that both properties that have highway signs (Cracker Barrel and Knights Inn) also have signs that are lower in height along 122nd avenue, the local road. On the east side of Interstate 94, where property was developed while in the City of Kenosha, no highway signs have been allowed by the City of Kenosha. This area consists mainly of retail developments and restaurants.

Staff Recommendation

Since the existing highway sign exceeds any sign height or size allowed by Chapter 15 of the Code of General Ordinances, a recommendation is made to deny the request for a Special Exception to keep the highway sign if the site is vacated for longer than ninety (90) days. Staff also recommends denial of the Special Exception request for the additional freestanding sign on the site.

BRW/saz
Attachments

CITY OF KENOSHA
COMMUNITY DEVELOPMENT AND INSPECTIONS

CHAPTER 15 - SIGN ORDINANCE
APPEALS / SPECIAL EXCEPTIONS TO COMMON COUNCIL
APPLICATION FORM

625 52nd Street, Room 100 Kenosha, WI 53140 Telephone: 262.653.4263

Franchise Realty Interstate Corporation, an Illinois
Corporation, c/o McDonald's Corporation PHONE NUMBER 630-836-9090

OWNER

ADDRESS

4320 Winfield Road, Suite 400, Warrenville, Illinois 60555

If the applicant is other than the property owner, a notarized signature of the property owner authorizing the applicant to act on his/her behalf is required

APPLICANT

McDonald's USA, LLC c/o Michael Best & Friedrich PHONE NUMBER 414-225-4925

ADDRESS

100 East Wisconsin Avenue, Suite 3300, Milwaukee, WI 53202

ADDRESS OF SPECIAL EXCEPTION REQUEST

12214 75th Street, Kenosha

(If the property is undeveloped, a parcel number is required)

SPECIFIC SPECIAL EXCEPTION USE BEING REQUESTED

Relief from Chapter 15 for the existing highway

sign and for the monument sign along Hwy. 50. The rebuild of the McDonald's restaurant may take longer than 90 days.

Attach the necessary supplemental forms as defined in the
"SPECIAL EXCEPTION APPLICATION INSTRUCTIONS"

Documentation: On a separate sheet(s) of paper, a full justification of your request is required.

I hereby authorize City of Kenosha's staff and elected officials to inspect the premises of the above-described property. I hereby affirm that all statements herein and attached hereto are true and correct to the best of my knowledge and belief.

Susan M. Sager
SIGNATURE (Owner or Agent for Owner) DATE 3/26/14
SUSAN M. SAGER, Esq. Michael Best & Friedrich

FOR OFFICIAL USE ONLY

Date Filed _____ Receipt Number _____

RECEIVED

April 21, 2014 Pg. 20
MAR 28 2014

**McDONALD'S REQUEST
for
EXCEPTIONS TO CHAPTER 15 – SIGN ORDINANCE**

McDonald's USA, LLC ("McDonald's") respectfully submits this Application Request seeking Exceptions to Chapter 15 of the City of Kenosha's Sign Ordinance for the property located at 122114 75th Street, Kenosha (the "Property").

McDonald's has previously submitted and obtained approval for a Conditional Use Permit and Site Plan Review for the rebuild of its restaurant at the Property. The State of Wisconsin Department of Transportation's ("DOT") Highway 50 Project is eliminating the Property's access to Highway 50, and the Project is constructing two new roadways in the vicinity (74th Street and 123rd Avenue). Because of DOT's Project and change of access, the existing McDonald's restaurant configuration is not feasible. The City of Kenosha has granted McDonald's request to rebuild the restaurant and drive-thru to address the Property's new access.

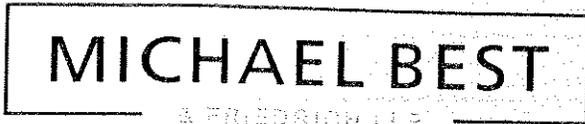
McDonald's has endeavored to coordinate the construction of the new restaurant with DOT's work in the Highway 50 Project area in an attempt to minimize the impact on employees and customers. Construction is ready to commence, and it is expected to proceed with all deliberate speed.

City of Kenosha Staff has advised that because of the rebuild, Exceptions to Chapter 15 are required for the existing highway sign and the monument sign along Highway 50. Section 15.09 of the Ordinance states, in part:

Where a premise is vacated for a period of ninety (90) or more consecutive days, all nonconforming, abandoned and obsolete signs shall be either removed from the premise or made to conform with this Ordinance.

The Exceptions are necessitated due to DOT's Project and its effect on the Property.

Given the uncertainties which may arise during any construction project, the rebuild of the McDonald's restaurant may take longer than a period of ninety (90) or more consecutive days. Accordingly, this approval of Exceptions is respectfully requested.



Michael Best & Friedrich LLP
Attorneys at Law
100 East Wisconsin Avenue
Suite 3300
Milwaukee, WI 53202-4108
Phone 414.271.6560
Fax 414.277.0656

Susan M. Sager
Direct 414.225.4929
Email smsager@michaelbest.com

March 26, 2014

City of Kenosha
Department of Community Development
and Inspections
625 52nd Street
Room 100
Kenosha, WI 53140

Re: *Application for Special Exception – Sign Ordinance*

Dear Department of Community Development and Inspections:

Enclosed for submission is an Application Package for Special Exceptions to Chapter 15 Sign Ordinance. The Application Package includes the following:

1. City of Kenosha Application Form, with attached written narrative;
2. Copy of Site Plan;
3. Copy of Signage Plan; and
4. Filing Fee of \$125.

If you have any questions or require additional information, please do not hesitate to contact me.

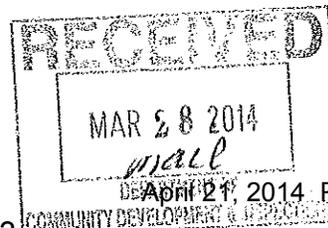
Sincerely,

Michael Best & Friedrich LLP

Susan M. Sager

SMS/kmb
Enclosures

Cc: Rick Dolan – McDonald's (w/out encl.)
Andrew Uttan – V3 Companies (w/out encl.)



CITY OF KENOSHA
DEPARTMENT OF COMMUNITY DEVELOPMENT & INSPECTIONS
625-52ND STREET, ROOM 100 KENOSHA, WI 53140

RECEIVED FROM: MICHAEL BEST & FRIEDRICH
DATE RECEIVED: MARCH 31, 2014
AMOUNT RECEIVED: \$125.00
OPERATOR ID.: HSUEZ

RECEIPT TYPE: MISCELLANEOUS
PAYMENT METHOD: CHECK NO.: 162167

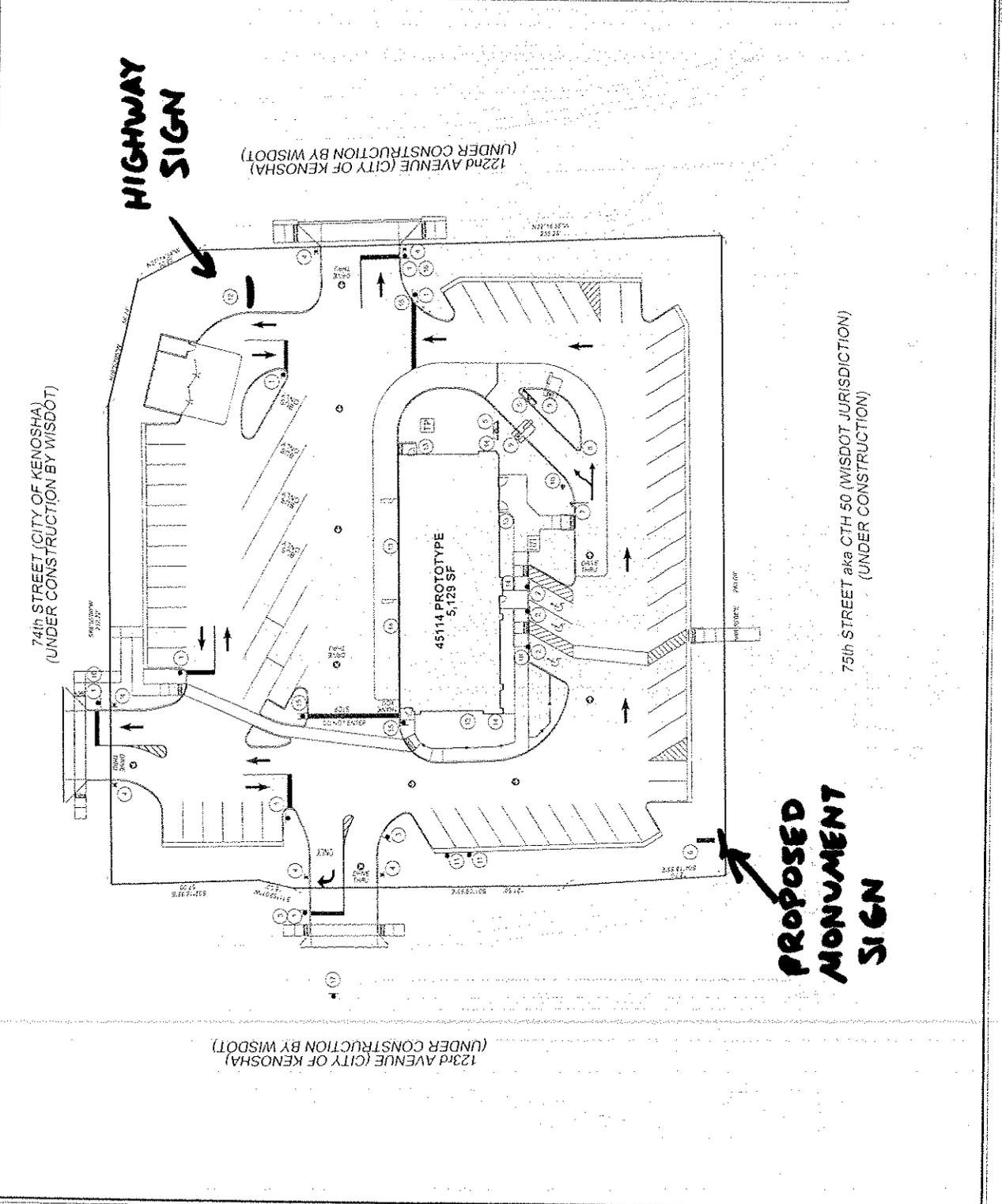
DESCRIPTION	AMOUNT
SPECIAL EXCEPTION - SIGN 12214 75TH ST. (MCDONALDS)	\$125.00

McDonald's USA, LLC

12214 75TH STREET
 KENOSHA, WI 53142
 TEL: 920.393.8000
 FAX: 920.393.8000
 WWW.MCDONALDS.COM

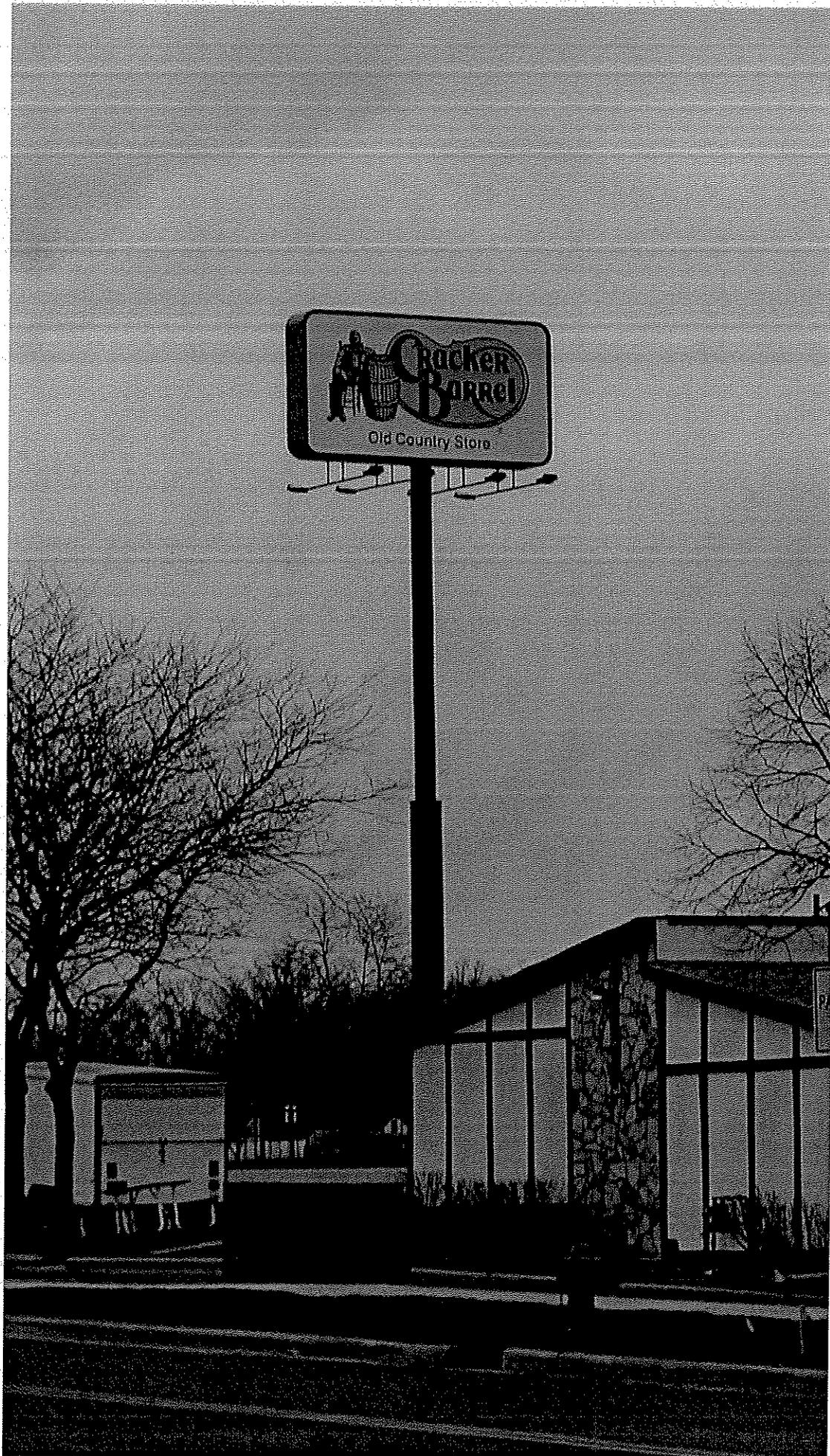
SIGN LEGEND

- 1 STOP SIGN
- 2 ACCESSIBLE COMPLIANCE (WALKING SURFACE) SIGN
- 3 NIGHT TRUCK ONLY
- 4 MCDONALD'S DIRECTIONAL SIGN WITH RIGHT
- 5 MCDONALD'S MENT BOARD
- 6 MONUMENT SIGN WITH ELECTRONIC REPAIRER
- 7 MCDONALD'S ELECTRONIC ORDER POINT
- 8 MCDONALD'S ANY LANE AND TIME SIGN
- 9 SIGN IN ORDERING SERVICE (SOLD)
- 10 PREDELY MENU BOARD
- 11 STILL FORWARD
- 12 EXISTING HIGHWAY SIGN
- 13 WALL SIGNAGE
- 14 WALL SIGNAGE
- 15 DO NOT ENTER SIGN
- 16 RIGHT AS DIRECTIONAL SIGN
- 17 ONE WAY 46-72
- 18 ADA





EXISTING SIGN - REQUESTED TO REMAIN

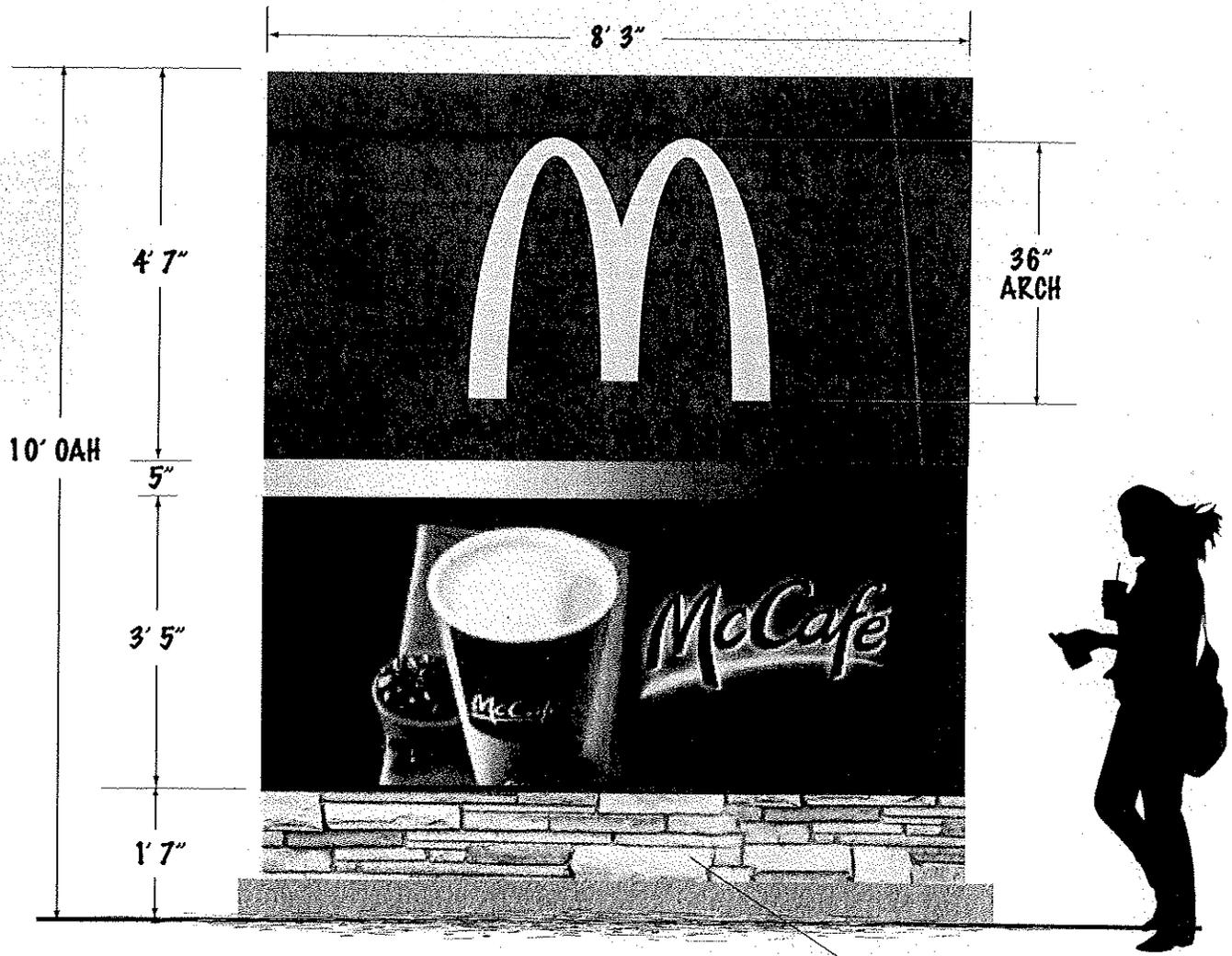


EXAMPLE IN SAME AREA
Common Council Agenda Item B.3.



EXAMPLE IN SAME AREA
Common Council Agenda Item B.3.

K & L



MASONRY BASE TO MATCH BUILDING



DISCLAIMER: Renderings are for graphic purposes only and not intended for actual construction dimensions. For windload requirements, actual dimensions and mounting detail, please refer to engineering specifications and install drawings.

These drawings and designs are the exclusive property of Everbite, LLC. Use of, or duplication in any manner without express written permission of Everbite, LLC, is prohibited.

Customer: McDonald's		Description: CUSTOM MONUMENT SIGN WITH EMC @ 10' OAH	Customer Approval: NOTE: Unless specified by customer, all depth of embossing will be determined by Everbite Engineering or existing customer specifications on file. Colors and graphics on file will be used unless otherwise specified by customer.
Project No: 287852	Scale:		
Date: 10.02.12	Drawn By: eo	Revised: 287852R2 02.26.14	Please read carefully, check appropriate <input type="checkbox"/> Sketch OK as is <input type="checkbox"/> New sketch required
Location & Site No: KENOSHA, WI NN04251-3		Revised:	
		Revised:	
		SIGNATURE	April 21, 2014 EPq. 28

Planning & Zoning
Community Development
262.653.4030
262.653.4045 FAX
Room 308



Building Inspections
Property Maintenance
262.653.4263
262.653.4254 FAX
Room 100

DEPARTMENT OF COMMUNITY DEVELOPMENT & INSPECTIONS

Municipal Building - 625 52nd Street - Kenosha, WI 53140
www.kenosha.org

Jeffrey B. Labahn, Director

Richard Schroeder, Deputy Director

April 16, 2014

Michael Best & Friedrich
McDonald's USA
100 East Wisconsin Avenue, Suite 3300
Milwaukee, WI 53202

To Whom it May Concern:

Subject: Special Exception Request for Relief from Sign Removal Requirement and to Install an Additional Free-Standing Sign at 12214 75th Street

The City of Kenosha Common Council will review your above-referenced request at their regular meeting to be held on Monday, April 21, 2014, at 7:00 p.m in Room 200 of the Municipal Building.

If you have any questions, please contact me at 262.653.4257 or szampanti@kenosha.org.

Sincerely,

Department of Community
Development and Inspections

A handwritten signature in cursive script that reads "Sue Zampanti".

Sue Zampanti, Secretary

/SAZ

Cla

APPLICANT INFORMATION			
Date of Application	Name of Applicant	Applicant's Date of Birth	Driver's License Status
3/26/2014	Jason Grubbs		Valid
License Number	Address of Applicant	Business (where license is to be used)	Business Address
N141125	2313 Lincoln Road	Cooler Near the Lake	506-56th Street

DATE OF CHARGE	OFFENSE	CASE STATUS	OFFENSE LISTED ON APPLICATION	POINTS
2/9/2013	DC/PERSON	GUILTY	Y	20

CITY ATTORNEY'S RECOMMENDATION	
Offense Demerit Points	20
Were all offenses listed on the application?	Y
TOTAL DEMERIT POINTS	20

CITY ATTORNEY'S COMMENTS

FINAL RECOMMENDATION
<input checked="" type="checkbox"/> GRANT , Subject to <input type="text" value="20"/> Demerit Points
<input type="checkbox"/> DENY , based on material police record (substantially related to the license activity)
<input type="checkbox"/> DEFER or GRANT subject to Non-Renewal Revocation due to False Application

C16

APPLICANT INFORMATION			
Date of Application	Name of Applicant	Applicant's Date of Birth	Driver's License Status
3/27/2014	Mahendra Gala		Valid
License Number	Address of Applicant	Business (where license is to be used)	Business Address
N141127	1625-34th Avenue	Uptown Pantry	

DATE OF CHARGE	OFFENSE	CASE STATUS	OFFENSE LISTED ON APPLICATION	POINTS
1/4/2012	LIQUOR, SELL TO MINOR	DISMISSED		N/A
2/26/2012	LIQUOR, SELL TO MINOR	GUILTY	Y	25
8/20/2013	LIQUOR, SELL TO MINOR	DISMISSED		N/A

CITY ATTORNEY'S RECOMMENDATION		
Offense Demerit Points	25	
Were all offenses listed on the application?	Y	
TOTAL DEMERIT POINTS	25	

CITY ATTORNEY'S COMMENTS

FINAL RECOMMENDATION
<input checked="" type="checkbox"/> GRANT , Subject to <input type="text" value="25"/> Demerit Points
<input type="checkbox"/> DENY , based on material police record (substantially related to the license activity)
<input type="checkbox"/> DEFER or GRANT subject to Non-Renewal Revocation due to False Application

NEW BARTENDER License

C2a

Police Record Report

APPLICANT INFORMATION			
Date of Application	Name of Applicant	Applicant's Date of Birth	Driver's License Status
3/13/2014	Elizabeth Bohannan		WI ID Card Only
License Number	Address of Applicant	Business Address (where license is to be used)	Business Address
N141105	3716-89th Street #203	Not Listed	

DATE OF CHARGE	OFFENSE	CASE STATUS	OFFENSE LISTED ON APPLICATION	POINTS
2/17/2010	OPERATING W/O LICENSE	GUILTY	N	5
2/14/2011	OPERATING WHILE SUSPENDED	GUILTY	N	10
8/10/2011	OPERATING WHILE SUSPENDED	GUILTY	N	20
8/18/2011	OPERATING WHILE SUSPENDED	GUILTY	N	20
11/19/2011	OPERATING WHILE SUSPENDED	GUILTY	N	20
12/23/2011	OPERATING WHILE SUSPENDED	GUILTY	N	20
1/5/2012	OPERATING WHILE SUSPENDED	GUILTY	N	20
9/1/2012	IMPLIED CONSENT	GUILTY	Y	
9/1/2012	OPERATING WHILE INTOXICATED	GUILTY	Y	50

CITY ATTORNEY'S RECOMMENDATION		
Offense Demerit Points	165	
Were all offenses listed on the application?	N - 20	
TOTAL DEMERIT POINTS	185	

CITY ATTORNEY'S COMMENTS

FINAL RECOMMENDATION	
<input type="checkbox"/>	GRANT, Subject to <input type="checkbox"/> Demerit Points
<input checked="" type="checkbox"/>	DENY, based on material police record and False Application
<input type="checkbox"/>	DEFER or GRANT subject to Non-Renewal Revocation due to False Application

C7a

Adverse

FOR OFFICE USE ONLY:

License # 11105 Issue Date _____

Beverage Course OK HOLD for Beverage Course Initials ZS

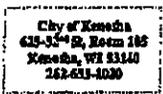
APPLICATION

CITY OF KENOSHA OPERATOR'S (BARTENDER) LICENSE

(\$125.17, Wisconsin Statutes, §10.02 C. of the

City of Kenosha Code of General Ordinances)

FEE: \$75.00 (Type 217)



I hereby apply for an Operator's License to serve Alcoholic Beverages in any place of business operated under a Class "B", "Class B", Class "A", "Class A" License in the City of Kenosha to and including the 30th day of June, 2015 (Unless sooner revoked). I hereby note that I am responsible for knowing and abiding by the contents of Chapter 125, Wisconsin Statutes and Chapter 10 of the Code of General Ordinances and that my license may be suspended, revoked, or not renewed, and/or I may be subject to a civil forfeiture for non-compliance therewith.

THE FOLLOWING QUESTIONS MUST BE ANSWERED (PLEASE READ)

Last Name Bohannon First Name Elizabeth MI 11
(NOTE: Name must appear exactly as it appears on driver's license or state ID)

Date of Birth _____ Sex F Day Phone # 262-748-3820

Home Address 3716 89th St apt #205

City/State/Zip Kenosha, WI 53142

Email Address Tinyphocor8338@gmail.com

Driver's License or State ID Number _____
(Must indicate the state if this is not a Wisconsin DL or ID)

Name of Business Where License is to be Used (If Unknown At This Time, Leave Blank. NOTE: license may only be utilized in the City of Kenosha) _____

Address of Business Where License is to be Used _____

1. Have you, as an adult, ever been convicted of a major crime (felony), a minor crime (misdemeanor), or of violating a municipal or county ordinance in Wisconsin or in any other state, or do you have such a charge pending at this time?
 Yes No If Yes, state charge, year offense committed or alleged to be committed, and disposition: _____
2. Have you, as an adult, ever served time, or been sentenced to serve time, in a jail or prison in Wisconsin or in any other state? Yes No If yes, please explain: _____
3. Have you ever had your driver's license suspended or revoked in Wisconsin or in any other state? Yes No If yes, please explain: Points deducted from license, DUI
4. Have you received any traffic citations in Wisconsin or in any other state within the past five years, or do you have any such citations pending? Yes No If yes, state charge, year offense committed or alleged to be committed, and disposition: DUI

5. Have you, as an adult, been convicted of any state or federal charges, or do you have such charges pending at this time, involving unfair trade practices, unethical conduct, or discrimination? Yes No If yes, state charge, year offense committed or alleged to be committed, and disposition: _____

6. List the name and address of all employers for which you have worked and/or businesses you have operated in the past five years: (Please include employment that is not related to the license applied for.)
Park Place Car Wash and detailing, YMCA, Art Bar, Breat Stop

7. List all addresses at which you have lived in the past five years: 6413 23rd ave. S3143
6211 39th ave. S3142 3416 89th St apt X203 S3142

8. I have read and understand the "Applicants Please Read" section of this application. I hereby certify that I am the applicant named in the foregoing application, and I have read each and every question and answered each and every question truly, correctly, and completely, under penalty of law for failure to do so.

Signed: Elizabeth Bohannon
APPLICANT'S SIGNATURE

Date: 3/13/2014

APPLICANTS PLEASE READ

NOTICE: If this application contains statements or information which is untrue, incorrect and/or incomplete in any material respect, it will be denied.

A. Prohibition - It shall be unlawful for any person, acting as an individual, a partner, a corporate officer, or an agent, to execute or file with any City Department, or to authorize any person to do so on their behalf, a license or permit application which is not true, correct and/or complete in all material respects and which was known by said person to be untrue, incorrect and/or incomplete. The term "in all material respects" shall mean with respect to some fact, which, if known to the granting authority, would be a basis or a consideration for license or permit denial.

B. Penalty 1) Any person violating Subsection A. above, shall, upon conviction thereof, be subject to a forfeiture not to exceed Five Hundred (\$500) Dollars, plus the payment of the costs of prosecution, and, in default of the timely payment thereof, shall be committed to the County Jail until such forfeiture has been paid, but not to exceed a period of thirty (30) days. 2) The license or permit granting authority may grant, but withhold the issuance of, any license or permit for a period not to exceed thirty (30) days from the date of granting under circumstances wherein an application is found by the granting authority to have violated Section A. above, and the applicant was provided with an opportunity to appear before the granting authority. The granting authority may also issue a written warning to the applicant which shall be made part of their license/permit record for two consecutive license/permits years. Where such finding and penalty is made and imposed by other than the Common Council, applicant may, within ten days of receipt of oral or written notice of the imposition of any such penalty, whichever is first, if both oral and written notice is provided, file a Notice of Appeal with the City Clerk and have such matter reviewed by the Common Council.

Per §1.225 of the Code of General Ordinances, "The first Twenty-Five Dollars of the application fee for any License/Permit shall be retained by the City in the event of a License/Permit denial or the withdrawal of the application by applicant for administrative and processing costs, and the balance, if any, refunded to the applicant. Where the application fee is less than Twenty-five Dollars, the entire application fee shall be retained by the City for administrative and processing costs.

Please file this application and pay the appropriate fee in person.

C2a

BRAT STOP, INC.



12304 75th Street
Kenosha, Wisconsin
53142-7323
www.bratstop.com

April 8, 2014

To whom it may concern,

Elizabeth Bohannon has been employed by Brat Stop, Inc. since January, 2014, working in our cheese market where packaged goods are sold. In the future, she may also be trained to tend bar. She seems like a very responsible person, and does not drink alcohol before or after her shifts.

Sincerely,

Beverly Andersen,
Executive Assistant to Gerald Rasmussen

cks

To whom it may concern,

I am writing on behalf of my dear friend, Elizabeth Bohannon. We have been friends since 2003 and still are very close to this day. She is always very determined to be successful in whatever she does and is the type of person that will be there for people so they can better themselves. She has not only learned a lesson from getting a D.U.I., but she spreads the wisdom she has learned from it and helps others make better decisions as well. I know personally, if she was given the chance to make better choices years ago, she would. We all make mistakes in life and we learn from them. I'm a firm believer that everything happens for a reason and shapes us into the person we are today, as well as the kind of person we want to become in the future.

Today, Elizabeth is a responsible, caring, and positive person. I think she should be given the chance to obtain her bartender's license so she can build a life for her son and herself. I guarantee she will not only succeed in life, but help others and protect them from the dangers of drinking and driving also.

Sincerely,

Amber M Nye
 Amber M. Nye
 2325-67th St.
 (262)344-4391

April 8, 2014

Dear Sirs / Madam,

I am writing to you on behalf of my daughter, Elizabeth Bohannan.

She got a DUI back in December of 2012 and lost her driving privileges. She has not driven since then and realizes that not only is driving and having a license a privilege, but by driving under the influence she could have seriously or fatally injured someone.

She has learned some valuable lessons, ones I am confident she will not want to ever learn again. This DUI has cost her dearly on many levels, and without a license and vehicle, she is having difficulty obtaining meaningful employment so she really needs to obtain a bartender's license.

Sincerely,

Kimberly Adams
 5716 89th St
 Kenosha, WI 53142

APPLICANT INFORMATION			
Date of Application	Name of Applicant	Applicant's Date of Birth	Driver's License Status
3/29/2014	Roland Garza		Valid
License Number	Address of Applicant	Business (where license is to be used)	Business Address
N141131	1706-55th Street	Kenosha Midnight	

DATE OF CHARGE	OFFENSE	CASE STATUS	OFFENSE LISTED ON APPLICATION	POINTS
3/11/2002	Failure to Support Child - Felony E	Guilty/No Contest	N	100
6/26/1995	Substantial Battery-Intend Bodily Harm - Felony E	Guilty/No Contest	N	100

CITY ATTORNEY'S RECOMMENDATION		
Offense Demerit Points	200	
Were all offenses listed on the application?	N - 20	
TOTAL DEMERIT POINTS	220	

CITY ATTORNEY'S COMMENTS

FINAL RECOMMENDATION
<input type="checkbox"/> GRANT, Subject to <input type="checkbox"/> Demerit Points
<input checked="" type="checkbox"/> DENY, based on material police record & False Application
<input type="checkbox"/> DEFER or GRANT subject to Non-Renewal Revocation due to False Application



OPERATOR'S (BARTENDER) LICENSE

Type: 217 Fee: \$75.00

Adverse C2b

FILED 3-31-14
INITIALS JAD
ADVERSE/NO ADV
LP
CG

X Beverage Course Completed
HOLD for Beverage Course

License # 141131
Provisional Issued: yes no

I hereby apply for an Operator's License to serve Alcoholic Beverages in any place of business operated under a Class "B", "Class B", Class "A", "Class A", and/or "Class C" License in the City of Kenosha to and including the 30th day of June, 2015. (Unless sooner revoked). I hereby note that I am responsible for knowing and abiding by the contents of Chapter 125, Wisconsin Statutes and Chapter 10 of the Code of General Ordinances and that my license may be suspended, revoked, or not renewed, and/or I may be subject to a civil forfeiture for non-compliance therewith.

Last Name: GATZA First Name: ROLAND MI:
(NOTE: Name must appear exactly as it appears on driver's license or state ID)

Date of Birth: Gender: M Phone: 262-455-6509

Home Address: 1706 - 55th St Kenosha Wis 53140
CITY STATE ZIP

Email:
(correspondence will be via email if address is given)

Driver's License or State ID Number STATE NUMBER

Name of Business Where License will be used Kenosha MidNight Kenosha Wis
(PLEASE NOTE: license may be utilized in the City of Kenosha only.)

ANSWER THE FOLLOWING QUESTIONS TRULY AND COMPLETELY:

1. Have you, as an adult, ever been convicted of a major crime (felony), minor crime (misdemeanor), or of violating a municipal or county ordinance in Wisconsin, or in any other State; or do you have a charge pending at this time? Yes No
If yes, state: charge, year, result

2. Have you, as an adult, ever served time; or have been sentenced to serve time in a jail or prison in Wisconsin or any other State? Yes No If yes, explain:

-OVER-

3. Have you ever had your driver's license suspended or revoked in Wisconsin or in any other State?

Yes No If yes, explain:

4. Have you received any traffic citations in Wisconsin or in any other State within the past five (5) years; or do you have any such citations pending? Yes No

If yes, state: charge, year, result

5. Have you, as an adult, within the past five (5) years, while operating a business or engaged in a profession, been convicted of any state or federal charges; or do you have charges pending at this time involving unfair trade practices, unethical conduct, or discrimination? Yes No

If yes, state: charge, year, result

6. List the name and address of all employers for which you have worked and/or businesses you have operated in the past five (5) years:

Houston Tx 2008 - 2011
RON GOOD EARTH
Mid-Town Foods Kenosha Wis 2012 - 2014

7. List all addresses at which you have lived in the past five (5) years:

Houston TX 727-LOOKOUT DR
Kenosha Wis 1706-55th ST W

READ CAREFULLY BEFORE SIGNING: I hereby certify that I am the applicant named in this application, and I have read and answered each and every question truly, correctly, and completely, under penalty of law for failure to do so. If this application contains statements or information which is untrue, incorrect and/or incomplete in any material respect, it will be denied.

Applicant's Signature: Ronald Garza

Date: 2-29-14

I have received a copy of the NOTICE pertaining to LICENSE/PERMIT APPLICATIONS from the City Clerk's Office

RG
(Applicant's Initials)

APPLICANT INFORMATION			
Date of Application	Name of Applicant	Applicant's Date of Birth	Driver's License Status
3/28/2014	Angelica Beltran		Valid
License Number	Address of Applicant	Business (where license is to be used)	Business Address
N141126	2006-52nd St., Lower	Not Listed	

DATE OF CHARGE	OFFENSE	CASE STATUS	OFFENSE LISTED ON APPLICATION	POINTS
11/22/2010	OPERATING W/O LICENSE	GUILTY	Y	5
3/1/2011	LICENSE NOT ON PERSON	GUILTY	N	0
11/18/2013	OPERATING WHILE SUSPENDED	GUILTY	N	10
6/7/2009	RETAIL THEFT \$1-49	GUILTY	N	20
3/25/2012	CONTEMPT,BAIL JUMPING/D.C. Misd. 2012CF354	GUILTY	Y	20 x 2
9/10/2013	DC/PERSON - Misd. 2013CF814	DISPO PENDING	Y	20
9/10/2013	CHILD ABUSE - Felony 2013CF814	DISPO PENDING	Y	100
1/16/2014	BATTERY/SIMPLE ASSAULT - Misd.	DISPO PENDING	Y	20
1/16/2014	CONTEMPT,BAIL JUMPING Felony	DISPO PENDING	N	100

CITY ATTORNEY'S RECOMMENDATION		
Offense Demerit Points	315	
Were all offenses listed on the application?	N - 20	
TOTAL DEMERIT POINTS	335	

CITY ATTORNEY'S COMMENTS

FINAL RECOMMENDATION
<input type="checkbox"/> GRANT, Subject to <input type="checkbox"/> Demerit Points
<input checked="" type="checkbox"/> DENY, based on material police record and False Application
<input type="checkbox"/> DEFER or GRANT subject to Non-Renewal Revocation due to False Application

NAVERSE C2c



OPERATOR'S (BARTENDER) LICENSE

Type: 217 Fee: \$75.00

FILED	3/28/14
INITIALS	fm
ADVERSE/NO ADV	
LP	
CC	

- Beverage Course Completed
- HOLD for Beverage Course

License # N141126
 Provisional Issued: yes no

I hereby apply for an Operator's License to serve Alcoholic Beverages in any place of business operated under a Class "B", "Class B", Class "A", "Class A", and/or "Class C" License in the City of Kenosha to and including the 30th day of June, 2015. (Unless sooner revoked). I hereby note that I am responsible for knowing and abiding by the contents of Chapter 125, Wisconsin Statutes and Chapter 10 of the Code of General Ordinances and that my license may be suspended, revoked, or not renewed, and/or I may be subject to a civil forfeiture for non-compliance therewith.

Last Name: Beltran First Name: Angelica MI: M
 (NOTE: Name must appear exactly as it appears on driver's license or state ID)

Date of Birth: _____ Gender: F Phone: 262 484 1931

Home Address: 2006 52nd St Lower Kenosha, WI 53140
CITY STATE ZIP

Email: A. Beltran.smbf@gmail.com
 (correspondence will be via email if address is given)

Driver's License or State ID Number WI _____
STATE NUMBER

Name of Business Where License will be used _____
 (PLEASE NOTE: license may be utilized in the City of Kenosha only.)

ANSWER THE FOLLOWING QUESTIONS TRULY AND COMPLETELY:

1. Have you, as an adult, ever been convicted of a major crime (felony), minor crime (misdemeanor), or of violating a municipal or county ordinance in Wisconsin, or in any other State; or do you have a charge pending at this time? Yes No
 If yes, state: charge, year, result
Child Abuse, Battery, Bail Jumping 2013-14 - pending
Disorderly conduct 2007 - ticket

2. Have you, as an adult, ever served time; or have been sentenced to serve time in a jail or prison in Wisconsin or any other State? Yes No If yes, explain:
Child Abuse 2012
Substantial Battery 2014
Bail Jumping 2014

-OVER-

3. Have you ever had your driver's license suspended or revoked in Wisconsin or in any other State?
 Yes No If yes, explain:

Unpaid traffic tickets

4. Have you received any traffic citations in Wisconsin or in any other State within the past five (5) years; or do you have any such citations pending? Yes No
If yes, state: charge, year, result

Non Registered Vehicle Seat belt requirement, Display Unlawful, Regist., Operating w/o license, Operating w/o Insurance. 2013, tickets

5. Have you, as an adult, within the past five (5) years, while operating a business or engaged in a profession, been convicted of any state or federal charges; or do you have charges pending at this time involving unfair trade practices, unethical conduct, or discrimination? Yes No
If yes, state: charge, year, result

6. List the name and address of all employers for which you have worked and/or businesses you have operated in the past five (5) years:

Service Master 2501 Deborah AVE Zion IL

7. List all addresses at which you have lived in the past five (5) years:

2006 52nd St Lower
1970 42nd St Lower
6420 12th AVE

READ CAREFULLY BEFORE SIGNING: I hereby certify that I am the applicant named in this application, and I have read and answered each and every question truly, correctly, and completely, under penalty of law for failure to do so. If this application contains statements or information which is untrue, incorrect and/or incomplete in any material respect, it will be denied.

Applicant's Signature: Angel Bellan Date: _____

I have received a copy of the NOTICE pertaining to LICENSE/PERMIT APPLICATIONS from the City Clerk's Office _____
(Applicant's Initials)

APPLICANT INFORMATION			
Date of Application	Name of Applicant	Applicant's Date of Birth	Driver's License Status
3/28/2014	David Dowell		Valid
License Number	Address of Applicant	Business (where license is to be used)	Business Address
R140014	6434-22nd Ave, #3	Keno Cab Company	

DATE OF CHARGE	OFFENSE	CASE STATUS	OFFENSE LISTED ON APPLICATION	POINTS
9/4/2013	DISORDLERY CONDUCT 2013FO1239	GUILTY-NO CONTEST	Y	20
9/7/2012	DISORDLERY CONDUCT 2012CM1433	GUILTY	Y	20

CITY ATTORNEY'S RECOMMENDATION		
Offense Demerit Points	40	
Were all offenses listed on the application?	Y	
TOTAL DEMERIT POINTS	40	

CITY ATTORNEY'S COMMENTS

FINAL RECOMMENDATION	
<input checked="" type="checkbox"/>	GRANT , Subject to <input type="text" value="40"/> Demerit Points
<input type="checkbox"/>	DENY , based on material police record (substantially related to the license activity)
<input type="checkbox"/>	DEFER or GRANT subject to Non-Renewal Revocation due to False Application

C36

APPLICANT INFORMATION			
Date of Application	Name of Applicant	Applicant's Date of Birth	Driver's License Status
3/31/2014	Brian Walraven		Valid
License Number	Address of Applicant	Business (Where license is to be used)	Business Address
	2118-84th Street		

DATE OF CHARGE	OFFENSE	CASE STATUS	OFFENSE LISTED ON APPLICATION	POINTS
9/18/2013	COMPULSORY INSURANCE	GUILTY	Y	N/A
9/18/2013	INTERFERE W/ TRAFFIC BY OPENING VEHICLE	GUILTY	Y	20
4/28/2013	BATTERY/SIMPLE ASSAULT	GUILTY	Y	20
5/7/2012	ILLEGAL TURN 346.37			20
7/16/2012	OBSTRUCTED VIEW			20

CITY ATTORNEY'S RECOMMENDATION	
Offense Demerit Points	80
Were all offenses listed on the application?	Y
TOTAL DEMERIT POINTS	80

CITY ATTORNEY'S COMMENTS

FINAL RECOMMENDATION
<input checked="" type="checkbox"/> GRANT , Subject to <input type="text" value="80"/> Demerit Points
<input type="checkbox"/> DENY , based on material police record (substantially related to the license activity)
<input type="checkbox"/> DEFER or GRANT subject to Non-Renewal Revocation due to False Application

C4

E-MAILED APR 04 REC'D

AT-107a: SCHEDULE FOR SUCCESSOR OF AGENT

If there is a change in agent, each club, corporation, or limited liability company who holds a retail permit to sell fermented malt beverages and/or intoxicating liquor must appoint a successor agent pursuant to sec. 125.04(6), Wis. Stats. There is a \$10 change in agent processing fee due with this form. The following questions must be answered by the Agent. The appointment must be signed by the President and Secretary or members of limited liability company. The appointment must be approved by the licensing authority.

KENOSHA Wisconsin 04-04 2014
(Municipality) (Date)

1. Name of agent DAKSHA PATEL

- Yes No
- 2. Are you of legal drinking age?
 - 3. Have you been a resident of Wisconsin for at least 90 continuous days prior to the date of appointment as agent?
 - 4. Have you ever been convicted of a federal law violation?
 - 5. Have you ever been convicted of a State law violation?
 - 6. Have you ever been convicted of a Local ordinance violation?
 - 7. Have you completed the required responsible beverage server program per sec. 125.04(5)(a)5, Wis. Stats.? (attached)

UNDER PENALTY OF LAW, I declare that all of the above information is true and correct to the best of my knowledge and belief.

Yash LLC
4924 Sheridan Rd
District # 2

[Signature]
(Signature of Agent)
W 173 N 10170 WOODBRIDGE LN GERMAN TOWN WI 53022
(Address)

SUCCESSOR AGENT

The undersigned appoints DAKSHA PATEL as agent
in accordance with sec. 125.04(6), Wis. Stats.

Name of Permittee YASH LLC
Date 04-04 2014
By [Signature]
(Signature of President/Member)
[Signature]
(Signature of Secretary/Member)

I hereby accept appointment as agent for YASH LLC and assume
full responsibility or the conduct of the business relative to fermented malt beverages and intoxicating liquors.

Date 04-04 2014
[Signature]
(Signature of Agent)

THE AGENT APPOINTED ABOVE MUST BE APPROVED BY THE LICENSING AUTHORITY TO BE EFFECTIVE.
(See sec. 125.04(6), Wis. Stats.)

WI 20
(Municipality) (Date)
[Signature]
(Signature of Official)
[Title]

AGENT LICENSE

Police Record Report

C4

APPLICANT INFORMATION			
Date of Application	Name of Applicant	Applicant's Date of Birth	Driver's License Status
4/8/2014	Daksha Patel		Valid
License Number	Address of Applicant	Business (where license is to be used)	Business Address
	W173N10170 Woodbridge Lane	YASH, LLC	4924 Sheridan Rd.

DATE OF CHARGE	OFFENSE	CASE STATUS	OFFENSE LISTED ON APPLICATION	POINTS
5/23/2013	NO OPER LICENSE - PRIOR AGENT JOSIC N1314095 125.32(2)	GUILTY		25
8/22/2013	SALE TO U/A - PRIOR AGENT JOSIC N1379452 125.07(1)(a)	GUILTY		25
11/7/2013	SALE TO U/A - PRIOR AGENT JOSICN1379113 125.07(1)(a)	GUILTY		50
2/6/2013	SALE TO U/A - PRIOR AGENT JOSIC N1319783 125.07(1)(a)	GUILTY		50
3/11/2013	SALE TO U/A - PRIOR TEMPORARY AGENT BUDD 14-032979 BT PLED 125.07(1)(a)	GUILTY		50

CITY ATTORNEY'S RECOMMENDATION		AGENTS:
Offense Demerit Points	200	1. O'DONNELL 2/18/13-5/6/13 2. SHAWN JOSIC 5/6/13-2/7/14 3. TRAVIS BUDD 2/10/14-3/12/14 4. JOSH DEVORE - DENIED TRANSFER
Were all offenses listed on the application?		
TOTAL DEMERIT POINTS	200	

CITY ATTORNEY'S COMMENTS
ILLINOIS OR WISCONSIN RESIDENT?
HAS WISCONSIN D.L.
RENEWAL APPLICATION HAS ILLINOIS ADDRESS

FINAL RECOMMENDATION	
<input type="checkbox"/>	GRANT, Subject to <input type="checkbox"/> Demerit Points
<input type="checkbox"/>	DENY, based on material police record and False Application
<input checked="" type="checkbox"/>	GRANT subject to Non-Renewal Revocation

COPY

04

ORIGINAL ALCOHOL BEVERAGE LICENSE APPLICATION

Submit to municipal clerk.

For the license period beginning February 20 13 ending June 30 20 13

TO THE GOVERNING BODY of the: [] Town of [] Village of [x] City of KENOSHA

County of KENOSHA Aldermanic Dist. No. 2 (if required by ordinance)

1. The named [] INDIVIDUAL [] PARTNERSHIP [x] LIMITED LIABILITY COMPANY [] CORPORATION/NONPROFIT ORGANIZATION

hereby makes application for the alcohol beverage license(s) checked above.

2. Name (individual/partners give last name, first, middle; corporations/limited liability companies give registered name):

YASH LLC

An "Auxiliary Questionnaire," Form AT-103, must be completed and attached to this application by each individual applicant, by each member of a partnership, and by each officer, director and agent of a corporation or nonprofit organization, and by each member/manager and agent of a limited liability company. List the name, title, and place of residence of each person.

Title Name Home Address Post Office & Zip Code
President/Member OWNER DAKSHA PATEL 1312 W. MERDE LN ARLINGTON HT. IL 60004
Vice President/Member
Secretary/Member
Treasurer/Member
Agent DANIEL PATRICK O'DONNELL
Directors/Managers MOBIL GAS STA

3. Trade Name MOBIL GAS Business Phone Number 262 653 1200

4. Address of Premises 4924 SHERIDAN ROAD Post Office & Zip Code 53140

- 5. Is individual, partners or agent of corporation/limited liability company subject to completion of the responsible beverage server training course for this license period? [] Yes [x] No
6. Is the applicant an employe or agent of, or acting on behalf of anyone except the named applicant? [] Yes [x] No
7. Does any other alcohol beverage retail licensee or wholesale permittee have any interest in or control of this business? [] Yes [x] No
8. (a) Corporate/limited liability company applicants only: Insert state WI and date 11/28/12 of registration.
(b) Is applicant corporation/limited liability company a subsidiary of any other corporation or limited liability company? [] Yes [x] No
(c) Does the corporation, or any officer, director, stockholder or agent or limited liability company, or any member/manager or agent hold any interest in any other alcohol beverage license or permit in Wisconsin? [] Yes [x] No

(NOTE: All applicants explain fully on reverse side of this form every YES answer in sections 5, 6, 7 and 8 above.)

9. Premises description: Describe building or buildings where alcohol beverages are to be sold and stored. The applicant must include all rooms including living quarters, if used, for the sales, service, and/or storage of alcohol beverages and records. (Alcohol beverages may be sold and stored only on the premises described.) C-Store / GAS STATION

10. Legal description (omit if street address is given above):

11. (a) Was this premises licensed for the sale of liquor or beer during the past license year? [] Yes [x] No
(b) If yes, under what name was license issued?

12. Does the applicant understand they must file a Special Occupational Tax return (TTB form 5630.5) before beginning business? [x] Yes [] No

13. Does the applicant understand a Wisconsin Seller's Permit must be applied for and issued in the same name as that shown in Section 2, above? [x] Yes [] No

14. Is the applicant indebted to any wholesaler beyond 15 days for beer or 30 days for liquor? [] Yes [x] No

READ CAREFULLY BEFORE SIGNING: Under penalty provided by law, the applicant states that each of the above questions has been truthfully answered to the best of the knowledge of the signers. Signers agree to operate this business according to law and that the rights and responsibilities conferred by the license(s), if granted, will not be assigned to another. (Individual applicants and each member of a partnership applicant must sign; corporate officer(s), members/managers of Limited Liability Companies must sign.) Any lack of access to any portion of a licensed premises during inspection will be deemed a refusal to permit inspection. Such refusal is a misdemeanor and grounds for revocation of this license.

SUBSCRIBED AND SWORN TO BEFORE ME this 10 day of APRIL SUPRISE 20 13 Notary Public state of Wisconsin (Clerk/Notary Public)

[Signature] (Officer of Corporation/Member/Manager of Limited Liability Company/Partner/Individual)
[Signature] (Officer of Corporation/Member/Manager of Limited Liability Company/Partner)
[Signature] (Additional Partner(s)/Member/Manager of Limited Liability Company if Any)

My commission expires June 26, 2013

Table with 4 columns: Date received and filed with municipal clerk (1/11/13), Date reported to council/board (FEB 18 2013), Date provisional license issued, Signature of Clerk / Deputy Clerk (Mrs. Nelson)

AUXILIARY QUESTIONNAIRE ALCOHOL BEVERAGE LICENSE APPLICATION

Submit to municipal clerk.

Individual's Full Name (please print) (last name) PATEL		(first name) DAKSHI		(middle name)	
Home Address (street/route) W173 N10170 WOODBRIDGE LN		Post Office	City GERMANTOWN	State WI	Zip Code 53022
Home Phone Number 773 368 0332		Age 38	Date of Birth	Place of Birth India	

The above named individual provides the following information as a person who is (check one):

- Applying for an alcohol beverage license as an individual.
- A member of a partnership which is making application for an alcohol beverage license.
- Member of YASH LLC
(Officer/Director/Member/Manager/Agent) (Name of Corporation, Limited Liability Company or Nonprofit Organization)

which is making application for an alcohol beverage license.

The above named individual provides the following information to the licensing authority:

- How long have you continuously resided in Wisconsin prior to this date? 03-15-2012
- Have you ever been convicted of any offenses (other than traffic unrelated to alcohol beverages) for violation of any federal laws, any Wisconsin laws, any laws of any other states or ordinances of any county or municipality? Yes No
If yes, give law or ordinance violated, trial court, trial date and penalty imposed, and/or date, description and status of charges pending. (If more room is needed, continue on reverse side of this form.)

- Are charges for any offenses presently pending against you (other than traffic unrelated to alcohol beverages) for violation of any federal laws, any Wisconsin laws, any laws of other states or ordinances of any county or municipality? Yes No
If yes, describe status of charges pending.

- Do you hold, are you making application for or are you an officer, director or agent of a corporation/nonprofit organization or member/manager/agent of a limited liability company holding or applying for any other alcohol beverage license or permit? Yes No
If yes, identify. GENOA CITY FOOD 716 WALWART ST GENOA CITY WI 53128
(Name, Location and Type of License/Permit)

- Do you hold and/or are you an officer, director, stockholder, agent or employe of any person or corporation or member/manager/agent of a limited liability company holding or applying for a wholesale beer permit, brewery/winery permit or wholesale liquor, manufacturer or rectifier permit in the State of Wisconsin? Yes No
If yes, identify. _____
(Name of Wholesale Licensee or Permittee) (Address By City and County)

6. Named individual must list in chronological order last two employers.

Employer's Name TOBACCO SHOP	Employer's Address 10815 MAIN ST RICHMOND ^{IL} GOWEN	Employed From 2009	To 2014
Employer's Name GENOA CITY FOOD	Employer's Address 716 WALWART ST GENOA CITY WI 53128	Employed From 2012	To 2014

The undersigned, being first duly sworn on oath, deposes and says that he/she is the person named in the foregoing application; that the applicant has read and made a complete answer to each question, and that the answers in each instance are true and correct. The undersigned further understands that any license issued contrary to Chapter 125 of the Wisconsin Statutes shall be void, and under penalty of state law, the applicant may be prosecuted for submitting false statements and affidavits in connection with this application.

Subscribed and sworn to before me

this 4 day of April, 2014
[Signature]
(Clerk/Notary Public)

[Signature]

(Signature of Named Individual)

My commission expires 4-11-17



C5a



OUTDOOR EXTENSION

Temporary
of Class "B", "Class B",
and/or "Class C" License(s)

E-MAILED APR 08 REC'D
FILED 3/11/14
INITIALS mr
ADVERSE/NO ADV
LP _____
CC _____

Type: 211 Fee: \$ 50.00 Date of Event: MAY 24 2014
(Limit 3 days/year) 2014

1. Licensee: American Legion Post 21 District # 2
Note: must be same name as beer/liquor license

2. Trade Name & Address: American Legion Post 21 504 58th St 53140

3. Contact Person: Amel W. Bolyard Phone: 262 657 7464 Email: ALegionPost21@att.net
(correspondence will be via email if address is given)

4. Type of activity planned for the outdoor area: MAY 24th MUSIC + food MAY 25th PEG ROAST WITH MUSIC

5. A detailed map (site plan) of the outdoor area is required. map
If assistance is needed, contact Mike Callovi (Community Development & Inspections) at 653-4032 to schedule an appointment. (see example attached to this application)

6. A temporary fence is required to surround the outdoor area within the description of the Class "B", "Class B" and/or "Class C" licensed premises.
a. Will there be a fence? yes no
b. The Common Council may waive the fence requirement where the licensed premises is operated as a RESTAURANT within the meaning of Section 5.3046 A.10 (of the Code of General Ordinances):
Complete the Fence Waiver. "Waiver A" attached NO

7. The closing hours for a temporary outdoor extension are 10:00 P.M. TO 8:00 A.M. You may request to change these hours to 12:00 midnight to 8:00 am. application attached NO

To be completed by The Community Development & Inspections Department:

Zoning Classification: B-3 If SFR, choose required Waiver B2 (restaurant) or B3 (outdoor dining) N/A

The outdoor area sought is 590' ft from any single-family dwelling*

If less than 25ft: choose required Waiver B1 (institutional), B2 (restaurant), or B3 (outdoor dining) N/A -OR-

N/A if two-family, multi-family, B-1, B-2, B-3, B-4 districts, or dwellings within twenty-five (25') feet of said boundary if occupied by the applicant and/or his/her immediate family and no others.

The outdoor area has a boundary:
 within 300 ft of any residentially zoned property.
 Non-amplified music/entertainment is allowed in outdoor area 10:00am to 9:00pm with a cabaret license.*
 greater than 300 ft but less than 750 ft of any residentially zoned property.
 Non-amplified music/entertainment is allowed in outdoor area 10:00am to 10:00pm with a cabaret license.*
 greater than 750 ft of any residentially zoned property.
 Music/entertainment (including amplified) is allowed in outdoor area 10:00am to 1:00am (or earlier in accordance with the closing time of the outdoor extension) with a cabaret license.*

CDI Staff Member: [Signature] Date: 1 April '14

*Amplified music and sound shall not be permitted in an Outdoor Dining Area (Sec. 5.046) or Outdoor Cafe Area (Sec. 10.076)

C5a

PLEASE NOTE: Be sure to include appropriate attachments/waivers and file with the City Clerk's office no later than fourteen (14) days before final action of the Common Council. Meetings are held the 1st and 3rd Mondays of each month. Pursuant to Section 10.063, accumulation of more than 50 demerit points shall be a basis for denial, revocation or suspension of the outdoor area.

READ CAREFULLY BEFORE SIGNING: Under penalty provided for by law, the undersigned states that each of the above questions has been truthfully answered to the best of his/her/their knowledge. (Individual applicants and each member of a partnership must sign; designated corporate officers must sign.)

Amel W. Bolgard 3/28/14
(Individual/Partner/Member) Date

(Partner/Member) Date

I have received a copy of the NOTICE pertaining to LICENSE/PERMIT APPLICATIONS from the City Clerk's Office AWB
(Applicant's Initials)



**Outdoor
Area**

**Nearest
Single-Family
Dwelling**

C5a



E-MAILED APR 07 2014

FILED
INITIALS <u>MA</u>
ADVERSE/NO ADV
LP
CC

OUTDOOR EXTENSION

Temporary
of Class "B", "Class B",
and/or "Class C" License(s)

Type: 211 Fee: \$ 50.00 Date of Event: June 29th
(Limit 3 days/year) 2014

1. Licensee: American Legion Post 21 District # 2
Note: must be same name as beer/liquor license

2. Trade Name & Address: American Legion Post 21 504-58th St

3. Contact Person: Anel W. Polyard Phone: 262.657.7464 Email: AlegionPost21@ATT.net
(correspondence will be via email if address is given)

4. Type of activity planned for the outdoor area: following parade we will have music and food.

5. A detailed map (site plan) of the outdoor area is required. map
If assistance is needed, contact Mike Callovi (Community Development & Inspections) at 653-4032 to schedule an appointment. (see example attached to this application)

6. A temporary fence is required to surround the outdoor area within the description of the Class "B", "Class B" and/or "Class C" licensed premises.
a. Will there be a fence? yes no
b. The Common Council may waive the fence requirement where the licensed premises is operated as a RESTAURANT within the meaning of Section 5.3046 A.10 (of the Code of General Ordinances):
Complete the Fence Waiver. "Waiver A" attached NO

7. The closing hours for a temporary outdoor extension are 10:00 P.M. TO 8:00 A.M. You may request to change these hours to 12:00 midnight to 8:00 am. application attached NO

To be completed by The Community Development & Inspections Department:

Zoning Classification: B-3 If SFR, choose required Waiver B2 (restaurant) or B3 (outdoor dining) N/A

The outdoor area sought is 590' ft from any single-family dwelling* N/A

If less than 25ft: choose required Waiver B1 (institutional), B2 (restaurant), or B3 (outdoor dining) -OR-
 N/A if two-family, multi-family, B-1, B-2, B-3, B-4 districts, or dwellings within twenty-five (25') feet of said boundary if occupied by the applicant and/or his/her immediate family and no others.

The outdoor area has a boundary:
 within 300 ft of any residentially zoned property.
Non-amplified music/entertainment is allowed in outdoor area 10:00am to 9:00pm with a cabaret license.*

greater than 300 ft but less than 750 ft of any residentially zoned property.
Non-amplified music/entertainment is allowed in outdoor area 10:00am to 10:00pm with a cabaret license.*

greater than 750 ft of any residentially zoned property.
Music/entertainment (including amplified) is allowed in outdoor area 10:00am to 1:00am (or earlier in accordance with the closing time of the outdoor extension) with a cabaret license.*

CDI Staff Member: [Signature] Date: 6 April '14

*Amplified music and sound shall not be permitted in an Outdoor Dining Area (Sec. 5.046) or Outdoor Cafe Area (Sec. 10.076) April 21, 2014 Pg. 56

CS2

PLEASE NOTE: Be sure to include appropriate attachments/waivers and file with the City Clerk's office no later than fourteen (14) days before final action of the Common Council. Meetings are held the 1st and 3rd Mondays of each month. Pursuant to Section 10.063, accumulation of more than 50 demerit points shall be a basis for denial, revocation or suspension of the outdoor area.

READ CAREFULLY BEFORE SIGNING: Under penalty provided for by law, the undersigned states that each of the above questions has been truthfully answered to the best of his/her/their knowledge. (Individual applicants and each member of a partnership must sign; designated corporate officers must sign.)

Amel W. Bolyard 8/28/14
(Individual/Partner/Member) Date

Amel W. Bolyard
(Partner/Member) Date

I have received a copy of the NOTICE pertaining to LICENSE/PERMIT APPLICATIONS from the City Clerk's Office QWB
(Applicant's Initials)

C56

E-MAILED APR 08 REC'D



OUTDOOR EXTENSION

Temporary
of Class "B", "Class B",
and/or "Class C" License(s)

FILED	4/1/14
INITIALS	mn
ADVERSE/NO ADV	
LP	
CC	

Type: 211 Fee: \$ 50.00 Date of Event: 4/26/14
(Limit 3 days/year)

1. Licensee: Dishes to Die For Inc. District # 1

Note: must be same name as beer/liquor license

2. Trade Name & Address: Big's Rest + Pub, 4120-7 Ave, Keno 53140

3. Contact Person: Theresa K Revis Phone: 658 8080 Email: lgsbana@gmail.com
(correspondence will be via email if address is given)

4. Type of activity planned for the outdoor area:
Autism Benefit

5. A detailed map (site plan) of the outdoor area is required. map
If assistance is needed, contact Mike Callovi (Community Development & Inspections) at 653-4032 to schedule an appointment. (see example attached to this application)

6. A temporary fence is required to surround the outdoor area within the description of the Class "B", "Class B"

and/or "Class C" licensed premises.
a. Will there be a fence? yes no

b. The Common Council may waive the fence requirement where the licensed premises is operated as
a RESTAURANT within the meaning of Section 5.3046 A.10 (of the Code of General Ordinances):
Complete the Fence Waiver. "Waiver A" attached n/a

? 7. The closing hours for a temporary outdoor extension are 10:00 P.M. TO 8:00 A.M. You may request to change
these hours to 12:00 midnight to 8:00 am. application attached n/a ends at 6pm

To be completed by The Community Development & Inspections Department:

Zoning Classification: _____ If SFR, choose required Waiver B2 (restaurant) or B3 (outdoor dining)

The outdoor area sought is _____ ft from any single-family dwelling* E-MAILED APR 08 REC'D

If less than 25ft: choose required Waiver B1 (institutional), B2 (restaurant), or B3 (outdoor dining) -OR-

* N/A if two-family, multi-family, B-1, B-2, B-3, B-4 districts, or dwellings within twenty-five (25') feet of said boundary if occupied by the applicant and/or his/her immediate family and no others.

The outdoor area has a boundary:
 within 300 ft of any residentially zoned property.
*Non-amplified music/entertainment is allowed in outdoor area 10:00am to 9:00pm with a cabaret license.**
 greater than 300 ft but less than 750 ft of any residentially zoned property.
*Non-amplified music/entertainment is allowed in outdoor area 10:00am to 10:00pm with a cabaret license.**
 greater than 750 ft of any residentially zoned property.

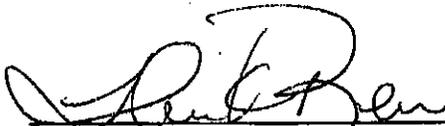
greater than 750 ft of any residentially zoned property.
Music/entertainment (including amplified) is allowed in outdoor area 10:00am to 1:00am (or earlier in accordance with the closing time of the outdoor extension) with a cabaret license.*

CDI Staff Member: _____ Date: _____

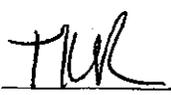
*Amplified music and sound shall not be permitted in an Outdoor Dining Area (Sec. 5.046) or Outdoor Cafe Area (Sec. 10.076)

PLEASE NOTE: Be sure to include appropriate attachments/waivers and file with the City Clerk's office no later than fourteen (14) days before final action of the Common Council. Meetings are held the 1st and 3rd Mondays of each month. Pursuant to Section 10.063, accumulation of more than 50 demerit points shall be a basis for denial, revocation or suspension of the outdoor area.

READ CAREFULLY BEFORE SIGNING: Under penalty provided for by law, the undersigned states that each of the above questions has been truthfully answered to the best of his/her/their knowledge. (Individual applicants and each member of a partnership must sign; designated corporate officers must sign.)

 3/28/14
(Individual/Partner/Member) Date

(Partner/Member) Date

I have received a copy of the NOTICE pertaining to LICENSE/PERMIT APPLICATIONS from the City Clerk's Office 
(Applicant's Initials)

City of Kenosha

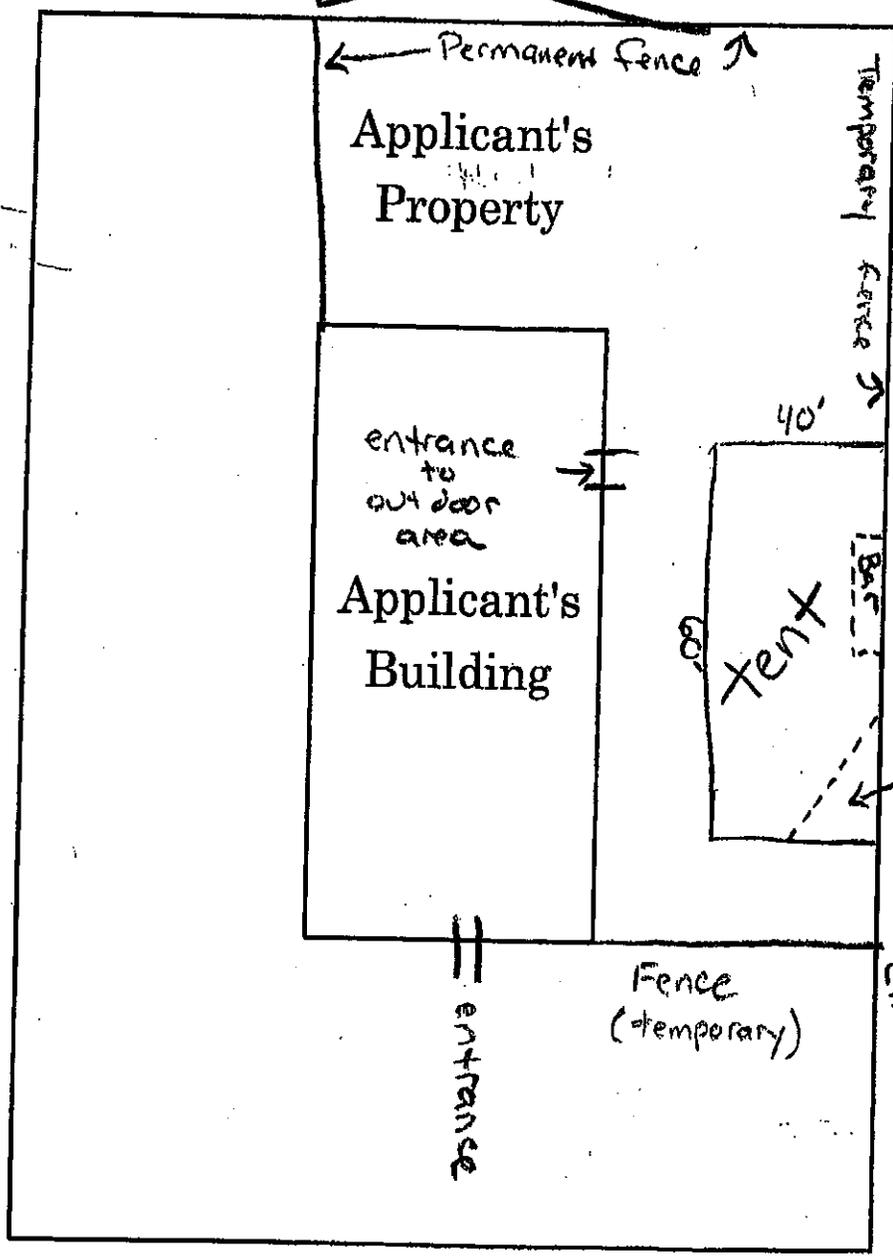
Site Plan for
Temporary Class B Licenses



~~Public Street~~

S

Public Street / Public Alley / Private Property
(Circle One)



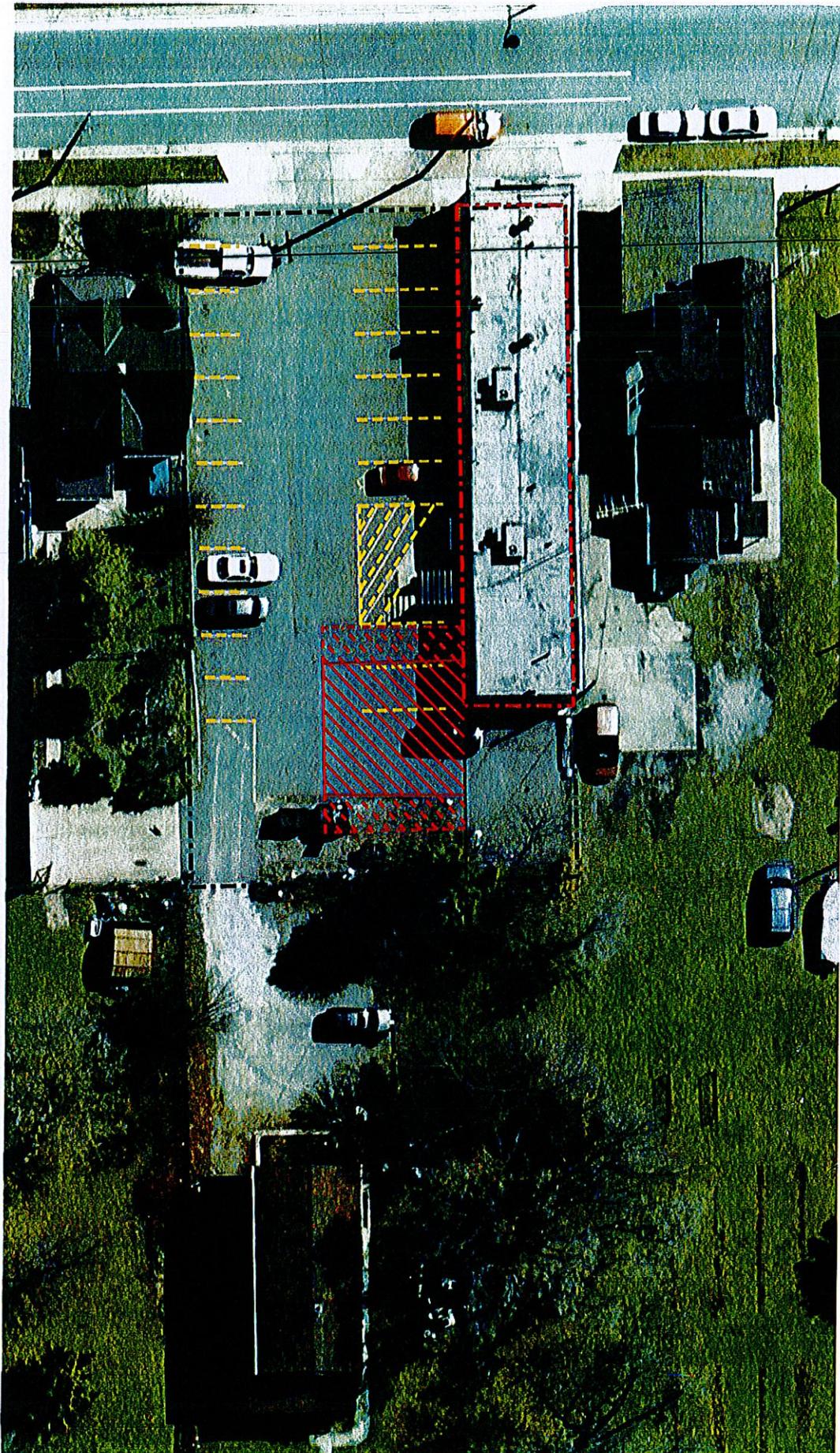
N

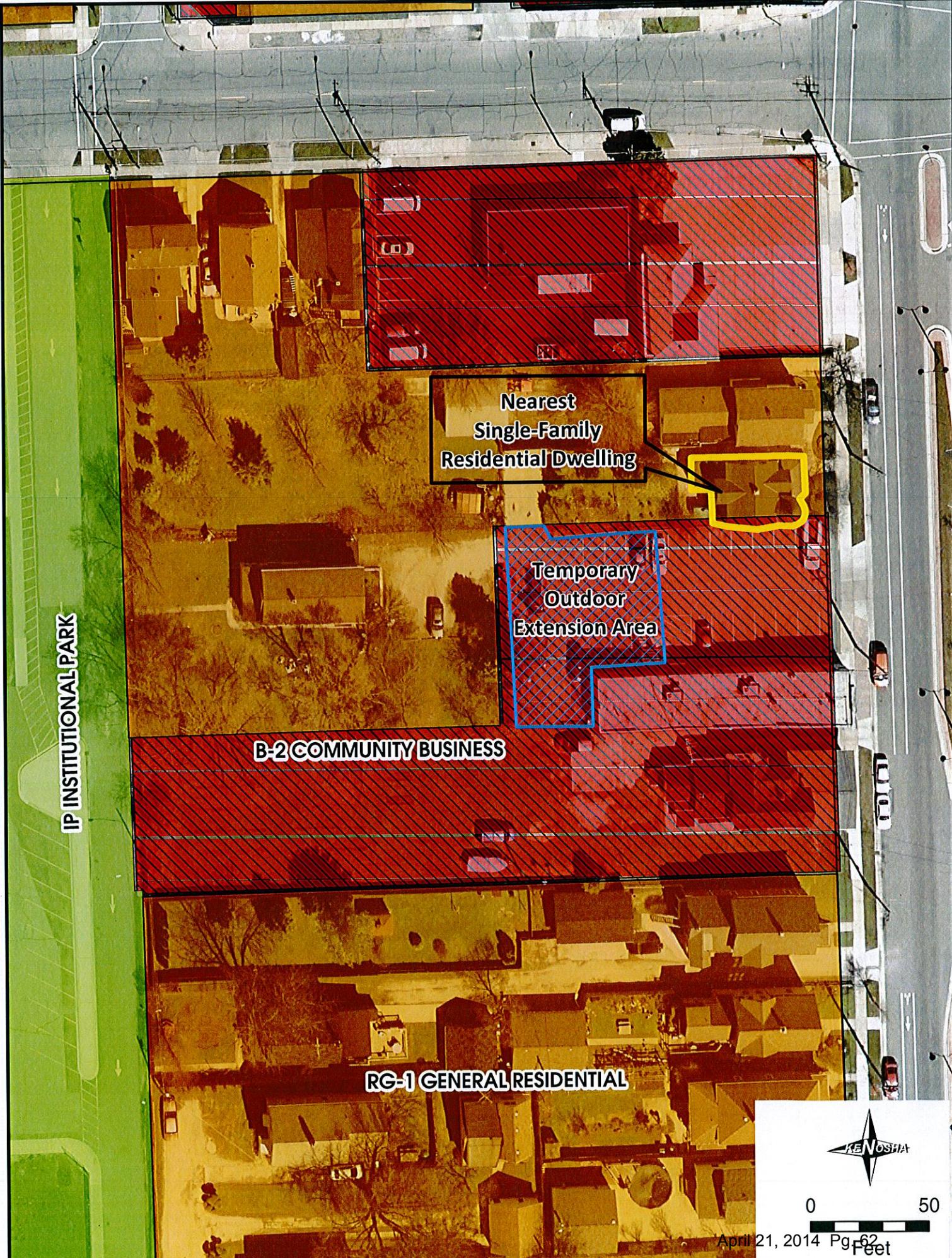
Public Street / Public Alley / Private Property
(Circle One)

Public Street / Public Alley / Private Property
(Circle One)

Draw the location of all fences, tents, entrances/exits, security measures, bars, and music stages.
Also provide measurements where appropriate.

C5b





IP INSTITUTIONAL PARK

**Nearest
Single-Family
Residential Dwelling**

**Temporary
Outdoor
Extension Area**

B-2 COMMUNITY BUSINESS

RG-1 GENERAL RESIDENTIAL



0 50
Feet

C6

E-MAILED APR 07 REC'D

E-MAILED APR - 1 REC'D



CABARET LICENSE DAILY

Type: 213 Fee: \$50.00/day

FILED	4-1-14
INITIALS	JAD
ADVERSE/NO ADV	<input checked="" type="checkbox"/>
LP	4/14

PLEASE NOTE: This license is non-renewable. Applications shall be referred by the City Clerk to the Police Department. The Police Department shall make a report, in writing, to the City Attorney as to any police record of the applicant, which may reflect upon good moral character or business responsibility. The City Attorney shall examine said record and make a recommendation to the Committee on Licenses/Permits based thereon as to whether the license shall be granted. The Committee on Licenses/Permits shall review all applications, any reports, the recommendation of the City Attorney and all other information before it. Said Committee shall recommend to the Common Council either the granting or denial of each application. (In accordance to Chapter X, Section 10.07 of the Code of General Ordinances of the City of Kenosha.)

Date(s) of Event: 5/3/14 Explanation of Event: GRAND OPENING (BELATED)

1. Licensee Name: THE PORT, LLC. District # 2

NOTE: must be same name as beer/liquor license)

2. Business Name & Address: PORT OF KENOSHA BEVERAGE HOUSE / 714 50th ST. 53140

3. If license is in the name of a Corporation or LLC, Agent Name: CRAIG C. PIAS

. Date of Birth of Agent (if Corporation/LLC) or Individual: 11/28/72

. Address: 3247 100th St. Phone # 262-818-5334

. Driver's License Number: (WI) P200 1037 2428 08
(must indicate if this is not a Wisconsin DL)

. Have you, as an adult, ever been convicted of a major crime (felony) or minor crime (misdemeanor) in Wisconsin, or in any other State; or do you have a charge pending at this time? Yes No
If yes, state: **charge, year, result**

Have you, as an adult, ever been convicted of violating a municipal or county ordinance in Wisconsin or in any state; or do you have a charge pending at this time? Yes No
If yes, state: **charge, year, result**

Have you, as an adult, ever served time; or have been sentenced to serve time in a jail or prison in Wisconsin or any other State? Yes No If yes, explain:

-OVER-

0. Have you ever had your driver's license suspended or revoked in Wisconsin or in any other State?
 Yes No If yes, explain:

1. Have you received any traffic citations in Wisconsin or in any other State within the past five (5) years; or do you have any such citations pending? Yes No
If yes, state: charge, year, result

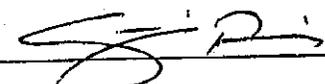
2. Have you, as an adult, within the past five (5) years, while operating a business or engaged in a profession, been convicted of any state or federal charges; or do you have charges pending at this time involving unfair trade practices, unethical conduct, or discrimination? Yes No
If yes, state: charge, year, result

3. List the name and address of all employers for which you have worked and/or businesses you have operated in the past five (5) years:

DAN NICOLAZZI (THE PORT) 714.50th ST. KENOSHA 53140

4. List all addresses at which you have lived in the past five (5) years:

3247.100th ST. PLEASANT PRAIRIE 53158
4917.7th AVE KENOSHA 53140
15th AVE KENOSHA 53140

Applicant's Signature:  Date: 4/1/14

PLEASE READ: §1.22 LICENSE/PERMIT APPLICATIONS - CODE OF GENERAL ORDINANCES
1. Prohibition It shall be unlawful for any person, acting as an individual, a partner, a corporate officer, or an agent, to execute or file with any City Department, or to authorize any person to do so on their behalf, a license or permit application which is not true, correct and/or complete in all material respects and which was known by said person to be untrue, incorrect and/or incomplete. The term "in all material respects" shall mean with respect to some fact, which, if known to the granting authority, would be a basis or a consideration for license or permit denial.
3. Penalty 1) Any person violating Subsection A. above, shall, upon conviction thereof, be subject to a forfeiture not to exceed Five Hundred (\$500) Dollars, plus the payment of the costs of prosecution, and, in default of the timely payment thereof, shall be committed to the County Jail until such forfeiture has been paid, but not to exceed a period of thirty (30) days.
2) The license or permit granting authority may grant, but withhold the issuance of, any license or permit for a period not to exceed thirty (30) days from the date of granting under circumstances wherein an application is found by the granting authority to have violated Section A. above, and the applicant was provided with an opportunity to appear before the granting authority. The granting authority may also issue a written warning to the applicant which shall be made part of their license/permit record for two (2) consecutive license/permit years.
Where such finding and penalty is made and imposed by other than the Common Council, applicant may, within ten (10) days of receipt of oral or written notice of the imposition of any such penalty, whichever is first, if both oral and written notice is provided, file a Notice of Appeal with the City Clerk and have such matter reviewed by the Common Council.
§1.225 ADMINISTRATIVE CHARGE FOR PROCESSING LICENSE/PERMIT APPLICATIONS
The first Twenty-five (\$25) Dollars of the application fee for any License/Permit shall be retained by the City in the event of a License/Permit denial or the withdrawal of the application by applicant for administrative and processing costs, and the balance, if any, refunded to the applicant. Where the application fee is less than Twenty-five (\$25) Dollars, the entire application fee shall be retained by the City for administrative and processing costs.

E-MAILED APR 08 REC'D



OUTDOOR AREA WAIVER OF CABARET and/or AMPLIFIED MUSIC

Type: 223 Fee: \$50.00/application (nonrefundable)
Limit: 4 Days per license term (July 1 - June 30)

FILED	<u>mn</u>
INITIALS	<u>4/1</u>
ADVERSE/NO ADV	
LP	
CC	

PLEASE NOTE: The Committee on Licenses/Permits shall review all applications, any reports, the recommendation of the City Attorney and all other information before it. Said Committee shall recommend to the Common Council either the granting or denial of each application. (In accordance to Chapter X, Section 10.075 of the Code of General Ordinances of the City of Kenosha.) Please see reverse side for additional instructions regarding speedy approval process.

1. Licensee Name: American Legion Post 21 District # 2
(NOTE: must be same name as beer/liquor license)

2. Trade Name & Address: American Legion Post 21 504 58th St.

3. If license is in the name of a Corporation or LLC, Agent Name: Amel W. Bolyard

4. Contact: Amel W. Bolyard 262-657-7464 BOLYARD AW@GMAIL.COM
name phone email address (correspondence will be via email if address is given)

5. REQUIRED: Applicant must have or apply for one of the following:

- Permanent Outdoor Extension
- Temporary Outdoor Extension
- Temporary Class "B" / "Class B" License

6. REQUIRED: If having LIVE ENTERTAINMENT, the applicant must have or apply for one of the following:

- Yearly Cabaret license
- Daily Cabaret license
- N/A: applying for waiver of amplified music only (ex: speakers connected to Ipod or Jukebox)

7. Applicant is applying for the following (check all that apply):

- Extension of Operational Hours of Cabaret License (Live Music or Entertainment) to 10:00pm (Currently non-amplified permitted until 9:00pm) (Sect. 10.075, E.1.)
- Waiver of Amplified Music or Sound Restriction (Speakers with or without live entertainment) (Sect. 10.075, E.2.)

Note: If licensed outdoor area is greater than 750' of any residentially zoned property, amplified music and/or cabaret licensed activity is already permitted and the waiver is not required.

8. Date(s) waiver is sought: MAY 24, MAY 25 2014 9. Hours of operation: 9 AM TO 9 PM

10. Purpose/Event: CELEBRATE MEMORIAL DAY FOR VETERANS & FAMILIES AND RAISE MONEY TO help needy vets. And families.

Applicant's Signature: Amel W. Bolyard Date: 3/25/2014
(Individual/Partner/Member/Agent)

5

E-MAILED APR 08 2014



OUTDOOR AREA WAIVER OF CABARET and/or AMPLIFIED MUSIC

FILED mm
INITIALS 4/1
ADVERSE/NO ADV
LP _____

Type: 223 Fee: \$50.00/application (nonrefundable)
Limit: 4 Days per license term (July 1 - June 30)

PLEASE NOTE: The Committee on Licenses/Permits shall review all applications, any reports, the recommendation of the City Attorney and all other information before it. Said Committee shall recommend to the Common Council either the granting or denial of each application. (In accordance to Chapter X, Section 10.075 of the Code of General Ordinances of the City of Kenosha.)
Please see reverse side for additional instructions regarding speedy approval process.

Licensee Name: American Legion Post 21 District # 2
(NOTE: must be same name as beer/liquor license)

Business Name & Address: American Legion Post 21 504 58th St.

If license is in the name of a Corporation or LLC, Agent Name: Amel W. Bolyard

Contact: Amel W. Bolyard 262-657-7464 BolyardAw@AMBL.com
name phone email address

REQUIRED: Applicant must have or apply for one of the following:

- Permanent Outdoor Extension
- Temporary Outdoor Extension
- Temporary Class "B" / "Class B" License

REQUIRED: If having LIVE ENTERTAINMENT, the applicant must have or apply for one of the following:

- Yearly Cabaret license
- Daily Cabaret license
- N/A: applying for waiver of amplified music only (ex: speakers connected to Ipod or Jukebox)

Applicant is applying for the following (check all that apply):

- Extension of Operational Hours of Cabaret License (Live Music or Entertainment) to 10:00pm (Currently non-amplified permitted until 9:00pm) (Sect. 10.075, E.1.)
- Waiver of Amplified Music or Sound Restriction (Speakers with or without live entertainment) (Sect. 10.075, E.2.)
Note: If licensed outdoor area is greater than 750' of any residentially zoned property, amplified music and/or cabaret licensed activity is already permitted and the waiver is not required.

Date(s) waiver is sought: 6/29/2014 9. Hours of operation: 9 AM to 9 PM

Purpose/Event: Celebrate America's Birthday for all Veterans.

Applicant's Signature: Amel W. Bolyard Date: 3/25/2014
(Licensee: Officer/Member/Partner/Individual)



**OUTDOOR AREA
WAIVER OF CABARET and/or
AMPLIFIED MUSIC
Co-Sponsored for CHARITY EVENT**

E-MAILED APR 08 REC'D

C8

FILED	<u>4/1/14</u>
INITIALS	<u>mn</u>
ADVERSE/NO ADV	
LP	
CC	

**Type: 225 Fee: \$50.00/application (nonrefundable)
Limit: 4 Days per license term (July 1 - June 30)**

PLEASE NOTE: The Committee on Licenses/Permits shall review all applications, any reports, the recommendation of the City Attorney and all other information before it. Said Committee shall recommend to the Common Council either the granting or denial of each application. (In accordance to Chapter X, Section 10.075 of the Code of General Ordinances of the City of Kenosha.) Please see reverse side for additional instructions regarding speedy approval process.

1. Licensee Name: Dishes to Die For Inc. District # 1

(NOTE: must be same name as beer/liquor license)

2. Business Name & Address: tg's Rest + Pub 4120-7 Ave Kenosha

3. If license is in the name of a Corporation or LLC, Agent Name: Theresa K Revis

4. Contact: Theresa K Revis 658-8080 tgobar@gmail.com
name phone email address (correspondence will be via email if address is given)

5. **REQUIRED:** Applicant must have or apply for one of the following:

- Permanent Outdoor Extension
- Temporary Outdoor Extension (additional space in parking lot)
- Temporary Class "B" / "Class B" License

6. **REQUIRED:** If having LIVE ENTERTAINMENT, the applicant must have or apply for one of the following:

- Yearly Cabaret license
- Daily Cabaret license
- N/A: applying for waiver of amplified music only (ex: speakers connected to Ipod or Jukebox)

7. Applicant is applying for the following (check all that apply):

Extension of Operational Hours of Cabaret License (Live Music or Entertainment) to 10:00pm (Currently non-amplified permitted until 9:00pm) (Sect. 10.075, E.1.)

Waiver of Amplified Music or Sound Restriction (Speakers with or without live entertainment) (Sect. 10.075, E.2.)

Note: If licensed outdoor area is greater than 750' of any residentially zoned property, amplified music and/or cabaret licensed activity is already permitted and the waiver is not required.

8. Date(s) waiver is sought: 4/26/14 9. Hours of operation: 11am - 6pm

10. Purpose/Event: Frank + Cheryl's 7th Annual Autism Benefit

Applicant's Signature: [Signature] Date: 3/28/14
(Individual/Partner/Member/Agent)

I have received a copy of the NOTICE pertaining to LICENSE/PERMIT APPLICATIONS from the City Clerk's Office TICR
(Applicant's Initials)

CO-SPONSOR (NON-PROFIT ORGANIZATION OR BONA FIDE CLUB)

a. Organization Name: (Non-profit organization or bona fide club) Frank @ Cheryl's Autism
 b. Address: 1341- Hoare. Kenasha Phone: 262-914-8997
 c. Date Organized: 4-26-14 If corporation, give date of incorporation: _____
 d. Contact: Cheryl Parise - 914-8997 - caparise@wi.rr.com
 name phone email address (correspondence will be via email if address is given)

e. Names and addresses of all officers:

1. Frank J. Parise 2. _____
 3. Cheryl A. Parise 4. _____
 Officer: Cheryl Parise (signature) Date: 4-26-14

REQUIRED FOR SPEEDY APPROVAL ONLY (must be filed at least 72 hours prior to event)

Signature of District Alderperson: _____ -or, if Alderperson is
 unavailable, Member of L/P Committee: _____ Date: _____

SPEEDY APPROVAL

License may be issued by City Clerk: If the application is filed at least seventy-two (72) hours prior to the date for which the waiver is sought, not including weekends and holidays, commencing at 8:00 A.M. of the day following the date at which a properly completed application was filed with the City Clerk/Treasurer; if the proposed waiver is limited to the hours of 10:00 A.M. to 10:00 P.M.; if the application is co-sponsored by the Alderperson of the district in which the license is located, or in the event that the Alderperson of the district is unavailable, co-sponsored by a member of the Committee on Licenses/Permits; and, if the Licensee/Applicant has not been issued a municipal citation for a violation of Chapter 10 of the Code of General Ordinances and/or Wisconsin Statutes Section 125 within the three hundred sixty-five (365) days preceding the application date. Should the applicant not meet the preceding qualifications, the application shall be referred to the Committee on Licenses/Permits and Common Council for consideration. Call the City Clerk's Office at 262-653-4020 to inquire about meeting dates and times to ensure your application is considered in time for your event.

10.075 OUTDOOR EXTENSION OF A "CLASS B", CLASS "B" AND/OR "CLASS" LICENSED PREMISES

E. Restrictions Governing the Use of the Outdoor Area Included within the Description of a "Class B", Class "B" and/or "Class" Licensed Premises.

1. Cabaret Licenses shall be extended to the licensed Outdoor Area subject to the following operational hours:

a. 10:00 A.M. to 9:00 P.M. where the Outdoor Area has a boundary within three hundred feet (300') of any residentially zoned property.

b. 10:00 A.M. to 10:00 P.M. where the Outdoor Area's boundaries are greater than three hundred feet (300') but less than seven hundred fifty feet (750') of any residentially zoned property.

c. 10:00 A.M. to 1:00 A.M. where the Outdoor Area's boundaries are greater than seven hundred fifty feet (750') of any residentially zoned property.

d. Cabaret Licenses shall not be extended to an Outdoor Dining Area as defined by Section 5.046 of the Code of General Ordinances.

2. Amplified music or sound may be permitted in the licensed Outdoor Area only subject to strict compliance with Chapter XXIII of the Code of General Ordinances entitled "Noise Control" and the following operational hours:

a. 10:00 A.M. to 1:00 A.M. where the Outdoor Area's boundaries are greater than seven hundred fifty feet (750') of any residentially zoned property. There shall be no amplified music or sound where the Outdoor Area has a boundary less than seven hundred fifty feet (750') of any residentially zoned property.

C9

APPLICATION
REFUGE CENTER LICENSE
(CHAPTER 13.13, CODE OF GENERAL ORDINANCES)

District # 3

License Type: 50

License Period: May 1st through April 30th

Check One: Original Application Renewal Application

How would you like to receive your license? pick up _____ mail *CALL FOR PICKUP
262-818-0685*

The Named (check one):

- INDIVIDUAL (Complete Sections 1, 4, 5, 6 and 7)
- PARTNERSHIP (Complete Sections 2, 4, 5, 6 and 7)
- CORPORATION/LIMITED LIABILITY COMPANY (Complete Sections 3, 4, 5, 6 and 7)

hereby makes application for the Refuge Center License checked above

(SECTION 1) INDIVIDUAL INFORMATION

Name of Applicant _____
 Last First M.
 Residence Address _____
 Street City State Zip
 Date of Birth _____ Phone Number _____
 DOB Business Cell Home
 Email Address _____

(SECTION 2) PARTNERSHIP INFORMATION

Partnership Name _____

List Name, Residence Address, Phone Number, Date of Birth, and Email Address of all Partners: (Attach Additional Sheets if necessary)

Name of Applicant _____
 Last First M.
 Residence Address _____
 Street City State Zip
 Date of Birth _____ Phone Number _____
 DOB Business Cell Home
 Email Address _____

Name of Applicant _____
 Last First M.
 Residence Address _____
 Street City State Zip
 Date of Birth _____ Phone Number _____
 DOB Business Cell Home
 Email Address _____

(SECTION 3) CORPORATE INFORMATION

Corporation Name FIRST STEP SERVICES INC State of Incorporation WI

List Name, Residence Address, Phone Number, Date of Birth, and Email Address of all Partners: (Attach Additional Sheets if necessary)

Name of Applicant SANCHEZ TRACY LYNN
Residence Address 6215 7th AVE Apt 3 KENOSHA WI 53143
Date of Birth _____ Phone Number 262-237-1606
Email Address FIRSTSTEP1017@AOL.COM

Name of Applicant _____
Residence Address _____
Date of Birth _____ Phone Number _____
Email Address _____

Name of Applicant _____
Residence Address _____
Date of Birth _____ Phone Number _____
Email Address _____

(SECTION 4) BUSINESS INFORMATION

Business Name, Street Address, State, Zip Code and Business Number: FIRST STEP SERVICES INC
1017 63RD STREET, KENOSHA, WI, 53140 262-605-8859

Building Owner's Name, Home Address, State, Zip, Phone Number: TRACY SANCHEZ
6215 7th AVE Apt 3, KENOSHA, WI 53143 262-237-1606

Manager or Proprietor of Business, Home Address, State, Zip, Phone Number: N/A

(SECTION 5) GENERAL INFORMATION

Organizational Chart listing supervisory personnel by name. *Check if Attached

Complete list of the services and programs provided at the Center. *Check if Attached

Floor plan identifying size and location of all Centers area. *Check if Attached

C9

- Date's & Hours of operation: Sunday _____
 Monday _____
 Tuesday _____
 Wednesday _____
 Thursday _____
 Friday _____
 Saturday _____

SEE ATTACHED
HOURS OF OPERATION

Code of Conduct Plan which addresses the expectations and accountability of the clientele, including while on the Refuge Center premises and while off-site. *Check if Attached

The undersigned, understand that this license may be denied or revoked by the Common Council for fraud, misrepresentation or false statement contained in the application or for any violation of §943.34 (receiving stolen property), 948.62 (receiving stolen property from a child) or 948.63 (receiving property from a child), Wisconsin Statutes. The undersigned, being first duly sworn on oath, disposes and says that (he/she is) (they are) the applicant(s) named in the foregoing application; that (he/she has) (they have) read each and every question and answered each and every question truly, correctly and completely, under penalty of law for failure to do so.

Applicants Signature
(Individual/Partner/President)

Tracy Sanchez
Applicants Signature
(Partner/other corporation member)

Applicants Signature
(Partner/Secretary or other)

Applicants Signature
(Corporation member)

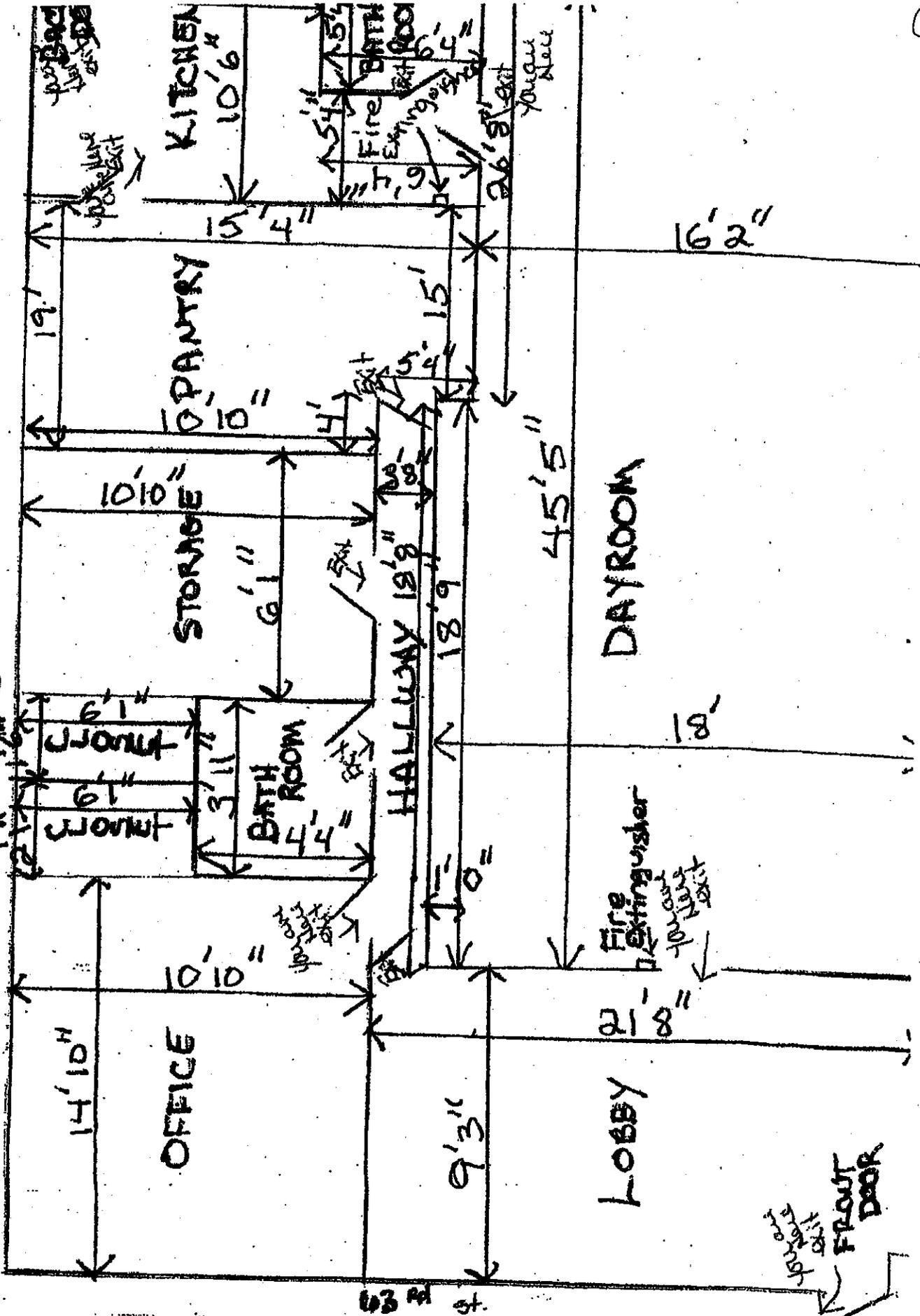
Date of application 4-7-14
issued _____

Clerk initials FS

Date granted _____ Date

Emergency Plan

← N





RECYCLING CENTER ACTIVITY LICENSE

§13.011 City of Kenosha Code of General Ordinances

Type: 160 Fee: \$350.00

New Renewal Expires 4/30/14

Sole Proprietor Partnership Corporation Licensed in Wisconsin

FILED	<u>3/21</u>
INITIALS	<u>KF</u>
ADVERSE/NO ADV	
LP	
CC	
PP TAX	

1. Licensee PRC/ PARISE RECYCLING CENTER, INC.

2. Trade Name PRC, INC. District # 8

3. Business Address 6425-27TH AV KENO, WI 53143

4. Business Phone Number & Email 262-656-0772 JPOPPY121@GMAIL.COM

5. Provide the name, address, phone number and date of birth of sole proprietor, each partner, each corporate officer (must be 18 years of age or older), as applicable:

	NAME	ADDRESS	PHONE	DATE OF BIRTH	POSITION
a)	<u>JAMES A. PARISE</u>	<u>4323-6TH AV</u>	<u>262-748-0805</u>	<u>11--</u>	<u>OWNER</u>
b)		<u>KENOSHA, WI 53140</u>			
c)					
d)					

5. Attach a sketch of the actual premises to be used in connection with the business to be licensed, giving distances in feet and showing fire lanes, property lines, buildings, and abutting roads, particularly identifying the recycling center yard. Check if attached:

7. Attach a description of the type of construction of any building and structure to be used in connection with the licensed business; a sketch showing the location of such buildings or structures on the business premises, with respect to their distance from roads and fire lanes and a diagram or plan giving distances and heights, showing floors, exits, entrances, windows, ventilators and walls. Check if attached: ON PLAN

3. Attach a description of any equipment or machinery which will be utilized to process recycling center material. Check if attached: INCLUDED

2. Attach a description of any motor vehicles which will be used to collect or haul recycling center material in the operation of licensed business, including their V.I.N, D.M.V. and L.C. numbers, where applicable. Check if attached:

10. Attach proof of insurance/financial responsibility for all motor vehicles which will be utilized in the operation of the licensed business, in accordance with the requirements of State law. Check if attached: N/A

11. Attach proof of current registration of all motor vehicles to be used in the course of performing licensed activities. Check if attached: N/A

2. Attach a list of all persons who will operate motor vehicles in the course of performing licensed activities, including their date of birth. Check if attached: (Police Department must verify that they possess a valid and appropriate Wisconsin Driver's License). N/A

3. Each sole proprietor, partner and corporate officer must fill out and attach "Applicant's Report of Police Record". (The police department will verify the information provided and forward their report to the City Attorney who will make a recommendation as to whether or not said individual(s) are of sufficient moral character and business responsibility to be entitled to the privilege of being awarded a license).

4. Have you obtained from the City Clerk a current copy of §13.01 of the Code of General Ordinances entitled "Scrap Salvage Dealers and Scrap Salvage Collectors"? Yes No

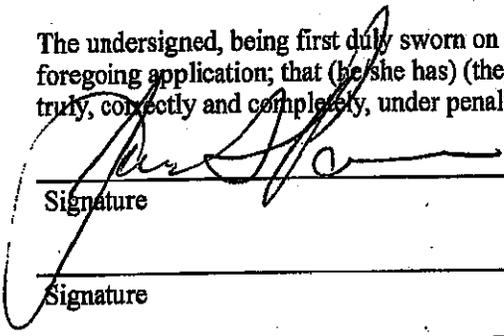
(PLEASE NOTE THAT YOU ARE RESPONSIBLE FOR KNOWING AND ABIDING BY THE CONTENTS THEREOF AND YOUR LICENSE MAY BE SUSPENDED OR REVOKED AND/OR YOU MAY BE SUBJECT TO A CIVIL FORFEITURE FOR NONCOMPLIANCE THEREWITH).

15. Have you ever previously applied for and been denied the license herein applied for? Yes No If yes, explain: _____

16. Have you ever held the license applied for and had it suspended or revoked? Yes No If yes, explain: _____

NOTICE: IF THIS APPLICATION AND/OR ATTACHMENTS CONTAIN STATEMENTS OR INFORMATION WHICH IS NOT TRUE, CORRECT AND COMPLETE IN ALL MATERIAL RESPECTS, THIS LICENSE MAY BE DENIED, YOU MAY BE SUBJECT TO CRIMINAL OR CIVIL PENALTIES AND YOUR LICENSE, IF GRANTED, MAY BE DELAYED IN ISSUANCE FOR THIRTY (30) DAYS.

The undersigned, being first duly sworn on oath, deposes and says that (he/she is) (they are) the applicant(s) named in the foregoing application; that (he/she has) (they have) read each and every question and answered each and every questions truly, correctly and completely, under penalty of law for failure to do so.



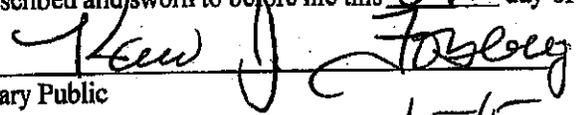
Signature

Signature

Signature

Signature

Subscribed and sworn to before me this 21st day of March, 2014.



Notary Public

My commission expires 3/15/15

CERTIFICATION BY CITY CLERK'S OFFICE

I hereby state that the above application was granted by the Common Council on the _____ day of _____, and applicant was issued license number _____ on the _____ day of _____.

Personal Property Tax Paid: _____

License Clerk Signature



SCRAP SALVAGE COLLECTOR'S LICENSE
§13.01 City of Kenosha Code of General Ordinances

Type: 162 Fee: \$150.00

New Renewal Expires 4/30/14
MAY 2014 *JP*

Sole Proprietor Partnership Corporation Licensed in Wisconsin

FILED	<u>3/21</u>
INITIALS	<u>KF</u>
ADVERSE/NO ADV	
LP	
CC	
PP TAX	

1. Licensee PRC PARISE RECYCLING CENTER

2. Trade Name PRC, INC. District # (8)

3. Business Address 6425-27TH AV

4. Business Phone Number & Email 262-656-0772 JPOPPY121@GMAIL.COM

5. Provide the name, address, phone number and date of birth of sole proprietor, each partner, each corporate officer (must be 18 years of age or older), as applicable:

	NAME	ADDRESS	PHONE	DOB	POSITION
a)	<u>JAMES PARISE</u>	<u>4323-6TH AV</u>	<u>262-748-0805</u>	<u>...</u>	<u>OWNER</u>
b)		<u>KENOSHA, WI 53140</u>			
c)					
d)					

6. Attach a photograph of all persons required to sign the application, taken within sixty (60) days immediately prior to the date of the filing of the application, which shall be at least 2 in. by 2 in., showing their head and shoulders in a clear and distinguishing manner. Check if attached:

7. Attach a description of any motor vehicles which will be used to collect or haul "Scrap Salvage" in the operation of the licensed business, including their I.D., D.M.V. and L.C. numbers, where applicable. Check if attached: N/A

8. Attach proof of insurance/financial responsibility for all motor vehicles which will be utilized in the operation of the licensed business, in accordance with the requirements of WI laws. Check if attached: N/A

9. Is the name of the party to be licensed conspicuously and legibly printed on all motor vehicles to be used in the operation of the licensed business? (This does not include passenger automobiles which are also used to personal transportation).

Yes No Attach photographs indicating compliance with above or verification by Police Department. Check if attached: N/A

10. Are all motor vehicles to be used in the licensed business currently registered with the State Department of Transportation? Yes No (Police Department to submit verification) N/A

11. Attach a list of all persons who will operate motor vehicles in the course of performing licensed activities, including their date of birth. Check if attached: (Police Dept. must verify that they possess a valid and appropriate Wisconsin Driver's License) N/A

12. Each sole proprietor, partner and corporate officer must fill out and attach "Applicant's Report of Police Record". (The Police Department will verify the information provided and forward their report to the City Attorney who will make a recommendation as to whether or not said individual(s) are of sufficient moral character and business responsibility to be entitled to the privilege of being awarded a license).

13. Have you obtained from the City Clerk a current copy of §13.01 of the Code of General Ordinances entitled "Scrap Salvage Dealers and Scrap Salvage Collectors"? Yes No

(PLEASE NOTE THAT YOU ARE RESPONSIBLE FOR KNOWING AND ABIDING BY THE CONTENTS THEREOF AND YOUR LICENSE MAY BE SUSPENDED OR REVOKED AND/OR YOU MAY BE SUBJECT TO A CIVIL FORFEITURE FOR NONCOMPLIANCE THEREWITH).

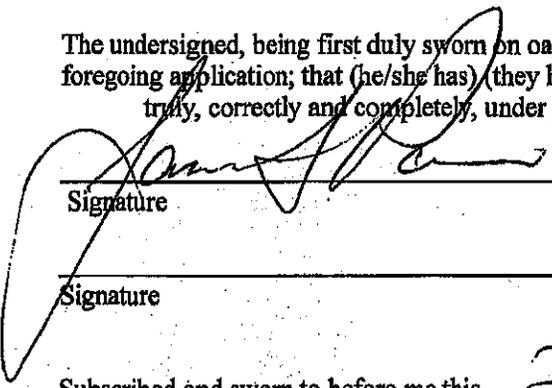
14. Have you ever previously applied for and been denied the license herein applied for? NO If yes, explain: _____

C11

15. Have you ever held the license applied for and had it suspended or revoked? Yes No If yes, explain: _____

NOTICE: IF THIS APPLICATION AND/OR ATTACHMENTS CONTAIN STATEMENTS OR INFORMATION WHICH IS NOT TRUE, CORRECT AND COMPLETE IN ALL MATERIAL RESPECTS, THIS LICENSE MAY BE DENIED, YOU MAY BE SUBJECT TO CRIMINAL OR CIVIL PENALTIES AND YOUR LICENSE, IF GRANTED, MAY BE DELAYED IN ISSUANCE FOR THIRTY (30) DAYS.

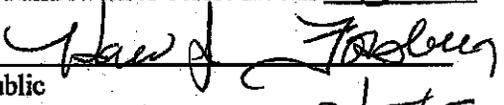
The undersigned, being first duly sworn on oath, deposes and says that (he/she is) (they are) the applicant(s) named in the foregoing application; that (he/she has) (they have) read each and every question and answered each and every questions truly, correctly and completely, under penalty of law for failure to do so.



Signature

Signature

Subscribed and sworn to before me this 21st day of March, 2014



Notary Public

My commission expires 3/15/15

CERTIFICATION BY CITY CLERK'S OFFICE

I hereby state that the above application was granted by the Common Council on the _____ day of _____, and applicant was issued license number _____ on the _____ day of _____.

Personal Property Tax Paid: _____

License Clerk Signature



SCRAP SALVAGE DEALER'S LICENSE

§13.01 City of Kenosha Code of General Ordinances

Type: 161 Fee: \$350.00

New Renewal Expires 4-30-14

Sole Proprietor Partnership Corporation Licensed in Wisconsin

FILED	<u>3/28/14</u>
INITIALS	<u>WJ</u>
ADVERSE/NO ADV	
LP	
CC	
PP TAX	<input checked="" type="checkbox"/>

- 1. Licensee Martin O Krause Schneider Auto Sales & Parts, Inc.
- 2. Trade Name Schneider Auto Sales + Parts Inc District # 9
- 3. Business Address 8521 Sheridan Rd Kenosha WI 53143
- 4. Business Phone Number & Email 262-694-4330

5. Provide the name, address, phone number and date of birth of sole proprietor, each partner, each corporate officer (must be 18 years of age or older), as applicable:

	NAME	ADDRESS	PHONE	DATE OF BIRTH	POSITION
a)	<u>Martin O. Krause</u>	<u>926 40th St Kenosha</u>	<u>262-909-6461</u>		<u>President</u>
b)					
c)					
d)					

5. Attach a Sketch of the actual premises to be used in connection with the business to be licensed, giving distances in feet and showing fire lanes, property lines, buildings, structures, and abutting roads and indicate the distance of buildings and structures from roads and fire lanes. Check if attached:

7. Attach a description of the type of construction of any buildings and structures which are constructed on the premises to be licensed. Check if attached:

3. Attach a diagram or plan of any building or structure which is on or to be constructed on the premises to be licensed, giving distances and heights showing floors, exits, entrances, windows, ventilators and walls. Check if attached:

2. Attach a description of any equipment or machinery which will be utilized to process "Scrap Salvage". Check if attached:

10. Attach a description of any motor vehicles which will be used to collect or haul "Scrap Salvage" in the operation of the licensed business, including their I.D., D.M.V. and L.C. numbers, where applicable. Check if attached:

11. Attach proof of insurance/financial responsibility for all motor vehicles which will be utilized in the operation of the licensed business in accordance with the requirements of WI laws. Check if attached:

12. Is the name of the party to be licensed conspicuously and legibly printed on all motor vehicles to be used in the operation of the licensed business (this does not include passenger automobiles which are also used for personal transportation)? Yes No **Attach photographs indicating compliance with above or certification by police department. Check if attached:

13. Are all motor vehicles to be used in the licensed business currently registered with the State Department of Transportation? Yes No (Police Department to submit verification).

4. Attach a list of all persons who will operate motor vehicles in the course of performing licensed activities, including their date of birth. Check if attached: (Police Department must verify that they possess a valid and appropriate Wisconsin Driver's License).

5. Each sole proprietor, partner and corporate officer must fill out and attach "Applicant's Report of Police Record". (The police department will verify the information provided and forward their report to the City Attorney who will make a recommendation as to whether or not said individual(s) are of sufficient moral character and business responsibility to be entitled to the privilege of being awarded a license).

6. Will "scrap salvage" be broken into smaller pieces on the premises through the use of a ball or object dropped from a crane or apparatus? No (If yes, a separate permit must be obtained from the Common Council in accordance with §13.01 K(1)(j) of the Code of General Ordinances) C12a

7. Does the premises have fire lanes approved by the Fire Department? Yes

8. Have you obtained from the City Clerk a current copy of §13.01 of the Code of General Ordinances entitled "Scrap Salvage Dealers and Scrap Salvage Collectors"? Yes No (PLEASE NOTE THAT YOU ARE RESPONSIBLE FOR KNOWING AND ABIDING BY THE CONTENTS THEREOF AND YOUR LICENSE MAY BE SUSPENDED OR REVOKED AND/OR YOU MAY BE SUBJECT TO A CIVIL FORFEITURE FOR NONCOMPLIANCE THEREWITH).

9. Have you ever previously applied for and been denied the license herein applied for? Yes No If yes, explain: _____

11. Have you ever held the license applied for and had it suspended or revoked? Yes No If yes, explain: _____

NOTICE: IF THIS APPLICATION AND/OR ATTACHMENTS CONTAIN STATEMENTS OR INFORMATION WHICH IS NOT TRUE, CORRECT AND COMPLETE IN ALL MATERIAL RESPECTS, THIS LICENSE MAY BE DENIED, YOU MAY BE SUBJECT TO CRIMINAL OR CIVIL PENALTIES AND YOUR LICENSE, IF GRANTED, MAY BE DELAYED IN ISSUANCE FOR THIRTY (30) DAYS.

The undersigned, being first duly sworn on oath, deposes and says that (he/she is) (they are) the applicant(s) named in the foregoing application; that (he/she has) (they have) read each and every question and answered each and every questions truly, correctly and completely, under penalty of law for failure to do so.

Marie O'Keefe
Signature

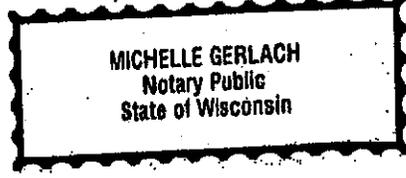
Signature

Signature

Signature

Subscribed and sworn to before me this 28 day of March, 2014.

Michelle Gerlach
Notary Public



My commission expires 1-17-2016

CERTIFICATION BY CITY CLERK'S OFFICE

I hereby state that the above application was granted by the Common Council on the _____ day of _____, and applicant was issued license number _____ on the _____ day of _____.

Personal Property Tax Paid: _____

License Clerk Signature



SCRAP SALVAGE DEALER'S LICENSE

§13.01 City of Kenosha Code of General Ordinances

Type: 161 Fee: \$350.00

New Renewal Expires 4/30/2014

FILED	<u>3-26-14</u>
INITIALS	<u>RS</u>
ADVERSE/NO ADV	
LP	
CC	
PP TAX	<input checked="" type="checkbox"/>

Sole Proprietor Partnership Corporation Licensed in Wisconsin

1. Licensee Jantz's Yard 4 Automotive, Inc
 2. Trade Name Jantz's Yard 4 Automotive, Inc District # 6
 3. Business Address 2500 WASHINGTON ROAD
 4. Business Phone Number & Email 262-658-1392 peggy@jantzauto.com

5. Provide the name, address, phone number and date of birth of sole proprietor, each partner, each corporate officer (must be 18 years of age or older), as applicable:

	NAME	ADDRESS	PHONE	DATE OF BIRTH	POSITION
a)	<u>ALFRED L. JANTZ</u>	<u>4101 WASH. RD</u>	<u>656-8585</u>		<u>Pres.</u>
b)	<u>DONALD JANTZ</u>	<u>4824 17th St</u>	<u>552-9610</u>		<u>Vice-Pres.</u>
c)	<u>Dennis JANTZ</u>	<u>3808-31st AVE</u>	<u>654-5151</u>		<u>Sec</u>
d)	<u>Steven JANTZ</u>	<u>3415 WASH. RD</u>	<u>658-4270</u>		<u>Treas.</u>

6. Attach a Sketch of the actual premises to be used in connection with the business to be licensed, giving distances in feet and showing fire lanes, property lines, buildings, structures, and abutting roads and indicate the distance of buildings and structures from roads and fire lanes. Check if attached:

7. Attach a description of the type of construction of any buildings and structures which are constructed on the premises to be licensed. Check if attached:

8. Attach a diagram or plan of any building or structure which is on or to be constructed on the premises to be licensed, giving distances and heights showing floors, exits, entrances, windows, ventilators and walls. Check if attached:

9. Attach a description of any equipment or machinery which will be utilized to process "Scrap Salvage". Check if attached: Crane, magnet, steel crusher, forklifts, tractor, mower

10. Attach a description of any motor vehicles which will be used to collect or haul "Scrap Salvage" in the operation of the licensed business, including their ID., D.M.V. and L.C. numbers, where applicable. Check if attached:

11. Attach proof of insurance/financial responsibility for all motor vehicles which will be utilized in the operation of the licensed business in accordance with the requirements of WI laws. Check if attached:

12. Is the name of the party to be licensed conspicuously and legibly printed on all motor vehicles to be used in the operation of the licensed business (this does not include passenger automobiles which are also used for personal transportation)?
 Yes No **Attach photographs indicating compliance with above or certification by police department. Check if attached:

13. Are all motor vehicles to be used in the licensed business currently registered with the State Department of Transportation? Yes No (Police Department to submit verification).

14. Attach a list of all persons who will operate motor vehicles in the course of performing licensed activities, including their date of birth. Check if attached: (Police Department must verify that they possess a valid and appropriate Wisconsin Driver's License).

15. Each sole proprietor, partner and corporate officer must fill out and attach "Applicant's Report of Police Record". (The police department will verify the information provided and forward their report to the City Attorney who will make a recommendation as to whether or not said individual(s) are of sufficient moral character and business responsibility to be entitled to the privilege of being awarded a license).

- 16. Will "scrap salvage" be broken into smaller pieces on the premises through the use of a ball or object dropped from a crane or apparatus? yes (If yes, a separate permit must be obtained from the Common Council in accordance with §13.01 K(1)(j) of the Code of General Ordinances)
- 17. Does the premises have fire lanes approved by the Fire Department? yes
- 18. Have you obtained from the City Clerk a current copy of §13.01 of the Code of General Ordinances entitled "Scrap Salvage Dealers and Scrap Salvage Collectors"? Yes No (PLEASE NOTE THAT YOU ARE RESPONSIBLE FOR KNOWING AND ABIDING BY THE CONTENTS THEREOF AND YOUR LICENSE MAY BE SUSPENDED OR REVOKED AND/OR YOU MAY BE SUBJECT TO A CIVIL FORFEITURE FOR NONCOMPLIANCE THEREWITH).
- 19. Have you ever previously applied for and been denied the license herein applied for? Yes No If yes, explain: _____
- 21. Have you ever held the license applied for and had it suspended or revoked? Yes No If yes, explain: _____

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The undersigned, being first duly sworn on oath, deposes and says that (he/she is) (they are) the applicant(s) named in the foregoing application; that (he/she has) (they have) read each and every question and answered each and every questions truly, correctly and completely, under penalty of law for failure to do so.

Alfred L Gantz
Signature

Signature

Signature

Signature

Subscribed and sworn to before me this 24 day of March, 2014.

Randy Korman
Notary Public

My commission expires 1-29-2017

CERTIFICATION BY CITY CLERK'S OFFICE

I hereby state that the above application was granted by the Common Council on the _____ day of _____, and applicant was issued license number _____ on the _____ day of _____.

Personal Property Tax Paid: _____

License Clerk Signature

C12c



SCRAP SALVAGE DEALER'S LICENSE

§13.01 City of Kenosha Code of General Ordinances

FILED	<u>3-26-14</u>
INITIALS	<u>PS</u>
ADVERSE/NO ADV	
LP	
CC	
PP TAX	<input checked="" type="checkbox"/>

Type: 161 Fee: \$350.00

New Renewal Expires 4/30/14

Sole Proprietor Partnership Corporation Licensed in Wisconsin

1. Licensee Jantz Auto Sales, Inc

2. Trade Name Jantz Auto Sales District # 10

3. Business Address 3405 WASHINGTON ROAD

4. Business Phone Number & Email 262-654-0238 peggy@jantzauto.com

5. Provide the name, address, phone number and date of birth of sole proprietor, each partner, each corporate officer (must be 18 years of age or older), as applicable:

	NAME	ADDRESS	PHONE	DATE OF BIRTH	POSITION
a)	<u>Steven Jantz</u>	<u>3415 WASH. RD</u>	<u>658-4270</u>	<u>11-11-51</u>	<u>Pres-Treas</u>
b)	<u>PEGGY KOSSOW</u>	<u>4323-25 ST</u>	<u>496-8601</u>	<u>11-11-51</u>	<u>V.P - Sec</u>
c)					
d)					

6. Attach a Sketch of the actual premises to be used in connection with the business to be licensed, giving distances in feet and showing fire lanes, property lines, buildings, structures, and abutting roads and indicate the distance of buildings and structures from roads and fire lanes. Check if attached:

7. Attach a description of the type of construction of any buildings and structures which are constructed on the premises to be licensed. Check if attached:

8. Attach a diagram or plan of any building or structure which is on or to be constructed on the premises to be licensed, giving distances and heights showing floors, exits, entrances, windows, ventilators and walls. Check if attached:

9. Attach a description of any equipment or machinery which will be utilized to process "Scrap Salvage". Check if attached: END LOADER, HAND TOOLS, TORCHES

10. Attach a description of any motor vehicles which will be used to collect or haul "Scrap Salvage" in the operation of the licensed business, including their I.D., D.M.V. and L.C. numbers, where applicable. Check if attached:

11. Attach proof of insurance/financial responsibility for all motor vehicles which will be utilized in the operation of the licensed business in accordance with the requirements of WI laws. Check if attached:
LC 46383 1993 Chev 1 TON DMV 427 232868 638241

12. Is the name of the party to be licensed conspicuously and legibly printed on all motor vehicles to be used in the operation of the licensed business (this does not include passenger automobiles which are also used for personal transportation)? Yes No **Attach photographs indicating compliance with above or certification by police department. Check if attached:

13. Are all motor vehicles to be used in the licensed business currently registered with the State Department of Transportation? Yes No (Police Department to submit verification).

14. Attach a list of all persons who will operate motor vehicles in the course of performing licensed activities, including their date of birth. Check if attached: (Police Department must verify that they possess a valid and appropriate Wisconsin Driver's License). Dennis Jantz 5-12-57
Steven Jantz 12-13-54

15. Each sole proprietor, partner and corporate officer must fill out and attach "Applicant's Report of Police Record". (The police department will verify the information provided and forward their report to the City Attorney who will make a recommendation as to whether or not said individual(s) are of sufficient moral character and business responsibility to be entitled to the privilege of being awarded a license).

- 16. Will "scrap salvage" be broken into smaller pieces on the premises through the use of a ball or object dropped from a crane or apparatus? NO (If yes, a separate permit must be obtained from the Common Council in accordance with §13.01 K(1)(j) of the Code of General Ordinances)
- 17. Does the premises have fire lanes approved by the Fire Department? yes
- 18. Have you obtained from the City Clerk a current copy of §13.01 of the Code of General Ordinances entitled "Scrap Salvage Dealers and Scrap Salvage Collectors"? Yes No (PLEASE NOTE THAT YOU ARE RESPONSIBLE FOR KNOWING AND ABIDING BY THE CONTENTS THEREOF AND YOUR LICENSE MAY BE SUSPENDED OR REVOKED AND/OR YOU MAY BE SUBJECT TO A CIVIL FORFEITURE FOR NONCOMPLIANCE THEREWITH).
- 19. Have you ever previously applied for and been denied the license herein applied for? Yes No If yes, explain: _____
- 21. Have you ever held the license applied for and had it suspended or revoked? Yes No If yes, explain: _____

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The undersigned, being first duly sworn on oath, deposes and says that (he/she is) (they are) the applicant(s) named in the foregoing application; that (he/she has) (they have) read each and every question and answered each and every questions truly, correctly and completely, under penalty of law for failure to do so.

[Signature]
Signature

Signature

Signature

Signature

Subscribed and sworn to before me this 20 day of March, 2014.

[Signature]
Notary Public

My commission expires 1-29-2017

CERTIFICATION BY CITY CLERK'S OFFICE

I hereby state that the above application was granted by the Common Council on the _____ day of _____, and applicant was issued license number _____ on the _____ day of _____.

Personal Property Tax Paid: _____

License Clerk Signature

**COMMON COUNCIL
CITY OF KENOSHA, WISCONSIN
LICENSING/PERMIT COMMITTEE**

In the Matter of the Class “B” Beer/Class “C” Wine License and/or Outdoor Dining Area License of :

FOOD and FUN FIRST, LLC, d/b/a The Good Garden Cafe And Wine Gallery

Janine Kolbeck, Agent

Findings of Fact, Conclusions of Law and Recommendation

The Complaint of the City Clerk/Treasurer for the City of Kenosha seeking the revocation of the above captioned license came before the License and Permit Committee on March 24, 2014.

The members of the Licensing/Permit Committee present for the hearing were Chairman Jesse Downing, Anthony Kennedy, Patrick Juliana, Curt Wilson and Chris Schwartz. The Licensing/Permit Committee was represented by special counsel, Steven M. Cain. The City Clerk/Treasurer was represented by Deputy City Attorney Matthew A. Knight.

The Licensee appeared in person by its agent, Janine Kolbeck.

NOW THEREFORE, based on the testimony and evidence received at the hearing, the arguments of counsel for the City, the arguments of the Licensee, and the discussion by the members of the Licensing/Permit Committee, the Licensing/Permit Committee of the Common Council of the City of Kenosha makes the following Findings of Fact, Conclusions of Law and Recommendation:

FINDINGS OF FACT

1. Janine Kolbeck, Agent of Food and Fun First, LLC, d/b/a The Good Garden Cafe and Wine Gallery, hereinafter "Licensee", at all times mentioned herein, was and is an adult resident of the City of Kenosha, Wisconsin, and as of April 15, 2013, resided at 2019 – 57th Street, Kenosha, Wisconsin, 53140;

2. Licensee was initially granted a Class "B" Beer/"Class C" Wine Combination License, hereinafter "License", by the Common Council for the City of Kenosha, Wisconsin, hereinafter referred to as "Council", on April 15, 2013, pursuant to Chapter 10 of the Code of General Ordinances of the City of Kenosha, Wisconsin;

3. The Licensee has filed a renewal application for renewal of the license dated April 15, 2013, for the licensing period beginning on July 1, 2013 and concluding on June 30, 2014.

4. The Licensee had its License renewed by Council on June 3, 2013, subject to forty (40) demerit points;

5. Licensee also holds an Outdoor Dining Area with Outdoor Extension of the Class "B"/"Class C" Combination License which the Council initially granted on June 18, 2013; said License was renewed subject to a non-renewal revocation hearing on December 13, 2013;

6. That Licensee was assessed twenty-five (25) demerit points based upon a municipal citation issued to Raymond Roberts, a corporate member of Food and Fun First, LLC, and a conviction of Operating Without a Licensed Bartender on Premises, contrary to Wis. Stats. § 125.32(2), pursuant to Sections 10.063 D.1. and 10.063 D.6., of the Code of General Ordinances, said violation having occurred on September 6, 2013, and resulting in a conviction in the Municipal Court for the City of Kenosha on September 26, 2013;

7. That Licensee was assessed twenty (20) demerit points based upon a municipal citation issued to Raymond Roberts, a member of Food and Fun First, LLC, and a conviction of Operating its Outdoor Extension after permitted operational hours, contrary to Section 10.075, of the Code of General Ordinances, said violation having occurred on September 6, 2013, and resulting in a conviction in the Municipal Court for the City of Kenosha on September 26, 2013;

8. That Licensee was assessed twenty (20) demerit points based upon a conviction of Operating Without a Cabaret License, contrary to Section 10.07, of the Code of General Ordinances, said violation having occurred on October 5, 2013, and resulting in a conviction in the Municipal Court for the City of Kenosha on October 25, 2013;

CONCLUSIONS OF LAW

9. That Licensee has accumulated one hundred five (105) demerit points within seven hundred thirty (730) consecutive days pursuant to Section 10.063 of the General Code of Ordinances;

10. Pursuant to Section 10.063 D.2.a. of the Code of General Ordinances, the accumulation of one hundred (100) demerit within seven hundred thirty (730) consecutive days subjects the Licensee to the non-renewal, revocation or suspension of said License held by Licensee, as determined by Council;

11. Pursuant to Section 5.046 I. of the Code of General Ordinances, the accumulation of fifty (50) or more demerit points at the time of renewal subjects the Licensee to suspension or revocation of the Outdoor Dining Area with Outdoor Extension, as determined by Council.

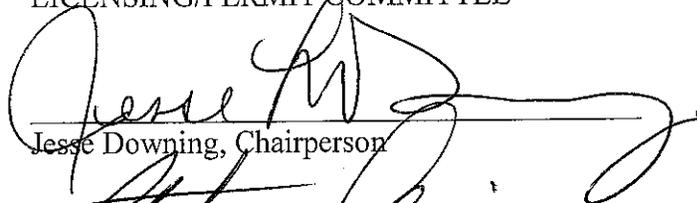
RECOMMENDATION

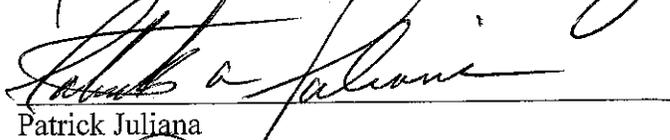
Based on the allegations of the Complaint, the evidence and testimony received at the hearing, the arguments of Counsel for the City of Kenosha, the discussions by the members of

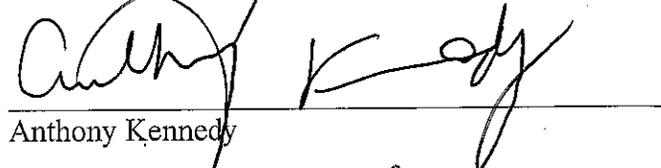
the Licensing/Permit Committee, and the Findings of Fact and Conclusions of Law set forth above, the Licensing/Permit Committee recommends to the Common Council, by a vote of 5-0, that the Class "B" Beer/Class "C" Wine License and Outdoor Dining Area License of FOOD AND FUN FIRST, LLC, be suspended for a period of 10 consecutive days.

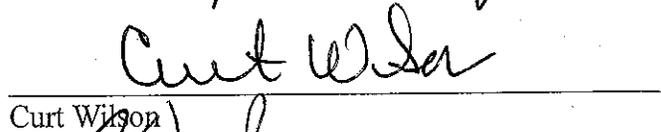
Dated at Kenosha, Wisconsin, on this 14 day of April, 2014.

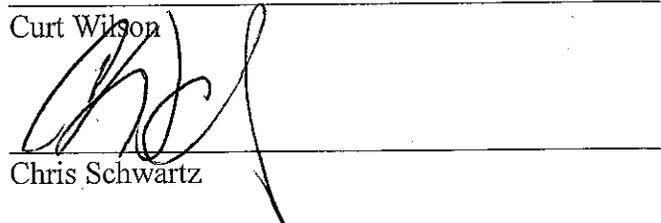
LICENSING/PERMIT COMMITTEE


Jesse Downing, Chairperson


Patrick Juliana


Anthony Kennedy


Curt Wilson


Chris Schwartz

**COMMON COUNCIL
CITY OF KENOSHA, WISCONSIN
LICENSING/PERMIT COMMITTEE**

In The Matter of the Cabaret License of:

IMAGINE4, LLC, d/b/a Big Shotz Sports Bar

Kurt Streck, Agent.

Findings of Fact, Conclusions of Law and Recommendation

The Complaint of the Chief of Police for the City of Kenosha seeking the revocation of the above captioned Cabaret License came to the Committee for hearings on Friday, April 4 and Monday, April 7, 2014.

The members of the Licensing/Permit Committee present for the hearings were Chairman Jesse Downing, Curt Wilson and Chris Schwartz. The Licensing/Permit Committee was represented by special counsel, Steven M. Cain.

The City, through the Complaint of the Chief of Police, was represented by Assistant City Attorney Matthew A. Knight.

The Licensee appeared in person by its Agent, Kurt Streck and with Counsel, David Celebre.

NOW THEREFORE, based on the testimony and evidence received at the hearings, the arguments of counsel for the City, the arguments and stipulations of counsel for the Licensee, and the discussion by the members of the Licensing/Permit Committee, the Licensing/Permit

Committee of the Common Council of the City of Kenosha makes the following Findings of Fact, Conclusions of Law and Recommendation:

FINDINGS OF FACT

1. That Imagine4, LLC, d/b/a Big Shotz Sports Bar, hereinafter referred to as "Licensee" at all times relevant herein is and has been the holder of a Class "B" Beer/"Class B" Liquor Combination License and a Cabaret License for the premises located at 3000 Roosevelt Road, Kenosha, Wisconsin.

2. That over the last 12 months, specifically on evenings Big Shotz has held "Club Nights" with promoted DJ events, the Kenosha Police Department has deployed substantial police resources to Big Shotz Sports Bar, located at 3000 Roosevelt Road to deal with disorderly patrons, fights and other conduct rising to the level of disorder.

3. That the Licensee regularly operates the business as a night club tavern with promoted and heavily attended live D.J. entertainment;

4. That investigations and Police Department contact involving incidents at Big Shotz were documented in reports drafted by City of Kenosha Police Department and through video evidence.

5. That since July 2013 through March 2014, and specifically on nights Big Shotz held promoted live DJ entertainment; the Kenosha Police Department has observed a pattern of disorderly behavior occurring within Big Shotz, in the adjacent city sidewalks/streets, and in the adjacent parking lots. The behavior includes loitering, fighting, littering, loud music, profane language, indecent conduct, open intoxicants and obstruction.

6. That other than a “delivery only” Pizza Hut location and small local tavern, there are no adjacent businesses open for business during the hours that the disorderly conduct has been occurring. That the persons involved in the disturbances observed by the City of Kenosha Police have been patrons of Big Shotz Sports Bar;

7. That the Police Department and the License and Permit Committee had, prior to the Complaint of the Chief of Police, expressed its concern related to the disorderly patrons with the Licensee and has not seen a change in the pattern of behavior at the location;

8. That the Police Department has participated in public discussions before the City of Kenosha Licensing/Permit committee on August 26, 2013, November 11, 2013, and January 29, 2014, with regard to the Licensee's cabaret license providing the Licensee public notice of the Department's concerns with the pattern of disorderly behavior occurring at the property;

9. That upon information and belief, the promotional evenings are drawing crowds of up to 160 persons;

10. That from July 1, 2013, through March 26, 2014, the Kenosha Police Department has received and responded to one hundred thirty-one (131) calls for service at or near Big Shotz;

11. That on the most recent response call to the location on March 16, 2014, the Kenosha Police Department observed a disorderly crowd of patrons exiting Big Shotz Sports Bar at or about 1:44 a.m.;

12. That the disorderly event included loitering, fighting, injuries, broken bottles, loud music, profane language, indecent conduct and open intoxicants on public streets and in the parking lots servicing the Licensee's customers;

13. That in order to resolve the most recent disorderly event, the City of Kenosha Police Department utilized all available squads;

14. That the events of Mach 16, 2014 are similar to prior disturbances observed at Big Shotz;

15. That based upon representations of the tavern representatives and the observed pattern of behavior, the Kenosha Police Department reasonably believes that the conduct observed will continue to occur on late night/early mornings at the location when the business promotes live D.J. entertainment;

16. That the disorderly crowds related to the live DJ performances present an imminent danger public safety, patron safety and to officer safety. Furthermore, the crowds present a threat to public safety and welfare city-wide due to the exhaustion of police services needed to resolve the disturbances while leaving the remainder of the city lacking protective services.

17. That Licensee's Agent Kurt Streck and Licensee's corporate officer Jeff Ciotti, were issued municipal citations for Operating After Permitted Hours, contrary to Wisconsin Statute Section 125.32, said violation having occurred on August 23, 2013, and resulting in a conviction in the City of Kenosha Municipal Court on October 23, 2013;

18. That Licensee's Agent, Kurt Streck, was issued a municipal citation for Operating Without an Outdoor Area Extension, contrary to Section 10.075 of the Code of General Ordinances, said violation having occurred on February 2, 2014, and resulting in a conviction in the City of Kenosha Municipal Court on February 21, 2014;

19. That Licensee's Agent, Kurt Streck, and Licensee's employee Jennifer Phillips, were issued municipal citations for Permitting an Underage Person to Loiter on Licensed Premises, contrary to Wisconsin Statute Section 125.07(3)(b), said violation having occurred on February 21, 2014, with

CONCLUSIONS OF LAW

20. Pursuant to the General Code of the City of Kenosha, convictions for a violation of any provision of the Wisconsin Liquor Law or City of Kenosha Code of General Ordinances is sufficient cause for the revocation and/or suspension of Licensee's Cabaret License pursuant to Section 10.07 H.2. of the Code of General Ordinances;

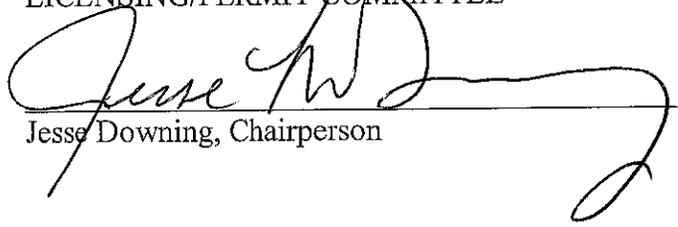
21. That upon sufficient proof that the Licensee has permitted or suffered the licensed premises to be conducted by himself, employees and patrons in a disorderly manner, in violation of State Law or General Code is sufficient cause to revoke Licensee Cabaret License pursuant to Section 10.07 H.3. of the Code of General Ordinances.

RECOMMENDATION

Based on the allegations of the Complaint of the Chief of Police, the evidence and testimony received at the hearings held in this matter, including prior hearings before the Committee for which the Licensee was given notice of City concerns, the arguments of Counsel for the City of Kenosha, the arguments and admissions of the Licensee and their counsel, the discussions by the members of the Licensing/Permit Committee, and the Findings of Fact and Conclusions of Law set forth above, the Licensing/Permit Committee recommends to the Common Council by a vote of 3-0, that the above captioned cabaret license be revoked.

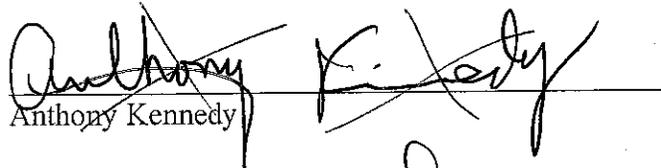
Dated at Kenosha, Wisconsin, on this 14 day of April, 2014.

LICENSING/PERMIT COMMITTEE

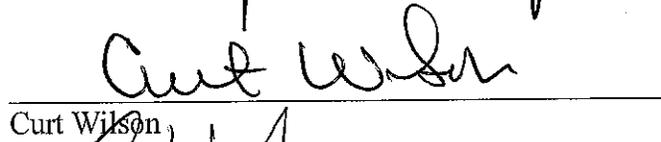


Jesse Downing, Chairperson

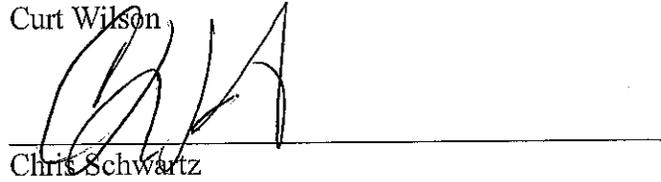
Patrick Juliana



Anthony Kennedy



Curt Wilson



Chris Schwartz

**Conditional Use Permit for a 93-room hotel to be located at 7300 125th Avenue. (Hampton Inn)
(District #16) PUBLIC HEARING**

LOCATION/SURROUNDINGS:

Site: 7300 125th Avenue
Zoned: B-2 Community Business District / Air-4 Airport Overlay District

NOTIFICATIONS/PROCEDURES:

The alderperson of the district, Alderperson Downing and Alderperson-Elect Johnson, have been notified. The Common Council is the final review authority.

ANALYSIS:

- The applicant has submitted plans for a 93-room Hampton Inn hotel to be located on vacant property at the northwest corner of 125th Avenue and 75th Street (STH 50). The proposed hotel would be four (4) stories tall. While this request is for the hotel only, the plan shows the potential for a future commercial building to the south of the hotel.
- The project was reviewed as a Concept Plan by the City Plan Commission on June 20, 2013.
- The proposed exterior building materials are stone, EIFS and glass.
 - When the applicant submitted the formal Conditional Use Permit plans, all four (4) building elevations had stone on most of the first floor exterior and the second through fourth floors were entirely EIFS on the building exterior. Based on the City Plan Commission's Concept Plan review in 2013 and Staff's review letter, Staff requested that additional stone or a different material should be placed on some of the vertical elements of the building.
 - The applicant resubmitted the attached building elevations including stone on the second through fourth floors on the east, north and south elevations. The proposed elevations are acceptable to Staff.
- The building height limit in the B-2 Community Business District is forty-five (45') feet. There is an allowance in the Zoning Ordinance for parapet walls to extend four (4') feet above the maximum height limit, as long as there is not occupiable space above the maximum height limit.
 - The main roofline of the proposed hotel is 44'6". Several of the parapet walls on the building extend up to forty-nine (49') feet in height, so they comply with the Zoning Ordinance.
 - The parapet wall directly above the main entrance extends up to fifty-one (51') feet in height. This exceeds the maximum height allowed by two (2') feet.
 - The Review Authority cannot grant relief to the height limit. The only allowance for this height would be through a variance granted by the Zoning Board of Appeals.
 - The applicant has indicated his desire to request a variance from the Zoning Board of Appeals if the Conditional Use Permit is approved.

Planning & Zoning Division 625 52nd Street - Room 308 Kenosha, WI 53140 262.653.4030	Kenosha City Plan Commission FACT SHEET	April 10, 2014	Item 5 Page 2
Conditional Use Permit for a 93-room hotel to be located at 7300 125th Avenue. (Hampton Inn) (District #16) PUBLIC HEARING			

- Staff has advised the applicant that a variance will very likely not be granted since it is a self-imposed hardship. If a variance is not granted, the building height of the parapet will have to be dropped to a maximum of forty-nine (49') feet.
- According to the Wisconsin Department of Transportation (WisDOT), public improvements will be required within the 125th Avenue right-of-way that will be the responsibility of the applicant to pay for and construct. Approval of a Development Agreement will be required prior to the issuance of any construction permits.
- Plans were sent to other City Departments for their review. Their comments are included in the attached Conditions of Approval.
- The plans generally comply with Sections 4 and 14 of the Zoning Ordinance.

RECOMMENDATION:

A recommendation is made to approve the Conditional Use Permit, subject to the attached Conditions of Approval.



 Brian R. Wilke, Development Coordinator



 Jeffrey B. Labahn, Director

/u2/acct/cp/ckays/1CPC/2014/APR10/fact-cup-hampton-REV.odt

Planning & Zoning Division 625 52nd Street Kenosha, WI 53140 262.653.4030	<i>Kenosha City Plan Commission Conditions of Approval</i>	Hampton Inn 7300 125th Avenue	April 10, 2014
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1. The following Conditions of Approval will run with the land and shall be included in a document recorded with the Kenosha County Register of Deeds:
 - a. The applicant shall obtain all required construction permits from the Department of Community Development & Inspections. This includes, but is not limited to Erosion Control, Building, Plumbing, Electrical and Occupancy permits.
 - b. The applicant shall obtain a Driveway, Sidewalk, Street Opening and Parking Lot permit from the Department of Public Works. Any work in the 75th Street or 125th Avenue right-of-way will require a permit from the Wisconsin Department of Transportation.
 - c. All signs shall comply with Chapter 15 of the Code of General Ordinances and the applicant shall obtain sign permits for all new signs. A separate submission and permits are required for all signs. Sign information provided under the Conditional Use Permit is for reference only and does not constitute sign permit approval.
 - d. The development shall be constructed per the approved plans on file with the Department of Community Development & Inspections, Room 308, 625 52nd Street, Kenosha, WI 53140. Any changes to the approved plans shall require an amendment to the Conditional Use Permit. All changes shall be submitted to the Department of Community Development & Inspections for review and approval.
 - e. Prior to the issuance of any Occupancy permits, all parking areas, drives, designated paved areas and public improvements shall have the initial lift of asphalt installed. The building exterior shall be completed per the approved plans, the exterior lighting shall be installed and the Conditional Use Permit shall be recorded with the Kenosha County Register of Deeds. All improvements indicated on the plans, including landscaping, shall be installed prior to the issuance of a final Occupancy permit. The recording fees for the Conditional Use Permit shall be submitted by the applicant.
 - f. Compliance with City and State and/or Federal Codes and Ordinances and any Conditions noted in the recorded Developers Agreement. The buildings shall comply with the current Code standards in effect upon application for a building permit.
 - g. All roof top mechanicals shall be properly screened per Section 14.07 B.10 of the Zoning Ordinance.
 - h. All trash containers shall be stored within the enclosure or building. The applicant/owner shall be responsible for waste collection and removal for the development. The City of Kenosha shall not provide waste collection or removal services or incur any cost in this regard.
 - i. The applicant shall meet all applicable Conditions of Approval and obtain a building permit within six (6) months of Common Council approval of the Conditional Use Permit or the Conditional Use Permit shall be null and void.
 - j. Outdoor display of products is prohibited.
 - k. All vehicles shall be parked within the designated paved areas.

Planning & Zoning Division 625 52nd Street Kenosha, WI 53140 262.653.4030	Kenosha City Plan Commission Conditions of Approval	Hampton Inn 7300 125th Avenue	April 10, 2014
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- l. All improvements, including landscaping, shall be maintained per the approved plans. Any damaged fencing, landscaping or building shall be replaced or reconstructed per the approved plans.
 - m. Cross access shall be provided to adjacent parcels if required at a future date by the City. A Cross Access Easement shall be recorded prior to the issuance of any Occupancy Permits.
 - n. The Certified Survey Map shall be recorded prior to the issuance of any Occupancy Permits.
 - o. This approval is for the hotel only. Future commercial development will require a separate Conditional Use Permit.
2. The following conditions of approval shall be satisfied with City Staff prior to the issuance of any construction permits.
- a. The Drainage Plan shall be revised and resubmitted for review and approval addressing comments listed in the Public Works memo dated March 25, 2014.
 - b. The Utility Plan shall be revised and resubmitted for review and approval addressing the comments listed in the Kenosha Water Utility Memo dated March 25, 2014.
 - c. Plans shall include the location of all remote Fire Department and hydrant connections.
 - d. The following items are required per City Ordinances:
 - i. Fire closets.
 - ii. Knoxes and Knox caps.
 - iii. Low exit signage.
 - iv. The fire sprinkler and fire alarm companies shall meet with the Fire Prevention Bureau prior to construction.
 - e. The interior parkway on the Landscape Plan shall conform with Section 14 of the Zoning Ordinance.
 - f. The building height shall be reduced to a maximum of forty-five (45') feet for occupiable space and a maximum of forty-nine (49') feet for the parapet walls unless a variance is approved by the Zoning Board of Appeals.
 - g. A Development Agreement shall be approved and executed prior to the issuance of any construction permits.
 - h. The Site Plan shall more clearly define the east and south property lines based on the proposed Certified Survey Map.
 - i. Compliance with any conditions issued by the Wisconsin Department of Transportation. All plans shall be revised to include additional improvements as required by WisDOT.

/u2/acct/cp/ckays/1CPC/2014/APR10/conditions-hampton.odt



ENGINEERING DIVISION
SHELLY BILLINGSLEY, P.E.
CITY ENGINEER

PARK DIVISION
JEFF WARNOCK
SUPERINTENDENT

FLEET MAINTENANCE
MAURO LENCI
SUPERINTENDENT

STREET DIVISION
JOHN H. PRIJIC
SUPERINTENDENT

WASTE DIVISION
ROCKY BEDNAR
SUPERINTENDENT

DEPARTMENT OF PUBLIC WORKS

MICHAEL M. LEMENS, P.E., DIRECTOR
SHELLY BILLINGSLEY, P.E., DEPUTY DIRECTOR

MUNICIPAL BUILDING · 625 - 52ND ST · RM 305 · KENOSHA, WI 53140
TELEPHONE (262) 653-4050 · FAX (262) 653-4056
EMAIL PUBLICWORKS@KENOSHA.ORG

TO: Brian Wilke, Development Coordinator

FROM: Michael M. Lemens, P.E.
Director of Public Works

Shelly Billingsley, P.E.
City Engineer

[Handwritten signature of Michael M. Lemens]
3-26-14
[Handwritten signature of Shelly Billingsley]
3-26-14

DATE: March 25, 2014
SUBJECT: PLAN REVIEW COMMENTS
Project Description: Hampton Inn
Location: NW Corner of STH 50 and 125th Avenue

Our staff has reviewed the plans for this project. The following comments are provided:

Parking Lot Ordinance Compliance	Sufficient	Deficient	Not Applicable
Parking Lot Paved		X	
Standard Stall Width		X	
Parking Lot Layout		X	
Parking Lot Lighting Shown		X	
Parking Lot Lighting Adequate		X	
Handicapped Parking		X	
Driveway Locations		X	
Driveway Width		X	
Passing Blister or Accel/Decel Lanes		X	
Sidewalks Adequate		X	
Drive Thru Lane Design			X

Public Streets	Sufficient	Deficient	Not Applicable
Geometric Design			X
Pavement Width			X
Pavement Thickness Design			X
Established Grades			X
Plan Details			X
Sidewalks			X
Street Lights			X

Site Grading/Drainage	Sufficient	Deficient	Not Applicable
Drainage Plan		X	
Storm Sewer		X	
Storm Water Detention		X	
Drainage Calculations		X	

Project Approval/Permits Needed	Yes	No	Not Applicable
Project Approved for Permitting		X	
Withhold Permits: See Comments	X		
Approve Footing/ Foundation Only (per condition)			
Parking Lot Permit Required	X		
Driveway Permits Required	X		
Sidewalk Permit Required	X		
Street Opening Permit Required	X		
Stormwater Permit Required			
Erosion Control Required	X		
State Permit Required	X		

Grading & Drainage Comments:

1. Provide an existing conditions plan that shows the pre-construction contours of the site.
2. Show on the plan a limit of disturbance line and provide a table listing the overall square footage land to be disturbed and the existing and proposed square footage of impervious surfaces for lot 1 and for lot 2.
3. An easement must be obtained for the storm sewer pipe that crosses the lot to the east of 125th Avenue. If this easement already exists, provide a copy of the recorded document.
4. The City's adopted stormwater criteria requires that no slopes exceed 4:1. This includes area both above and below the permanent pool elevation in detention ponds. If necessary, a retaining wall may be built above the permanent pool elevation so that ponds can achieve the required storage volumes and minimum permanent pool depths.
5. Provide construction details for the pond outlet structure, parking lot inlets, storm manholes, pond emergency spillways, and other drainage improvements on the site. It does not appear that the emergency spillways meet the City's design criteria, but more detail on the proposed spillways are needed to determine what revisions may be required.
6. Show overland flow paths on the site drainage plan that indicate that path where runoff in excess of the capacity of the storm sewer will travel.

7. The proposed plan combines the site, grading, and utility information into one sheet. These should be separated for clarity. Additional comments are likely once the information is separated and easier to review.
8. Provide additional spot grades so that they are generally at intervals of 50' or less along curb lines with additional grades at radius points. Also provide spot grades for sidewalks and detail the grades along all accessible routes.
9. The storm sewer pipe under 125th Avenue was constructed by the DOT in the fall of 2013. The plan should show this pipe as existing and verify that the inverts on the plan are as-built elevations.
10. Provide storm sewer sizing calculations and proposed pipe materials.
11. The WinSLAMM model provided combines the data from the two ponds into one. The ponds should be modeled as separate entities in series as that is how they are designed.
12. The orifice for the pond outlet is inputted in WinSLAMM as 2' in diameter. It should be 2" or 0.167'.
13. Neither the HydroCAD nor WinSLAMM model accounts for the uncaptured areas around the perimeter of the site. The HydroCAD model should include the uncaptured area runoff in the calculations to show compliance with the detention requirements. In order to show compliance with the 80% TSS reduction requirement a WinSLAMM model of the entire site with no controls needs to be created to show the annual TSS load from the site. Eighty percent of this load is the minimum amount of TSS that needs to be removed by the ponds. A second model of the just the area captured by the ponds should be created to show the amount removed.
14. The WinSLAMM modeling should account for any off-site water captured by the proposed storm sewer system in accordance with the Wisconsin DNR's post-construction modeling guidance available at http://dnr.wi.gov/topic/stormwater/documents/Modeling_Post-Construction_Guidance_2011.pdf
15. Provide calculations showing that ability of the emergency weir of each pond to handle the 100-year storm in a "plugged outfall" condition where the primary outfall is not able to discharge water.
16. A Stormwater Maintenance agreement will be required for the site. A template of the agreement will be sent via e-mail. A maintenance application should also be submitted and a blank copy will be sent via e-mail.

Traffic Comments:

17. Modifications to 125th Avenue the City will defer to State.
18. All driveway entrances shall meet the specifications in Ordinance 5.085 and shall not include radii unless justification is supplied for turning movements of semis with a request for exemption. The driveway approach within the Right-of-Way shall be concrete and a minimum 8-inch thick with the sidewalk panel carried through the approach.
19. Sidewalk access into the Hampton Inn property needs to be supplied from the sidewalk along 125th Avenue.
20. Site Plan is very difficult to read and therefore should be broken down into multiple plans. Upon receiving more legible plans additional comments may be made.
21. Need to supply also a signage, pavement marking, lighting details and specifications, photometric, and detail plans.
22. Need to supply details as they also relate to cross sections of pavements, curb and gutter, sidewalk, etc.
23. All handicap ramps shall have Detectable Warning Fields and labeled on the plan.
24. A legend should be provided on all plans for clarity of symbols.
25. The south parking area is missing a handicap parking pavement marking in the second stall.
26. The drop off area should have Detectable Warning Fields as well.

cc: Jeff Hansen
 Shelly Billingsley
 Kile Kuhlmeier
 Gerard Koehler

Engineering Services

4401 Green Bay Road
Kenosha WI 53144

Phone (262) 653-4315
Fax (262) 653-4303



"Providing and Protecting Kenosha's Greatest Natural Resource"

MEMO

To: Brian Wilke, Development Coordinator

From: Ian C. Bagley, P.E., Water Engineer

Date: March 25, 2014

Subject: Hampton Inn

Location: Northwest corner of STH 50 and 125th Avenue

The Kenosha Water Utility (KWU) has reviewed the submittal for the above referenced project. Further information from the Developer is required before the Utility can complete this review. Please withhold all permits until the following information is submitted.

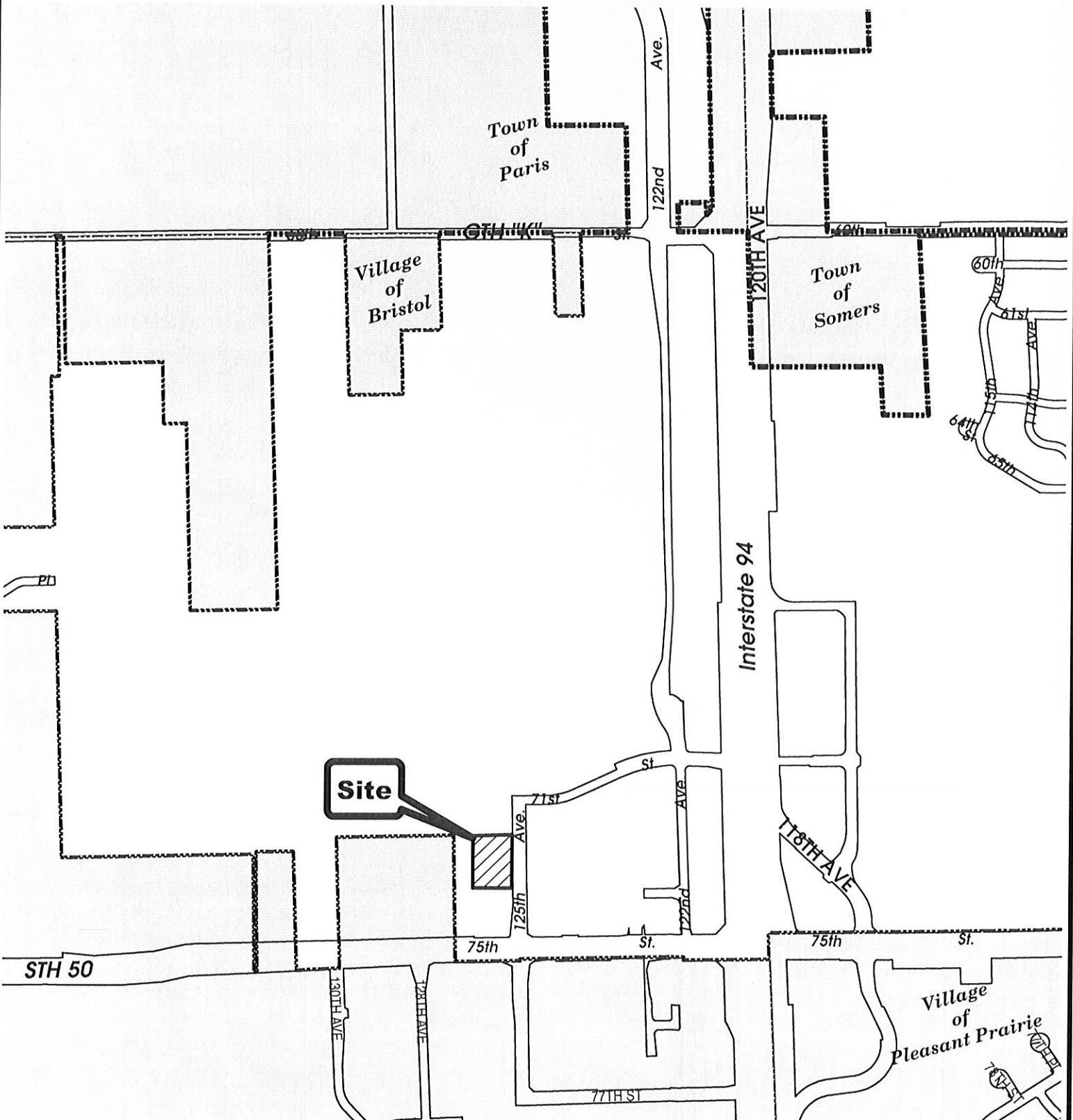
1. Show the water meter size and location, including a detail or diagram, on the construction plans, not with the MEP submittal. The water meter shall have unobstructed access, twelve inches (12") from the inside wall, twelve to twenty-four inches (12"-24") above the floor. The meter shall have a gate valve on the inlet and outlet pipe.
2. All water meters one and one half inches (1-1/2") or greater shall have a bypass with a two way ball valve with locking handle as manufactured by RuB, or approved equal.
3. Meters three inches (3") and larger shall have a two inch (2") test plug provided between the outlet side of the meter and the outlet valve.
4. A 3C18 gauge cable by Belden-M, or approved equal, shall be installed in a one half inch (1/2") conduit through the exterior wall for the remote meter reader. Remote reader to be field located by KWU meter division.
5. The existing hydrant in the middle of the proposed Hampton Inn driveway opening must be removed and replaced with a hydrant in conformance with KWU specifications. All fire hydrants shall be compression type with a five and one-quarter inch (5-1/4") valve opening, two (2) two and one-half inch (2-1/2") NST nozzle connections, one (1) Kenosha Standard pumper connection (Traverse City Iron Works #405-26, 4 threads per inch and 5.812 inch diameter). The base shall have a six inch (6") mechanical joint connection with a rubber gasket and fluorocarbon coated Cor-Blue T-Bolts and nuts. Hydrant top operating nut and nozzle cap nuts shall be one and one-quarter inch (1-1/4") pentagon. All hydrants shall close in a

- clockwise direction. Hydrants shall be Mueller Super Centurion 200 or Kennedy Guardian. Each hydrant shall receive a final coat of red paint after installation.
6. The service valve for the proposed water service shall be moved within the KWU easement, north of the parcel.
 7. The developer may want to stub out the water service for Lot 2 at this time in order to avoid having to remove and replace sidewalk in the future.
 8. Water services larger than two inches (2") shall be flushed and bacteria tested in accordance with KWU Chapter XXXII Rules & Regulations, Rule 06-34.
 9. Water services shall have a minimum of 5-1/2' of cover to finished grade.
 10. Water services shall have a blue 12 gauge locator wire installed along the entire length. Locator wire shall be brought to the surface in the curb box, at each hydrant and at the edge of the building and enclosed in a curb box with "water" on the cover.
 11. Label invert elevations on all water service stubs and fittings and provide pipe slopes for water service lines.
 12. Provide elevations for the invert, flange and the center of large coupling at each fire hydrant.
 13. Minimum six inch (6") sanitary sewer lateral from the main to the property line shall be PVC SDR 26 pipe conforming to ASTM standards D3034 with rubber gasket joints.
 14. Sanitary sewer laterals shall have a green 12 gauge locator wire installed along the entire length. Locator wire shall be brought to the surface at the edge of the building and enclosed in a curb box with "sewer" on the cover.
 15. "Internal / External" manhole seals as manufactured by Adaptor, Inc. shall be provided for each sanitary sewer manhole installed. A detail for the seal can be found at <http://www.adaptorinc.com/pdf/inexspec.pdf>.
 16. Include the following notes on the Utility Plan:
 - All sanitary sewer and water to be installed in accordance with Kenosha Water Utility (KWU) Standards.
 - All applications and fees for sanitary sewer and water must be completed and paid prior to connection to sewer/water systems.
 - All water connections to existing water mains shall be completed by KWU, with excavation and backfill by the developer. Developer shall provide 72 hours notice to KWU when connection is to be made.
 - Any utility work in the right-of-way and all sanitary sewer connections to be inspected by KWU. Notify KWU 48 hours in advance of connecting to sewer.
 17. Please include the previously approved sanitary sewer plan and profile sheet with the plan set.
 18. Written authorization for KWU access to the sampling manhole must be provided.
 19. The KWU water main and sanitary sewer detail sheets shall be included on a separate sheet and shall not be placed within the designer's title block or include utility plan notes specific to this project. These detail sheets can be found on the KWU website (<http://www.kenoshawater.org/engineering.html>).

CC: Mr. Robert Carlson, P.E., Director of Engineering Services

City of Kenosha

Hampton Inn Conditional Use Permit



Site

----- Municipal Boundary



BEAR

DEVELOPMENT

March 10th, 2014

Dept. of Comm. Development & Inspections
Attn: Brian Wilke
625 52nd St
Kenosha, WI 53140

RE: CUP Submittal for Proposed Hampton Inn & Suites 03-121-01-440-350

Dear Mr. Wilke,

The purpose of this letter is to ask for the approval of a Conditional Use Permit for the proposed Hampton Inn & Suites Hotel to be located at the Northwest corner of 125th Ave and STH 50 (parcel # 03-121-01-440-350). The Hotel is proposed to be 4 stories with 93 rooms and a pool.

In addition to the CUP approval request I am also submitting copies of a Certified Survey Map for review and approval.

I am also requesting that you approve a variance/waiver to the height requirement for this building. As you will see on my attached drawings the center parapet extends above the allowed height of 49'. After careful review we would like to request that you allow this parapet to extend above this for aesthetic reasons. As previously discussed we feel this parapet is an architectural element only and the structural component of the roof itself is well within the allowed height along with the remaining parapets on the building.

If you need anything else related to this request please do not hesitate to contact me at the number below.

Sincerely,



Jonah P. Hetland
Bear Development

**Development Review Application
City of Kenosha, Wisconsin**

MAILING INFORMATION

NAME OF PROJECT: Hampton Inn + Suites

Check one (1) of the following boxes to indicate the recipient of all correspondence:

Name and Address of Applicant [Please print]:
Jonah Hetland Phone: 262 842 0483
Bear Development, LLC Fax: _____
4011 80th St E-Mail: Jonah@cmaofwi.com
Kenosha, WI

Name and Address of Architect/Engineer [Please print]:
Farris Hansen + Associates Phone: 262 723 2098
PO Box 437 Fax: _____
Elkhorn, WI E-Mail: Warrenhansen@farrishansen.com
53121

Name and Address of Property Owner (if other than applicant) [Please print]:
 _____ Phone: _____
 _____ Fax: _____
 _____ E-Mail: _____

PROJECT LOCATION

Location of Development (street address and / or parcel number): Parcel # D3-121-01-440-350
JW Y4 of 125th Ave + 5TH St

TYPE OF LAND DEVELOPMENT

Check all that apply. Note: Additional information may be required within individual Sections.

<input checked="" type="checkbox"/>	Certified Survey Map	Section 1	Page 3
<input type="checkbox"/>	Concept Review (<i>Land Division</i>)	Section 2	Page 4
<input type="checkbox"/>	Concept Review (Multi-Family Residential or Non-Residential)	Section 3	Page 5
<input checked="" type="checkbox"/>	Conditional Use Permit	Section 4	Pages 6 & 7
<input type="checkbox"/>	Developer's Agreement	Section 5	Page 8
<input type="checkbox"/>	Final Plat	Section 6	Pages 9 & 10
<input type="checkbox"/>	Lot Line Adjustment Survey	Section 7	Page 11
<input type="checkbox"/>	Preliminary Plat	Section 8	Pages 12 & 13
<input type="checkbox"/>	Rezoning	Section 9	Pages 14 & 15
<input type="checkbox"/>	Site Plan Review	Section 10	Pages 16 & 17

**PRIOR TO SUBMITTING THIS APPLICATION TO THE DEPARTMENT OF CITY DEVELOPMENT,
PLEASE REVIEW THE APPROPRIATE SECTION(S) FOR FEES, REQUIREMENTS AND APPROPRIATE APPENDICES.**

*Submit this cover page, completed application, applicable section(s) and appendices
along with ALL required plans, information and fees to:*

Department of Community Development & Inspections
 Planning Division
 625 52nd Street, Room 308
 Kenosha, WI 53140

Phone: 262.653.4030
 Fax: 262.653.4045

Office Hours:
 M - F 8:00 am - 4:30 pm

**SECTION 4
CONDITIONAL USE PERMIT**

Additional Information Required:	Building or Addition Square Footage: <u>17,488</u>
	Existing Building Size: <u>0</u>
	Site Size: <u>4.77 acres</u>
	Current # of Employees <u>0</u> Anticipated # of New Employees <u>9</u>
Anticipated Value of Improvements _____	

Submittal Requirements:	<ul style="list-style-type: none"> ➤ Ten (10) full size scaled copies of Specified Plans indicated below drawn at a standard engineering scale ➤ Developer Site Plan/Conditional Use Permit Checklist (Appendix A)
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If Item to be Reviewed by Plan Commission/Common Council must Submit:	<ul style="list-style-type: none"> ➤ One (1) 8 1/2" x 11" reduction <i>or</i> twenty (20) 11" x 17" reductions of the Site/Landscape Plan, Floor Plan and Colored Building Elevations (all sides) ➤ Sample Board containing colored samples of all exterior building materials
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Fees:	Level 1	Building or Addition Size ≤ 10,000 sq. ft.	Site size ≤ 1 acre	Review Fee \$900 = City Plan Dept. <i>or</i> \$1,025 = CPC/CC
	Level 2	10,001 - 50,000 sq. ft.	1.01 - 10 acres	\$1,175 = City Plan Dept. <i>or</i> \$1,300 = CPC/CC
	Level 3	50,001 - 100,000 sq. ft.	10.01 - 25 acres	\$1,600 = City Plan Dept. <i>or</i> \$1,725 = CPC/CC
	Level 4	> 100,001 sq. ft.	> 25.01 acres	\$2,000 = City Plan Dept. <i>or</i> \$2,125 = CPC/CC
	<ul style="list-style-type: none"> ➤ If building size or addition and gross acreage of the site determine two (2) different fees, the greater of the two fees will be assessed. ➤ Application fee entitles applicant to an initial review and one re-submittal. ➤ Re-submittal fee = \$425 per re-submittal after two (2) permitted reviews. ➤ CUP Amendment = 50% of the applicable fee as determined above. 			

Appendices to Review:	➤ All
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Approximate Review Time:	<ul style="list-style-type: none"> ➤ 30 days for Staff Review ➤ 45-60 days for City Plan Commission/Common Council Review
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The conditional use permit plans, *prepared to a standard engineering scale*, shall be submitted with this application & shall include the following information:

Building Plan:	<ul style="list-style-type: none"> ➤ Layout of building(s) including size and layout of rooms ➤ Design and architecture ➤ Plans and details on fire suppression and/or standpipe ➤ Plans and details on fire detection, fire alarm and other safety devices
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Site Plan (based on a plat of survey)	<ul style="list-style-type: none"> ➤ Legal description of property ➤ Location and footprint of building(s) and structure(s) ➤ Locations of existing and proposed streets, drives, alleys, easements, rights-of-way, parking as required, vehicular and pedestrian access points, and sidewalks ➤ Outline of any development stages ➤ Location and details on any required emergency access roads ➤ A calculation of square footage devoted to building, paving and sidewalks, and landscaped/open space
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Drainage Plan	<ul style="list-style-type: none"> ➤ Existing topography, including spot elevations of existing buildings, structures, high points, and wet areas, with any previous flood elevations ➤ Floodplain boundaries, if applicable ➤ Soil characteristics, where applicable ➤ Proposed topography of the site denoting elevations and natural drainage after construction and any proposed stormwater retention areas
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5. By the Mayor - Resolution to Approve a Two-Lot Certified Survey Map for property at 5500 60th Street. (Kenosha Common Apartments) (District #11) PUBLIC HEARING

Public hearing opened, no comments, public hearing closed.

Mr. Schroeder explained that the applicant would like to divide the developed property into two (2) parcels.

A motion was made Alderman Kennedy and seconded by Alderman Michalski to approve the Certified Survey Map. The motion passed. (Ayes 6; Noes 0)

Conditions of Approval
Kenosha Commons Apartments at 5500 60th Street

1. Compliance with all applicable State and City codes and ordinances.
 2. Payment of all applicable fees, including recording fees.
 3. Payment of all taxes, special assessments and stormwater utility fees prior to recording. The Owner shall provide the City Clerk-Treasurer, a certificate from the County Treasurer, stating that there are no past-due real estate taxes or special assessments on the parcel of real estate which is being divided.
 4. The Certified Survey Map shall be null and void if not recorded within six (6) months of approval by the Common Council.
 5. A digital copy of the Certified Survey Map shall be provided to the City prior to recording.
 6. Immediately under the Certified Survey Map title on each page, the legal description indicates that the Map is "All that part of...". It should read "A part of ...".
 7. Change the Mayor's name on the signature page to Keith G. Bosman.
 8. Include on the Certified Survey Map the dimension for the South lot line of both Lots 1 and Lot 2.
 9. On the fifth page, the legal description reads "in part" ...33.01 feet to the southwest corner of Lot B of Kenfair ...". According to the City's records of Kenfair Subdivision, that point is 50.02 feet from the quarter-section line.
 10. The new sewer and water services shall be installed and approved by the Kenosha Water Utility before the Certified Survey Map is signed and recorded. Water services shall have a blue 12 gauge locator wire installed along the entire length. Water service shall be brought to the surface in the curb box and at the edge of the building and enclosed in a curb box with "water" on the cover.
 11. Compliance with all the preceding conditions as a prerequisite for authorizing Mayor and City Clerk-Treasurer to sign the Certified Survey Map.
- 6. Review of a Conceptual Plan for a 93-room hotel to be located at the northwest corner of 75th Street and 125th Avenue. (Hampton Inn) (District #16) PUBLIC HEARING**

Public hearing opened.

Steve Mills, 4011 80th Street and Jonah Hetland, 4015 80th Street, gave an overview of the project. The proposed hotel will have 93 rooms, a pool, workout facility and laundry. Mr. Mills added that the hotel will look very impressive from the interstate. Mr. Hetland said they intend to come back in September or October for the formal Conditional Use Permit. We have been working with Staff on adjusting the height of the building. The only exception may be the canopy area. Mr. Hetland said they are also requesting a dry detention basin rather than a wet one to allow an outlot to be developed at the south end of the property.

Public hearing closed.

Mr. Labahn said the applicant has been working with Staff on the various issues. The building exterior currently meets the minimum requirements, but we are asking the applicant to enhance the building such as Hampton has done in other locations. This would include looking at other possible features above the first floor.

Alderman Michalski asked if the dry detention basin will require a vote from the Stormwater Committee. Mike Lemens, Director of Public Works, said yes, the criteria is referenced in the Ordinance and adopted Public Works policy. Alderman Michalski asked the applicant why they don't want a wet detention basin. Mr. Hetland said the hotel would need to be moved further south and there would not be room for a second commercial building.

Alderman Kennedy asked how many hotel rooms does the City currently have? Mr. Mills said he was unsure, but the proposed hotel would add 93 rooms. Alderman Kennedy asked what type of commercial building would they be looking to promote for the outlot? Mr. Mills said it could be a restaurant or a bank, but it is a prime corner lot.

Mayor Bosman said Hampton Hotels are a good hotel chain. Mayor Bosman said he also likes the idea of a second building on the site.

Alderman Mathewson said a picture on the proposed hotel and how it will look from the interstate would be nice to see.

A motion was made by Alderman Michalski and seconded by Alderman Mathewson to receive and file the concept plan. The motion passed. (Ayes 6; Noes 0)

Public Comments

Henry Kensler, 6115 59th Avenue, said regarding the notification of items on the agenda. Mr. Kensler said he would like a broader notification area.

Virginia Hookstra, 6209 75th Street, said there were three items on the agenda regarding a rezoning for Welcome Home Properties, LLC. At the last meeting there was one person who spoke against the rezoning and the item was deferred. For the Meijer development, we had seven people who were opposed and the rezoning passed.

Violet Ricker, 32 North Genesee Street, Waukegan, introduced herself as the new Downtown Director and she will be working on the Main Street Program. Ms. Ricker invited people to call her with ideas or suggestions.

·Planning & Zoning

·Community Development

262.653.4030
262.653.4045 FAX
Room 308



·Building Inspections

·Property Maintenance

262.653.4263
262.653.4254 FAX
Room 100

DEPARTMENT OF COMMUNITY DEVELOPMENT & INSPECTIONS

Municipal Building · 625 52nd Street · Kenosha, WI 53140
www.kenosha.org

Jeffrey B. Labahn, Director

Richard Schroeder, Deputy Director

July 3, 2013

Jonah Hetland
Bear Development, LLC
4011 80th Street
Kenosha, WI 53142

Dear Mr. Hetland:

RE: Hampton Inn & Suites Concept Plan

City Departments have reviewed the concept plan you submitted. The following comments are provided for your use:

- 1) The development will require a Conditional Use Permit. The Common Council is the designated review authority. The City Plan Commission will make a recommendation.
- 2) The Items in the Public Works memo dated June 18, 2013 shall be addressed.
- 3) The items in the Kenosha Water Utility memo dated June 6, 2013 shall be addressed.
- 4) The parcel is currently assessed as an agricultural use. A change in the use will trigger the agricultural use penalty.
- 5) The building will require the following:
 - a. A sprinkler system
 - b. A stand pipe system
 - c. A remote Fire Department connection
 - d. A fire alarm system to code (NFPA, IBC, City Ordinance)
- 6) An operational plan shall be submitted with the formal application which includes, at a minimum, the following information:
 - a. Hours of operation
 - b. Number of employees (used to determine off-street parking spaces required)
 - c. Frequency and methods for trash removal
- 7) The proposed monument sign for the hotel appears to be located in the vision clearance triangle area. The sign would have to be less than three (3') feet in height or moved outside of the vision clearance area in order to be permitted.
- 8) Provide details on the proposed dumpster enclosure.

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- 9) The building elevations as proposed exceed the height limit of the Zoning Ordinance. The B-2 Zoning District allows a maximum height of forty-five feet (45') with parapet walls that can exceed that limit by four feet (4'). Your "Top of Roof" height of 46'-4" is acceptable, but the parapets at 50'-0" and 54'-6" are unacceptable.

The City Plan Commission also reviewed this concept plan. They agreed with staff's recommendation to look at adding more masonry materials to the vertical elements of this building. Perhaps the introduction of a third primary material such as brick would help as well.

These comments are based on the plans you provided and are for the hotel only, not the commercial building at the corner. City Departments reserve the right to make additional comments when more detailed plans are provided.

If you have any questions, please contact me at 262.653.4049 or via email at bwilke@kenosha.org.

Sincerely,

COMMUNITY DEVELOPMENT & INSPECTIONS



Brian R. Wilke
Development Coordinator

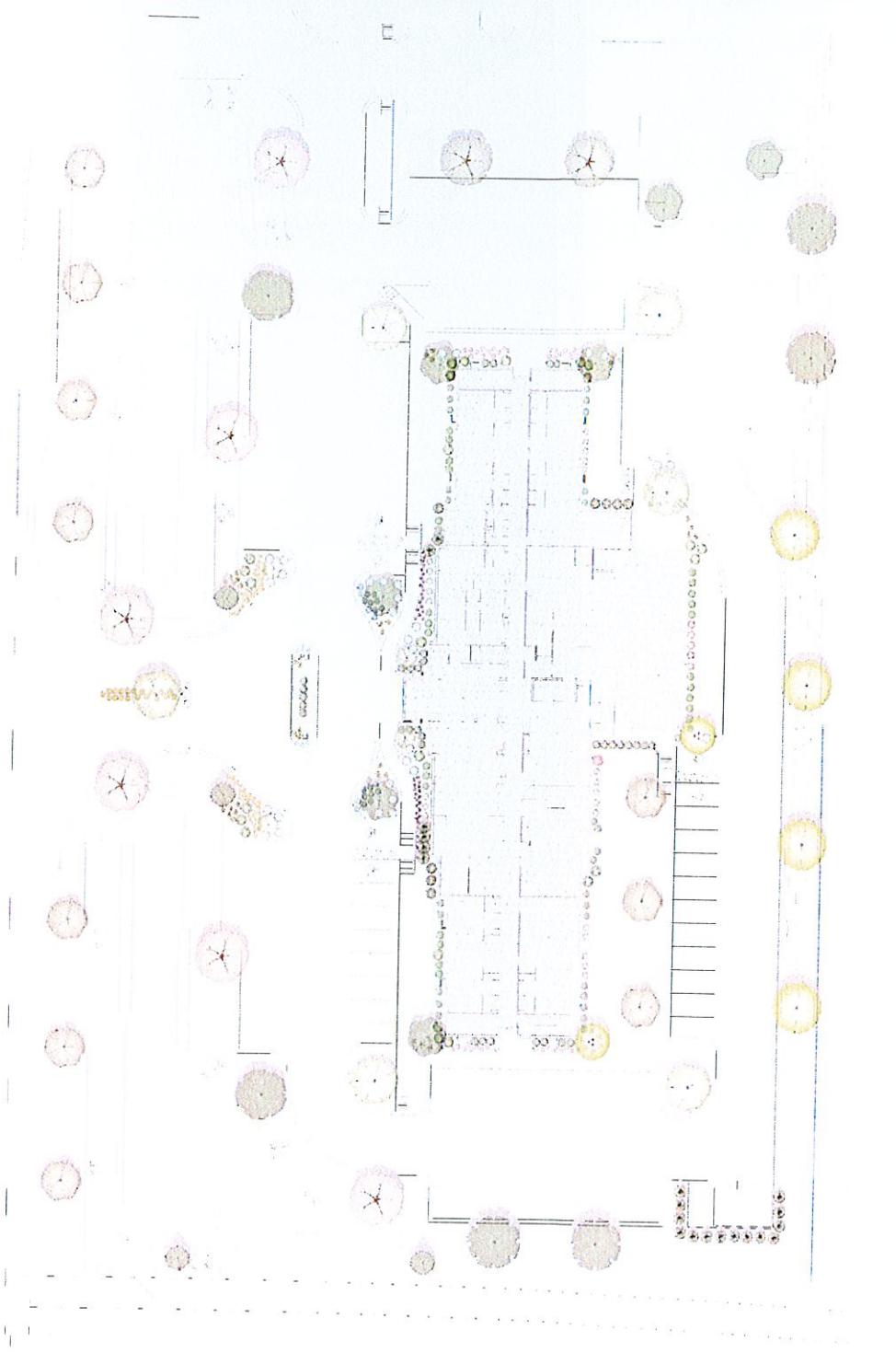
BRW:llb
Enclosure

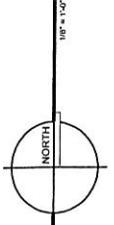
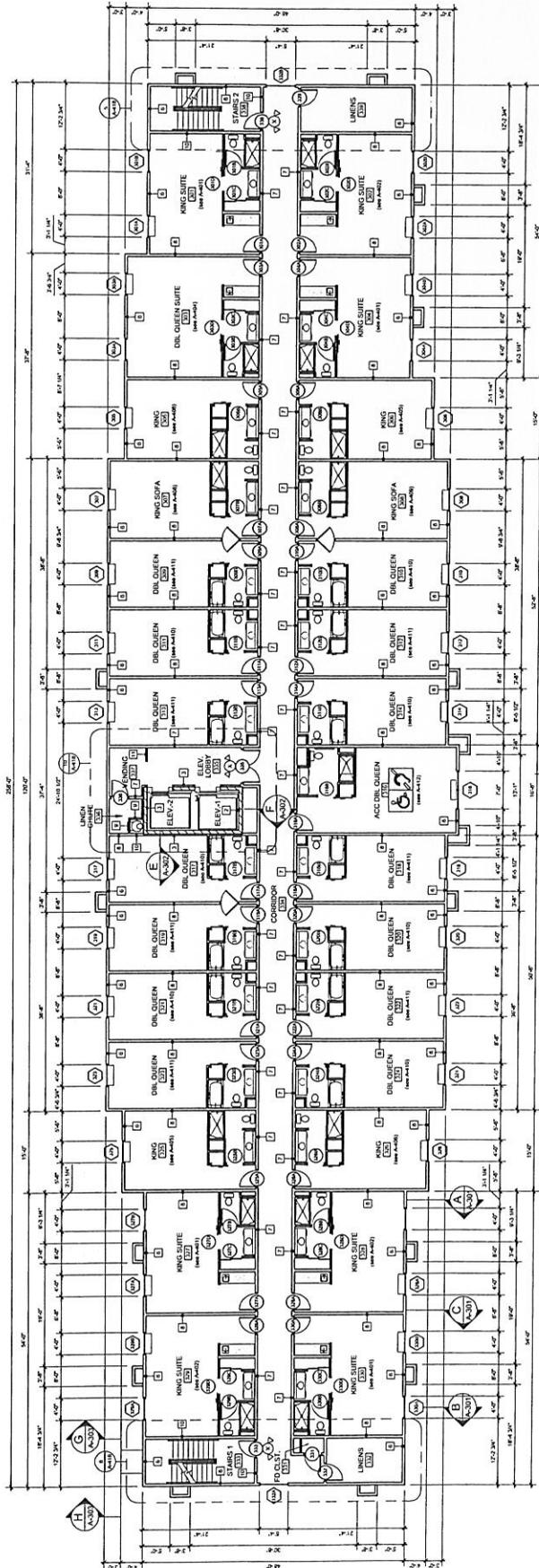
Hampton Inn - Landscape Concept

Highway 50 and 245th Avenue Bristol, Wisconsin

PLANT SCHEDULE

PLANT	QUANTITY	LOCATION	NOTES
1.000	1	1	PLANT SCHEDULE
1.001	1	1	PLANT SCHEDULE
1.002	1	1	PLANT SCHEDULE
1.003	1	1	PLANT SCHEDULE
1.004	1	1	PLANT SCHEDULE
1.005	1	1	PLANT SCHEDULE
1.006	1	1	PLANT SCHEDULE
1.007	1	1	PLANT SCHEDULE
1.008	1	1	PLANT SCHEDULE
1.009	1	1	PLANT SCHEDULE
1.010	1	1	PLANT SCHEDULE
1.011	1	1	PLANT SCHEDULE
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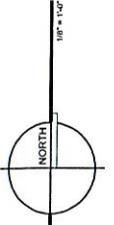
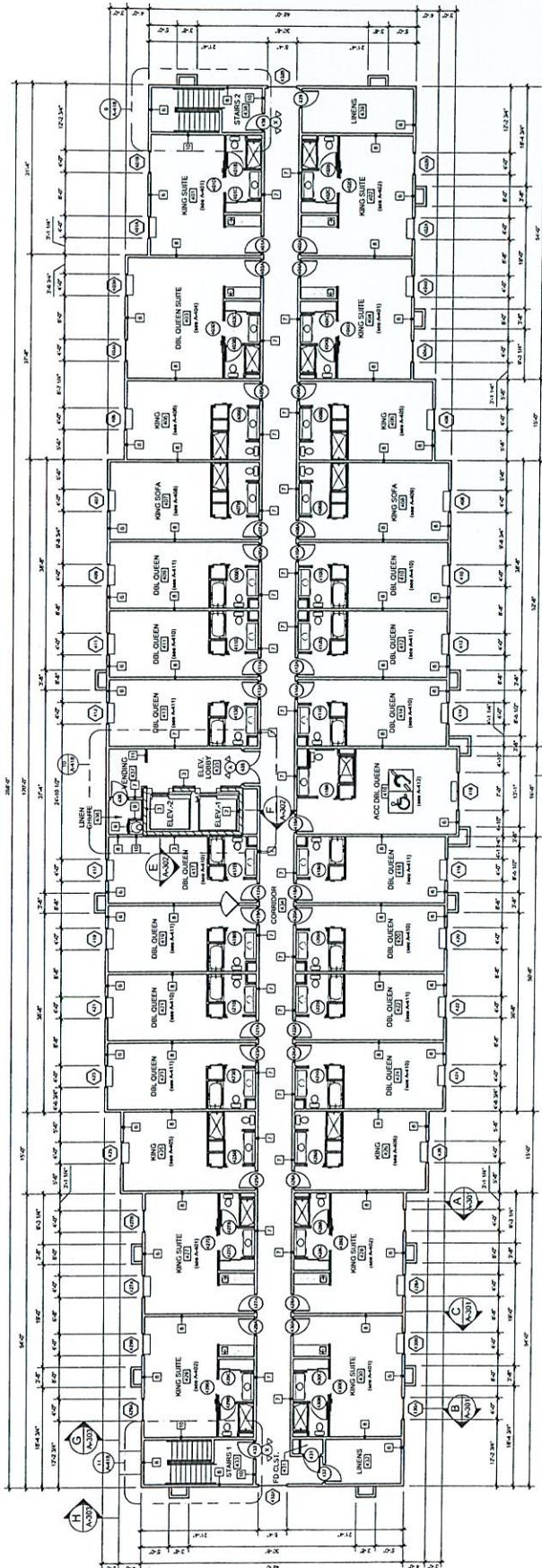




THIRD FLOOR PLAN

* FLOOR HEIGHT EXIT SIGNS ARE REQUIRED.
 * THE FIRE SPRINKLER AND FIRE ALARM COMPANIES MUST MEET WITH THE FIRE BUREAU PRIOR TO INSTALLATION.

MARK	PURPOSE	REQUIRED RATING AND REF. NUMBER	STC RATING	WALL TYPE	DESCRIPTION
(1)	EXTERIOR WALL	1 HOUR	3	1	8" CMU BLOCK - 2" MIN. INSULATION THAT MEETS IN EXTERIOR PARTY WALLS 8" CMU BLOCK - 2" MIN. INSULATION 8" CMU BLOCK - 2" MIN. INSULATION
(2)	INTERIOR WALL	2 HOUR	3	2	8" CMU BLOCK - 2" MIN. INSULATION 8" CMU BLOCK - 2" MIN. INSULATION
(3)	INTERIOR WALL	2 HOUR	3	3	8" CMU BLOCK - 2" MIN. INSULATION 8" CMU BLOCK - 2" MIN. INSULATION
(4)	INTERIOR WALL	2 HOUR	3	4	8" CMU BLOCK - 2" MIN. INSULATION 8" CMU BLOCK - 2" MIN. INSULATION
(5)	EXTERIOR WALL	1 HOUR	3	5	8" CMU BLOCK - 2" MIN. INSULATION THAT MEETS IN EXTERIOR PARTY WALLS 8" CMU BLOCK - 2" MIN. INSULATION
(6)	EXTERIOR WALL	1 HOUR	3	6	8" CMU BLOCK - 2" MIN. INSULATION THAT MEETS IN EXTERIOR PARTY WALLS 8" CMU BLOCK - 2" MIN. INSULATION
(7)	INTERIOR WALL	1 HOUR	3	7	8" CMU BLOCK - 2" MIN. INSULATION THAT MEETS IN EXTERIOR PARTY WALLS 8" CMU BLOCK - 2" MIN. INSULATION
(8)	INTERIOR WALL	1 HOUR	3	8	8" CMU BLOCK - 2" MIN. INSULATION THAT MEETS IN EXTERIOR PARTY WALLS 8" CMU BLOCK - 2" MIN. INSULATION
(9)	INTERIOR WALL	1 HOUR	3	9	8" CMU BLOCK - 2" MIN. INSULATION THAT MEETS IN EXTERIOR PARTY WALLS 8" CMU BLOCK - 2" MIN. INSULATION
(10)	INTERIOR WALL	1 HOUR	3	10	8" CMU BLOCK - 2" MIN. INSULATION THAT MEETS IN EXTERIOR PARTY WALLS 8" CMU BLOCK - 2" MIN. INSULATION
(11)	INTERIOR WALL	1 HOUR	3	11	8" CMU BLOCK - 2" MIN. INSULATION THAT MEETS IN EXTERIOR PARTY WALLS 8" CMU BLOCK - 2" MIN. INSULATION
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(14)	INTERIOR WALL	1 HOUR	3	14	8" CMU BLOCK - 2" MIN. INSULATION THAT MEETS IN EXTERIOR PARTY WALLS 8" CMU BLOCK - 2" MIN. INSULATION
(15)	INTERIOR WALL	1 HOUR	3	15	8" CMU BLOCK - 2" MIN. INSULATION THAT MEETS IN EXTERIOR PARTY WALLS 8" CMU BLOCK - 2" MIN. INSULATION
(16)	INTERIOR WALL	1 HOUR	3	16	8" CMU BLOCK - 2" MIN. INSULATION THAT MEETS IN EXTERIOR PARTY WALLS 8" CMU BLOCK - 2" MIN. INSULATION
(17)	INTERIOR WALL	1 HOUR	3	17	8" CMU BLOCK - 2" MIN. INSULATION THAT MEETS IN EXTERIOR PARTY WALLS 8" CMU BLOCK - 2" MIN. INSULATION
(18)	INTERIOR WALL	1 HOUR	3	18	8" CMU BLOCK - 2" MIN. INSULATION THAT MEETS IN EXTERIOR PARTY WALLS 8" CMU BLOCK - 2" MIN. INSULATION
(19)	INTERIOR WALL	1 HOUR	3	19	8" CMU BLOCK - 2" MIN. INSULATION THAT MEETS IN EXTERIOR PARTY WALLS 8" CMU BLOCK - 2" MIN. INSULATION
(20)	INTERIOR WALL	1 HOUR	3	20	8" CMU BLOCK - 2" MIN. INSULATION THAT MEETS IN EXTERIOR PARTY WALLS 8" CMU BLOCK - 2" MIN. INSULATION
(21)	INTERIOR WALL	1 HOUR	3	21	8" CMU BLOCK - 2" MIN. INSULATION THAT MEETS IN EXTERIOR PARTY WALLS 8" CMU BLOCK - 2" MIN. INSULATION
(22)	INTERIOR WALL	1 HOUR	3	22	8" CMU BLOCK - 2" MIN. INSULATION THAT MEETS IN EXTERIOR PARTY WALLS 8" CMU BLOCK - 2" MIN. INSULATION
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(26)	INTERIOR WALL	1 HOUR	3	26	8" CMU BLOCK - 2" MIN. INSULATION THAT MEETS IN EXTERIOR PARTY WALLS 8" CMU BLOCK - 2" MIN. INSULATION
(27)	INTERIOR WALL	1 HOUR	3	27	8" CMU BLOCK - 2" MIN. INSULATION THAT MEETS IN EXTERIOR PARTY WALLS 8" CMU BLOCK - 2" MIN. INSULATION
(28)	INTERIOR WALL	1 HOUR	3	28	8" CMU BLOCK - 2" MIN. INSULATION THAT MEETS IN EXTERIOR PARTY WALLS 8" CMU BLOCK - 2" MIN. INSULATION
(29)	INTERIOR WALL	1 HOUR	3	29	8" CMU BLOCK - 2" MIN. INSULATION THAT MEETS IN EXTERIOR PARTY WALLS 8" CMU BLOCK - 2" MIN. INSULATION
(30)	INTERIOR WALL	1 HOUR	3	30	8" CMU BLOCK - 2" MIN. INSULATION THAT MEETS IN EXTERIOR PARTY WALLS 8" CMU BLOCK - 2" MIN. INSULATION
(31)	INTERIOR WALL	1 HOUR	3	31	8" CMU BLOCK - 2" MIN. INSULATION THAT MEETS IN EXTERIOR PARTY WALLS 8" CMU BLOCK - 2" MIN. INSULATION
(32)	INTERIOR WALL	1 HOUR	3	32	8" CMU BLOCK - 2" MIN. INSULATION THAT MEETS IN EXTERIOR PARTY WALLS 8" CMU BLOCK - 2" MIN. INSULATION
(33)	INTERIOR WALL	1 HOUR	3	33	8" CMU BLOCK - 2" MIN. INSULATION THAT MEETS IN EXTERIOR PARTY WALLS 8" CMU BLOCK - 2" MIN. INSULATION
(34)	INTERIOR WALL	1 HOUR	3	34	8" CMU BLOCK - 2" MIN. INSULATION THAT MEETS IN EXTERIOR PARTY WALLS 8" CMU BLOCK - 2" MIN. INSULATION
(35)	INTERIOR WALL	1 HOUR	3	35	8" CMU BLOCK - 2" MIN. INSULATION THAT MEETS IN EXTERIOR PARTY WALLS 8" CMU BLOCK - 2" MIN. INSULATION
(36)	INTERIOR WALL	1 HOUR	3	36	8" CMU BLOCK - 2" MIN. INSULATION THAT MEETS IN EXTERIOR PARTY WALLS 8" CMU BLOCK - 2" MIN. INSULATION
(37)	INTERIOR WALL	1 HOUR	3	37	8" CMU BLOCK - 2" MIN. INSULATION THAT MEETS IN EXTERIOR PARTY WALLS 8" CMU BLOCK - 2" MIN. INSULATION
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(39)	INTERIOR WALL	1 HOUR	3	39	8" CMU BLOCK - 2" MIN. INSULATION THAT MEETS IN EXTERIOR PARTY WALLS 8" CMU BLOCK - 2" MIN. INSULATION
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(41)	INTERIOR WALL	1 HOUR	3	41	8" CMU BLOCK - 2" MIN. INSULATION THAT MEETS IN EXTERIOR PARTY WALLS 8" CMU BLOCK - 2" MIN. INSULATION
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(44)	INTERIOR WALL	1 HOUR	3	44	8" CMU BLOCK - 2" MIN. INSULATION THAT MEETS IN EXTERIOR PARTY WALLS 8" CMU BLOCK - 2" MIN. INSULATION
(45)	INTERIOR WALL	1 HOUR	3	45	8" CMU BLOCK - 2" MIN. INSULATION THAT MEETS IN EXTERIOR PARTY WALLS 8" CMU BLOCK - 2" MIN. INSULATION
(46)	INTERIOR WALL	1 HOUR	3	46	8" CMU BLOCK - 2" MIN. INSULATION THAT MEETS IN EXTERIOR PARTY WALLS 8" CMU BLOCK - 2" MIN. INSULATION
(47)	INTERIOR WALL	1 HOUR	3	47	8" CMU BLOCK - 2" MIN. INSULATION THAT MEETS IN EXTERIOR PARTY WALLS 8" CMU BLOCK - 2" MIN. INSULATION
(48)	INTERIOR WALL	1 HOUR	3	48	8" CMU BLOCK - 2" MIN. INSULATION THAT MEETS IN EXTERIOR PARTY WALLS 8" CMU BLOCK - 2" MIN. INSULATION
(49)	INTERIOR WALL	1 HOUR	3	49	8" CMU BLOCK - 2" MIN. INSULATION THAT MEETS IN EXTERIOR PARTY WALLS 8" CMU BLOCK - 2" MIN. INSULATION
(50)	INTERIOR WALL	1 HOUR	3	50	8" CMU BLOCK - 2" MIN. INSULATION THAT MEETS IN EXTERIOR PARTY WALLS 8" CMU BLOCK - 2" MIN. INSULATION

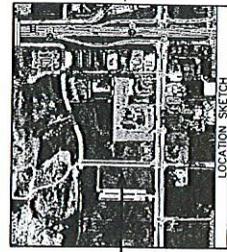


FOURTH FLOOR PLAN
* FLOOR HEIGHT EXIT SIGNS ARE REQUIRED.
* THE FIRE SPRINKLER AND FIRE ALARM COMPANIES MUST MEET WITH THE FIRE BUREAU PRIOR TO INSTALLATION.

MARK	PURPOSE	REQUIRED RATING AND DET. NUMBER	STC RATING	WALL TYPE	DESCRIPTION
D	EXTERIOR WALL (CORNER)	1 HOUR	40	1/2" Gypsum Board	1/2" Gypsum Board on Studs 2" Rigid Insulation 1/2" Gypsum Board on Studs 1/2" Stone Veneer / Stucco Finish
F	INTERIOR WALL (ELEVATOR)	2 HOUR	60	1/2" Gypsum Board	1/2" Gypsum Board on Studs 2" Rigid Insulation 1/2" Gypsum Board on Studs
G	INTERIOR WALL (CORRIDOR)	2 HOUR	54	1/2" Gypsum Board	1/2" Gypsum Board on Studs 2" Rigid Insulation 1/2" Gypsum Board on Studs
H	INTERIOR WALL (OFFICE)	2 HOUR	54	1/2" Gypsum Board	1/2" Gypsum Board on Studs 2" Rigid Insulation 1/2" Gypsum Board on Studs
I	INTERIOR WALL (MEETING)	1 HOUR	54	1/2" Gypsum Board	1/2" Gypsum Board on Studs 2" Rigid Insulation 1/2" Gypsum Board on Studs
J	EXTERIOR WALL (CORNER)	1 HOUR	34 TO 38	1/2" Gypsum Board	1/2" Gypsum Board on Studs 2" Rigid Insulation 1/2" Gypsum Board on Studs
K	EXTERIOR WALL (CORNER)	1 HOUR	34 TO 38	1/2" Gypsum Board	1/2" Gypsum Board on Studs 2" Rigid Insulation 1/2" Gypsum Board on Studs
L	EXTERIOR WALL (CORNER)	1 HOUR	34 TO 38	1/2" Gypsum Board	1/2" Gypsum Board on Studs 2" Rigid Insulation 1/2" Gypsum Board on Studs
M	EXTERIOR WALL (CORNER)	1 HOUR	34 TO 38	1/2" Gypsum Board	1/2" Gypsum Board on Studs 2" Rigid Insulation 1/2" Gypsum Board on Studs
N	EXTERIOR WALL (CORNER)	1 HOUR	34 TO 38	1/2" Gypsum Board	1/2" Gypsum Board on Studs 2" Rigid Insulation 1/2" Gypsum Board on Studs
O	EXTERIOR WALL (CORNER)	1 HOUR	34 TO 38	1/2" Gypsum Board	1/2" Gypsum Board on Studs 2" Rigid Insulation 1/2" Gypsum Board on Studs
P	EXTERIOR WALL (CORNER)	1 HOUR	34 TO 38	1/2" Gypsum Board	1/2" Gypsum Board on Studs 2" Rigid Insulation 1/2" Gypsum Board on Studs
Q	EXTERIOR WALL (CORNER)	1 HOUR	34 TO 38	1/2" Gypsum Board	1/2" Gypsum Board on Studs 2" Rigid Insulation 1/2" Gypsum Board on Studs
R	EXTERIOR WALL (CORNER)	1 HOUR	34 TO 38	1/2" Gypsum Board	1/2" Gypsum Board on Studs 2" Rigid Insulation 1/2" Gypsum Board on Studs
S	EXTERIOR WALL (CORNER)	1 HOUR	34 TO 38	1/2" Gypsum Board	1/2" Gypsum Board on Studs 2" Rigid Insulation 1/2" Gypsum Board on Studs
T	EXTERIOR WALL (CORNER)	1 HOUR	34 TO 38	1/2" Gypsum Board	1/2" Gypsum Board on Studs 2" Rigid Insulation 1/2" Gypsum Board on Studs
U	EXTERIOR WALL (CORNER)	1 HOUR	34 TO 38	1/2" Gypsum Board	1/2" Gypsum Board on Studs 2" Rigid Insulation 1/2" Gypsum Board on Studs
V	EXTERIOR WALL (CORNER)	1 HOUR	34 TO 38	1/2" Gypsum Board	1/2" Gypsum Board on Studs 2" Rigid Insulation 1/2" Gypsum Board on Studs
W	EXTERIOR WALL (CORNER)	1 HOUR	34 TO 38	1/2" Gypsum Board	1/2" Gypsum Board on Studs 2" Rigid Insulation 1/2" Gypsum Board on Studs
X	EXTERIOR WALL (CORNER)	1 HOUR	34 TO 38	1/2" Gypsum Board	1/2" Gypsum Board on Studs 2" Rigid Insulation 1/2" Gypsum Board on Studs
Y	EXTERIOR WALL (CORNER)	1 HOUR	34 TO 38	1/2" Gypsum Board	1/2" Gypsum Board on Studs 2" Rigid Insulation 1/2" Gypsum Board on Studs
Z	EXTERIOR WALL (CORNER)	1 HOUR	34 TO 38	1/2" Gypsum Board	1/2" Gypsum Board on Studs 2" Rigid Insulation 1/2" Gypsum Board on Studs

CONDITIONAL USE MAP

A PARCEL OF LAND LOCATED IN PART OF THE SOUTHEAST 1/4 OF SECTION 1, TOWN 1 NORTH, RANGE 21 EAST, CITY OF KENOSHA, KENOSHA COUNTY, WISCONSIN

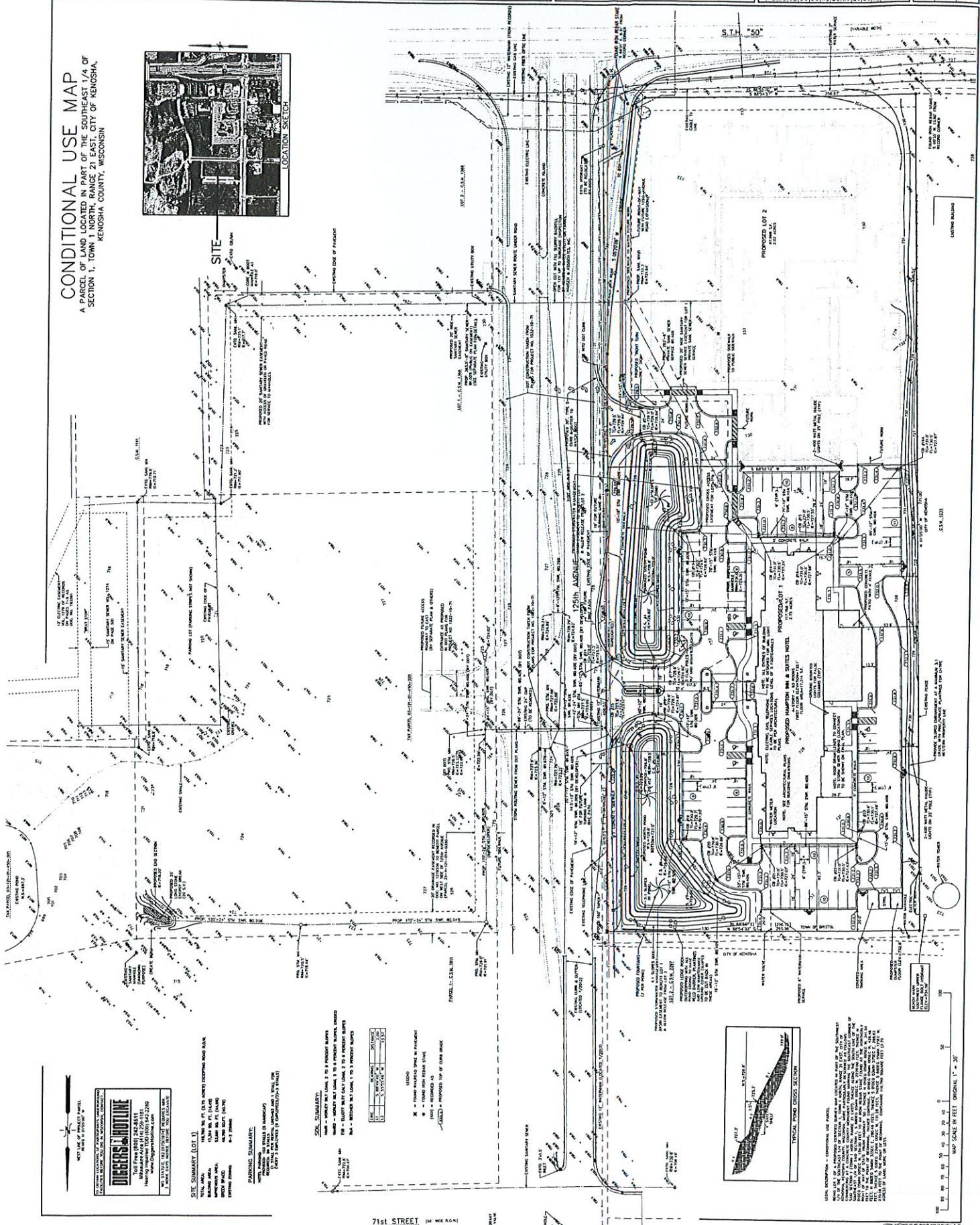


FARRIS, HANSEN & ASSOCIATES, INC.
 ENGINEERING - ARCHITECTURE - SURVEYING
 7 BROADWAY COURT
 FISHKILL, NY 12524
 OFFICE: (516) 223-2028 FAX: (516) 223-9888

WORK CHECKED BY:
 JOYAN HERRARD
 WISCONSIN REG. NO. 10000
 CITY OF KENOSHA, WISCONSIN

PROJECT NO. 7556
 DATE 3/20/2008
 SHEET NO. 1 OF 1

DIAGRAMS & ROUTINE
 100' SCALE BY FEET ORIGINAL 1" = 30'



DIAGRAMS & ROUTINE
 100' SCALE BY FEET ORIGINAL 1" = 30'

SITE SUMMARY (LOT 1)
 TOTAL AREA: 14,796 SQ. FT. (33.9 ACRES) EXISTING ROAD BULK
 BARRIERS: 12,000 SQ. FT. (27.5 ACRES)
 BARRIERS: 14,796 SQ. FT. (33.9 ACRES)
 EXISTING STREETS: 8-17 STREETS

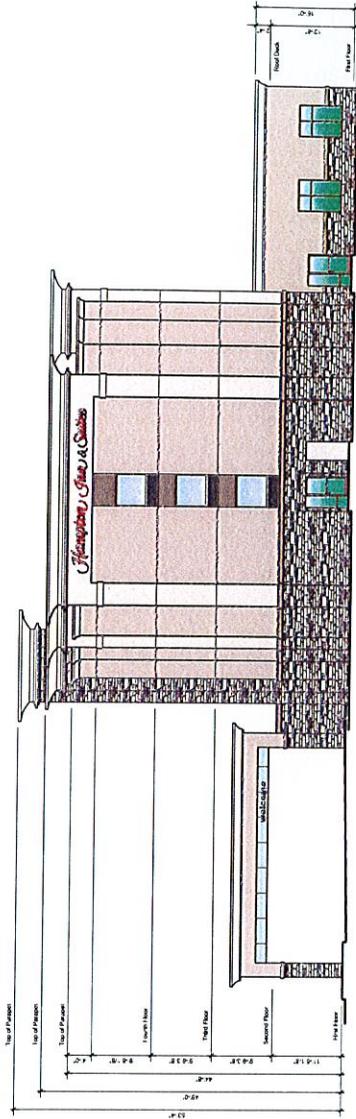
PLANNING SUMMARY:
 PROJECT: 120TH AVENUE
 PROJECT: 120TH AVENUE
 PROJECT: 120TH AVENUE

SOIL SUMMARY:
 SOIL TYPE: 1 TO 3 POUNDS PER FOOT
 SOIL TYPE: 1 TO 3 POUNDS PER FOOT
 SOIL TYPE: 1 TO 3 POUNDS PER FOOT

LEGEND:
 [Symbol] = EXISTING BUILDING SPACES IN PARCELS
 [Symbol] = EXISTING SIDE DRIVE DRIVE
 [Symbol] = EXISTING SIDE DRIVE DRIVE

TYPICAL TYPICAL SECTION
 120TH AVENUE
 120TH AVENUE

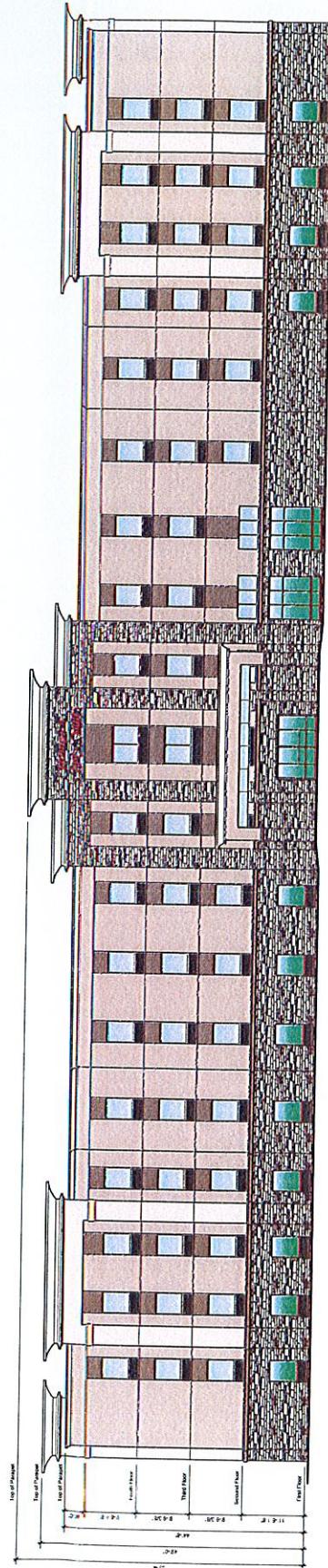
NOTES:
 1. ALL DIMENSIONS ARE IN FEET UNLESS OTHERWISE NOTED.
 2. ALL DIMENSIONS ARE IN FEET UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS ARE IN FEET UNLESS OTHERWISE NOTED.



NORTH ELEVATION

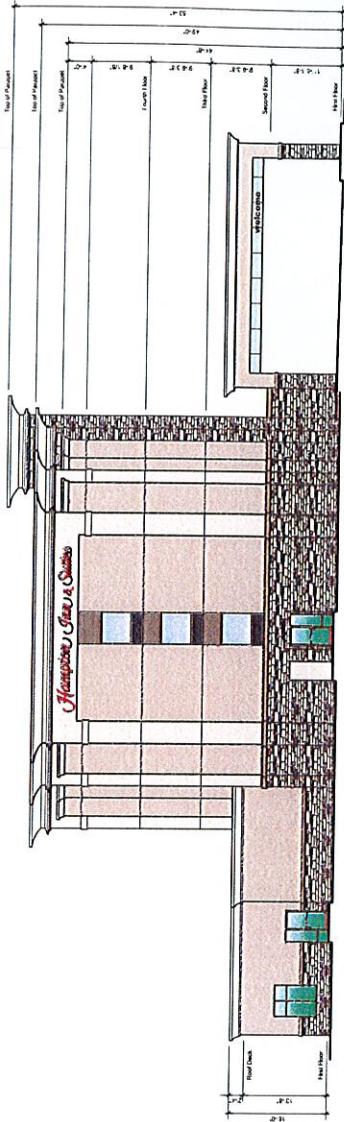
1/8" = 1'-0"

EXTERIOR MATERIALS	
DESCRIPTION	
E.I.F.S. - CONTINENTAL COLOR	
BENJAMIN MOORE #1567 RIVER REFLECTIONS	
E.I.F.S. - NEUTRAL COLOR	
BENJAMIN MOORE #1548 CLASSIC GRAY	
E.I.F.S. - TRIM COLOR - TOP OF STONE VENEER	
E.I.F.S. - BENJAMIN MOORE #1534 DASH OF PEPPER	
E.I.F.S. - BENJAMIN MOORE #1547 DRAGONS BREATHS	
GLAZING AND DECORATIVE GLASS ACCENT	
ELDORADO STONE - SILVERTON MOUNTAIN LEDGESTONE	
(SEE SAMPLE BOARD FOR ACTUAL COLORS)	



EAST ELEVATION

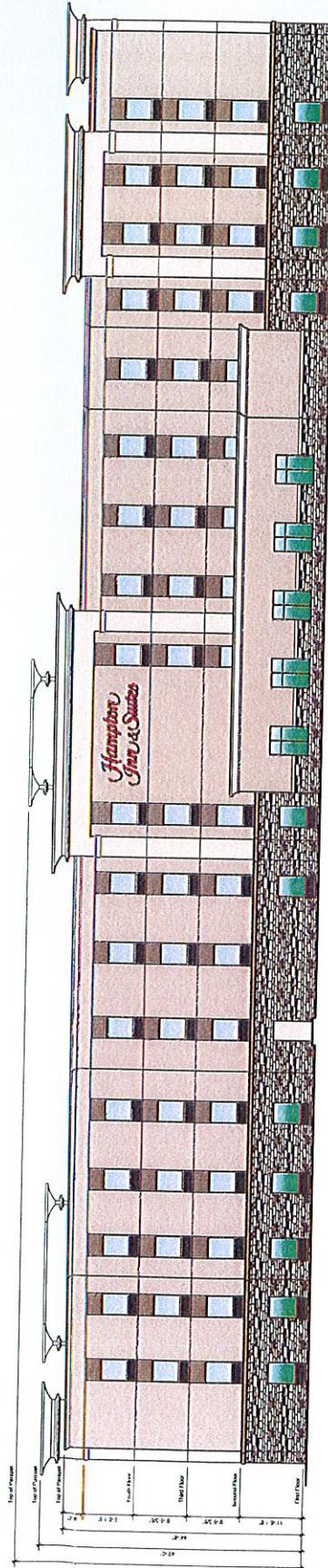
1/8" = 1'-0"



SOUTH ELEVATION

EXTERIOR MATERIALS	DESCRIPTION
[Color swatch]	E.L.F.S. - CONVENTIONAL COLOR
[Color swatch]	BENJAMIN MOORE #1552 RIVER REFLECTIONS
[Color swatch]	E.L.F.S. - NEUTRAL COLOR
[Color swatch]	BENJAMIN MOORE #1546 CLASSIC GRAY
[Color swatch]	E.L.F.S. - TRIM COLOR - TOP OF STONE WENNER
[Color swatch]	BENJAMIN MOORE #1552 RIVER REFLECTIONS
[Color swatch]	E.L.F.S. - ACCENT COLOR - DRAGONS BREATHS
[Color swatch]	BENJAMIN MOORE #1546 CLASSIC GRAY
[Color swatch]	GLAZING AND DECORATIVE GLASS ACCENT
[Color swatch]	ELDORADO STONE - SILVERTON MOUNTAIN LEDGESTONE

(SEE SAMPLE BOARD FOR ACTUAL COLORS)



WEST ELEVATION



ENGINEERING DIVISION
SHELLY BILLINGSLEY, P.E.
CITY ENGINEER

PARK DIVISION
JEFF WARNOCK
SUPERINTENDENT

FLEET MAINTENANCE
MAURO LENCI
SUPERINTENDENT

STREET DIVISION
JOHN H. PRIJIC
SUPERINTENDENT

WASTE DIVISION
ROCKY BEDNAR.
SUPERINTENDENT

DEPARTMENT OF PUBLIC WORKS

MICHAEL M. LEMENS, P.E., DIRECTOR
SHELLY BILLINGSLEY, P.E., DEPUTY DIRECTOR

MUNICIPAL BUILDING · 625 - 52ND ST · RM 305 · KENOSHA, WI 53140
TELEPHONE (262) 653-4050 · FAX (262) 653-4056
EMAIL PUBLICWORKS@KENOSHA.ORG

March 28, 2014

To: Rocco L. LaMacchia, Sr., Chairman,
Public Safety & Welfare Committee

From: Michael M. Lemens, P.E.
Director of Public Works

Subject: Ordinance by Alderperson Bostrom -To repeal and Recreate Subsection 30.10 (of the Code of General Ordinances) Regarding Ethics Complaints.

BACKGROUND INFORMATION

Staff received this request from the Legal Department for an Ordinance by Alderperson Bostrom which was referred to Public Safety and Welfare at the Common Council meeting on February 19, 2014.

RECOMMENDATION

Staff has no recommendation.

MML/dh

ORDINANCE NO. _____

SPONSOR: ALDERPERSON STEVE G. BOSTROM

TO REPEAL AND RECREATE SUBSECTION 30.10 OF THE CODE OF GENERAL ORDINANCES REGARDING ETHICS COMPLAINTS

The Common Council of the City of Kenosha, Wisconsin, do ordain as follows:

Section One: Subsection 30.10 of the Code of General Ordinances for the

City of Kenosha, Wisconsin, is hereby repealed and recreated as follows:

30.10 COMPLAINTS

A. Filing of Complaints. Any person may file a complaint against any covered person alleging a violation of the Code of Ethics with the Ethics Board. The complaint shall be filed with the City Department of Human Resources. The complaint shall be in writing and shall be verified. A separate written verified complaint shall be required for each named covered person. The complaint shall state with specificity the date of the alleged offense, the provision of the Code of Ethics alleged to have been violated, and the facts and circumstances upon which the allegations are based. Allegations shall be deemed to be made upon personal knowledge unless stated as being made upon information and belief. **Within one working day of the filing of the complaint, the director of the Department of Human Resources or his/her designee shall forward by quickest reasonable means a copy of the complaint to the chair of the Ethics Board. For purposes of this section, "working day" means a day that City administration is open to the public for the conduct of regular business.**

B. Sufficiency of Complaints. Within ~~fifteen ten (15+0)~~ working days of the ~~filing receipt~~ of the verified complaint **with the Department of Human Resources**, the Ethics Board shall forward by regular mail to the accused covered person a copy of the verified complaint and a general statement of the applicable provisions of the Code of Ethics. Within twenty (20) working days after mailing, the Ethics Board shall meet to determine whether based upon the face of the verified complaint sufficient facts are alleged to constitute a violation of the Code of Ethics. If the Ethics Board determines that the verified complaint does not allege facts sufficient to constitute a violation of the Code of Ethics, the Ethics Board shall dismiss the complaint and notify the complainant and the accused covered person. If the Ethics Board determines that the verified complaint was brought for harassment purposes, the Ethics Board shall so state.

If the Ethics Board determines that the verified complaint alleges facts sufficient to constitute a violation of the Code of Ethics, the Ethics Board shall conduct an investigation. The Ethics Board shall authorize any investigation by a motion which shall state the nature and purpose of the investigation and the actions or activities to be investigated. Upon adoption of a motion, the Ethics Board shall notify each accused covered person who is the subject of the investigation. Within ten (10) working days of

the adoption of the motion, the Ethics Board shall forward by regular mail a copy of the motion to each accused covered person identified in the motion together with a notice informing the accused covered person that he or she is the subject of the investigation together with a general statement of the applicable provisions of the Code of Ethics involved in the investigation. Service of the notice is complete upon mailing.

If during the course of an investigation, the Ethics Board finds probable cause to believe that a violation of the Code of Ethics other than one contained in the verified complaint has occurred, the Ethics Board may amend the complaint upon its own motion to include such violations and to conduct an investigation. Within ten (10) working days of the adoption of the motion amending the complaint, the Ethics Board shall forward by regular mail to the accused covered person a copy of the motion, the amended complaint and a general statement of the applicable provisions of the Code of Ethics involved in the amended complaint and investigation. Service is complete upon mailing.

C. Limitations. No action may be taken by the Ethics Board on any complaint which is filed with the Ethics Board later than two (2) years after a violation of the Code of Ethics is alleged to have occurred. Any complaint, investigation or prosecution regarding violations of the Code of Ethics initiated prior to the effective date of this ordinance and any proceedings arising therefrom shall proceed pursuant to the provisions of Chapter XXX in effect prior to the effective date of this Ordinance and shall be unaffected by the adoption of this Ordinance.

Section Two: This Ordinance shall become effective upon passage and publication.

ATTEST: _____ City Clerk

APPROVED: _____ Mayor

Passed:

Published:

Drafted By:
EDWARD R. ANTARAMIAN
City Attorney

RESOLUTION NO. _____

BY: COMMITTEE ON FINANCE

To Levy a Special Assessment under Authority of Charter Ordinance No. 26, as Amended, upon Certain Parcels of Land Within the City of Kenosha, Wisconsin in the Amount of \$975.88 for Trash and Debris Removal

WHEREAS, trash and debris located on certain parcels of land in the City of Kenosha, Wisconsin, has been ordered removed by the Kenosha County Department of Human Services, pursuant to Charter Ordinance No. 26, as amended by Charter Ordinance No.(s) 28, 30, and 33, of the City of Kenosha, Wisconsin; and,

WHEREAS, pursuant to Subsection G., Charter Ordinance No. 26, as amended, the cost of abatement, including the cost of service, mailing and publication, and a Seventy-five (\$75.00) Dollar Administrative Fee, is to be specially assessed against the real estate upon which such debris and trash were located; and,

WHEREAS, trash and debris has been removed by the City, through private contract, from various parcels of real estate at the costs of abatement and administration noted by a report from the Kenosha County Department of Human Services dated April 3, 2014, for the City of Kenosha, which report is on file in the Office of the City Clerk/Treasurer and incorporated herein by reference.

NOW, THEREFORE, BE IT RESOLVED by the Common Council of the City of Kenosha, Wisconsin, that pursuant to Charter Ordinance No. 26, as amended by Charter Ordinance No. (s) 28, 30, and 33, special assessments in the total amount of \$975.88 are levied against the respective parcels of property listed in the report of the Kenosha County Department of Human Services on file in the Office of the City Clerk/Treasurer for the City of Kenosha, Wisconsin, with interest thereon to be charged at seven and one-half (7.5%) percent per annum from the date of passage of this Resolution.

Adopted this _____ day of _____, 2014.

ATTEST: _____ City Clerk

APPROVED: _____ Mayor

Date: _____

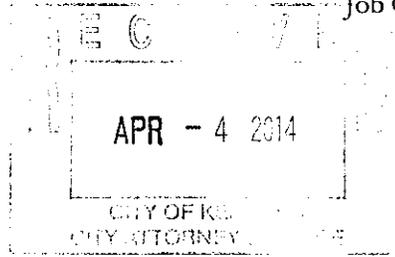
Drafted By:
JONATHAN A. MULLIGAN
Assistant City Attorney



COUNTY OF KENOSHA

John T. Jansen, Director
Department of Human Services

Cynthia Johnson, Director, Health Officer
Division of Health Services
Job Center / Human Services Building
8600 Sheridan Road, Suite 600
Kenosha, WI 53143-6515
Phone (262) 605-6700
Fax: (262) 605-6715



DATE: April 3, 2014

TO: Edward R. Antaramian, City Attorney

FROM: Mark Melotik, Environmental Manager

RE: Request of special assessments for the following properties, as per Charter Ordinance
Number 26 - City of Kenosha

1.)	6426 20th Av	PARCEL #	05-123-06-256-020
	<u>OWNER OF RECORD:</u> JP Morgan Chase Bank 10790 Rancho Bernardo Rd San Diego CA 92127	<u>ASSESSMENT:</u> Administrative Fee 75.00 Clean up 125.00 Certified Mail 7.19 Publication Cost	
	Cleanup Date: 01/29/2014	TOTAL:	207.19
2.)	5403 53rd Court	PARCEL #	08-222-35-329-007
	<u>OWNER OF RECORD:</u> Dawn & Christopher Scott 5403 53rd Court Kenosha WI 53144	<u>ASSESSMENT:</u> Administrative Fee 75.00 Clean up 185.00 Certified Mail 7.19 Publication Cost 23.56	
	Cleanup Date: 01/29/2014	TOTAL:	290.75
3.)	1515 68th St	PARCEL #	05-123-06-307-006
	<u>OWNER OF RECORD:</u> Karlton Sisson 219 Oak Ln Winthrop Harbor IL 60096	<u>ASSESSMENT:</u> Administrative Fee 75.00 Clean up 145.00 Certified Mail 7.19 Publication Cost 23.56	
	Cleanup Date: 02/10/2014	TOTAL:	250.75
4.)	2103 62nd St	PARCEL #	05-123-06-230-007
	<u>OWNER OF RECORD:</u> Augustin Cervantes 8301 25th Ct Kenosha WI 53143	<u>ASSESSMENT:</u> Administrative Fee 75.00 Clean up 145.00 Certified Mail 7.19 Publication Cost	
	Cleanup Date: 02/10/2014	TOTAL:	227.19
CHARTER 26 TOTAL			\$ 975.88

RESOLUTION NO. _____

BY: FINANCE COMMITTEE

**To Impose a Special Charge on Certain
Parcels of Property
for Boarding and Securing**

BE IT RESOLVED, that special charges for boarding and securing during 2014, in the total amount of **\$344.24** be levied against the respective parcels of property as shown by a report of the Department of Community Development and Inspections and filed in the office of the City Clerk of the City of Kenosha.

Passed this _____ day of _____, 2014

Approved:

_____, Mayor
Keith G. Bosman

Attest:

_____, City Clerk-Treasurer
Debra L. Salas

Drafted by:
Department of Community Development and Inspections

/saz

Parcel #:01-122-01-104-004**2515 60TH ST****Owner of Record**SANTOS A CRUZ MARADIAGA
2515 60TH ST
KENOSHA, WI 53140**Admin. Fee**
100.00**Charge**
72.12**Total**
172.12

Parcel #:12-223-31-356-003**2019 57TH ST****Owner of Record**JANINE E KOLBECK
2019 57TH ST
KENOSHA, WI 53140**Admin. Fee**
100.00**Charge**
72.12**Total**
172.12**RESOLUTION TOTAL****344.24**

RESOLUTION NO. _____

BY: FINANCE COMMITTEE

**To Impose a Special Charge on Certain
Parcels of Property for
Property Maintenance Reinspection Fees**

BE IT RESOLVED, that special charges for reinspection fees during 2014, in the total amount of **\$1,914.00**, be levied against the respective parcels of property as shown by a report of the Department of Community Development and Inspections and filed in the office of the City Clerk of the City of Kenosha.

Passed this _____ day of _____, 2014

Approved:

_____, Mayor
Keith G. Bosman

Attest:

_____, City Clerk-Treasurer
Debra L. Salas

Drafted by:
Department of Community Development and Inspections

/saz

Parcel #:01-122-01-127-006**6011 30TH AVE****Owner of Record**DANBILL APTS LLC
5911 107TH ST
PLEASANT PRAIRIE, WI 53158**Admin. Fee**

100.00

Charge

360.00

Total

460.00

Parcel #:04-122-12-237-009**7733 36TH AVE****Owner of Record**LORI K LIENAU
7733 36TH AVE
KENOSHA, WI 53142**Admin. Fee**

100.00

Charge

360.00

Total

460.00

Parcel #:05-123-06-260-036**6516 18TH AVE****Owner of Record**FRANK F & SANDRA J LUDOWISE
6516 18TH AVE
KENOSHA, WI 53143-4954**Admin. Fee**

100.00

Charge

360.00

Total

460.00

Parcel #:12-223-31-334-001**5506 19TH AVE****Owner of Record**GLOBUS HOLDING CORPORATION
8170 214TH AVE
BRISTOL, WI 53104**Admin. Fee**

100.00

Charge

72.00

Total

172.00

Parcel #:12-223-31-334-001**5506 19TH AVE****Owner of Record**GLOBUS HOLDING CORPORATION
8170 214TH AVE
BRISTOL, WI 53104**Admin. Fee**

100.00

Charge

90.00

Total

190.00

Parcel #:12-223-31-334-001**5506 19TH AVE****Owner of Record**GLOBUS HOLDING CORPORATION
8170 214TH AVE
BRISTOL, WI 53104**Admin. Fee**

100.00

Charge

72.00

Total

172.00

RESOLUTION TOTAL **1,914.00**

RESOLUTION NO. _____

BY: COMMITTEE ON PUBLIC WORKS

**TO ORDER THE COST OF PUBLIC SIDEWALK
AND/OR DRIVEWAY APPROACH CONSTRUCTION
AND/OR REPLACEMENT TO BE SPECIALLY
ASSESSED TO ABUTTING PROPERTY**

WHEREAS, on the **21st day of April, 2014,** the Common Council of the City of Kenosha, Wisconsin, held a properly noticed Public Hearing and heard all persons wishing to be heard regarding public sidewalk and/or driveway approach construction, and/or replacement, at the cost of owners of parcels of property listed in a report on file in the Office of the Department of Public Works for the City of Kenosha, Wisconsin, which abut the following Streets:

Citywide Locations

NOW, THEREFORE, BE IT RESOLVED by the Common Council of the City of Kenosha, Wisconsin, that pursuant to the authority of Section 5.05 of the Code of General Ordinances, and Section 66.0627, Wisconsin Statutes:

1. The owner of each parcel described on file may have the sidewalk and driveway approach abutting said parcel constructed, repaired or replaced (“Work”) prior to the start of work on their block, upon obtaining a proper permit under Chapter 5 of the Code of General Ordinances.

2. If the owner fails to complete such Work within the time specified, the Common Council shall cause the Work to be done at the expense of the property owner by contract let to the lowest responsible bidder, and the Work will be paid for by

assessing the cost of the Work to the benefited property. Invoices for said Work will be sent out after the first of the year following Work being completed.. If the cost of Work is under One Hundred (\$100.00) Dollars, it shall be paid in its entirety within thirty (30) days of receipt of invoice. If the cost of Work is over One Hundred (\$100.00) Dollars, it may be paid in its entirety within thirty (30) days of receipt of invoice, and if not so paid, placed on the tax roll for a period of three (3) years at an interest rate of seven and one-half (7.5%) per annum. If not paid within the period fixed, such a delinquent special charge shall become a lien as provided in Section 66.0703(13), Wisconsin Statutes, as of the date of such delinquency, and shall automatically be extended upon the current or next tax roll as a delinquent tax against the property and all proceedings in relation to the collection, return and sale of property for delinquent real estate taxes shall apply to such special charge.

3. The Director of Public Works shall serve a copy of this Resolution on each property owner by publishing the same in the official newspaper, together with a mailing by first class mail to the owner, if their post office address is known or can be ascertained with reasonable diligence.

Adopted this 21st day of April, 2014.

APPROVED:

KEITH G. BOSMAN, MAYOR

ATTEST:

DEBRA L. SALAS, CITY CLERK/TREASURER

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
01-122-01-153-015-0	275.000		\$705.00
PROPERTY ADDRESS			
MATHEW B MCCREARY			
6343 29TH AVE			
KENOSHA, WI 53143-4617			
LEGAL DESCRIPTION			
LOT 10 BLK 3 GRAVES SUB PT			
OF NE 1/4 SEC 1 T 1 R 22			
V 1413 P 48			
V1654 P 616			
DOC#1607490			
DOC#1599619			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
01-122-01-153-022-0	298.000		\$420.00
PROPERTY ADDRESS			
CHRISTOPHER A & JEANNE M HAVERKAMP			
6338 028 AV			
KENOSHA, WI 53143			
LEGAL DESCRIPTION			
S 40 FT OF LOT 4 BLK 3 GRAVES			
SUB BEING PT OF NE 1/4 SEC 1			
T1 R 22			
V 1386 P 651			
V 1575 P 281			
DOC #979381			
DOC#1077769			
DOC#1079088 (CORRECTION)			
DOC#1165559			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
01-122-01-161-007-0	150.000		\$277.50
PROPERTY ADDRESS			
MICHAEL STARR			
6517 028 AV			
LEGAL DESCRIPTION			
LOT 18 B 2 PUGH'S SUB BEING PT			
OF NE 1/4 SEC 1 T 1 R 22			
V 1691 P 498			
DOC#1164430			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
01-122-01-161-008-0	225.000		\$420.00
PROPERTY ADDRESS			
SANDRA M PUZEREMSKI			
6523 028 AV			
KENOSHA, WI 53143-4611			
LEGAL DESCRIPTION			
LOT 17 B 2 PUGH'S SUB BEING PT			
OF NE 1/4 SEC 1 T 1 R 22			
V 1691 P 498			
DOC#1164430			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

ASSESSED S.F./LN. TOTAL ASSESSMENT

PARCEL NUMBER 01-122-01-176-007-0 LOT 200.000 \$1,110.00
 PROPERTY ADDRESS WALTER SAWA 2225 63RD ST KENOSHA, WI 53143
 MAIL TO ADDRESS WALTER SAWA 2225 63RD ST KENOSHA, WI 53143
 LEGAL DESCRIPTION S 63 FT OF LOT 98 KENOSHA REALTY CO'S 1ST ADD PT OF NE 1/4 SEC 1 T 1 R 22 V 844 P 453 V1523 P 910 V1597 P 760 V1657 P 856 V1657 P 857 DOC#1172531 DOC#1555578 DOC#1675663

PARCEL NUMBER 01-122-01-176-008-0 LOT 200.000 \$1,110.00
 PROPERTY ADDRESS FIREHOUSE CARPET CLEANING LLC 6315 923 AV
 MAIL TO ADDRESS FIREHOUSE CARPET CLEANING LLC 9086 PT OF LOTS 91 & 92 KENOSHA REALTY COMPANY'S 1ST ADD PT NE 1/4 SEC 1 T 1 R 22 CON N AT NW COR LOT 91 TH S 60 FT E 44.5 FT SELLY 19.7 FT NE 1/4 50 FT NW 1/4 57 FT V 1331 P 599 DOC#1652055 DOC#1661878

4" CONC R-R 200.00SF @ \$5.55 = \$1110.00
 NUMBER OF SQUARES 8

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

ASSESSED S.F./LN. TOTAL ASSESSMENT

PARCEL NUMBER 01-122-01-176-009-0 LOT 500.000 \$2,775.00
 PROPERTY ADDRESS JAMES J & LORI D PASQUCCI 6321 23RD AV KENOSHA, WI 53143
 MAIL TO ADDRESS JAMES J & LORI D PASQUCCI 6321 23RD AV KENOSHA, WI 53143
 LEGAL DESCRIPTION PT OF LOTS 93 & 94 KENOSHA REALTY COMPANY'S FIRST ADD CON 167.32 FT N OF NE COR OF 23RD AV & ROOSEV RD TH N 55 FT E LY 44.5 FT S LY 19.7 FT W LY 2 FT S LY 20.77 FT W 66 FT TO BEG KENOSHA REALTY COS 1ST ADD PT OF NE 1/4 SEC 1 T 1 R 22 DOC #1009135 DOC #1010728 DOC #1012241 DOC #1408300

4" CONC R-R 500.00SF @ \$5.55 = \$2775.00
 NUMBER OF SQUARES 20

PARCEL NUMBER 01-122-01-177-023-0 LOT 4" CONC R-R 50.00SF @ \$5.55 = \$277.50
 ASSESSED S.F./LN. TOTAL ASSESSMENT \$277.50
 PROPERTY ADDRESS 49SF CARTRIDGE WALK DONE AT CITY COST
 6314 023 AV

MAIL TO ADDRESS LEGAL DESCRIPTION
 JON G & MARY D HILTBRAUN LOT 162 KENOSHA REALTY CO'S
 6314 23RD AVE 1ST ADD BEING PT OF NE 1/4
 KENOSHA, WI 53143 SEC 1 T 1 R 22
 DOC #9985083
 DOC #9985084
 DOC #9985084
 DOC #1173662
 DOC #1396115 DEED IN ERROR
 DOC #1398039
 DOC #1492149 CORRECTION
 DOC #1496978
 DOC #1514753
 DOC #1694073
 DOC #1695879
 DOC #1708631

PARCEL NUMBER 01-122-01-184-086-0 LOT
 PROPERTY ADDRESS NUMBER OF SQUARES
 CRISTINA M OGLESBY CURB AND HANDICAP RAMP DONE AT CITY COST
 6628 025 AV

MAIL TO ADDRESS LEGAL DESCRIPTION
 CRISTINA M OGLESBY LOT 5 BLK 9 FROST & TUTTLE'S SUB
 6628 025 AV BEING PT OF NE 1/4 SEC 1 T 1 R 22
 V 1697 P 878
 DOC #1987316
 DOC #1157892
 DOC #1514692

PARCEL NUMBER 01-122-01-185-096-0 LOT 40.000
 ASSESSED S.F./LN. TOTAL ASSESSMENT \$.00
 PROPERTY ADDRESS 49SF CARTRIDGE WALK DONE AT CITY COST
 6617 025 AV

MAIL TO ADDRESS LEGAL DESCRIPTION
 WILLIAM M RYNEARSON S 44 FT OF LOT 8 BLK 8 FROST
 6617 25TH AVE & TUTTLE'S SUB BEING PT OF NE
 KENOSHA, WI 53143-4722 1/4 SEC 1 T 1 R 22 ALSO PT OF
 W 1/2 OF VACATED ALLEY RES#
 128-96 DOC#1637228
 V 1424 P 942
 (1997 LOT LINE ADJUSTMENT)
 DOC#1164590

PARCEL NUMBER 01-122-01-185-099-0 LOT 525.000 \$2,917.50
 PROPERTY ADDRESS 4" CONC R-R 500.00SF @ \$5.55 = \$2775.00
 KARL DAVIS 6" CONC R-R 25.00SF @ \$5.70 = \$142.50
 2418 607 ST NUMBER OF SQUARES 21
 KENOSHA, WI 53143 CURB & HANDICAP RAMP DONE AT CITY COST

MAIL TO ADDRESS LEGAL DESCRIPTION
 KARL DAVIS S 44 FT OF LOT 6 BLK 8 FROST &
 2418 67TH ST TUTTLE'S SUB PT NE 1/4 SEC 1
 KENOSHA, WI 53143 T 1 R 22 ALSO PT W 1/2 VACATED
 ALLEY RES #128-96 DOC#1637228
 (1997 LOT LINE ADJUSTMENT)
 V1699 P 578
 V1699 P 853
 DOC#1166979
 DOC#1140893
 DOC#1362158
 DOC#1434277

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
01-122-01-187-008-0	175.009		\$978.75
PROPERTY ADDRESS		4" CONC R-R 125.00SF @ \$5.55 = \$693.75	
DAVID L HAASTICK		6" CONC R-R 50.00SF @ \$5.70 = \$285.00	
6828 922 AV		NUMBER OF SQUARES 7	
		CURB WORK DONE AT CITY COST	
MAIL TO ADDRESS		LEGAL DESCRIPTION	
DAVID L HAASTICK		LOT 5 B 3 FROST & TUTTLE'S SUB	
6826 22ND AVE		BEING PT OF NE 1/4 SEC 1 T 1 R	
KENOSHA, WI 53143-1228		22	

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
01-122-01-201-013-0	109.009		\$566.25
PROPERTY ADDRESS		4" CONC R-R 25.00SF @ \$5.55 = \$138.75	
ALDEA CORP INC		6" CONC R-R 75.00SF @ \$5.70 = \$427.50	
6828 938 AV		NUMBER OF SQUARES 4	
		CURB WORK DONE AT CITY COST	
MAIL TO ADDRESS		LEGAL DESCRIPTION	
ALDEA CORP INC		LOT 18 BLK 1 PENNING & BULLAMORE'S	
1980 THE EXCHANGE SE		ORCHARD KNOLL SUB BEING PT OF NW	
ATLANTA, GA 30339		1/4 SEC 1 T 1 R 22	

DOC#1916319
 DOC#1206105
 DOC#1206106
 DOC#1215839
 DOC#1234672
 DOC#1464464
 DOC#1675418
 DOC#1698597
 DOC#1706013

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
01-122-01-201-020-0	75.000		\$428.00
PROPERTY ADDRESS		4" CONC R-R 50.00SF @ \$5.55 = \$277.50	
LAWRENCE L FUNK JR		6" CONC R-R 25.00SF @ \$5.70 = \$142.50	
6029 039 AV		NUMBER OF SQUARES 3	
		CURB WORK DONE AT CITY COST	
MAIL TO ADDRESS		LEGAL DESCRIPTION	
LAWRENCE L FUNK JR		LOT 19 BLK 1 PENNING & BULLAMORE'S	
6029 30TH AVE		ORCHARD KNOLL SUB PT NW 1/4 SEC 1	
KENOSHA, WI 53144		T 1 R 22	
		V 1397 P 529	
		V 1429 P 732	
		DOC#1278265	
		DOC#1375790	

DOC#1278265
 DOC#1375790

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
01-122-01-201-021-0	75.000		\$423.75
PROPERTY ADDRESS		4" CONC R-R 25.00SF @ \$5.55 = \$138.75	
RODERICK L VALDEZ		6" CONC R-R 50.00SF @ \$5.70 = \$285.00	
6916 938 AV		NUMBER OF SQUARES 3	
		CURB WORK DONE AT CITY COST	
MAIL TO ADDRESS		LEGAL DESCRIPTION	
RODERICK L VALDEZ		LOT 20 BLK 1 PENNING & BULLAMORE'S	
6016 30TH AVE		ORCHARD KNOLL SUB PT OF NW 1/4 SEC	
KENOSHA, WI 53142-3382		1 T 1 R 22	
		DOC#1281095	

DOC#1281095

PARCEL NUMBER 01-122-01-202-019-0 LOT 125.099
 ASSESSED S.F./LN. TOTAL ASSESSMENT \$142.50
 PROPERTY ADDRESS 6" CONC R-R 25.09SF @ \$5.70 = \$142.50
 MARY KRISTINE ROEMER REVOCABLE LIV ADDITIONAL 100.09SF @ \$.00 = \$.00
 6928 931 AV NUMBER OF SQUARES 1
 4 OF 5 SQ DUE TO PMT

MAIL TO ADDRESS LEGAL DESCRIPTION
 MARY KRISTINE ROEMER LOT 19 BLK 2 PENNING & BULLAMORE'S
 PO BOX 57 ORCHARD KNOLL SUB BEING PT OF NW
 KENOSHA, WI 53141-0957 1/4 SEC 1 T1 R22 ALSO 1/2 VAC ALLE
 RES #132-00 1991
 V 1402 P845
 DOC#1630852
 DOC#1844671
 DOC#1954199
 DOC#1168855
 DOC#1194394
 DOC#1384702

PARCEL NUMBER 01-122-01-203-010-0 LOT 150.099 \$277.50
 PROPERTY ADDRESS 4" CONC R-R 50.09SF @ \$5.55 = \$277.50
 IRREVOCABLE WERNECKE FAMILY TRUST ADDITIONAL 100.09SF @ \$.00 = \$.00
 6947 933 AV NUMBER OF SQUARES 2
 4 OF 6 SQ DUE TO PMT

MAIL TO ADDRESS LEGAL DESCRIPTION
 WERNECKE FAMILY TRUST LOT 10 PAUL SCHRÖDER SUB BEING
 6947 38RD AVE PT OF NW 1/4 SEC 1 T 1 R 22
 KENOSHA, WI 53142-3314 P 1629 V 3
 DOC #1387843

PARCEL NUMBER 01-122-01-205-012-0 LOT 100.099
 ASSESSED S.F./LN. TOTAL ASSESSMENT \$1.00
 PROPERTY ADDRESS 100.09SF @ \$.00 = \$1.00
 ANDREW C KUPFEL ADDITIONAL NUMBER OF SQUARES
 6225 934 AV 4 SQ DUE TO PMT

MAIL TO ADDRESS LEGAL DESCRIPTION
 ANDREW C KUPFEL LOT 32 BULLAMORE & PENNING'S
 6225 34TH AVE ADD TO ORCHARD KNOLL SUB BEING
 KENOSHA, WI 53142-3320 PT OF NW 1/4 SEC 1 T 1 R 22
 V 1380 P 765
 V 1484 P 848

PARCEL NUMBER 01-122-01-205-013-0 LOT 59.099
 PROPERTY ADDRESS 59.09SF @ \$.00 = \$1.00
 DYNIAH C LESLIE ADDITIONAL NUMBER OF SQUARES
 6229 934 AV 2 SQ DUE TO PMT

MAIL TO ADDRESS LEGAL DESCRIPTION
 DYNIAH C LESLIE 12641-3 THE N 40 FT OF THE W
 6229 34TH AVE 1/2 OF LOT 29 & THE N 40 FT OF
 KENOSHA, WI 53142 LOTS 30 & 31 BULLAMORE &
 PENNING'S ADD TO ORCHARD KNOLL
 SUB PT OF NW 1/4 SEC 1 T1 R22
 V 1496 P 425
 DOC#1169857

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
63-122-01-205-014-0		150.000	
PROPERTY ADDRESS		ADDITIONAL NUMBER OF SQUARES	
DAVID J & JUDITH A PETERSEN FAMILY 6 SQ DUE TO PMT		150.00SF @ \$.00 =	\$.00
6233 034 AV			

MAIL TO ADDRESS
 DAVID J & JUDITH A PETERSEN
 3607 22ND AVE
 KENOSHA, WI 53140

LEGAL DESCRIPTION
 12643-2 THE S 40 FT OF THE FOLLOWING: THE N 80 FT OF N1/4/2 OF LOT 29 & N 80 FT OF LOTS 30 & 31 BULLMORE & PENNING'S ADD TO ORCHARD KNOWL SUBD PT OF NW 1/4 SEC 1 T 1 R 22
 DOC#1060862
 DOC#1404596

PARCEL NUMBER 01-122-01-205-015-0 LOT 189.000
 ADDITIONAL 100.00SF @ \$.00 = \$.00
 PROPERTY ADDRESS NUMBER OF SQUARES
 CYNTHIA L GROSS 4 SQ DUE TO PMT CURB/RAMP AT CITY COST
 6235 034 AV

MAIL TO ADDRESS
 CYNTHIA L GROSS
 6235 34TH AVE
 KENOSHA, WI 53142

LEGAL DESCRIPTION
 THE S 40 FT OF THE W 1/2 OF LOT29 & THE S 40 FT OF LOTS 30 AND 31 BULLMORE & PENNING S ADD TO ORCHARD K NOLL SUBD PT OF NW 1/4 SEC 1 T 1 R 22
 12643-1
 V 1654 P 818

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
01-122-01-206-002-0		75.000	
PROPERTY ADDRESS		ADDITIONAL NUMBER OF SQUARES	
MARY ANNE KERR 6107 30RD AVE		75.00SF @ \$.00 =	\$.00
6107 033 AV		3 SQ DUE TO PMT	

MAIL TO ADDRESS
 MARY A KERR
 6107 30RD AVE
 KENOSHA, WI 53142-3342

LEGAL DESCRIPTION
 LOT 12 PAUL SCHROEDER SUB PT NW 1/4 SEC 1 T 1 R 22
 DOC#1309353

PARCEL NUMBER 01-122-01-227-028-0 LOT 200.000
 ADDITIONAL 100.00SF @ \$5.55 = \$555.00
 PROPERTY ADDRESS NUMBER OF SQUARES
 WILLARD & JEANNETTE E WESTRA 4 OF 8 SQ DUE TO PMT
 6213 037 AV

MAIL TO ADDRESS
 WILLARD & JEANNETTE E WESTRA
 6213 37TH AVE
 KENOSHA, WI 53142-3392

LEGAL DESCRIPTION
 NW 1/4 SEC 1 T 1 R 22 CONCORAN S GRAND VIEW SUB BLK 3 PT OF LOTS 17, 18, 19, 20, & 21 COM. 235 FT. N. OF NE COR 37TH AVE & 63RD ST. TH N 55 FT. E 104.29 FT. N 10 FT. E 85 FT. S 50 FT. W 10 FT. S 50 FT. W 75FT N 35 FT. W 105.56 FT. TO BEG

PARCEL NUMBER 01-122-01-231-093-0 LOT 75.0690 ASSESSED S.F./LN. 75.0690 TOTAL ASSESSMENT \$1,113.75
 ADDITIONAL NUMBER OF SQUARES 75.069SF @ \$5.55 = \$416.25
 3 SQ DUE TO PMT \$142.50 = \$558.75

PROPERTY ADDRESS DONALD J MARLOTTY 3717 060 PL
 MAIL TO ADDRESS DONALD J MARLOTTY 9225 RIVER RD PLEASANT PRATRIE, WI 53158
 LEGAL DESCRIPTION PT OF NW 1/4 SEC 1 T 1 R 22 COM 45 FT E OF NE COR LOT 15 PENNING & GETTSCHMAN'S PRATRIE AVE ADD TH S 129 FT E 45.08 FT N 129 FT W 44.8 FT TO BEG V 1275 P 311 DDC#1074671 DDC#1156271 DDC#1586915

PARCEL NUMBER 01-122-01-251-010-0 LOT 269.0909 ASSESSED S.F./LN. 269.0909 TOTAL ASSESSMENT \$701.25
 ADDITIONAL NUMBER OF SQUARES 269.0909 @ \$2.60 = \$701.25

PROPERTY ADDRESS LENOIRE A BAUER (LIFE EST) BAUER FA ADDITIONAL NUMBER OF SQUARES 5
 MAIL TO ADDRESS LENOIRE A BAUER 6317 037 AV
 LEGAL DESCRIPTION LOT 4 BLK 6 CORCORAN'S GRAND VIEW SUB BEING PT OF NW 1/4 SEC 1 T 1 R 22 DDC#4331992 DDC#4331993 DDC#4331993 DDC#4331993 DDC#4331993 DDC#4331993

PARCEL NUMBER 01-122-01-251-011-0 LOT 269.0909 ASSESSED S.F./LN. 269.0909 TOTAL ASSESSMENT \$1,113.75
 ADDITIONAL NUMBER OF SQUARES 269.0909 @ \$5.55 = \$1492.50
 8 SQ DUE TO PMT \$142.50 = \$1635.00

PROPERTY ADDRESS JOHN M & CATHERINE M DURAN 6323 037 AV
 MAIL TO ADDRESS JOHN M & CATHERINE M DURAN 21201 45TH STREET BRISTOL, WI 53104
 LEGAL DESCRIPTION LOT 5 B 6 CORCORAN'S GRAND VIEW SUB BEING PT OF NW 1/4 SEC 1 T 1 R 22 DDC#1145584

PARCEL NUMBER 01-122-01-251-012-0 LOT 59.0909 ASSESSED S.F./LN. 59.0909 TOTAL ASSESSMENT \$277.50
 ADDITIONAL NUMBER OF SQUARES 2 @ \$138.75 = \$277.50

PROPERTY ADDRESS KELLY L & TRACY L DRZEWIECKI 6327 037 AV
 MAIL TO ADDRESS KELLY L & TRACY L DRZEWIECKI N9 W23991 SHERWOOD DR WAUKESHA, WI 53189
 LEGAL DESCRIPTION LOT 6 BLK 6 CORCORAN'S GRAND VIEW SUB BEING PT OF NW 1/4 SEC 1 T 1 R 22 DDC#1022297

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

ASSESSED TOTAL
 S.F./LN. ASSESSMENT

PARCEL NUMBER LOT 175.000 \$693.75
 01-122-01-251-013-0
 PROPERTY ADDRESS 4" CONC R-R 125.00SF @ \$5.55 = \$693.75
 JOHN E BADTKE TRUST DATED AUGUST 2 ADDITIONAL 50.00AR @ \$.00 = \$.00
 6401 037 AV NUMBER OF SQUARES 5
 2 OF 7 SQ DUE TO PMT

MAIL TO ADDRESS LEGAL DESCRIPTION
 JOHN E BADTKE LOT 7 BLK 6 CONCORDAN S GRAND
 JOHN E BADTKE TRUST SUB PT NW 1/4 SEC 1 T 1 R 22
 KENOSHA, WI 53142 ALSO PT W 1/2 OF VAC ALLEY
 RES #6-62 V 598 P 252
 DOC#1422217
 DOC#1442637
 DOC#1704583
 DOC#1767447 CORRECTION
 DOC#1711486
 DOC#1723176

PARCEL NUMBER LOT 125.000 \$138.75
 01-122-01-255-007-0
 PROPERTY ADDRESS 4" CONC R-R 25.00SF @ \$5.55 = \$138.75
 MARGARET C EUCALANO ADDITIONAL 100.00AR @ \$.00 = \$.00
 6622 937 AV NUMBER OF SQUARES 1
 4 OF 5 SQ DUE TO PMT

MAIL TO ADDRESS LEGAL DESCRIPTION
 MARGARET C EUCALANO TH N 14 FT LOT 130 & S 28 FT
 6622 37TH AVE LOT 129 HIGHLAND VIEW SUB PT
 KENOSHA, WI 53142-7101 NW 1/4 SEC 1 T 1 R 22 ALSO E
 1/2 VAC ALLEY RES120-64 5/64
 V 561 P 200
 DOC#1419120
 DOC#1428580

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

ASSESSED TOTAL
 S.F./LN. ASSESSMENT

PARCEL NUMBER LOT 74.000 \$0.00
 01-122-01-302-040-0
 PROPERTY ADDRESS WELLS FARGO BANK NA
 6718 031 AV NUMBER OF SQUARES 3
 3 SQ DUE TO PMT

MAIL TO ADDRESS LEGAL DESCRIPTION
 WELLS FARGO BANK NA-HUD LOT 5 BLK 1 H L GOLDBERGS SUB
 DENVER HOME OWNERSHIP CENTER BEING PT OF SW 1/4 SEC 1 T1 R22
 DENVER, CO 80202 DOC#1080516
 DOC#1392148
 DOC#1723124

PARCEL NUMBER LOT 75.000 \$0.00
 01-122-01-305-010-0
 PROPERTY ADDRESS DOUGLAS M NELSON
 6917 031 AV NUMBER OF SQUARES 3
 3 SQ DUE TO PMT

MAIL TO ADDRESS LEGAL DESCRIPTION
 DOUGLAS M NELSON LOT 330 H C CROOK'S WESTERN
 6917 31ST AVE SUB BEING PT OF SW 1/4 SEC 1 T
 KENOSHA, WI 53142-3907 1 R 22
 V 1425 P 641

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
01-122-01-327-013-0	159.000		\$416.25
PROPERTY ADDRESS LATASHA JOHNSON 6708 935 AV		4" CONC R-R ADDITIONAL NUMBER OF SQUARES 3 OF 6 SQ DUE TO PWT	75.06SF @ \$5.55 = \$416.25 75.06AR @ \$.00 = \$.00

MAIL TO ADDRESS
LATASHA JOHNSON
6708 35TH AVE
KENOSHA, WI 53142

LEGAL DESCRIPTION
LOT 3 BULLMORE'S SUB OF LOTS
2 3 4 & 5 OF HIGHLAND VIEW &
LOTS 71 72 73 & 74 OF
PATEGAN'S RIDGELAND HEIGHTS
PT OF SW 1/4 SEC 1 T 1 R 22
NOT INCL ALLEY RES#151-94 CORP
COUNCIL OPINION 94-56
V 1851 P 898
DOC#1226573
DOC#1702189
DOC#1711250

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
01-122-01-328-007-0	149.000		\$.00
PROPERTY ADDRESS CLIFFORD R & DEBORAH L OLSON 6727 937 AV		ADDITIONAL NUMBER OF SQUARES 5 SQ AND 15SF CURBAGE WALK DUE TO PWT	149.00SF @ \$.00 = \$.00

MAIL TO ADDRESS
CLIFFORD R & DEBORAH L OLSON
6727 37TH AVE
KENOSHA, WI 53142-7104

LEGAL DESCRIPTION
S 40 FT OF LOT 120 HIGHLAND
VIEW SUB BEING PT OF SW 1/4
SEC 1 T1 R 22
V 1401 P 681
DOC#1515978

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
01-122-01-329-000-0	175.000		\$.00
PROPERTY ADDRESS ADRIA L SMITH 6728 937 AV		ADDITIONAL NUMBER OF SQUARES 7 SQ DUE TO PWT	175.00SF @ \$.00 = \$.00

MAIL TO ADDRESS
ADRIA L SMITH
6728 37TH AVE
KENOSHA, WI 53142

LEGAL DESCRIPTION
LOT 138 HIGHLAND VIEW SUB
BEING PT OF SW 1/4 SEC 1 T1
R22 ALSO 1/2 VAC ALLEY AS IN
V 1465 P 88 RES #179-91 1992
V 1524 P889
DOC#1042388
DOC#1226876
DOC#1488949
DOC#1615411

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
01-122-01-329-000-0	159.000		\$569.63
PROPERTY ADDRESS DANN M WRIGHT 6724 937 AV		4" CONC R-R 6" CONC R-R ADDITIONAL NUMBER OF SQUARES 4	62.50SF @ \$5.55 = \$346.88 37.50AR @ \$3.76 = \$213.75 30.00AR @ \$.00 = \$.00

MAIL TO ADDRESS
DANN M WRIGHT
6724 37TH AVE
KENOSHA, WI 53142-7103

LEGAL DESCRIPTION
LOT 137 HIGHLAND VIEW SUB
BEING PT OF SW 1/4 SEC 1 T1
R22 ALSO 1/2 VAC ALLEY AS IN
V1463 P88 RES #179-91 1992
DOC#1095212
DOC#1254994

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
61-122-01-329-010-0		75.000	\$420.00
PROPERTY ADDRESS NEIL J III & SUZANN S WOLF 6720 037 AV			
LEGAL DESCRIPTION LOT 136 HIGHLAND VIEW SUB BEING PT OF SW 1/4 SEC 1 T 1 R 22 ALSO 1/2 VAC ALLEY AS IN V 1463 P 88 RES # 179-91 1992 DDC#426950			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
61-122-01-329-011-0		259.000	\$1,387.50
PROPERTY ADDRESS DAVID A & LORRAINE L LUMLEY 6716 037 AV			
LEGAL DESCRIPTION LOT 135 HIGHLAND VIEW SUB PT OF SW 1/4 SEC 1 T1 R22 ALSO 1/2 VAC ALLEY AS IN V1463 P88 RES #179-91 1992 DDC#8976704 DDC#4371481 DDC#1362994 DDC#1692879 DDC#1619188			

MAIL TO ADDRESS
 DAVID A & LORRAINE L LUMLEY
 12123 28TH AVE
 PLEASANT PRairie, WI 53158

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
61-122-01-329-012-0		175.000	\$970.75
PROPERTY ADDRESS SALLY A BELAND 6710 037 AV			
LEGAL DESCRIPTION LOT 134 HIGHLAND VIEW SUB PT OF SW 1/4 SEC 1 T1 R22 ALSO E 6 FT VACATED ALLEY RES#102-98 DDC#1185277 DDC#1185277 DDC #1445858			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
61-122-01-331-013-0		199.000	\$550.75
PROPERTY ADDRESS PRINCIPLE DEVELOPMENT 6804 038 AV			
LEGAL DESCRIPTION LOT 226 HIGHLAND VIEW SUB BEING PT OF SW 1/4 SEC 1 T 1 R 22			

MAIL TO ADDRESS
 PRINCIPLE DEVELOPMENT PTNRS
 6803 39TH AVE
 KENOSHA, WI 53142-7127

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK RUN DATE: 04/14/14
FOR PROJECT: 14-128

PARCEL NUMBER 01-122-01-332-009-0 LOT 109.000 ASSESSED S.F./LN. 109.000 TOTAL ASSESSMENT \$555.00
PROPERTY ADDRESS THE SEIBERLICH FAMILY ASSET TRUST 4" CONC R-R 100.00SF @ \$.55 = \$555.00
6824 937 AV NUMBER OF SQUARES 4

MAIL TO ADDRESS SEIBERLICH FAMILY ASSET TRUST LEGAL DESCRIPTION S 40 FT OF LOT 144 HIGHLAND VTEH SUB BEING PT OF SW 1/4 KENOSHA, WI 53142-7105 SEC 1 T 1 R 22 DDC#1449654 DDC#1450173 DDC#1452256 DDC#1649376 DDC#1649371

PARCEL NUMBER 01-122-01-337-008-0 LOT 200.000 ASSESSED S.F./LN. 200.000 TOTAL ASSESSMENT \$1,117.50
PROPERTY ADDRESS JOHN M SPRAY 4" CONC R-R 150.00SF @ \$.55 = \$832.50
3862 079 ST JOHN M SPRAY 6" CONC R-R 50.00SF @ \$.70 = \$285.00
NUMBER OF SQUARES 8

MAIL TO ADDRESS JOHN M SPRAY LEGAL DESCRIPTION LOT 24 BULLANORE'S SUB OF LOTS 2 3 4 & 5 OF HIGHLAND VTEH SUB & LOTS 71 72 73 & 74 OF RATERGAN'S RIDGELAND HEIGHTS SUB PT SW 1/4 SEC 1 T 1 R 22 V 1635 P 450 DDC#1131793 DDC#1276777 DDC#1685346 DDC#1611499

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK RUN DATE: 04/14/14
FOR PROJECT: 14-128

PARCEL NUMBER 01-122-01-362-005-0 LOT 200.000 ASSESSED S.F./LN. 200.000 TOTAL ASSESSMENT \$416.25
PROPERTY ADDRESS GARY ROZINSKI 4" CONC R-R 75.00SF @ \$.55 = \$416.25
7403 938 AV GARY ROZINSKI 125.00SF @ \$.60 = \$75.00
5 OF 8 SQ DUE TO PWT NUMBER OF SQUARES 3

MAIL TO ADDRESS GARY ROZINSKI LEGAL DESCRIPTION W 39 FT OF THE N 30 FT OF LOT 12& ALL OF LOT 9 H C CROOK'S WESTERN SUB BEING PT OF SW 1/4 SEC 1 T 1 R 22

PARCEL NUMBER 01-122-01-370-012-0 LOT 100.000 ASSESSED S.F./LN. 100.000 TOTAL ASSESSMENT \$.00
PROPERTY ADDRESS ISMAEL & SARAH AGUILAR ADDITIONAL 100.00SF @ \$.00 = \$.00
7208 034 AV ISMAEL & SARAH AGUILAR 4 SQ DUE TO PWT NUMBER OF SQUARES 4

MAIL TO ADDRESS ISMAEL & SARAH AGUILAR LEGAL DESCRIPTION LOT 127 H C CROOK'S WESTERN SUB PT SW 1/4 SEC 1 T 1 R 22 V 1574 P 9 DDC #972791 DDC#1224951 DDC#1361953

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK RUN DATE: 04/14/14
FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
01-122-01-984-093-0	25.989		\$138.75
PROPERTY ADDRESS BEVERLY I RIESCHL 7489 094 AV			
LEGAL DESCRIPTION 11243-1 LOT 153 & N 1/2 OF LOT 154 H C CROOK'S WESTERN SUB BEING PT OF SW 1/4 SEC 1 T 1 R 22			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
01-122-01-401-019-0	200.000		\$832.50
PROPERTY ADDRESS RICHARD GRAY, JANYCE GRAY 6732 022 AV			
LEGAL DESCRIPTION 4" CONC R-R 150.00SF @ \$.55 = \$832.50 ADDITIONAL 50.00AR @ \$.00 = \$.00 NUMBER OF SQUARES 6 2 OF 8 SQ DUE TO PMT			

MAIL TO ADDRESS
RICHARD GRAY
2423 25TH ST
KENOSHA, WI 53143-1405

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK RUN DATE: 04/14/14
FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
01-122-01-492-096-0	175.099		\$277.59
PROPERTY ADDRESS LETTITA NYE 6795 024 AV			
LEGAL DESCRIPTION W 42 FT OF LOT 14 & W 42 FT OF N 18 FT OF LOT 13 BLK 4 H C CROOK'S SUB BEING PT OF SE 1/4 SEC 1 T 1 R 22			

MAIL TO ADDRESS
LETTITA NYE
2325 67TH ST
KENOSHA, WI 53143

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
01-122-01-402-012-0	243.089		\$1.00
PROPERTY ADDRESS MIGUEL A ORTIZ 6731 924 AV			
LEGAL DESCRIPTION LOT 8 BLK 4 H C CROOK'S SUB PT OF SE 1/4 SEC 1 T 1 R 22			

MAIL TO ADDRESS
MIGUEL A ORTIZ
6731 24TH AVE
KENOSHA, WI 53143-4714

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK RUN DATE: 04/14/14
FOR PROJECT: 14-128

ASSESSED TOTAL ASSESSMENT
S. F. /LN.

PARCEL NUMBER 01-122-01-404-002-0 LOT
PROPERTY ADDRESS WILLIAM J & KIM CAMERON 6703 025 AV
NUMBER OF SQUARES CURB AND RAMP WORK DONE AT CITY COST

MAIL TO ADDRESS WILLIAM J & KIM CAMERON 24301 67TH ST SALEM, WI 53168
LEGAL DESCRIPTION LOT 1 BLK 1 JULIUS SMITH'S SUB PT OF SE 1/4 SEC 1 T 1 R 22 (ADD'L ADDRESS 6705) V 1429 P 680 DDC#1399381

PARCEL NUMBER 01-122-01-404-001-0 LOT 125.000 \$421.88
PROPERTY ADDRESS DAVID A JURGENS & MARY J JURGENS 2525 067 ST
4" CONC R-R 37.50SF @ \$5.55 = \$208.13
6" CONC R-R 37.50SF @ \$5.70 = \$213.75
ADDITIONAL 50.00AR @ \$.00 = \$.00
NUMBER OF SQUARES 3

MAIL TO ADDRESS DAVID A & MARY J JURGENS 2525 67TH ST KENOSHA, WI 53143
LEGAL DESCRIPTION THE N 48 FT OF LOT 1 CROOK & ROHNOW'S SUB PT SE 1/4 SEC 1 T 1 R 22 DDC#1189416

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK RUN DATE: 04/14/14
FOR PROJECT: 14-128

ASSESSED TOTAL ASSESSMENT
S. F. /LN.

PARCEL NUMBER 01-122-01-404-017-0 LOT 200.000 \$693.75
PROPERTY ADDRESS STEVEN M & ASHLEY F BOHN 2510 069 ST
4" CONC R-R 125.00SF @ \$5.55 = \$693.75
ADDITIONAL 75.00SF @ \$.00 = \$.00
NUMBER OF SQUARES 5
3 OF 8 SQ DUE TO PWT

MAIL TO ADDRESS STEVEN M & ASHLEY F BOHN 2510 69TH ST KENOSHA, WI 53143
LEGAL DESCRIPTION W 1/4 44 FT OF LOTS 16 & 17 BLK 2 JULIUS SMITH'S SUB PT OF SE 1/4 SEC 1 T 1 R 22 DDC#1456331 DDC#1673374 DDC#1679756 DDC#1716362

PARCEL NUMBER 01-122-01-404-032-0 LOT
PROPERTY ADDRESS JASON JOHNSTON 6702 025 AV
NUMBER OF SQUARES CURB AND RAMP WORK DONE AT CITY COST

MAIL TO ADDRESS JASON JOHNSTON 6702 25TH AVE KENOSHA, WI 53143
LEGAL DESCRIPTION LOT 30 BLK 2 JULIUS SMITH'S SUB BEING PT OF SE 1/4 SEC 1 T1 R22 V 1461 P 762 DDC#1366646 DDC#1425559

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
01-122-01-495-095-0	159.099		\$416.25
PROPERTY ADDRESS ANTHONY G GARZA 6915 926 AV			
LEGAL DESCRIPTION LOT 4 ANDERSON'S PARK SUB BEING PT OF SE 1/4 SEC 1 T1 R22 V1795 P679			
MAIL TO ADDRESS ANTHONY G GARZA 8694 2ND AVE PLEASANT PRVLRIE, WI 53158			

01-122-01-495-096-0	159.099		\$555.00
PROPERTY ADDRESS WILLIAM J & JOY MANKEL 6919 926 AV			
LEGAL DESCRIPTION LOT 5 ANDERSON'S PARK SUB PT OF SE 1/4 SEC 1 T1 R22 DOC#1094382 DOC#1068853 DOC#1287572 DOC#1526322			
MAIL TO ADDRESS WILLIAM J & JOY MANKEL 6919 26TH AVE KENOSHA, WI 53143			

01-122-01-496-014-0	75.099		\$.00
PROPERTY ADDRESS SUE A PETERSON 6914 922 AV			
LEGAL DESCRIPTION PT OF SE 1/4 SEC 1 T 1 R 22 COM ON W LINE OF 22ND AVE 143.5 FT S OF 69TH ST TH S 48 FT W 159 FT N 48 FT E 159 FT TO BEG			
MAIL TO ADDRESS SUE A PETERSON PO BOX 142 MT HOREB, WI 53572			

01-122-01-496-015-0	125.099		\$.00
PROPERTY ADDRESS JAMIAN M & KENDRA K KNUTH 6919 922 AV			
LEGAL DESCRIPTION PT OF SE 1/4 SEC 1 T 1 R 22 COM ON W LINE OF 22ND AVE 95.5 FT S OF 69TH ST TH S 48 FT W 150 FT N 48 FT E 150 FT TO BEG DOC #95311 DOC#1138892 DOC#1649489			
MAIL TO ADDRESS JAMIAN M & KENDRA K KNUTH 6919 22ND AVE KENOSHA, WI 53143-5301			

01-122-01-496-015-0	125.099		\$.00
PROPERTY ADDRESS JAMIAN M & KENDRA K KNUTH 6919 922 AV			
LEGAL DESCRIPTION PT OF SE 1/4 SEC 1 T 1 R 22 COM ON W LINE OF 22ND AVE 95.5 FT S OF 69TH ST TH S 48 FT W 150 FT N 48 FT E 150 FT TO BEG DOC #95311 DOC#1138892 DOC#1649489			
MAIL TO ADDRESS JAMIAN M & KENDRA K KNUTH 6919 22ND AVE KENOSHA, WI 53143-5301			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
01-122-01-496-014-0	75.099		\$.00
PROPERTY ADDRESS SUE A PETERSON 6914 922 AV			
LEGAL DESCRIPTION PT OF SE 1/4 SEC 1 T 1 R 22 COM ON W LINE OF 22ND AVE 143.5 FT S OF 69TH ST TH S 48 FT W 159 FT N 48 FT E 159 FT TO BEG			
MAIL TO ADDRESS SUE A PETERSON PO BOX 142 MT HOREB, WI 53572			

01-122-01-496-015-0	125.099		\$.00
PROPERTY ADDRESS JAMIAN M & KENDRA K KNUTH 6919 922 AV			
LEGAL DESCRIPTION PT OF SE 1/4 SEC 1 T 1 R 22 COM ON W LINE OF 22ND AVE 95.5 FT S OF 69TH ST TH S 48 FT W 150 FT N 48 FT E 150 FT TO BEG DOC #95311 DOC#1138892 DOC#1649489			
MAIL TO ADDRESS JAMIAN M & KENDRA K KNUTH 6919 22ND AVE KENOSHA, WI 53143-5301			

01-122-01-496-015-0	125.099		\$.00
PROPERTY ADDRESS JAMIAN M & KENDRA K KNUTH 6919 922 AV			
LEGAL DESCRIPTION PT OF SE 1/4 SEC 1 T 1 R 22 COM ON W LINE OF 22ND AVE 95.5 FT S OF 69TH ST TH S 48 FT W 150 FT N 48 FT E 150 FT TO BEG DOC #95311 DOC#1138892 DOC#1649489			
MAIL TO ADDRESS JAMIAN M & KENDRA K KNUTH 6919 22ND AVE KENOSHA, WI 53143-5301			

PARCEL NUMBER 01-122-01-432-016-9 LOT 58.0000
 ASSESSED S.F./LN. TOTAL ASSESSMENT
 PROPERTY ADDRESS BRYAN D & KIMBERLY A SCHNEIDER
 ADDITIONAL NUMBER OF SQUARES 59.00SF @ \$.00 = \$0.00
 6700 029 AV 2 SQ DUE TO PWT

MAIL TO ADDRESS
 BRYAN D & KIMBERLY A SCHNEIDER
 6700 29TH AVE
 KENOSHA, WI 53143-4651
 LEGAL DESCRIPTION
 LOT 7 BLK 5 PUGH'S SUB PT
 OF SE 1/4 SEC 1 T 1 R 22
 ALSO VAC ALLEY RES #S1-95
 (1906 LOT LINE ADJ)
 DOC #986444
 DOC#1494340
 DOC#1086939
 DOC#1087000

PARCEL NUMBER 01-122-01-432-014-0 LOT 225.0000
 ASSESSED S.F./LN. TOTAL ASSESSMENT
 PROPERTY ADDRESS BCD PROPERTIES LLC
 ADDITIONAL NUMBER OF SQUARES 4" CONC R-R 225.00SF @ \$.55 = \$1248.75
 6915 030 AV NUMBER OF SQUARES 9

MAIL TO ADDRESS
 BCD PROPERTIES LLC
 C/O DANNY GOSHENET
 PLEASANT PRAIRIE, WI 53158
 LEGAL DESCRIPTION
 COM ON E LN OF 30TH AVE 100 FT
 S OF SW COR LOT 10 J H BELAND'S
 SUB TH S 200 FT E 143.11 FT N
 200 FT W 144.86 FT TO POB EXC
 W 8 FT FOR 30TH AVE ROW BEING
 PT OF SE 1/4 SEC 1 T1 R 22 1980
 V 1063 P 715
 DOC#1254542
 DOC #4399556
 DOC #4399558
 DOC #4551350
 DOC #6150880
 DOC #6150883
 DOC #1649757

PARCEL NUMBER 01-122-01-432-017-0 LOT 225.0000
 ASSESSED S.F./LN. TOTAL ASSESSMENT
 PROPERTY ADDRESS 4J INTERNATIONAL INC
 ADDITIONAL NUMBER OF SQUARES 4" CONC R-R 125.00SF @ \$.55 = \$693.75
 7001 030 AV 6" CONC R-R 25.00SF @ \$.70 = \$172.50
 75.00SF @ \$.00 = \$0.00

MAIL TO ADDRESS
 4J INTERNATIONAL INC
 C/O RONALD REHBERG
 KENOSHA, WI 53142-3903
 LEGAL DESCRIPTION
 PT OF SE 1/4 SEC 1 T 1 R 22 INCL
 PT LOT 11 J H BELANDS WESTERN SUB
 & INCL LOTS 5, 6 & 7 HAIN'S SUB
 BEG AT NW COR LOT 14 FIRST ADD
 TO WILBUR PARK TH W ALG N LN LOTS
 1 2 3 & 4 HAIN'S SUB 172.71 FT TO
 NW COR LOT 4 & NE COR LOT 5 TH S
 125 FT TO W LN 72ND ST TH W 123.55
 FT TO E LN 30TH AVE TH N 482.30 FT
 TH E 135.07 FT TH N 202.37 FT H W
 136.86 FT TO W LN 30 TH AVE TH N
 96.59 FT TO S LN LOT 10 J H BELAND
 WESTERN SUB TH S 84 DEG 5 MIN 30
 SEC E 150.82 FT TO W LN LOT 11 TH
 N 3.30 FT TH E 137.50 FT TO E LN
 LOT 11 TH S ALG W LN 29TH AVE 81.6
 FT TO S LN 69TH ST TH E 160 FT TH
 S 300 FT TH S 16 DEG 44 MIN 30 SEC
 N 271.04 FT TO N LN LOT 14 TH N
 71.44 FT TO NE COR LOT 1 HAIN'S SUB
 & POB
 (2895 FT 01-122-01-432-015)
 DOC#1399494
 DOC#1400730
 DOC#1400738
 DOC#1681672

PARCEL NUMBER 01-122-01-435-017-0 LOT 125.000 ASSESSED \$693.75 TOTAL ASSESSMENT \$693.75
 PROPERTY ADDRESS 4" CONC R-R 125.00SF @ \$5.55 = \$693.75
 PAJO & BRAVKA DJUKIC NUMBER OF SQUARES 5
 7066 826 AV

MAIL TO ADDRESS LEGAL DESCRIPTION
 RAJKO & BRAVKA DJUKIC LOT 8 EXCEPT THE S 2 FT BLK 1 THE
 4922 65TH ST PARK CITY LAND & IMPROVEMENT CO'S
 KENOSHA, WI 53142 SUB PT SE 1/4 SEC 1 T 1 R 22
 DOC#1440648 NOTE
 DOC#1633242

PARCEL NUMBER 01-122-01-451-002-0 LOT 150.000 ASSESSED \$840.00 TOTAL ASSESSMENT \$840.00
 PROPERTY ADDRESS 4" CONC R-R 100.00SF @ \$5.55 = \$555.00
 VIK-DAN LLC 6" CONC R-R 50.00SF @ \$5.70 = \$285.00
 7107 927 AV NUMBER OF SQUARES 6
 CURR WORK DONE AT CITY COST

MAIL TO ADDRESS LEGAL DESCRIPTION
 VIK-DAN LLC N 36 FT OF LOT 17 BLK 1 MILBUR
 10800 36TH CT PARK SUB PT SE 1/4 SEC 1 T1 R22
 PLEASANT PRAIRIE, WI 53158 V 1209 P910
 DOC#1331110
 DOC#1666570
 DOC#1695867
 DOC#1694258
 DOC#1717994

PARCEL NUMBER 01-122-01-452-003-0 LOT 200.000 ASSESSED \$701.25 TOTAL ASSESSMENT \$701.25
 PROPERTY ADDRESS 4" CONC R-R 75.00SF @ \$5.55 = \$416.25
 DONALD J & MEGAN M STANCATO 6" CONC R-R 50.00SF @ \$5.70 = \$285.00
 2723 671 ST ADDITIONAL 75.00AR @ \$1.00 = \$75.00
 NUMBER OF SQUARES 5

MAIL TO ADDRESS LEGAL DESCRIPTION
 DONALD J & MEGAN M STANCATO 10914 COM AT A PT ON S LN OF
 2723 71ST ST LOT 16 46 FT W OF SE COR OF
 KENOSHA, WI 53143 LOT 16 TH W 45.9 FT N'LY 47 FT
 E'LY 45.9 FT S'LY 47 FT TO BEG
 & ALSO W 45 FT OF E 90 FT OF
 LOTS 17 & 18 B 2 MILBUR PARK
 SUB PT OF SE 1/4 SEC 1 T1 R22
 DOC#1694984 & 5
 DOC#1650937

PARCEL NUMBER 01-122-01-458-015-0 LOT 75.000 ASSESSED \$142.50 TOTAL ASSESSMENT \$142.50
 PROPERTY ADDRESS 6" CONC R-R 25.00SF @ \$5.70 = \$142.50
 KEVIN DARLING ADDITIONAL 50.00SF @ \$1.00 = \$50.00
 7417 028 AV NUMBER OF SQUARES 1
 1 OF 3 SQ DUE TO PWT

MAIL TO ADDRESS LEGAL DESCRIPTION
 KEVIN DARLING LOT 16 HUXHOLD'S SUB PT
 7417 28TH AVE OF SE 1/4 SEC 1 T 1 R22
 KENOSHA, WI 53143-5285 V 1357 P 140
 DOC#1379805
 DOC#1415017

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
61-122-61-458-616-0	125.000		\$697.50
PROPERTY ADDRESS: 4" CONC R-R 199.00SF @ \$5.55 = \$555.00			
LOUISE J GRECO (LIFE EST) GRECO FA 6" CONC R-R 25.00SF @ \$5.70 = \$142.50			
7421 28TH AV NUMBER OF SQUARES 5			
MAIL TO ADDRESS: LEGAL DESCRIPTION			
LOUISE J GRECO LOT 15 HUDHOLD'S SUB BEING PT			
7421 28TH AV OF SE 1/4 SEC 1 T 1 R 22			
KENSUSA, WI 53143-5285 DOC#1414397			
DOC#1414398			

PARCEL NUMBER	LOT	ADDITIONAL NUMBER OF SQUARES	75.00SF @ \$.00 = \$.00
61-122-61-476-096-0	75.000		
PROPERTY ADDRESS: NUMBER OF SQUARES			
KENNETH J KIRBY 3 SQ DUE TO PMT			
7121 023 AV			
MAIL TO ADDRESS: LEGAL DESCRIPTION			
KENNETH J KIRBY LOT 13 2ND ADD TO WILBUR PARK			
7121 23RD AVE SUB PT SE 1/4 SEC 1 T 1 R 22			
KENSUSA, WI 53143 DOC#1979190			
DOC#1979190			
DOC#1532859			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
61-122-61-489-099-0	300.000		\$566.25
PROPERTY ADDRESS: 4" CONC R-R 25.00SF @ \$5.55 = \$138.75			
MATTHEW DIEHL 6" CONC R-R 75.00SF @ \$5.70 = \$427.50			
7323 025 AV ADDITIONAL 200.00AR @ \$.00 = \$.00			
NUMBER OF SQUARES 4			
MAIL TO ADDRESS: LEGAL DESCRIPTION			
MATTHEW DIEHL LOT 9 KNUDSEN'S SUB BEING PT			
7323 25TH AVE OF SE 1/4 SEC 1 T 1 R 22			
KENSUSA, WI 53143 DOC#1675728			
DOC#1193618			
DOC#1469414			
DOC#1602020			
DOC#1696417			
DOC#1615152			

PARCEL NUMBER	LOT	ADDITIONAL NUMBER OF SQUARES	59.00SF @ \$.00 = \$.00
61-122-61-481-096-0	59.000		
PROPERTY ADDRESS: NUMBER OF SQUARES			
MICHAEL G & SUZAN E LECHNER 2 SQ DUE TO PMT			
7321 024 AV			
MAIL TO ADDRESS: LEGAL DESCRIPTION			
MICHAEL G & SUZAN E LECHNER PT OF F TRANK'S SUB SE 1/4 SEC 1			
7321 24TH AVE T 1 R 22 CON ON E LN 24TH AVE 198			
FT S OF S LN 73RD ST TH E 121.92 F			
S 40 FT W 121.92 FT N 40 FT TO POB			
V1430 P. 875			
DOC#1616539			
DOC#1549295			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEMALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

ASSESSED S.F./LN.	TOTAL ASSESSMENT
PARCEL NUMBER 62-122-02-164-002-0	LOT 137.500
PROPERTY ADDRESS	4" CONC R-R 62.50SF @ \$.55 = \$346.88
ROBERT & ROBIN JASEWICZ	ADDITIONAL 75.00AR @ \$.00 = \$.00
6911 642 AV	NUMBER OF SQUARES 2.5
	3 OF 5.5 SQ DUE TO PMT

MAIL TO ADDRESS
 ROBERT & ROBIN JASEWICZ
 6911 42ND AVE
 KENOSHA, WI 53142

LEGAL DESCRIPTION
 PARCEL 1 CSH #2399 DOC#1364473
 PT NE 1/4 SEC 2 T1 R22 .23 AC
 (2004 PT 02-122-02-104-001)
 DOC#1367944
 DOC#1425608

PARCEL NUMBER 62-122-02-105-002-0
 LOT 125.000 || PROPERTY ADDRESS | ADDITIONAL 125.00SF @ \$.00 = \$.00 |
| DAVID L GONMERLING | NUMBER OF SQUARES |
| 4219 960 ST | 5 SQ DUE TO PMT |

MAIL TO ADDRESS
 DAVID L GONMERLING
 4219 90TH ST
 KENOSHA, WI 53144-2574

LEGAL DESCRIPTION
 14621-1-2A LOT 1 & N 56.48 FT
 OF LOT 2 FOREST PARK EXTENSION
 PT OF NE 1/4 SEC 2 T 1 R 22
 V 1364 P 46
 DOC#1185736

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEMALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

ASSESSED S.F./LN.	TOTAL ASSESSMENT
PARCEL NUMBER 62-122-02-126-018-0	LOT 575.000
PROPERTY ADDRESS	4" CONC R-R 250.00SF @ \$.55 = \$1387.50
JASON ZICCARELLI	ADDITIONAL 325.00AR @ \$.00 = \$.00
4307 060 ST	NUMBER OF SQUARES 10
	13 OF 23 SQ DUE TO PMT

MAIL TO ADDRESS
 JASON ZICCARELLI
 4307 69TH ST
 KENOSHA, WI 53144-2576

LEGAL DESCRIPTION
 NE 1/4 SEC 2 T 1 R 22 CON 05
 FT E OF SE COR 69TH ST & 44TH
 AVE TH E 135 FT S 120 FT W 110
 FT S 4.52FT W 25 FT N 124.52
 FT TO BE6
 V 561 P 256
 DOC#1547557

PARCEL NUMBER 62-122-02-129-010-0
 LOT 75.000 || PROPERTY ADDRESS | ADDITIONAL 75.00SF @ \$.00 = \$.00 |
| IILA JEAN GILBERT | NUMBER OF SQUARES |
| 6041 947 AV | 3 SQ DUE TO PMT |

MAIL TO ADDRESS
 IILA JEAN GILBERT
 6041 47TH AVE
 KENOSHA, WI 53142-1319

LEGAL DESCRIPTION
 14026-1 LOT 307 & S 20 FT LOT
 308 FOREST PARK SUB PT NE 1/4
 SEC 2 T 1 R 22
 DOC#1189251

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
02-122-02-177-061-0		87.569	
ADDITIONAL 87.569SF @ \$.60 = \$ 52.54			
NUMBER OF SQUARES			
PROPERTY ADDRESS VIRGINIA L MARTINEZ & JOSE MARTINE 3.5 SQ DUE TO PMT			
MAIL TO ADDRESS VIRGINIA L & JOSE MARTINEZ 4983 TAFT RD KENOSHA, WI 53142-7048			
LEGAL DESCRIPTION LOT 753 FOREST PARK SUB BEING PT OF N 1/2 SEC 2 T 1 R 22 DOC#1163103 DOC#1525814			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
02-122-02-177-027-0		87.569	
ADDITIONAL 87.569SF @ \$.60 = \$ 52.54			
NUMBER OF SQUARES			
PROPERTY ADDRESS LEROY E & MARY K BISHOP 6392 049 AV			
MAIL TO ADDRESS LEROY E & MARY K BISHOP 6392 49TH AVE KENOSHA, WI 53142-7920			
LEGAL DESCRIPTION PT OF LOT 756 FOREST PARK SUB BEING PT OF N 1/2 SEC 2 T 1 R 22 COM AT SE COR LOT 756 W PAR TO S LN LOT 757 TO N LN LOT 756 TH NE'LY ALONG N LN TO NE COR SD LOT 756 TH S'LY TO SE COR SD LOT & PT OF BEG 1982 DOC#4221476 DOC#1398459			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
02-122-02-294-015-0		209.099	
ADDITIONAL 209.099SF @ \$5.55 = \$1,166.25			
NUMBER OF SQUARES			
PROPERTY ADDRESS NATALIE PIGNATELLI 6934 959 AV			
MAIL TO ADDRESS NATALIE PIGNATELLI 6934 59TH AVE KENOSHA, WI 53142			
LEGAL DESCRIPTION LOT 53 FOREST PARK SUB BEING PT OF N 1/2 SEC 2 T 1 R 22 V 1459 P 389 DOC#1665645 DOC#1675688			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
02-122-02-294-018-0		125.099	
ADDITIONAL 125.099SF @ \$5.55 = \$693.75			
NUMBER OF SQUARES			
PROPERTY ADDRESS DOROTHY MANNA 6918 959 AV			
MAIL TO ADDRESS DOROTHY MANNA 6918 59TH AVE KENOSHA, WI 53142-1328			
LEGAL DESCRIPTION LOT 50 FOREST PARK SUB BEING PT OF N 1/2 SEC 2 T 1 R 22			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER 02-122-02-204-019-0 LOT 112.5000 ASSESSED TOTAL \$489.38
 S.F./LN. ASSESSMENT
 PROPERTY ADDRESS 4" CONC R-R 62.50SF @ \$5.55 = \$346.88
 RICHARD D GRANGER 6" CONC R-R 25.00SF @ \$5.70 = \$142.50
 6014 050 AV ADDITIONAL 25.00AR @ \$.00 =
 NUMBER OF SQUARES 3.15 \$.00
 LEGAL DESCRIPTION
 MAIL TO ADDRESS LOT 49 FOREST PARK SUB BEING
 RICHARD D GRANGER PT OF N 1/2 SEC 2 T 1 R 22
 6014 50TH AVE DOC#1021910
 KENOSHA, WI 53142

PARCEL NUMBER 02-122-02-205-012-0 LOT 150.0000 ASSESSED TOTAL \$693.75
 S.F./LN. ASSESSMENT
 PROPERTY ADDRESS 4" CONC R-R 125.00SF @ \$5.55 = \$693.75
 MARK R SOB CZAK ADDITIONAL 25.00SF @ \$.00 = \$.00
 6219 051 AV NUMBER OF SQUARES 5
 1 OF 0 SQ DUE TO PWT
 LEGAL DESCRIPTION
 MAIL TO ADDRESS LOT 25 FOREST PARK SUB BEING
 MARK R SOB CZAK PT OF N 1/2 OF SEC 2 T 1 R 22
 6219 51ST AVE DOC #99189411
 KENOSHA, WI 53142-3095 DOC#1139184

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER 02-122-02-230-017-0 LOT 350.0000 ASSESSED TOTAL \$502.50
 S.F./LN. ASSESSMENT
 PROPERTY ADDRESS 4" CONC R-R 59.00SF @ \$5.55 = \$277.50
 JACK D & SHARON MASSOGLIA 6" CONC R-R 50.00SF @ \$5.70 = \$285.00
 5300 003 ST CURB WORK DONE AT CITY COST ADDITIONAL 250.00AR @ \$.00 =
 NUMBER OF SQUARES 4 \$.00
 LEGAL DESCRIPTION
 MAIL TO ADDRESS LOT 52 ROGER SCHULTZ SUB
 JACK D & SHARON MASSOGLIA PT NW 1/4 SEC 2 T 1 R 22
 5300 60RD ST DOC#1615179 TOD

PARCEL NUMBER 02-122-02-230-025-0 LOT 225.0000 ASSESSED TOTAL \$285.00
 S.F./LN. ASSESSMENT
 PROPERTY ADDRESS 6" CONC R-R 59.00SF @ \$5.70 = \$285.00
 LEROY R & DARLENE WEBB ADDITIONAL 175.00SF @ \$.00 = \$.00
 5114 003 ST NUMBER OF SQUARES 2
 7 OF 9 SQ DUE TO PWT
 LEGAL DESCRIPTION
 MAIL TO ADDRESS LOT 09 ROGER SCHULTZ SUB
 LEROY R & DARLENE WEBB PT NW 1/4 SEC 2 T 1 R 22
 5114 60RD ST DOC#1400941

PARCEL NUMBER 02-122-02-230-026-0 LOT 350.0000 ASSESSED TOTAL \$502.50
 S.F./LN. ASSESSMENT
 PROPERTY ADDRESS 4" CONC R-R 59.00SF @ \$5.55 = \$277.50
 GARY & CHERYL HENTHORN 6" CONC R-R 50.00SF @ \$5.70 = \$285.00
 6220 051 AV ADDITIONAL 250.00AR @ \$.00 =
 NUMBER OF SQUARES 4 \$.00
 LEGAL DESCRIPTION
 MAIL TO ADDRESS LOT 31 ROGER SCHULTZ SUB
 GARY & CHERYL HENTHORN PT NW 1/4 SEC 2 T 1 R 22
 6220 51ST AVE DOC#1624328
 KENOSHA, WI 53142-3006

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK RUN DATE: 04/14/14
 FOR PROJECT: 14-128

ASSESSED S.F./LN.	TOTAL ASSESSMENT
212.589	
ADDITIONAL NUMBER OF SQUARES	
212.589SF @ \$.00 =	\$.00
8.5 SQ DUE TO PWT	

PARCEL NUMBER 62-122-02-231-026-0 LOT
 PROPERTY ADDRESS GLORIA A THOMAS (TOD)
 5106 62ND ST
 KENOSHA, WI 53142-3843

MAIL TO ADDRESS
 LOT 1 ROGER SCHULTZ SUB
 PT NW 1/4 SEC 2 T1 R 22
 DOC#1564197
 DOC#1621853
 DOC#1653463 TOD

LEGAL DESCRIPTION
 LOT 1 ROGER SCHULTZ SUB
 PT NW 1/4 SEC 2 T1 R 22

PARCEL NUMBER 62-122-02-231-027-0 LOT
 PROPERTY ADDRESS ALFRED JOSEPH WELCH
 6118 851 AV

MAIL TO ADDRESS
 ALFRED JOSEPH WELCH
 2248 S 33RD ST
 MILWAUKEE, WI 53215-2414

NUMBER OF SQUARES
 CURB WORK DONE AT CITY COST

LEGAL DESCRIPTION
 NW 1/4 SEC 2 T 1 R 22 ROGER SCHULTZ SUB LOT 2

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK RUN DATE: 04/14/14
 FOR PROJECT: 14-128

ASSESSED S.F./LN.	TOTAL ASSESSMENT
225.089	
ADDITIONAL NUMBER OF SQUARES	
225.089AR @ \$.00 =	\$.00
9 SQ DUE TO PWT	

PARCEL NUMBER 62-122-02-231-030-0 LOT
 PROPERTY ADDRESS LORIS LEGLER (LIFE EST) KEVIN J LE 9
 5105 61ST ST
 KENOSHA, WI 53142-3937

MAIL TO ADDRESS
 LORIS LEGLER
 5105 61ST ST
 KENOSHA, WI 53142-3937

LEGAL DESCRIPTION
 LOT 5 ROGER SCHULTZ SUB
 PT NW 1/4 SEC 2 T1 R 22
 DOC#1297589
 DOC#1654294
 DOC#1654325

PARCEL NUMBER 62-122-02-256-013-0 LOT
 PROPERTY ADDRESS JOAN E SAUVE TRUSTEE OF JOAN E SAU
 5214 067 ST

MAIL TO ADDRESS
 JOAN E SAUVE
 TRUSTEE OF REVOCABLE TRUST
 FT MYERS, FL 33966

NUMBER OF SQUARES 9

LEGAL DESCRIPTION
 NW 1/4 SEC 2 T 1 R 22 FOREST VIEW SUB LOT 3
 V 1638 P 216 DEED IN ERROR

4" CONC R-R 159.085F @ \$5.55 = \$832.59
 6" CONC R-R 75.985F @ \$5.70 = \$427.59

PARCEL NUMBER 02-122-02-259-033-0 LOT 199.000
 ASSESSED S.F./LN. 199.000
 TOTAL ASSESSMENT \$555.00
 4" CONC R-R 199.00SF @ \$.55 = \$555.00
 NUMBER OF SQUARES 4

MAIL TO ADDRESS
 PAMELA J LEONARD
 5206 65TH PL
 KENOSHA, WI 53142-3961

LEGAL DESCRIPTION
 LOT 4 GREEN MEADOW SUB PT LOT
 34 HIGH VIEW COUNTRY HOME SUB
 PT SW 1/4 OF NW 1/4 SEC 2 T 1
 R 22 V 1440 P 837 1992
 (PT 02-122-02-259-028)
 DOC #986761
 DOC#1274669

PARCEL NUMBER 02-122-02-259-034-0 LOT 199.000
 ASSESSED S.F./LN. 199.000
 TOTAL ASSESSMENT \$555.00
 4" CONC R-R 199.00SF @ \$.55 = \$555.00
 NUMBER OF SQUARES 4

MAIL TO ADDRESS
 PAMELA J LEONARD
 5206 65TH PL
 KENOSHA, WI 53142-3961

LEGAL DESCRIPTION
 LOT 5 GREEN MEADOW SUB PT LOT
 34 HIGH VIEW COUNTRY HOME SUB
 PT SW 1/4 OF NW 1/4 SEC 2 T 1
 R 22 V 1440 P 837 1992
 (PT 02-122-02-259-028)
 V 1455 P 940

PARCEL NUMBER 02-122-02-306-016-0 LOT 199.000
 ASSESSED S.F./LN. 199.000
 TOTAL ASSESSMENT \$562.50
 4" CONC R-R 59.00SF @ \$.55 = \$277.50
 6" CONC R-R 59.00SF @ \$.70 = \$285.00
 NUMBER OF SQUARES 4

MAIL TO ADDRESS
 JAMES J & JOAN C LAMPADA
 6814 47TH AVE
 KENOSHA, WI 53142

LEGAL DESCRIPTION
 SW 1/4 SEC 2 T 1 R 22 MAPLE
 PARK ESTATES SUB LOT 49
 V 1443 P 451
 V 1692 P 428
 DOC#1147350

PARCEL NUMBER 02-122-02-307-011-0 LOT 59.000
 ASSESSED S.F./LN. 59.000
 TOTAL ASSESSMENT \$562.50
 4" CONC R-R 59.00SF @ \$.55 = \$277.50
 6" CONC R-R 59.00SF @ \$.70 = \$285.00
 NUMBER OF SQUARES 4

MAIL TO ADDRESS
 JAMES J & JOAN C LAMPADA
 6814 47TH AVE
 KENOSHA, WI 53142

LEGAL DESCRIPTION
 THE E 1/2 OF LOT 28 & THE
 W 42 FT OF LOT 29 FOREST PARK
 TERRACE 2ND ADD PT SW 1/4 SEC
 2 T 1 R 22
 DOC#1157661
 DOC#1416530

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

ASSESSED S.F./LN.	TOTAL ASSESSMENT
PARCEL NUMBER 02-122-02-332-093-0	159.989
PROPERTY ADDRESS KRISTINA L TRUMBO 5221 970 ST	4" CONC R-R 159.989SF @ \$5.55 = \$832.58
	NUMBER OF SQUARES 6
LEGAL DESCRIPTION	
SW 1/4 SEC 2 T 1 R 22 BEG	
252FT E OF NE COR OF LOT 185	
OF GEORGETOWN II TH E 55.495	
FT S 141 FT W 55.495 FT N 141	
FT TO PT OF BEG	
V 1295 P365	
DOC#1893697	
DOC#1647937	

ASSESSED S.F./LN.	TOTAL ASSESSMENT
PARCEL NUMBER 02-122-02-486-014-0	359.989
PROPERTY ADDRESS TIMOTHY J SANDT 7892 649 AV	4" CONC R-R 125.089SF @ \$5.55 = \$693.75
	ADDITIONAL 225.089R @ \$.99 = \$.99
	NUMBER OF SQUARES 7
	8 OF 15 SQ & 255F CARR WALK DUE TO PMT
LEGAL DESCRIPTION	
LOT 23 PERSHING BLVD SUB PT OF	
SE 1/4 SEC 2 T1 R22 ALSO E 19	
FT VACATED ALLEY RES #51-80 1981	
V1635 P854	
DOC #932826	
DOC#1898286	

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

ASSESSED S.F./LN.	TOTAL ASSESSMENT
PARCEL NUMBER 02-122-02-407-087-0	159.989
PROPERTY ADDRESS KENNETH GRANDOW 7025 649 AV	ADDITIONAL 159.989SF @ \$.00 = \$.00
	NUMBER OF SQUARES 6
	6 SQ DUE TO PMT
LEGAL DESCRIPTION	
LOT 55 O'NEILL'S GRAND VIEW SUB	
BEING PT OF SE 1/4 SEC 2 T1 R22	
V 1549 P 930	
DOC#1983331	

ASSESSED S.F./LN.	TOTAL ASSESSMENT
PARCEL NUMBER 02-122-02-469-641-0	639.989
PROPERTY ADDRESS BRIAN J & CONNIE MASSIE 6398 639 AV	NUMBER OF SQUARES 639
	CURB WORK DONE AT CITY COST
LEGAL DESCRIPTION	
LOTS 4 & 5 PERSHING BOULEVARD	
SUB: PT SE 1/4 SEC 2 T 1 R 22	
ALSO ALL OF 20 FT VAC ALLEY AS	
IN RES #266-84-1985	
DOC#1218306	
DOC#1385629	

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
62-122-62-483-061-0		75.060	\$416.25
PROPERTY ADDRESS ST MARYS CONGREGATION 7489 639 AV			

LEGAL DESCRIPTION
 TO 13531 INCL SEE BELOW (135319 INCL) LOTS 13 TO 25 INCL EXCEPT E 14 FT FOR STREET & ALSO LOTS 33 TO 45 INC & N & S VACATED ALLEY O'NEILL GRAND VIEW SUB PT 0 OF SE 1/4 SEC 2 T 1 R 22

MAIL TO ADDRESS
 ST MARYS CONGREGATION
 7387 48TH AVE
 KENOSHA, WI 53142-1923

LEGAL DESCRIPTION
 LOT 7 WARBORN HEIGHTS SUB
 PT NE 1/4 SEC 3 T 1 R 22
 V 856 P 258
 DOC#1565332

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
63-122-63-161-612-0		256.000	\$849.00
PROPERTY ADDRESS RICHARD & LINDA BILSKI 6283 957 AV			

LEGAL DESCRIPTION
 NE 1/4 SEC 3 T 1 R 22 WARBORN HEIGHTS SUB LOT 6

MAIL TO ADDRESS
 RICHARD & LINDA BILSKI
 6283 57TH AVE
 KENOSHA, WI 53142-3830

LEGAL DESCRIPTION
 NE 1/4 SEC 3 T 1 R 22 WARBORN HEIGHTS SUB LOT 4
 DOC#146735

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

ASSESSED S.F./LN.	TOTAL ASSESSMENT
287.589	\$1,599.38
PARCEL NUMBER 03-122-03-101-015-0 LOT PROPERTY ADDRESS 4" CONC R-R 262.59SF @ \$5.55 = \$1456.88 MARK A & SARAH L SMITH 6" CONC R-R 25.99SF @ \$5.70 = \$142.50 6221 057 AV NUMBER OF SQUARES 12	
LEGAL DESCRIPTION MAIL TO ADDRESS LOT 3 MARBERN HEIGHTS SUB MARK A & SARAH L SMITH NE 1/4 SEC 3 T 1 R 22 6221 57TH AVE V 1301 P 63 KENOSHA, WI 53142 DOC#1037020 DOC#134348 DOC#1388054	

ASSESSED S.F./LN.	TOTAL ASSESSMENT
275.099	\$978.75
PARCEL NUMBER 03-122-03-101-016-0 LOT PROPERTY ADDRESS 4" CONC R-R 125.09SF @ \$5.55 = \$693.75 FB PROPERTY MANAGEMENT LLC 6" CONC R-R 50.00SF @ \$5.70 = \$285.00 6227 057 AV ADDITIONAL 100.00AR @ \$.00 = \$.00 NUMBER OF SQUARES 7	
LEGAL DESCRIPTION MAIL TO ADDRESS LOT 2 MARBERN HEIGHTS SUB FB PROPERTY MANAGEMENT LLC PT NE 1/4 SEC 3 T 1 R 22 21 50TH ST V 1244 P822 KENOSHA, WI 53140 DOC#1552806 DOC#1037470 DOC#1661145 DOC#1663528	

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

ASSESSED S.F./LN.	TOTAL ASSESSMENT
275.099	\$761.25
PARCEL NUMBER 03-122-03-101-017-0 LOT PROPERTY ADDRESS 4" CONC R-R 75.00SF @ \$5.55 = \$416.25 MURIEL PETERS 6" CONC R-R 50.00SF @ \$5.70 = \$285.00 6233 057 AV ADDITIONAL 150.00AR @ \$.00 = \$.00 NUMBER OF SQUARES 5	
LEGAL DESCRIPTION MAIL TO ADDRESS LOT 1 MARBERN HEIGHTS SUB MURIEL PETERS NE 1/4 SEC 3 T 1 R 22 MARBERN 6233 57TH AVE V 1304 P 592 KENOSHA, WI 53142-3030	

ASSESSED S.F./LN.	TOTAL ASSESSMENT
225.000	\$705.00
PARCEL NUMBER 03-122-03-105-003-0 LOT PROPERTY ADDRESS 4" CONC R-R 50.00SF @ \$5.55 = \$277.50 TERRY L & KATHRYN L HOLMES 6" CONC R-R 75.00SF @ \$5.70 = \$427.50 6226 057 AV ADDITIONAL 100.00AR @ \$.00 = \$.00 NUMBER OF SQUARES 5	
LEGAL DESCRIPTION MAIL TO ADDRESS LOT 28 MARBERN HEIGHTS SUB TERRY L & KATHRYN L HOLMES PT OF NE 1/4 SEC 3 T1 R 22 6226 57TH AVE V 1365 P 92 KENOSHA, WI 53142 V 1698 P 546 V 1683 P 711 DOC #1414341	

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
03-122-03-165-064-0		250.000	\$1,387.50
PROPERTY ADDRESS CRAIG A. & CARON L. TESTARD 6220 57TH AV			
LEGAL DESCRIPTION LOT 27 MARBURN HEIGHTS SUB PT NE 1/4 SEC 3 T 1 R 22 DOC#1359964			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
03-122-03-165-066-0		225.000	\$1,256.25
PROPERTY ADDRESS DAVID J. KOSLOSKIE 6200 57TH AV			
LEGAL DESCRIPTION LOT 25 MARBURN HEIGHTS SUB PT OF NE 1/4 SEC 3 T 1 R 22 V 1453 P 522 DOC#1589845			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
03-122-03-165-097-0		100.000	\$.00
PROPERTY ADDRESS JAMES W. HACKETT (LIFE EST) SEAN W 4 SQ DUE TO PMT 6202 057 AV			
LEGAL DESCRIPTION LOT 24 MARBURN HEIGHTS SUB PT NE 1/4 SEC 3 T 1 R 22 DOC#1570866 DOC#1628797 DOC#1628798			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
03-122-03-165-098-0		325.000	\$1,533.75
PROPERTY ADDRESS SHARON S. JOHANEK FKA SHARON S. CARR ADDITIONAL 6120 057 AV			
LEGAL DESCRIPTION NE 1/4 SEC 3 T 1 R 22 MARBURN HEIGHTS SUB LOT 23 DOC#3996041 DOC#1299326			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
63-122-03-105-009-0	125.000		\$705.00
PROPERTY ADDRESS			
MICHAEL & NATASHA STEWART			
6114 057 AV			
LEGAL DESCRIPTION			
NE 1/4 SEC 3 T 1 R 22 WARBERN HEIGHTS SUB LOT 22 V 1381 P 224			
MAIL TO ADDRESS			
MICHAEL & NATASHA STEWART			
6114 57TH AVE			
KENOSHA, WI 53142-3075			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
63-122-03-105-010-0	175.000		\$971.25
PROPERTY ADDRESS			
DAVID L MEIER			
6108 057 AV			
LEGAL DESCRIPTION			
4" CONC R-R 175,00SF @ \$5.55 = \$971.25 NUMBER OF SQUARES 7			
MAIL TO ADDRESS			
DAVID L MEIER			
6108 57TH AVE			
KENOSHA, WI 53142-3075			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
63-122-03-100-004-0	200.000		\$0.00
PROPERTY ADDRESS			
MARK WILLIS, CINDY RAODATZ			
6521 000 AV			
LEGAL DESCRIPTION			
NE 1/4 SEC 3 T 1 R 22 GEORGETOWN 1 SUB LOT 7			
MAIL TO ADDRESS			
MARK WILLIS			
6521 00TH AVE			
KENOSHA, WI 53142-2922			

PARCEL NUMBER	LOT	ADDITONAL NUMBER OF SQUARES	ASSESSED S.F./LN.	TOTAL ASSESSMENT
63-122-03-100-022-0	225.000	225,00SF @ \$.00 =		\$0.00
PROPERTY ADDRESS				
CHRISTIAN M STOUGHTON				
6502 059 AV				
LEGAL DESCRIPTION				
LOT 11 GEORGETOWN 1 SUB PT NE 1/4 SEC 3 T1 R 22 V 1417 P 007				
MAIL TO ADDRESS				
CHRISTIAN M STOUGHTON				
6502 50TH AVE				
KENOSHA, WI 53142				

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
63-122-03-439-015-0	109.069	4" CONC R-R 50.99SF @ \$.55 = \$277.50 ADDITIONAL NUMBER OF SQUARES 2	\$277.50
PROPERTY ADDRESS ALBERT L JR & GAIL J AIELLO 6919 064 AV			
MAIL TO ADDRESS ALBERT L & GAIL J AIELLO JR 6919 64TH AVE KENOSHWA, WI 53142-1444			
LEGAL DESCRIPTION PT SE 1/4 SEC 3 T 1 R 22 LOT 92 WESTCHESTER 2ND ADD'N 1990 VOL 1046 PAGE 279			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
63-122-03-439-016-0	125.069	4" CONC R-R 75.09SF @ \$.55 = \$277.50 ADDITIONAL NUMBER OF SQUARES 3 OF 5 SQ DUE TO PWT	\$277.50
PROPERTY ADDRESS PATRICK A & THERESA S QUICK 6925 064 AV			
MAIL TO ADDRESS PATRICK A & THERESA S QUICK 6925 64TH AVE KENOSHWA, WI 53142-1444			
LEGAL DESCRIPTION PT SE 1/4 SEC 3 T 1 R 22 LOT 93 WESTCHESTER 2ND ADD'N 1990 VOL 1046 PAGE 279 V 1584 P 415 DOC#10692788			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
63-122-05-250-148-0	125.069	4" CONC R-R 125.09SF @ \$.55 = \$693.75 NUMBER OF SQUARES 5	\$693.75
PROPERTY ADDRESS ROYR BURNS 10304 063 ST			
MAIL TO ADDRESS ROYR BURNS 10304 63RD ST KENOSHWA, WI 53142			
LEGAL DESCRIPTION LOT 306 WHITECAPS SUB UNIT 4 PT S 1/2 OF NW 1/4 SEC 5 T 1 R 22 1994 (03-122-05-250-002) DOC #9888036 DOC#1228494 DOC#1292847 DOC#1347898			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
63-122-05-409-083-0	75.069	4" CONC R-R 75.09SF @ \$.55 = \$416.25 NUMBER OF SQUARES 3	\$416.25
PROPERTY ADDRESS JAMES & ANDREA O'LOUGHLIN 9436 069 ST			
MAIL TO ADDRESS JAMES & ANDREA O'LOUGHLIN 9436 69TH ST KENOSHWA, WI 53142-8111			
LEGAL DESCRIPTION LOT 83 WHITECAPS SUB UNIT 2 REPLAT PT M 1/2 OF SE 1/4 SEC 5 T 1 R 22 1992 (PT 03-122-05-425-001) V 1502 P 946			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEMALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
63-122-05-408-993-0		250.000	\$1,402.50
PROPERTY ADDRESS			
LAURA J HICKS			
9501 069 ST			
LEGAL DESCRIPTION			
LOT 93 WHITECAPS SUB UNIT 2			
REPLAT PT W 1/2 OF SE 1/4			
SEC 5 T 1 R 22			
(1992 PT 03-122-05-425-001)			
V 1538 P 470			
DOC #9998608			
DOC#1161797			
DOC#1374705			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
63-122-05-408-904-0		75.000	\$423.75
PROPERTY ADDRESS			
MATTHEW J & CHRISTINA L BRADLEY			
9437 069 ST			
LEGAL DESCRIPTION			
LOT 94 WHITECAPS SUB UNIT 2			
REPLAT PT W 1/2 OF SE 1/4			
SEC 5 T 1 R 22			
1992 (PT 03-122-05-425-001)			
V 1516 P 958			
DOC#1134473			
DOC#1171044			
DOC#1406237			

MAIL TO ADDRESS
 MATTHEW J & CHRISTINA BRADLEY
 9437 69TH ST
 KENOSHA, WI 53142-8112

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEMALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
63-122-05-408-181-0		125.000	\$420.00
PROPERTY ADDRESS			
MARK S & JULIE D VOIE-ARMOUR			
9411 073 ST			
LEGAL DESCRIPTION			
LOT 181 WHITECAPS SUB UNIT 2			
PT W 1/2 SE 1/4 SEC 5 T1 R22			
(1992 PT 03-122-05-425-001)			
V 1527 P 525			
DOC#1310051			
DOC#1320342			
DOC#1392320			
DOC#1324710			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
63-122-05-408-182-0		25.000	\$142.50
PROPERTY ADDRESS			
BRYAN L YETTE & IRENE SYBREMA YETT			
9405 073 ST			
LEGAL DESCRIPTION			
LOT 182 WHITECAPS SUB UNIT 2			
W 1/2 OF SE 1/4 SEC 5 T1 R22			
1992 (PT 03-122-05-425-001)			
V 1622 P 910			
DOC#1183298			
DOC#1449970			

MAIL TO ADDRESS
 BRIAN L & IRENE SYBREMA YETTE
 9405 73RD ST
 KENOSHA, WI 53142

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK RUN DATE: 04/14/14
FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
63-122-65-489-721-9			
PROPERTY ADDRESS		NUMBER OF SQUARES	
VICTOR M & FRANCINE AMY MENDOZA		CURB WORK DONE AT CITY COST	
9447 871 ST			

MAIL TO ADDRESS
VICTOR M & FRANCINE A MENDOZA
9447 731 ST
KENOSHA, WI 53142

LEGAL DESCRIPTION
LOT 721 WHITECAP'S HOMES UNIT #9 BEING PT NW 1/4 & SW 1/4 OF SE 1/4 & PT NE 1/4 OF SE 1/4 OF SW 1/4 SEC 5 T1 R22 (2888 PT 63-122-65-379-984) DOC#1187928

PARCEL NUMBER 63-122-18-387-835-6 LOT 125.686 \$138.75

PROPERTY ADDRESS LUCILLE & VINCENT MANCUSO (LIFE ES 4 OF 5 SQ DUE TO PMT

4" CONC R-R 25.89SF @ \$5.55 = \$138.75
ADDITIONAL 168.89AR @ \$.69 = \$116.52
NUMBER OF SQUARES 1

MAIL TO ADDRESS
LUCILLE & VINCENT MANCUSO
8212 65TH AVE
KENOSHA, WI 53142-1856

LEGAL DESCRIPTION
LOT 14 GANGLER'S PARK VISTA SUB PT OF SE 1/4 & SW 1/4 SEC 18 T 1 R 22 1979 V 1632 P 621 SUBJECT TO EASEMENT V1837 P816 DOC#1867178

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK RUN DATE: 04/14/14
FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
63-122-19-427-849-8			
PROPERTY ADDRESS		NUMBER OF SQUARES	
CRAIG SCHILLER, CAROL SCHILLER			
8322 681 AV			

MAIL TO ADDRESS
CRAIG & CAROL SCHILLER
8322 61ST AVE
KENOSHA, WI 53142-1838

LEGAL DESCRIPTION
3-4-6122-19-427-849 LOT 36 ALESCIT'S VILLA SERENA SUB PT SE 1/4 SEC 18 T 1 R 22 1978 VOL 1696 PAGE 482 V 1654 P 416

PARCEL NUMBER 63-122-11-188-825-6 LOT 325.888 \$1,665.89

PROPERTY ADDRESS BF PROPERTIES LLC 7645 PER BL

4" CONC R-R 399.89SF @ \$5.55 = \$2,218.55
ADDITIONAL 25.89AR @ \$.69 = \$17.86
NUMBER OF SQUARES 12

MAIL TO ADDRESS
BF PROPERTIES LLC
8262 47TH CT
KENOSHA, WI 53142

LEGAL DESCRIPTION
LOTS 97, 98, 99, 188 & 191 ALSO 1/2 VACATED ALLEY RES 19-64 V659 P493 KROGH BROS SUB NE 1/4 SEC 11 T1 R22 (1997 COMB 63-122-11-188-894, -895, -897, -898) V1387 P421 DOC1864334 DOC18647482 DOC#1491377

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
03-122-11-156-619-0		125.000	\$693.75
PROPERTY ADDRESS NICHOLAS MERRILL & CHELSEA LANSDOM 7946 047 AV			
LEGAL DESCRIPTION 16896-12 LOT 12 BLK 8 GRAND VIEW GARDENS SUB ALSO BEG SW COR LOT 12 TH N 16.18 FT N 50 FT E 16.49 FT S 59 FT TO POB FT NE 1/4 SEC 11 T 1 R 22 V 1572 P 686 DOC #993259 DOC#1587694			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
03-122-11-156-025-0		225.000	\$562.50
PROPERTY ADDRESS DANIEL G MISKINITS & JODENE A DIDER ADDITIONAL 7938 047 AV			
LEGAL DESCRIPTION 4" CONC R-R 59,085F @ \$5.55 = \$277.50 6" CONC R-R 59,085F @ \$5.79 = \$295.00 ADDITIONAL 125,000R @ \$.00 = \$.00 NUMBER OF SQUARES 4			

MAIL TO ADDRESS	LEGAL DESCRIPTION
DANIEL G & JODENE A MISKINITS 169 30TH AVE KENOSHA, WI 53144	16896-6A THE N 44.75 FT OF LOT 6 BLK 8 GRAND VIEW GARDENS SUB PT NE 1/4 SEC 11 T 1 R 22 ALSO BEG NW COR SD LOT 6 TH W 18.10 FT S 44.75 FT E 17.85 FT TH N 44.75 FT TO BEG DOC#1229189

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
03-122-11-157-099-0		209.000	\$555.00
PROPERTY ADDRESS ERNESTO MESA & MARTI CHRISTINE MESA 7939 047 AV			
LEGAL DESCRIPTION 4" CONC R-R 109,085F @ \$5.55 = \$595.00 ADDITIONAL 109,085F @ \$.00 = \$.00 NUMBER OF SQUARES 4 4 OF 8 SQ DUE TO PWT			

MAIL TO ADDRESS	LEGAL DESCRIPTION
ERNESTO & MARTI MESA 6417 11TH AVE KENOSHA, WI 53143	NE 1/4 SEC 11 T 1 R 22 GRAND VIEW GARDENS SUB BLK 7 LOT 16 & 1/2 VACATED ALLEY RES 6222 12/15/58 V 1453 P 656 V 1493 P 885 DOC#1040239 DOC#1272395

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
03-122-11-157-099-0		309.000	\$1,248.75
PROPERTY ADDRESS SECRETARY OF HOUSING & URBAN DEVEL 4612 089 ST			
LEGAL DESCRIPTION 4" CONC R-R 225,085F @ \$5.55 = \$1248.75 ADDITIONAL 75,085F @ \$.00 = \$.00 NUMBER OF SQUARES 9 3 OF 12 SQ DUE TO PWT			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER 03-122-11-157-023-0 LOT 156.000 ASSESSED TOTAL \$420.00
 S.F./LN. ASSESSMENT
 PROPERTY ADDRESS 6" CONC R-R 50.00SF @ \$5.55 = \$277.50
 6" CONC R-R 25.00SF @ \$5.70 = \$142.50
 ADDITIONAL 75.00AR @ \$.00 = \$.00
 MAIL TO ADDRESS 7945 47TH AV NUMBER OF SQUARES 3

LEGAL DESCRIPTION
 MAIL TO ADDRESS PT NE 1/4 SEC 11 T 1 R 22
 7945 47TH AV GRAND VIEW GARDENS SUB BLK 7
 KENOSHA, WI 53142 S 41 FT OF LOT 14 & 1/2 OF
 VACATED ALLEY RES 6222 (1958)
 ALSO PT OF LOT 11 & 12 BLK 7
 DESC AS BEG N COR LOT 11 TH 43
 DEG 29' E 29.63 FT TH W 68.75
 FT TO CT VAC ALLEY TH NE'LY
 ALONG CT OF VAC ALLEY TO PT
 7.59 FT NW'LY OF POB TH 7.59
 FT TO POB
 V 1558 P 666
 DDC#1855989

PARCEL NUMBER 03-122-11-159-093-0 LOT 475.000 \$41,953.75
 PROPERTY ADDRESS 4" CONC R-R 275.00SF @ \$5.55 = \$1526.25
 ELTON CORREA 6" CONC R-R 75.00SF @ \$5.70 = \$427.50
 7985 045 AV ADDITIONAL 125.00AR @ \$.00 = \$.00
 NUMBER OF SQUARES 14

LEGAL DESCRIPTION
 MAIL TO ADDRESS LOT 1 BLK 5 GRAND VIEW GARDENS
 ELTON CORREA SUB & VACATED STREET RES#642
 7985 45TH AVE 12/27/55 PT OF NE 1/4 SEC 11
 T1 R22
 DDC#1063156

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER 03-122-11-159-094-0 LOT 225.000 ASSESSED TOTAL \$832.50
 S.F./LN. ASSESSMENT
 PROPERTY ADDRESS 4" CONC R-R 150.00SF @ \$5.55 = \$832.50
 FERNANDO & GAY MEDINA 75.00SF @ \$.00 = \$.00
 7915 045 AV NUMBER OF SQUARES 6
 3 OF 9 SQ DUE TO PWT

LEGAL DESCRIPTION
 MAIL TO ADDRESS LOT 22 BLK 5 GRAND VIEW GARDENS
 FERNANDO & GAY MEDINA SUB PT OF NE 1/4 SEC 11 T1 R 22
 7915 45TH AVE V 666 P 125
 KENOSHA, WI 53142-4598 DDC#1217722
 DDC#1298978

PARCEL NUMBER 03-122-11-159-095-0 LOT 175.000 \$416.25
 PROPERTY ADDRESS 4" CONC R-R 75.00SF @ \$5.55 = \$416.25
 SUSAN A MEIER ADDITIONAL 100.00SF @ \$.00 = \$.00
 7921 045 AV NUMBER OF SQUARES 3
 3 OF 7 SQ DUE TO PWT

LEGAL DESCRIPTION
 MAIL TO ADDRESS PT OF NE 1/4 SEC 11 T 1 R 22
 SUSAN A MEIER LOT 21 B 5 GRAND VIEW GARDENS
 7921 45TH AVE SUB
 KENOSHA, WI 53142-4598

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
63-122-11-176-010-0		225.099	\$971.25
PROPERTY ADDRESS BARBARA L GOODE 7812 39TH AV			
LEGAL DESCRIPTION 4" CONC R-R 175.09SF @ \$5.55 = \$971.25 ADDITIONAL 50.09SF @ \$.00 = \$.00 NUMBER OF SQUARES 7 2 OF 9 SQ DUE TO PWT			
MAIL TO ADDRESS BARBARA L GOODE 7812 39TH AVE KENOSHA, WI 53142			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
63-122-11-180-020-0		175.099	\$420.00
PROPERTY ADDRESS THOMAS PATRICK GREEN, RANDY JOSEPH 7918 942 AV			
LEGAL DESCRIPTION 4" CONC R-R 50.09SF @ \$5.55 = \$277.50 6" CONC R-R 25.09SF @ \$5.70 = \$142.50 ADDITIONAL 100.00SF @ \$.00 = \$.00 NUMBER OF SQUARES 3			
MAIL TO ADDRESS RANDY J GREEN 7918 42ND AVE KENOSHA, WI 53142-4581			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
63-122-11-276-095-0		75.099	\$423.75
PROPERTY ADDRESS SHAWN & BECKY HILL 7829 048 AV			
LEGAL DESCRIPTION 4" CONC R-R 25.09SF @ \$5.55 = \$138.75 6" CONC R-R 50.09SF @ \$5.70 = \$285.00 NUMBER OF SQUARES 3			
MAIL TO ADDRESS SHAWN & BECKY HILL 7829 48TH AVE KENOSHA, WI 53142-4231			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
63-122-11-277-099-0		375.099	\$1,665.00
PROPERTY ADDRESS KATHLEEN LANCTOT 7885 049 AV			
LEGAL DESCRIPTION 4" CONC R-R 300.09SF @ \$5.55 = \$1665.00 ADDITIONAL 75.09SF @ \$.00 = \$.00 NUMBER OF SQUARES 12 3 OF 15 SQ DUE TO PWT			
MAIL TO ADDRESS KATHLEEN LANCTOT 7885 49TH AVE KENOSHA, WI 53142-4237			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
63-122-11-281-022-0		75.099	\$416.25
PROPERTY ADDRESS MARY C & JOHN W RHODE 7914 047 CT			
LEGAL DESCRIPTION 4" CONC R-R 75.09SF @ \$5.55 = \$416.25 NUMBER OF SQUARES 3			
MAIL TO ADDRESS MARY C & JOHN W RHODE 7914 47TH CT KENOSHA, WI 53142-2045			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
63-122-11-428-079-0		59.099	
PROPERTY ADDRESS		ADDITIONAL NUMBER OF SQUARES	
GEROLD N & GEORGIANNA MILLING		2 SQ DUE TO PWT	\$.00 = \$.00
8219 944 AV			
MAIL TO ADDRESS		LEGAL DESCRIPTION	
GEROLD N & GEORGIANNA MILLING		PT SE 1/4 SEC 11 T 1 R 22 LOT 14 PROVINCIAL HEIGHTS SUB VOL 1221 P 045 1987	0.52 AC
8219 44TH AVE			
KENOSHA, WI 53142-2842			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
64-122-12-101-094-0		225.099	
PROPERTY ADDRESS		4 th CONC R-R	59.895F @ \$5.55 = \$277.59
STEVEN L & KATHRYN J ENGELS		ADDITIONAL NUMBER OF SQUARES 2	175.099R @ \$.09 = \$.09
7517 923 AV		7 OF 9 SQ DUE TO PWT	
MAIL TO ADDRESS		LEGAL DESCRIPTION	
KATHRYN J & STEVEN L ENGELS		LOT 19 GREATER KENOSHA LAND CO'S 1ST SUB BEING PT OF NE 1/4 SEC 12 T 1 R 22	
7517 23RD AVE			
KENOSHA, WI 53143-5763			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
64-122-12-101-095-0		225.099	
PROPERTY ADDRESS		4 th CONC R-R	75.095F @ \$5.55 = \$416.25
AMY E PERRI		6 th CONC R-R	75.095F @ \$5.79 = \$427.59
7521 923 AV		ADDITIONAL NUMBER OF SQUARES 6	75.099R @ \$.09 = \$.09
MAIL TO ADDRESS		LEGAL DESCRIPTION	
AMY E PERRI		LOT 18 GREATER KENOSHA LAND CO'S 1ST SUB BEING PT OF NE 1/4 SEC 12 T 1 R 22	
7521 23RD AVE			
KENOSHA, WI 53143-5763			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
64-122-12-102-016-0		256.099	
PROPERTY ADDRESS		4 th CONC R-R	75.095F @ \$5.55 = \$416.25
ROSE COLWILL		6 th CONC R-R	25.095F @ \$5.79 = \$142.59
7546 923 AV		ADDITIONAL NUMBER OF SQUARES 4	156.099R @ \$.09 = \$.09
MAIL TO ADDRESS		LEGAL DESCRIPTION	
ROSE COLWILL		LOT 37 GREATER KENOSHA LAND CO'S 1ST SUB BEING PT OF NE 1/4 SEC 12 T 1 R 22	
7546 23RD AVE			
KENOSHA, WI 53143-5764			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
64-122-12-162-017-0		175.699	\$971.25
PROPERTY ADDRESS TRISHA ANN HANSON 7549 023 AV			
MAIL TO ADDRESS TRISHA ANN HANSON 7549 023 AV KENOSH, WI 53143			
LEGAL DESCRIPTION LOT 38 GREATER KENOSHA LAND CO'S 1ST SUB BEING PT OF NE 1/4 SEC 12 T 1 R 22 DDC#1682313 DDC#1689133 DDC#1614916			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
64-122-12-166-085-0		356.989	\$971.25
PROPERTY ADDRESS KEITH L DEATON 7683 26TH AV 7683 028 AV			
MAIL TO ADDRESS KEITH L DEATON 7683 26TH AV KENOSH, WI 53143			
LEGAL DESCRIPTION LOT 92 GREATER KENOSHA LAND CO'S 1ST SUB BEING PT OF NE 1/4 SEC 12 T 1 R 22 V 1231 P397 DDC#1586115 DDC#1666571 DDC#1685966			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
64-122-12-169-089-0		159.999	\$832.59
PROPERTY ADDRESS ALBERT LOCANTE 7734 023 AV			
MAIL TO ADDRESS ALBERT LOCANTE 1775 42ST AVE KENOSH, WI 53144			
LEGAL DESCRIPTION LOT 264 GREATER KENOSHA LAND CO'S 1ST SUB BEING PT OF NE 1/4 SEC 12 T 1 R 22 DDC#1242819 DDC#1242811			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
64-122-12-119-011-0		459.999	\$1,526.25
PROPERTY ADDRESS WILLIAM B BREDEK & LINDI R SERENA 2219 078 ST			
MAIL TO ADDRESS WILLIAM B BREDEK 2219 78TH ST KENOSH, WI 53143-6649			
LEGAL DESCRIPTION LOT 186 GREATER KENOSHA LAND CO'S 1ST SUB BEING PT OF NE 1/4 SEC 12 T 1 R 22 V 1385 P 145 DDC#1036176 DDC#1267175			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK

RUN DATE: 04/14/14
FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
64-122-12-118-012-0	175, 000	4" CONC R-R 100,000SF @ \$5.55 = \$555.00 6" CONC R-R 50,000SF @ \$5.70 = \$285.00 ADDITIONAL 25,000AR @ \$.00 = \$.00 NUMBER OF SQUARES 6	\$840.00
<p>MAIL TO ADDRESS US BANK WA 4801 FREDERICA ST OWENSBORO, KY 42301</p> <p>LEGAL DESCRIPTION LOT 187 GREATER KENOSHA LAND CO'S 1ST SUB BEING PT OF NE 1/4 SEC 12 T 1 R 22 DOC#1026359 DOC#1173763 DOC#1711739</p>			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
64-122-12-127-020-0	100, 000	4" CONC R-R 25,000SF @ \$5.55 = \$138.75 ADDITIONAL 75,000SF @ \$.00 = \$.00 NUMBER OF SQUARES 1 3 OF 4 SQ DUE TO PMT	\$138.75
<p>MAIL TO ADDRESS MARLENE J & CLARA H EISSENS 7522 27TH AVE KENOSHA, WI 53143-5612</p> <p>LEGAL DESCRIPTION LOT 985 GREATER KENOSHA LAND CO'S 3RD SUB PT NE 1/4 SEC 12 T 1 R 22 EXC S 2 FT V 900 P 552 DOC#1279994 DOC#1681022</p>			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK

RUN DATE: 04/14/14
FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
64-122-12-134-001-0	500, 000	4" CONC R-R 250,000SF @ \$5.55 = \$1387.50 6" CONC R-R 50,000SF @ \$5.70 = \$285.00 ADDITIONAL 200,000AR @ \$.00 = \$.00 NUMBER OF SQUARES 12	\$1,672.50
<p>MAIL TO ADDRESS ADELL L FRYE 7603 28TH AVE KENOSHA, WI 53143-5604</p> <p>LEGAL DESCRIPTION LOT 1000 GREATER KENOSHA LAND CO 3RD SUB BEING PT OF NE 1/4 SEC 12 T 1 R 22 DOC#1320093</p>			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
64-122-12-134-006-0	225, 000	4" CONC R-R 100,000SF @ \$5.55 = \$555.00 6" CONC R-R 75,000SF @ \$5.70 = \$427.50 ADDITIONAL 50,000AR @ \$.00 = \$.00 NUMBER OF SQUARES 7	\$982.50
<p>MAIL TO ADDRESS DAVID W & CHRISTINA M CHATMON 7627 28TH AVE KENOSHA, WI 53143-5604</p> <p>LEGAL DESCRIPTION LOT 1005 GREATER KENOSHA LAND CO 3RD SUB BEING PT OF NE 1/4 SEC 12 T 1 R 22</p>			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEMALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
64-122-12-134-097-0	187.500		\$566.25
PROPERTY ADDRESS ALAN J & TERRI L SKRIPSKY 7703 628 AV			
LEGAL DESCRIPTION LOT 1096 GREATER KENOSHA LAND CO 3RD SUB BEING PT OF NE 1/4 SEC 12 T 1 R 22 V 1465 P 888 DOC#1099102			
MAIL TO ADDRESS ALAN J & TERRI L SKRIPSKY 7703 28TH AVE KENOSHA, WI 53143-5619			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
64-122-12-134-098-0	209.000		\$277.50
PROPERTY ADDRESS KATHARINE L LYTLE 7707 628 AV			
LEGAL DESCRIPTION LOT 1097 GREATER KENOSHA LAND CO 3RD SUB BEING PT OF NE 1/4 SEC 12 T 1 R 22			
MAIL TO ADDRESS KATHARINE L LYTLE 7707 28TH AVE KENOSHA, WI 53143-5619			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEMALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
64-122-12-134-099-0	209.000		\$4,282.50
PROPERTY ADDRESS BRIAN N & CARRIE ANN WILLIAMS 12157 35TH AVE PLEASANT PRAIRIE, WI 53158 7711 628 AV			
LEGAL DESCRIPTION LOT 1098 GREATER KENOSHA LAND CO 3RD SUB BEING PT OF NE 1/4 SEC 12 T 1 R 22 DOC#1142397 DOC #1290972			
MAIL TO ADDRESS BRIAN N & CARRIE ANN WILLIAMS 12157 35TH AVE PLEASANT PRAIRIE, WI 53158			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
64-122-12-134-010-0	225.000		\$1,282.50
PROPERTY ADDRESS EDWARD W LUTHY JR 7717 628 AV			
LEGAL DESCRIPTION LOT 1099 GREATER KENOSHA LAND CO 3RD SUB BEING PT OF NE 1/4 SEC 12 T 1 R 22 DOC#1543920 DOC#1615592 DOC#1615593 DOC#1622237 DOC#1654119 DOC#1693886			
MAIL TO ADDRESS EDWARD W LUTHY JR 7717 28TH AVE KENOSHA, WI 53143			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

ASSESSED S.F./LN.	TOTAL ASSESSMENT
64-122-12-153-012-0	125.000
4" CONC R-R 50.09SF @ \$5.55 = \$277.50	
6" CONC R-R 25.09SF @ \$5.70 = \$142.50	
ADDITIONAL 50.09AR @ \$.00 = \$0.00	
NUMBER OF SQUARES 3	
	\$420.00

MAIL TO ADDRESS
 KAREN ANDERSON
 7822 27TH AVE
 KENOSHA, WI 53143-5616

LEGAL DESCRIPTION
 LOT 908 GREATER KENOSHA LAND
 CO'S 3RD SUB BEING PT OF NE
 1/4 SEC 12 T 1 R 22
 V 612 P 187
 DOC#1277857
 DOC#1617369

ASSESSED S.F./LN.	TOTAL ASSESSMENT
64-122-12-183-001-0	175.000
4" CONC R-R 175.09SF @ \$.00 = \$0.00	
ADDITIONAL 175.09AR @ \$.00 = \$0.00	
NUMBER OF SQUARES 7	
7 SQ DUE TO PMT	
	\$0.00

MAIL TO ADDRESS
 SOPHIE M WILLIAMS
 7982 25TH AVE
 KENOSHA, WI 53143-1446

LEGAL DESCRIPTION
 LOT 363 GREATER KENOSHA LAND
 CO'S 1ST SUB BEING PT OF NE
 1/4 SEC 12 T 1 R 22
 DOC#1194359

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

ASSESSED S.F./LN.	TOTAL ASSESSMENT
64-122-12-183-010-0	75.000
6" CONC R-R 25.09SF @ \$5.70 = \$142.50	
ADDITIONAL 50.09AR @ \$.00 = \$0.00	
NUMBER OF SQUARES 1	
2 OF 3 SQ DUE TO PMT	
	\$142.50

MAIL TO ADDRESS
 RICHARD M & PAULA J GALLO
 8036 18TH AVE
 KENOSHA, WI 53143

LEGAL DESCRIPTION
 LOT 372 GREATER KENOSHA LAND
 CO'S 1ST SUB BEING PT OF NE
 1/4 SEC 12 T 1 R 22
 DOC#1227612
 DOC#1672949
 DOC#1695281

ASSESSED S.F./LN.	TOTAL ASSESSMENT
64-122-12-210-002-0	150.000
4" CONC R-R 25.09SF @ \$5.55 = \$138.75	
ADDITIONAL 125.09AR @ \$.00 = \$0.00	
NUMBER OF SQUARES 1	
5 OF 6 SQ DUE TO PMT	
	\$138.75

MAIL TO ADDRESS
 BRADLEY & J PERSONS
 7609 31ST AVE
 KENOSHA, WI 53142-4613

LEGAL DESCRIPTION
 14803A LOT 474 & N 1/2 LOT 475
 GREATER KENOSHA LAND CO'S 2ND
 SUB BEING PT OF NW 1/4 SEC 12
 T 1 R 22

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 6/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
94-122-12-236-909-9		275.000	
ADDITIONAL 275.00SF @ \$.60 = \$165.00			
PROPERTY ADDRESS			
RICHARD R & JULIE DEWITT REVOCABLE 11 SQ DUE TO PMT			
7742 636 AV			
MAIL TO ADDRESS			
RICHARD R & JULIE DEWITT			
DEWITT REVOCABLE TRUST			
KENOSHA, WI 53142-2114			
LEGAL DESCRIPTION			
LOT 659 GREATER KENOSHA LAND			
CO'S 2ND SUB BEING PT OF NW			
1/4 SEC 12 T 1 R 22			
DOC#1629394			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
94-122-12-237-614-6		149.000	
ADDITIONAL 149.00SF @ \$.55 = \$82.95			
PROPERTY ADDRESS			
MARK A & DENISE L SADOWSKI			
7736 635 AV			
MAIL TO ADDRESS			
MARK A & DENISE L SADOWSKI			
2732 84TH ST			
KENOSHA, WI 53143			
LEGAL DESCRIPTION			
LOT 642 GREATER KENOSHA LAND			
CO'S 2ND SUB BEING PT OF NW			
1/4 SEC 12 T 1 R 22			
DOC#1244839			
DOC#1256976			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 6/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
94-122-12-237-915-9		175.000	
ADDITIONAL 175.00SF @ \$.55 = \$96.25			
PROPERTY ADDRESS			
SONIA R GOMEZ			
7732 635 AV			
MAIL TO ADDRESS			
SONIA R GOMEZ			
7732 35TH AVE			
KENOSHA, WI 53142-4634			
LEGAL DESCRIPTION			
LOT 643 GREATER KENOSHA LAND			
CO'S 2ND SUB BEING PT OF NW			
1/4 SEC 12 T 1 R 22			
V 1269 P 938			
DOC#1716396			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
94-122-12-252-085-6		99.000	
ADDITIONAL 99.00SF @ \$.60 = \$59.40			
PROPERTY ADDRESS			
JOHN A & RONNI J ALTA			
7823 636 AV			
MAIL TO ADDRESS			
JOHN A & RONNI J ALTA			
1891 41ST AVE			
PLEASANT PRAIRIE, WI 53158			
LEGAL DESCRIPTION			
LOT 119 ELMWOOD MANOR SUB			
PT NW 1/4 SEC 12 T 1 R 22			
V 1627 P 163			
DOC #983063			
DOC#1687413			
DOC#1698315			
DOC#1763198			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
64-122-12-253-091-0		225.099	
ADDITIONAL 225.09SF @ \$.00 = \$.00			
PROPERTY ADDRESS			
JAN E EBERT, LYNN R MCGRAWAN, MA 9 SQ DUE TO PWT			
7803 037 AV			
LEGAL DESCRIPTION			
LOT 82 ELWOOD MANOR SUB			
PT OF NW 1/4 SEC 12 T 1 R 22			
DOC#10986671			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
64-122-12-253-099-0		124.099	
ADDITIONAL 124.09SF @ \$.00 = \$.00			
PROPERTY ADDRESS			
LISA M PEGORARO & NICHOLAS T HYDE			
4 SQ & 24SF CARRIAGE WALK DUE TO PWT			
7841 037 AV			
LEGAL DESCRIPTION			
LOT 99 ELWOOD MANOR SUB			
PT NW 1/4 SEC 12 T 1 R 22			
V 1259 P 557			
DOC#1209431			
DOC#1509816			
DOC#1706591			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
64-122-12-254-022-0		109.099	
ADDITIONAL 109.09SF @ \$.00 = \$.00			
PROPERTY ADDRESS			
MICHAEL J LECCE			
7802 037 AV			
LEGAL DESCRIPTION			
PT OF NW 1/4 SEC 12 T 1 R 22			
LOT 81 ELWOOD MANOR SUB			
V 1691 P 995			
DOC 1093154			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
64-122-12-277-021-0		309.099	
ADDITIONAL 25.08SF @ \$.55 = \$138.75			
ADDITIONAL 75.09AR @ \$.09 = \$.09			
ADDITIONAL NUMBER OF SQUARES 1			
3 OF 4 SQ DUE TO PWT			
PROPERTY ADDRESS			
MELISSA C RORCH-ZIEVERS 1/2 & FRED			
7806 031 AV			
LEGAL DESCRIPTION			
LOT 353 ELWOOD MANOR SUB			
PT NW 1/4 SEC 12 T 1 R 22			
V 1537 P 79			
V 1571 P 512			
DOC #1424521			
DOC #1630661			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
64-122-12-288-638-6		59.688	\$142.58
PROPERTY ADDRESS WALTER L & SUE W SIMONS 7925 631 AV			
LEGAL DESCRIPTION LOT 371 & THE S 5 FT OF LOT 372 & THE N 5 FT OF LOT 372 ELWOOD MANOR GREATER KENOSHA LAND CO S 4TH SUB PT OF NW 1/4 SEC 12 T 1 R 22 EXC COM AT NE COR LOT 371 TH S 55 FT W 6.61 FT TH N 68.61 FT TH E 5.49 FT TH S 5 FT TO POB DOC#1461776			
MAIL TO ADDRESS WALTER L & SUE W SIMONS 7925 631 AV KENOSHA, WI 53142-4617			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
64-122-12-288-633-6		159.688	\$281.25
PROPERTY ADDRESS LINDA L WACKER 7945 631 AV			
LEGAL DESCRIPTION 4" CONC R-R 25.68SF @ \$5.55 = \$138.75 6" CONC R-R 25.68SF @ \$5.78 = \$142.58 ADDITIONAL 189.69AR @ \$.69 = \$131.57 NUMBER OF SQUARES 2			
MAIL TO ADDRESS LINDA L WACKER 7945 31ST AVE KENOSHA, WI 53142			

DOC#1635123
 DOC#1449386

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
64-122-12-288-634-6		159.688	\$358.75
PROPERTY ADDRESS DONOVAN C SCHUTZ LIVING TRUST DTD 7951 631 AV			
LEGAL DESCRIPTION PT OF NW 1/4 SEC 12 T 1 R 22 THE S 15 FT OF LOT 375 & N 45 FT OF LOT 376 ELWOOD MANOR SUB GREATER KENOSHA LAND CO 4TH SUB EXC COM NE COR LOT 376 TH S 45 FT W 11.69 FT N 68.81 FT E 9.97 FT TH S 15 FT TO POB (PT 64-6122-12-288-624 1976) DOC#1497829			
MAIL TO ADDRESS DONOVAN C & LINDA SCHUTZ 616 DOWNING RD LIBERTYVILLE, IL 60848-3769			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
64-122-12-282-621-6		25.688	\$138.75
PROPERTY ADDRESS VICTOR PEREZ 7948 632 AV			
LEGAL DESCRIPTION 4" CONC R-R 25.68SF @ \$5.55 = \$138.75 NUMBER OF SQUARES 1			
MAIL TO ADDRESS VICTOR PEREZ 7948 32ND AVE KENOSHA, WI 53142-4624			

DOC#1497829
 DOC#1694672
 DOC#1695182
 DOC#1788688

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
64-122-12-283-698-0	75.989	4" CONC R-R 37.58SF @ \$5.55 = \$208.13 6" CONC R-R 37.58SF @ \$5.76 = \$213.75	\$421.88

PROPERTY ADDRESS
 FLETCHER & JEAN T LEE
 7918 931 AV

LEGAL DESCRIPTION
 N 49 FT OF LOT 339 & S 20 FT OF LOT 340 ELWOOD MANOR SUB GREATER KENOSHA'S 4TH SUB PT NW 1/4 SEC 12 T 1 R 22
 V 959 P 452
 DDC#1402983
 DDC#1428656

MAIL TO ADDRESS
 DANIEL M & DEBORAH J MCGOVERN
 7918 931 AV

LEGAL DESCRIPTION
 N 29 FT OF LOT 341 & S 49 FT LOT 342 ELWOOD MANOR SUB GREATER KENOSHA 4TH SUB PT SEC 12 T 1 R 22 NW 1/4 1976 - 029

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
64-122-12-283-041-0	75.989	4" CONC R-R 25.09SF @ \$5.55 = \$139.75 ADDITIONAL 59.89AR @ \$.69 = \$41.26	\$181.01

PROPERTY ADDRESS
 JACOB C ISSAC, MARY JACOB & REEBA
 7932 931 AV

LEGAL DESCRIPTION
 LOT 337 & N 5 FT LOT 336 ELWOOD MANOR GREATER KENOSHA LAND CO'S SUB PT NW 1/4 SEC 12 T 1 R 22 1977
 V 967 P 667
 V4449 P 839
 DDC#1029928
 DDC#1452432

MAIL TO ADDRESS
 JACOB C ISSAC
 MARY K & REEBA JACOB
 KENOSHA, WI 53142-4618

LEGAL DESCRIPTION
 LOT 337 & N 5 FT LOT 336 ELWOOD MANOR GREATER KENOSHA LAND CO'S SUB PT NW 1/4 SEC 12 T 1 R 22 1977
 V 967 P 667
 V4449 P 839
 DDC#1029928
 DDC#1452432

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
04-122-12-455-082-0			
PROPERTY ADDRESS FRANKLIN C SCHULTZ 2721 83RD ST KENOSH, WI 53143-6243			
MAIL TO ADDRESS FRANKLIN C SCHULTZ 2721 83RD ST KENOSH, WI 53143-6243			
LEGAL DESCRIPTION SE 1/4 SEC 12 T 1 R 22 SUNNYSIDE PARK SUB UNIT NO 3 BLK 16 LOT 6 DOC#1435738			
NUMBER OF SQUARES CURB WORK DONE AT CITY COST			

PARCEL NUMBER	LOT	109,000	\$277.50
04-122-12-476-084-0			
PROPERTY ADDRESS RICHARD G & JUNE JOHNSON 8321 923 AV			
MAIL TO ADDRESS RICHARD G & JUNE JOHNSON 8321 23RD AVE KENOSH, WI 53143-6219			
LEGAL DESCRIPTION SE 1/4 SEC 12 T1 R22 SUNNYSIDE PARK SUB UNIT 3 BLK 10 N 55 FT OF LOT 31			
4" CONC R-R 50,00SF @ \$5.55 = \$277.50 ADDITIONAL 50,00SF @ \$.09 = \$.09 NUMBER OF SQUARES 2 2 OF 4 SQ DUE TO PWT			

PARCEL NUMBER	LOT	75,000	\$.00
04-122-12-476-095-0			
PROPERTY ADDRESS MICHELE & RITA DEFRENCO 8323 923 AV			
MAIL TO ADDRESS MICHELE & RITA J DEFRENCO 8323 23RD AVE KENOSH, WI 53143-6219			
LEGAL DESCRIPTION LOT 30 & S 3 FT OF LOT 31 SUNNYSIDE PARK SUB UNIT 3 PT SE 1/4 SEC 12 T 1 R 22 DOC#1477824			
ADDITIONAL 75,00SF @ \$.09 = \$.09 NUMBER OF SQUARES 3 3 SQ DUE TO PWT			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
04-122-12-477-023-0			
PROPERTY ADDRESS CRISTINA M OGLESBY 8355 025 AV			
MAIL TO ADDRESS CRISTINA M OGLESBY 8355 25TH AVE KENOSH, WI 53143			
LEGAL DESCRIPTION LOT 23 BLK 11 SUNNYSIDE PARK SUB UNIT #3 SE 1/4 SEC 12 T1 R 22 DOC#1174628 DOC#34449535 DOC#34454129 DOC#3472191 DOC#34577289 DOC#3462487 DOC#1688929			
NUMBER OF SQUARES 9 SQ DUE TO PWT			

PARCEL NUMBER	LOT	125,000	\$693.75
04-122-12-477-032-0			
PROPERTY ADDRESS KEITH A & ARIANDA I MINS 8414 023 AV			
MAIL TO ADDRESS KEITH A & ARIANDA I MINS 8414 23RD AVE KENOSH, WI 53143			
LEGAL DESCRIPTION LOT 14 BLK 11 SUNNYSIDE PARK SUB UNIT 3 PT SE 1/4 SEC 12 T 1 R 22 DOC#1092387 DOC#1954136 DOC#1216223 DOC#1223499 DOC#1688931			
4" CONC R-R 125,00SF @ \$5.55 = \$693.75 NUMBER OF SQUARES 5			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
04-122-12-477-834-9		289.889	\$1,113.75
PROPERTY ADDRESS			
CECILIA A LUCAS			
8492 923 AV			
LEGAL DESCRIPTION			
LOT 12 BLK 11 SUNNYSIDE PARK			
III PT SE 1/4 SEC 12 T1 R 22			
V 1654 P 347			
DOC#1262772			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
04-122-12-478-824-9		259.899	\$558.75
PROPERTY ADDRESS			
BRIAN G EVANS & MARSHA J RUSECKI			
8492 925 AV			
LEGAL DESCRIPTION			
LOT 12 BLK 12 SUNNYSIDE PARK			
UNIT 3 SE J SEC 12 T1 R22			
DOC#1196761			
DOC#1332141			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
04-122-13-282-095-0		199.889	\$555.00
PROPERTY ADDRESS			
ANITA M PARADISE			
6315 38TH AVE			
KENOSHA, WI 53142-7095			
LEGAL DESCRIPTION			
LOT 16 THE JETTETS SUB			
PT OF NW 1/4 SEC 13 T 1 R 22			
DOC#1585631			
DOC#1585633			
DOC#1614820			
DOC#1614821			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
04-122-13-236-089-0		289.889	\$416.25
PROPERTY ADDRESS			
MARK & TAMMY J CONFORTI			
8547 933 AV			
LEGAL DESCRIPTION			
LOT 89 TIRABASSI HEIGHTS SUB			
PT NE & NE 1/4 OF NW 1/4 SEC 13 T 1 R 22			
1992			
(PT 04-122-13-235-082, 04-122-13-236-082, 04-122-13-236-082, 04-122-13-216-081)			
V 1646 P 664			
DOC #831982			
DOC #839885			
DOC#1345647			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

ASSESSED S.F./LN.	TOTAL ASSESSMENT
PARCEL NUMBER 64-122-13-253-018-0	LOT 25,000
PROPERTY ADDRESS RAYMOND E & MARLENE V GLASER 8653 939 AV	4" CONC R-R 25,00SF @ \$5.55 = \$138.75
MAIL TO ADDRESS RAYMOND E & MARLENE V GLASER 8653 39TH AVE KENOSHA, WI 53142-5955	LEGAL DESCRIPTION 18584-233-4 PT OF NW 1/4 SEC 13 T 1 R 22 LOT 4 OF ELLISON/STAHL SOUTH SUB

PARCEL NUMBER 64-122-13-253-019-0	LOT 159,000	\$943.75
PROPERTY ADDRESS SHIRLEY S HALL 8659 39TH AVE KENOSHA, WI 53142-5955	4" CONC R-R 75,00SF @ \$5.55 = \$416.25	
MAIL TO ADDRESS SHIRLEY S HALL 8659 39TH AVE KENOSHA, WI 53142-5955	6" CONC R-R 75,00SF @ \$5.70 = \$427.50	
	LEGAL DESCRIPTION PT OF NW 1/4 SEC 13 T 1 R 22 LOT 5 OF ELLISON/STAHL SOUTH SUB	

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

ASSESSED S.F./LN.	TOTAL ASSESSMENT
PARCEL NUMBER 64-122-13-253-024-0	LOT 25,000
PROPERTY ADDRESS FRANK CONFORIT REVOCABLE TRUST 3807 VAN RD KENOSHA, WI 53148	4" CONC R-R 25,00SF @ \$5.55 = \$138.75
MAIL TO ADDRESS FRANK CONFORIT REVOCABLE TRU KENOSHA, WI 53148	LEGAL DESCRIPTION LOT 2 ALSO LOT 3 EXC THE E 70 FT OF ELLISON/STAHL SOUTH SUB PT OF NW 1/4 SEC 13 T 1 R 22 1976 V 551 P 585 V 1698 P 248 DDC#1498138 DDC#1526461 DDC#1621113 DDC#1621540

PARCEL NUMBER 64-122-13-278-016-0	LOT 399,000	\$3,672.50
PROPERTY ADDRESS CHRISTINA B HIRSCH 8659 933 AV	4" CONC R-R 250,00SF @ \$5.55 = \$1387.50	
MAIL TO ADDRESS CHRISTINA B HIRSCH 8659 33RD AVE KENOSHA, WI 53142-2556	6" CONC R-R 50,00SF @ \$5.70 = \$285.00	
	LEGAL DESCRIPTION LOT 120 THE ISETTS ESTATES 1ST ADD PT NW 1/4 SEC 13 T 1 R 22 DDC#46919613 DDC#1144165 DDC#1645949	

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

ASSESSED S. F./LN.	TOTAL ASSESSMENT	
PARCEL NUMBER 04-122-13-279-018-0	LOT 125.089	\$138.75
PROPERTY ADDRESS MICHAEL G & SARA J FREUND 8824 093 AV	4" CONC R-R ADDITIONAL NUMBER OF SQUARES 1 4 OF 5 SQ DUE TO PWT	25.09SF @ \$5.55 = \$138.75
MAIL TO ADDRESS MICHAEL G & SARA J FREUND 8824 33RD AVE KENOSHA, WI 53142 DOC#1286304		
LEGAL DESCRIPTION LOT 40 FOREST HAVEN SUB PT NW 1/4 SEC 13 T1 R22 V1699 P434 DOC#1286304		

ASSESSED S. F./LN.	TOTAL ASSESSMENT	
PARCEL NUMBER 04-122-13-313-019-0	LOT 125.089	\$138.75
PROPERTY ADDRESS SHIRLEY M SAVAGLIO 8986 093 AV	4" CONC R-R ADDITIONAL NUMBER OF SQUARES 1 4 OF 5 SQ DUE TO PWT	25.09SF @ \$5.55 = \$138.75
MAIL TO ADDRESS SHIRLEY M SAVAGLIO 8986 33RD AVE KENOSHA, WI 53142-5410		
LEGAL DESCRIPTION PARCEL "B" CSM #1303 V 1374 P 378 PT SW 1/4 SEC 13 T 1 R 22 1990 DOC#1340667 DOC#1651218		

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

ASSESSED S. F./LN.	TOTAL ASSESSMENT	
PARCEL NUMBER 04-122-14-156-006-0	LOT 59.089	\$285.00
PROPERTY ADDRESS PAUL J EHLERS & ELIZABETH ANN DUGA 4618 087 PL	6" CONC R-R NUMBER OF SQUARES 2	59.08SF @ \$5.70 = \$285.00
MAIL TO ADDRESS PAUL J EHLERS ELIZABETH ANN DUGAN KENOSHA, WI 53142-2413 DOC #1066740		
LEGAL DESCRIPTION PT NE 1/4 SEC 14 T 1 R 22 LOT 402 OF TSETTS ESTATES 10TH ADD 1976 V 957 P 335 DOC #1066740		

ASSESSED S. F./LN.	TOTAL ASSESSMENT	
PARCEL NUMBER 04-122-14-177-040-0	LOT 59.089	\$277.50
PROPERTY ADDRESS THOMAS J & VICKY L SPAROUNIS 8710 042 AV	4" CONC R-R NUMBER OF SQUARES 2	59.08SF @ \$5.55 = \$277.50
MAIL TO ADDRESS THOMAS J & VICKY L SPAROUNIS 8710 42ND AVE KENOSHA, WI 53142 DOC#1091853 DOC#1171300		
LEGAL DESCRIPTION 10504-251-1-17 LOT 300 TSETTS ESTATES SUB 7TH ADDITION 1974 PT NE 1/4 SEC 14 T1 R22 DOC#1091853 DOC#1171300		

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
64-122-14-179-026-0		175.089	\$392.59
PROPERTY ADDRESS ROBERT R RUFFOLO 8850 939 AV		4" CONC R-R 169.08SF @ \$5.55 = \$555.09 6" CONC R-R 75.08SF @ \$5.70 = \$427.50 NUMBER OF SQUARES 7	

MAIL TO ADDRESS
 ROBERT R RUFFOLO
 4128 80TH ST
 KENOSHA, WI 53142-7925

LEGAL DESCRIPTION
 PT NE 1/4 SEC 14 T 1 R 22 CON
 ON N LINE 80TH ST AT PT 49 04
 FT W OF CT 38TH AVE TH CONT N
 158.33 FT W 250 FT S 158 FT W
 TH E 250 FT TO P.O.B.
 4-0122-14-179-012 1976 PERMIT
 BAL
 V 1576 P 686
 V 1598 P 52
 DOC#1913658

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
64-122-14-179-027-0		169.089	\$558.75
PROPERTY ADDRESS JOANNE APARTMENTS 8825 941 AV		4" CONC R-R 75.08SF @ \$5.55 = \$416.25 6" CONC R-R 25.08SF @ \$5.70 = \$142.50 NUMBER OF SQUARES 4	

MAIL TO ADDRESS
 JOANNE APARTMENTS
 8828 431ST AVE
 KENOSHA, WI 53142

LEGAL DESCRIPTION
 LOTS 355, 356, 357 & 358 THE
 ISETTS ESTATES 9TH ADD & LOT
 369 ISETTS 8TH ADD PT NE 1/4
 SEC 14 T 1 R 22 1978
 V 981 P 219
 V 996 P 954
 DOC#1680797

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
05-123-05-228-020-0		275.089	\$1,248.75
PROPERTY ADDRESS SUSAN E MCCABE 6416 003 AV		4" CONC R-R 225.08SF @ \$5.55 = \$1248.75 ADDITIONAL 50.08SF @ \$.08 = \$4.00 NUMBER OF SQUARES 9 2 OF 11 SQ DUE TO PMT	

MAIL TO ADDRESS
 SUSAN E MCCABE
 PO BOX 656
 KENOSHA, WI 53141

LEGAL DESCRIPTION
 PT OF LOTS 17 & 18 BLK 3
 DUNKES 1ST EASTERN ADD
 CON AT NW COR OF 3RD AVE &
 65TH ST TH N 68.86 FT N 179.61
 FT S 66.7 FT E 179.47 FT TO PDB
 BEING PT OF NW 1/4 SEC 5 T1 R23
 V 1459 P 933
 DOC#1913586
 DOC#168654
 DOC#1167915
 DOC#1232121
 DOC#1584544

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
05-123-05-252-001-0		115.089	\$138.75
PROPERTY ADDRESS JAN D & MICHELLE L ANDERSON 6592 003 AV		4" CONC R-R 25.08SF @ \$5.55 = \$138.75 ADDITIONAL 30.08SF @ \$.08 = \$2.40 NUMBER OF SQUARES 1 2 OF 3 SQ & 40SF CARR WALK DUE TO PMT	

MAIL TO ADDRESS
 JAN D & MICHELLE L ANDERSON
 6592 3RD AVE
 KENOSHA, WI 53143

LEGAL DESCRIPTION
 PT OF LOT 19 BLK 3 DUNKES 1ST
 EASTERN ADD CON ON E LN LOT 19
 WHICH IS 18 FT N OF S LINE OF
 LOT TH W 100 FT N 84 FT TO S
 LINE OF 65TH ST E 100 FT S 84
 FT TO BEG NW 1/4 SEC 5 T1 R23
 DOC#989919
 DOC#1945239
 DOC#1175341
 DOC#1257225
 DOC#1294179 DEED IN ERROR
 DOC#1294179 CORRECTION

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
65-123-05-252-011-0		159.099	\$138.75
PROPERTY ADDRESS CHARLES J & ANITA R BROTHERS 6616 093 AV			
LEGAL DESCRIPTION N 1/4 OF LOT 29 B 3 DURKEE'S 1ST EASTERN ADD OF NW 1/4 SEC 5 T 1 R 23			
MAIL TO ADDRESS CHARLES J & ANITA R BROTHERS 6616 093RD AVE KENOSHA, WI 53143			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
65-123-05-252-012-0		75.099	\$427.50
PROPERTY ADDRESS DAVID T HANI 6628 093 AV			
LEGAL DESCRIPTION S 1/2 OF N 1/2 OF LOT 29 B 3 DURKEE'S 1ST EASTERN ADD OF NW 1/4 SEC 5 T 1 R 23 V 1647 P 363			
MAIL TO ADDRESS DAVID T & ELIZABETH R HANI 6628 3RD AVE KENOSHA, WI 53143			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
65-123-05-253-094-0		125.099	\$693.75
PROPERTY ADDRESS TROY MICHAEL WOODROW 6791 093 AV			
LEGAL DESCRIPTION THE S 161 FT OF LOTS 1 2 & 3 BLK 3 OF WULF'S SUB EXC THE S 13.5 FT PT NW 1/4 SEC 5 T1 R 23 DOC#1492755 (2997 PT V 1574 P 598 DOC #1079977 DOC #1293163 DOC #1453264 DOC #1526647 EASEMENT DOC #1658925 DOC #1794814			
MAIL TO ADDRESS TROY MICHAEL WOODROW 6791 3RD AVE KENOSHA, WI 53143			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
65-123-05-326-089-0		12.599	\$69.38
PROPERTY ADDRESS CARL GRAY 6785 993 AV			
LEGAL DESCRIPTION LOTS 8 & 9 BLK 1 STRONGS SUB ALSO THE S 13.5 FT OF LOTS 1 2 & 3 BLK 3 OF WULF'S SUB PT W 1/2 SEC 5 T 1 R 23 DOC#1492755 ALSO W 1/2 VAC ALLEY RES#253-82-V1124 P119 (2997 PT 05-123-05-253-082) V 1574 P 598 DOC#1079977 DOC#129 DOC#1453264 DOC#1492755 DOC#152 DOC#1526647 EASEMENT DOC#1658 DOC#1693922 DOC#16947143			
MAIL TO ADDRESS CARL GRAY 6785 3RD AVE KENOSHA, WI 53143			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
95-123-06-352-093-0		159.000	\$840.00
PROPERTY ADDRESS JUDITH J BARDEN 7121 093 AV			
LEGAL DESCRIPTION LOT 7 LAKE PARK ADD PT OF SW 1/4 SEC 5 T1 R23 DOC#1299673 DOC#1448719 DOC#1519137			
MAIL TO ADDRESS JUDITH J BARDEN 7121 3RD AVE KENOSHA, WI 53143-5598			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
95-123-06-135-021-0		359.000	\$1,387.50
PROPERTY ADDRESS BRADLY DOUGLAS PELLEGRIN 6309 919 AV			
LEGAL DESCRIPTION LOT 1 BLK 13 NICHOLS & HOLMES ADD TO VILLAGE OF SOUTHPORT PT NE 1/4 SEC 6 T 1 R 23 DOC#1561938 DOC#1562667 DOC#1576325 DOC#1702282			
MAIL TO ADDRESS BRADLY DOUGLAS PELLEGRIN 6309 16TH AVE KENOSHA, WI 53143			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
95-123-06-137-002-0		199.000	\$562.50
PROPERTY ADDRESS ARMANDO M & ALBA LUZ MORALES 6213 010 AV			
LEGAL DESCRIPTION NE 1/4 SEC 6 T 1 R 23 BLK 9 NICHOLS & HOLMES ADD S 40 FT OF LOT 7 V1253 P502 DOC#1476892			
MAIL TO ADDRESS ARMANDO M & ALBA LUZ MORALES 4914 43RD AVE KENOSHA, WI 53144			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
95-123-06-181-034-0		175.000	\$986.25
PROPERTY ADDRESS KEVIN T & LAUREL M FISCHER 6608 085 AV			
LEGAL DESCRIPTION E 63.4 FT OF LOT 5, BLK 2 PARK CT SUB OF HOLLISTER & HEBBS ADD BEING PT OP NE 1/4 SEC 6 T1 R23 V 1376 P 258 V 1487 P 261 DOC#1095281			
MAIL TO ADDRESS KEVIN T & LAUREL M FISCHER 6608 5TH AVE KENOSHA, WI 53143-5118			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
05-123-06-181-035-0		250.000	\$1,391.25
PROPERTY ADDRESS LJF PROPERTIES LLC 6609 095 AV			
LEGAL DESCRIPTION E 63.4 FT OF LOTS 3 & 4 BLK 2 PARK COURT SUB OF HOLLISTER & MEERS ADD PT OF NE 1/4 SEC 6 T 1 R 23 DOC#1697506 DEED IN ERROR DOC#1720997			
MAIL TO ADDRESS LJF PROPERTIES LLC 7744 3RD AVE KENOSHA, WI 53143-6003			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
05-123-06-182-008-0		125.000	\$420.00
PROPERTY ADDRESS KEVIN CANTWELL 6610 095 AV			
LEGAL DESCRIPTION E 83.6 FT OF LOT 7 B2 PARK CT SUB OF HOLLISTER & MEERS ADD BEING PT OF NE 1/4 SEC 6 T 1 R 23 V 1364 P 420			
MAIL TO ADDRESS KEVIN CANTWELL 6610 5TH AVE KENOSHA, WI 53143			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
05-123-06-258-020-0		450.000	\$897.50
PROPERTY ADDRESS JAMES R DEGRAFFENREID 6630 020 AV			
LEGAL DESCRIPTION LOT 1 B 2 QUINTON'S SUB OF B 22 & PT OF B 24 DE BONDS SUB EXC THE N 37 FT BEING PT OF NW 1/4 SEC 6 T 1 R 23 DOC#1024930			
MAIL TO ADDRESS JAMES R DEGRAFFENREID 6630 20TH AVE KENOSHA, WI 53143			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
05-123-06-279-031-0		225.000	\$1,260.00
PROPERTY ADDRESS KIMBERLY A BENEFIEL 1616 067 ST			
LEGAL DESCRIPTION NW 1/4 SEC 6 T1 R23 BEG AT SW COR LOT 44 BLK 30 BONDS SUB TH N ALG E LN 17TH AVE 16FT TH E 96.16 FT (REC AS 100 FT) TO E LN LOT TH S 16 FT TO NE COR LOT 45 TH S ALG E LN LOT 34.95 FT TO N LN 67TH ST TH W ALG ROW 96.32 FT TO E LN 17TH AVE TH N ALG E LN 32.56 FT TO POB (1995 PT 05-123-06-279-017) DOC #954657 DOC#1307672			
MAIL TO ADDRESS KIMBERLY A BENEFIEL 1616 67TH ST KENOSHA, WI 53143			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

ASSESSED S.F./LN.	TOTAL ASSESSMENT
PARCEL NUMBER 05-123-06-387-083-0	175.088
LOT 175.088	\$971.25
PROPERTY ADDRESS ANGELA S CARROLL 1421 68TH ST KENOSHA, WI 53143	4" CONC R-R 175.088SF @ \$5.55 = \$971.25
MAIL TO ADDRESS ANGELA S CARROLL 1421 68TH ST KENOSHA, WI 53143	LEGAL DESCRIPTION PT OF SW 1/4 SEC 6 T 1 R 23 CON 289 FT W OF W LINE OF 14TH AVE ON S LINE OF 68TH ST TH S TO ALLEY W 35 FT N 125 FT E TO POB DOC#1523911

ASSESSED S.F./LN.	TOTAL ASSESSMENT
PARCEL NUMBER 05-123-06-385-028-0	139.686
LOT 139.686	\$1,093.75
PROPERTY ADDRESS MARK A ZUHLKE 7486 618 AV KENOSHA, WI 53143-5345	4" CONC R-R 139.688SF @ \$5.55 = \$1,093.75
MAIL TO ADDRESS MARK A ZUHLKE 7486 618 AV KENOSHA, WI 53143-5345	LEGAL DESCRIPTION LOT 63 BLK 2 LINCOLN PARK SUB PT OF SW 1/4 SEC 6 T 1 R 23 V 1693 P 126 DOC#1216586

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

ASSESSED S.F./LN.	TOTAL ASSESSMENT
PARCEL NUMBER 05-123-06-387-089-0	59.089
LOT 59.089	\$1,093.75
PROPERTY ADDRESS JOHN P & CATHY A DELANEY 7418 614 AV KENOSHA, WI 53143-5454	4" CONC R-R 325.088SF @ \$5.55 = \$1,803.75
MAIL TO ADDRESS JOHN P & CATHY A DELANEY 7418 14TH AVE KENOSHA, WI 53143-5454	LEGAL DESCRIPTION LOT 5 ELMHURST SUB BEING PT OF SW 1/4 SEC 6 T 1 R 23 DOC#1895215

ASSESSED S.F./LN.	TOTAL ASSESSMENT
PARCEL NUMBER 05-123-06-388-084-0	489.089
LOT 489.089	\$1,093.75
PROPERTY ADDRESS KATHERINE R & CHRISTOPHER WADE 7483 614 AV KENOSHA, WI 53143	4" CONC R-R 325.088SF @ \$5.55 = \$1,803.75
MAIL TO ADDRESS KATHERINE R & CHRISTOPHER WADE 7483 14TH AVE KENOSHA, WI 53143	LEGAL DESCRIPTION SW 1/4 SEC 6 T 1 R 23 CON AT SE COR OF 14TH AVE & 74TH ST TH S 43.92 FT E 99.95 FT N 49 FT TO S LINE OF 74TH ST W 169 FT TO POB V 1368 P 828 V 1639 P 575 DOC#1899554 DOC#1446642

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

ASSESSED S.F./LN.	TOTAL ASSESSMENT
100.000	\$555.00

PARCEL NUMBER 05-123-06-406-017-0
 LOT 100.000
 4" CONC R-R 100.00SF @ \$5.55 = \$555.00
 PROPERTY ADDRESS ALEXANDRIA S WALLIS & NICHOLAS J W
 7092 005 AV
 NUMBER OF SQUARES 4

MAIL TO ADDRESS ALEXANDRIA S & NICHOLAS WALLIS
 6902 5TH AVE
 KENOSHA, WI 53143-5511
 DCC#1413666

LEGAL DESCRIPTION LOT 57 ALLENDALE SUB BEING PT OF SE 1/4 SEC 6 T 1 R 23
 DCC#1159770
 DCC#1413666

ASSESSED S.F./LN.	TOTAL ASSESSMENT
.589	\$.00

PARCEL NUMBER 05-123-06-407-017-0
 LOT .589
 ADDITIONAL NUMBER OF SQUARES .589SF @ \$.00 = \$.00
 PROPERTY ADDRESS DAVID W JACKSON
 7092 005 AV
 .5 SQ DUE TO PWT

MAIL TO ADDRESS DAVID W JACKSON
 7092 005 AV
 KENOSHA, WI 53143

LEGAL DESCRIPTION LOT 75 & N 1 FT OF LOT 76 ALLENDALE SUB PT OF SE 1/4 SEC 6 T 1 R 23
 DCC#1258514
 DCC#14563113

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

ASSESSED S.F./LN.	TOTAL ASSESSMENT
237.500	\$142.50

PARCEL NUMBER 05-123-06-407-018-0
 LOT 237.500
 6" CONC R-R 25.00SF @ \$5.70 = \$142.50
 PROPERTY ADDRESS THOMAS JR & MARY REED
 7092 005 AV
 212.50AR @ \$.00 = \$.00
 8.5 OF 9.5 SQ DUE TO PWT
 NUMBER OF SQUARES 1

MAIL TO ADDRESS THOMAS JR & MARY REED
 7092 5TH AVE
 KENOSHA, WI 53143

LEGAL DESCRIPTION LOT 74 ALLENDALE SUB BEING PT OF SE 1/4 SEC 6 T 1 R 23
 V 1509 P 312

ASSESSED S.F./LN.	TOTAL ASSESSMENT
75.000	\$416.25

PARCEL NUMBER 05-123-06-433-012-0
 LOT 75.000
 4" CONC R-R 75.00SF @ \$5.55 = \$416.25
 PROPERTY ADDRESS RONALD J & CRYSTAL L TITONE
 930 009 ST
 NUMBER OF SQUARES 3

MAIL TO ADDRESS RONALD J & CRYSTAL L TITONE
 930 009 ST
 KENOSHA, WI 53143-5410

LEGAL DESCRIPTION PT OF LOTS 4 & 5 BLK 1 JACKSON'S SUB SE 1/4 SEC 6 T 1 R 23 CON AT SW COR OF LOT 4 TH E 55 FT N'LY TO NE COR OF LOT 4 W TO NW COR OF LOT S'LY 150 FT TO POB
 V1604 P339
 DCC#1642831
 DCC#1131939
 DCC#1327296

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER 65-123-06-454-020-0
 PROPERTY ADDRESS FERNANDA ARIZOLA KENOSHA, WI 53143
 7308 610 AV
 LOT 7308 610 AV
 ASSESSED S.F./LN. 225.000
 TOTAL ASSESSMENT \$285.00
 6" CONC R-R 50.00SF @ \$5.70 = \$285.00
 ADDITIONAL 175.00AR @ \$.00 = \$.00
 NUMBER OF SQUARES 2
 6 OF 8 SQ & 25SF CARR WALK DUE TO PWT

LEGAL DESCRIPTION
 LOT 4 BLK 3 J BUTCHER'S SUB
 PT OF SE 1/4 SEC 6 T 1 R 23
 ALSO PT OF E 1/2 VACATED ALLEY
 RES#14-97 DOC#1648587
 (1998 LOT LINE ADJUSTMENT)
 DOC #1034533
 DOC #1121745
 DOC #1579676
 DOC #1599598
 DOC #1614935

PARCEL NUMBER 65-123-06-455-023-0
 PROPERTY ADDRESS MICHAEL J NICOLAZZI 7412 008 AV
 MAIL TO ADDRESS MICHAEL J NICOLAZZI 7921 21ST AVE KENOSHA, WI 53143
 LOT 125.000
 4" CONC R-R 125.00SF @ \$5.55 = \$693.75
 NUMBER OF SQUARES 5
 LEGAL DESCRIPTION
 PT OF SE 1/4 SEC 6 T 1 R 23 COM
 ON W LINE OF 8TH AV 75 FT N OF
 N LINE 75TH ST TH N 40 FT TH W
 114.5 FT S 40 FT TH E 114.5 FT
 TO PUB
 V 1543 P 936
 DOC#1090210
 DOC#1090886
 DOC#1413674
 DOC#1706747
 DOC#1716528
 DOC#1720924

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER 65-123-06-455-024-0
 PROPERTY ADDRESS ROBERT M LAMACCHIA 7406 008 AV
 MAIL TO ADDRESS ROBERT M LAMACCHIA 1202 60TH ST KENOSHA, WI 53140
 LOT 125.000
 ASSESSED S.F./LN. 125.000
 TOTAL ASSESSMENT \$705.00
 4" CONC R-R 50.00SF @ \$5.55 = \$277.50
 6" CONC R-R 75.00SF @ \$5.70 = \$427.50
 NUMBER OF SQUARES 5

LEGAL DESCRIPTION
 PT OF SE 1/4 SEC 6 T 1 R 23
 COM AT A PT WHICH IS 330 FT E
 OF SW COR OF BUTCHER'S SUB &
 215 FT N OF N LINE OF 75TH ST
 TH E 114 1/2 FT N 45 FT W 114
 1/2 FT S 45 FT TO BEG
 V 567 P 515
 DOC#1627894
 DOC#1627595

PARCEL NUMBER 65-123-06-455-025-0
 PROPERTY ADDRESS ANGELA E MERCER 7402 008 AV
 MAIL TO ADDRESS ANGELA E MERCER 7402 8TH AVE KENOSHA, WI 53143-5404
 LOT 350.000
 4" CONC R-R 250.00SF @ \$5.55 = \$1387.50
 ADDITIONAL 100.00SF @ \$.00 = \$.00
 NUMBER OF SQUARES 10
 4 OF 14 SQ DUE TO PWT

LEGAL DESCRIPTION
 W 114 1/2 FT OF LOT 42 OF
 BUTCHER'S & HOWARD'S SUB ALSO
 COM AT SW COR OF LOT 42 TH
 S'LY 45 FT E'LY 114 1/2 FT
 N'LY 45 FT W'LY TO BEG BEING
 PT OF SE 1/4 SEC 6 T 1 R 23
 DOC #980146
 DOC #1662569
 DOC#1322447

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
05-123-06-479-011-0	59.000	59.00SF @ \$.00 =	\$.00

MAIL TO ADDRESS
 NICHOLAS J WALLIS
 PO BOX 586584
 PLEASANT PRATRIE, WI 53158

LEGAL DESCRIPTION
 LOT 178 ALLENDALE SUB PT
 OF SE 1/4 SEC 6 T 1 R 23
 DOC#1090409
 DOC#1591938

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
05-123-06-479-009-0	200.000	4" CONC R-R 150.00SF @ \$5.55 = \$822.50 6" CONC R-R 50.00SF @ \$5.70 = \$285.00 NUMBER OF SQUARES 8	\$1,117.50

MAIL TO ADDRESS
 DANIEL MARCICH
 7493 8TH AVE
 KENOSHA, WI 53143

LEGAL DESCRIPTION
 PT OF SE 1/4 SEC 6 T 1 R 23 COM
 ON E LINE OF 8TH AVE 293.55FT
 N OF N LINE OF 75TH ST TH N 35
 FT E 132 FT S 35 FT W 132 FT
 TO BEG
 DOC #1096202
 DOC #155834 TOD

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
05-123-06-479-010-0	25.000	4" CONC R-R 25.00SF @ \$5.55 = \$138.75	\$138.75

MAIL TO ADDRESS
 DAVID W & DEBORAH A MICROBERTS
 3806 5TH AVE
 KENOSHA, WI 53140

LEGAL DESCRIPTION
 PT OF SE 1/4 SEC 6 T 1 R 23 COM
 ON E LINE OF 8TH AVE 259.4 FT N
 OF N LINE OF 75TH ST TH N 34.15
 FT E 132 FT S 34.15 FT W 132 TO
 BEG
 V1369 P 36
 DOC #989318
 DOC#1190466
 DOC#1356995
 DOC#1471919

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
05-123-06-479-011-0	200.000	4" CONC R-R 200.00SF @ \$5.55 = \$1110.00 NUMBER OF SQUARES 8	\$1,110.00

MAIL TO ADDRESS
 RAFAEL A & SANDRA A BELTRAN
 7499 908 AV

LEGAL DESCRIPTION
 PT OF SE 1/4 SEC 6 T 1 R 23 COM
 ON E LINE OF 8TH AVE 224.3 FT
 N OF N LINE OF 75TH ST TH N 35
 FT E TO A/P 186 FT W OF W
 LINE OF 7TH AV S PAR'L TO W
 LINE OF 7TH AVE 35 FT W TO BEG

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEMALK
 RUN DATE: 06/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
95-123-06-479-012-0		250.0000	\$1,387.50
4" CONC R-R 250.00SF @ \$5.55 = \$1387.50			
NUMBER OF SQUARES 10			
PROPERTY ADDRESS NITA J BARTRIBEAU (LIFE) RICHARD A 7411 608 AV			
MAIL TO ADDRESS NITA J BARTRIBEAU 7411 8TH AVE KENOSHA, WI 53143			
LEGAL DESCRIPTION PT OF SE 1/4 SEC 6 T 1 R 23 COM ON E LINE OF 8TH AVE AT A PT 182.4 FT N OF N LINE OF 75TH ST TH E 182.5 FT MORE OR LESS TH N 42 FT THE W 135.5 FT TH S 42 FT TO POB V 93 P 617 FOR RD V 1149 P 595 DOC#1668158 (TOD) DOC#1664011 DOC#1668035			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
95-123-06-479-013-0		125.0000	\$697.50
4" CONC R-R 100.00SF @ \$5.55 = \$555.00			
6" CONC R-R 25.00SF @ \$5.70 = \$142.50			
NUMBER OF SQUARES 5			
PROPERTY ADDRESS JOSEPH PAULIN REVOCABLE TRUST DTD 7415 608 AV			
MAIL TO ADDRESS JOSEPH PAULIN 7419 8TH AVE KENOSHA, WI 53143-5463			
LEGAL DESCRIPTION PT OF SE 1/4 SEC 6 T 1 R 23 COM ON E LINE OF 8TH AVE 146.4 FT N OF N LINE OF 75TH ST TH E 142.5 FT N 28 FT W 13 FT N 8 FT N 129.5 FT S TO BEG DOC#1245705 DOC#1251462			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEMALK
 RUN DATE: 06/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
65-123-06-479-014-0		100.0000	\$555.00
4" CONC R-R 100.00SF @ \$5.55 = \$555.00			
NUMBER OF SQUARES 4			
PROPERTY ADDRESS JOSEPH PAULIN REVOCABLE TRUST DTD 7419 608 AV			
MAIL TO ADDRESS JOSEPH PAULIN 7419 8TH AVE KENOSHA, WI 53143-5463			
LEGAL DESCRIPTION PT OF SE 1/4 SEC 6 T 1 R 23 COM ON E LINE OF 8TH AVE 110.4 FT N OF N LINE OF 75TH ST TH E 142.5 FT N 36 FT W 142.5 FT S TO POB DOC#1245704 DOC#1251462			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
06-123-07-165-022-0		150.0000	\$840.00
4" CONC R-R 100.00SF @ \$5.55 = \$555.00			
6" CONC R-R 50.00SF @ \$5.70 = \$285.00			
NUMBER OF SQUARES 6			
PROPERTY ADDRESS EDWARD A CRUEY JR & JUANITA S CRUE 7730 905 AV			
MAIL TO ADDRESS EDWARD A JR & JUANITA S CRUEY 7730 5TH AVE KENOSHA, WI 53143			
LEGAL DESCRIPTION LOT 42 LAKE SHORE SUB BEING PT OF NE 1/4 SEC 7 T 1 R 23 V 1454 P 986 DOC#1590995 DOC#1608566			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
06-123-07-127-095-0		209,000	\$1,110.00
PROPERTY ADDRESS		4" CONC R-R 209,00SF @ \$5.55 = \$1110.00	
GREGORY E JONES		NUMBER OF SQUARES 0	
7527 010 AV			

MAIL TO ADDRESS
 GREGORY E JONES
 7527 10TH AVE
 KENOSHA, WI 53143-0942

LEGAL DESCRIPTION
 LOTS 61 & 62 PENNING & BUTCHERS
 LIBERTY SUB PT OF NE 1/4 SEC 7
 T 1 R 23
 (2009 COMB 06-123-07-127-019 & 020
 DDC#4092618
 DDC#4037051
 DDC#4545844
 DDC#4570910

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
06-123-07-133-001-0		1524,000	\$6,399.45
PROPERTY ADDRESS		4" CONC R-R 999,00SF @ \$5.55 = \$5544.45	
UNIFIED SCHOOL DISTRICT # 1		6" CONC R-R 150,00SF @ \$5.70 = \$855.00	
723 076 ST		ADDITIONAL 375,00AR @ \$.00 = \$.00	
		NUMBER OF SQUARES 103	

MAIL TO ADDRESS
 KENOSHA UNIFIED SCHOOL DIST 1
 3600 52ND ST
 KENOSHA, WI 53144-3947

LEGAL DESCRIPTION
 NE 1/4 SEC 7 T 1 R 23 COM SW
 COR 7 AVE & 76TH ST TH S
 302.26 FT T PT 15.99 FT N OF S
 LINE OF ST JAMES CEMETERY RD W
 162 FT S2 DEG 44 MIN W 23.96
 FT WLY 251.5 FT TO NW COR OF
 CEM NWLY 190.52 TO PT S OF SW
 COR L47 PENNING & BUTCHERS
 LIBERTY SUB W 141.5 FT N 378
 FT E 812.57 FT TO BEG IN CL
 LOTS 47 TO 57 OF PENNING &
 BUTCHERS SUB SOUTHPORT SCHOOL
 SITE 4699-1 & 4757

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
06-123-07-133-001-0		999,000	\$5,544.45
PROPERTY ADDRESS		4" CONC R-R 999,00SF @ \$5.55 = \$5544.45	
UNIFIED SCHOOL DISTRICT # 1		NUMBER OF SQUARES 103	
723 076 ST			

MAIL TO ADDRESS
 KENOSHA UNIFIED SCHOOL DIST 1
 3600 52ND ST
 KENOSHA, WI 53144-3947

LEGAL DESCRIPTION
 NE 1/4 SEC 7 T 1 R 23 COM SW
 COR 7 AVE & 76TH ST TH S
 302.26 FT T PT 15.99 FT N OF S
 LINE OF ST JAMES CEMETERY RD W
 162 FT S2 DEG 44 MIN W 23.96
 FT WLY 251.5 FT TO NW COR OF
 CEM NWLY 190.52 TO PT S OF SW
 COR L47 PENNING & BUTCHERS
 LIBERTY SUB W 141.5 FT N 378
 FT E 812.57 FT TO BEG IN CL
 LOTS 47 TO 57 OF PENNING &
 BUTCHERS SUB SOUTHPORT SCHOOL
 SITE 4699-1 & 4757

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER 06-123-07-133-001-0 LOT 427.000 ASSESSED \$2,369.85
 PROPERTY ADDRESS 4" CONC R-R 427.00SF @ \$5.55 = \$2369.85
 UNIFIED SCHOOL DISTRICT # 1 NUMBER OF SQUARES 103
 723 076 ST

MAIL TO ADDRESS LEGAL DESCRIPTION
 KENOSHA UNIFIED SCHOOL DIST 1 NE 1/4 SEC 7 T 1 R 23 CON SW
 3060 52ND ST COR 7 AVE & 70TH ST TH S
 KENOSHA, WI 53144-3947 302.26 FT T PT 10.99 FT N OF S
 LINE OF ST JAMES CEMETERY RD W
 162 FT S2 DEG 44 MIN W 23.96
 FT WLY 251.5 FT TO NW COR OF
 CEM NMLY 190.52 TO PT S OF SW
 COR L47 PENNING & BUTCHERS
 LIBERTY SUB W 141.5 FT N 378
 FT E 812.57 FT TO BEG IN CL
 LOTS 47 TO 57 OF PENNING &
 BUTCHERS SUB SOUTHPORT SCHOOL
 SITE 4089-1 & 4757

PARCEL NUMBER 06-123-07-133-002-0 LOT 175.000 \$281.25
 PROPERTY ADDRESS 4" CONC R-R 25.00SF @ \$5.55 = \$138.75
 LAWRENCE A KROES 6" CONC R-R 25.00SF @ \$5.70 = \$142.50
 7641 010 AV ADDITIONAL 125.00AR @ \$.00 = \$.00
 NUMBER OF SQUARES 2
 MAIL TO ADDRESS LEGAL DESCRIPTION
 LAWRENCE A KROES LOT 46 PENNING & BUTCHERS
 7641 10TH AVE LIBERTY SUB BEING PT OF NE 1/4
 KENOSHA, WI 53143-0944 SEC 7 T 1 R 23

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER 06-123-07-133-003-0 LOT 100.000 ASSESSED \$840.00
 PROPERTY ADDRESS 4" CONC R-R 100.00SF @ \$5.55 = \$555.00
 JEREMY E SMITH 6" CONC R-R 50.00SF @ \$5.70 = \$285.00
 7645 010 AV NUMBER OF SQUARES 6

MAIL TO ADDRESS LEGAL DESCRIPTION
 JEREMY E SMITH LOT 45 PENNING & BUTCHERS
 1464 NORMANDY DR LIBERTY SUB PT OF NE 1/4
 CHULA VISTA, CA 91913-3903 SEC 7 T 1 R 23
 DOC #092065
 DOC#1239191
 DOC#1461071

PARCEL NUMBER 06-123-07-133-004-0 LOT 50.000 \$285.00
 PROPERTY ADDRESS 6" CONC R-R 50.00SF @ \$5.70 = \$285.00
 JOSEPH R HAZELTON & KATHRYN M VITTE NUMBER OF SQUARES 2
 7047 010 AV

MAIL TO ADDRESS LEGAL DESCRIPTION
 JOSEPH R & KATHRYN M HAZELTON LOT 44 PENNING & BUTCHERS
 KATHRYN M VITTE-HAZELTON LIBERTY SUB BEING PT OF NE 1/4
 KENOSHA, WI 53143-0944 SEC 7 T 1 R 23
 V 1605 P 266
 DOC #987694

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
66-123-07-133-005-0	150.000		\$285.00
PROPERTY ADDRESS			
ROBERT J ANDERSON			
7793 010 AV			
LEGAL DESCRIPTION			
LOT 43 PENNING & BUTCHERS			
LIBERTY SUB PT OF NE 1/4			
SEC 7 T 1 R 23			
V 1408 P 525			
DOC#1539288			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
66-123-07-133-006-0	150.000		\$840.00
PROPERTY ADDRESS			
DAVID KLEIN & DAVE KLEIN			
7707 010 AV			
LEGAL DESCRIPTION			
LOT 42 PENNING & BUTCHERS			
LIBERTY SUB PT OF NE 1/4			
SEC 7 T 1 R 23			
DOC#1128689			
DOC#1586985			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
66-123-07-133-007-0	225.000		\$4,256.25
PROPERTY ADDRESS			
JUSTIN R LAHLER & SAMANTHA M CUNNI			
7711 010 AV			
LEGAL DESCRIPTION			
LOT 41 PENNING & BUTCHERS			
LIBERTY SUB PT OF NE 1/4			
SEC 7 T 1 R 23			
V 1385 P 516			
V 1571 P 135			
V 1675 P 470			
DOC#1296949			
DOC#1591588			
DOC#1593062			
DOC#1597443			
DOC#1603129			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
66-123-07-133-007-0	225.000		\$4,256.25
PROPERTY ADDRESS			
JUSTIN R LAHLER & SAMANTHA M CUNNI			
7711 010 AV			
LEGAL DESCRIPTION			
LOT 41 PENNING & BUTCHERS			
LIBERTY SUB PT OF NE 1/4			
SEC 7 T 1 R 23			
V 1385 P 516			
V 1571 P 135			
V 1675 P 470			
DOC#1296949			
DOC#1591588			
DOC#1593062			
DOC#1597443			
DOC#1603129			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK

RUN DATE: 04/14/14
FOR PROJECT: 14-128

ASSESSED S.F./LN. TOTAL ASSESSMENT

PARCEL NUMBER 7730 697 AV LOT 275.069
 6" CONC R-R 75.98SF @ \$5.70 = \$427.50
 ADDITIONAL NUMBER OF SQUARES 3
 8 OF 11 SQ DUE TO PWT \$.00

MAIL TO ADDRESS
 ROBERT A & CELIA SANDOVAL
 7730 7TH AVE
 KENOSHA, WI 53143

LEGAL DESCRIPTION
 PT OF NE 1/4 SEC 7 T1 R23 CON
 ON W LINE OF 7TH AVE 836.34FT
 S OF S LINE OF 75TH ST TH S 59
 FT W TO E LINE OF CEMETERY N S9
 FT E TO BEG EXC CON AT C/L 7TH
 AVE 347 FT N OF S LN OF N 1/2 OF
 1/4 TH N 52.98 FT TO POB TH CONT
 N 4.47 FT TH W 156.01 FT TH SW'LY
 3.91 FT TH E 151.4 FT TO POB SUBJ
 TO RD OVER E DOC#1398333
 (2985 LOT LINE ADJUSTMENT)
 DOC#1943368 LOT LINE ADJ
 DOC#1398333
 DOC#1491119 CORRECTION

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK

RUN DATE: 04/14/14
FOR PROJECT: 14-128

ASSESSED S.F./LN. TOTAL ASSESSMENT

PARCEL NUMBER 7718 7TH AVE LOT 299.099
 4" CONC R-R 125.98SF @ \$5.55 = \$693.75
 ADDITIONAL NUMBER OF SQUARES 5
 3 OF 8 SQ DUE TO PWT \$.00

MAIL TO ADDRESS
 BERNARD R & DAMN M PROUTY
 7718 7TH AVE
 KENOSHA, WI 53143

LEGAL DESCRIPTION
 NE 1/4 SEC 7 T1 R23 BEG ON W LN
 7TH AVE AT SE COR OF SOUTHPORT
 SCHOOL PROPERTY TH S'LY ALG 7TH
 AVE 19.22 FT TO AN ANGLE PT TH CON
 S'LY ALG 7TH AVE 55.73 FT TH W'LY
 8.28 FT TH N LY 41.99 FT TH W'LY
 PARL TO SCHOOL PROPERTY 49.08 FT T
 N PARL TO 7TH AVE 23.95 FT TH E LY
 ALG SCHOOL POP 162 FT TO POB
 DOC#1934161
 DOC#1041360 (1997 LOT LINE ADJUSTM

PARCEL NUMBER 06-123-07-134-010-0 LOT 975.099 \$4,728.75
 4" CONC R-R 775.98SF @ \$5.55 = \$4391.25
 6" CONC R-R 125.98SF @ \$5.70 = \$427.50
 ADDITIONAL NUMBER OF SQUARES 34 \$.00

MAIL TO ADDRESS
 KENOSHA ACHIEVEMENT CENTER INC
 1218 79TH ST
 KENOSHA, WI 53143-6111

LEGAL DESCRIPTION
 PT NE 1/4 SEC 7 T 1 R 23 CON
 695.07 FT N & 120 FT E OF SW
 COR 1/4 TH N 119.84 FT THE E
 642.72 FT TO W LN C/MW RR TH
 S'LY ALONG RR 122.7 FT TH W
 668.99 FT W/L TO BEG
 COMBINATION 1982 V 1188 P 107

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEMALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
06-123-07-154-011-0	125.000		
PROPERTY ADDRESS	ADDITIONAL NUMBER OF SQUARES		
DAVID HOLDEN ENTERPRISES LLC	125.00SF @ \$.90 =		\$.00
7855 SHERIDAN RD	5 SQ DUE TO PWT		
7855 SHE RD			

LEGAL DESCRIPTION
 PT NE 1/4 SEC 7 T 1 R 23 COM
 695.07 FT N FROM SW COR OF SD
 1/4 TH N ALONG W LN OF SD 1/4
 SEC 158.91 FT TH E 252 FT TH S
 39 FT TH W 127.88 FT TH S
 119.84 FT TH W 113 FT TO POB
 V1558 P534 .1993 .541 AC
 DDC#115371 (DEED IN ERROR)
 DDC#1157049 (DEED IN ERROR)
 DDC#133203 (ASSIGN LAND CONTRACT)
 DDC#1388634
 DDC#1422316 CORRECTION
 DDC#1722367

PARCEL NUMBER	LOT		
06-123-07-202-020-0	200.000		\$697.50
PROPERTY ADDRESS	ADDITIONAL NUMBER OF SQUARES		
JOHN W & CLAUDIA M LANGSDORF	4" CONC R-R 190.00SF @ \$.55 =		\$555.00
7520 014 AV	6" CONC R-R 25.00SF @ \$.70 =		\$142.50
	ADDITIONAL 75.00AR @ \$.90 =		\$.00
	NUMBER OF SQUARES 5		

LEGAL DESCRIPTION
 LOT 3 LAMBRECHT SUB PT
 OF NW 1/4 SEC 7 T1 R23
 V 1461 P 658
 DDC #1283267
 DDC #1403284

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEMALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
06-123-07-202-021-0	200.000		\$791.25
PROPERTY ADDRESS	ADDITIONAL NUMBER OF SQUARES		
LAURIE TAPPA	4" CONC R-R 75.00SF @ \$.55 =		\$416.25
7516 014 AV	6" CONC R-R 50.00SF @ \$.70 =		\$285.00
	ADDITIONAL 75.00AR @ \$.90 =		\$.00
	NUMBER OF SQUARES 5		

MAIL TO ADDRESS
 LAURIE TAPPA
 7516 14TH AVE
 KENOSHA, WI 53143-1500

LEGAL DESCRIPTION
 LOT 2 LAMBRECHT SUB BEING PT
 OF NW 1/4 SEC 7 T 1 R 23
 V 1699 P 30

PARCEL NUMBER	LOT		
06-123-07-226-009-0	175.000		\$416.25
PROPERTY ADDRESS	ADDITIONAL NUMBER OF SQUARES		
DEBRA J STEFANI	4" CONC R-R 75.00SF @ \$.55 =		\$416.25
7539 019 AV	ADDITIONAL 100.00SF @ \$.90 =		\$.00
	NUMBER OF SQUARES 3		
	4 OF 7 SQ DUE TO PWT		

MAIL TO ADDRESS
 DEBRA J STEFANI
 7539 19TH AVE
 KENOSHA, WI 53143-5842

LEGAL DESCRIPTION
 LOT 6 IN CABLE SUB PT NW 1/4
 SEC 7 T1 R23 A RE-DIV OF LOT
 6 IN SELMA SUB
 V 1540 P 82
 DDC#1335907
 DDC#1302935

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
66-123-07-227-001-0		125.000	
PROPERTY ADDRESS		ADDITIONAL NUMBER OF SQUARES	
MARTHA C PIERY TR OF MARTHA C PIER 5 SQ DUE TO PWT		125.00SF @ \$.00 =	\$.00
7504 19TH AVE			
KENOSHA, WI 53143-5843			
LEGAL DESCRIPTION			
PT OF NW 1/4 SEC 7 T 1 R 23			
LOT 12 CABLE SUB A RE-DIV OF			
LOT 5 IN SELWA SUB			
D0C#1628927			
D0C#1553429			

PARCEL NUMBER	LOT	75.000	
66-123-07-227-017-0			
PROPERTY ADDRESS		ADDITIONAL NUMBER OF SQUARES	
RUTH E SCHROEDER (LIFE ESTATE) CRA 3 SQ DUE TO PWT		75.00SF @ \$.09 =	\$.09
7520 019 AV			
LEGAL DESCRIPTION			
THE N 24 FT OF LOT 9 & ALL OF			
LOT 10 IN CABLE SUB A RE-DIV			
OF LOTS 5 & 6 IN PLAT OF SELWA			
NW 1/4 SEC 7 T 1 R 23			
D0C#1077288			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
66-123-07-251-021-0		100.000	
PROPERTY ADDRESS		ADDITIONAL NUMBER OF SQUARES	
ANNE T KINSEY (LIFE EST) MARY LYNN 4 SQ DUE TO PWT		100.00SF @ \$.00 =	\$.00
7820 018 AV			
LEGAL DESCRIPTION			
LOT 73 WORLD WAR 2 VETERANS			
HOMES 1ST SUB PART NW 1/4			
SEC 7 T 1 R 23			
D0C#1255498			
D0C#1442599			

PARCEL NUMBER	LOT	150.000	\$277.50
66-123-07-251-022-0			
PROPERTY ADDRESS		ADDITIONAL NUMBER OF SQUARES	
MELISSA C ROACH-ZIEVERS 1/2 & FRED		150.00SF @ \$1.85 =	\$277.50
7816 018 AV		160.00SF @ \$.00 =	\$.00
3 OF 5 SQ & 25SF CARR WALK DUE TO PWT			
LEGAL DESCRIPTION			
LOT 72 WORLD WAR 2 VETERANS			
HOMES 1ST SUB PART OF NW			
1/4 SEC 7 T 1 R 23			
D0C#1077749			
D0C#1245685			
D0C#1630657			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

ASSESSED S.F./LN. TOTAL ASSESSMENT

PARCEL NUMBER 06-123-07-251-023-0 LOT 75.000
 ADDITIONAL NUMBER OF SQUARES 75.00SF @ \$.100 = \$ 7.50
 PROPERTY ADDRESS HEIDI CUTCHINS
 7812 018 AV 3 SQ DUE TO PWT

MAIL TO ADDRESS
 HEIDI CUTCHINS
 7812 18TH AVE
 KENOSHA, WI 53143
 LEGAL DESCRIPTION
 LOT 71 WORLD WAR 2 VETERANS
 HOMES 1ST SUB PART OF NW
 1/4 SEC 7 T 1 R 23
 V 1687 P 651
 DOC#1163542
 DOC#1344290
 DOC#167166

PARCEL NUMBER 06-123-07-255-014-0 LOT 150.000
 ADDITIONAL NUMBER OF SQUARES 150.000
 PROPERTY ADDRESS KEVIN W & ANTOINETTE MCKINNEY
 7948 021 AV 4 OF 6 SQ DUE TO PWT

MAIL TO ADDRESS
 KEVIN W & ANTOINETTE MCKINNEY
 7948 21ST AVE
 KENOSHA, WI 53143-5825
 LEGAL DESCRIPTION
 LOT 5 KIRCHNER GARDENS SUB
 PT OF NW 1/4 SEC 7 T 1 R 23
 V 1377 P 469
 DOC#1541629
 DOC#1671974
 DOC#1683530

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

ASSESSED S.F./LN. TOTAL ASSESSMENT

PARCEL NUMBER 06-123-07-255-017-0 LOT 100.000
 ADDITIONAL NUMBER OF SQUARES 100.000
 PROPERTY ADDRESS DONALD N PETERSON (LIFE EST) 2011
 7928 021 AV

MAIL TO ADDRESS
 DONALD N PETERSON FAMILY TRUST
 2611 PETERSON FAMILY TRUST
 7928 21ST AVE
 KENOSHA, WI 53143
 LEGAL DESCRIPTION
 LOT 64 SOUTHBATE SUB PT
 OF NW 1/4 SEC 7 T 1 R 23
 V 1573 P 273
 V 1399 P 621
 DOC#1370513
 DOC#1658100

PARCEL NUMBER 06-123-07-276-005-0 LOT 100.000
 ADDITIONAL NUMBER OF SQUARES 100.000
 PROPERTY ADDRESS DAVID PRYSE & SHANNON PRYSE
 7821 014 AV 3 OF 4 SQ DUE TO PWT

MAIL TO ADDRESS
 DAVID & SHANNON PRYSE
 1806 23RD ST
 KENOSHA, WI 53140
 LEGAL DESCRIPTION
 LOT 42 WALLIS PARK TRUSTEE'S
 RE-SUB BEING PT OF NW 1/4 SEC
 7 T 1 R 23 V 1389 P 410
 V 1697 P 490
 DOC#1109977
 DOC#1624713
 DOC#1658161
 DOC#1659861
 DOC#1679884

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
06-123-07-276-019-0	224.000		\$795.00
PROPERTY ADDRESS			
G. RECK & ARDELLA BOUCHER		4" CONC R-R 50.00SF @ \$5.55 = \$277.50	
7802 SHERIDAN RD		6" CONC R-R 75.00SF @ \$5.70 = \$427.50	
		ADDITIONAL 99.00AR @ \$.00 = \$.00	
		NUMBER OF SQUARES 5	
MAIL TO ADDRESS	LEGAL DESCRIPTION		
G RICK & ARDELLA BOUCHER	LOT 54 PEENNET'S SOUTHERN ADD		
7802 SHERIDAN RD	BENIG PT OF NW 1/4 SEC 7 T 1 R		
KENOSHA, WI 53143-5942	23 V 1358 P 137		
	V 1388 P 62		

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
06-123-07-279-009-0	209.000		\$840.00
PROPERTY ADDRESS			
JENNIFER E VASQUEZ		4" CONC R-R 100.00SF @ \$5.55 = \$555.00	
7829 017 AV		6" CONC R-R 50.00SF @ \$5.70 = \$285.00	
		ADDITIONAL 50.00AR @ \$.00 = \$.00	
		NUMBER OF SQUARES 6	
MAIL TO ADDRESS	LEGAL DESCRIPTION		
JENNIFER E VASQUEZ	LOT 4 WALLEYS PARK TRUSTEES		
7512 20TH AVE	RE-SUB PT OF NW 1/4 SEC 7		
KENOSHA, WI 53143	T 1 R 23		
	V 1523 P 700		
	DOC#1075282		
	DOC#1415971		
	DOC#1444508		
	DOC#1539421		
	DOC#1566870		
	DOC#1605695		

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
06-123-07-302-013-0	150.000		\$416.25
PROPERTY ADDRESS			
LINDA M ST LOUIS & DONNA J SALAS		4" CONC R-R 75.00SF @ \$5.55 = \$277.50	
8057 015 AV		ADDITIONAL 75.00SF @ \$5.70 = \$427.50	
		NUMBER OF SQUARES 3	
		3 OF 6 SQ DUE TO PWT	
MAIL TO ADDRESS	LEGAL DESCRIPTION		
LINDA M ST LOUIS	LOT 20 SUNNDALE ESTATES		
DONNA J SALAS	PT SW 1/4 SEC 7 T 1 R 23		
KENOSHA, WI 53142	DOC#4416060		

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
06-123-07-351-027-0	100.000		\$562.50
PROPERTY ADDRESS			
KENNETH D & KRISTINA KEEPERS		4" CONC R-R 50.00SF @ \$5.55 = \$277.50	
8401 019 AV		6" CONC R-R 50.00SF @ \$5.70 = \$285.00	
		NUMBER OF SQUARES 4	
MAIL TO ADDRESS	LEGAL DESCRIPTION		
KENNETH D & KRISTINA KEEPERS	LOT 15 BLK 1 HIGHLAND PARK SUB		
8401 19TH AVE	UNIT 1 PT SW 1/4 SEC 7 T 1 R 23		
KENOSHA, WI 53143	V 1483 P 130		
	DOC #987398		
	DOC#1180289		
	DOC#492396		
	DOC#1613651		
	DOC#1616491		
	DOC#1623245		
	DOC#1647697		

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK RUN DATE: 04/14/14
FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
06-123-07-352-004-0		75.000	\$416.25
PROPERTY ADDRESS			
FRANK J CARMICHAEL JR & KIMBERLEY			
8413 022 AV			
LEGAL DESCRIPTION			
LOT 19 BLK 2 HIGHLAND PARK SUB			
SW 1/4 SEC 7 T 1 R 23			
V 1397 P 742			
V 1560 P 516			
DOC#1674289			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
06-123-07-352-018-0		200.000	\$555.00
PROPERTY ADDRESS			
KAREN L KELLY			
8418 021 AV			
LEGAL DESCRIPTION			
LOT 5 BLK 2 HIGHLAND PARK SUB			
UNIT 1 SW 1/4 SEC 7 T 1 R 23			
V 1531 P 111			
DOC#1168688			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK RUN DATE: 04/14/14
FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
06-123-07-377-029-0		225.000	\$697.50
PROPERTY ADDRESS			
PATRICK & VIRGINIA SKARDA			
8437 015 AV			
LEGAL DESCRIPTION			
LOT 2 BLK 12 HIGHLAND PARK SUB			
SW 1/4 SEC 7 T 1 R 23 HIGHLAND			
PARK SUB UNIT 2 BLK 5 LOT 20			
V 1455 P 232			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
06-123-18-226-002-0		275.000	\$285.00
PROPERTY ADDRESS			
LEONARD J HALLGREN			
8511 018 AV			
LEGAL DESCRIPTION			
LOT 2 BLK 12 HIGHLAND PARK SUB			
UNIT 4 PT NW 1/4 SEC 18 T1 R23			
DOC #983238			
DOC#1704022			
DOC#1714942			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

ASSESSED S.F./LN. TOTAL ASSESSMENT

PARCEL NUMBER 06-123-18-226-004-0 LOT 209.000 \$285.00
 PROPERTY ADDRESS JEFFREY W & BARBARA A THORNBURGH
 8523 18TH AVE
 KENOSHA, WI 53143-6410

LEGAL DESCRIPTION
 NW 1/4 SEC 18 T 1 R 23
 HIGHLAND PARK SUB UNIT 4 BLK
 12 LOT 4
 DOC#1187111

6" CONC R-R 50.00SF @ \$5.70 = \$285.00
 ADDITIONAL 150.00SF @ \$.00 = \$.00
 NUMBER OF SQUARES 2
 6 OF 8 SQ DUE TO PWT

PARCEL NUMBER 06-123-18-226-006-0 LOT 175.000 \$423.75
 PROPERTY ADDRESS MICHAEL J BERRY
 8535 618 AV

LEGAL DESCRIPTION
 LOT 6 BLK 12 HIGHLAND PARK
 SUB UNIT 4 BEING PT OF THE
 NW 1/4 SEC 18 T 1 R 23
 V 1492 P 665
 DOC #987709
 DOC#1198543
 DOC#1593544

4" CONC R-R 25.00SF @ \$5.55 = \$138.75
 6" CONC R-R 50.00SF @ \$5.70 = \$285.00
 ADDITIONAL 100.00SF @ \$.00 = \$.00
 NUMBER OF SQUARES 3

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

ASSESSED S.F./LN. TOTAL ASSESSMENT

PARCEL NUMBER 06-123-18-226-008-0 LOT 125.000 \$693.75
 PROPERTY ADDRESS VERNON H ANDERSON
 8547 018 AV

LEGAL DESCRIPTION
 NW 1/4 SEC 18 T 1 R 23
 HIGHLAND PARK SUB UNIT 4 BLK
 12 LOT 8

4" CONC R-R 125.00SF @ \$5.55 = \$693.75
 NUMBER OF SQUARES 5

PARCEL NUMBER 06-123-18-226-012-0 LOT 100.000 \$100.00
 PROPERTY ADDRESS NATHAN O KOOPMEINERS
 8609 018 AV

LEGAL DESCRIPTION
 LOT 12 BLK 12 HIGHLAND PARK
 UNIT 4 NW 1/4 SEC 18 T1 R23
 V 1304 P 556
 V 1402 P 387
 V 1434 P 951
 DOC#1180738
 DOC#1185324
 DOC#1465355
 DOC#1486194

ADDITIONAL 100.00SF @ \$.00 = \$.00
 NUMBER OF SQUARES 4
 4 SQ DUE TO PWT

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

ASSESSED S.F./LN.	TOTAL ASSESSMENT
225.000	\$701.25

PARCEL NUMBER 06-123-18-226-033-0
 LOT 75.00SF @ \$5.55 = \$416.25
 PROPERTY ADDRESS 50.00SF @ \$5.70 = \$285.00
 MARK F BALL II
 8528 017 AV
 ADDITIONAL 100.00AR @ \$.00 = \$.00
 NUMBER OF SQUARES 5

LEGAL DESCRIPTION
 LOT 33 BLK 12 HIGHLAND PARK
 SUB UNIT 4 PT NW 1/4 SEC
 18 T 1 R 23
 V 1381 P924
 DOC#1097861
 DOC#1444497
 DOC#1766038

MAIL TO ADDRESS
 MARK F BALL II
 8528 17TH AVE
 KENOSHA, WI 53143-6408

PARCEL NUMBER 06-123-18-226-034-0
 LOT 175.000
 PROPERTY ADDRESS 25.00SF @ \$5.55 = \$138.75
 ROBERT J & RUTH A CALLAN
 8522 017 AV
 ADDITIONAL 150.00SF @ \$.00 = \$.00
 NUMBER OF SQUARES 1
 6 OF 7 SQ DUE TO PWT

LEGAL DESCRIPTION
 NW 1/4 SEC 18 T 1 R 23
 HIGHLAND PARK SUB UNIT 4 BLK
 12 LOT 34

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

ASSESSED S.F./LN.	TOTAL ASSESSMENT
250.000	\$416.25

PARCEL NUMBER 06-123-18-226-035-0
 LOT 75.00SF @ \$5.55 = \$416.25
 PROPERTY ADDRESS 50.00SF @ \$5.70 = \$285.00
 DON EUGENE HEATH & BEVERLY ANN HEA
 8516 017 AV
 ADDITIONAL 175.00SF @ \$.00 = \$.00
 NUMBER OF SQUARES 3
 7 OF 10 SQ DUE TO PWT

LEGAL DESCRIPTION
 LOT 35 BLK 12 HIGHLAND PARK SUB
 UNIT 4 PT NW 1/4 SEC 18 T1 R 23
 DOC#4577715

MAIL TO ADDRESS
 DON E & BEVERLY HEATH
 PO BOX 580040
 PLEASANT PRAIRIE, WI 53158-8000

PARCEL NUMBER 06-123-18-226-036-0
 LOT 250.000
 PROPERTY ADDRESS 200.00SF @ \$5.55 = \$1110.00
 DAVID E BRIESE
 8510 017 AV
 ADDITIONAL 50.00SF @ \$5.70 = \$285.00
 NUMBER OF SQUARES 10

LEGAL DESCRIPTION
 LOT 36 BLK 12 HIGHLAND PARK SUB
 UNIT 4 NW 1/4 SEC 18 T 1 R 23
 V 1703 P 913
 DOC #1244156
 DOC #1318624

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
06-123-18-227-014-0		150.000	\$832.50
PROPERTY ADDRESS			
JUSTIN P WRUBLEWSKI			
8548 018 AV			
LEGAL DESCRIPTION			
LOT 13 BLK 11 HIGHLAND PARK SUB			
UNIT 4 PT NW 1/4 SEC 18 T1 R 23			
DOC#1515929			
DOC#1634913			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
06-123-18-227-015-0		325.000	\$1,807.50
PROPERTY ADDRESS			
DOROTHY M ROLE			
8542 018 AV			
LEGAL DESCRIPTION			
LOT 14 BLK 11 HIGHLAND PARK			
UNIT 4 NW 1/4 SEC 18 T 1 R 23			
DOC#1174529			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
06-123-18-227-016-0		125.000	\$697.50
PROPERTY ADDRESS			
MARILYN R TERCEK			
8536 018 AV			
LEGAL DESCRIPTION			
LOT 15 BLK 11 HIGHLAND PARK			
SUB UNIT 4 PT NW 1/4 SEC 18			
T 1 R 23			
DOC#1638179			
DOC#1490071			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
06-123-18-227-018-0		100.000	\$0.00
PROPERTY ADDRESS			
ERIC & TIFFANY SAUNDERS			
8524 018 AV			
LEGAL DESCRIPTION			
LOT 17 BLK 11 HIGHLAND PARK SUB			
UNIT 4 NW 1/4 SEC 18 T 1 R 23			
DOC#1256609			
DOC#1315112			
DOC#1320869			
DOC#1330711			
DOC#1560904			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
06-123-18-227-019-0		500.000	\$1,260.00
PROPERTY ADDRESS			
VICKI L SCANLON & CHERI L ESPERON			
8518 618 AV			
LEGAL DESCRIPTION			
LOT 18 BLK 11 HIGHLAND PARK SUB			
UNIT 4 PT NW 1/4 SEC 18 T 1 R23			
V 1429 P 923			
V 1535 P 930			
DOC #1025549			
DOC #1366347			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
06-123-18-227-020-0		275.000	\$697.50
PROPERTY ADDRESS			
DAVID A & KELLY R BEAUDOIN			
8510 618 AV			
LEGAL DESCRIPTION			
LOT 19 BLK 11 HIGHLAND PARK			
SUB UNIT 4 PT NW 1/4 SEC 18			
T 1 R 23			
V 1664 P 933			
DOC#1316926			
DOC#1443282			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
06-123-18-230-020-0		175.000	\$138.75
PROPERTY ADDRESS			
DOUGLAS A MOORE SR			
1812 087 PL			
LEGAL DESCRIPTION			
NW 1/4 SEC 18 T 1 R 23 VERNON			
LAWNS SUB LOT 16			
V 1624 P 153			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
07-222-13-173-001-0		109.000	\$555.00
PROPERTY ADDRESS			
JIM GRUMBEC			
1503 024 AV			
LEGAL DESCRIPTION			
UNIT 1 BLDG 1 NORTH POINTE COURT			
CONDOMINIUM A RE-DIV OF OUTLOT 2			
NORTH POINTE SUB PT NE 1/4 SEC 13			
T 2 R 22 PLAT #4985 DOC #1469954			
(2067 PT 07-222-13-174-026)			
DOC#1497871			

PARCEL NUMBER 07-222-13-256-040-0 LOT 125.000 ASSESSED S.F./LN. TOTAL ASSESSMENT

PROPERTY ADDRESS KENOSH, WI 53144

MAIL TO ADDRESS KEVIN A & LAURIE A RAFFERTY 3221 14TH ST KENOSH, WI 53144

LEGAL DESCRIPTION PT NW 1/4 SEC 13 T 2 R 22 LOT 67 SPRING MEADOWS SUB 2ND ADD V.1377 P. 988 1990 (PT 07-4-222-13-262-0881) V.1643 P.135 DOC#1088488 DOC#10831962 DOC#10835051 DOC#1138798

NUMBER OF SQUARES CURB WORK DONE AT CITY COST

PARCEL NUMBER 07-222-13-301-099-0 LOT 125.000 ADDITIONAL NUMBER OF SQUARES 125.00AR @ \$.00 = \$.00

PROPERTY ADDRESS JOHN R CALVERT JR & LAURA M CALVERT 3611 016 PL

MAIL TO ADDRESS JOHN R JR & LAURA M CALVERT 1 STURRIDGE LN STAFFORD, VA 22554

LEGAL DESCRIPTION LOT 99 HUNTER'S RIDGE SUB PT SW 1/4 SEC 13 T 2 R 22 1992 (PT 07-222-13-375-001 & 002) DOC#1117191 DOC#1150852 DOC#140643

PARCEL NUMBER 07-222-13-426-011-0 LOT 125.000 ASSESSED S.F./LN. TOTAL ASSESSMENT

PROPERTY ADDRESS AURORA MEDICAL GROUP INC 2707 015 PL

MAIL TO ADDRESS AURORA MEDICAL GROUP INC 3000 WEST MONTANA AVE MILWAUKEE, WI 53215

LEGAL DESCRIPTION LOT 1 CSM #2528 DOC#1484014 A RE-DIV OF LOT 3 CSM #2284 PT NW 1/4 OF SE 1/4 SEC 13 T 2 R 22 3.54 AC (2007 PT 07-222-13-426-007) DOC#1523696

NUMBER OF SQUARES 5

PARCEL NUMBER 07-222-23-406-024-0 LOT 375.000 ASSESSED S.F./LN. TOTAL ASSESSMENT

PROPERTY ADDRESS EDWARD & JULIE R DOMINGUEZ 2504 041 AV

MAIL TO ADDRESS EDWARD & JULIE R DOMINGUEZ 2504 41ST AVE KENOSH, WI 53144-1327

LEGAL DESCRIPTION LOT 23 ELLISON/STAHL NORTH UNIT "A" SE 1/4 SEC 23 T 2 R 22 1081 V.1082 P.930 DOC#1241803

4" CONC R-R 200.00SF @ \$.55 = \$110.00
 6" CONC R-R 100.00SF @ \$.70 = \$70.00
 ADDITIONAL 75.00AR @ \$.00 = \$.00
 NUMBER OF SQUARES 12

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
07-222-23-406-027-0	175.000		\$693.75
PROPERTY ADDRESS			
JOHN R & KIMBERLY L BOYLE			
2512 041 AV			
MAIL TO ADDRESS			
JOHN R & KIMBERLY L BOYLE			
2512 41ST AVE			
KENOSHA, WI 53144-1327			
LEGAL DESCRIPTION			
LOT 24 ELLISON/STAHL NORTH			
UNIT "A" SE 1/4 SEC 23 T 2 R			
22 1981 VOL 1082 P 936			
V 1372 P 927			
V 1421 P 568			
DOC #1311867			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
07-222-23-406-090-0	425.000		\$1,815.00
PROPERTY ADDRESS			
STEVEN C EDWARDS			
4104 027 ST			
MAIL TO ADDRESS			
STEVEN C EDWARDS			
4104 27TH ST			
KENOSHA, WI 53144			
LEGAL DESCRIPTION			
LOT 25 ELLISON/STAHL NORTH			
UNIT "A" SE 1/4 SEC 23 T 2			
R 22 1981 VOL 1082 P 936			
V 1382 P 203			
V 1499 P 748			
V 1642 P 704			
DOC#1198658			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
07-222-23-406-039-0	300.000		\$1,398.75
PROPERTY ADDRESS			
SHANNON P BROTHEN			
4112 027 ST			
MAIL TO ADDRESS			
SHANNON P BROTHEN			
4112 27TH ST			
KENOSHA, WI 53144-1342			
LEGAL DESCRIPTION			
LOT 26 ELLISON/STAHL NORTH			
UNIT "A" SE 1/4 SEC 23 T 2			
R 22 1981 VOL 1082 P 936			
V 1351 P 910			
DOC#1347144			
DOC#1651511			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
07-222-23-406-045-0	150.000		\$558.75
PROPERTY ADDRESS			
JOSEPH J & DEBRA GIORNO			
4200 027 ST			
MAIL TO ADDRESS			
JOSEPH J & DEBRA GIORNO			
4200 27TH ST			
KENOSHA, WI 53144-1342			
LEGAL DESCRIPTION			
LOT 30 ELLISON/STAHL NORTH			
UNIT "A" SE 1/4 SEC 23 T 2 R			
22 1981 VOL 1082 P 936			
V 1352 P 564			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER 07-222-23-439-011-0 LOT 375.000
 ASSESSED S.F./LN. 75.00SF @ \$5.55 = \$416.25
 TOTAL ASSESSMENT \$416.25
 ADDITIONAL NUMBER OF SQUARES 4" CONC R-R @ \$5.55 = \$2220.00
 NUMBER OF SQUARES 3
 4 SQ DUE TO PWT \$1.00

PROPERTY ADDRESS
 GARY L & LAZONDRVA S MARTIN
 2518 044 AV

MAIL TO ADDRESS
 GARY L & LAZONDRVA S MARTIN
 2518 44TH AVE
 KENOSHA, WI 53144-1352

LEGAL DESCRIPTION
 LOT 11 RAVEN HILL ESTATES SUB
 PT NW 1/4 OF SE 1/4 SEC 23 T2
 R22 V1406 P452 1991
 1991 PT 80-4-222-234-0560-0)
 DDC#1069862
 DDC#1229592

PARCEL NUMBER 07-222-24-180-002-0 LOT 100.000
 ASSESSED S.F./LN. 100.00SF @ \$5.55 = \$555.00
 TOTAL ASSESSMENT \$555.00
 ADDITIONAL NUMBER OF SQUARES 4" CONC R-R @ \$5.55 = \$2220.00
 NUMBER OF SQUARES 4
 4 SQ DUE TO PWT \$1.00

PROPERTY ADDRESS
 RICHARD G & ELIZABETH RUTLEDGE
 WILMETTE, IL 60091

MAIL TO ADDRESS
 RICHARD G & ELIZABETH RUTLEDGE
 REVOCABLE TRUST
 WILMETTE, IL 60091

LEGAL DESCRIPTION
 LOT 2 & THE WEST 26 FT OF
 LOT 3 CSM#4547 V1482 P883
 PT NE 1/4 SEC 24 T2 R22
 (1998 COMB 07-222-24-125-020 & -03
 DDC#1069855
 DDC#1059391
 DDC #1061464

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER 07-222-24-125-021-0 LOT 100.000
 ASSESSED S.F./LN. 100.00SF @ \$5.55 = \$555.00
 TOTAL ASSESSMENT \$555.00
 ADDITIONAL NUMBER OF SQUARES 4" CONC R-R @ \$5.55 = \$2220.00
 NUMBER OF SQUARES 4
 4 SQ DUE TO PWT \$1.00

PROPERTY ADDRESS
 RICHARD G RUTLEDGE REVOCABLE TRUST
 2717 048 ST

MAIL TO ADDRESS
 RICHARD G & ELIZABETH RUTLEDGE
 REVOCABLE TRUSTS
 WILMETTE, IL 60091

LEGAL DESCRIPTION
 LOT 2 & THE WEST 26 FT OF
 LOT 3 CSM#4547 V1482 P883
 PT NE 1/4 SEC 24 T2 R22
 (1998 COMB 07-222-24-125-020 & -03
 DDC#1069855
 DDC#1059391
 DDC #1061464

PARCEL NUMBER 07-222-24-125-021-0 LOT 100.000
 ASSESSED S.F./LN. 100.00SF @ \$5.55 = \$555.00
 TOTAL ASSESSMENT \$555.00
 ADDITIONAL NUMBER OF SQUARES 4" CONC R-R @ \$5.55 = \$2220.00
 NUMBER OF SQUARES 4
 4 SQ DUE TO PWT \$1.00

PROPERTY ADDRESS
 CONNIE L SAX
 2507 021 ST

MAIL TO ADDRESS
 CONNIE L SAX
 2507 21ST ST
 KENOSHA, WI 53140-1772

LEGAL DESCRIPTION
 LOT 14 WIEMELT SUB PT OF
 THE NE 1/4 SEC 24 T2 R22
 DDC #977785
 DDC#1420820
 DDC#1479071

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEMALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

ASSESSED S.F./LN.	TOTAL ASSESSMENT
59.000	\$.00

PARCEL NUMBER 07-222-24-181-004-0 LOT 59.000
 PROPERTY ADDRESS ORLANDO LUCCHETTA 2421 021 ST
 ADDITIONAL 59.00SF @ \$.00 =
 NUMBER OF SQUARES 2 SW DUE TO PMT

LEGAL DESCRIPTION
 NE 1/4 SEC 24 T 2 R 22 WIEMELT
 SUB LOT 12

MAIL TO ADDRESS
 ORLANDO LUCCHETTA
 2421 21ST ST
 KENOSHA, WI 53140-1771

ASSESSED S.F./LN.	TOTAL ASSESSMENT
200.000	\$558.75

PARCEL NUMBER 07-222-24-182-010-0 LOT 200.000
 PROPERTY ADDRESS HORST & GAIL L TIELMANN 2211 024 AV
 ADDITIONAL 75.00SF @ \$.55 = \$41.25
 NUMBER OF SQUARES 189.00AR @ \$.00 = \$142.50
 6" CONC R-R
 ADDITIONAL 23.00SF @ \$.70 = \$16.10
 NUMBER OF SQUARES 4

LEGAL DESCRIPTION
 348 C 99 LOT 99 AND THE S 25
 FT OF LOT 98 FIRST ADD TO
 JENS HAUGAARD SUB PT NE 1/4
 SEC 24 T 2 R 22

MAIL TO ADDRESS
 HORST & GAIL L TIELMANN
 2211 24TH AVE
 KENOSHA, WI 53140

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEMALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

ASSESSED S.F./LN.	TOTAL ASSESSMENT
250.000	\$277.50

PARCEL NUMBER 07-222-24-183-019-0 LOT 250.000
 PROPERTY ADDRESS JAMES H & PATRICIA WOLDENAUER (TOD 2130 022 AV
 ADDITIONAL 59.00SF @ \$.55 = \$32.48
 NUMBER OF SQUARES 2 8 OF 16 SQ DUE TO PMT

LEGAL DESCRIPTION
 NE 1/4 SEC 24 T 2 R 22 BEG
 323.11 FT N OF SE COR SD 1/4
 SEC 14 W 1/5 FT S 80 FT E 1/5
 FT N 80 FT TO PUB EX E 48 FT
 FOR STREET EX W 3 FT N 19.92 FT
 V 1046 P 643 1980
 DOC#1714467 TOD

MAIL TO ADDRESS
 JAMES H & PATRICIA WOLDENAUER
 2130 22ND AVE
 KENOSHA, WI 53140-1707

ASSESSED S.F./LN.	TOTAL ASSESSMENT
375.000	\$971.25

PARCEL NUMBER 07-222-24-405-004-0 LOT 375.000
 PROPERTY ADDRESS THOMAS & CAROL BONFIGLIO 2403 026 AV
 ADDITIONAL 175.00SF @ \$.55 = \$96.25
 NUMBER OF SQUARES 7 8 OF 15 SQ DUE TO PMT

LEGAL DESCRIPTION
 SE 1/4 SEC 24 T 2 R 22 JENS
 HAUGAARD SUB LOT 71

MAIL TO ADDRESS
 THOMAS & CAROL BONFIGLIO
 2403 26TH AVE
 KENOSHA, WI 53140-4833

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
07-222-24-428-009-0		125.000	
PROPERTY ADDRESS		ADDITIONAL NUMBER OF SQUARES	
SAVIO & MARIA ARINTA		5 SQ DUE TO PWT	
2814 024 ST			
MAIL TO ADDRESS		LEGAL DESCRIPTION	
SAVIO & MARIA ARINTA		SE 1/4 SEC 24 T 2 R 22 GHYSELS	
2814 24TH ST		ESTATES UNIT A LOT 34	
KENOSHA, WI 53140-1732			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
07-222-24-429-002-0		50.000	
PROPERTY ADDRESS		ADDITIONAL NUMBER OF SQUARES	
DONERICO & VALENTINA MOLINARO		2 SQ DUE TO PWT	
2940 024 ST			
MAIL TO ADDRESS		LEGAL DESCRIPTION	
DONERICO & VALENTINA MOLINARO		SE 1/4 SEC 24 T 2 R 22 GHYSELS	
2940 24TH ST		ESTATES UNIT A LOT 41	
KENOSHA, WI 53140-1734			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
07-222-24-431-002-0		200.000	\$562.50
PROPERTY ADDRESS		ADDITIONAL NUMBER OF SQUARES	
JANE M GRABOWSKI		4" CONC R-R 50.00SF @ \$5.55 = \$277.50	
2417 028 AV		6" CONC R-R 50.00SF @ \$5.70 = \$285.00	
MAIL TO ADDRESS		LEGAL DESCRIPTION	
JANE M GRABOWSKI		LOT 62 GHYSELS ESTATES UNIT "C"	
2417 28TH AVE		SUB PT OF SE 1/4 SEC 24 T2 R22	
KENOSHA, WI 53140-4839		1977 V 976 P 469	
		DOC#4045270	
		DOC#416880	

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
07-222-24-432-002-0		75.000	\$138.75
PROPERTY ADDRESS		ADDITIONAL NUMBER OF SQUARES	
STEPHEN A WILLOUGHBY & RENEE W LIC		4" CONC R-R 25.00SF @ \$5.55 = \$138.75	
2808 027 ST		6" CONC R-R 50.00SF @ \$5.70 = \$285.00	
MAIL TO ADDRESS		LEGAL DESCRIPTION	
STEPHEN A WILLOUGHBY		LOT 12 GHYSELS ESTATES UNIT	
RENEE W LICHTER		"A" SE 1/4 SEC 24 T2 R22	
KENOSHA, WI 53140		V 1593 P 749	
		V 1692 P 562	
		DOC#117754	

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
07-222-24-453-001-0	75.000		
PROPERTY ADDRESS	ADDITIONAL NUMBER OF SQUARES		
JOYCE E WOJCIENOWICZ	75.00SF @ \$.00 =		\$.00
2621 028 AV	3 SQ DUE TO PMT		
MAIL TO ADDRESS	LEGAL DESCRIPTION		
JOYCE E WOJCIENOWICZ	LOT 10 GHYSELS ESTATES UNIT A		
2621 28TH AVE	PT OF SE 1/4 SEC 24 T 2 R 22		
KENOSHA, WI 53140-4843	DOC#1390298		

PARCEL NUMBER	LOT	ADDITIONAL NUMBER OF SQUARES	ASSESSED S.F./LN.	TOTAL ASSESSMENT
07-222-24-453-002-0	125.000	125.00SF @ \$.00 =		\$.00
PROPERTY ADDRESS	ADDITIONAL NUMBER OF SQUARES			
PATRICIA E HENRY	5 SQ DUE TO PMT			
2809 027 ST				
MAIL TO ADDRESS	LEGAL DESCRIPTION			
PATRICIA E HENRY	LOT 5 GHYSELS ESTATES UNIT A			
5732 80TH ST #3	PT SE 1/4 SEC 24 T 2 R 22			
KENOSHA, WI 53142	DOC#1631753			
	DOC#1631755			
	DOC#1678692			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
07-222-24-453-003-0	175.000		
PROPERTY ADDRESS	ADDITIONAL NUMBER OF SQUARES		
LYNN M KROK	175.00SF @ \$.00 =		\$.00
2815 027 ST	7 SQ DUE TO PMT		
MAIL TO ADDRESS	LEGAL DESCRIPTION		
LYNN M KROK	SE 1/4 SEC 24 T 2 R 22 GHYSELS		
2815 27TH ST	ESTA TES UNIT A LOT 4		
KENOSHA, WI 53140-2069	DOC#1138748		

PARCEL NUMBER	LOT	ADDITIONAL NUMBER OF SQUARES	ASSESSED S.F./LN.	TOTAL ASSESSMENT
07-222-24-486-009-0	125.000	4" CONC R-R 50.00SF @ \$5.55 = \$277.50 6" CONC R-R 25.00SF @ \$5.70 = \$142.50 ADDITIONAL 50.00AR @ \$.00 = \$.00 NUMBER OF SQUARES 3		\$420.00
PROPERTY ADDRESS	LEGAL DESCRIPTION			
ROBERT L ROBINSON	LOT 3 BLK 2 HODD'S SUB PT			
3016 23RD AVE	OF SE 1/4 SEC 24 T 2 R 22			
3016 023 AV	DOC#1454643			
MAIL TO ADDRESS	DOC#1484686			
ROBERT L ROBINSON	DOC#1484687			
3016 23RD AVE	DOC#1549348			
KENOSHA, WI 53140				

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK RUN DATE: 04/14/14
FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED	TOTAL
07-222-24-486-019-0	125.000	S.F./LN.	ASSESSMENT
PROPERTY ADDRESS	ADDITIONAL	NUMBER OF SQUARES	
DIANE CHILDERS	5 SQ DUE TO PMT		
3012 023 AV			
MAIL TO ADDRESS	LEGAL DESCRIPTION		
DIANE CHILDERS	LOT 4 B 2 HOOP'S SUB PT OF SE		
3012 23RD AVE	1/4 SEC 24 T 2 R 22		
KENOSHA, WI 53140-2152	V 1405 P 304		
	DOC #1097308		

PARCEL NUMBER	LOT	ASSESSED	TOTAL
07-222-24-487-001-0	225.000	S.F./LN.	ASSESSMENT
PROPERTY ADDRESS	ADDITIONAL	NUMBER OF SQUARES	
ELIZABETH IDA ANN COVELLI	4" CONC R-R	50.00SF @ \$5.55 = \$277.50	
3001 023 AV	6" CONC R-R	50.00SF @ \$5.70 = \$285.00	
MAIL TO ADDRESS	LEGAL DESCRIPTION		
ELIZABETH IDA ANN COVELLI	LOT 8 BLK 1 HOOP'S SUB PT		
4122 6TH AVE	SE 1/4 SEC 24 T 2 R 22		
KENOSHA, WI 53140	V 1509 P 986		
	DOC#1163529		
	DOC#1587680 TOD		
	DOC#1697221		

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK RUN DATE: 04/14/14
FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED	TOTAL
07-222-25-106-009-0	125.000	S.F./LN.	ASSESSMENT
PROPERTY ADDRESS	ADDITIONAL	NUMBER OF SQUARES	
JOYCE M MICHAELS	4" CONC R-R	75.00SF @ \$5.55 = \$416.25	
2519 034 ST	ADDITIONAL	50.00SF @ \$3.00 = \$150.00	
MAIL TO ADDRESS	LEGAL DESCRIPTION		
JOYCE M MICHAELS	10-14-1 NE 1/4 SEC 25 T 2 R 22		
2519 34TH ST	GLEN DALE SUB E 10 FT OF LOT		
KENOSHA, WI 53140-2134	13 & W 42 FT OF LOT 14		

PARCEL NUMBER	LOT	ASSESSED	TOTAL
07-222-25-106-017-0	50.000	S.F./LN.	ASSESSMENT
PROPERTY ADDRESS	ADDITIONAL	NUMBER OF SQUARES	
ROBERT V & NELL C RALPH	4" CONC R-R	25.00SF @ \$5.55 = \$138.75	
2420 035 ST	ADDITIONAL	25.00SF @ \$3.00 = \$75.00	
MAIL TO ADDRESS	LEGAL DESCRIPTION		
ROBERT V & NELL C RALPH	10-7-1 NE 1/4 SEC 25 T 2 R 22		
2420 35TH ST	GLEN DALE SUB W 7.5 FT OF LOT		
KENOSHA, WI 53140-2143	6 & E 49 FT OF LOT 7		

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

ASSESSED S.F./LN.	TOTAL ASSESSMENT
200.000	\$701.25
4" CONC R-R 75.00SF @ \$5.55 = \$416.25	
6" CONC R-R 50.00SF @ \$5.70 = \$285.00	
ADDITIONAL 75.00AR @ \$.00 = \$.00	
NUMBER OF SQUARES 5	

LEGAL DESCRIPTION
 THE N 49.5 FT OF W 123 FT OF
 LOT 31 TENUTA DELLS SUB PT
 NE 1/4 SEC 25 T 2 R 22
 V 701 P 346
 DOC#1176558
 DOC#1188839
 DOC#1638786
 DOC#1709012

PARCEL NUMBER 07-222-25-108-011-0 LOT 250.000 \$832.50

PROPERTY ADDRESS
 CATILIN C MARTIN
 3407 923 AV

MAIL TO ADDRESS
 CATILIN C MARTIN
 3407 23RD AVE
 KENOSHA, WI 53140

4" CONC R-R 150.00SF @ \$5.55 = \$832.50
 ADDITIONAL 100.00SF @ \$.00 = \$.00
 NUMBER OF SQUARES 6
 4 OF 10 SQ DUE TO PMT

LEGAL DESCRIPTION
 5-7 B LOT A NORTHEROOK SUB PT
 NE 1/4 SEC 25 T 2 R 22 ALSO THE
 W 77 FT OF FOLLOWING COM 306.3
 FT N OF CTR LINE 35TH ST & 73
 FT E OF SEC LINE TH W 200 FT S
 48 FT E 200 FT N 48 FT TO POB
 DOC#1146014 DEED IN ERROR
 DOC#1226075 CLEARS TITLE
 DOC#1487547
 DOC#1624036
 DOC#1632478
 DOC#1646635

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

ASSESSED S.F./LN.	TOTAL ASSESSMENT
225.000	\$416.25
4" CONC R-R 75.00SF @ \$5.55 = \$416.25	
ADDITIONAL 150.00SF @ \$.00 = \$.00	
NUMBER OF SQUARES 3	
3 OF 9 SQ DUE TO PMT	

LEGAL DESCRIPTION
 NE 1/4 SEC 25 T 2 R 22 1ST ADD
 TO FRED PODELLA SUB LOT 16

PARCEL NUMBER 07-222-25-128-009-0 LOT 500.000 \$2,497.50

PROPERTY ADDRESS
 CONSTANCE L BEAUDRY
 3403 030 AV

MAIL TO ADDRESS
 CONSTANCE L BEAUDRY
 3403 30TH AVE
 KENOSHA, WI 53144-1622

4" CONC R-R 450.00SF @ \$5.55 = \$2497.50
 ADDITIONAL 50.00SF @ \$.00 = \$.00
 NUMBER OF SQUARES 18
 2 OF 20 SQ DUE TO PMT

LEGAL DESCRIPTION
 NE 1/4 SEC 25 T 2 R 22
 NORTHERN TERRACE SUB LOT 12
 V 717 P 609
 DOC #1721650
 DOC #1721651

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
07-222-25-131-005-0		25.000	\$138.75
PROPERTY ADDRESS NORMAN E GENTRY, BARBARA GENTRY 2625 932 ST			
LEGAL DESCRIPTION NE 1/4 SEC 25 T 2 R 22 KENHURST HEIGHTS SUB LOT 16			
MAIL TO ADDRESS NORMAN E & BARBARA GENTRY 2625 32ND ST KENOSHA, WI 53140			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
07-222-25-453-005-0		175.000	\$555.00
PROPERTY ADDRESS JACQUELINE LAVETTE GLASS 4323 690 AV			
LEGAL DESCRIPTION LOT 20 B 4 BONNIE HANE 1ST SUB BEING PT OF SE 1/4 SEC 25 T2 R22 ALSO PT W 1/2 VACATED ALLEY RES# 185-96 DOC#10939795 1997 DOC #1188172			
MAIL TO ADDRESS JACQUELINE LAVETTE GLASS 4323 30TH AVE KENOSHA, WI 53144			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
07-222-25-477-001-0		375.000	\$2,085.00
PROPERTY ADDRESS CHAD W HEINZELMAN 4103 024 AV			
LEGAL DESCRIPTION LOT 13 WASHINGTON HEIGHTS SUB PT OF SE 1/4 SEC 25 T 2 R 22 DOC#1092599 DOC#1347288 DOC#1439148			
MAIL TO ADDRESS CHAD W HEINZELMAN 4103 24TH AVE KENOSHA, WI 53140-2603			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
07-222-25-477-004-0		150.000	\$832.50
PROPERTY ADDRESS DONALD S & ANGELA M PETERS 4127 024 AV			
LEGAL DESCRIPTION LOT 9 WASHINGTON HEIGHTS SUB PT OF SE 1/4 SEC 25 T 2 R 22 DOC #1066748			
MAIL TO ADDRESS DONALD S & ANGELA M PETERS 4127 24TH AVE KENOSHA, WI 53140			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER 07-222-25-477-005-0 LOT 100.000 ASSESSED S.F./LN. 100.000 TOTAL ASSESSMENT \$555.00
 PROPERTY ADDRESS GERALDINE A MONNIER 4" CONC R-R 100.00SF @ \$.55 = \$555.00
 4131 024 AV NUMBER OF SQUARES 4

MAIL TO ADDRESS LOT 8 WASHINGTON HEIGHTS SUB
 GERALDINE A MONNIER PT OF SE 1/4 SEC 25 T 2 R 22
 981 E ANTIGUA AVE V3485 P 665
 VENICE, FL 34295-6902 DDC# 985501
 DDC#1466876
 DDC#1480209

PARCEL NUMBER 07-222-25-477-006-0 LOT 100.000 ASSESSED S.F./LN. 100.000 TOTAL ASSESSMENT \$555.00
 PROPERTY ADDRESS JOYCE C TALLEY 1/2 RICHARD H TALLE 4" CONC R-R 100.00SF @ \$.55 = \$555.00
 4137 024 AV NUMBER OF SQUARES 4

MAIL TO ADDRESS LOT 7 WASHINGTON HEIGHTS SUB
 JOYCE C & RICHARD H TALLEY PT OF SE 1/4 SEC 25 T 2 R 22
 4137 24TH AVE V 1531 P 581
 KENOSHA, WI 53140-2603 DDC#1523785

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER 07-222-25-477-007-0 LOT 75.000 ASSESSED S.F./LN. 75.000 TOTAL ASSESSMENT \$1.00
 PROPERTY ADDRESS JEAN MARSDEN 75.00SF @ \$.00 = \$1.00
 JEAN MARSDEN 3 SQ DUE TO PVT
 4201 024 AV NUMBER OF SQUARES 3

MAIL TO ADDRESS LOT 6 WASHINGTON HEIGHTS SUB
 JEAN MARSDEN PT OF SE 1/4 SEC 25 T
 4201 24TH AVE Z R 22 N 1/2 OF LOT 5 & ALL
 KENOSHA, WI 53140-2603 LOT 6 WASHINGTON HEIGHTS SUB
 V 1439 P 883

PARCEL NUMBER 07-222-25-477-008-0 LOT 200.000 ASSESSED S.F./LN. 200.000 TOTAL ASSESSMENT \$277.50
 PROPERTY ADDRESS NATHANIEL J & ABIGAIL J JAMESON 4" CONC R-R 50.00SF @ \$.55 = \$277.50
 4211 024 AV ADDITIONAL 150.00AR @ \$.00 = \$1.00
 4211 024 AV NUMBER OF SQUARES 2
 6 OF 8 SQ DUE TO PVT

MAIL TO ADDRESS LOT 4 & S 1/2 LOT 5
 NATHANIEL J & ABIGAIL JAMESON WASHINGTON HEIGHTS SUB PT OF
 4211 24TH AVE SE 1/4 SEC 25 T 2 R 22
 KENOSHA, WI 53140
 LEGAL DESCRIPTION
 7956-AB-1 LOT 4 & S 1/2 LOT 5
 WASHINGTON HEIGHTS SUB
 DDC#1276029
 DDC#1343361
 DDC#1502394
 DDC#1502395
 DDC#1560963

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
07-222-25-477-009-0	50.000		\$281.25
PROPERTY ADDRESS	LEGAL DESCRIPTION		
PATRICIA & PATRICK R MORGAN	LOT 3 WASHINGTON HEIGHTS SUB		
4215 024 AV	PT OF SE 1/4 SEC 25 T 2 R 22		
	V 1457 P 437		
	DOC #1290969		

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
07-222-25-477-010-0	200.000		\$416.25
PROPERTY ADDRESS	LEGAL DESCRIPTION		
PAUL D KUPFEL	LOT 2 WASHINGTON HEIGHTS SUB		
4219 024 AV	PT OF SE 1/4 SEC 25 T 2 R 22		
	V 1644 P 64		
	DOC #1523034		
	DOC #1708719		

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
07-222-25-477-011-0	200.000		\$555.00
PROPERTY ADDRESS	LEGAL DESCRIPTION		
DOLORES JARAMILLO	LOT 1 WASHINGTON HEIGHTS SUB		
2320 043 ST	PT OF SE 1/4 SEC 25 T 2 R 22		
	V 1457 P 437		
	DOC #1093013		
	DOC #1251491		

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
07-222-25-477-020-0	250.000		\$0.00
PROPERTY ADDRESS	LEGAL DESCRIPTION		
TROY J KOSTERMAN	TROY J KOSTERMAN		
4122 023 AV	7956-A19-1 PT OF SE 1/4 SEC 25		
	T 2 R 22 LOT 18 & N 10 FT OF		
	LOT 19 WASHINGTON HEIGHTS SUB		
	V 1644 P 64		
	DOC #1044115		
	DOC #1661736		

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
07-222-25-477-024-0		400.000	\$1,395.00
PROPERTY ADDRESS			
PAUL S & LAURA D STREHLLOW			
4102 023 AV			
LEGAL DESCRIPTION			
LOT 14 WASHINGTON HEIGHTS SUB			
PT OF SE 1/4 SEC 25 T 2 R 22			
DOC #1034724			

PARCEL NUMBER	LOT	ADDITONAL NUMBER OF SQUARES	125.000	125.00SF @ \$.00 =	\$.00
PROPERTY ADDRESS					
JOHN V WARD					
4007 53RD AV					
LEGAL DESCRIPTION					
LOT 4 JAMESTON UNIT "A"					
PT SW 1/4 SEC 26 T2 R22					
DOC#1227609					
DOC#1308242					
DOC#1526659					

MAIL TO ADDRESS
 JOHN V WARD
 4007 53RD AVE
 KENOSHA, WI 53144-1818

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
08-222-26-357-050-0		75.000	\$416.25
PROPERTY ADDRESS			
HELEN SAPIEKA			
4221 56TH AVE			
4221 056 AV			
LEGAL DESCRIPTION			
531-H LOT 44 DOWSE COMPANY'S			
LITTLE RANCHES PT SW 1/4 SEC			
26 T 2 R 22 ANNEXATION ORD #			
19-84 1985 V 1359 P 907			
DOC#1251407			
DOC#1251409			
DOC#1447727			
DOC#1570060			
DOC#1570067			
DOC#1594571			
DOC#1645951			

PARCEL NUMBER	LOT	NUMBER OF SQUARES	CURB WORK DONE AT CITY COST
08-222-32-370-137-0			
PROPERTY ADDRESS			
MB BP PORTFOLIO LLC			
9625 055 ST			
LEGAL DESCRIPTION			
LOT 37 & 38 & THE WEST 108 FT OF			
LOT 36 BUSINESS PARK OF KENOSHA			
BEING A REDIVISION OF PARCEL 1			
GSM 1754 DOC# 963720 PT S 1/2			
SEC 32 T2 R22 ANNEX ORD 10-94			
(1995 PT 80-4-22-324-0100)			
DOC# 954750			
DOC# 980375			
DOC#1387329			
DOC#1499757			

MAIL TO ADDRESS
 MB BP PORTFOLIO LLC
 C/O IEA INC, PAT FRIEMAN
 KENOSHA, WI 53144

PARCEL NUMBER 08-222-32-370-147-0 LOT 703
 ASSESSED S.F./LN. 703
 TOTAL ASSESSMENT \$277.50

PROPERTY ADDRESS PAD LLC 9696 058 PL
 MAIL TO ADDRESS PAD LLC 302 MAINSAIL DR THIRD LAKE, IL 60030

LEGAL DESCRIPTION THE E 229.14 FT OF LOT 28 & W 170.86 FT OF LOT 29 BUSINESS PARK OF KENOSHA BEING A REDIVISION OF PARCEL 1 CSM 1754 DOC#963720
 PT S 1/2 SEC 32 T2 R22 ANNEX ORD 10-94 DOC#954750 4.59 AC
 1997 PT 08-222-32-370-128 DOC#1037450 & 1037451
 1997 PT 08-222-32-440-129 & 370-14 DOC#1042800 & 1042801

PARCEL NUMBER 08-222-34-301-002-0 LOT 59.000
 ASSESSED S.F./LN. 59.000
 TOTAL ASSESSMENT \$277.50

PROPERTY ADDRESS WAB LLC 5238 064 AV
 MAIL TO ADDRESS WAB LLC C/O BOMBER PROPERTY MGMT LLC MEQUON, WI 53092

LEGAL DESCRIPTION PT SW 1/4 SEC 34 T2 R22 COM AT W 1/4 COR SEC 34 TH E ALG N LN SW 1/4 2314.36 FT TH S 60 FT TO S LN HWY 158 TO POB TH E 315 FT TO W LN 64TH AVE TH S 300 FT TH W 315 FT TH N 300 FT TO POB A RE-DIVISION OF LOT 1 CSM 1882 1998 COMB 08-222-34-301-001 & PT 3 DOC#1058469 2.169 AC
 DOC#1169035

PARCEL NUMBER 08-222-34-401-004-0 LOT 250.000
 ASSESSED S.F./LN. 250.000
 TOTAL ASSESSMENT \$1,387.50

PROPERTY ADDRESS BAUDELIO PINTO 5317 058 AV
 MAIL TO ADDRESS BAUDELIO PINTO 2424 NW 15TH ST OKLAHOMA CITY, OK 73120

LEGAL DESCRIPTION LOT 3 BLK 1 HITCHCOCK HEIGHTS SUB PT SE 1/4 SEC 34 T 2 R 22 (ADD'L ADDRESS 5319) V1376 P 437 DOC#1468150 DOC#1471458 DOC#1602036

PARCEL NUMBER 08-222-34-302-005-0 LOT 875.000
 ASSESSED S.F./LN. 875.000
 TOTAL ASSESSMENT \$4,863.75

PROPERTY ADDRESS TODD M HANSEN 5308 064 AV
 MAIL TO ADDRESS TODD M HANSEN PO BOX 369 KENOSHA, WI 53141

LEGAL DESCRIPTION PT LOT 1 CSM #1882 DOC#1022666 EXC THE N 50 FT DOC#1058469 PT OF NE 1/4 SW 1/4 SEC 34 T2 R22 F/A/J. JOHNSON HIGHLANDS SUB NOW VACATED (1998 PT 08-222-34-302-004) DOC#10950489 DOC#1197897 DOC#1337553 DOC#16492100

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
08-222-34-401-005-0		225.000	\$1,248.75
PROPERTY ADDRESS			
FRANCISCO M & AIDA G GLORIA			
5323 058 AV			
LEGAL DESCRIPTION			
LOT 4 BLK 1 HITCHCOCK HEIGHTS			
SUB SE 1/4 SEC 34 T 2 R 22			
V1683 P776			
DOC#1020717			
DOC#1041586			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
08-222-34-401-006-0		275.000	\$1,537.50
PROPERTY ADDRESS			
TODD A BRITTIICH			
5403 058 AV			
LEGAL DESCRIPTION			
LOT 5 BLK 1 HITCHCOCK HEIGHTS			
SUB PT SE 1/4 SEC 34 T 2 R 22			
DOC#1346368			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
08-222-34-401-007-0		175.000	\$975.00
PROPERTY ADDRESS			
RICHARD J CAPPONI			
5411 058 AV			
LEGAL DESCRIPTION			
SE 1/4 SEC 34 T 2 R 22			
HITCHCOCK HEIGHTS SUB BLK 1			
LOT 6			

PARCEL NUMBER	LOT	NUMBER OF SQUARES	CURB WORK DONE AT CITY COST
08-222-34-401-008-0			
PROPERTY ADDRESS			
RICHARD J CAPPONI			
5415 058 AV			
LEGAL DESCRIPTION			
LOT 7 BLK 1 HITCHCOCK HEIGHTS			
SUB PT SE 1/4 SEC 34 T 2 R 22			
V 1413 P 229			
DOC #1314297			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
08-222-34-404-007-0		225.000	\$840.00
PROPERTY ADDRESS			
JOSEPH R & JUDITH S CAPPONI			
5527 058 AV			
LEGAL DESCRIPTION			
SE 1/4 SEC 34 T 2 R 22			
HITCHCOCK HEIGHTS SUB BLK 3			
LOT 6			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
08-222-35-165-019-0		175.000	
PROPERTY ADDRESS	ADDITIONAL NUMBER OF SQUARES	175.00SF @ \$.00 =	\$.00
CHRISTIAN D DOSEWAGEN	7 SQ DUE TO PMT		
4930 039 AV			
MAIL TO ADDRESS	LEGAL DESCRIPTION		
CHRISTIAN D DOSEWAGEN	NE 1/4 SEC 35 T 2 R 22 WILSON HEIGHTS 2ND ADD LOT 134		
4930 39TH AVE	V 1439 P 522		
KENOSHA, WI 53142	DOC#1154621		

PARCEL NUMBER	LOT	75.000	
08-222-35-166-012-0			
PROPERTY ADDRESS	ADDITIONAL NUMBER OF SQUARES	75.00SF @ \$.00 =	\$.00
DAVID L & JOANNE M BUBLITZ	3 SQ DUE TO PMT		
4542 039 AV			
MAIL TO ADDRESS	LEGAL DESCRIPTION		
DAVID L & JOANNE M BUBLITZ	LOT 183 WILSON HEIGHTS 3RD ADD PT OF NE 1/4 SEC 35 T 2 R 22		
4405 MAPLE CT	V 1360 P 30		
ROLLING MEADOWS, WI 60008	DOC #980091		
	DOC#1403063		
	DOC#1423627		

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
08-222-35-129-019-0		375.000	\$1,248.75
PROPERTY ADDRESS	ADDITIONAL NUMBER OF SQUARES	4" CONC R-R 225.00SF @ \$5.55 = \$1248.75	
KENNETH R & MERRI C HEIDTMAN	150.00AR @ \$.00 =		\$.00
4508 050 ST	6 OF 15 SQ DUE TO PMT		
MAIL TO ADDRESS	LEGAL DESCRIPTION		
KENNETH R & MERRI C HEIDTMAN	NE 1/4 SEC 35 T 2 R 22 KENOSHA LAND SUB UNIT 1 LOT 85		
4508 50TH ST			
KENOSHA, WI 53144-2042	DOC#4019218		

PARCEL NUMBER	LOT	150.000	\$832.50
08-222-35-129-020-0			
PROPERTY ADDRESS	ADDITIONAL NUMBER OF SQUARES	4" CONC R-R 150.00SF @ \$5.55 = \$832.50	
MARTHA E MATTOX	6		
4930 PER BL			
MAIL TO ADDRESS	LEGAL DESCRIPTION		
MARTHA E MATTOX	LOT 84 KENOSHA LAND SUB UNIT 1 NE 1/4 SEC 35 T 2 R 22		
4930 PERSHING BLVD			
KENOSHA, WI 53144-2056	DOC#4102918		

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
08-222-35-152-006-0		350.000	\$978.75
PROPERTY ADDRESS DUMAYNE A & SUSAN M SCHERER 5027 046 AV			
LEGAL DESCRIPTION LOT 126 KENOSHA LAND SUB UNIT 1 PT NE 1/4 SEC 35 T 2 R 22 DOC#4222765 DOC#4239896 DOC#1456717			
MAIL TO ADDRESS DUMAYNE A & SUSAN M SCHERER 4780 64TH AVE KENOSHA, WI 53144			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
08-222-35-393-012-0		275.000	\$978.75
PROPERTY ADDRESS RICHARD R ANDRASCHKO 5493 052 AV			
LEGAL DESCRIPTION LOT 126 KENOSHA LAND SUB UNIT 4" CONC R-R 125.00SF @ \$5.55 = \$693.75 6" CONC R-R 50.00SF @ \$5.70 = \$285.00 ADDITIONAL 100.00AR @ \$.00 = \$.00 NUMBER OF SQUARES 7			
MAIL TO ADDRESS RICHARD R ANDRASCHKO 5493 52ND AVE KENOSHA, WI 53144-6843			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
08-222-35-303-013-0		100.000	\$277.50
PROPERTY ADDRESS PATRICK W LAPPOINT .5409 052 AV			
LEGAL DESCRIPTION SW 1/4 SEC 35 T 2 R 22 KENFAIR SUB BLK 10 LOT 4			
MAIL TO ADDRESS PATRICK W LAPPOINT 5409 52ND AVE KENOSHA, WI 53144-6843			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
08-222-35-327-003-0		250.000	\$1,110.00
PROPERTY ADDRESS MAURO CASTILLO 5530 055 AV			
LEGAL DESCRIPTION LOT 10 BLK 7 KENFAIR SUB PT SW 1/4 SEC 35 T2 R 22 V1694 P 395 DOC#1463390			
MAIL TO ADDRESS MAURO CASTILLO 5530 55TH AVE KENOSHA, WI 53144			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK

RUN DATE: 04/14/14
FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
08-222-35-327-011-0	150.000		\$281.25
PROPERTY ADDRESS			
ROBERT & LETITIA TRATHEN			
5342 055 AV			
MAIL TO ADDRESS			
ROBERT & LETITIA TRATHEN			
5342 55TH AVE			
KENOSHA, WI 53144			

LEGAL DESCRIPTION
LOT 18 BLK 7 KENFAIR SUB
PT SW 1/4 SEC 35 T 2 R 22
V 1517 P 342
DOC#1280933
DOC#1396924
DOC#1396925
DOC#1396926
DOC#1396927
DOC#1653250
DOC#1667558
DOC#1711317

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
08-222-35-329-011-0	250.000		\$940.00
PROPERTY ADDRESS			
MARILEE CASPER & CONSTANCE MEYER			
5409 054 ST			
MAIL TO ADDRESS			
MARILEE CASPER			
CONSTANCE J MEYER			
KENOSHA, WI 53144-2335			

LEGAL DESCRIPTION
4" CONC R-R 100.00SF @ \$5.55 = \$555.00
6" CONC R-R 50.00SF @ \$5.70 = \$285.00
ADDITIONAL 100.00AR @ \$1.00 = \$100.00
NUMBER OF SQUARES 6
SUB 1/4 SEC 35 T 2 R 22 KENFAIR
PT SW 1/4 LOT 14
V 1457 P 329
V 1635 P 118
DOC #978293

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK

RUN DATE: 04/14/14
FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
08-222-35-329-012-0	125.000		\$281.25
PROPERTY ADDRESS			
DAVID P & DIANNA L TERRIEN			
5415 054 ST			
MAIL TO ADDRESS			
DAVID P & DIANNA L TERRIEN			
5415 54TH ST			
KENOSHA, WI 53144-2335			

LEGAL DESCRIPTION
LOT 13 BLK 9 KENFAIR SUB
SW 1/4 SEC 35 T 2 R 22
V 1513 P 292
V 1678 P 284
DOC#1056059

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
08-222-35-329-013-0	125.000		\$281.25
PROPERTY ADDRESS			
ORALIA PEREZ-ZOLD			
5419 054 ST			
MAIL TO ADDRESS			
ORALIA PEREZ-ZOLD			
5419 54TH ST			
KENOSHA, WI 53144-2335			

LEGAL DESCRIPTION
LOT 12 BLK 9 KENFAIR SUB
PT SW 1/4 SEC 35 T 2 R 22
DOC#1157291
DOC#1046472

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEMALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

ASSESSED S.F./LN.	TOTAL ASSESSMENT
PARCEL NUMBER 08-222-35-329-023-0	LOT 225.000
PROPERTY ADDRESS MARK A BOVENKAMP 5208 055 ST	4" CONC R-R 150.00SF @ \$5.55 = \$832.50 6" CONC R-R 25.00SF @ \$5.70 = \$142.50 ADDITIONAL NUMBER OF SQUARES 7
MAIL TO ADDRESS MARK A BOVENKAMP 5208 55TH ST KENOSHA, WI 53144-2340	LEGAL DESCRIPTION LOT 2 BLK 9 KENFAIR SUB PT SW 1/4 SEC 35 T 2 R 22 V 998 P 373 DDC#1486331 DDC#1486332 DDC#1616213 DDC#1616214

ASSESSED S.F./LN.	TOTAL ASSESSMENT
PARCEL NUMBER 08-222-35-329-024-0	LOT 25.000
PROPERTY ADDRESS JEANETTE MARIE SCHUIRMANN IRREVCOCA 5490 052 AV	4" CONC R-R 25.00SF @ \$5.55 = \$138.75 ADDITIONAL NUMBER OF SQUARES 1
MAIL TO ADDRESS JEANETTE M SCHUIRMANN IRREVOCABLE FAMILY TRUST KENOSHA, WI 53144-6803	LEGAL DESCRIPTION LOT 1 BLK 9 KENFAIR SUB SW 1/4 SEC 35 T 2 R 22 DDC#1644221 DDC#1644221

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEMALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

ASSESSED S.F./LN.	TOTAL ASSESSMENT
PARCEL NUMBER 08-222-35-352-001-0	LOT 125.000
PROPERTY ADDRESS DONNIE L & TOMASA HARRAH 5504 053 AV	4" CONC R-R 50.00SF @ \$5.55 = \$277.50 6" CONC R-R 75.00SF @ \$5.70 = \$427.50 ADDITIONAL NUMBER OF SQUARES 5
MAIL TO ADDRESS DONNIE L & TOMASA HARRAH 5504 53RD AVE KENOSHA, WI 53144	LEGAL DESCRIPTION LOT 14 BLK 5 KENFAIR SUB PT SW 1/4 SEC 35 T 2 R 22 DDC#1234241

ASSESSED S.F./LN.	TOTAL ASSESSMENT
PARCEL NUMBER 08-222-35-352-005-0	LOT 200.000
PROPERTY ADDRESS GARY L COVINGTON 5523 054 AV	4" CONC R-R 50.00SF @ \$5.55 = \$277.50 ADDITIONAL NUMBER OF SQUARES 2 6 OF 8 SQ DUE TO PWT
MAIL TO ADDRESS GARY L COVINGTON 5523 54TH AVE KENOSHA, WI 53144-2337	LEGAL DESCRIPTION LOT 10 BLK 5 KENFAIR SUB PT SW 1/4 SEC 35 T 2 R 22 V 1289 P 1597 DDC#1612132

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

ASSESSED S.F./LN.	TOTAL ASSESSMENT
225.000	\$423.75

PARCEL NUMBER 08-222-35-352-010-0
 LOT 4"
 CONC R-R 25.00SF @ \$5.55 = \$138.75
 6" CONC R-R 50.00SF @ \$5.70 = \$285.00
 PROPERTY ADDRESS
 MICHAEL & SANDRA STEPHEN
 5703 054 AV
 ADDITIONAL 150.00AR @ \$.00 = \$.00
 NUMBER OF SQUARES 3

LEGAL DESCRIPTION
 LOT 5 BLK 5 KENPAIR SUB
 SW 1/4 SEC 35 T 2 R 22
 DOC#1087547
 DOC#1184870
 DOC#1245295

MAIL TO ADDRESS
 MICHAEL & SANDRA STEPHAN
 11198 HILLCREST DR
 PLYMOUTH, MI 48170

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

ASSESSED S.F./LN.	TOTAL ASSESSMENT
150.000	\$832.50

PARCEL NUMBER 08-222-35-402-011-0
 LOT 4"
 CONC R-R 150.00SF @ \$5.55 = \$832.50
 PROPERTY ADDRESS
 KCD ENTERPRISES NO 2 LLC
 5235 041 AV
 NUMBER OF SQUARES 0

LEGAL DESCRIPTION
 17091 LOT 18 & 19 GROTSKY'S SUB
 PT OF SE 1/4 SEC 35 T 2 R 22
 V 1151 P 156
 DOC#4523054
 DOC#1631786

MAIL TO ADDRESS
 KCD ENTERPRISES NO 2 LLC
 6403 75TH ST
 KENOSHA, WI 53142-3507

PARCEL NUMBER 08-222-35-406-018-0
 LOT 25.000
 CONC R-R 25.00SF @ \$5.55 = \$138.75
 PROPERTY ADDRESS
 DARREN C TAYLOR
 5302 041 AV
 NUMBER OF SQUARES 1

LEGAL DESCRIPTION
 THE N 50 FT OF LOT 2 BLK D
 TIPLE ESTATE SUB PT SE 1/4
 SEC 35 T 2 R 22
 DOC#1082810

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEMALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
08-222-35-412-021-0		100.000	\$277.50
PROPERTY ADDRESS			
RICHARD A & TAMARA R GILLMORE			
5420 040 AV			
LEGAL DESCRIPTION			
LOT 41 OF GROTSKY'S SUB			
PT OF SE 1/4 SEC 35 T 2 R 22			
DOC#1978436			
MAIL TO ADDRESS			
RICHARD A & TAMARA R GILLMORE			
5420 40TH AVE			
KENOSHA, WI 53144-2740			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
08-222-35-434-004-0		225.000	\$423.75
PROPERTY ADDRESS			
BRUCE I & MARGARET M BLEASHKA			
5521 044 AV			
LEGAL DESCRIPTION			
4" CONC R-R 25.00SF @ \$5.55 = \$138.75			
6" CONC R-R 50.00SF @ \$5.70 = \$285.00			
ADDITIONAL 150.00AR @ \$.00 = \$.00			
NUMBER OF SQUARES 3			
MAIL TO ADDRESS			
BRUCE I & MARGARET M BLEASHKA			
5521 44TH AVE			
KENOSHA, WI 53144-3938			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
08-222-35-451-016-0		100.000	\$138.75
PROPERTY ADDRESS			
REGINA S MARTINEZ			
GUSTAVO O MARTINEZ MENA			
5630 043 AV			
LEGAL DESCRIPTION			
LOT 32 DAVIS MODEL HOMES SUB			
PT OF SE 1/4 SEC 35 T 2 R 22			
DOC#1234356			
DOC#1534715			
DOC#1665717			
DOC#1688553			
DOC#1693400			
DOC#1693401			
DOC#1707278			
MAIL TO ADDRESS			
REGINA S MARTINEZ			
GUSTAVO O MARTINEZ MENA			
5630 043 AV			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
08-222-35-452-023-0		475.000	\$978.75
PROPERTY ADDRESS			
TIMOTHY J & BRIDGET M OLIVER			
5602 044 AV			
LEGAL DESCRIPTION			
LOT 1 EXC THE S 5 FT OF DAVIS			
MODEL HOMES SUB PT SE 1/4 SEC			
35 T 2 R 22			
V 1438 P 151			
V 1521 P 681			
V 1671 P 139			
DOC #1224100			
MAIL TO ADDRESS			
TIMOTHY J & BRIDGET M OLIVER			
5602 44TH AVE			
KENOSHA, WI 53144			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEMALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
08-222-35-452-023-0		475.000	\$978.75
PROPERTY ADDRESS			
TIMOTHY J & BRIDGET M OLIVER			
5602 044 AV			
LEGAL DESCRIPTION			
LOT 1 EXC THE S 5 FT OF DAVIS			
MODEL HOMES SUB PT SE 1/4 SEC			
35 T 2 R 22			
V 1438 P 151			
V 1521 P 681			
V 1671 P 139			
DOC #1224100			
MAIL TO ADDRESS			
TIMOTHY J & BRIDGET M OLIVER			
5602 44TH AVE			
KENOSHA, WI 53144			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
08-222-35-452-023-0		475.000	\$978.75
PROPERTY ADDRESS			
TIMOTHY J & BRIDGET M OLIVER			
5602 044 AV			
LEGAL DESCRIPTION			
LOT 1 EXC THE S 5 FT OF DAVIS			
MODEL HOMES SUB PT SE 1/4 SEC			
35 T 2 R 22			
V 1438 P 151			
V 1521 P 681			
V 1671 P 139			
DOC #1224100			
MAIL TO ADDRESS			
TIMOTHY J & BRIDGET M OLIVER			
5602 44TH AVE			
KENOSHA, WI 53144			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
08-222-35-452-023-0		475.000	\$978.75
PROPERTY ADDRESS			
TIMOTHY J & BRIDGET M OLIVER			
5602 044 AV			
LEGAL DESCRIPTION			
LOT 1 EXC THE S 5 FT OF DAVIS			
MODEL HOMES SUB PT SE 1/4 SEC			
35 T 2 R 22			
V 1438 P 151			
V 1521 P 681			
V 1671 P 139			
DOC #1224100			
MAIL TO ADDRESS			
TIMOTHY J & BRIDGET M OLIVER			
5602 44TH AVE			
KENOSHA, WI 53144			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
08-222-35-453-091-0		350.000	\$693.75
PROPERTY ADDRESS			
LOUIS JR & ANTOINETTE AULOZZI			
5803 046 AV			
LEGAL DESCRIPTION			
SE 1/4 SEC 35 T 2 R 22 HANMAN HEIGHTS 1ST ADD LOT 89			
MAIL TO ADDRESS			
LOUIS & ANTOINETTE AULOZZI JR			
5603 46TH AVE			
KENOSHA, WI 53144-2415			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
08-222-35-459-004-0		425.000	\$1,942.50
PROPERTY ADDRESS			
MICHAEL J & GAIL J MURPHY			
4319 058 ST			
LEGAL DESCRIPTION			
4" CONC R-R 350.00SF @ \$5.55 = \$1942.50 ADDITIONAL 75.00SF @ \$1.00 = \$.00 NUMBER OF SQUARES 14 3 OF 17 SQ DUE TO PWT			
MAIL TO ADDRESS			
MICHAEL J & GAIL J MURPHY			
4319 58TH ST			
KENOSHA, WI 53144-2569			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
08-222-35-459-005-0			
PROPERTY ADDRESS			
SANDY L BARTOUSEK			
5813 044 AV			
LEGAL DESCRIPTION			
LOT 99 DAVIS MODEL HOMES SUB PT OF SE 1/4 SEC 35 T 2 R 22 V 1536 P 469 DOC#1254464 DOC#1723485			
MAIL TO ADDRESS			
SANDY L BARTOUSEK			
5813 44TH AVE			
KENOSHA, WI 53144-2552			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
08-222-35-459-006-0			
PROPERTY ADDRESS			
THE IRREVOCABLE SEBEN FAMILY TRUS			
5903 044 AV			
LEGAL DESCRIPTION			
LOT 100 DAVIS MODEL HOMES SUB PT OF SE 1/4 SEC 35 T 2 R 22 V 907 P 263 DOC#1293646			
MAIL TO ADDRESS			
SEBEN FAMILY TRUST			
5903 44TH AVE			
KENOSHA, WI 53144-2552			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
08-222-35-484-008-0	100.000		\$277.50
PROPERTY ADDRESS		4" CONC R-R 50.00SF @ \$5.55 =	\$277.50
DONALD & LYNN POWELL		ADDITIONAL 50.00SF @ \$1.00 =	\$50.00
4016 060 ST		NUMBER OF SQUARES 2	
		2 OF 4 SQ DUE TO PMT	
MAIL TO ADDRESS		LEGAL DESCRIPTION	
DONALD & LYNN POWELL		LOT 14 BLK 1 EDGEWOOD SUB	
5537 39TH AVE		PT SE 1/4 SEC 35 T 2 R 22	
KENOSHA, WI 53144		V 1420 P 332	
		DOC #979523	
		DOC#1540128	
		DOC#1543100	

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
09-222-36-103-002-0	175.000		\$416.25
PROPERTY ADDRESS		4" CONC R-R 75.00SF @ \$5.55 =	\$416.25
ALVARO TORRES		ADDITIONAL 100.00SF @ \$1.00 =	\$100.00
4607 025 AV		NUMBER OF SQUARES 3	
		4 OF 7 SQ DUE TO PMT	
MAIL TO ADDRESS		LEGAL DESCRIPTION	
ALVARO TORRES		LOT 15 B 15 NEMELL-HOYT SUB	
4507 25TH AVE		PT OF NE 1/4 SEC 36 T 2 R 22	
KENOSHA, WI 53140-5819		ALSO 1/2 VAC ALLEY RES #11-06	
		DDC#1470502	
		(2007 LOT LINE ADJUSTMENT)	
		V 1365 P 619	
		V 1594 P 692	
		DOC#1398641	
		DOC#1504986	

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
09-222-36-103-003-0	100.000		\$562.50
PROPERTY ADDRESS		4" CONC R-R 50.00SF @ \$5.55 =	\$277.50
ADAM J & ELIZABETH L LEPLEY		6" CONC R-R 50.00SF @ \$5.70 =	\$285.00
4513 025 AV		NUMBER OF SQUARES 4	
MAIL TO ADDRESS		LEGAL DESCRIPTION	
ADAM J & ELIZABETH L LEPLEY		LOT 14 BLK 15 NEMELL-HOYT SUB	
4513 25TH AVE		PT OF NE 1/4 SEC 36 T 2 R 22	
KENOSHA, WI 53140		ALSO 1/2 VAC ALLEY RES #11-06	
		DOC#470502	
		(2007 LOT LINE ADJUSTMENT)	
		DOC#1486191	
		DOC#1518599	

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
09-222-36-103-008-0	375.000		\$697.50
PROPERTY ADDRESS		4" CONC R-R 100.00SF @ \$5.55 =	\$555.00
MARGARITA REYNOSO		6" CONC R-R 250.00SF @ \$5.70 =	\$1425.00
2418 046 ST		ADDITIONAL 250.00SF @ \$1.00 =	\$250.00
		NUMBER OF SQUARES 5	
MAIL TO ADDRESS		LEGAL DESCRIPTION	
MARGARITA REYNOSO		LOT 9 BLK 15 NEMELL-HOYT SUB	
2418 46TH ST		PT OF NE 1/4 SEC 36 T 2 R 22	
KENOSHA, WI 53140		ALSO 1/2 VAC ALLEY RES #11-06	
		DOC#1470502	
		(2007 LOT LINE ADJUSTMENT)	
		DOC#1127736	
		DOC#1347081	
		DOC#1369770	
		DOC#1394356	
		DOC#1504081	

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

ASSESSED TOTAL
 S.F./LN. ASSESSMENT

PARCEL NUMBER 09-222-36-127-008-0 LOT 200.000
 PROPERTY ADDRESS PAULA J MCCRARY 2814 046 ST
 ADDITIONAL 200.00SF @ \$.00 = \$0.00
 NUMBER OF SQUARES 8 SQ DUE TO PWT

LEGAL DESCRIPTION
 LOT 9 BLK 8 BONNIE HAME 1ST SUB
 BEING PT OF NE 1/4 SEC 36 T2 R22
 V 627 P 599
 DOC#1264710
 DOC#1335784
 DOC#1501890
 DOC#1524951
 DOC#1536028

PARCEL NUMBER 09-222-36-133-003-0 LOT 250.000 \$562.50
 PROPERTY ADDRESS KRISTOPHER G & TONYA POST 4605 028 AV
 ADDITIONAL 150.00AR @ \$.00 = \$0.00
 NUMBER OF SQUARES 4

LEGAL DESCRIPTION
 W 114 FT OF LOT 2, BLK 12
 BONNIE HAME 1ST SUB PT OF
 NE 1/4 OF SEC 36 T 2 R 22
 V 1552 P 22
 V 1578 P 743
 DOC#1694065
 DOC#1693255
 DOC#1697039
 DOC#1701700

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

ASSESSED TOTAL
 S.F./LN. ASSESSMENT

PARCEL NUMBER 09-222-36-205-005-0 LOT 125.000
 PROPERTY ADDRESS TOM A & MATTIE HALL 4827 034 AV
 ADDITIONAL 75.00SF @ \$.00 = \$0.00
 NUMBER OF SQUARES 2
 3 OF 5 SQ DUE TO PWT

LEGAL DESCRIPTION
 16955-23-2 NW 1/4 SEC 36 T 2 R
 22 MDTOWN SUB THE N 41.8 FT
 OF LOT 22 & S 13.8 FT OF LOT
 23

PARCEL NUMBER 09-222-36-207-004-0 LOT 75.000 \$416.25
 PROPERTY ADDRESS CHRISTINE J ANDERSON 4703 933 AV
 ADDITIONAL 75.00SF @ \$.55 = \$416.25
 NUMBER OF SQUARES 3

LEGAL DESCRIPTION
 LOT 15 FLIERS HEIGHTS SUB PT
 OF NW 1/4 SEC 36 T 2 R 22
 V 1626 P 907
 DOC#1070487
 DOC#1541455

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
09-222-36-276-002-0	109.000		
PROPERTY ADDRESS	ADDITIONAL NUMBER OF SQUARES	109.00SF @ \$.00 =	\$.00
ALEJANDRO C NUNEZ & LETICIA S NUNEZ	4 SQ DUE TO PMT		
5007 033 AV			

MAIL TO ADDRESS
 ALEJANDRO C & LETICIA S NUNEZ
 3808 91ST PL
 BURLINGTON, WI 53105

LEGAL DESCRIPTION
 LOT 9 BLK 9 KENOSHA CENTER
 PT OF NW 1/4 SEC 36 T2 R22
 V1792 P 183
 DDC#1317098
 DDC#1432054
 DDC#1444234
 DDC#1446329
 DDC#1446330 NOTE
 DDC#1523400 DEED IN ERROR
 DDC#1524563 CORRECTION
 DDC#1621283
 DDC#1642477

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
09-222-36-276-003-0	125.000		\$418.13
PROPERTY ADDRESS	ADDITIONAL NUMBER OF SQUARES	4" CONC R-R 62.50SF @ \$5.55 = \$346.88 6" CONC R-R 12.50SF @ \$5.70 = \$71.25 ADDITIONAL 50.00AR @ \$.00 = \$.00	
5011 33RD AVE LLC 5011 033 AV			

MAIL TO ADDRESS
 5011 33RD AVE LLC
 5640 82ND ST
 KENOSHA, WI 53142-4119

LEGAL DESCRIPTION
 LOT 8 BLK 9 KENOSHA CENTER SUB
 PT OF NW 1/4 SEC 36 T 2 R 22
 DDC#1660546

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
09-222-36-306-022-0	75.000		\$416.25
PROPERTY ADDRESS	ADDITIONAL NUMBER OF SQUARES	4" CONC R-R 75.00SF @ \$5.55 = \$416.25	
FRANK NUDI 5302 032 AV			

MAIL TO ADDRESS
 FRANK NUDI
 5302 32ND AVE
 KENOSHA, WI 53144

LEGAL DESCRIPTION
 LOT 109 HOLLYWOOD SUB BEING PT
 OF SW 1/4 SEC 36 T 2 R 22
 V 1534 P 76
 DOC #975153
 DOC#1347408
 DOC#1418437

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
09-222-36-307-001-0			
PROPERTY ADDRESS	NUMBER OF SQUARES CURB WORK TO BE DONE AT CITY COST		
ELIAS & KIMBERLY ACEVEDO 5503 034 AV			

MAIL TO ADDRESS
 ELIAS & KIMBERLY ACEVEDO
 5503 34TH AVE
 KENOSHA, WI 53144

LEGAL DESCRIPTION
 LOT 33 HOLLYWOOD SUB BEING PT
 OF SW 1/4 SEC 36 T 2 R 22
 DOC#1058374
 DOC#1570646

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
09-222-36-308-016-0	200.000	75.00SF @ \$5.55 = \$416.25 6" CONC R-R 25.00SF @ \$5.70 = \$142.50 ELIZABETH M PASCH (LIFE EST) TAMMY ADDITIONAL 100.00AR @ \$.00 = \$1.00	\$558.75
5552 031 AV		NUMBER OF SQUARES 4	

LEGAL DESCRIPTION
 LOT 03 H L BULLANDRE'S SUB
 PT OF SW 1/4 SEC 36 T2 R22
 V 1187 P610
 DOC#1020646
 DOC#1687859
 DOC#1688250

MAIL TO ADDRESS
 ELIZABETH M PASCH
 5552 31ST AVE
 KENOSHA, WI 53144-2804

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
09-222-36-311-013-0	175.000	4" CONC R-R 175.00SF @ \$5.55 = \$971.25	\$971.25
5422 031 AV		NUMBER OF SQUARES 7	

LEGAL DESCRIPTION
 LOT 9 B 3 FLYNN SUB BEING PT
 OF SW 1/4 SEC 36 T 2 R 22
 DOC #9992099
 DOC#1081527
 DOC#1084414
 DOC#1112544

MAIL TO ADDRESS
 KARA VEJUM
 5422 31ST AVE
 KENOSHA, WI 53144

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
09-222-36-331-013-0	50.000	50.00SF @ \$5.55 = \$277.50	\$277.50
5509 039 AV		NUMBER OF SQUARES 2	

LEGAL DESCRIPTION
 LOT 28 KENWOR SUB PT OF
 SW 1/4 SEC 36 T 2 R 22
 DOC#4385659

MAIL TO ADDRESS
 NAOMI J HENISE
 5408 39TH AVE
 KENOSHA, WI 53144-2702

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
09-222-36-333-019-0	50.000	50.00SF @ \$5.55 = \$277.50	\$277.50
5509 039 AV		NUMBER OF SQUARES 2	

LEGAL DESCRIPTION
 PT SW 1/4 SEC 36 T 2 R 22 COM ON
 E LN 39TH AVE 74.98 FT S S LN 55TH
 ST TH E 107.47 FT TH S 60 FT TH W
 107.47 FT TO E LN 39TH AVE TH N
 60 FT TO POB
 (2003 COMB 09-222-36-333-003 & PT-
 DOC#4278577 DOC#4273683 DOC#43854
 DOC#4378546 DOC#4383245 DEED IN ER
 DOC#1401299 DOC#1495943

MAIL TO ADDRESS
 BRIAN BERG
 5509 39TH AVE
 KENOSHA, WI 53144

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK RUN DATE: 04/14/14
FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
09-222-36-351-001-0		75.000	
PROPERTY ADDRESS		ADDITIONAL NUMBER OF SQUARES	75.00SF @ \$.00 = \$.00
BERNARD J & JUDITH A BAIERL		3 SQ DUE TO PMT	
5601 035 AV			
MAIL TO ADDRESS		LEGAL DESCRIPTION	
BERNARD J & JUDITH A BAIERL		LOT 1 B 2 HANMAN PARK SUB	
5601 35TH AVE		BEING PT OF SW 1/4 SEC 36 T 2	
KENOSHA, WI 53144-4123		R 22	

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
09-222-36-357-001-0		200.000	
PROPERTY ADDRESS		ADDITIONAL NUMBER OF SQUARES	200.00SF @ \$.00 = \$.00
NORMAN & KAREN LUZAR		8 SQ DUE TO PMT	
5703 038 AV			
MAIL TO ADDRESS		LEGAL DESCRIPTION	
NORMAN & KAREN LUZAR		LOT 123 CLOMHEL SUB BEING PT	
5703 38TH AVE		OF SW 1/4 SEC 36 T 2 R 22	
KENOSHA, WI 53144-2725		V 1435 P 559	

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK RUN DATE: 04/14/14
FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
09-222-36-361-010-0		200.000	
PROPERTY ADDRESS		ADDITIONAL NUMBER OF SQUARES	200.00SF @ \$.55 = \$110.00
JUANITA TEISING (LIFE EST) HAROLD		4" CONC R-R	25.00SF @ \$.55 = \$13.75
5908 034 AV		6" CONC R-R	25.00SF @ \$.55 = \$13.75
MAIL TO ADDRESS		LEGAL DESCRIPTION	
JUANITA TEISING		LOT 132 LAMDALE SUB BEING PT	
5908 34TH AVE		OF SW 1/4 SEC 36 T 2 R 22	
KENOSHA, WI 53144-4120		DOC #997982	
		DOC #1449406	

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
09-222-36-361-011-0		112.500	
PROPERTY ADDRESS		ADDITIONAL NUMBER OF SQUARES	112.50SF @ \$.55 = \$61.88
RITA CUTTER		4" CONC R-R	25.00SF @ \$.55 = \$13.75
5904 034 AV		6" CONC R-R	25.00SF @ \$.55 = \$13.75
MAIL TO ADDRESS		LEGAL DESCRIPTION	
RITA CUTTER		LOT 131 LAMDALE SUB BEING PT	
5904 34TH AVE		OF SW 1/4 SEC 36 T 2 R 22	
KENOSHA, WI 53144-4120		DOC#117848	
		DOC#1425702	

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER 09-222-36-380-006-0 LOT 125.000 ASSESSED \$138.75
 S.F./LN. TOTAL ASSESSMENT
 PROPERTY ADDRESS 4" CONC R-R 25.00SF @ \$5.55 = \$138.75
 AARON N KRAAI ADDITIONAL 189.00SF @ \$.00 = \$.00
 5911 034 AV NUMBER OF SQUARES 1
 4 OF 5 SQ DUE TO PMT

MAIL TO ADDRESS LEGAL DESCRIPTION
 AARON N KRAAI LOT 88 OF LAMDALE SUB PT OF
 2407 MEADOW LAKE DR SW 1/4 SEC 36 T 2 R 22 ALSO
 NAPERVILLE, IL 60564 PT W 1/2 VAC ALLEY RES#183-07
 (2008 LOT LINE ADJUST DOC#1543854)
 DDC#1028075
 DDC#10660322
 DDC#1241275
 DDC#1341333
 DDC#1417123
 DDC#1417124
 DDC#1565706

PARCEL NUMBER 09-222-36-380-007-0 LOT 200.000 ASSESSED \$832.50
 S.F./LN. TOTAL ASSESSMENT
 PROPERTY ADDRESS 4" CONC R-R 150.00SF @ \$5.55 = \$832.50
 GARY L & MARY FREDERICK ADDITIONAL 50.00SF @ \$.00 = \$.00
 5917 034 AV NUMBER OF SQUARES 6
 2 OF 8 SQ DUE TO PMT

MAIL TO ADDRESS LEGAL DESCRIPTION
 GARY L & MARY FREDERICK LOTS 86 & 87 LAMDALE SUB PT
 8227 23RD AVE SW 1/4 SEC 36 T 2 R 22 ALSO
 KENOSHA, WI 53143-6217 PT W 1/2 VAC ALLEY RES#183-07
 (2008 LOT LINE ADJUST DOC#1543854)

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER 09-222-36-382-023-0 LOT 100.000 ASSESSED \$142.50
 S.F./LN. TOTAL ASSESSMENT
 PROPERTY ADDRESS 6" CONC R-R 25.00SF @ \$5.70 = \$142.50
 CYNTHIA JIMENEZ ADDITIONAL 75.00SF @ \$.00 = \$.00
 5800 031 AV NUMBER OF SQUARES 1
 3 OF 4 SQ DUE TO PMT

MAIL TO ADDRESS LEGAL DESCRIPTION
 CYNTHIA JIMENEZ LOT 75 H L BULLMORE'S SUB
 5800 31ST AVE PT OF SW 1/4 SEC 36 T2 R22
 KENOSHA, WI 53144 V 1379 P 810
 V 1425 P 763
 DOC #897655
 DDC#1198400
 DDC#1674534
 DDC#1693116
 DDC#1703556

PARCEL NUMBER 09-222-36-401-012-0 LOT 91.000 ASSESSED \$.00
 S.F./LN. TOTAL ASSESSMENT
 PROPERTY ADDRESS 91.00SF @ \$.00 = \$.00
 ITALIAN AMERICAN SOC KENOSHA ADDITIONAL 91.00SF @ \$.00 = \$.00
 2217 052 ST NUMBER OF SQUARES 91
 91SF SIDEWALK DONE AT CITY COST

MAIL TO ADDRESS LEGAL DESCRIPTION
 ITALIAN AMERICAN SOC KENOSHA LOTS 1 2 3 4 BLK 1 BAIN'S SUB
 2217 52ND ST BEING PT OF SE 1/4 SEC 36 T 2
 KENOSHA, WI 53140-3107 R 22 EX E 20 FT LOT 1
 1985

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEMALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
09-222-36-484-004-0	100.000		\$556.75
PROPERTY ADDRESS			
CHARLES G POWELL			
2214 057 ST			
MAIL TO ADDRESS			
CHARLES G POWELL			
2531 60TH ST #10			
KENOSHA, WI 53140			
LEGAL DESCRIPTION			
PT OF SE 1/4 SEC 36 T 2 R 22			
COM ON N LINE OF 57TH ST 150			
FT W OF W LINE OF 22ND AVE TH			
M 32 1/4 FT N TO RR NE 1/4 LY TO			
PT DIRECTLY N OF BEG S TO BEG			
V 1537 P 155			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
10-223-18-230-060-0	100.000		\$555.00
PROPERTY ADDRESS			
KENT T MORTON, ANGELA MORTON			
1338 028 AV			
MAIL TO ADDRESS			
KENT & ANGELA MORTON			
1338 20TH AVE			
KENOSHA, WI 53140			
LEGAL DESCRIPTION			
PT NW 1/4 SEC 18 T 2 R 23 LOT			
"C" CSH #45E1 V1488 P34			
F/K/A PT LOT 1 CSH #554			
1993 (PT 10-223-18-230-001 &			
010)			
V 1671 P 523			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEMALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
10-223-18-301-037-0	75.000		\$1,110.00
PROPERTY ADDRESS			
RYAN N BELCHER			
1769 21ST AVE			
KENOSHA, WI 53140			
MAIL TO ADDRESS			
RYAN N BELCHER			
1769 21ST AVE			
KENOSHA, WI 53140			
LEGAL DESCRIPTION			
LOT 138 & S 18.94 FT LOT 139			
VILLA CARRI ALTA UNIT "C" PT			
OF SW 1/4 SEC 18 T2 R23 1978			
V 1005 P 68			
V 1204 P263			
DOC#1046215			
DOC#1353853			
DOC#1563904			
DOC#1563905			
DOC#1574523			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
10-223-18-303-029-0	200.000		\$1,110.00
PROPERTY ADDRESS			
JUDY SMITH			
1566 016 AV			
MAIL TO ADDRESS			
JUDY SMITH			
1566 16TH AVE			
KENOSHA, WI 53140-1573			
LEGAL DESCRIPTION			
SW 1/4 SEC 18 T 2 R 23			
VILLACARRI ALTA - UNIT "A" SUB			
LOT 62			
V 1419 P 363			

PARCEL NUMBER 10-223-18-320-003-0 LOT 100.000
 ASSESSED S.F./LN. TOTAL ASSESSMENT
 PROPERTY ADDRESS JANIE CORNELL
 1503 019 AV
 ADDITIONAL 100.00SF @ \$.00 = \$.00
 NUMBER OF SQUARES 4 SQ DUE TO PWT

MAIL TO ADDRESS
 JANIE CORNELL
 1503 19TH AVE
 KENOSHA, WI 53140
 LEGAL DESCRIPTION
 LOT 21 WADE ESTATES NW 1/4
 SW 1/4 SEC 18 T 2 R 23
 V 1030 P195
 V 1342 P 69
 DOC#1054015
 DOC#1054016
 DOC#1442615
 DOC#1442616
 DOC#1672868
 DOC#1694079
 DOC#1699409

PARCEL NUMBER 10-223-18-353-008-0 LOT 125.000 \$277.50
 PROPERTY ADDRESS RICKY R & JOAN A VANDERHOOF
 1789 021 AV
 4" CONC R-R 59.00SF @ \$.55 = \$277.50
 ADDITIONAL 75.00AR @ \$.00 = \$.00
 NUMBER OF SQUARES 2
 3 OF 5 SQ DUE TO PWT

MAIL TO ADDRESS
 RICKY R & JOAN A VANDERHOOF
 1789 21ST AVE
 KENOSHA, WI 53140-1664
 LEGAL DESCRIPTION
 LOT 323 NORTHERN ESTATES SUB
 PT OF SW 1/4 SEC 18 T 2 R 23
 V 965 P 107
 DOC#1559408

PARCEL NUMBER 10-223-18-377-004-0 LOT 325.000
 ASSESSED S.F./LN. TOTAL ASSESSMENT
 PROPERTY ADDRESS DEBORAH A CLACK
 1533 016 PL
 6" CONC R-R 50.00SF @ \$.70 = \$285.00
 ADDITIONAL 275.00AR @ \$.00 = \$.00
 NUMBER OF SQUARES 2
 11 OF 13 SQ DUE TO PWT

MAIL TO ADDRESS
 DEBORAH A CLACK
 1533 16TH PL
 KENOSHA, WI 53140-1517
 LEGAL DESCRIPTION
 LOT 175 VILLA CAPRI ALTA UNIT C
 PT SE & SW 1/4 SEC 18 T 2 R 23
 DOC#1075578
 DOC#1406735
 DOC#1570454

PARCEL NUMBER 10-223-18-379-011-0 LOT 200.000 \$1,110.00
 PROPERTY ADDRESS SANDRA JEAN RADDATZ
 1765 048 AV
 4" CONC R-R 200.00SF @ \$.55 = \$110.00
 NUMBER OF SQUARES 8

MAIL TO ADDRESS
 SANDRA J RADDATZ
 1765 18TH AVE
 KENOSHA, WI 53140-1642
 LEGAL DESCRIPTION
 LOT 305 NORTHERN ESTATES SUB
 PT SW 1/4 SEC 18 T 2 R 23
 V 838 P 147
 DOC#1577962

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

ASSESSED S.F./LN.	TOTAL ASSESSMENT
10-223-19-226-004-0	100.000
4" CONC R-R 50.00SF @ \$5.55 = \$277.50	\$562.50
6" CONC R-R 50.00SF @ \$5.70 = \$285.00	
NUMBER OF SQUARES 4	
1821 018 AV	
MAIL TO ADDRESS	LEGAL DESCRIPTION
KELLY A BURRIS	LOT 189 NORTHERN ESTATES
1821 18TH AVE	SUB NW 1/4 SEC 19 T2 R23
KENOSHA, WI 53140-1644	V 1382 P 461
	DOC#1171915
	DCC#1491607

ASSESSED S.F./LN.	TOTAL ASSESSMENT
10-223-19-230-023-0	150.000
4" CONC R-R 50.00SF @ \$5.55 = \$277.50	\$277.50
ADDITIONAL 100.00SF @ \$.00 = \$.00	
NUMBER OF SQUARES 2	
4 OF 6 SQ DUE TO PMT	
MAIL TO ADDRESS	LEGAL DESCRIPTION
CHARLES T & NANCY C NOVAK	NW 1/4 SEC 19 T 2 R 23
1844 021 AV	NORTHERN ESTATES SUB LOT 290
KENOSHA, WI 53140-1666	

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

ASSESSED S.F./LN.	TOTAL ASSESSMENT
10-223-19-230-030-0	325.000
4" CONC R-R 250.00SF @ \$5.55 = \$1387.50	\$1,387.50
ADDITIONAL 75.00SF @ \$.00 = \$.00	
NUMBER OF SQUARES 10	
3 OF 13 SQ DUE TO PMT	
1802 021 AV	
MAIL TO ADDRESS	LEGAL DESCRIPTION
ROBERT J ZUPAN	NW 1/4 SEC 19 T 2 R 23
1802 21ST AVE	NORTHERN ESTATES SUB LOT 283
KENOSHA, WI 53140	V1703 P289

ASSESSED S.F./LN.	TOTAL ASSESSMENT
10-223-19-255-003-0	250.000
ADDITIONAL 250.00SF @ \$.00 = \$.00	
NUMBER OF SQUARES 10	
10 SQ DUE TO PMT	
1913 021 ST	
MAIL TO ADDRESS	LEGAL DESCRIPTION
BOBBIE S LOHNER	LOT 86 VILLA CARRI UNIT NO 2
1913 21ST ST	NW 1/4 SEC 19 T 2 R 23
KENOSHA, WI 53140-1874	DOC#1907433
	DCC#1170967

ASSESSED S.F./LN.	TOTAL ASSESSMENT
10-223-19-255-010-0	125.000
4" CONC R-R 100.00SF @ \$5.55 = \$555.00	\$697.50
6" CONC R-R 25.00SF @ \$5.70 = \$142.50	
NUMBER OF SQUARES 5	
2109 021 ST	
MAIL TO ADDRESS	LEGAL DESCRIPTION
JASON R & CATHY L BROADWAY	LOT 93 VILLA CARRI UNIT # 2
2109 21ST ST	NW 1/4 SEC 19 T 2 R 23
KENOSHA, WI 53140-1876	DOC#1240741

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER 10-223-19-255-022-0 LOT 125.000
 ASSESSED S.F./LN. TOTAL ASSESSMENT
 PROPERTY ADDRESS MARILEE A ENGELSON
 MARILEE A ENGELSON 125.00SF @ \$.00 = \$.00
 1908 022 ST 5 SQ DUE TO PWT
 LEGAL DESCRIPTION
 MAIL TO ADDRESS LOT 60 VILLA CAPRI UNIT NO 2
 MARILEE A ENGELSON PT NW 1/4 SEC 19 T 2 R 23
 KENOSHA, WI 53140 DOC#1356028
 DOC#1395050

PARCEL NUMBER 10-223-19-276-011-0 LOT 59.000
 ASSESSED S.F./LN. TOTAL ASSESSMENT
 PROPERTY ADDRESS MICHAEL J SCUGLIK & MONIQUE C LAND 2 SQ DUE TO PWT
 1501 021 ST 59.00SF @ \$.00 = \$.00
 LEGAL DESCRIPTION
 MAIL TO ADDRESS LOT 234 VILLA CAPRI UNIT 5
 MICHAEL J & MONIQUE C SCUGLIK PT NW 1/4 SEC 19 T 2 R 23
 1501 21ST ST V 1523 P 426
 KENOSHA, WI 53140-1862 DOC#1226816
 DOC#1417731

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER 10-223-19-277-039-0 LOT 718.000
 ASSESSED S.F./LN. TOTAL ASSESSMENT
 PROPERTY ADDRESS JZ HOMES LLC
 JZ HOMES LLC 718.000
 1902 016 AV 4" CONC R-R 325.00SF @ \$.55 = \$180.75
 6" CONC R-R 25.00SF @ \$.70 = \$17.50
 ADDITIONAL 388.00AR @ \$.00 = \$.00
 NUMBER OF SQUARES 14
 LEGAL DESCRIPTION
 MAIL TO ADDRESS LOT 71 NORTHERN ESTATES SUB
 JZ HOMES LLC NW 1/4 SEC 19 T 2 R 23
 10514 63RD ST V 1388 P 113
 KENOSHA, WI 53142 DOC#1168924
 DOC#4515405
 DOC#4531167
 DOC#1582159
 DOC#1615623
 DOC#1615624
 DOC#1622237
 DOC#1654124
 DOC#1670741

PARCEL NUMBER 10-223-19-278-034-0 LOT 200.000
 ASSESSED S.F./LN. TOTAL ASSESSMENT
 PROPERTY ADDRESS JEANETTE CZECHOWICZ
 JEANETTE CZECHOWICZ 200.000
 1932 017 AV 4" CONC R-R 50.00SF @ \$.55 = \$27.50
 6" CONC R-R 150.00SF @ \$.70 = \$105.00
 ADDITIONAL 150.00AR @ \$.00 = \$.00
 NUMBER OF SQUARES 2
 6 OF 8 SQ DUE TO PWT
 LEGAL DESCRIPTION
 MAIL TO ADDRESS NW 1/4 SEC 19 T 2 R 23
 JEANETTE CZECHOWICZ NORTHERN ESTATES SUB LOT 56
 1932 17TH AVE
 KENOSHA, WI 53140-4713

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
10-223-19-301-003-0		1100.000	\$5,707.50

PROPERTY ADDRESS
 HOLY NATIVITY EVAN LUTH CHURCH
 2313 17TH AVE
 KENOSHA, WI 53140-1860

LEGAL DESCRIPTION
 SW 1/4 SEC 19 T 2 R 23 BEG
 61.8FT S OF N 1/4 LINE & NE
 COR OF NORTH GATE SUB TH E
 435.91 FT S 321.03 FT W 435.91
 FT N 320.48 FT TO BEG RESE
 RIVING W 4.72FT & STRIP OFF S
 SIDE 26.28 FT ON E & 25.48 FT
 ON W FOR STREET 350 A2

4" CONC R-R	300.00SF @ \$5.55 = \$1665.00
6" CONC R-R	100.00SF @ \$5.70 = \$570.00
ADDITIONAL	400.00AR @ \$1.00 = \$400.00
NUMBER OF SQUARES	10

MAIL TO ADDRESS
 CARAVAVETTA ENTERPRISES LLC
 4123 95TH ST
 PLEASANT PRAIRIE, WI 53158-3714

LEGAL DESCRIPTION
 LOT 76 NORTH GATE SUB PT
 OF SW 1/4 SEC 19 T 2 R 23
 V 1283 P295
 DOC#1030448
 DOC#1469401
 DOC#1704198
 DOC#1721512

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
10-223-19-303-002-0		50.000	\$0.00

PROPERTY ADDRESS
 KATHLEEN M ACERBI
 1707 023 ST
 KENOSHA, WI 53140

LEGAL DESCRIPTION
 LOT 77 NORTH GATE SUB PT
 OF SW 1/4 SEC 19 T 2 R 23
 V 1648 P 21
 DOC#118476
 DOC#122282

ADDITIONAL	75.00SF @ \$1.00 = \$75.00
NUMBER OF SQUARES	3
3 SQ DUE TO PWT	

MAIL TO ADDRESS
 SHIRLEY M RODERS
 1723 23RD ST
 KENOSHA, WI 53140-1838

LEGAL DESCRIPTION
 PT OF SW 1/4 SEC 19 T 2 R 23
 LOT 80 NORTH GATE SUB
 DOC #979114

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
10-223-19-303-012-0	425.000		\$2,366.25
PROPERTY ADDRESS			
KEITH T FURLONI			
1702 024 ST			
MAIL TO ADDRESS			
KEITH T FURLONI			
1702 24TH ST			
KENOSHA, WI 53140-1848			
LEGAL DESCRIPTION			
LOT 75 NORTH GATE SUB PT			
OF SW 1/4 SEC 19 T 2 R 23			
DOC#1183812			
DOC#1183879			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
10-223-19-333-010-0	175.000		\$277.50
PROPERTY ADDRESS			
JULIA J ASHLEY			
2006 026 ST			
MAIL TO ADDRESS			
JULIA J ASHLEY			
3034 FLATWOOD RD			
TIMBERLAKE, NC 27583			
LEGAL DESCRIPTION			
LOT 65 KENOSHA INDUSTRIAL			
ASSOC SUB PT SW 1/4 SEC 19			
T 2 R 23			
V 1569 P 573			
DOC#1016169			
DOC#1599976			
DOC#1704610			
DOC#1711913			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
10-223-19-335-007-0	400.000		\$3,395.00
PROPERTY ADDRESS			
MICHELLE A SCHROEDER			
2017 026 ST			
MAIL TO ADDRESS			
MICHELLE A SCHROEDER			
2017 26TH ST			
KENOSHA, WI 53140-4906			
LEGAL DESCRIPTION			
LOT 82 KENOSHA INDUSTRIAL			
ASSOCIATION'S SUB PT OF			
SW 1/4 SEC 19 T 2 R 23			
DOC#1133504			
DOC#1294795			
DOC#1545168			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
10-223-19-339-003-0	125.000		\$277.50
PROPERTY ADDRESS			
EDWARD M & ROSALYN L DEARDORF			
1813 023 ST			
MAIL TO ADDRESS			
EDWARD M & ROSALYN L DEARDORF			
1813 23RD ST			
KENOSHA, WI 53140-1840			
LEGAL DESCRIPTION			
PT OF SW 1/4 SEC 19 T 2 R 23			
LOT 84 NORTH GATE SUB			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
10-223-19-353-002-0		200.000	\$1,110.00
PROPERTY ADDRESS TCF NATIONAL BANK 2109 027 ST			
LEGAL DESCRIPTION LOT 152 KENOSHA INDUSTRIAL ASSN'S SUB BEING PT OF SW 1/4 SEC 19 T 2 R 23 DOC#1160860 DOC#1723888 DOC#1723899			
MAIL TO ADDRESS TCF NATIONAL BANK 500 WEST BROWN DEER RD MILWAUKEE, WI 53217			

PARCEL NUMBER 10-223-19-354-010-0
 LOT 100.000
 ADDITIONAL NUMBER OF SQUARES 100.00SF @ \$.00 = \$.00
 PROPERTY ADDRESS GARY L GRVAKOSKI
 2116 029 ST
 4 SQ DUE TO PWT

LEGAL DESCRIPTION
 LOT 255 KENOSHA INDUSTRIAL
 ASSN'S SUB BEING PT OF SW 1/4
 SEC 19 T 2 R 23
 DOC#1555095
 DOC#1629112
 DOC#1639232

MAIL TO ADDRESS
 GARY L GRVAKOSKI
 2116 29TH ST
 KENOSHA, WI 53140

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
10-223-19-354-011-0		175.000	\$971.25
PROPERTY ADDRESS RONNIE J & GAYLE D SCHWARTZ 2112 029 ST			
LEGAL DESCRIPTION LOT 254 KENOSHA INDUSTRIAL ASSN'S SUB PT OF SW 1/4 SEC 19 T 2 R 23 DOC#1241137 DOC#1451760			
MAIL TO ADDRESS RONNIE J & GAYLE D SCHWARTZ 2112 29TH ST KENOSHA, WI 53140-5026			

PARCEL NUMBER 10-223-19-356-001-0
 LOT 100.000
 ADDITIONAL NUMBER OF SQUARES 100.00SF @ \$.00 = \$.00
 PROPERTY ADDRESS JAKE E LOEWEN
 1903 029 ST
 CURB WORK TO BE DONE AT CITY COST

LEGAL DESCRIPTION
 LOT 273 KENOSHA INDUSTRIAL ASSN'S
 SUB PT OF SW 1/4 SEC 19 T 2 R 23
 ALSO N 1/2 VACATED ALLEY RES #216-
 94 DOC #979734 1995 LOT LINE ADJ
 V 619 P 497
 DOC#4702273
 DOC#4723174
 DOC#4723745

MAIL TO ADDRESS
 JAKE E LOEWEN
 1903 29TH ST
 KENOSHA, WI 53140-

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER 10-223-19-361-011-0 LOT 125.000
 ASSESSED S.F./LN. TOTAL ASSESSMENT
 PROPERTY ADDRESS SHAWN ST MARTIN 1806 30TH ST
 ADDITIONAL NUMBER OF SQUARES 125.000AR @ \$.00 = \$.00
 5 SQ DUE TO PWT

LEGAL DESCRIPTION
 LOT 289 EXCEPT THE E E FT
 KENOSHA INDUSTRIAL ASSN'S SUB
 PT OF SW 1/4 SEC 19 T 2 R 23
 V 1347 V818
 DDC#1109282
 DDC#1262359
 DDC#1262360
 DDC#1503811
 DDC#1684446

PARCEL NUMBER 10-223-19-362-006-0 LOT 150.000 \$636.25

PROPERTY ADDRESS ROBERT F & LANA L EDWARDS 1827 028 ST
 4" CONC R-R 125.00SF @ \$.55 = \$693.75
 6" CONC R-R 25.00SF @ \$.70 = \$142.50
 NUMBER OF SQUARES 6

LEGAL DESCRIPTION
 LOT 219 KENOSHA INDUSTRIAL
 ASSN S SUB BEING PT OF SW 1/4
 SEC 19 T 2 R 23
 V 867 P 639

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER 10-223-19-378-010-0 LOT 153.000 \$693.75
 ASSESSED S.F./LN. TOTAL ASSESSMENT
 PROPERTY ADDRESS MAV PROPERTIES LLC 1627 027 ST
 ADDITIONAL NUMBER OF SQUARES 125.00SF @ \$.55 = \$693.75
 28SF CARRIAGE DONE AT CITY COST

LEGAL DESCRIPTION
 COM 40 FT E OF NE COR OF LOT
 174 KENOSHA IND ASSN'S SUB TH
 E 80 FT S 132.47 FT W 80 FT
 N 132.47 FT TO BEG PT OF SW
 1/4 SEC 19 T 2 R 23
 V 1555 P 28
 DDC#1014178
 DDC#1017060
 DDC#1148901
 DDC#1437177
 DDC#1437178
 DDC#1525023

PARCEL NUMBER 10-223-19-378-010-0 LOT 150.000 \$693.75

PROPERTY ADDRESS GARY LEE MARKES 1701 27TH ST
 4" CONC R-R 125.00SF @ \$.55 = \$693.75
 6" CONC R-R 25.00SF @ \$.70 = \$142.50
 NUMBER OF SQUARES 6

LEGAL DESCRIPTION
 PT OF SW 1/4 SEC 19 T 2 R 23
 COM AT NE COR OF LOT 174
 KENOSHA IND L ASSOC. SUB TH E
 40 FT S 132.47 FT W 40 FT N
 132.47 FT TO BEG
 V1674 P343
 DDC#989122
 DDC #1498370

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
10-223-19-378-011-0	50.000		\$277.50
PROPERTY ADDRESS			
FRANK M DUET JR			
1705 27TH ST			
1705 027 ST			
LEGAL DESCRIPTION			
LOT 174 KENOSHA INDUSTRIAL			
ASSN S SUB PT OF SW 1/4			
SEC 19 T 2 R 23			
V 1603 P 760			
DOC#1047404			
DOC#1047407			
DOC#1171975			
DOC#1174647			
DOC#1180082			
DOC#1681031			
DOC#1882586			
DOC#1701889			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
10-223-19-379-001-0	50.000		\$277.50
PROPERTY ADDRESS			
CLARA E DEMANCHE			
1705 028 ST			
LEGAL DESCRIPTION			
4" CONC R-R 50.00SF @ \$5.55 = \$277.50			
NUMBER OF SQUARES 2			

MAIL TO ADDRESS
 CLARA E DEMANCHE
 1705 28TH ST
 KENOSHA, WI 53140

LEGAL DESCRIPTION
 583 LOTS 229 & 230 KENOSHA
 INDUSTRIAL ASSN SUB PT OF SW
 1/4 SEC 19 T2 R23 ALSO PT OF
 N 1/2 VACATED ALLEY RES#124-96
 DOC#1037227 1997
 V 1025 P 76

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
11-223-30-152-013-0	250.000		\$1,398.75
PROPERTY ADDRESS			
MICHAEL A GIELAS			
3559 010 AV			
LEGAL DESCRIPTION			
LOT 30 BLK 1 ALBERT H PEAR & SONS			
SUB PT OF NE 1/4 SEC 30 T 2 R 23			
DOC#1409746			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
11-223-30-152-014-0	200.000		\$1,110.00
PROPERTY ADDRESS			
TRACY BUTLER			
3565 010 AV			
LEGAL DESCRIPTION			
LOT 31 BLK 1 ALBERT H PEAR &			
SONS SUB NE 1/4 SEC 30 T2 R23			
DOC #976916			
DOC #993427 (DEED IN ERROR)			
DOC#1288827			
DOC#1482511			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
11-223-30-152-015-0		175.000	\$992.50
PROPERTY ADDRESS			
BRYAN O ZELLMER			
3603 010 AV			
LEGAL DESCRIPTION			
LOT 32 BLK 1 ALBERT H PEARR & SONS SUB PT NE 1/4 SEC 30 T 2 R 23			
V 841 P 386			
DOC#1298573			
DOC#1447889			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
11-223-30-152-016-0		225.000	\$1,260.00
PROPERTY ADDRESS			
ROBERT A & JOHANNA C LUEDECKE			
3607 010 AV			
LEGAL DESCRIPTION			
LOT 33 BLK 1 ALBERT H PEARR & SONS SUB NE 1/4 SEC 30 T 2 R 23			
V 1563 P 388			
DOC#1290811			
DOC#1240975			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
11-223-30-153-032-0		75.000	\$423.75
PROPERTY ADDRESS			
BRETT N LOBELLO			
3710 010 AV			
LEGAL DESCRIPTION			
LOT 49 SHERIDAN RD SUB BEING PT OF NE 1/4 SEC 30 T 2 R 23			
DOC#1445432			
DOC#1546422			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
11-223-30-153-027-0		75.000	\$398.75
PROPERTY ADDRESS			
ERIC INVESTMENT SOLUTIONS LLC			
1012 038 ST			
LEGAL DESCRIPTION			
LOT 54 SHERIDAN RD SUB BEING PT OF NE 1/4 SEC 30 T 2 R 23			
V 1574 P 306			
DOC#1145971			
DOC#1253342			
DOC#1385645			
DOC#1385648			
DOC#1390318			
DOC#1715477			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
11-223-30-153-027-0		75.000	\$398.75
PROPERTY ADDRESS			
ERIC INVESTMENT SOLUTIONS LLC			
1012 038 ST			
LEGAL DESCRIPTION			
LOT 54 SHERIDAN RD SUB BEING PT OF NE 1/4 SEC 30 T 2 R 23			
V 1574 P 306			
DOC#1145971			
DOC#1253342			
DOC#1385645			
DOC#1385648			
DOC#1390318			
DOC#1715477			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
11-223-30-153-032-0		75.000	\$423.75
PROPERTY ADDRESS			
BRETT N LOBELLO			
3710 010 AV			
LEGAL DESCRIPTION			
LOT 49 SHERIDAN RD SUB BEING PT OF NE 1/4 SEC 30 T 2 R 23			
DOC#1445432			
DOC#1546422			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
11-223-30-153-032-0		75.000	\$423.75
PROPERTY ADDRESS			
BRETT N LOBELLO			
3710 010 AV			
LEGAL DESCRIPTION			
LOT 49 SHERIDAN RD SUB BEING PT OF NE 1/4 SEC 30 T 2 R 23			
DOC#1445432			
DOC#1546422			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER 11-223-30-203-007-0 LOT 275.000 \$1,537.50
 ASSESSED S.F./LN. TOTAL ASSESSMENT
 PROPERTY ADDRESS 4" CONC R-R 200.00SF @ \$5.55 = \$1116.00
 DEBRA KOEHLER 6" CONC R-R 75.00SF @ \$5.70 = \$427.50
 3211 018 AV NUMBER OF SQUARES 11

MAIL TO ADDRESS LEGAL DESCRIPTION
 DEBRA KOEHLER LOT 14 & N 21 FT LOT 15 BLK 1
 3223 18TH AVE NORTH KENOSHA SUB PT OF BLK 2
 KENOSHA, WI 53140 TRUSTEE'S SUB BEING PT OF THE
 NW 1/4 SEC 30 T 2 R 23
 DDC #9886570
 DDC#1286383
 DDC#1287614
 DDC#1241497
 DDC#1495847
 DDC#1677899

PARCEL NUMBER 11-223-30-203-013-0 LOT 675.000 \$2,100.00
 PROPERTY ADDRESS 4" CONC R-R 250.00SF @ \$5.55 = \$1387.50
 JAMES MINKY 6" CONC R-R 125.00SF @ \$5.70 = \$712.50
 3204 017 AV ADDITIONAL. 300.00AR @ \$.00 = \$.00
 NUMBER OF SQUARES 17

MAIL TO ADDRESS LEGAL DESCRIPTION
 JAMES MINKY LOT 5 H 6 H SUB PT OF
 3204 17TH AVE NW 1/4 SEC 30 T 2 R 23
 KENOSHA, WI 53140 V 936 P 251
 DDC#1190173
 DDC#1453736

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER 11-223-30-235-003-0 LOT 190.000 \$0.00
 ASSESSED S.F./LN. TOTAL ASSESSMENT
 PROPERTY ADDRESS 190.00SF @ \$.00 = \$0.00
 SCOTT & KATHRYN JACOBSON NUMBER OF SQUARES
 1815 034 ST 4 SQ DUE TO PWT

MAIL TO ADDRESS LEGAL DESCRIPTION
 SCOTT & KATHRYN JACOBSON 850 851-1 LOT 6 & THE E 8 FT
 1815 34TH ST OF LOT 7 ALSO THE W 14 FT OF
 KENOSHA, WI 53140-5223 LOT 5, BLK 11 NORTH KENOSHA PT
 OF BLK 2 TRUSTEE'S SUB IN NW
 1/4 SEC 30 T 2 R 23 ALSO 1/2
 VAC ALLEY RES#6369 10/12/59
 DDC#1069790
 DDC#1446651
 DDC#1681191

PARCEL NUMBER 11-223-30-236-005-0 LOT 50.000 \$0.00
 PROPERTY ADDRESS 50.00SF @ \$.00 = \$0.00
 MATTHEW R LEES NUMBER OF SQUARES
 1827 033 ST 2 SQ DUE TO PWT

MAIL TO ADDRESS LEGAL DESCRIPTION
 MATTHEW R LEES W 16 FT OF LOT 8 & ALL OF LOTS
 1827 33RD ST 9 & 10 & ALSO N 1/2 OF ALLEY
 KENOSHA, WI 53140 ADJ ON S ORD 747 (8/17/31) BLK
 8 OF NORTH KENOSHA PT OF BLK 2
 TRUSTEE'S SUB PT OF NW 1/4 SEC
 30 T 2 R 23
 DDC#1146893
 DDC#1242286
 DDC#1490136
 DDC#1557029
 DDC#1580270

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

ASSESSED S.F./LN.	TOTAL ASSESSMENT
11-223-30-237-091-0	350.000
1803 092 ST	14 SQ DUE TO PWT
PROPERTY ADDRESS WALTER J & MARILYN SKIPPER	ADDITIONAL NUMBER OF SQUARES
1803 092 ST	350.00SF @ \$.100 =
	\$.00

LEGAL DESCRIPTION
 LOTS 1 & 2 ALSO N 1/2 OF ALLEY
 ADJOINING ON S ORD 9 1950 B 7
 N KENOSHA PT OF B 2 TRUSTEE'S
 SUB PT OF NW 1/4 SEC 30 T 2 R
 23

PARCEL NUMBER	LOT	175.000	\$277.50
11-223-30-237-096-0			
PROPERTY ADDRESS FREDRICK D & SHIRLEY ZALEWSKI 3221 019 AV	ADDITIONAL NUMBER OF SQUARES	4" CONC R-R 125.00AR @ \$.00 =	\$277.50
		5 OF 7 SQ DUE TO PWT	\$.00

LEGAL DESCRIPTION
 LOTS 11 & 12 & ALSO S 1/2 OF
 VACATED ALLEY ADJ ON N ORD 9
 1950 BLK 7 N KENOSHA PT OF B2
 TRUSTEE'S SUB PT OF NW 1/4 SEC
 30 T 2 R 23
 DDC#1558325

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

ASSESSED S.F./LN.	TOTAL ASSESSMENT
11-223-30-257-011-0	225.000
3712 021 AV	1083 S 35 FT OF LOT 3 & ALL OF LOT 4 BLK 4 HODD'S 2ND ADD PT OF NW 1/4 SEC 30 T 2 R 23 DOC#1136924 DEED IN ERROR DOC#1138232 DOC#1329121 DOC#1378610 DOC#1639581
PROPERTY ADDRESS BERNICE P KLEMMO SURVIVOR'S TRUST	ADDITIONAL NUMBER OF SQUARES
3712 021 AV	150.00SF @ \$.55 =
	25.00SF @ \$.70 =
	50.00AR @ \$.100 =
	\$975.00

MAIL TO ADDRESS
 BERNICE P KLEMMO
 3712 21ST AVE
 KENOSHA, WI 53140

PARCEL NUMBER	LOT	150.000	\$.00
11-223-30-259-006-0			
PROPERTY ADDRESS DENISE M ABIG FAMILY TRUST DTD 11/ 6 SQ DUE TO PWT	ADDITIONAL NUMBER OF SQUARES	4" CONC R-R 150.00SF @ \$.00 =	\$.00
		1134 LOTS 12 & 13 BLK 6 HODD'S SECOND ADD PT OF NW 1/4 SEC 30 T 2 R 23 DOC#1493327 DOC#1567472 DOC#1573499	

LEGAL DESCRIPTION
 1134 LOTS 12 & 13 BLK 6 HODD'S
 SECOND ADD PT OF NW 1/4 SEC 30
 T 2 R 23
 DOC#1493327
 DOC#1567472
 DOC#1573499

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
11-223-30-282-008-0	125.000		
PROPERTY ADDRESS			
NORTHSIDE BIBLE CHURCH			
1600 37TH ST			
1600 037 ST			
LEGAL DESCRIPTION			
956 LOTS 6 & 7 B 5 HASTINGS' PARK SUB PT OF NW 1/4 SEC 30 T 2 R 23			
ADDITIONAL NUMBER OF SQUARES			
5 SQ DUE TO PMT			
TOTAL ASSESSMENT \$.00			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
11-223-30-330-010-0	125.000		
PROPERTY ADDRESS			
SHARI L ROEHL			
1516 S 76TH ST			
MILWAUKEE, WI 53214-4626			
LEGAL DESCRIPTION			
LOT 6 BLK 10 HOODS 2ND ADD PT SW 1/4 SEC 30 T 2 R 23			
ADDITIONAL NUMBER OF SQUARES			
3			
TOTAL ASSESSMENT \$423.75			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
11-223-30-330-011-0	150.000		
PROPERTY ADDRESS			
LYNN N & ALVIN D HOPKINS			
1906 WAS RD			
LEGAL DESCRIPTION			
LOT 5 BLK 10 HOODS 2ND ADD PT SW 1/4 SEC 30 T 2 R 23			
ADDITIONAL NUMBER OF SQUARES			
1			
TOTAL ASSESSMENT \$142.50			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
11-223-30-331-019-0	25.000		
PROPERTY ADDRESS			
DOUGLAS SWIFT			
3916 018 AV			
LEGAL DESCRIPTION			
LOT 3 BLK 11 HOODS 2ND ADD PT SW 1/4 SEC 30 T 2 R 23			
ADDITIONAL NUMBER OF SQUARES			
1			
TOTAL ASSESSMENT \$142.50			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER 11-223-30-362-018-0 LOT 25.000
 ASSESSED S.F./LN. TOTAL ASSESSMENT \$142.50
 PROPERTY ADDRESS ROBERT THORNTON
 4417 619 AV
 6" CONC R-R 25.00SF @ \$5.70 = \$142.50
 NUMBER OF SQUARES 1

LEGAL DESCRIPTION
 7794-1 S 30 FT OF LOT 14 & N
 30 FT OF LOT 15 EVAN'S SUB PT
 OF SW 1/4 SEC 30 T2 R23 ALSO
 W 1/2 VAC ALLEY RES #73-02
 DOC #1275901 V 1679 P 491
 (2803 LOT LINE ADJUSTMENT)
 V 1679 P 491
 DDC#1036186
 DDC#1618007
 DDC#1524185

MAIL TO ADDRESS
 ROBERT THORNTON
 6634 88TH AVE
 KENOSHA, WI 53142

PARCEL NUMBER 11-223-30-405-001-0 LOT
 PROPERTY ADDRESS WILLIAM BURLING
 3984 005 AV
 NUMBER OF SQUARES
 CURB WORK DONE AT CITY COST

MAIL TO ADDRESS
 WILLIAM BURLING
 3984 5TH AVE
 KENOSHA, WI 53140

LEGAL DESCRIPTION
 NE 1/4 OF B 40 OF PT OF SE 1/4
 SEC 30 T 2 R 23
 V 1461 P 595

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER 11-223-30-405-012-0 LOT 200.000
 ASSESSED S.F./LN. TOTAL ASSESSMENT \$.00
 PROPERTY ADDRESS NORMAN WERTH
 3922 005 AV
 ADDITIONAL 200.00AR @ \$.00 = \$.00
 NUMBER OF SQUARES
 8 SQ DUE TO PWT

LEGAL DESCRIPTION
 S 62 FT OF E 85 FT OF SE 1/4
 OF B 40 OF PT OF SE 1/4 SEC 30
 T 2 R 23
 DOC #1721365

PARCEL NUMBER 11-223-30-406-007-0 LOT 125.000
 ASSESSED S.F./LN. TOTAL ASSESSMENT \$420.00
 PROPERTY ADDRESS MARIAN R KOLENO & PAUL E BOTHE
 4018 006 AV
 4" CONC R-R 50.00SF @ \$5.55 = \$277.50
 6" CONC R-R 25.00SF @ \$5.70 = \$142.50
 ADDITIONAL 50.00AR @ \$.00 = \$.00
 NUMBER OF SQUARES 3

LEGAL DESCRIPTION
 PT OF BLK 42 SE 1/4 SEC 30 T 2
 R 23 COM 44 FT N OF SE COR OF
 BLK TH W 100 FT N 24 FT W 26 1/2
 FT N 20 FT E 126 1/2 FT S TO POB
 V 1679 P 878
 DDC #1074765
 DDC #1189981
 DDC #1304424
 DDC #1638846

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

ASSESSED TOTAL
 S.F./LN. ASSESSMENT

PARCEL NUMBER 11-223-30-406-009-0 LOT 200.000 \$555.00
 PROPERTY ADDRESS 4" CONC R-R 100.00SF @ \$.55 = \$555.00
 MARTIN J KNIGHT ADDITIONAL 100.00SF @ \$.00 = \$0.00
 4014 006 AV NUMBER OF SQUARES 4
 3 OF 4 SQ & 25SF CARR WALK DUE TO PWT

MAIL TO ADDRESS LEGAL DESCRIPTION
 MARTIN J KNIGHT PT OF BLK 42 SE 1/4 SEC 30 T2
 4014 6TH AVE R23 COM 88 FT N OF SE COR OF
 KENOSHA, WI 53140-5517 BLK TH W 126 1/2 FT N 44 FT E
 126 1/2 FT S 44 FT TO BEG
 DOC#13596165
 DOC#1722363

PARCEL NUMBER 11-223-30-406-009-0 LOT 200.000 \$566.25
 PROPERTY ADDRESS 4" CONC R-R 25.00SF @ \$.55 = \$139.75
 MARK A MAURER TR OF MARK MAURER RE ADDITIONAL 6" CONC R-R 75.00SF @ \$.70 = \$427.50
 4010 006 AV NUMBER OF SQUARES 4

MAIL TO ADDRESS LEGAL DESCRIPTION
 MARK A MAURER PT OF B 42 SE 1/4 SEC 30 T 2 R
 TRUST 23 COM 92 FT S OF NE COR OF B
 KENOSHA, WI 53140 TH S 40 FT W 126 1/2 FT N 40
 FT E 126 1/2 FT TO BEG
 V 1411 P 617
 DOC#1591302

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

ASSESSED TOTAL
 S.F./LN. ASSESSMENT

PARCEL NUMBER 11-223-30-407-008-0 LOT 150.000 \$697.50
 PROPERTY ADDRESS 4" CONC R-R 100.00SF @ \$.55 = \$555.00
 LANGSDORF PROPERTIES LLC ADDITIONAL 25.00SF @ \$.70 = \$172.50
 4022 005 AV NUMBER OF SQUARES 5
 CURB WORK DONE AT CITY COST

MAIL TO ADDRESS LEGAL DESCRIPTION
 LANGSDORF PROPERTIES LLC PT OF BLK 41 SE 1/4 SEC 30 T2
 1884 CLOVERDALE DR R23 COM AT SE COR OF BLK TH W
 ROCHESTER, MI 48307-6039 83 FT N 37 FT NE'LY 26.37 FT E
 2.5 FT N 29 FT E 76 FT S 88 FT
 TO BEG
 V 1606 P 503
 V 1617 P 586
 DOC#1082007
 DOC#1245455
 DOC#1359469
 (ADD'L ADDRESS 4020)

PARCEL NUMBER 11-223-30-407-009-0 LOT 150.000 \$697.50
 PROPERTY ADDRESS 4" CONC R-R 100.00SF @ \$.55 = \$555.00
 MICHAEL G NICCOLAI 6" CONC R-R 25.00SF @ \$.70 = \$172.50
 4012 005 AV NUMBER OF SQUARES 5

MAIL TO ADDRESS LEGAL DESCRIPTION
 MICHAEL G NICCOLAI S 60 FT OF N 176 FT OF E 1/2
 4012 5TH AVE BLK 41 ORIGINAL TOWN PT OF
 KENOSHA, WI 53140 SE 1/4 SEC 30 T 2 R 23
 DOC#117338
 DOC#1438302
 DOC#1587384

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER 11-223-30-409-005-0 LOT 75.000
 ASSESSED S.F./LN. TOTAL ASSESSMENT
 PROPERTY ADDRESS MAIN STREAM FUNDING
 MAIN STREAM FUNDING 4041 006 AV
 ADDITIONAL OF SQUARES 75.00SF @ \$.00 = \$.00
 3 SQ DUE TO PWT

MAIL TO ADDRESS
 MAIN STREAM FUNDING
 C/O STEVEN LAGASSE
 KENOSHA, WI 53143
 LEGAL DESCRIPTION
 N 1/2 OF S 1/2 OF NW 1/4 BLK 44
 OF PT OF SE 1/4 SEC 30 T 2 R 23
 INCL JOINT DRIVEWAY AGREEMENT
 DDC#1928986
 DDC#1597956
 DDC#1597988
 DDC#1609871

PARCEL NUMBER 11-223-30-409-006-0 LOT 50.000
 ASSESSED S.F./LN. TOTAL ASSESSMENT
 PROPERTY ADDRESS WILLIAM SCHLOSS
 WILLIAM SCHLOSS 4045 006 AV
 ADDITIONAL OF SQUARES 50.00SF @ \$.55 = \$277.50
 4" CONC R-R NUMBER OF SQUARES 2

MAIL TO ADDRESS
 WILLIAM SCHLOSS
 1458 KINGSFORD CT
 NORTHBROOK, IL 60062
 LEGAL DESCRIPTION
 THE S 1/2 OF S 1/2 OF NW 1/4
 BLK 44 SE 1/4 SEC 30 T 2 R 23
 INCLUDES DRIVEWAY EASEMENT
 V1476 P 828
 V1795 P 658
 DDC#1344514
 DDC#1453753

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER 11-223-30-409-007-0 LOT 125.000
 ASSESSED S.F./LN. TOTAL ASSESSMENT
 PROPERTY ADDRESS LIZA THOBER
 LIZA THOBER 4049 006 AV
 ADDITIONAL OF SQUARES 75.00SF @ \$.57 = \$427.50
 50.00AR @ \$.00 = \$.00
 2 OF 5 SQ DUE TO PWT

MAIL TO ADDRESS
 LIZA THOBER
 5808 PERSHING BLVD
 KENOSHA, WI 53144
 LEGAL DESCRIPTION
 PT OF S 1/2 BLK 44 IN
 SE 1/4 SEC 30 T 2 R 23
 COM ON W LN BLK 88 FT N
 OF SW COR TH E 132 FT
 TH S 44 FT TO POB
 DDC#1149739

PARCEL NUMBER 11-223-30-426-002-0 LOT 125.000
 ASSESSED S.F./LN. TOTAL ASSESSMENT
 PROPERTY ADDRESS ALBERT F & LINDA L ANDREOLI
 ALBERT F & LINDA L ANDREOLI 3807 008 AV
 ADDITIONAL OF SQUARES 125.00SF @ \$.00 = \$.00
 5 SQ DUE TO PWT

MAIL TO ADDRESS
 ALBERT F & LINDA L ANDREOLI
 3807 8TH AVE
 KENOSHA, WI 53140
 LEGAL DESCRIPTION
 LOT 25 EXCEPT N 3 FT THERE OF
 BLK 1 SMTTVILLE SUB OF BLK 25
 & PT OF BLK 26 SE 1/4 SEC 30 T
 2 R 23
 V 1691 P404
 DDC#1454006
 DDC#162643

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
11-223-30-426-003-0	87.500	4" CONC R-R 37.50SF @ \$5.55 = \$208.13 6" CONC R-R 50.00SF @ \$5.70 = \$285.00	\$493.13

PROPERTY ADDRESS
 JULIE A HOPPER
 3811 008 AV

LEGAL DESCRIPTION
 LOT 24 BLK 1 SMITHVILLE SUB OF
 BLK 25 & PT OF BLK 26 BEING PT
 OF SE 1/4 SEC 30 T 2 R 23
 DOC#1432025

MAIL TO ADDRESS
 JULIE A HOPPER
 3811 8TH AVE
 KENOSHA, WI 53140

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
11-223-30-451-013-0	50.000	4" CONC R-R 50.00SF @ \$5.55 = \$277.50	\$277.50

PROPERTY ADDRESS
 DALE A NEHLS
 714 043 ST

LEGAL DESCRIPTION
 PT OF BLK 29 SE 1/4 SEC 30 T 2
 R23 COM 8 RDS W OF SE COR OF B
 TH N 9 RDS W 33 FT S 39 1/2 FT
 W 7 FT S 110 FT E 40 FT TO BEG
 DOC#1217980

MAIL TO ADDRESS
 DALE A NEHLS
 714 43RD ST
 KENOSHA, WI 53140-5700

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
11-223-30-459-001-0	400.000	4" CONC R-R 350.00SF @ \$5.55 = \$1942.50 6" CONC R-R 50.00SF @ \$5.70 = \$285.00	\$2,227.50

PROPERTY ADDRESS
 L/JF PROPERTIES LLC
 803 043 ST

LEGAL DESCRIPTION
 1967 PT OF BLK 32 SE 1/4 SEC
 30 T 2 R 23 COM ON W LN 8TH
 AVE & S LINE OF 43RD ST TH W
 66 FT S 69 FT E 66 FT N 69 FT
 TO BEG
 DOC#1697517
 DOC#1720909

MAIL TO ADDRESS
 L/JF PROPERTIES LLC
 7744 3RD AVE
 KENOSHA, WI 53143-6003

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
11-223-30-479-011-0	125.000	4" CONC R-R 50.00SF @ \$5.55 = \$277.50 6" CONC R-R 25.00SF @ \$5.70 = \$142.50 ADDITIONAL 50.00AR @ \$.00 = \$.00	\$420.00

PROPERTY ADDRESS
 ROSA N FLOREZ
 4216 006 AV

LEGAL DESCRIPTION
 N 1/2 OF SE 1/4 OF BLK 47 OF
 PT OF SE 1/4 SEC 30 T 2 R 23
 V 526 P 193
 DOC#1176805
 DOC#1235365
 DOC#1369694

MAIL TO ADDRESS
 ROSA N FLOREZ
 4216 6TH AVE
 KENOSHA, WI 53140-2930

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER 12-223-31-140-011-0
 LOT 100.000
 ASSESSED \$562.50
 S.F./LN.
 TOTAL ASSESSMENT
 4" CONC R-R 50.00SF @ \$5.55 = \$277.50
 6" CONC R-R 50.00SF @ \$5.70 = \$285.00
 NUMBER OF SQUARES 4

MAIL TO ADDRESS
 MARCUS A MCCOY
 4628 8TH AVE
 KENOSHA, WI 53140

LEGAL DESCRIPTION
 PT OF LOTS 7 & 8 BLK 52
 NE 1/4 SEC 31 T 2 R 23 COM
 AT SE COR OF LOT 8 TH N ON W
 LINE OF 8TH AVE 28.5 FT W
 82 FT S 28.5 FT TO N LINE OF
 47TH ST E 82 FT TO POB
 DOC#1201718
 DOC#1308027
 DOC#1422452
 DOC#1425477
 DOC#1517477
 DOC#1669893

PARCEL NUMBER 12-223-31-157-014-0
 LOT 200.000
 ASSESSED \$495.00
 S.F./LN.
 TOTAL ASSESSMENT
 4" CONC R-R 25.00SF @ \$5.55 = \$138.75
 6" CONC R-R 62.50SF @ \$5.70 = \$356.25
 ADDITIONAL \$12.50AR @ \$.00 = \$.00
 NUMBER OF SQUARES 3.5

MAIL TO ADDRESS
 ARMANDO DE LA ROSA
 5147 13TH AVE
 KENOSHA, WI 53140

LEGAL DESCRIPTION
 PT OF NE 1/4 SEC 31 T 2 R 23
 BLK 88 COM 132 FT N OF SW COR
 OF BLK TH E 98 FT N 47 FT W
 98 FT S ON W LINE BLK TO BEG
 DOC#1178738
 DOC#1328655
 DOC#1374898
 DOC#1677562
 DOC#1689099

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER 12-223-31-176-009-0
 LOT 150.000
 ASSESSED \$836.25
 S.F./LN.
 TOTAL ASSESSMENT
 4" CONC R-R 125.00SF @ \$5.55 = \$693.75
 6" CONC R-R 25.00SF @ \$5.70 = \$142.50
 NUMBER OF SQUARES 6

MAIL TO ADDRESS
 NANCY M BARASCH
 5008 4TH AVE
 KENOSHA, WI 53140

LEGAL DESCRIPTION
 N 33 FT OF LOT 7 BLK 2 WASHINGTON
 ISLAND PT OF NE 1/4 SEC 31 T 2 R 23
 V 1455 P 701
 DOC#1579811 DEED IN ERROR

PARCEL NUMBER 12-223-31-176-009-0
 LOT 75.000
 ASSESSED \$416.25
 S.F./LN.
 TOTAL ASSESSMENT
 4" CONC R-R 75.00SF @ \$5.55 = \$416.25
 NUMBER OF SQUARES 3

MAIL TO ADDRESS
 ALAN BART CAMERON
 5012 4TH AVE
 KENOSHA, WI 53140

LEGAL DESCRIPTION
 12-4-0223-31-176-009 THE S 33
 FT OF LOT 7 BLK 2 & THE N 10
 FT OF LOT 8 BLK 2 WASH ISLAND
 ADD PT OF NE 1/4 SEC 31 T 2 R
 23 1978 VOL 1008 PAGE 27

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
12-223-31-235-024-0	100.000		\$138.75
PROPERTY ADDRESS			
THOMAS L & JEAN A LEBOEUF			
4616 019 AV			
LEGAL DESCRIPTION			
LOT 17 BLK 20 2ND RICE PARK ADD			
BEING PT OF NW 1/4 SEC 31 T2 R23			
ALSO E. 8 FT VAC ALLEY RES# 114-02			
DOC #1285055			
(2093 LOT LINE ADJUSTMENT)			
V 1426 P 871			
V 1498 P 789			
DOC#1193662			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
12-223-31-257-012-0	175.000		\$975.00
PROPERTY ADDRESS			
MARCIZO BELTRAN			
5124 019 AV			
LEGAL DESCRIPTION			
LOT 14 BLK 9 SECOND RICE PARK			
ADD PT NW 1/4 SEC 31 T 2 R 23			
V 1460 P 134			
V 1602 P 422			
DOC #1300024			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
12-223-31-257-013-0	75.000		\$423.75
PROPERTY ADDRESS			
CHRISTOPHER P & NANCY L RULAND			
5120 019 AV			
LEGAL DESCRIPTION			
LOT 15 BLK 9 2ND RICE PARK ADD			
PT OF NW 1/4 SEC 31 T2 R 23			
DOC#1390242			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
12-223-31-257-014-0	200.000		\$1,121.25
PROPERTY ADDRESS			
TADUSZ & MARIA HAZNAR			
5114 019 AV			
LEGAL DESCRIPTION			
LOT 16 BLK 9 2ND RICE PARK ADD			
PT OF NW 1/4 SEC 31 T 2 R 23			
V 1760 P 511			
DOC #1304127			
DOC #1449379			
DOC #1463397			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
12-223-31-257-015-0	175.000		\$975.00
PROPERTY ADDRESS			
WILLIAM J MAERKSZ			
5110 019 AV			
LEGAL DESCRIPTION			
LOT 17 B 9 2ND RICE PARK ADD BEING PT OF NW 1/4 SEC 31 T2 R 23			
V 1430 P 506			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
12-223-31-258-001-0	475.000		\$1,530.00
PROPERTY ADDRESS			
BETTY PALLAMOILLA			
5103 019 AV			
LEGAL DESCRIPTION			
LOT 1 BLK 7 RICE PARK ADD PT NW 1/4 SEC 31 T 2 R 23			
V 767 P 323.			
DOC#1715131			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
12-223-31-258-002-0	275.000		\$705.00
PROPERTY ADDRESS			
OTTAS P & CYNTHIA M MITCHELL			
5105 019 AV			
LEGAL DESCRIPTION			
LOT 2 B 7 RICE PARK ADD BEING PT OF NW 1/4 SEC 31 T 2 R 23			
V 1365 P 336 V 1389 P 808			
V 1376 P 683			
DOC#1025776			
DOC#1475010			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
12-223-31-258-003-0	200.000		\$701.25
PROPERTY ADDRESS			
BENJAMIN M CHAMNESS			
5111 019 AV			
LEGAL DESCRIPTION			
LOT 3 BLK 7 RICE PARK ADD PT OF NW 1/4 SEC 31 T2 R23			
V 1025483			
DOC#1183873			
DOC#1418978			
DOC#1430657			
DOC#1435454			
DOC#159431			
DOC#1680099			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER 12-223-31-258-004-0 LOT 250.000 ASSESSED \$277.50 TOTAL
 S.F./LN. ASSESSMENT
 PROPERTY ADDRESS 4" CONC R-R 50.00SF @ \$5.55 = \$277.50
 SHAWN RUSS 4726 57TH ST ADDITIONAL 200.00SF @ \$.00 = \$.00
 5117 019 AV NUMBER OF SQUARES 2
 8 OF 10 SQ DUE TO PWT
 LEGAL DESCRIPTION
 MAIL TO ADDRESS LOT 4 BLK 7 RICE PARK ADD
 SHAWN RUSS PT NW 1/4 SEC 31 T 2 R 23
 4726 57TH ST DDC#1214372
 KENOSHA, WI 53144 DDC#1387152
 DDC#1495170

PARCEL NUMBER 12-223-31-258-005-0 LOT 150.000 ASSESSED \$832.50 TOTAL
 S.F./LN. ASSESSMENT
 PROPERTY ADDRESS 4" CONC R-R 150.00SF @ \$5.55 = \$832.50
 SHARAIINE SMITH 5121 019 AV NUMBER OF SQUARES 6
 LEGAL DESCRIPTION
 MAIL TO ADDRESS LOT 5 BLK 7 RICE PARK ADD
 SHARAIINE SMITH PT NW 1/4 SEC 31 T 2 R 23
 5121 19TH AVE DDC#1397450
 KENOSHA, WI 53140 DDC#1456579

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER 12-223-31-258-006-0 LOT 225.000 ASSESSED \$1,200.00 TOTAL
 S.F./LN. ASSESSMENT
 PROPERTY ADDRESS 4" CONC R-R 150.00SF @ \$5.55 = \$832.50
 ALAN S OWENS 5125 019 AV 6" CONC R-R 75.00SF @ \$5.70 = \$427.50
 5125 019 AV NUMBER OF SQUARES 9
 LEGAL DESCRIPTION
 MAIL TO ADDRESS LOT 6 BLK 7 RICE PARK ADD BEING
 ALAN S OWENS PT OF NW 1/4 SEC 31 T 2 R 23
 5125 19TH AVE V1128 P798
 KENOSHA, WI 53140-3255 DDC#115983
 DDC#1572185

PARCEL NUMBER 12-223-31-258-007-0 LOT 100.000 ASSESSED \$555.00 TOTAL
 S.F./LN. ASSESSMENT
 PROPERTY ADDRESS 4" CONC R-R 100.00SF @ \$5.55 = \$555.00
 MANUEL J CALDERON 5131 019 AV NUMBER OF SQUARES 4
 LEGAL DESCRIPTION
 MAIL TO ADDRESS LOT 7 BLK 7 RICE PARK ADD BEING
 MANUEL J CALDERON PT OF NW 1/4 SEC 31 T 2 R 23
 5131 19TH AVE DOC #933302
 KENOSHA, WI 53140 DDC#1034762
 DDC#1046634 DDC#1082076 DDC#1133338 DDC#1449769

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
12-223-31-303-014-0		125.000	
PROPERTY ADDRESS	ADDITIONAL NUMBER OF SQUARES	125.00SF @ \$.00 =	\$.00
ALAN J & CAROL L MUNKROE			
1508 053 ST			
MAIL TO ADDRESS	LEGAL DESCRIPTION		
ALAN J & CAROL MUNKROE	W 3 FT OF LOT 6 & E 41 FT OF LOT 8 3 / JENNE'S ADD BEING PT OF SW 1/4 SEC 31 T 2 R 23		
1508 53RD ST	DOC#1013173		
KENOSHA, WI 53140			

PARCEL NUMBER	LOT	275.000	\$1,110.00
12-223-31-326-011-0			
PROPERTY ADDRESS	ADDITIONAL NUMBER OF SQUARES	4" CONC R-R 200.00SF @ \$5.55 = \$1110.00	
ROBERT H & ROBERTA L HALL	75.00AR @ \$.00 = \$.00		
1824 053 ST	3 OF 11 SQ DUE TO PWT		
MAIL TO ADDRESS	LEGAL DESCRIPTION		
ROBERT H & ROBERTA L HALL	E 14 FT OF LOT 11 & ALL OF LOT 12 BLK 1 THELEEN'S SUB BEING PART OF SW 1/4 SEC 31 T 2 R 23		
1824 53RD ST			
KENOSHA, WI 53140-6014			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
12-223-31-332-001-0		250.000	\$1,395.00
PROPERTY ADDRESS	ADDITIONAL NUMBER OF SQUARES	4" CONC R-R 200.00SF @ \$5.55 = \$1110.00	
AARON KOHLMETTER	50.00SF @ \$5.70 = \$285.00		
5302 019 AV			
MAIL TO ADDRESS	LEGAL DESCRIPTION		
AARON KOHLMETTER	N 74 FT OF LOT 1 & N 74 FT OF E 13 FT OF LOT 2 B 6 BAIN'S SUB PT OF SW 1/4 SEC 31 T 2 R 23		
9320 67TH ST	V 1376 P 846		
KENOSHA, WI 53142	(ADD'L ADDRESS 5304)		
	DOC #1436157		
	DOC #1524224		
	DOC#1734447		

PARCEL NUMBER	LOT	325.000	\$832.50
12-223-31-352-014-0			
PROPERTY ADDRESS	ADDITIONAL NUMBER OF SQUARES	4" CONC R-R 150.00SF @ \$5.55 = \$832.50	
ALAN R SCHAERER	175.00SF @ \$.00 = \$.00		
1912 056 ST			
MAIL TO ADDRESS	LEGAL DESCRIPTION		
ALAN R SCHAERER	6597-1B-1 PT SW 1/4 SEC 31 T 2 R 23 BEG N LINE 56TH ST AT A PT 100 FT W OF W LINE 19TH AVE TH W 19 FT N 101 FT E 15 FT S 101 FT TO PUB		
5526 19TH AVE			
KENOSHA, WI 53140-3553			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
12-223-31-356-018-0		225.000	\$1,256.25
PROPERTY ADDRESS			
THE IRREVOCABLE FAMILY TRUST OF LOUIS J SALTIURO			
5816 020 AV			
LEGAL DESCRIPTION			
LOT 8 BLK 3 STRONG & THELEEN'S SUB OF FISK'S ADD BEING PT OF SW 1/4 SEC 31 T 2 R 23 DOC#1207595			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
12-223-31-358-011-0		175.000	\$971.25
PROPERTY ADDRESS			
JEFFREY J GRIFFITH & MARILU GARCIA			
1846 060 ST			
LEGAL DESCRIPTION			
SW 1/4 SEC 31 T 2 R 23 S 150 FT OF BLK 7 FISK'S ADD EXC E 105 FT & EXC BEG SE COR BLK 7 TH E ALONG S LINE 56.66 FT TH W L Y 67.62 FT ALG A CURVE CONCAVE TO THE E WITH 32 FT RADIUS & A LONG CHORD BEARING N 29 DEG 27 MIN 30 SEC W 55.73 FT TO W LINE SD BLK TH S 31 DEG 05 MIN W 56.66 FT TO BEG EXC DEED V 1339 P 849 1990 (DRIVENAV) V 1244 P 709			
MAIL TO ADDRESS			
JEFFREY J GRIFFITH			
MARILU GARCIA			
KENOSHA, WI 53140			

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
12-223-31-377-007-0		300.000	\$693.75
PROPERTY ADDRESS PATRICK J & VICKI R ROMANO 1402 56TH ST			
LEGAL DESCRIPTION 4" CONC R-R 125.00SF @ \$5.55 = \$693.75 ADDITIONAL 175.00AR @ \$1.00 = \$175.00 NUMBER OF SQUARES 5 7 OF 12 SQ DUE TO PWT			
MAIL TO ADDRESS PATRICK J & VICKI R ROMANO 1402 56TH ST KENOSHA, WI 53140			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
12-223-31-377-008-0		200.000	\$1,117.50
PROPERTY ADDRESS JOHN B CAESAR 5520 014 AV			
LEGAL DESCRIPTION 4" CONC R-R 150.00SF @ \$5.55 = \$832.50 6" CONC R-R 50.00SF @ \$5.70 = \$285.00 NUMBER OF SQUARES 8			
MAIL TO ADDRESS JOHN B CAESAR 5520 14TH AVE KENOSHA, WI 53140			

LEGAL DESCRIPTION
 PT OF B 13 FISK'S ADD OF PT OF
 SW 1/4 SEC 31 T2 R 23 CON AT A
 PT ON E LINE OF B 120 FT N OF
 SE COR TH W'LY PARL WITH S
 LINE OF B 122 FT N'LY ON W'
 LINE OF LOT B ABOUT 58FT E'LY
 PARL WITH S LINE OF B 122 FT
 S'LY 53 FT MORE OR LESS TO BEG
 DOC #4436118
 DOC #4677601

SPECIAL ASSESSMENT PRELIMINARY RESOLUTION SIDEWALK
 RUN DATE: 04/14/14
 FOR PROJECT: 14-128

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
12-223-31-407-009-0		75.000	\$416.25
PROPERTY ADDRESS IAQUINTA FAMILY TRUSTS 5523 006 AV			
LEGAL DESCRIPTION S 1/2 OF LOT 7 B 27 BEING PT OF SE 1/4 SEC 31 T 2 R 23 V 1530 P 836			
MAIL TO ADDRESS SAMUEL D IAQUINTA 1114 56TH ST KENOSHA, WI 53140			

PARCEL NUMBER	LOT	ASSESSED S.F./LN.	TOTAL ASSESSMENT
12-223-31-453-004-0		50.000	\$277.50
PROPERTY ADDRESS ANNA ROSS 5621 011 AV			
LEGAL DESCRIPTION 4" CONC R-R 50.00SF @ \$5.55 = \$277.50 NUMBER OF SQUARES 2			
MAIL TO ADDRESS ANNA ROSS 5621 11TH AVE KENOSHA, WI 53140-4012			

LEGAL DESCRIPTION
 BEING PT OF B 35 OF SE 1/4 SEC
 31 T 2 R 23 CON 72 FT N OF SW
 COR OF B TH E 92 FT N 36 FT W
 92 FT S 36 FT TO BEG
 V 1381 P 97

PARCEL NUMBER 12-223-31-476-010-0 LOT 100.000 ASSESSED TOTAL
 PROPERTY ADDRESS NSLA INVESTMENTS LLC S.F./LN. ASSESSMENT
 NSLA INVESTMENTS LLC 5606 006 AV 4" CONC R-R 100.00SF @ \$5.55 = \$555.00
 NUMBER OF SQUARES 4

MAIL TO ADDRESS LEGAL DESCRIPTION
 NSLA INVESTMENTS LLC 2831 PART OF LOTS 1 & 13 BLK
 5606 6TH AVE 31 BEING PT OF SE 1/4 SEC 31
 KENOSHA, WI 53140 T 2 R 23 COR AT NE COR LOT 1
 TH S 50 FT MORE OR LESS TH W
 TO E LINE OF ALLEY N 50 FT E
 W LINE OF 6TH AVE & POB
 DDC#1225032
 DDC#1335594
 DDC#1500153
 DDC#1592562
 DDC#1649394
 DDC#1718436

PARCEL NUMBER 12-223-32-320-024-0 LOT 350.000 \$1,526.25
 PROPERTY ADDRESS 4" CONC R-R 275.00SF @ \$5.55 = \$1526.25
 STEVEN A MAROVICH & MELISSA CAREY ADDITIONAL 75.00AR @ \$.00 = \$.00
 317 054 ST NUMBER OF SQUARES 11
 3 OF 14 SQ DUE TO PWT

MAIL TO ADDRESS LEGAL DESCRIPTION
 STEVEN A & MELISSA C MAROVICH UNIT 317 HARBOR PARK PARCEL C
 317 54TH ST CONDOMINIUM PLAT#2845 DDC#1300220
 KENOSHA, WI 53140 A RE-DIVISION OF LOT 5 HARBOR PARK
 SUB SW 1/4 SEC 32 T 2 R 23
 (2003 PT 12-223-32-326-105)
 DDC#1270435
 DDC#1319452
 DDC#1325743

STREET TOTAL 84,081.00 \$282,699.42

GRAND TOTALS PARCELS 476 FOOTAGE 84,081.000 TOTAL COST \$282,699.42
 PAGE 239
 PAGE 240

RESOLUTION NO. ____

SPONSOR: ALDERPERSON DAVID F. BOGDALA

**CO-SPONSORS: ALDERPERSON G. JOHN RUFFOLO
ALDERPERSON STEVE G. BOSTROM**

TO URGE THE CITY OF KENOSHA POLICE AND FIRE COMMISSION TO HOLD A HEARING ON THE RECENT ALLEGATIONS MADE AGAINST THE FIRE CHIEF

WHEREAS, on August 16th, 2010 the Common Council issued a public reprimand against Fire Chief John Thomsen due to his failure to maintain “objectivity” which caused a Fire Department Division Chief, Richard Meeker, to perceive that he was being persecuted; and,

WHEREAS, on February 5th, 2014 a complaint was filed with the Police and Fire Commission by Jeremy Ryan against Fire Chief John Thomsen for allegedly engaging in acts unbecoming of an officer of the City of Kenosha; and,

WHEREAS, the allegations made against Chief Thomson are very serious; and,

WHEREAS, the accused, the accuser, and the community deserve a fair public hearing where the facts can be discovered; and,

WHEREAS, the only way to insure fair and transparent government, is to utilize the processes put in place at both the State and City level without interference from anyone else.

NOW THEREFORE BE IT RESOLVED that the Common Council for the City of Kenosha does hereby urge the City of Kenosha Police and Fire Commission to hold a public hearing in reference to the complaint made by Jeremy Ryan on February 5th, 2014; and,

BE IT FURTHER RESOLVED that the City Clerk deliver copies of this resolution to each member of the City of Kenosha Police and Fire Commission

Adopted this _____ day of _____, 2014.

ATTEST: _____ City Clerk

APPROVED: _____ Mayor

RESOLUTION _____

SPONSOR: ALDERPERSON STEVE G. BOSTROM

TO PROCLAIM APRIL 26, 2014 “KENOSHA AUTISM AWARENESS DAY”

WHEREAS, Autism spectrum disorder (ASD) and autism are both general terms for a group of complex disorders of brain development; and

WHEREAS, April is Autism Awareness Month; and

WHEREAS, Frank and Cheryl Parise have organized and sponsored an Annual Autism Benefit; and

WHEREAS, all the proceeds are for the benefit of Kenosha Special Education Programs; and

WHEREAS, Frank and Cheryl’s Autism Benefit, now in its 7th year will be held at TG’s Restaurant located at 4120 7th Ave Kenosha, WI on April 26, 2014, from 1-5PM and will feature Live Music by the New Vinyls, Silent Auction and numerous raffles.

NOW THEREFORE BE IT RESOLVED, that the Mayor and Common Council Proclaim April 26, 2014 “Kenosha Autism Awareness Day.”

ATTEST: _____
Debra Salas, City Clerk/Treasurer

APPROVED: _____
Keith G. Bosman, Mayor

Drafted By:
STEVE G. BOSTROM
Aldersperson District 12

RESOLUTION _____

SPONSOR: ALDERPERSON KEITH W. ROSENBERG

**TO REQUEST THE BOARD OF PARK COMMISSIONERS
TO LOCATE AND CONSTRUCT A DOG PARK IN ANDERSON
PARK**

WHEREAS, a dog park in the City of Kenosha would provide a safe, clean fenced area where well behaved dogs and their responsible owners could exercise their dogs off-leash without endangering or annoying people, property, wildlife or themselves; and

WHEREAS, a dog park for the City of Kenosha had been previously considered such that funds were allocated and materials were purchased for construction of the City's first dog park; and

WHEREAS, the construction of the City's first dog park has been suspended to permit the City to identify a suitable location for the dog park; and

WHEREAS, Anderson Park, located at 8730 – 22nd Avenue, Kenosha, Wisconsin, consists of 95 acres, including a green space area located in the southeast portion of the park large enough for the construction of a dog park; and

WHEREAS, Anderson park is well suited to include a dog park due to its size, location and amenities which include ample off street parking.

NOW, THEREFORE, BE IT RESOLVED, that the Common Council for the City of Kenosha, Wisconsin, does hereby request the Board of Park Commissioners to consider Anderson Park for the location and construction of Kenosha's first dog park.

Adopted this _____ day of _____, 2014.

ATTEST: _____
Debra Salas, City Clerk/Treasurer

APPROVED: _____
Keith G. Bosman, Mayor

Drafted By:
EDWARD R. ANTARAMIAN
City Attorney

RESOLUTION _____

SPONSOR: ALDERPERSON DAVID F. BOGDALA
COSPONSORS: ALDERPERSON G. JOHN RUFFOLO
ALDERPERSON STEVE G. BOSTROM

**TO STOP FURTHER PROGRESS OF THE FIRE STATION #4 RENOVATIONS
PENDING REVIEW OF THE REPAIRS NECESSARY TO ENSURE THE
SAFETY OF FIRE STATION #5**

WHEREAS, in the 2013-2017 Capital Improvement Plan passed by the Common Council in 2012, there exists line item **FI-13-003 Fire Administration Office**, for the addition to Fire Station #4 located at 4810 – 60th Street; and

WHEREAS, the proposed addition to Fire Station #4 was approved by Common Council, it is not necessary for the proper functioning of Fire Administration; and

WHEREAS, the City has not yet entered into a binding contract with any contractor for the public construction of the addition to Fire Station #4; and

WHEREAS, Fire Station #5, located at 2125 Washington Road houses apparatus to fight fires within the areas of the City surrounding it; and

WHEREAS, Fire Station #5 has bays designed to house apparatus, which bays have a floor in such disrepair that the basement can be seen through gaping holes in the floor, rendering such floor unsafe to allow apparatus to traverse the floor to access the bay front doors, and therefor necessitating the time-consuming use of bay back doors, to the detriment of the public safety.

NOW, THEREFORE, BE IT RESOLVED, by the Common Council for the City of Kenosha that all actions to be taken by City Administration for the construction of the addition to Fire Station #4 for which the City is not currently obligated be suspended until such time as an engineering study for Fire Station #5 floor repair is commissioned, completed, and

reviewed by the Common Council.

Adopted this _____ day of _____, 2014.

ATTEST: _____
Debra Salas, City Clerk/Treasurer

APPROVED: _____
Keith G. Bosman, Mayor

Drafted By:
EDWARD R. ANTARAMIAN
City Attorney

Planning & Zoning Division 625 52nd Street Kenosha, WI 53140 262.653.4030	Kenosha City Plan Commission FACT SHEET	April 10, 2014	Item 1
By the Mayor - To Adopt a Project Plan Amendment for Tax Incremental District #16, City of Kenosha, Wisconsin, Under Section 66.1105 (4)(h)1., Wisconsin Statutes. (District #16) PUBLIC HEARING			

LOCATION/SURROUNDINGS:

The area generally bounded by CTH "S" on the north, the Kilbourn Road Ditch on the east, 38th Street on the south and the 120th Avenue Frontage Road and I-94 on the west.

NOTIFICATIONS/PROCEDURES:

The alderperson of the district, Alderperson Downing, has been notified. This item will also be reviewed by the Finance Committee before final approval by the Common Council on Monday, April 21, 2014. A notice announcing this hearing was published in the Kenosha Labor Paper on March 21 & 28, 2014. This notice was also sent to the other local government units as required by Wisconsin Statute 66.1105.

ANALYSIS:

- Attached is the Project Plan Amendment for Tax Incremental District (TID) #16.
- The proposed Amendment will Amend the TID boundaries to add four (4) contiguous parcels that were acquired by the developer. If approved, these parcels will eventually be combined into the existing TID Parcel #08-222-30-202-001.
- Since only whole units of property may be located in a TID, the TID boundaries must be amended to add these new parcels.
- There is no increase in project costs for the proposed Project Plan Amendment.

RECOMMENDATION:

A recommendation is made to approve the attach Resolution adopting the Project Plan Amendment.



A. Zohrab Khaligian, Development Specialist



Jeffrey B. Labahn, Director

/u2/acct/cp/0days/1CPC/2014/APR10/fact-tid16-a2-adopt.odt

City of Kenosha, Wisconsin

Proposed Project Plan Amendment for
Tax Incremental District #16

For Consideration
by the Common Council on April 21, 2014

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GOALS OF THE KENOSHA TID PROGRAM

The City of Kenosha Tax Incremental District Program has been undertaken because of concern over the community's economic stability. As a result of numerous community meetings, the following goals have been identified:

- Encourage development in the City that will increase its tax base and reduce individual tax burdens
- Encourage development in the City that will increase the number and the variety of employment opportunities
- Encourage development in the City that will diversify the economic mix of businesses
- Encourage the efficient and economical use of land, buildings, and community facilities
- Encourage private investment through an expanded community facilities program
- Encourage reduction and/or elimination of economic and physical blight in the area

CITY PLAN COMMISSION RESOLUTION #____-14

BY: THE CITY PLAN COMMISSION

TO ADOPT A PROJECT PLAN AMENDMENT
FOR TAX INCREMENTAL DISTRICT #16, CITY OF KENOSHA, WISCONSIN,
UNDER SECTION 66.1105(4)(h)1., WISCONSIN STATUTES

WHEREAS, Section 66.1105 of the Wisconsin Statutes, provides the authority and procedures for amending a project plan for a Tax Incremental District (TID); and,

WHEREAS, the City Plan Commission, on April 10, 2014, at a duly authorized, noticed and convened meeting under Section 66.1105(4)(h)1., Wisconsin Statutes, held a public hearing which afforded interested parties a reasonable opportunity to express their views on the Project Plan Amendment for TID #16, City of Kenosha, Wisconsin; and

WHEREAS, the Project Plan Amendment amends the TID #16 boundaries to add four (4) contiguous parcels, as described in and attached hereto as Exhibit "A" and as shown in Exhibits "B" and "C"; and

WHEREAS, the Project Plan Amendment is feasible and in conformity with the Master Plan of the City of Kenosha, Wisconsin.

NOW, THEREFORE, BE IT RESOLVED by the City Plan Commission that it:

1. Finds the Project Plan Amendment for TID #16, City of Kenosha, Wisconsin, to be feasible and in conformity with the Master Plan of the City; and
2. Finds that the equalized value of taxable property to be added to TID #16 plus the value increment of all existing tax increment districts in the City, including TID #16, does not exceed 12% of the total equalized value of taxable property in the City; and
3. Adopts the Project Plan Amendment for TID #16, City of Kenosha, Wisconsin, as described in and attached hereto as Exhibit "A" and as shown in Exhibits "B" and "C"; and
4. Recommends that the Common Council of the City of Kenosha also adopt this Project Plan Amendment.

Adopted this _____ day of _____, 2014

ATTEST:

Jeffrey B. Labahn, Secretary

APPROVED:

Keith G. Bosman, Chairman

Drafted By: Department of Community Development & Inspections

/u2/acct/cp/ckays/1TIDs/TID16/PLAN-AMEND2/1Plan-Amend2-040314.odt

EXHIBIT "A"

**Project Plan Amendment Description
Tax Incremental District #16**

The Project Plan Amendment is to amend the TID boundaries to add the following four (4) contiguous parcels:

#80-4-222-19-301-0300

#80-4-222-19-302-0110

#80-4-222-19-302-0120

#80-4-222-19-302-0130

The Amendment does not involve any increase in project costs.

EXHIBIT "B"

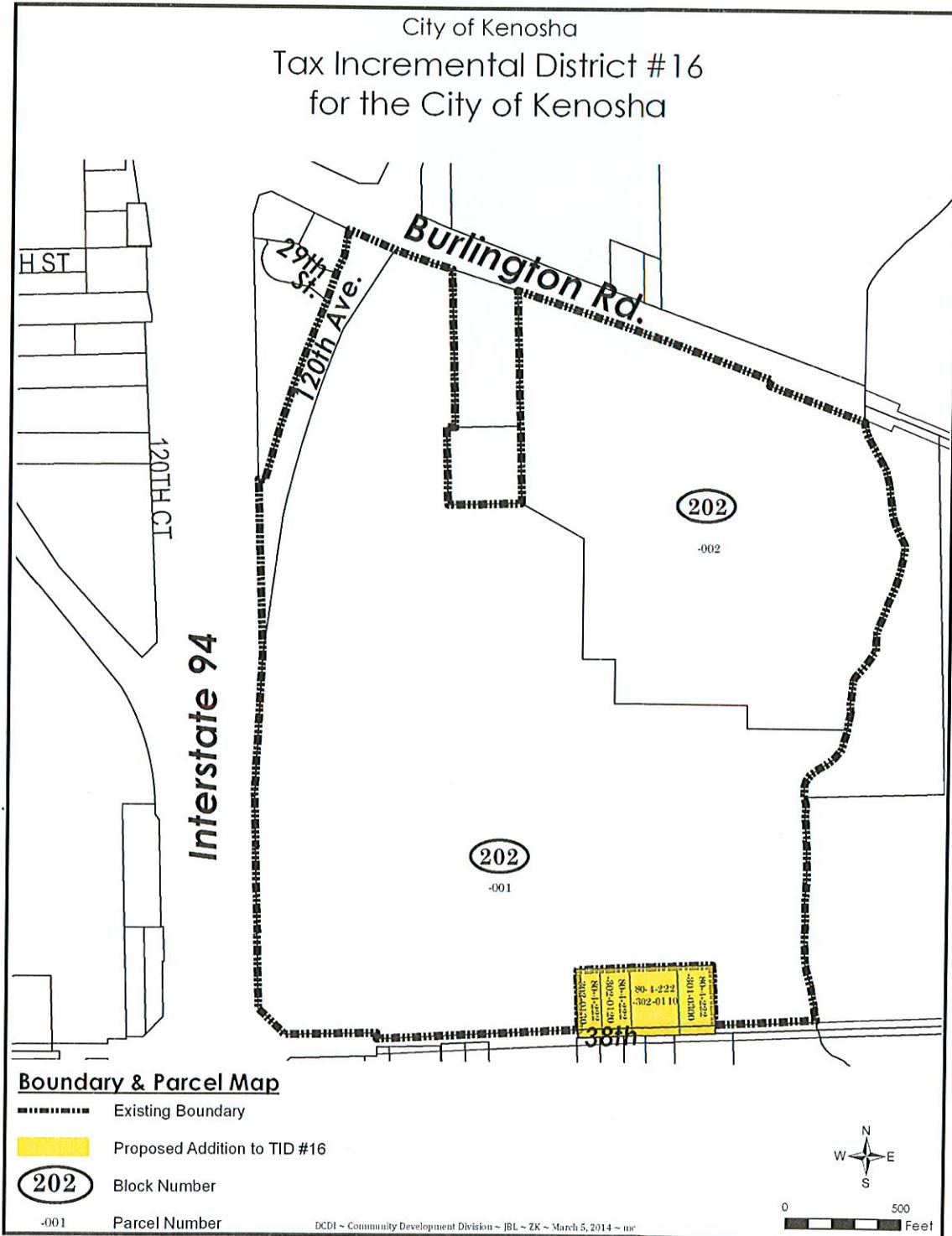
Amended Boundary Description Tax Incremental District #16

A part of the Southwest and Southeast quarters of Section 19 and the Northwest and Northeast quarters of Section 30, Township 2 North, Range 22 East, of the 4th Principal Meridian lying and being in the City of Kenosha, County of Kenosha, Wisconsin and being more particularly described as follows:

Commencing at the southwest corner of the northwest quarter of Section 30, Town 2 North Range 22 East of the Fourth Principal Meridian, thence $N88^{\circ}41'27''E$ along the south line of said quarter Section a distance of 398.19 feet to a point; thence perpendicular to said quarter section line a distance of 173.01 feet to the East right-of-way line of Interstate Highway 94, said right-of-way also includes 120th Avenue which may also be referred to as East Frontage Road, and the Point of Beginning; thence northerly distance of 2,257.64 feet, more or less, to a point which is the intersection of the east line of Interstate Highway 94 and the west line of 120th Avenue; thence northeasterly along said west right-of-way line a distance of 1,127.64 feet, more or less, to the intersection of said right-of-way line and the south right-of-way line of Burlington Road, which is also known as County Trunk Highway "S"; thence along said south right-of-way line a distance of 476.38 feet, more or less, to the intersection of said Burlington Road and the present City of Kenosha corporate limits; thence southerly along said corporate limits a distance of 676.42 feet, more or less, to a parcel of land currently identified as tax parcel 08-222-30-201-021; thence westerly along the north line of said tax parcel a distance of 37 feet, more or less; thence southerly along the west line of said tax parcel a distance of 330 feet, more or less; thence easterly along the south line of said tax parcel a distance of 310 feet, more or less, thence northerly along the east line of said tax parcel a distance of 330 feet, more or less, to the intersection of said tax parcel and the present City of Kenosha corporate limits; thence northerly along said corporate limits a distance of 581 feet, more or less, to the intersection of the City of Kenosha corporate limits and the south right-of-way line of Burlington Road; thence southeasterly along said right-of-way line a distance of 1,619 feet, more or less, to the center of a branch of the Des Plaines River, also described as the Kilbourn Road Ditch or the Kilbourn Ditch Creek; thence southerly along the center of said waterway a distance of 2,749 feet, more or less, to the intersection of the center line of said waterway, the present City of Kenosha corporate limits and the north right-of-way line of 38th Street; thence westerly along said right-of-way line a distance of 2,293 feet, more or less; thence northwesterly along said right-of-way line a distance of 198.5 feet, more or less, to the intersection of the north right-of-way line of 38th Street and the east right-of-way line of Interstate Highway 94 and the Point of Beginning; said Tax Incremental Financing District containing 164 Acres of land, more or less.

EXHIBIT "C"

Amended Boundary & Parcel Map
Tax Incremental District #16



RESOLUTION NO. _____

BY: THE MAYOR

**TO ADOPT A PROJECT PLAN AMENDMENT
FOR TAX INCREMENTAL DISTRICT #16,
CITY OF KENOSHA, WISCONSIN,
UNDER SECTION 66.1105(4)(h)1., WISCONSIN STATUTES**

WHEREAS, Section 66.1105 of the Wisconsin Statutes (the "TIF Law"), provides the authority and procedures for amending a project plan for a Tax Incremental District (TID); and

WHEREAS, the City Plan Commission on April 10, 2014, at a duly authorized, noticed and convened meeting under Section 66.1105(4)(h)1., Wisconsin Statutes, held a public hearing which afforded interested parties a reasonable opportunity to express their views on the Project Plan Amendment for TID #16, City of Kenosha, Wisconsin ("TID #16" or the "District"); and

WHEREAS, the Project Plan Amendment amends the TID #16 boundaries to add four (4) contiguous parcels, as described in and attached hereto as Exhibit "A" and as shown in Exhibits "B" and "C"; and

WHEREAS, at said meeting, the City Plan Commission, under Section 66.1105(4)(h)1., Wisconsin Statutes, found the Project Plan Amendment for TID #16, City of Kenosha, Wisconsin, to be feasible and in conformity with the Master Plan of the City of Kenosha, Wisconsin and found that the equalized value limit set forth in the TIF Law was satisfied by the Project Plan Amendment, adopted the Project Plan Amendment, and favorably recommended that the Common Council of the City of Kenosha adopt and approve the Project Plan Amendment.

NOW, THEREFORE, BE IT RESOLVED by the Common Council of the City of Kenosha, Wisconsin, that it:

1. Finds the Project Plan Amendment for TID #16, City of Kenosha, Wisconsin, to be feasible and in conformity with the Master Plan of the City; and
2. Deems the Project Plan Amendment to promote industrial development in the City of Kenosha, to be in the public interest and for a proper public purpose; and,
3. Finds that the improvement of such area is likely to enhance significantly the value of substantially all of the other real property in the District; and,
4. Confirms that not less than 50% by area of the real property within the District is suitable for "industrial uses" within the meaning of Section 66.1101, Wisconsin Statutes, and has been zoned for industrial uses; and,
5. Finds that the project costs directly serve to promote industrial development within the District consistent with the purpose for which the District was created; and,

6. Finds that the equalized value of taxable property to be added to the District, plus the value increment of all existing tax incremental districts, including TID #16, does not exceed twelve (12%) percent of the total equalized value of taxable property within the City of Kenosha, Wisconsin; and,
7. Confirms that the real property within the District that has been found suitable for industrial sites, has been zoned for industrial use and will remain zoned for industrial use for the life of the tax incremental district; and,
8. Confirms that the District is an industrial district.

BE IT FURTHER RESOLVED that the Common Council of the City of Kenosha, Wisconsin, adopts and approves the Project Plan Amendment for TID #16, City of Kenosha, Wisconsin, as recommended by the City Plan Commission and as described in and attached hereto as Exhibit "A" and shown in Exhibits "B" and "C".

Adopted this _____ day of _____, 2014

ATTEST: _____,
Debra Salas, City Clerk/Treasurer

APPROVED: _____,
Keith G. Bosman, Mayor

*Drafted By: Department of Community Development & Inspections
/u2/acct/cp/ckays/1TIDs/TID16/PLAN-AMEND2/1Plan-Amend2-040314.odt*

EXHIBIT "A"

**Project Plan Amendment Description
Tax Incremental District #16**

The Project Plan Amendment is to amend the TID boundaries to add the following four (4) contiguous parcels:

#80-4-222-19-301-0300

#80-4-222-19-302-0110

#80-4-222-19-302-0120

#80-4-222-19-302-0130

The Amendment does not involve any increase in project costs.

EXHIBIT "B"

Amended Boundary Description Tax Incremental District #16

A part of the Southwest and Southeast quarters of Section 19 and the Northwest and Northeast quarters of Section 30, Township 2 North, Range 22 East, of the 4th Principal Meridian lying and being in the City of Kenosha, County of Kenosha, Wisconsin and being more particularly described as follows:

Commencing at the southwest corner of the northwest quarter of Section 30, Town 2 North Range 22 East of the Fourth Principal Meridian, thence N88°41'27"E along the south line of said quarter Section a distance of 398.19 feet to a point; thence perpendicular to said quarter section line a distance of 173.01 feet to the East right-of-way line of Interstate Highway 94, said right-of-way also includes 120th Avenue which may also be referred to as East Frontage Road, and the Point of Beginning; thence northerly distance of 2,257.64 feet, more or less, to a point which is the intersection of the east line of Interstate Highway 94 and the west line of 120th Avenue; thence northeasterly along said west right-of-way line a distance of 1,127.64 feet, more or less, to the intersection of said right-of-way line and the south right-of-way line of Burlington Road, which is also known as County Trunk Highway "S"; thence along said south right-of-way line a distance of 476.38 feet, more or less, to the intersection of said Burlington Road and the present City of Kenosha corporate limits; thence southerly along said corporate limits a distance of 676.42 feet, more or less, to a parcel of land currently identified as tax parcel 08-222-30-201-021; thence westerly along the north line of said tax parcel a distance of 37 feet, more or less; thence southerly along the west line of said tax parcel a distance of 330 feet, more or less; thence easterly along the south line of said tax parcel a distance of 310 feet, more or less, thence northerly along the east line of said tax parcel a distance of 330 feet, more or less, to the intersection of said tax parcel and the present City of Kenosha corporate limits; thence northerly along said corporate limits a distance of 581 feet, more or less, to the intersection of the City of Kenosha corporate limits and the south right-of-way line of Burlington Road; thence southeasterly along said right-of-way line a distance of 1,619 feet, more or less, to the center of a branch of the Des Plaines River, also described as the Kilbourn Road Ditch or the Kilbourn Ditch Creek; thence southerly along the center of said waterway a distance of 2,749 feet, more or less, to the intersection of the center line of said waterway, the present City of Kenosha corporate limits and the north right-of-way line of 38th Street; thence westerly along said right-of-way line a distance of 2,293 feet, more or less; thence northwesterly along said right-of-way line a distance of 198.5 feet, more or less, to the intersection of the north right-of-way line of 38th Street and the east right-of-way line of Interstate Highway 94 and the Point of Beginning; said Tax Incremental Financing District containing 164 Acres of land, more or less.

RESOLUTION NO. 14-2

**BY: THE JOINT REVIEW BOARD FOR
TAX INCREMENTAL DISTRICT #16**

**TO APPROVE THE PROJECT PLAN AMENDMENT FOR
TAX INCREMENTAL DISTRICT #16,
CITY OF KENOSHA, WISCONSIN**

WHEREAS, Section 66.1105, Wisconsin Statutes, provides the authority and procedure for amending a project plan for a Tax Incremental District (TID); and,

WHEREAS, a Joint Review Board was convened under the authority of Section 66.1105(4m), Wisconsin Statutes, for the purpose of reviewing the public record, planning documents and the Resolution passed by the Common Council of the City of Kenosha, Wisconsin, under 66.1105(4)(h)1., Wisconsin Statutes relating to the proposed second Amendment of the Project Plan (the "Project Plan Amendment") of Tax Incremental District #16 of the City of Kenosha, Wisconsin ("TID #16" or the "District"); and,

WHEREAS, the Joint Review Board has completed its review.

NOW, THEREFORE, BE IT RESOLVED by the Joint Review Board for TID #16, City of Kenosha, Wisconsin, that it approves Resolution Number _____ adopted on April 21, 2014, by the Common Council of the City of Kenosha, Wisconsin, under Section 66.1105(4)(h)1., Wisconsin Statutes and the Project Plan Amendment, based on the following criteria:

1. That the development expected in the District would not occur without the use of tax incremental financing.
2. That the economic benefits of the District, as measured by increased employment, business and personal income and property value are sufficient to compensate for the cost of improvements.
3. That the benefits of the Tax Incremental District outweigh the anticipated tax increments to be paid by the owners of property in the overlying taxing districts.
4. That in its judgment, the development described in the Project Plan Amendment would not occur without the Project Plan Amendment.

Adopted this _____ day of _____, 2014

ATTEST: _____, Staff

APPROVED: _____, Chairperson

**STATEMENT OF KIND, NUMBER AND LOCATION OF ALL
PROPOSED PUBLIC WORKS OR IMPROVEMENTS WITHIN
THE DISTRICT AND A DETAILED LIST OF ESTIMATED
PROJECT COSTS AND WHEN COSTS ARE EXPECTED TO BE INCURRED**

The combined Development Grant costs approved in the TID #16 creation and first Project Plan Amendment include site preparation, mass grading, roadway, storm water and utility improvements, building and parking lot construction and equipment purchases and shall be located on non-wetlands or existing wetlands that will be converted to non-wetlands in compliance with state law and Wisconsin Department of Natural Resources approval. See attached maps for location of all improvements. The Development Grant cannot be provided to the developer until a Development Grant Agreement per Wisconsin Statute 66.1105 (2)(f)2.d is executed.

Costs of Issuance includes all City administrative, legal and related costs with creating the district and the first Project Plan Amendment, issuing the G.O. Promissory Notes, preparation of the Development Grant Agreements and any other activities associated with the district.

The second Project Plan Amendment does not involve any increase in project costs.

Description of Project Costs	2013	2014	2015	Total
1. Development Grant	\$17,000,000.00	\$5,010,000.00	\$0.00	\$22,010,000.00
2. Capitalized Interest	\$873,900.00	\$402,720.00	\$0.00	\$1,276,620.00
3. Costs of Issuance	\$326,100.00	\$107,280.00	\$0.00	\$433,380.00
Total	\$18,200,000.00	\$5,520,000.00	\$0.00	\$23,720,000.00

Costs to be Recovered by TID	2013	2014	2015	Total
1. Project Costs	--	--	--	\$23,720,000.00
2. Financing Costs	--	--	--	\$4,987,888.00
Total	--	--	--	\$28,700,917.00

Economic Feasibility Study
City of Kenosha
TID No. 16 - Phase I Combined with Phase II Proposed Amendment
Estimated Tax Increments, Cash Flow and All Debt Service
Level Debt Service

Assumptions:
 Mill Rate Increase: 0.00%
 Appreciation Rate: 0.00%

Date Prepared: 12/12/13

Change In Incremental Value During Year	Amount	At 01/01	Amount	Collection Year	Tax Rate	Tax Increment Collections	Capitalized Interest	Less: \$18.2M Taxable C.O. Notes Dated 11/15/13	Less: \$5.52M 4.25% Taxable C.O. Notes Dated 04/01/14	Cash Fund Balance 12/31	Collection Year											
												2012	2013	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034
2011							873,900	0	0	873,900	2013											
2012						0	402,720	0	(97,250)	790,518	2014											
2013	21,150,000 (E)	2012	21,150,000	2013	30.70	649,305	0	(388,352)	(234,600)	716,389	2015											
2014	159,385,500 (E)	2014	180,535,500	2014	30.70	5,542,440	0	(488,834)	(834,100)	3,485,394	2016											
2015	20,709,000 (E)	2015	201,244,500	2015	30.70	6,178,206	0	(1,938,835)	(834,100)	6,031,964	2017											
2016	(9,151,500) (A)	2016	192,093,000	2016	30.70	5,897,255	0	(2,797,536)	(834,100)	8,286,252	2018											
2017	(9,151,500) (A)	2017	182,941,500	2017	30.70	5,616,304	0	(2,810,430)	(829,913)	10,258,431	2019											
2018	(9,151,500) (A)	2018	173,790,000	2018	30.70	5,335,353	0	(2,606,060)	(829,913)	12,161,499	2020											
2019	(9,151,500) (A)	2019	164,638,500	2019	30.70	5,054,402	0	(2,617,406)	(821,475)	13,777,020	2021											
2020	(9,151,500) (A)	2020	155,487,000	2020	30.70	4,773,451	0	(2,650,623)	(815,663)	15,094,859	2022											
2021	(9,151,500) (A)	2021	146,335,500	2021	30.70	4,492,500	0	(2,650,623)	(828,788)	16,107,948	2023											
2022	(9,151,500) (A)	2022	137,184,000	2022	30.70	4,211,549	0	(2,650,623)		20,319,497	2024											
2023	(9,151,500) (A)	2023	128,032,500	2023	30.70	3,930,598	0			24,250,094	2025											
2024	(1,980,500) (A)	2024	126,052,000	2024	30.70	3,869,796	0			28,119,891	2026											
2025	0	2025	126,052,000	2025	30.70	3,869,796	0			31,989,687	2027											
2026	0	2026	126,052,000	2026	30.70	3,869,796	0			35,859,484	2028											
2027	0	2027	126,052,000	2027	30.70	3,869,796	0			39,729,280	2029											
2028	0	2028	126,052,000	2028	30.70	3,869,796	0			43,599,076	2030											
2029	0	2029	126,052,000	2029	30.70	3,869,796	0			47,468,873	2031											
2030	0	2030	126,052,000	2030	30.70	3,869,796	0			51,338,669	2032											
2031	0	2031	126,052,000	2031	30.70	3,869,796	0			55,208,466	2033											
2032	0	2032	126,052,000	2032	30.70	3,869,796	0			59,078,262	2034											
2033	0	2033	126,052,000	2033	30.70	3,869,796	0															
2034	0	2034	126,052,000	2034	30.70	3,869,796	0															
						86,509,530	1,276,620	(21,752,238)	(6,955,650)													

(A) Represents 10% annual depreciation of personal property.
 (B) \$114,385,500 Phase I plus \$45,000,000 Phase II
 (E) Estimated

Base Value 01/01/13 of \$994,400 plus \$465,500 Phase II = \$1,459,900

City of Kenosha, WI

\$18,200,000.00 Taxable G.O. Promissory Notes - Dated 11/15/13

TID No. 16

Final Sales Results

Debt Service Schedule

Date	Principal	Coupon	Interest	Total P+I	Fiscal Total
11/15/2013	-	-	-	-	-
09/01/2014	-	-	388,351.85	388,351.85	388,351.85
03/01/2015	-	-	244,417.25	244,417.25	-
09/01/2015	-	-	244,417.25	244,417.25	-
03/01/2016	-	-	244,417.25	244,417.25	488,834.50
09/01/2016	1,450,000.00	1.124%	244,417.25	1,694,417.25	-
03/01/2017	-	-	236,268.25	236,268.25	1,938,834.50
09/01/2017	2,325,000.00	1.596%	236,268.25	2,561,268.25	-
03/01/2018	-	-	217,714.75	217,714.75	2,797,536.50
09/01/2018	2,375,000.00	1.946%	217,714.75	2,592,714.75	-
03/01/2019	-	-	194,606.00	194,606.00	2,810,429.50
09/01/2019	2,425,000.00	2.398%	194,606.00	2,619,606.00	-
03/01/2020	-	-	165,530.25	165,530.25	2,814,212.00
09/01/2020	2,275,000.00	2.798%	165,530.25	2,440,530.25	-
03/01/2021	-	-	133,703.00	133,703.00	2,606,060.50
09/01/2021	2,350,000.00	3.296%	133,703.00	2,483,703.00	-
03/01/2022	-	-	94,975.00	94,975.00	2,617,406.00
09/01/2022	2,450,000.00	3.646%	94,975.00	2,544,975.00	-
03/01/2023	-	-	50,311.50	50,311.50	2,639,950.00
09/01/2023	2,550,000.00	3.946%	50,311.50	2,600,311.50	-
Total	\$18,200,000.00	-	\$3,552,238.35	\$21,752,238.35	-

Yield Statistics

Bond Year Dollars	\$118,608.89
Average Life	6.517 Years
Average Coupon	2.9949175%
Net Interest Cost (NIC)	3.2097412%
True Interest Cost (TIC)	3.2089709%
Bond Yield for Arbitrage Purposes	2.9686226%
All Inclusive Cost (AIC)	3.2483304%
IRS Form 8038	
Net Interest Cost	2.9949175%
Weighted Average Maturity	6.517 Years

2013 - \$18.2M Taxable Bond - SINGLE PURPOSE | 11/4/2013 | 12:54 PM

Piper Jaffray & Co.
Wisconsin Public Finance

Page 2

City of Kenosha, WI

\$5,520,000.00 Taxable G.O. Promissory Notes - Dated 04/01/14

TID No. 16 - Phase II

Preliminary Estimate

Debt Service Schedule

Date	Principal	Coupon	Interest	Total P+I
09/01/2014	-	-	97,750.00	97,750.00
09/01/2015	-	-	234,600.00	234,600.00
09/01/2016	600,000.00	4.250%	234,600.00	834,600.00
09/01/2017	625,000.00	4.250%	209,100.00	834,100.00
09/01/2018	650,000.00	4.250%	182,537.50	832,537.50
09/01/2019	675,000.00	4.250%	154,912.50	829,912.50
09/01/2020	700,000.00	4.250%	126,225.00	826,225.00
09/01/2021	725,000.00	4.250%	96,475.00	821,475.00
09/01/2022	750,000.00	4.250%	65,662.50	815,662.50
09/01/2023	795,000.00	4.250%	33,787.50	828,787.50
Total	\$5,520,000.00	-	\$1,435,650.00	\$6,955,650.00

Yield Statistics

Bond Year Dollars	
Average Life	533,780.00
Average Coupon	6.120 Years
	4.2500000%
Net Interest Cost (NIC)	
True Interest Cost (TIC)	4.4787744%
Bond Yield for Arbitrage Purposes	4.5195423%
All Inclusive Cost (AIC)	4.2505817%
	4.6253052%
IRS Form 8038	
Net Interest Cost	4.2500000%
Weighted Average Maturity	6.120 Years

2013 - \$5.6M Taxable Bond | SINGLE PURPOSE | 12/12/2013 | 8:47 AM

Piper Jaffray & Co.
Wisconsin Public Finance

**CHANGES IN ZONING ORDINANCE, MASTER PLAN,
MAP, BUILDING CODE AND CITY ORDINANCES**

It is expected that the land area of the new parcels (80-4-222-19-301-0300, 80-4-222-19-302-0110, 80-4-222-19-302-0120, 80-4-222-19-302-0130) that are zoned R-2 Residential will be re-zoned to M-2 Heavy Manufacturing when these parcels are combined into parcel 08-222-30-202-001. No other changes to the City of Kenosha Zoning Ordinance and no changes to the City of Kenosha Master Plan, Map, Building Code or City Ordinances are anticipated to accommodate the activities planned for this project plan amendment. All City ordinances and code documents are readily available for public inspection and are incorporated herein by reference.

LIST OF ESTIMATED NON-PROJECT COSTS

There are no non-project costs.

**STATEMENT OF THE PROPOSED METHOD FOR THE
RELOCATION OF PERSONS TO BE DISPLACED**

All individuals and businesses to be displaced as a result of the activities occurring within the district as a part of this project plan will be provided assistance in conformance with Chapter 32, Wisconsin Statutes, and in conformance with any other state and federal rules and regulations as applicable.

STATEMENT OF CONFORMITY TO CITY OF KENOSHA MASTER PLANS

The development of this project plan amendment conforms to the City of Kenosha's *Comprehensive Land Use Plan: 2035*, adopted April, 2010. The *Comprehensive Land Use Plan: 2035* is incorporated herein by reference.

STATEMENT OF ORDERLY DEVELOPMENT

Based upon the feasibility analysis of the proposed project plan amendment and the goals established for the City as a part of the *Comprehensive Land Use Plan: 2035*, the amendment of this Tax Incremental District promotes the orderly development of the City.

OFFICE OF THE CITY ATTORNEY
MUNICIPAL BUILDING
625 52ND STREET, ROOM 201
Kenosha, Wisconsin 53140
PHONE: (262) 653-1170
FAX: (262)-653-4176



EDWARD R. ANTARAMIAN
CITY ATTORNEY

MATTHEW A. KNIGHT
DEPUTY CITY ATTORNEY

WILLIAM K. RICHARDSON
ASSISTANT CITY ATTORNEY

JONATHAN A. MULLIGAN
ASSISTANT CITY ATTORNEY

CHRISTINE M. GENTNER
ASSISTANT CITY ATTORNEY

March 26, 2014

Honorable Mayor
and Common Council
City of Kenosha
Kenosha, Wisconsin 53140

Re: Project Plan Second Amendment for Tax Incremental
District Number 16 [TIF District No. 16]

Dear Mayor and Members of the Common Council:

I have reviewed the above and conclude that it is complete and complies with Section
66.1105(4)(f), Wisconsin Statutes.

Respectfully submitted,

A handwritten signature in black ink, appearing to read "Edward R. Antaramian", is written over a faint, larger version of the same signature.

Edward R. Antaramian
City Attorney

AMENDED MAPS

TAX INCREMENTAL DISTRICT #16

Since the proposed Project Plan Amendment involves a proposed Boundary Amendment, all of the maps were changed to include the proposed Boundary Amendment.

City of Kenosha
 Tax Incremental District #16
 for the City of Kenosha
 Site Vicinity Map



Existing T.I.D. #16 Proposed Addition to TID #16

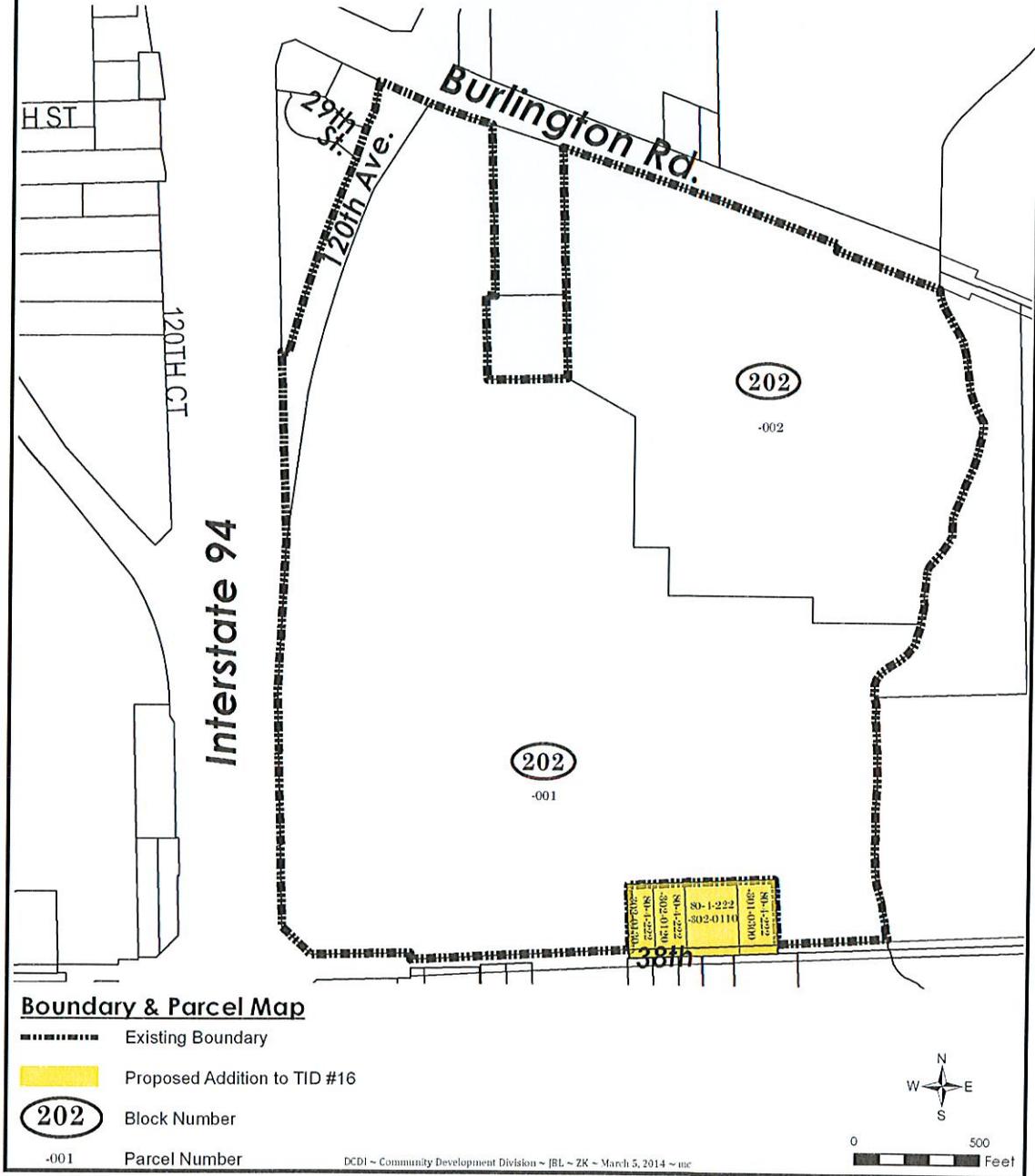
Site Location:
 North of 38th Street
 South of CTH 'S' (Burlington Rd.)
 East of I-94 (120th Avenue Frontage Rd.)
 West of Killbourn Road Ditch

----- Municipal Boundary

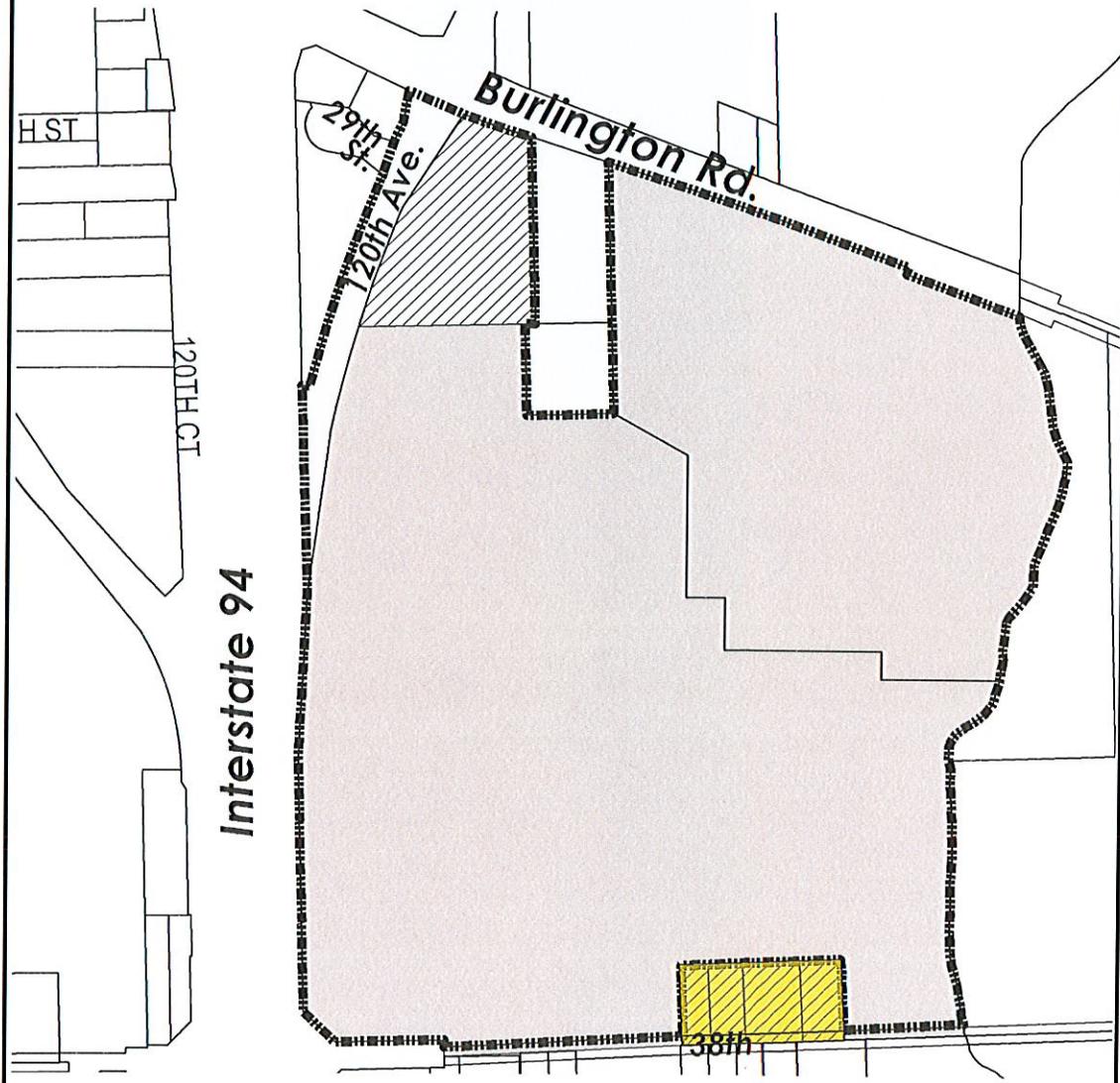
DCD ~ Community Development Division ~ JBL ~ ZK ~ April 5, 2014 ~ tuc



City of Kenosha
 Tax Incremental District #16
 for the City of Kenosha



City of Kenosha
 Tax Incremental District #16
 for the City of Kenosha

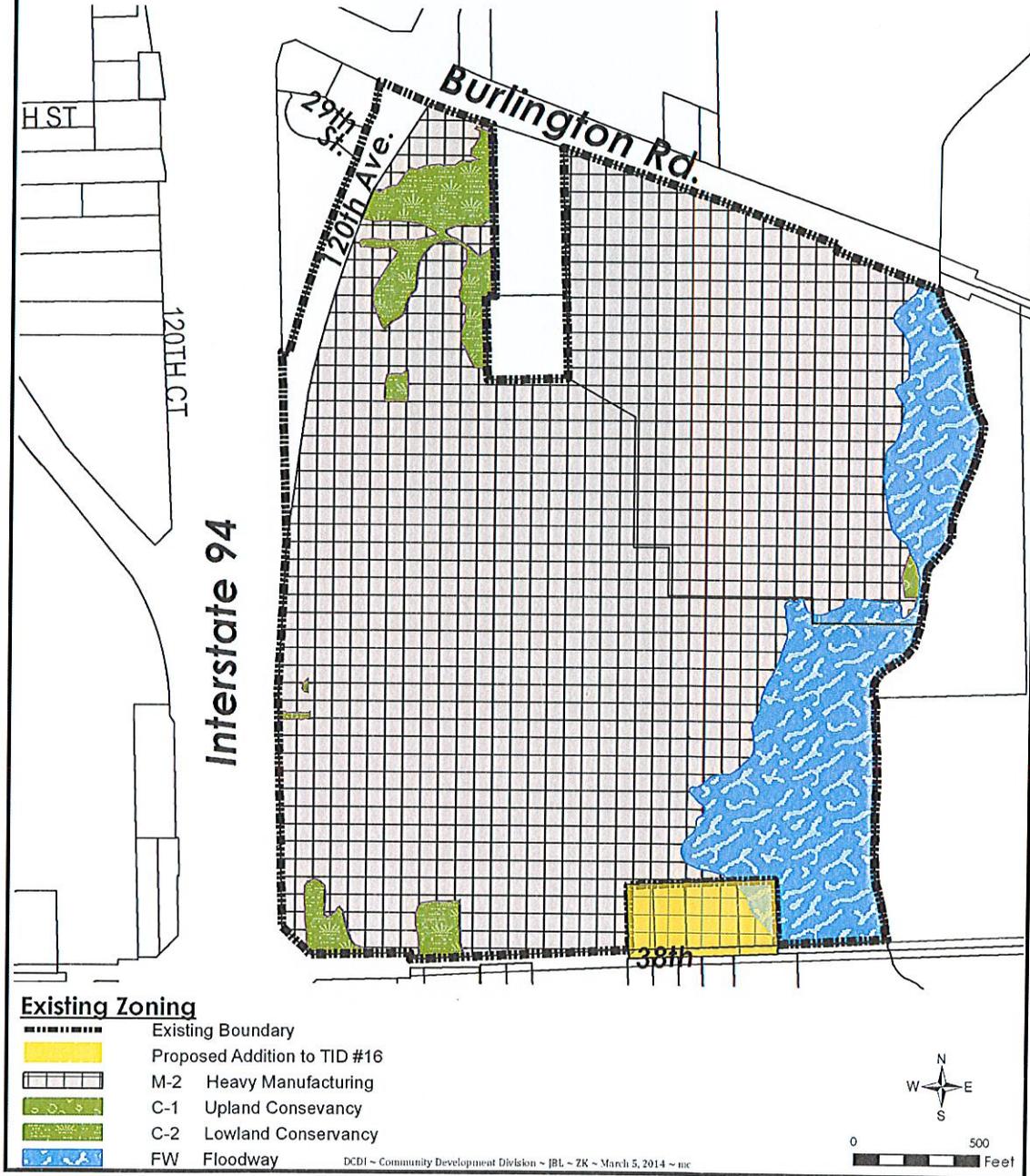


Existing Land Use

-  Existing Boundary
-  Proposed Addition to TID #16
-  Industrial
-  Vacant

DCDI ~ Community Development Division ~ JBL ~ 2K ~ March 5, 2014 ~ mrc

City of Kenosha
 Tax Incremental District #16
 for the City of Kenosha



City of Kenosha
 Tax Incremental District #16
 for the City of Kenosha



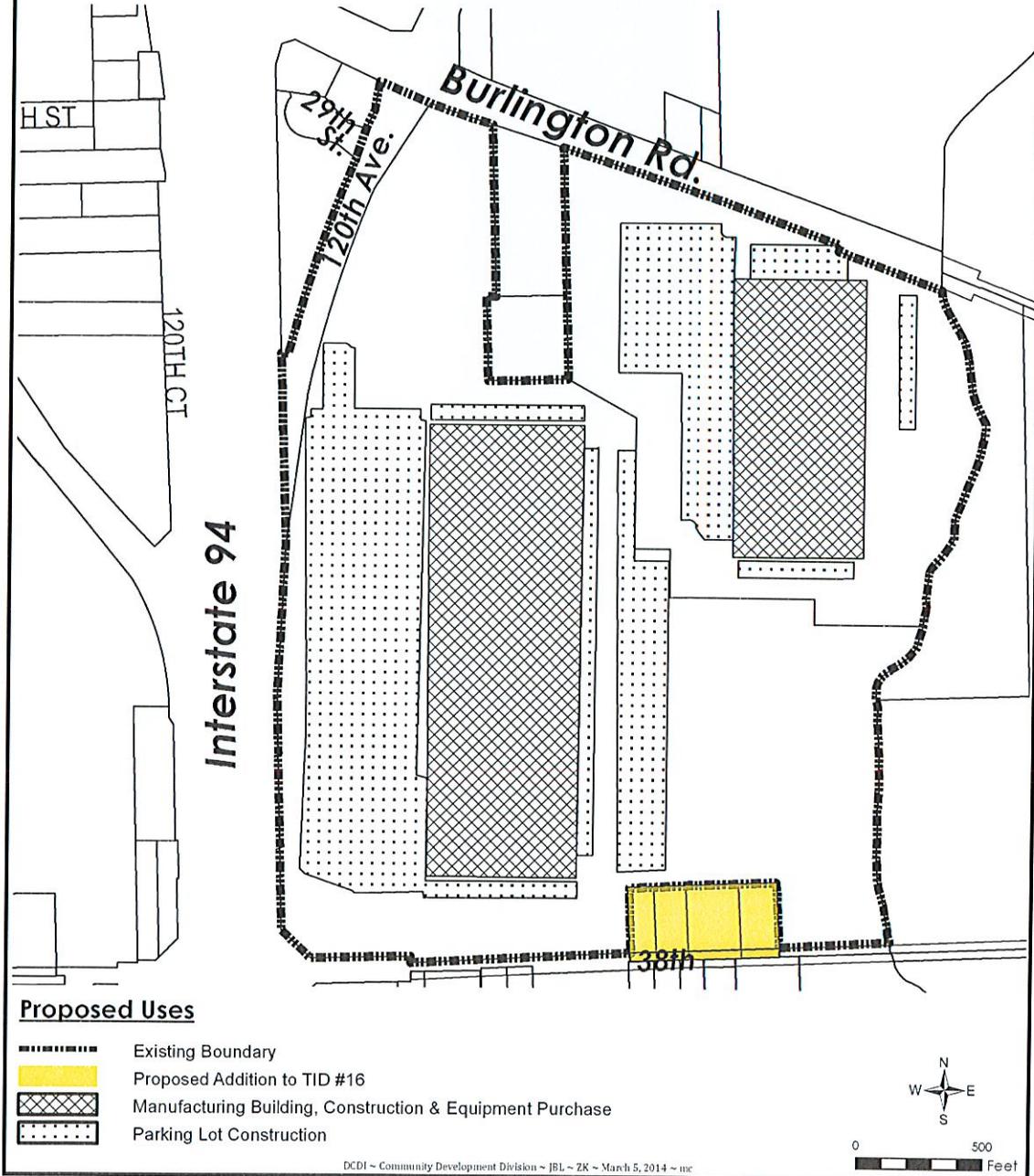
Proposed Improvements

-  Existing Boundary
-  Proposed Addition to TID #16
-  Site Preparation and Mass Grading
-  Utility and Road Improvements
-  Storm Water Improvements



DCD1 - Community Development Division - JBL - ZK - March 5, 2014 - mc

City of Kenosha
 Tax Incremental District #16
 for the City of Kenosha



Planning & Zoning Division 625 52nd Street Kenosha, WI 53140 262.653.4030	Kenosha City Plan Commission FACT SHEET	April 10, 2014	Item 6
Resolution By the Mayor - To approve a Two-Lot Certified Survey Map for property at the northeast corner of 75th Street and 125th Avenue. (Hampton Inn) (District #16) PUBLIC HEARING			

LOCATION/SURROUNDINGS:

Site: 7300 125th Avenue
 Zoned: B-2 Community Business District

NOTIFICATIONS/PROCEDURES:

The alderperson of the district, Alderperson Downing and Alderperson-Elect Johnson, has been notified. This item will also be reviewed by the Public Works Committee before final approval by the Common Council.

ANALYSIS:

- The applicant has submitted a Two-lot Certified Survey Map relating to the Conditional Use Permit for the Hampton Inn Hotel. The Certified Survey Map would split the existing single lot into two (2) lots.
 - Lot 1 would include the hotel.
 - Lot 2 would be a future commercial development.
- The Certified Survey Map will dedicate additional road right-of-way for 125th Avenue and 75th Street (STH 50). As noted in the Conditional Use Permit Staff Report, a Development Agreement will be needed for public improvements within the road right-of-way.
- The Certified Survey Map was sent to City Departments for their review. Their comments are included in the attached Resolution.
- The plans generally comply with Chapter 17 of the Code of General Ordinances.

RECOMMENDATION:

A recommendation is made to approve the Certified Survey Map, subject to the attached Resolution.



 Brian R. Wilke, Development Coordinator



 Jeffrey B. Labahn, Director

/u2/acct/cp/ckays/1CPC/2014/APR10/fact-csm-hampton.odt

RESOLUTION NO: ____ - 14

BY: THE MAYOR

TO APPROVE A TWO-LOT CERTIFIED SURVEY MAP
Property at the Northwest corner of 125th Avenue and 75th Street (Hampton Inn)

BE IT RESOLVED by the Common Council of the City of Kenosha, Wisconsin, that a Certified Survey Map relating to one (1) parcel at the northwest corner of 125th Avenue and 75th Street is herein and hereby approved subject to the following conditions:

1. Compliance with all applicable State and City codes and ordinances.
2. Payment of all applicable fees, including recording fees.
3. Payment of all storm water utility fees and delinquent taxes prior to recording.
4. A digital copy of the Certified Survey Map shall be provided to the City prior to recording.
5. The Certified Survey Map shall be null and void if not recorded within six (6) months of approval by the Common Council.
6. The Kenosha Water Utility shall approve of the Sanitary sewer Easement prior to recording.
7. A Cross Access Easement shall be recorded for the benefit of both parcels.
8. Sheet 1, Surveyor's Certificate, indicates that the surveyor has complied with, "...the Subdivision Control Ordinance, Kenosha County, Wisconsin...". Please indicate compliance with the *Divisions and Combinations of Land Ordinance* for the **City of Kenosha**.
9. Sheet 1 has a block for City of Kenosha Approval. This area must be revised to indicate that the Common Council is the approval authority, and there shall be two (2) signature blocks: one each for the Mayor and City Clerk.
10. Sheet 2 indicates that the lands to the north and west are unplatted lands. While not included in this CSM, these lands are, in fact, platted. The land to the north was platted as Certified Survey Map #2297, and the land to the west was platted as Certified Survey Map #1235.
11. Compliance with any conditions issued by the Wisconsin Department of Transportation, including the addition of any additional right-of-way.
12. A legal description for the Storm Water Easement Agreement shall be submitted for review and approval by the City.
13. A Development Agreement shall be approved and executed prior to recording the Certified Survey Map.
14. Compliance with all the preceding conditions as a prerequisite for authorizing Mayor and City Clerk-Treasurer to sign the Certified Survey Map.

Adopted this ____ day of _____, 2014

ATTEST:

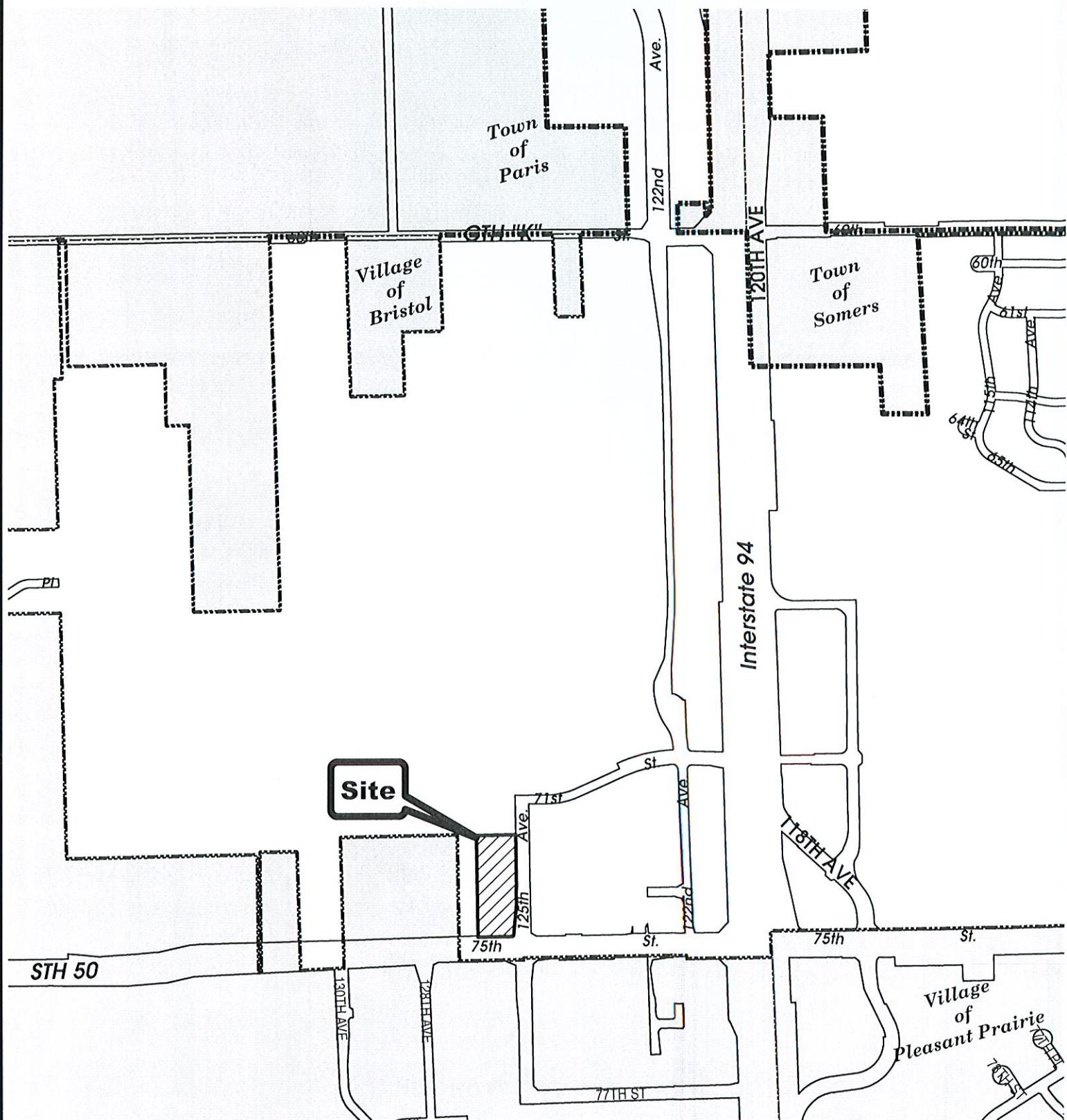
Debra L. Salas, City Clerk-Treasurer

APPROVE:

Keith G. Bosman, Mayor

City of Kenosha

Hampton Inn Certified Survey Map



Site

----- Municipal Boundary

FARRIS, HANSEN & ASSOC. INC. CERTIFIED SURVEY MAP NO. _____

7 RIDGWAY COURT- P.O. BOX 437
ELKHORN, WISCONSIN 53121
PHONE (262) 723-2098
FAX (262) 723-5886

LOCATED IN PART OF THE PART OF THE
SW 1/4 THE SE 1/4 OF SECTION 1,
TOWN 1 NORTH, RANGE 21 EAST,
CITY OF KENOSHA, KENOSHA COUNTY, WISCONSIN

SURVEYORS CERTIFICATE

I HEREBY CERTIFY THAT AT THE DIRECTION OF MILLS ENTERPRISES, LLC, OWNERS, AND IN FULL COMPLIANCE WITH THE PROVISIONS OF CHAPTER 236.34 OF WISCONSIN STATUTES AND THE SUBDIVISION CONTROL ORDINANCE, KENOSHA COUNTY, WISCONSIN, I HAVE SURVEYED, DIVIDED, AND MAPPED THE FOLLOWING DESCRIBED LAND AND THAT THIS MAP IS A TRUE REPRESENTATION OF THE EXTERIOR BOUNDARIES OF THE MAP AND OF THE DIVISION THEREOF TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF.
LOCATED IN PART OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 1, TOWN 1 NORTH, RANGE 21 EAST, KENOSHA COUNTY, WISCONSIN, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT A CONCRETE COUNTY MONUMENT FOUND MARKING THE SOUTHEAST CORNER OF SAID SECTION 1; THENCE ALONG THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SAID SECTION 1, S 88DEG 55MIN 00SEC W, 2220.00 FEET; THENCE N 01DEG 05MIN 00SEC W, 134.00 FEET TO AN IRON REBAR STAKE FOUND AT THE NORTHERLY RIGHT OF WAY OF STATE TRUNK HIGHWAY 50 AND THE POINT OF BEGINNING; THENCE N 01DEG 05MIN 00SEC W, 771.00 FEET; THENCE N 88DEG 54MIN 33SEC E, 295.96 FEET TO AN IRON REBAR STAKE FOUND AT THE EASTERLY RIGHT OF WAY OF 125TH AVENUE; THENCE ALONG SAID EASTERLY RIGHT OF WAY, S 01DEG 03MIN 57SEC E, 408.03 FEET TO AN IRON REBAR STAKE; THENCE CONTINUE ALONG SAID EASTERLY RIGHT OF WAY, S 88DEG 49MIN 40SEC W, 2.00 FEET TO AN IRON REBAR STAKE; THENCE CONTINUE ALONG SAID EASTERLY RIGHT OF WAY, S 01DEG 05MIN 00SEC E, 126.42 FEET TO AN IRON REBAR STAKE; THENCE CONTINUE ALONG SAID EASTERLY RIGHT OF WAY, S 05DEG 20MIN 09SEC W, 230.64 FEET TO AN IRON REBAR STAKE; THENCE CONTINUE ALONG SAID EASTERLY RIGHT OF WAY, S 55DEG 55MIN 46SEC W, 13.57 FEET TO AN IRON REBAR STAKE AT THE NORTHERLY RIGHT OF WAY OF STATE TRUNK HIGHWAY 50 ; THENCE ALONG SAID NORTHERLY RIGHT OF WAY, S 88DEG 54MIN 57SEC W, 256.67 FEET TO THE POINT OF BEGINNING. CONTAINING 224,206 SQUARE FEET (5.15 ACRES) OF LAND, MORE OR LESS.

DATED: OCTOBER 14, 2013

PETER S. GORDON, RLS 2101

CITY OF KENOSHA APPROVAL

APPROVED BY THE PLANNING COMMISSION OF THE CITY OF KENOSHA THIS _____ DAY OF _____, 2013.

AUTHORIZED SIGNATURE FOR THE CITY OF KENOSHA

OWNERS CERTIFICATE

AS OWNER, I HEREBY CERTIFY THAT I HAVE CAUSED THE LAND DESCRIBED ON THIS MAP TO BE SURVEYED, DIVIDED, MAPPED AND DEDICATED AS REPRESENTED ON THE MAP IN ACCORDANCE WITH THE CITY OF KENOSHA SUBDIVISION CONTROL ORDINANCE.

STEVE MILLS DATED _____
REPRESENTATIVE FOR MILLS ENTERPRISES, LLC

STATE OF _____)
COUNTY OF _____)

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 2013 THE ABOVE NAMED XXXXX XXXXXXXXXXXX, REPRESENTATIVE FOR MILLS ENTERPRISES, LLC, TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

MY COMMISSION EXPIRES

NOTARY PUBLIC, _____ COUNTY, _____

THIS INSTRUMENT DRAFTED
BY PETER S. GORDON
PROJECT NO. 7556
DATED: 10/14/2013
SHEET 1 OF 2 SHEETS

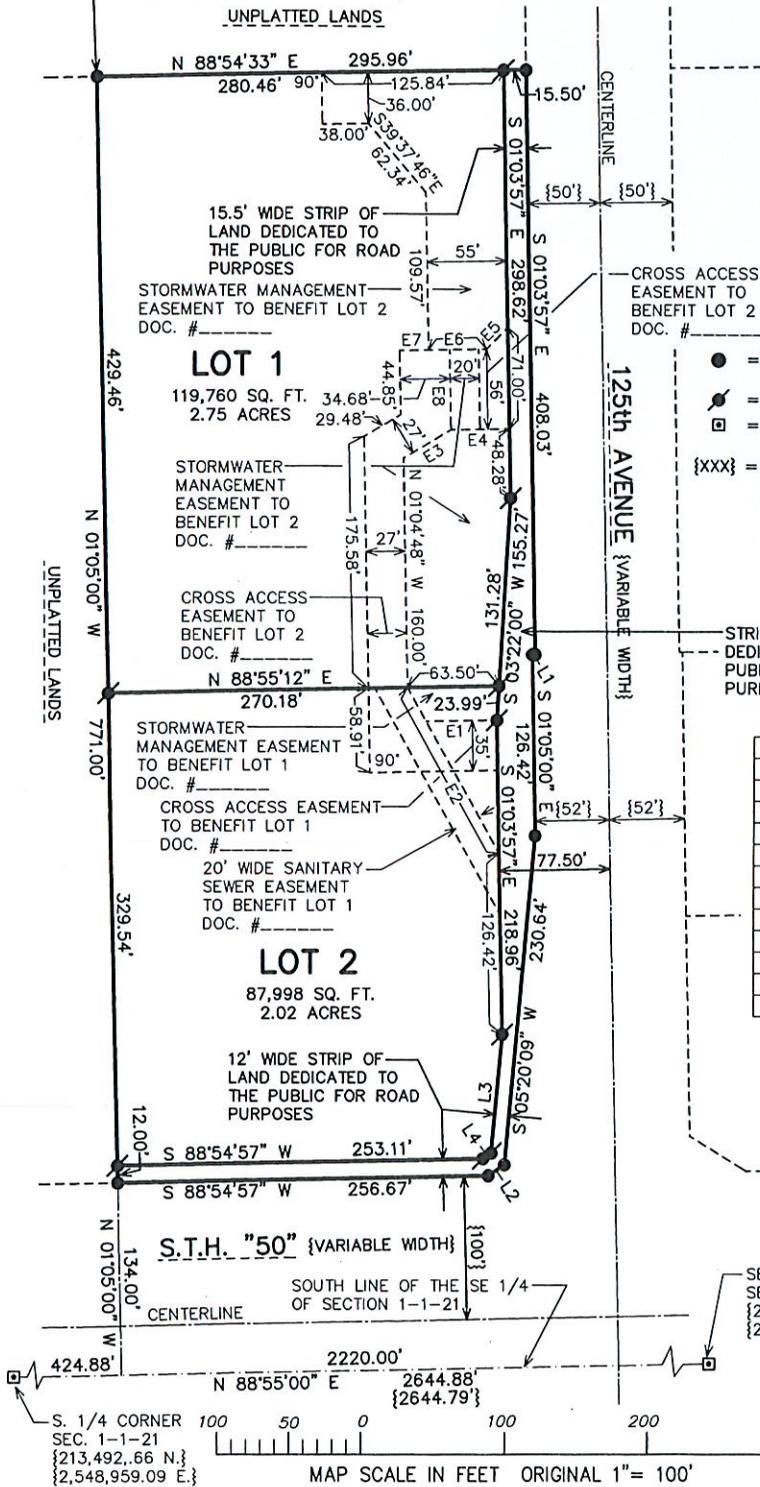
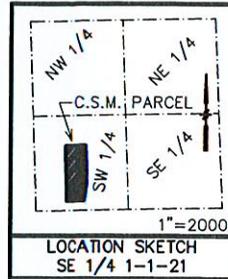
FARRIS, HANSEN & ASSOC. INC. CERTIFIED SURVEY MAP NO. _____

7 RIDGWAY COURT- P.O. BOX 437
ELKHORN, WISCONSIN 53121
PHONE (262) 723-2098
FAX (262) 723-5886

OWNER(S):
MILLS ENTERPRISES, LLC
4011 80th STREET
KENOSHA, WI 53142

LOCATED IN PART OF THE PART OF THE
SW 1/4 THE SE 1/4 OF SECTION 1,
TOWN 1 NORTH, RANGE 21 EAST,
CITY OF KENOSHA, KENOSHA COUNTY, WISCONSIN

IRON REBAR STAKE FOUND
N 72°01' E, 0.20' FROM
RECORD CORNER
ZONING: B-2
SOILS: MzdB2; MzdB; EtB; BcA



- LEGEND**
- = SET IRON REBAR STAKE, 24"x 3/4"x1.50 lbs./ft.
 - ⊙ = FOUND IRON REBAR STAKE, 3/4" DIA.
 - ⊠ = FOUND CONCRETE COUNTY MONUMENT W/ BRASS CAP
 - {XXX} = RECORDED AS

LINE	BEARING	DISTANCE
L1	S 88°49'40" W	2.00'
L2	S 55°55'46" W	13.57'
L3	S 05°20'09" W	83.40'
L4	S 55°55'42" W	6.93'
E1	S 88°55'12" W	49.00'
E2	N 28°57'48" W	131.75'
E3	S 58°55'12" W	38.35'
E4	S 88°55'12" W	40.48'
E5	S 43°55'37" W	21.22'
E6	S 88°55'12" W	40.00'
E7	S 88°55'12" W	20.17'
E8	S 01°04'47" E	56.00'

THIS INSTRUMENT DRAFTED
BY PETER S. GORDON
PROJECT NO. 7556
DATED: 10/14/2013
SHEET 2 OF 2 SHEETS

MAP SCALE IN FEET ORIGINAL 1" = 100'

**Development Review Application
City of Kenosha, Wisconsin**

MAILING INFORMATION

NAME OF PROJECT: Hampton Inn + Suites

Check one (1) of the following boxes to indicate the recipient of all correspondence:

Name and Address of Applicant [Please print]:
Jonah Hetland
Bear Development, LLC
4011 80th St
Kenosha, WI
 Phone: 262 842 0483
 Fax: _____
 E-Mail: Jonah@cmaofwi.com

Name and Address of Architect/Engineer [Please print]:
Farris Hansen + Associates
PO Box 437
Elkhorn, WI
53121
 Phone: 262 723 2098
 Fax: _____
 E-Mail: warrenhansen@farrishansen.com

Name and Address of Property Owner (if other than applicant)[Please print]:

 Phone: _____
 Fax: _____
 E-Mail: _____

PROJECT LOCATION

Location of Development (street address and / or parcel number): Parcel # 03-121-01-440-350
NW 1/4 of 125th Ave + STA 50

TYPE OF LAND DEVELOPMENT

Check all that apply. Note: Additional information may be required within individual Sections.

<input checked="" type="checkbox"/>	Certified Survey Map	Section 1	Page 3
<input type="checkbox"/>	Concept Review (<i>Land Division</i>)	Section 2	Page 4
<input type="checkbox"/>	Concept Review (Multi-Family Residential or Non-Residential)	Section 3	Page 5
<input checked="" type="checkbox"/>	Conditional Use Permit	Section 4	Pages 6 & 7
<input type="checkbox"/>	Developer's Agreement	Section 5	Page 8
<input type="checkbox"/>	Final Plat	Section 6	Pages 9 & 10
<input type="checkbox"/>	Lot Line Adjustment Survey	Section 7	Page 11
<input type="checkbox"/>	Preliminary Plat	Section 8	Pages 12 & 13
<input type="checkbox"/>	Rezoning	Section 9	Pages 14 & 15
<input type="checkbox"/>	Site Plan Review	Section 10	Pages 16 & 17

**PRIOR TO SUBMITTING THIS APPLICATION TO THE DEPARTMENT OF CITY DEVELOPMENT,
PLEASE REVIEW THE APPROPRIATE SECTION(S) FOR FEES, REQUIREMENTS AND APPROPRIATE APPENDICES.**

*Submit this cover page, completed application, applicable section(s) and appendices
along with ALL required plans, information and fees to:*

Department of Community Development & Inspections
 Planning Division
 625 52nd Street, Room 308
 Kenosha, WI 53140

Phone: 262.653.4030
 Fax: 262.653.4045

 Office Hours:
 M - F 8:00 am - 4:30 pm

**SECTION 1
CERTIFIED SURVEY MAP**

Additional Information Required:	Number of Lots: <u>2</u> Zoning District: <u>Commercial</u> Proposed Zoning Change, if any: <u>N/A</u>
Submittal Requirements:	<ul style="list-style-type: none"> ➤ Ten (10) copies of Certified Survey Map (Applicant to keep original) ➤ Four (4) copies of Drainage Plan (when required) ➤ Signed Checklist below
Fees:	<ul style="list-style-type: none"> ➤ 2-Lot Certified Survey Map = \$750 ➤ 3-Lot Certified Survey Map = \$800 ➤ 4-Lot Certified Survey Map = \$850 ➤ With a Developer's Agreement = \$1,500 ➤ Re-submittals = \$400 Miscellaneous fees <ul style="list-style-type: none"> ➤ All special assessments and taxes shall be paid prior to recording. The Department of Community Development and Inspections will record the map with the Kenosha County Register of Deeds and recording fees shall be paid at that time by the applicant.
Park Fees:	<ul style="list-style-type: none"> ➤ Five percent (5%) of the value of the property, but not less than \$1,415 per lot. Note that park fees are only collected for residentially-zoned property and are due at the time of acquiring building permits. The City may require dedication of the land in lieu of fee.
Appendices to Review:	<ul style="list-style-type: none"> ➤ D, E, F and G
Approximate Review Time:	<ul style="list-style-type: none"> ➤ 45 - 60 days (Reviewed by City Plan Commission, Public Works Committee and Common Council)

The land division will be reviewed for compliance with Chapters 17 and 35 of the City Code of General Ordinances, City Zoning Ordinance, any neighborhood or master land use plans for the area, and Chapter 236 of the Wisconsin State Statutes.

The applicant shall be responsible for the costs of project engineering, design, construction, and inspection as follows (when applicable):

1. The applicant is responsible for installing all improvements and infrastructure, including but not limited to, utilities (water, sanitary and storm sewer), oversizing of utilities, sidewalks, streets, street lights and signs, retention/detention basins, street trees, etc.
2. The applicant is responsible for any off-site improvements for the development, including but not limited to, traffic signals and signs, median openings, and street improvements/widening.
3. Payment of inspection and engineering services performed by the City and Kenosha Water Utility for the project.
4. Applicant responsible for posting of all required assurance to cover required improvements.

<p>Checklist to be completed and signed:</p> <ul style="list-style-type: none"> <input type="checkbox"/> Scale and north arrow <input type="checkbox"/> Scale of plans less than or equal to 1" = 100' <input type="checkbox"/> Date of original and revisions noted <input type="checkbox"/> Certification from surveyor that Plat complies with Chapter 17 <input type="checkbox"/> Reproducible paper less than 36" in width <input type="checkbox"/> Location of all existing structures and first floor elevations <input type="checkbox"/> Location of utility and drainage easements <input type="checkbox"/> Exact length and bearing of the centerline of all streets <input type="checkbox"/> Exact street width along the line of any obliquely intersecting street <input type="checkbox"/> Railway rights-of-way within and abutting the plat <input type="checkbox"/> Location and size of all lands to be dedicated for public use (when required) <input type="checkbox"/> Comprehensive drainage plan <input type="checkbox"/> Special restrictions relating to access control, planting strips, restrictive yard requirements, etc. (when required) <input type="checkbox"/> Major street setback or WisDOT setbacks (if applicable) <input type="checkbox"/> Map shows entirety of all parcels in proposed certified survey map 	<p>Checklist to be completed and signed:</p> <ul style="list-style-type: none"> <input type="checkbox"/> Floodplain limits of the 100 year recurrence interval flood <input type="checkbox"/> Location of any wetlands, shoreland, or other environmental areas (if applicable) <p>Plans to be submitted (when applicable)</p> <ul style="list-style-type: none"> <input type="checkbox"/> Street plans and profiles <input type="checkbox"/> Sanitary sewer plans and profiles <input type="checkbox"/> Storm sewer plans <input type="checkbox"/> Grading/drainage plans <input type="checkbox"/> Water main plans and profiles <input type="checkbox"/> Erosion control plans <input type="checkbox"/> Landscape plans <p>I hereby certify that I have reviewed the City ordinances and provided ten (10) full-sized sets of all required information.</p> <p align="right">  Applicant's Signature </p>
--	---

**KEITH G. BOSMAN
MAYOR**



*CITY OF KENOSHA
625 - 52nd Street
Kenosha, Wisconsin 53140
(262) 653-4000
Fax (262) 653-4010*

April 14, 2014

The Honorable Common Council
CITY OF KENOSHA
Kenosha, WI 53140

Dear Ladies and Gentlemen:

I hereby reappoint the following persons to the Museum Board for a term which expires May 1, 2017:

Lynda Bogdala, 7101-96th Avenue, Kenosha – SOEI filed 02/05/14
Cameron Olson, 4209-89th Street, Kenosha – SOEI filed 02/26/14

I am confident these members will continue to be conscientious and hardworking members of the Museum Board.

Sincerely,
CITY OF KENOSHA

A handwritten signature in black ink, appearing to read 'Keith G. Bosman', is written over the typed name below.

Keith G. Bosman
Mayor

KGB:pml

**KEITH G. BOSMAN
MAYOR**



*CITY OF KENOSHA
625 - 52nd Street
Kenosha, Wisconsin 53140
(262) 653-4000
Fax (262) 653-4010*

April 14, 2014

The Honorable Common Council
CITY OF KENOSHA
Kenosha, WI 53140

Dear Ladies and Gentlemen:

I hereby reappoint Alderman Jan Michalski, 416-71st Street, Kenosha, to the Museum Board for a two-year term which will expire May 1, 2016. Alderman Michalski filed his Statement of Economic Interest on February 19, 2014.

I am confident Alderman Michalski will continue to be a conscientious and hardworking member of the Museum Board.

Sincerely,
CITY OF KENOSHA

A handwritten signature in black ink, appearing to read 'Keith G. Bosman'.

Keith G. Bosman
Mayor

KGB:pml

**KEITH G. BOSMAN
MAYOR**



*CITY OF KENOSHA
625 - 52nd Street
Kenosha, Wisconsin 53140
(262) 653-4000
Fax (262) 653-4010*

April 14, 2014

The Honorable Common Council
CITY OF KENOSHA
Kenosha, WI 53140

Dear Ladies and Gentlemen:

I hereby reappoint Jessica Olson, 4209-89th Street, Kenosha, to the City Plan Commission for a two-year term which will expire May 1, 2016. Ms. Olson filed her Statement of Economic Interest on April 7, 2014.

I am confident Ms. Olson will continue to be a conscientious and hardworking member of the City Plan Commission.

Sincerely,
CITY OF KENOSHA

A handwritten signature in black ink, appearing to read 'Keith G. Bosman', is written over the typed name below.

Keith G. Bosman
Mayor

KGB:pml

**KEITH G. BOSMAN
MAYOR**



*CITY OF KENOSHA
625 - 52nd Street
Kenosha, Wisconsin 53140
(262) 653-4000
Fax (262) 653-4010*

April 14, 2014

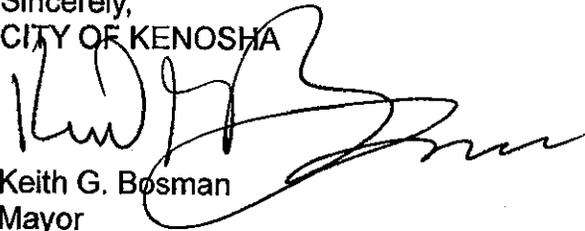
The Honorable Common Council
CITY OF KENOSHA
Kenosha, WI 53140

Dear Ladies and Gentlemen:

I hereby reappoint Peter Sinsky, 3430-16th Place, Kenosha, to the Board of Housing Appeals and the Board of Zoning Appeals, for a three-year term which will expire May 1, 2017. Mr. Sinsky filed his Statement of Economic Interest on April 7, 2014.

I am confident Mr. Sinsky will continue to be a conscientious and hardworking member of the Housing Board of Appeals & Zoning Board of Appeals.

Sincerely,
CITY OF KENOSHA


Keith G. Bosman
Mayor

KGB:pml

**KEITH G. BOSMAN
MAYOR**



*CITY OF KENOSHA
625 - 52nd Street
Kenosha, Wisconsin 53140
(262) 653-4000
Fax (262) 653-4010*

April 14, 2014

The Honorable Common Council
CITY OF KENOSHA
Kenosha, WI 53140

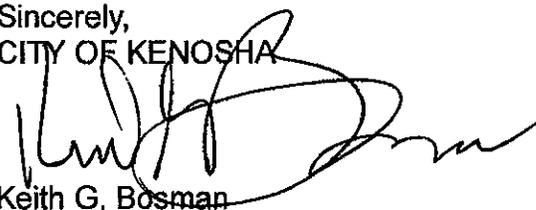
Dear Ladies and Gentlemen:

I hereby appoint Bradley D. Kleba, 4215-89th Street, Kenosha, to the City Plan Commission for a term which will expire May 1, 2016. Mr. Kleba filed his Statement of Economic Interest on April 3, 2014.

Mr. Kleba graduated from UW-Madison in December 2009 with a Bachelor of Science degree in Mechanical Engineering. He is a Distribution Analyst who has worked for Abbott Laboratories since January 2010.

I am confident Mr. Kleba will be a hardworking and conscientious member of the City Plan Commission.

Sincerely,
CITY OF KENOSHA


Keith G. Bosman
Mayor

KGB:pml

**KEITH G. BOSMAN
MAYOR**



*CITY OF KENOSHA
625 - 52nd Street
Kenosha, Wisconsin 53140
(262) 653-4000
Fax (262) 653-4010*

April 14, 2014

The Honorable Common Council
CITY OF KENOSHA
Kenosha, WI 53140

Dear Ladies and Gentlemen:

I hereby appoint Ronald W. Bailey, 7003-7th Avenue, Kenosha, to the Ethics Board to fulfill an unexpired term which will expire June 4, 2018. Mr. Bailey filed his Statement of Economic Interest on April 3, 2014.

Mr. Bailey was born in Arkansas and moved to Kenosha while in grade school. He attended local schools and graduated from Tremper High School in 1965. Higher education included receiving a two-year degree in Elementary Education, a B.A. Degree from the University of Wisconsin-Whitewater in Special Education, and an M.S. Degree in Special Education/Learning Disabilities in 1976. After spending many years teaching at McKinley Jr. High School and then Tremper High School, Mr. Bailey retired from KUSD and now teaches part-time at Carthage College.

I am confident Mr. Bailey will be a hardworking and conscientious member of the Ethics Board.

Sincerely,
CITY OF KENOSHA

A handwritten signature in black ink, appearing to read 'Keith G. Bosman'.

Keith G. Bosman
Mayor

KGB:pml



ENGINEERING DIVISION
 SHELLY BILLINGSLEY, P.E.
 CITY ENGINEER

PARK DIVISION
 JEFF WARNOCK
 SUPERINTENDENT

FLEET MAINTENANCE
 MAURO LENCI
 SUPERINTENDENT

STREET DIVISION
 JOHN H. PRIJIC
 SUPERINTENDENT

WASTE DIVISION
 ROCKY BEDNAR.
 SUPERINTENDENT

DEPARTMENT OF PUBLIC WORKS

MICHAEL M. LEMENS, P.E., DIRECTOR
 SHELLY BILLINGSLEY, P.E., DEPUTY DIRECTOR

MUNICIPAL BUILDING · 625 - 52ND ST · RM 305 · KENOSHA, WI 53140
 TELEPHONE (262) 653-4050 · FAX (262) 653-4056
 EMAIL PUBLICWORKS@KENOSHA.ORG

April 11, 2014

To: Eric J. Haugaard, Chairman, Public Works Committee
 Michael Orth, Chairman, Park Commission

From: Shelly Billingsley, P.E. *Shelly Billingsley*
 Deputy Director of Public Works /City Engineer

Subject: Project: 12-1424 Southport Park Trail Development
 Location: 7501 2nd Avenue

The Department of Public Works, Engineering Division has opened bids for the above referenced project. Engineer's Estimate was \$110,000. Budget amount is \$120,000.

This project consists of demolition, earthwork, asphalt pavement, installation of curb and gutter, installation of concrete pavement, installation of limestone trail, installation of parking lot signs, pavement markings and restoration.

Following is the list of bidders:

Contractor	Total Base Bid
Parking Lot Maintenance Inc., Pewaukee, WI	\$102,900.75
All-Ways Contractors, Elm Grove, WI	\$113,059.26
Ray Hintz, Inc., Caledonia, WI	\$116,460.36
Poblocki Paving, West Allis, WI	\$137,084.00
Camosy Construction, Kenosha, WI	\$141,812.00
BCF Construction, Waukesha, WI	\$149,569.00
A.W. Oakes & Son, Racine, WI	\$186,352.00

It is recommended that this contract be awarded to Parking Lot Maintenance Inc., Pewaukee, Wisconsin, for the base bid amount of \$102,900.75 plus \$12,099.25 in contingency for unforeseen conditions (if needed), for total award amount of \$115,000. Funding is from CIP Line Item PK-11-001.

SAB/kjb



ENGINEERING DIVISION
SHELLY BILLINGSLEY, P.E.
CITY ENGINEER

PARK DIVISION
JEFF WARNOCK
SUPERINTENDENT

FLEET MAINTENANCE
MAURO LENCI
SUPERINTENDENT

STREET DIVISION
JOHN H. PRIJIC
SUPERINTENDENT

WASTE DIVISION
ROCKY BEDNAR.
SUPERINTENDENT

DEPARTMENT OF PUBLIC WORKS

MICHAEL M. LEMENS, P.E., DIRECTOR
SHELLY BILLINGSLEY, P.E., DEPUTY DIRECTOR

MUNICIPAL BUILDING · 625 - 52ND ST · RM 305 · KENOSHA, WI 53140
TELEPHONE (262) 653-4050 · FAX (262) 653-4056
EMAIL PUBLICWORKS@KENOSHA.ORG

April 16, 2014

To: Eric J. Hugaard, Chairman, Public Works Committee
Patrick A. Juliana, Chairman, Stormwater Utility Committee

From: Shelly Billingsley, P.E. *shelly Billingsley*
Deputy Director of Public Works /City Engineer

Subject: Project: 14-1208 Sidewalk & Curb/Gutter Program
Location: Citywide

The Department of Public Works, Engineering Division has opened bids for the above referenced project. Engineer's Estimate was \$585,000. Budget amount for sidewalk in CIP Line Item IN-93-004 is \$700,000 and budget amount for curb and gutter replacement in CIP Line Item SW-93-005 is \$95,000.

This project consists of hazardous sidewalk, driveway approach and curb/gutter repair, installation of new sidewalk, installation of handicapped ramps, excavation and landscaping.

Following is the list of bidders:

Contractor	Sidewalk Base Bid	Curb & Gutter Base Bid	Total Bid
A.W. Oakes & Son, Racine, WI	\$735,582.50	\$80,630	\$816,212.50

Annually the sidewalk and curb/gutter contract is a "quantities and unit cost" contract, meaning that the quantities and locations of work are adjusted in accordance with available funding.

It is recommended that this contract be awarded to A.W. Oakes & Son, Racine, Wisconsin for the sidewalk bid amount of \$735,582.50 plus \$14,417.50 for additional quantities for a total award of \$750,000 from CIP Line Item IN-93-004; also curb and gutter bid amount of \$80,630 plus \$11,370 for additional quantities for a total award of \$92,000 from CIP Line Item SW-93-005, for total award amount of \$842,000.

SAB/kjb

LEASE

By And Between

THE CITY OF KENOSHA, WISCONSIN,
a Wisconsin Municipal Corporation,

And

COINS SPORTS BAR, INC.
a Wisconsin Corporation

THIS INDENTURE made this _____ day of _____, 2014 ("Effective Date"), by and between the CITY OF KENOSHA, WISCONSIN, a municipal corporation, hereinafter, referred to as the "Lessor," and COINS SPORTS BAR, INC., a Wisconsin Corporation, hereinafter referred to as "Lessee. "

WITNESSETH:

In consideration of the rent and agreements of the Lessee herein, the Lessor does hereby lease, demise and let unto said Lessee the land depicted on Exhibit A attached and described as follows:

Lot 1, Block 1 in Theleen's subdivision; a subdivision of record in the Office of the Kenosha County Register of Deeds (Tax Parcel 12-223-31-326-022) ("Premises")

1. To have and to hold unto Lessee for the term of 5 years from and after the Effective Date, the Lessee yielding and paying rent therefore, the sum of \$1.00 per year payable on the Effective Date of this Lease and on the yearly anniversary thereof through the remainder of the tenancy.
2. The Premises hereby leased shall be used for parking for the Premises commonly known as 1714 52nd Street, Kenosha, Wisconsin, ("Business Location"). The Lessee agrees to obey any and all laws of the State of Wisconsin and Ordinances of the City of Kenosha and County of Kenosha, Wisconsin, pertaining in any way to the business conducted on the Premises and at the Business Location.
3. Lessee hereby agrees to pay said rent at the time and in the manner aforesaid, during the continuance of said term and shall not have the right to assign this Lease or sublet any portion of the Premises, except with written approval of the Lessor.

4. Lessee shall procure and maintain, during the Lease, insurance policies as hereinafter specified to insure against all risk and loss on the dates of its use of the Premises. The policies must be issued by an insurance company or companies authorized to do business in the State of Wisconsin and licensed by the State of Wisconsin. Lessee shall annually furnish a Certificate of Insurance indicating compliance with the foregoing, including the naming of Lessor as an “additional insured”, and proof of payment of premium to the Lessor for approval. Lessee shall also provide Lessor with a copy of the endorsement naming Lessor as an additional insured. The insurance policy or policies shall contain a clause that in the event any policy issued is canceled for any reason, or any material changes are made therein, Lessor will be notified, in writing, by the insurer at least thirty (30) days before any cancellation or change takes effect. If for any reason, the insurance coverage required herein lapses and/or Lessee fails to maintain insurance coverage and such lapse or failure continues for fifteen (15) days after notice from Lessor to Lessee, Lessor may terminate this Lease as of the date no valid insurance policy was in effect. Certificates of policy renewals shall be furnished to the Lessor throughout the life of the Lease. Lessor reserves the right to reasonably increase the minimum liability insurance requirement set forth herein upon furnishing sixty (60) days advance written notice to Lessee, whenever minimum standards of the Lessor for all insurance policies comparable to those covering Lessee's operations hereunder are enacted which adopt or increase the minimum insurance requirements, and Lessee shall comply with said request, upon being given such advance, written notice thereof, or be considered in material default of the Lease. Should Lessee fail to furnish, deliver and maintain such insurance coverage, Lessor may obtain such insurance coverage and charge Lessee the cost of such insurance coverage plus all appropriate administrative charges and incidental expenses associated with the transaction. The failure of Lessee to take out and/or maintain the required insurance shall not relieve Lessee from any liability under the Lease. The insurance requirement shall not be construed to conflict with the obligations of Lessee in Section 5 of this Lease. Lessee shall maintain during the course of the Lease a General Liability Insurance policy with a minimum limit of Two Million Dollars (\$2,000,000.00) each occurrence and Four Million Dollars (\$4,000,000.00) general aggregate.
5. Lessee does hereby agree that it will, at all times, beginning on the Effective Date and continuing thereafter during the course of the Lease, indemnify and hold harmless Lessor, and their officers, agents, employees or representatives against any and all claims, liability, loss, charges, damages, costs, expenses or reasonable attorneys' fees, which any of them may hereafter sustain, incur or be required to pay as a result of incidents occurring after the Effective Date, on the Leased Premises that are the result of the negligence, gross negligence or willful misconduct of Lessee, its officers, agents, employees or representatives; or as a result of any operations, works, acts or omission performed on the Leased Premise by Lessee, its officers, agents, employees, or representatives; or resulting from Lessee's failure to perform or observe any of the terms, covenants and conditions of the Lease; or resulting from any conditions of the Leased Premises caused by or the result of the actions of Lessee, its officers, agents, employees or representatives and by reason of which any person suffers personal injury, death or property loss or damage; provided, however, that the provisions of

this paragraph shall not apply to claims, liabilities, losses, charges, damages, costs, expenses, or attorneys' fees caused or resulting from the negligent, grossly negligent, willful or intentional acts or omissions of Lessor, or any of its officers, agents, employees or representatives in which case Lessor will indemnify and hold harmless Lessee and its officers, agents, employees or representatives. Upon the filing with Lessor of a claim for damages arising out of any incident(s) which Lessee herein agrees to indemnify and hold Lessor and others harmless, Lessor shall notify Lessee of such claim, and in the event that Lessee does not settle or compromise such claim, then Lessee shall undertake the legal defense of such claim both on behalf of Lessee and Lessor. It is specifically agreed, however, that Lessor, at its own cost and expense, may participate in the legal defense of any such claim. Any judgment, final beyond all possibility of appeal, which may be rendered against Lessor, or their officers, agents, employees or representatives for any cause for which Lessee is liable hereunder, shall be conclusive against Lessee as to liability and amount of damages. This provision shall survive expiration or termination of the Lease to the extent necessary to effectuate its purpose.

6. The Lessee shall, at Lessee's sole expense, be responsible for site maintenance including, but not limited to, paving, snow removal, ~~and~~-striping for parking **and installing/maintaining parking blocks. Lessee shall comply with all local, state and federal ordinance, statute or regulations regarding the maintenance of Premises.** Lessee shall also be responsible for snow removal from the sidewalk adjacent to the Premises.
7. The Lessor shall have the right, for any reason whatsoever, to terminate this lease upon 60 days written notice.
8. No extension of time, forbearance, neglect or waiver by one party with respect to any one or more of the covenants, terms or conditions of this Lease shall be construed as a waiver of any of the other covenants, terms or conditions of this Lease, or as an estoppel against the waiving party, nor shall any extension of time, forbearance or waiver by one party in any one or more instance or particulars be construed to be a waiver or estoppel with respect to any other instance or particular covered by this Lease.
9. Any notice required to be given to any party to this Lease shall be in writing and delivered either by hand or certified mail, return receipt requested, to the addresses indicated below, or such address as the parties indicate in writing. Notice shall be effective as of the date of delivery, if by hand, or mailing, if by certified mail.

If to City:

Office of the City Clerk/Treasurer
Municipal Building, Room 105
625 - 52nd Street,
Kenosha, Wisconsin 53140

With a copy to:

Office of the City Attorney

Municipal Building, Room 201
625 - 52nd Street,
Kenosha, Wisconsin 53140
Jeff Gascoigne
1668 32nd Avenue
Kenosha, Wisconsin 53144

If to Coins Sports Bar, Inc.:

10. Representation of Authority to Enter into Lease. Each of the undersigned hereby represents and warrants that: (a) such party has all requisite power and authority to execute this Lease; (b) the execution and delivery of this Lease by the undersigned, and the performance of its terms thereby have been duly and validly authorized and approved by all requisite action required by law; and (c) this Lease constitutes the valid and binding agreement of the undersigned, enforceable against each of them in accordance with the terms of the Lease.

On behalf of COINS SPORTS BAR, INC., this Lease is hereby accepted pending approval by the Kenosha Common Council.

COINS SPORTS BAR, INC.
A Wisconsin Corporation

BY: _____
JEFF GASCOIGNE

Date: _____

STATE OF WISCONSIN)
:SS.

COUNTY OF KENOSHA)

Personally came before me this ____ day of _____, 2014, JEFF GASCOIGNE of COINS SPORTS BAR, INC., a Wisconsin corporation, to me known to be such _____ of said corporation and acknowledged that he executed the foregoing instrument as such officer as the agreement of said corporation, by its authority.

Notary Public, Kenosha County, WI.
My Commission expires/is: _____

CITY OF KENOSHA, WISCONSIN
A Municipal Corporation

BY: _____
KEITH G. BOSMAN, Mayor

Date: _____

BY: _____
DEBRA L. SALAS,
City Clerk/Treasurer

Date: _____

STATE OF WISCONSIN)
 :SS.
COUNTY OF KENOSHA)

Personally came before me this ____ day of _____, 2014, Keith G. Bosman, Mayor, and Debra L. Salas, City Clerk/Treasurer, of the CITY OF KENOSHA, WISCONSIN, a municipal corporation, to me known to be such Mayor and City Clerk/Treasurer of said City, and acknowledged that they executed the foregoing instrument as such officers as the agreement of said City, by its authority.

Notary Public, Kenosha County, WI.
My Commission expires/is: _____

Planning & Zoning
Community Development

262.653.4030
262.653.4045 FAX
Room 308



Building Inspections
Property Maintenance

262.653.4263
262.653.4254 FAX
Room 100

DEPARTMENT OF COMMUNITY DEVELOPMENT & INSPECTIONS

Municipal Building · 625 52nd Street · Kenosha, WI 53140
www.kenosha.org

Jeffrey B. Labahn, Director

Richard Schroeder, Deputy Director

TO: Keith G. Bosman, Mayor
Members of the City of Kenosha Common Council
Members of the Finance Committee

FROM: Brian Wilke, Development Coordinator BW
Department of Community Development and Inspections

SUBJECT: Request from Roberto Mercadillo to Rescind a Penalty Fee for a Business Occupancy Permit for Bel-Air Motors in the Amount of \$720.00; Property Address: 7550 Sheridan Road (District 12)

DATE: April 15, 2014

The applicant, Roberto Mercadillo, Bel-Air Motors, is requesting a rescindment/refund of a penalty fee in the amount of \$720.00 that was levied based on the illegal occupancy of the property located at 7550 Sheridan Road.

Section 8.04 of the City of Kenosha Zoning Ordinance stipulates the following:

F. Permit Fees. Should an application be made for a Certificate of Occupancy or a Temporary Certificate of Occupancy for a building following occupancy of such building without any such certificate, then the permit fee shall be five (5) times the standard permit fee.

The following sequence of events is pertinent to this issue:

- October 2, 2013: Community Development & Inspections sends a letter to the property owner, indicating that the business on the site is operating without an Occupancy Permit, and is operating as a body shop, which requires a Conditional Use Permit (CUP) that the business did not have. The business is ordered to cease operation as a body shop immediately and obtain an Occupancy Permit for the automotive repair work.
- October 25, 2013: The City sends a second letter to the property owner indicating the Occupancy Permit application still had not been received.
- October 28, 2013: Mr. Mercadillo submits an application for an Occupancy Permit for automotive repair. The five-times permit fee is applied per the Zoning Ordinance.
- October 31, 2013: The first notice is sent to the applicant informing him that the Occupancy Permit is ready for pick-up. The total cost of the permit, including penalty fees, is \$900.00.

- November 8, 2013 Community Development and Inspections Staff inspects the site and determines that the automotive repair business is still in operation without a valid Occupancy Permit. A \$72.00 reinspection fee is issued to the property owner on November 12, 2013. To date, this fee has not been paid.
- November 12, 2013 The second notice is sent to the applicant informing him that the Occupancy Permit is ready for payment. It is around this time that the applicant meets with Mr. Wilke and indicates he does not have the ability to pay the entire \$900.00 permit fee at one time. He offers to pay \$450.00 one week and \$450.00 the next week. The applicant is advised he needs to close the business until the \$900.00 fee is paid and all the required inspections are completed; and, that he is in violation of the Ordinance if he does not do this.
- December 4, 2013 Community Development and Inspections Staff inspects the site and determines that the automotive repair business is still in operation without a valid Occupancy Permit. A reinspection fee in the amount of \$90.00 is levied against the property owner on December 5, 2013. This fee has not yet been paid.
- January - March 2014 At various times, staff inspects the site to determine if the business is open. During those inspections, the "Open" sign is not lit and the site appears to be inactive. In early March, staff begins to see indications that the business is open (i.e., snow is cleared from the site, vehicles are moved around in the lot). At this point, the applicant still has not paid for the Occupancy Permit.
- March 10, 2014 Mr. Wilke tries to reach the property owner by phone based on the phone number listed on the application, but receives no return call.
- March 13, 2014 Another letter is sent to the property owner and business owner indicating that the business must cease operations immediately until a valid Occupancy Permit has been paid for. That afternoon, the business owner comes in and pays the \$900.00 Occupancy Permit fee.
- March 28, 2014 All inspections are completed satisfactorily and the Occupancy Permit is issued.

Recommendation:

As the Zoning Ordinance requires a five-times (5X) permit fee for occupancy without having obtained an occupancy permit, and the applicant did occupy the space without first obtaining a permit and continued to do so after being notified to stop, staff recommends denial of the request to rescind the penalty fee.

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Community Development
262.653.4030
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Room 308



Building Inspections
Property Maintenance
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Room 100

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www.kenosha.org

Jeffrey B. Labahn, Director

Richard Schroeder, Deputy Director

October 2, 2013

TJ Auto, LLC
7550 Sheridan Road
Kenosha, WI 53143

Dear Sir or Madam:

SUBJECT: Illegal Body Shop Operation - 7550 Sheridan Road

It has come to the attention of City Staff that, in addition to performing auto repairs, your business has recently begun operating as a body shop. A body shop is a conditional use in the B-2 (Community Business) District. Since you do not have a Conditional Use Permit (CUP) to operate on this site as a body shop, you are hereby ordered to cease all body work operations immediately. Each day that you are found to be in operation as a body shop after receipt of this letter can and will be considered a separate offense subject to fines and citations.

In addition, you are operating the automotive repair business without a valid Occupancy Permit. You may obtain an Occupancy Permit for automotive repairs only (no body work) without a CUP permit. The Occupancy Permit will be subject to a five-times (5X) penalty fee.

You may apply for a CUP to operate as a body shop through the Department of Community Development and Inspections, City Plan Division. That process will take a minimum of 45-60 days to complete and will require approval of the City Plan Commission and Common Council before you may legally operate as a body shop.

If you have any questions, please feel free to contact me at 262.653.4049; or, you may e-mail me at bwilke@kenosha.org.

Sincerely,

DEPARTMENT OF COMMUNITY
DEVELOPMENT AND INSPECTIONS

Handwritten signature of Brian R. Wilke.

Brian R. Wilke
Development Coordinator

BRW:saz

c: Steve Bostrom, Alderman of the 12th District
Jeff Labahn, Director, Department of Community Development & Inspections

April 21, 2014 Pg. 308

Planning & Zoning
Community Development

262.653.4030
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Room 308



Building Inspections
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Room 100

DEPARTMENT OF COMMUNITY DEVELOPMENT & INSPECTIONS

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www.kenosha.org

Jeffrey B. Labahn, Director

Richard Schroeder, Deputy Director

October 25, 2013

TJ Auto, LLC
7550 Sheridan Road
Kenosha, WI 53143

Dear Sir or Madam:

SUBJECT: Illegal Body Shop Operation - 7550 Sheridan Road

On October 2, 2013, I sent you a letter relating to a business being operated at the subject property that you own. That letter indicated that the business was operating without a valid occupancy permit; and, that the business owner shall apply for an occupancy permit. The permit must be approved for the use of the building as an automotive repair shop. As of the date of this letter, that occupancy permit application has not been submitted.

If the application is not received in our office by the close of business on **Tuesday, October 29, 2013**, we will begin to charge reinspection fees to the property owner per Section 9.07 of the Code of General Ordinances.

The occupancy permit will be subject to a five-times (5X) penalty fee to the applicant for operating a business without a valid occupancy permit.

Reinspection fees start at \$60.00 and escalated up to \$360.00 for continued noncompliance. Reinspection fees that are not paid by or on behalf of the property owner within thirty (30) days of the date of the invoice shall be levied as a special charge against the real estate upon which the reinspection was made. There shall also be an administrative fee in the amount of one-hundred dollars (\$100.00) added to the charge to cover the administrative costs of specially charging the property.

If you have any questions, please feel free to contact me at 262.653.4049; or, you may e-mail me at bwilke@kenosha.org.

Sincerely,

DEPARTMENT OF COMMUNITY
DEVELOPMENT AND INSPECTIONS

Handwritten signature of Brian R. Wilke.

Brian R. Wilke
Development Coordinator

BRW:saz

c: Steve Bostrom, Alderman of the 12th District

Jeff Labahn, Director, Department of Community Development & Inspections

Planning & Zoning
Community Development
262.653.4030
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Building Inspections
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262.653.4263
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www.kenosha.org

Jeffrey B. Labahn, Director

Richard Schroeder, Deputy Director

March 13, 2014

Tashe Bozinovski
3501 30th Avenue
Kenosha, WI 53144

Dear Ms. Bozinovski:

SUBJECT: Bel-Air Motors - 7550 Sheridan Road

On October 28, 2013, we received an application for a Business Occupancy Permit for an auto repair business at a property you own at 7550 Sheridan Road. The application was approved by City staff, and billing notices were sent to Robert Mercadillo, Jr. on October 31, 2013, and November 12, 2013. To date, the fee for this Occupancy Permit has not been paid. Per City Ordinance, a five-times (5X) penalty fee has been added to the permit fee based on occupancy of the building without first obtaining a valid Occupancy Permit.

It appears to several City staff members that this business is currently in operation without a valid Occupancy Permit. I attempted to reach you by phone on Monday, March 10, 2014, and left you a message, to which you have not responded.

The business on your property has two (2) options to achieve compliance:

1. Cease operations immediately and remove all equipment and vehicles from the site
2. Cease operation of the business, pay the \$900.00 fee for the Occupancy Permit, successfully complete all of the required inspections and receive approval of the Occupancy Permit so they are able to open their doors legally.

Failure to comply as specified above upon receipt of this letter will result in the assessment of reinspection fees to the property owner and/or the issuance of municipal citations to the business owner and property owner.

Please contact me immediately at 262.653.4049; or, you may e-mail me at bwilke@kenosha.org. I look forward to your prompt attention in this matter.

Sincerely,

DEPARTMENT OF COMMUNITY
DEVELOPMENT AND INSPECTIONS

Brian R. Wilke
Development Coordinator

BRW:saz

c: Steve Bostrom, Alderman of the 12th District
Jeff Labahn, Director
TJ Auto, LLC, 3516 Warren Court, Racine, WI 53405
Robert Mercadillo, Jr. 5525 47th Avenue, Kenosha, WI 53143

April 21, 2014 Pg. 310

Common Council Agenda Item M.1.

City of Kenosha
Department of Community Development & Inspections
625 52nd Street, Kenosha, Wisconsin

 COPY

Appeal Form

Property Address: 7550 Sheridan Road, Date: 4/7/14

Appeal is for: Special Assessment Reinspection Fee Board-up Fee Penalty Fee

Amount: \$ 720.⁰⁰ Other _____

Property Owner: Bazinowski Tasha

Petitioner: Roberto Mercado, Ito

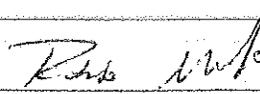
Mailing Address: 7550 Sheridan Road,

Home Phone Number: 262-577-1862 Daytime Phone Number: Sunt

E-mail Address: rmercado@ymail.com.

Reason for Appeal (if more space is needed, please attach information to this form):

I am submitting this appeal, because one of our business partners, who is no longer involved in the business, demonstrated negligence and incompetence when filing for permits. At the time, we were already under lease, and with bills and other costs accruing, we could not gather the funds for appropriate permits. Since applying, we have adhered to all local ordinances and will continue to do so. We thank you for your consideration.

Petitioner's Signature: 

Please return to:
Department of Community Development and Inspections
625 52nd Street, Room 100, Kenosha, Wisconsin 53140
Phone: 262.653.4263; Fax: 262.653.4254

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Common Council Agenda Item M.1.

Planning & Zoning
Community Development
262.653.4030
262.653.4045 FAX
Room 308



Building Inspections
Property Maintenance
262.653.4263
262.653.4254 FAX
Room 100

DEPARTMENT OF COMMUNITY DEVELOPMENT & INSPECTIONS

Municipal Building · 625 52nd Street · Kenosha, WI 53140
www.kenosha.org

Jeffrey B. Labahn, Director

Richard Schroeder, Deputy Director

April 16, 2014

Roberto Mercadillo
7550 Sheridan Road
Kenosha, WI 53143

Dear Mr. Mercadillo:

Subject: Appeal of Penalty Fees in the Amount of \$720.00 for Occupancy Permit - 7550 Sheridan Road

The City of Kenosha Finance Committee will review your above-referenced request at their regular meeting to be held on Monday, April 21, 2014, at 5:30 p.m. in Room 204 of the Kenosha Municipal Building, 625 52nd Street. (Finance Committee meeting times are subject to change. Please confirm meeting time at <http://www.kenosha.org/council/finagenda.pdf> two (2) days prior to the meeting; or, you may call me at 262.653.4257.)

The recommendation of the Finance Committee will be acted upon by the Common Council at their regular meeting to be held at 7:00 p.m in Room 200 of the Municipal Building following the Finance Committee meeting.

If you have any questions, please contact me at 262.653.4257 or szampanti@kenosha.org.

Sincerely,

Department of Community
Development and Inspections

A handwritten signature in cursive script that reads "Sue Zampanti".

Sue Zampanti, Secretary

/SAZ

Planning & Zoning
Community Development

262.653.4030
262.653.4045 FAX
Room 308



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DEPARTMENT OF COMMUNITY DEVELOPMENT & INSPECTIONS

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www.kenosha.org

Jeffrey B. Labahn, Director

Richard Schroeder, Deputy Director

TO: Keith G. Bosman, Mayor
Members of the City of Kenosha Common Council
Members of the Finance Committee

FROM: Brian Wilke, Development Coordinator *BKW*
Department of Community Development and Inspections

SUBJECT: Request from Denny Vauters to Rescind a Penalty Fee for a Business
Occupancy Permit for Blevins Insurance in the Amount of \$720.00; Property
Address: 1114 56th Street (District 2)

DATE: April 15, 2014

The applicant, Denny Vauters, Blevins Insurance, is requesting a rescindment/refund of a penalty fee in the amount of \$720.00 that was levied based on the illegal occupancy of the property located at 1114 56th Street.

Section 8.04 of the City of Kenosha Zoning Ordinance stipulates the following:

F. Permit Fees. Should an application be made for a Certificate of Occupancy or a Temporary Certificate of Occupancy for a building following occupancy of such building without any such certificate, then the permit fee shall be five (5) times the standard permit fee.

The following sequence of events is pertinent to this issue:

December 11, 2013: Community Development & Inspections is alerted by the City Assessor's Office that a new business is open in the building at 1114 56th Street. The new business has not obtained an Occupancy Permit from Community Development & Inspections.

December 16, 2013: Community Development & Inspections sends a letter to Paul Campagna, owner of the building, alerting him to the illegal occupancy. The letter states that Blevins Insurance must obtain an Occupancy Permit no later than January 2, 2014.

December 30, 2013: The City received a business occupancy permit application from Denny Vauters.

January 3, 2014: The first notice is sent to the applicant informing them that the Occupancy Permit is ready for payment. The total fee, including the penalty fee, is \$900.00

April 21, 2014 Pg. 313

- January 15, 2014 The second notice is sent to the applicant informing them that the Occupancy Permit is ready for payment.
- January 31, 2014 Community Development and Inspections Staff inspects the site and notes activity in the building and a sign on the window, which indicates the business is still in operation. A reinspection fee in the amount of \$72.00 is levied to the property owner. This fee has not yet been paid.
- March 20, 2014 Community Development and Inspections staff sends a "Notification of Nonpayment" to the owner, advising him that the Occupancy Permit fees have not been paid.
- April 9, 2014 The Occupancy Permit fees are paid. To date, none of the inspections required for the issuance of the permit have been conducted.

Recommendation:

As the Zoning Ordinance requires a five-times (5X) permit fee for occupancy without having obtained an occupancy permit, and the applicant did occupy the space without first obtaining a permit; and, still is occupying without a valid Occupancy Permit, staff recommends denial of the request to rescind the penalty fee.

BRW/saz
Attachments

City of Kenosha
Department of Community Development & Inspections
625 52nd Street, Kenosha, Wisconsin

 COPY

Appeal Form

Property Address: 1114 56th St. Kenosha 53143 Date: 1/21/2014

Appeal is for: Special Assessment Reinspection Fee Board-up Fee Penalty Fee

Amount: 900

Property Owner: PAUL CAMPAGNA

Petitioner: DENNY VANTERS / BLEVINS INSURANCE AGENCY

Mailing Address: _____

Home Phone Number: 864-906-8929 Daytime Phone Number: 262-584-6565

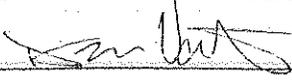
E-mail Address: denny@blevinsinsurance.com

Reason for Appeal (if more space is needed, please attach information to this form):

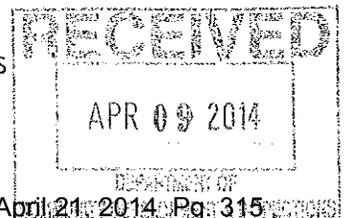
I would like to appeal the late penalty assessed to Denny Vanters / Blevins Insurance for for business occupancy fees. The mistake of not filing an occupancy permit was an honest one. No deceit or misrepresentation was intended. We simply were unaware we needed to have a business occupancy permit.

Our office space is approx. 125 sq. ft. \$900 is a hefty fine for that small of an office. We understand the need for such fees and are happy to pay the appropriate fees when necessary. However, we are asking the late penalty be removed because this was an inadvertent error.

Thank you for your consideration

Petitioner's Signature: 

Please return to:
Department of Community Development and Inspections
625 52nd Street, Room 100, Kenosha, Wisconsin 53140
Phone: 262.653.4263; Fax: 262.653.4254
e-mail: nsi@kenosha.org



DUE DATE
March 1, 2014

STATEMENT OF PERSONAL PROPERTY
Subject to Assessment January 1, 2014

2014

Who Must File? Every person, firm, or corporation as defined in Section 70.35 Wis. Statutes receiving from the assessor a return of personal property, must submit the return to the assessor on or before March 1. This return is confidential and is not available for public inspection.

Failure to File: If you fail to file, the assessor must estimate the value of your property using the best information available. In addition, you shall be denied any right of abatement by the board of review, under Section 70.35(4), Wis. Statutes.

Property Owner: (or in charge as agent, consignee, or other representative capacity)

City of: KENOSHA
County of: KENOSHA

Acct.#:20-74871-000 BLEVINS INSURANCE AGENCY INC 1114 56TH ST KENOSHA, WI 53140	School District: 2793 TID#
Property Address <u>1114 56TH ST</u> Engaged in Business of _____ FEIN # _____	Assessor: CITY OF KENOSHA ASSESSOR 625 52ND ST KENOSHA, WI 53140
	<input type="checkbox"/> Sole Proprietorship <input type="checkbox"/> Partnership <input type="checkbox"/> Corporation <input type="checkbox"/> LLC <input type="checkbox"/> LLP

New Name Dennis Varkas
Owner Situs Address _____
Mailing Address 1114 56th
City, State, Zip _____
Phone No. () _____

Type of Change Discontinued Sold
 Incorporated Moved

Date of Change _____

Schedule A
SUMMARY OF PERSONAL PROPERTY AS OF JANUARY 1, 2014

Schedule A is the summary of all taxable personal property from Schedules B through H. The total of column 3 is your declaration of personal property subject to tax within this municipality. **Do not write "SALY" for Same As Last Year;** forms must be filled out completely. Note that Schedule D-1, exempt computer equipment and software, cash registers and single-function fax machines, is excluded from TOTAL ASSESSABLE.

Column 1 Property Description	Column 2 Subtotals	Column 3 Values Totals	CODE	Column 4 LEAVE BLANK
1. Boats & Other Watercraft (from Schedule B)		\$	1	
2. Machinery, Tools & Patterns (from Schedule C)		\$	2	
3. Furniture, Fixtures, & Office Equipment (from Schedule D)	\$ 500.-			
4. Multifunction Fax Machines, Postage Meters, Copiers & Phone Systems (from Sch. D-2)	\$ 50			
5. TOTAL OF LINES 3 AND 4		\$ 550	3	
6. Leased Equipment (Property in charge of but not owned from Schedule F)	\$			
7. Supplies (from Schedule G)	\$			
8. All Other Personal Property (from Schedule H)	\$			
9. TOTAL OF LINES 6, 7 AND 8		\$	4A	
10. Buildings on Leased Land (from Schedule E)		\$	4B	
TOTAL ASSESSABLE (TOTAL OF LINES 1, 2, 5, 9 AND 10)		\$		
11. EXEMPT Computer Equipment & Software (from Schedule D-1)	\$			
Please report the total from Schedule D-1 from the 2013 PA-003	\$			

I hereby declare all information given is true and correct for all the personal property for which I am subject to assessment and which was owned by me or held in my possession on January 1, 2014.

Owner's Name (please print) <u>Dennis Varkas</u>	Signature and Date <u>[Signature]</u> 4/3/14	Preparer's Name (please print) <u>Dennis Varkas</u>	Signature and Date <u>[Signature]</u> 4/3/14
Owner's Full Address		Preparer's Full Address <u>7557 26 Ave Kenosha WI 53145</u>	
Owner's Phone Number ()	Fax Number ()	Preparer's Phone Number <u>(262) 564-6568</u>	Fax Number ()
Email		Email	

Schedule B
BOATS AND WATERCRAFT

Schedule B is for reporting boats and watercraft not exempt. Use additional sheets if necessary.

Column 1 Property Description	Column 2 Year Acquired	Column 3 Cost When Acquired	Column 4 Declared Value Jan. 1	Column 5 LEAVE BLANK
Total Declared Value				

Enter Col. 4 Total on
Sch.A. Line 1, Col. 3

Schedule C
MACHINERY, TOOLS AND PATTERNS

Report all machinery and shop equipment. Take the costs shown from your accounting records. Any variation from information contained in your income tax return must be explained by letter or schedule. Summarize the original asset costs by acquisition year as of January 1 of last year. Enter these costs in column 2. Enter any additions or deletions by acquisition year in column 3.

Column 1 Year Assets Acquired	Column 2 Total Original Installed Cost as of January 1, 2013	Column 3 Additions, Disposals, and Transfers at Cost Since Jan.1, 2013	Column 4 Net Total Original Installed Cost as of Jan. 1, 2014 (Column 2-Column 3)	Column 5 Conversion Factor 10 yr.	Column 6 Indexed Net Value (Full Value) on January 1, 2014 (Column 4 x Column 5)	Column 7 LEAVE BLANK
2013				.925		
2012				.794		
2011				.688		
2010				.585		
2009				.497		
2008				.439		
2007				.377		
2006				.333		
2005				.287		
2004				.250		
Prior to '04				.137		
TOTALS						

Enter Col. 6 Total on
Sch.A. Line 2, Col. 3

Schedule D
FURNITURE, FIXTURES AND OFFICE EQUIPMENT

Report such assets as office, store and professional furniture, fixtures and equipment, business and professional libraries, and other assets related to the sales and administration of your business. Original Cost per column 4, Schedule D should contain all costs of installation and freight, add-ons and sales tax.

Column 1 Year Assets Acquired	Column 2 Total Original Installed Cost as of January 1, 2013	Column 3 Additions, Disposals, and Transfers at Cost Since Jan.1, 2013	Column 4 Net Total Original Installed Cost as of Jan. 1, 2014 (Column 2-Column 3)	Column 5 Conversion Factor 10 yr.	Column 6 Indexed Net Value (Full Value) on January 1, 2014 (Column 4 x Column 5)	Column 7 LEAVE BLANK
2013				.925		
2012				.794		
2011				.688		
2010				.585		
2009				.497		
2008				.439		
2007				.377		
2006				.333		
2005				.287		
2004				.250		
Prior to '04				.137		
TOTALS						

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Enter Col. 6 Total on
Sch.A. Line 3, Col. 2

**Schedule D-1
EXEMPT COMPUTER EQUIPMENT AND SOFTWARE (OWNED),
CASH REGISTERS & SINGLE FUNCTION FAX MACHINES**

Do Not Report Custom Software. Report mainframe computers, minicomputers, personal computers, networked personal computers, servers, terminals, monitors, disk drives, electronic peripheral equipment, tape drives, printers, basic operational programs, systems software, prewritten software, ATMs, cash registers, and single function fax machines.

Column 1 Year Assets Acquired	Column 2 Total Original Installed Cost as of January 1, 2013	Column 3 Additions, Disposals, and Transfers at Cost Since Jan. 1, 2013	Column 4 Net Total Original Installed Cost as of Jan. 1, 2014 (Column 2-Column 3)	Column 5 Conversion Factor 4 yr.	Column 6 Indexed Net Value (Full Value) on January 1, 2014 (Column 4 x Column 5)	Column 7 LEAVE BLANK
2013				.813		
2012				.513		
2011				.327		
2010				.204		
2009				.128		
2008				.080		
2007				.050		
Prior to '07				.031		
TOTALS						
Total leased equipment from Schedule F, Column 7						
				Combined Totals		
NOTE: Per Section 70.36(1m) Any person, firm or corporation that fails to include information on property that is exempt under s. 70.11(39) and (39m) on the report under s.70.35 shall forfeit \$10 for every \$100 or major fraction thereof that is not reported.				Enter Col. 6 Total on Sch.A. Line 11, Col. 2		

**Schedule D-2
MULTIFUNCTION FAXES, COPIERS, POSTAGE METERS, TELEPHONE SYSTEMS, AND COMPUTERIZED EQUIPMENT**

Report all multifunction fax machines, copiers, postage meters, telephone systems (PBXs), and equipment with embedded computerized components.

Column 1 Year Assets Acquired	Column 2 Total Original Installed Cost as of Jan. 1, 2013	Column 3 Additions, Disposals, and Transfers at Cost Since Jan. 1, 2013	Column 4 Net Total Original Installed Cost as of Jan. 1, 2014 (Column 2-Column 3)	Column 5 Conversion Factor 6 yr.	Column 6 Indexed Net Value (Full Value) on January 1, 2014 (Column 4 x Column 5)	Column 7 LEAVE BLANK
2013				.875		
2012				.663		
2011				.507		
2010				.380		
2009				.285		
2008				.223		
Prior to '08				.124		
TOTALS						

Enter Col. 6 Total on Sch. A, Line 4, Col. 2

**Schedule E
BUILDINGS ON LEASED LAND**

Report buildings, structures, and other improvements which you own, but which are located on land that you do not own. They will be valued in the same manner as improvements located on land that is owned by you. Enter your opinion of value in column 4.

Column 1 Property Description	Column 2 Year Acquired	Column 3 Cost When Acquired	Column 4 Declared Value Jan. 1	Column 5 LEAVE BLANK
Total Declared Value				

Enter Col. 4 Total on Sch. A, Line 10, Col. 3

Schedule F

LEASED EQUIPMENT (Property in Charge of But Not Owned)

Report all leased equipment such as business furniture, fixtures, equipment, machines, postage meters, tools, or advertising devices and similar items loaned, leased, stored or otherwise held and not owned by you. These items may or may not be assessed to you. Frequently, leases state whether the owner or the lessee is responsible for the personal property taxes. Use the factor from the appropriate schedule.

Column 1 Name and Address of Leasing Company	Column 2 Type of Equipment (Lease No.)	Column 3 Gross Annual Rent	Column 4 Year Installed	Column 5 Original Cost	Column 6 Index Value Taxable Equipment	Column 7 Index Value Computer	Column 8 LEAVE BLANK
Leasing Companies: To avoid duplication of assessment, provide the same information requested on this schedule including name and location of lessees.				Totals			

Enter Col. 6
Total on Sch. A,
Line 6, Col. 2

Enter Col. 7 Total on
Sch. D-1 on page 3,
near bottom of Col. 6

**Schedule G
SUPPLIES**

Report your supplies inventory. Supplies include items which are expensed, not subject to resale, but are necessary in the conduct of business, are consumed in the operations of providing customer services. Supplies are items such as those used for selling and advertising, office, shipping, medical, dental, janitorial and cleaning, in your possession on January 1.

January 1, 2014 Supplies Inventory	\$
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Enter amount on Sch. A, Line 7, Col. 2

Schedule H

ALL OTHER PERSONAL PROPERTY, LEASEHOLD IMPROVEMENTS, SIGNS, BILLBOARDS, VIDEO TAPES, LOGS & FOREST PRODUCTS, OTHER IMPROVEMENTS ON LEASED LAND (EXEMPT), FOREST CROP LAND, OR MANAGED FOREST LAND

Report all leasehold improvements and other personal property not reported on a separate schedule. Leasehold improvements are any alterations, additions, or improvements, adding value, made by a tenant to leased or rented premises. Enter the total improvement cost in column 3. This schedule also includes logs and other forest products belonging to persons whose principal activity is not related to the buying, selling or manufacturing use of such property. Merchant's or manufacturing stock are exempt. Report improvements on leased land (exempt) and privately owned structures, billboards, or special taxed land. *Composite Conversion Factors* and a table of *Composite Useful Lives* on various equipment can be found at www.revenue.wi.gov/report/p.html#personal.

Column 1 Year Acquired	Column 2 Property Description	Column 3 Cost When Acquired	Column 4 Declared Value January 1	Column 5 LEAVE BLANK
TOTAL				

Enter Col. 4 Total on
Sch. A, Line 8, Col. 2

Please provide the following lease provisions:

- 1) Term: From: (MM/YR) _____ To: (MM/YR) _____
- 2) Square foot of leased area _____ S.F.
- 3) Annual Rental _____ per Year Percentage Rental _____ %
- 4) Rent includes (check any that apply):

<input type="checkbox"/> Electric	<input type="checkbox"/> Heat	<input type="checkbox"/> Parking	<input type="checkbox"/> R.
<input type="checkbox"/> Common Area Maintenance			

Planning & Zoning

Community Development

262.653.4030
262.653.4045 FAX
Room 308



Building Inspections

Property Maintenance

262.653.4263
262.653.4254 FAX
Room 100

DEPARTMENT OF COMMUNITY DEVELOPMENT & INSPECTIONS

Municipal Building · 625 52nd Street · Kenosha, WI 53140
www.kenosha.org

Jeffrey B. Labahn, Director

Richard Schroeder, Deputy Director

December 16, 2013

Paul Campagna
7512 20th Avenue
Kenosha, WI 53143

Dear Mr. Campagna:

SUBJECT: Illegal Occupancy Enforcement Notification - Blevins Insurance Agency - 1114 56th Street

It has come to our attention that a new business is in operation at subject property without a valid Business Occupancy Permit. A new Business Occupancy Permit is required for any one (1) of the following three (3) circumstances: 1) a new building is constructed or existing building is altered, 2) the business has a new owner or tenant, or 3) the business has been vacant for longer than ninety (90) days.

This letter serves as notice that you are required to obtain a Business Occupancy Permit no later than **January 2, 2014**. The permit will be subject to a five-times (5X) penalty fee for operating a business without an occupancy permit.

Failure to obtain a business occupancy permit as specified above will result in the assessment of reinspection fees (to the property owner) in accordance with Section(s) 11.01 of the Zoning Ordinance. The amount of the reinspection fee starts at \$72.00 and escalates with each reinspection, up to a maximum fee of \$360.00 per inspection. These charges, if not paid within thirty (30) days of billing, will be added to the real estate tax bill for this property as a special charge, along with an administrative fee of \$100.00. No further notice and order shall be necessary for any "recurring violation" committed by a person within any one (1) year period.

If you have any questions, please feel free to contact me at 262.653.4049; or, you may e-mail me at bwilke@kenosha.org.

Sincerely,

DEPARTMENT OF COMMUNITY
DEVELOPMENT AND INSPECTIONS

Brian R. Wilke
Development Coordinator

BRW:saz
c: Denny Vauters, 1114 56th Street

April 21, 2014 Pg. 320

Common Council Agenda Item M.2.

CITY OF KENOSHA
DEPARTMENT OF COMMUNITY DEVELOPMENT AND INSPECTIONS
MUNICIPAL BUILDING
625 52ND STREET, ROOM 100
KENOSHA, WI 53140
262.653.4263

Date: March 20, 2014

NOTIFICATION OF NONPAYMENT OF PERMIT FEES

Paul Campagna
7512 20th Avenue
Kenosha, WI 53143

Contractor: Denny Vanters

Permit Type: Occupancy

Permit Number: 157493

Property Located at: 1114 56th Street

Business Name: Blevins Insurance

Parcel #12-223-31-436-008

Permit Application Date: December 30, 2013

Amount to be Paid: \$900.00

Payable to the City of Kenosha on or Before: April 8, 2014

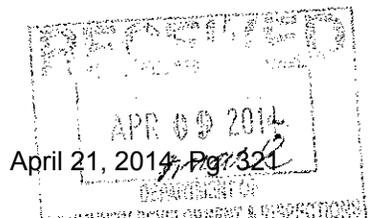
If this fee is not paid in full by the due date, the fee, along with an additional \$100.00 Administrative Fee, will be processed as a special charge against the real estate upon which the service was performed.

If you feel you have received this invoice in error; or, if you have any questions, please contact the Department of Community Development and Inspections at 262.653.4263.

This is the only billing notice you will receive.

THIS NOTICE MUST BE INCLUDED WITH PAYMENT

c: Denny Vanters, 7551 26th Avenue, Kenosha, Wisconsin 53143
Blevins Insurance, 1114 56th Street, Kenosha, WI 53140



Planning & Zoning
Community Development

262.653.4030
262.653.4045 FAX
Room 308



Building Inspections
Property Maintenance

262.653.4263
262.653.4254 FAX
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DEPARTMENT OF COMMUNITY DEVELOPMENT & INSPECTIONS

Municipal Building · 625 52nd Street · Kenosha, WI 53140
www.kenosha.org

Jeffrey B. Labahn, Director

Richard Schroeder, Deputy Director

April 16, 2014

Denny Vauters
Blevins Insurance Agency
7551 26th Avenue
Kenosha, WI 53143

Dear Mr. Vauters:

Subject: Appeal of Penalty Fees in the Amount of \$720.00 for Occupancy Permit - 1114
56th Street

The City of Kenosha Finance Committee will review your above-referenced request at their regular meeting to be held on Monday, April 21, 2014, at 5:30 p.m. in Room 204 of the Kenosha Municipal Building, 625 52nd Street. (Finance Committee meeting times are subject to change. Please confirm meeting time at <http://www.kenosha.org/council/finagenda.pdf> two (2) days prior to the meeting; or, you may call me at 262.653.4257.)

The recommendation of the Finance Committee will be acted upon by the Common Council at their regular meeting to be held at 7:00 p.m in Room 200 of the Municipal Building following the Finance Committee meeting.

If you have any questions, please contact me at 262.653.4257 or szampanti@kenosha.org.

Sincerely,

Department of Community
Development and Inspections

Sue Zampanti, Secretary

/SAZ

**FISCAL NOTE
CITY OF KENOSHA
DEPARTMENT OF FINANCE**

PREPARED FOR: Finance Committee

ITEM: Disbursement Record #6

ESTIMATED FINANCIAL IMPACT:

No additional fiscal note needed.

Date Prepared: 04/07/14

Prepared By: 

Reviewed By: 

START DATE FOR SUMMARY: 3/16 END DATE FOR SUMMARY: 3/31

CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
136701	3/19	A & B PRO HARDWARE	632-09-50101-246-000	02/14 SE SUPPLIES &	33.50
			110-02-52203-382-000	02/14 FD SUPPLIES &	13.34
			110-02-52102-365-000	02/14 PD SUPPLIES &	8.00
			110-01-51801-389-000	02/14 MB SUPPLIES &	4.00
			110-02-52103-365-000	02/14 PD SUPPLIES &	2.00
				..... CHECK TOTAL	60.84
136702	3/19	WE ENERGIES	110-03-53109-221-000	02/14 STREETLIGHTS	61,966.31
			110-05-55109-221-000	02/14 STREETLIGHTS	346.34
				..... CHECK TOTAL	62,312.65
136703	3/19	RNOW, INC.	630-09-50101-393-000	02/14-SE PARTS/MATER	2,036.00
			630-09-50101-393-000	02/14-SE PARTS/MATER	1,992.82
			630-09-50101-393-000	02/14-SE#2991 PARTS/	788.72
			630-09-50101-393-000	02/14-SE#2991 PARTS/	681.00
			630-09-50101-393-000	02/14-SE#2991 PARTS/	615.38
			630-09-50101-393-000	02/14-SE PARTS/MATER	124.79
			630-09-50101-393-000	02/14-SE RETURN PART	615.38CR
				..... CHECK TOTAL	5,623.33
136704	3/19	CLERK OF CIRCUIT COURT	110-01-50301-219-000	6 SMALL CLAIMS	30.00
136705	3/19	GENERAL COMMUNICATIONS, INC.	110-03-53103-231-000	01/14-ST MISC. ITEMS	530.50
			110-03-53103-231-000	02/14-ST MISC. ITEMS	490.50
			110-03-53103-231-000	01/14-ST MISC. ITEMS	347.50
			110-03-53103-231-000	02/14-ST MISC. ITEMS	325.25
			110-03-53103-231-000	02/14-ST MISC. ITEMS	137.50
				..... CHECK TOTAL	1,831.25
136706	3/19	BUMPER TO BUMPER	630-09-50101-393-000	02/14 SE PARTS, MATE	3,512.89
			520-09-50201-317-000	02/14 TD PARTS, MATE	480.31
			520-09-50201-347-000	02/14 TD PARTS, MATE	459.93
			520-09-50401-317-000	02/14 TD PARTS, MATE	333.62
			501-09-50105-344-000	02/14 SW PARTS, MATE	178.47
			110-02-52203-344-000	02/14 FD PARTS, MATE	165.35
			110-03-53107-389-000	02/14 ST PARTS, MATE	139.08
			501-09-50104-389-000	02/14 SW PARTS, MATE	82.88
			206-02-52205-344-000	02/14 FD PARTS, MATE	68.82
			632-09-50101-389-000	02/14 SE PARTS, MATE	50.67
				..... CHECK TOTAL	5,472.02

START DATE FOR SUMMARY: 3/16 END DATE FOR SUMMARY: 3/31

CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
136707	3/19	HWY C SERVICE	630-09-50101-393-000	02/14-SE SERVICE/PAR	346.55
			630-09-50101-393-000	03/14-SE SERVICE/PAR	345.67
			630-09-50101-393-000	03/14-SE#2641 SERVIC	151.34
			630-09-50101-393-000	03/14-SE#3121 SERVIC	116.36
				..... CHECK TOTAL	959.92
136708	3/19	CARDINAL HEALTH	206-02-52205-318-000	02/14 MEDICAL SUPPL	542.12
			206-02-52205-318-000	02/14 MEDICAL SUPPL	94.86
				..... CHECK TOTAL	636.98
136709	3/19	WIS DEPT OF REVENUE	110-09-56507-259-999	02/14 SALES TAX	566.07
136710	3/19	KRANZ, INC.	630-09-50101-393-000	02/14-SE PRODUCTS/MA	2,048.88
			630-09-50101-393-000	02/14-SE PRODUCTS/MA	804.54
				..... CHECK TOTAL	2,853.42
136711	3/19	LANDMARK TITLE CORPORATION	758-09-51610-259-000	LETTER REPORT	65.00
136712	3/19	PALMEN BUICK	630-09-50101-393-000	02/14-CE PARTS/MATER	612.11
136713	3/19	M A TRUCK PARTS	110-02-52203-344-000	02/14-FD MATERIALS &	1,838.74
			110-02-52203-344-000	52 INCH METAL SHEAR	1,472.80
			110-02-52203-344-000	PORTA COOL SYSTEM	1,225.00
			110-02-52203-361-000	02/14-FD MATERIALS &	694.33
			206-02-52205-344-000	02/14-FD MATERIALS &	528.48
		..... CHECK TOTAL	5,759.35		
136714	3/19	WINGFOOT COMMERCIAL TIRE	630-09-50101-393-000	02/14-CE TIRES/SERVI	4,328.53
			110-02-52203-344-000	02/14-FD TIRES/SERVI	3,391.09
			206-02-52205-344-000	02/14-FD TIRES/SERVI	782.66
			520-09-50106-346-000	02/14-TD TIRE REPAIR	137.38
				..... CHECK TOTAL	8,639.66
136715	3/19	KENOSHA WATER UTILITY	521-00-13112-000-000	12/13-1/14 STORMWTR	21,508.93
			110-05-55109-223-000	12/13-1/14 STORMWTR	3,167.17
			110-03-53103-223-000	12/13-1/14 STORMWTR	2,873.89
			521-09-50101-223-000	12/13-1/14 STORMWTR	1,312.21
			205-03-53119-223-000	12/13-1/14 STORMWTR	1,079.74
			461-11-51401-581-000	12/13-1/14 STORMWTR	152.38
			463-11-51101-589-000	12/13-1/14 STORMWTR	86.98
			110-01-51802-223-000	4710 47 AV-SWU	57.18
			110-01-51802-223-000	47TH AVENUE-SWU	45.12
			110-01-51802-223-000	3604 67 ST-SWU	42.94
			110-01-51802-223-000	4722 47 AVE-SWU	36.36
			520-09-50301-223-000	12/13-1/14 STORMWTR	4.58
				..... CHECK TOTAL	30,367.48

START DATE FOR SUMMARY: 3/16 END DATE FOR SUMMARY: 3/31

CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
136716	3/19	WILLKOMM INC., JERRY	521-09-50101-341-000	12/13 AR DIESEL FUEL	1,759.98
			521-09-50101-341-000	01/14 AR OIL AND ANT	214.26
				..... CHECK TOTAL	1,974.24
136717	3/19	WE ENERGIES	758-09-51608-259-000	1/29-2/27/14 UTILS	152.62
			217-06-51605-259-000	#5665371 UTILITIES	146.78
			217-06-51602-259-000	#5665366 UTILITIES	138.61
			217-06-51611-259-000	#5665359 UTILITIES	127.07
			217-06-51612-259-000	#5665352 UTILITIES	126.01
			217-06-51610-259-000	#5665354 UTILITIES	123.46
			217-06-51614-259-000	#5667175 UTILITIES	121.88
			217-06-51613-259-000	#5665368 UTILITIES	116.68
			217-06-51603-259-000	#5665363 UTILITIES	114.62
			217-06-51615-259-000	#5665357 UTILITIES	110.99
				..... CHECK TOTAL	1,278.72
136718	3/19	GUARANTEED SEWER	110-02-52203-246-000	STN#5 FLOOR DRAINS	255.00
136719	3/19	REINDERS INC.	630-09-50101-393-000	02/14-CE#3057 PARTS/	71.41
136720	3/19	DON'S AUTO PARTS	110-02-52203-344-000	02/14 FD PARTS & MAT	596.24
			110-02-52203-344-000	02/14 FD PARTS & MAT	58.48
				..... CHECK TOTAL	654.72
136721	3/19	KENOSHA WATER UTILITY	110-00-46901-999-000	11/17/13 HYDRANT DMG	2,500.00
136722	3/19	A & R DOOR SERVICE	110-02-52203-246-000	02/14 FD#1 DOOR REP	120.00
136723	3/19	DWD-UI	110-09-56308-157-000	02/14 UNEMPLOYMENT	28,365.81
			520-09-50101-157-000	02/14 UNEMPLOYMENT	2,231.24
			110-00-15601-000-000	02/14 UNEMPLOYMENT	836.00
			110-00-15201-000-000	02/14 UNEMPLOYMENT	484.00
			110-09-56519-909-000	01/14 INTEREST	247.16
				..... CHECK TOTAL	32,164.21
136724	3/19	ALUMINUM FENCE CORPORATION	110-03-53103-249-000	FENCE REPAIR	100.00
136725	3/19	HOLLAND SUPPLY, INC.	630-09-50101-393-000	02/14-CE HYDRAULIC F	1,204.30
			630-09-50101-393-000	02/14-CE HYDRAULIC F	342.72
			630-09-50101-393-000	02/14-CE HYDRAULIC F	137.52
			630-09-50101-393-000	02/14-CE HYDRAULIC F	53.28
				..... CHECK TOTAL	1,737.82

START DATE FOR SUMMARY: 3/16 END DATE FOR SUMMARY: 3/31

CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
136726	3/19	BENDLIN FIRE EQUIPMENT CO.	110-02-52203-344-000	02/14 PARTS/MATERLS	524.11
			110-02-52203-344-000	02/14 PARTS/MATERLS	463.08
			206-02-52205-344-000	02/14 PARTS/MATERLS	457.98
			110-02-52203-344-000	02/14 PARTS/MATERLS	124.18
				..... CHECK TOTAL	1,569.35
136727	3/19	VERMEER SALES & SERVICE	630-09-50101-393-000	02/14-SE#3242 PARTS/	66.82
			630-09-50101-393-000	02/14-SE PARTS/SERVI	34.75
				..... CHECK TOTAL	101.57
136728	3/19	GUTTORMSEN, HARTLEY,	110-01-50301-219-000	02/14 SERVICES	225.00
136729	3/19	TRANSPORTATION DEVELOPMENT	520-09-50301-323-000	2014 MEMBER DUES	270.00
136730	3/19	LAKESIDE INTERNATIONAL TRUCK	630-09-50101-393-000	02/14 CE PARTS/MATER	3,400.10
			520-09-50106-341-000	02/14 TD PARTS/MATER	1,525.92
			520-09-50201-347-000	02/14 TD BUS PARTS/M	449.70
				..... CHECK TOTAL	5,375.72
136731	3/19	HUMANA CLAIMS	611-09-50101-155-527	03/14/14 MED CLAIMS	81,017.30
			611-09-50101-155-527	03/18/14 MED CLAIMS	43,222.48
			611-09-50101-155-527	03/17/14 MED CLAIMS	25,577.78
			611-09-50101-155-527	03/17/14 PHARMACY	14,875.30
			611-09-50101-155-527	03/12/14 PHARMACY	7,677.55
			611-09-50101-155-527	03/12/14 MED CLAIMS	5,409.90
			611-09-50101-155-527	03/13/14 PHARMACY	3,999.74
			611-09-50101-155-527	03/14/14 PHARMACY	2,975.11
			611-09-50101-155-527	03/13/14 MED CLAIMS	2,018.70
			611-09-50101-155-527	03/18/14 PHARMACY	802.29
				..... CHECK TOTAL	187,576.15
136732	3/19	VERIZON WIRELESS	110-03-53103-226-000	03/14 PHONE SRV/AIR	1,382.68
			110-02-52101-226-000	03/14 PHONE SERVICE	162.60
			110-02-52201-226-000	03/14 PHONE SERVICE	116.00
			110-01-51301-226-000	03/14 PHONE SERVICE	115.32
			110-01-51801-226-000	03/14 PHONE SERVICE	107.95
			110-01-50301-226-000	03/14 PHONE SERVICE	91.01
			631-09-50101-226-000	03/14 DATA PLAN	80.02
			501-09-50106-226-000	03/14 DATA PLAN	80.02
			501-09-50103-226-000	03/14 DATA PLAN	80.02
			631-09-50101-226-000	03/14 PHONE SERVICE	74.99
			110-01-51201-226-000	03/14 PHONE SERVICE	62.65
			520-09-50301-226-000	03/14 PHONE SERVICE	58.34
			110-03-53101-226-000	03/14 PHONE SERVICE	57.66
			110-01-51303-226-000	03/14 PHONE SERVICE	57.66
			501-09-50103-226-000	03/14 CELL SERV/AIRT	57.66
			110-05-55109-226-000	03/14 PHONE SRV/AIR	57.66
			110-05-55101-226-000	03/14 PHONE SRV/AIR	57.66
			110-02-52102-226-000	03/14 PHONE SERVICE	52.02

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
			110-01-50901-226-000	03/14 PHONE SERVICE	46.04
			110-02-52103-226-000	03/14 PHONE SERVICE	43.98
			521-09-50101-226-000	03/14 PHONE SERVICE	42.82
			110-05-55101-226-000	03/14 PHONE SERVICE	41.18
			110-01-51901-226-000	03/14 PHONE SERVICE	36.01
			206-02-52205-226-000	03/14 DATA PLAN	36.01
			501-09-50101-226-000	03/14 PHONE SERVICE	32.07
			110-01-51601-226-000	03/14 PHONE SERVICE	31.74
			110-01-51101-226-000	03/14 PHONE SERVICE	31.24
			110-02-52103-226-000	03/14 CELL AIR CHRGS	25.67
				..... CHECK TOTAL	3,118.68
136733	3/19	JENSEN TOWING	110-02-52103-219-000	12/13 09-059563 TOW	45.00
136734	3/19	KENOSHA STARTER & ALTERNATOR	630-09-50101-393-000	02/14-SE PARTS/LABOR	458.97
			630-09-50101-393-000	02/14-SE#2021 PARTS/	427.98
				..... CHECK TOTAL	886.95
136735	3/19	ORGANIZATION DEVELOPMENT	110-01-51303-216-000	7 EVALUATIONS	4,550.00
			110-01-51303-216-000	2 EVALUATIONS	1,300.00
				..... CHECK TOTAL	5,850.00
136736	3/19	KENOSHA COUNTY TREASURER	758-09-51610-259-000	2012 PROPERTY TAXES	1,551.24
136737	3/19	FASTENAL COMPANY	205-03-53118-344-000	02/14 WA TOOLS/MATER	36.60
			110-03-53103-389-000	02/14 ST TOOLS/MATER	35.92
				..... CHECK TOTAL	72.52
136738	3/19	UTTECH SHEET METAL, INC.	405-11-51306-219-000	STATUE REPAIR	435.00
136739	3/19	PROFESSIONAL SERVICE IND, INC	758-09-51610-259-000	ASBESTOS SURVEY	3,080.00
			461-11-51301-581-000	ASBESTOS 4817 37 AV	2,911.00
				..... CHECK TOTAL	5,991.00
136740	3/19	NYBERG TROPHIES & AWARDS	110-01-50101-311-000	NAME PLATE BRATTIN	10.00
136741	3/19	YAGGY COLBY ASSOCIATES	403-11-51009-219-000	02/28 MAP REVISION	2,781.25
			403-11-51009-219-000	02/28 CONTINGENCY	466.25
			 CHECK TOTAL	3,247.50

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
136742	3/19	KENO'S COLLISIONTEK	110-02-52103-344-000	REPAIR SQUAD 3190	1,833.89
			110-02-52103-712-000	REPAIR SQUAD 3189	326.00
				..... CHECK TOTAL	2,159.89
136743	3/19	MAYER REPAIR	206-02-52205-344-000	02/14-FD MED#3 SERVI	336.54
136744	3/19	MSC INDUSTRIAL SUPPLY	110-02-52203-344-000	01/14 FD SUPPLIES/RE	603.13
			520-09-50201-347-000	01/14 TD SHOP SUPPLI	324.67
			520-09-50201-347-000	01/14 TD SHOP SUPPLI	298.80
			110-02-52203-344-000	02/14 FD SUPPLIES/RE	277.33
			520-09-50201-347-000	01/14 TD SHOP SUPPLI	246.25
			520-09-50201-347-000	01/14 TD SHOP SUPPLI	108.11
			206-02-52205-344-000	02/14 FD SUPPLIES/RE	5.18
			110-02-52203-344-000	02/14 FD SUPPLIES/RE	5.18
				..... CHECK TOTAL	1,868.65
136745	3/19	MENARDS (KENOSHA)	110-01-51801-389-000	02/14-MB MERCHANDISE	197.92
			110-02-52203-382-000	02/14-FD#4 MERCHANDI	154.78
			110-03-53113-389-000	02/14-ST MERCHANDISE	127.09
			110-05-55109-246-000	02/14-PA PAINT MERCH	49.39
			110-03-53107-389-000	02/14-ST MERCHANDISE	48.00
			110-03-53110-389-000	02/14-ST MERCHANDISE	33.90
			110-03-53107-389-000	02/14-ST MERCHANDISE	29.24
			110-05-55109-246-000	02/14-PA MERCHANDISE	25.92
	..... CHECK TOTAL	666.24			
136746	3/19	D.W. DAVIES & CO, INC	110-02-52203-344-000	STN4 OVERDRIVE CASE	63.54
136747	3/19	HYDROTEX	630-09-50101-235-000	02/14-SE LUBRICANTS	724.46
136748	3/19	AUTO GLASS SPECIALISTS, INC.	630-09-50101-393-000	02/14 SE #3121 GLASS	231.94
			520-09-50201-344-000	02/14 TD GLASS & REP	150.00
			520-09-50201-344-000	02/14 TD GLASS & REP	150.00
			520-09-50201-344-000	02/14 TD GLASS & REP	78.93
	..... CHECK TOTAL	610.87			
136749	3/19	GRAINGER	632-09-50101-246-000	02/14-SE PARTS/MATER	93.30
			521-09-50101-367-000	02/14-AR PARTS/MATER	47.76
			521-09-50101-367-000	02/14-AR PARTS/MATER	47.76
			521-09-50101-382-000	02/14-AR PARTS/MATER	44.20
			521-09-50101-344-000	02/14-AR PARTS/MATER	3.90
 CHECK TOTAL	236.92			

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
136750	3/19	APCO INTERNATIONAL INC.	110-02-52203-369-000	FCC LICENSE	520.00
136751	3/19	TIME WARNER CABLE	520-09-50301-233-000	03/14 TRANSIT-ROADRU	139.95
136752	3/19	ARAMARK	110-01-51801-246-000	02/14 MB-ENTRNC MATS	102.08
			520-09-50201-246-000	02/14 TD-ENTRNC MATS	41.64
			110-03-53116-246-000	02/14 WA-ENTRNC MATS	37.76
			632-09-50101-246-000	02/14 SE-ENTRNC MATS	15.10
				..... CHECK TOTAL	196.58
136753	3/19	BOUND TREE MEDICAL, LLC	206-02-52205-318-000	02/14 FD MEDICAL SUP	1,147.94
136754	3/19	NICOLET NATURAL SE	761-09-50101-389-000	03/14 WATER/CUPS	33.75
			761-09-50101-389-000	03/14-COOLER RENTAL	7.95
				..... CHECK TOTAL	41.70
136755	3/19	ALLDATA, LLC	110-02-52203-316-000	SUBSCRIPTION	1,200.00
136756	3/19	SAFEWAY PEST CONTROL CO., INC	110-02-52203-246-000	02/14-FD EXTERMINATI	167.00
			520-09-50201-246-000	02/14-TD EXTERMINATI	55.00
			110-01-51801-246-000	02/14-MB EXTERMINATI	33.00
			110-05-55109-246-000	02/14-PA EXTERMINATI	26.00
			110-03-53116-246-000	02/14-WA EXTERMINATI	26.00
			520-09-50202-246-000	02/14-TD EXTERMINATI	25.00
			520-09-50401-246-000	02/14-TD EXTERMINATI	24.00
			110-02-52110-246-000	02/14-PD EXTERMINATI	23.00
				..... CHECK TOTAL	379.00
136757	3/19	LAKESIDE OIL/WORLD FUEL	520-09-50106-341-000	03/14-TD DIESEL FUEL	25,826.29
136758	3/19	HASTINGS AIR ENERGY CONTROL	110-02-52203-246-000	STN#4 SERVICE CALL	1,156.95
			110-02-52203-246-000	STN#7 SERVICE CALL	255.95
				..... CHECK TOTAL	1,412.90
136759	3/19	RIMKUS, JASON	761-09-50101-155-000	02/14 WPS HEALTH	551.22
			761-09-50101-155-000	01/14 WPS HEALTH	551.22
				..... CHECK TOTAL	1,102.44
136760	3/19	AIRGAS NORTH CENTRAL	632-09-50101-575-000	WIRE WELDER	3,664.96
			632-09-50101-389-000	03/14 SE INDUSTRIAL	89.88
			110-03-53103-355-000	03/14 ST INDUSTRIAL	42.43
			632-09-50101-389-000	02/14 SE INDUSTRIAL	24.40
			 CHECK TOTAL	3,821.67

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
136761	3/19	RED THE UNIFORM TAILOR	110-02-52103-367-000	01/14 PD-UNIFORMS	1,428.15
			110-02-52103-367-000	02/14 PD-UNIFORMS	496.50
			110-02-52103-367-000	02/14 PD-UNIFORMS	433.80
			110-02-52103-367-000	02/14 PD-UNIFORMS	232.95
			110-02-52103-367-000	02/14 PD-UNIFORMS	215.00
			110-02-52206-367-000	02/14 FD-UNIFORMS	183.90
			110-02-52206-367-000	02/14 FD-UNIFORMS	172.85
			110-02-52103-367-000	02/14 PD-UNIFORMS	165.90
			110-02-52103-367-000	01/14 PD-UNIFORMS	165.90
			110-02-52103-367-000	01/13 PD-UNIFORMS	165.80
			110-02-52103-367-000	02/14 PD-UNIFORMS	143.90
			110-02-52103-367-000	02/14 PD-UNIFORMS	101.90
				 CHECK TOTAL		3,906.55
136762	3/19	TURNING POINT SYSTEMS GROUP	501-09-50105-361-000	AUTO LEVEL	307.00
136763	3/19	ALEXANDER, ANTYON W	110-00-45103-000-000	FINE PYMT 5562601	50.00
			110-00-45104-000-000	FINE PYMT 5562601	28.00
			110-00-21911-000-000	FINE PYMT 5562601	13.00
			110-00-21901-000-000	FINE PYMT 5562601	13.00
			110-00-21910-000-000	FINE PYMT 5562601	10.00
		..... CHECK TOTAL		114.00	
136764	3/19	PAGOULATOS, KOSTAS	110-01-51601-261-000	02/14 366 MILES	204.96
136765	3/21	AFI DIRECT SERVICE INC	630-09-50101-235-000	02/14 SE HYDRAULIC R	808.28
136766	3/21	AMALGAMATED TRANSIT UN 998	110-00-21556-000-000	03/21/14 UNION DUES	2,649.03
136767	3/21	NEW FLYER	520-09-50201-347-000	02/14-BUS PARTS	1,204.99
136768	3/21	CARDINAL HEALTH	206-02-52205-318-000	02/14 FD MEDICAL SUP	201.33
			206-02-52205-318-000	02/14 FD MEDICAL SUP	49.36
				..... CHECK TOTAL	250.69
136769	3/21	WIS DEPT OF REVENUE	317-12-50101-259-000	FEE CREATE TID #17	1,000.00
136770	3/21	KENOSHA CITY EMPLOYEE'S	110-00-21562-000-000	03/21/14 CITY HRLY	10,346.80
			110-00-21562-000-000	03/14 WATER HRLY	3,590.87
			 CHECK TOTAL	13,937.67

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
136771	3/21	LABOR PAPER, THE	110-01-50101-321-000	02/14 CT 1ST READ	24.32
			110-01-50101-321-000	02/14 CD ZONE 8.04	14.80
				..... CHECK TOTAL	39.12
136772	3/21	UNITED HOSPITAL SYSTEMS INC	110-09-56405-161-000	9/15/13 W/C	515.51
			206-02-52205-318-000	02/14-FD DRUGS	305.50
				..... CHECK TOTAL	821.01
136773	3/21	MONROE TRUCK EQUIPMENT	630-09-50101-393-000	02/14-SE PARTS/MATER	646.12
136774	3/21	BADGER TRUCK CENTER	630-09-50101-393-000	02/14 SE #2559 PARTS	956.81
			630-09-50101-393-000	02/14 SE #2838 PARTS	277.57
				..... CHECK TOTAL	1,234.38
136775	3/21	SHOPKO	110-02-52203-382-000	02/14-FD#4 MERCHAND	181.11
136776	3/21	KENOSHA WATER UTILITY	110-05-55109-223-000	03/14 #2 WATER/STRM	3,157.78
			110-03-53103-224-000	03/14 #2 WATER/STRM	1,590.67
			520-09-50301-224-000	03/14 #2 WATER/STRM	1,190.52
			520-09-50301-223-000	03/14 #2 WATER/STRM	1,008.50
			110-05-55109-224-000	03/14 #2 WATER/STRM	841.29
			110-02-52203-224-000	03/14 #2 WATER/STRM	783.10
			110-03-53116-223-000	03/14 #5 WATER/STRM	547.10
			521-09-50101-224-000	03/14 #5 WATER/STRM	446.00
			110-01-51801-223-000	03/14 #4 WATER/STRM	344.24
			110-01-51802-223-000	03/14 2210 52ND	319.12
			110-02-52203-223-000	03/14 #2 WATER/STRM	299.58
			110-05-55109-224-000	03/14 #5 WATER/STRM	242.00
			110-01-51801-224-000	03/14 #4 WATER/STRM	207.37
			110-05-55102-224-000	03/14 #2 WATER/STRM	166.82
			521-09-50101-224-000	03/14 #2 WATER/STRM	164.70
			520-09-50301-224-000	03/14 #5 WATER/STRM	118.00
			110-02-52203-224-000	03/14 #5 WATER/STRM	92.00
			632-09-50101-224-000	03/14 #2 WATER/STRM	75.91
			110-03-53116-224-000	03/14 #5 WATER/STRM	72.00
			632-09-50101-224-000	03/14 #5 WATER/STRM	46.00
			110-05-55102-224-000	03/14 #5 WATER/STRM	46.00
			110-03-53103-224-000	03/14 #5 WATER/STRM	46.00
			110-05-55103-224-000	03/14 #2 WATER/STRM	31.22
			110-05-55109-223-000	03/14 #5 WATER/STRM	12.24
			110-01-51802-224-000	03/14 2210 52ND	6.00
			 CHECK TOTAL	11,854.16

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
136777	3/21	WELDCRAFT, INC.	630-09-50101-393-000 524-05-50101-344-000	02/14-CE WELDING SER 02/14-PA WELDING SER CHECK TOTAL	163.51 35.70 199.21
136778	3/21	WISCONSIN MUNICIPAL	110-01-52001-323-000	2014 DUES M EASTON	100.00
136779	3/21	WIS DEPT OF ADMINISTRATION	631-09-50101-322-000 501-09-50103-322-000	6 2014 DOT ST SPECS 6 2014 DOT ST SPECS CHECK TOTAL	103.95 103.95 207.90
136780	3/21	REINDERS INC.	630-09-50101-393-000 630-09-50101-393-000	02/14-CE PARTS/SERVI 02/14-CE PARTS/SERVI CHECK TOTAL	891.48 92.97 984.45
136781	3/21	THELEN SAND & GRAVEL	110-03-53107-351-000	02/14 AGGREGATE MATE	917.02
136782	3/21	WEST GROUP	110-01-50301-322-000	02/14-LE ONLINE MATE	752.00
136783	3/21	WISCONSIN FUEL & HEATING	630-09-50101-392-000	03/14-CE DIESEL FUEL	26,956.56
136784	3/21	LARK UNIFORM, INC.	110-02-52103-367-000 110-02-52103-367-000 110-02-52103-367-000	02/14 #606 UNIFORM I 02/14 #606 UNIFORM I 02/14 #279 UNIFORM I CHECK TOTAL	220.85 206.85 159.90 587.60
136785	3/21	CHASE BANK KENOSHA	110-00-21513-000-000 110-00-21511-000-000 110-00-21612-000-000 110-00-21614-000-000 110-00-21514-000-000	03/21/14 HRLY DEDCT 03/21/14 HRLY DEDCT 03/21/14 HRLY DEDCT 03/21/14 HRLY DEDCT 03/21/14 HRLY DEDCT CHECK TOTAL	18,884.93 11,010.28 11,010.24 2,751.62 2,751.52 46,408.59
136786	3/21	WIS DEPT OF JUSTICE	110-01-51303-219-000	02/14 SERVICES	168.00
136787	3/21	OFFICEMAX	632-09-50101-311-000 110-01-51601-311-000 632-09-50101-311-000 110-01-51303-311-000 110-01-52001-311-000 110-03-53101-311-000 632-09-50101-311-000	03/14 SE #2793 OFFC 03/14 CD #2794 OFFC 03/14 SE #2793 OFFC 03/14 HR #2785 OFFC 03/14 MC #2791A OFC 03/14 CT #2751 OFFC 03/14 SE #2793 OFFC CHECK TOTAL	320.99 58.40 41.44 34.00 21.40 7.47 248.73CR 234.97

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
136788	3/21	GARDA CL GREAT LAKES, INC	110-01-51201-219-000	03/14 ARMORED CAR SR	306.31
136789	3/21	LINCOLN CONTRACTORS SUPPLY	501-09-50105-235-000 501-09-50105-361-000	02/14 SW TOOLS AND S 02/14 SW TOOLS AND S CHECK TOTAL	240.80 44.99 285.79
136790	3/21	NAPA AUTO PARTS CO.	630-09-50101-393-000 110-02-52203-344-000 520-09-50201-347-000 206-02-52205-344-000 110-03-53103-389-000 110-05-55109-344-000 110-05-55109-244-000 110-03-53116-341-000 110-03-53107-389-000 110-02-52203-361-000 501-09-50105-387-000	02/14-CE PARTS/FILTE 02/14-FD PARTS/FILTE 02/14-TD PARTS/FILTE 02/14-FD PARTS/FILTE 02/14-ST PARTS/FILTE 02/14-PA PARTS/FILTE 02/14-PA PARTS/FILTE 02/14-WA PARTS/FILTE 02/14-ST PARTS/FILTE 02/14-FD PARTS/FILTE 02/14-SW PARTS/FILTE CHECK TOTAL	2,040.33 526.02 440.75 117.94 79.01 27.04 24.45 19.98 16.67 15.75 12.49 3,320.43
136791	3/21	T-MOBILE	501-09-50103-226-000	2/8-3/7-WIRELESS CAR	42.19
136792	3/21	UW MADISON	724-00-21933-000-000	SHOLARSHIP-J HEIDE	1,500.00
136793	3/21	MESSERLI & KRAMER P.A.	110-00-21581-000-000	03/21/14 DEDUCTION	161.51
136794	3/21	JAMES IMAGING SYSTEMS, INC.	110-01-50101-232-000 110-02-52201-232-000 110-01-50101-232-000 110-02-52101-232-000 110-01-51601-232-000 631-09-50101-232-000 110-03-53101-232-000 501-09-50101-232-000 520-09-50301-232-000 110-05-55101-232-000 110-01-51101-232-000 110-01-50301-232-000 110-01-50101-232-000 632-09-50101-232-000 110-03-53103-232-000 110-01-51303-232-000 110-01-51102-232-000 110-01-50901-232-000 110-01-50301-232-000 110-01-51303-232-000 110-01-51601-232-000 110-01-50301-232-000 631-09-50101-232-000 521-09-50101-232-000	03/14 CT-COPIER MNT 03/14 FD-MNG PRINTR 02/14 CT-OVERAGES 03/14 PD-SERVICE AGR 03/14 CD-MNG PRINTR 03/14 PW-COPIER CHGS 03/14 PW-COPIER CHGS 03/14 PW-COPIER CHGS 03/14 TD-MNG PRINTR 03/14 PA-MNG PRINTR 03/14 FN-MNG PRINTR 03/14 MC-MNG PRINTR 03/14 CT-MNG PRINTR 03/14 SE-MNG PRINTR 03/14 ST-MNG PRINTR 03/14 HR-MNG PRINTR 03/14 DP-MNG PRINTR 03/14 AS-MNG PRINTR 03/14 LE-MNG PRINTR 03/14 HR-SERVICE AGR 03/14 CD-COPIER MNT 03/14 LE-COPIER MNT 03/14 EN-MNG PRINTR 03/14 AR-MNG PRINTR	539.82 311.38 281.42 227.69 166.24 162.40 162.40 162.39 103.90 103.90 103.90 103.90 103.90 83.12 83.12 83.12 83.12 62.34 62.34 59.14 50.22 45.49 41.56 41.56

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
			110-03-53116-232-000	03/14 WA-MNG PRINTR	41.56
			110-02-52103-232-000	03/14 PD-MNG PRINTR	41.56
			520-09-50301-232-000	03/14 TD-SERVICE AGR	36.45
			110-01-50301-232-000	02/14 LE-OVERAGES	25.81
			110-01-50901-232-000	03/14 AS-COPIER MNT	22.74
			501-09-50105-232-000	03/14 ST-COPIER SRV	22.45
			110-03-53101-232-000	03/14 PW-MNG PRINTR	20.78
			110-02-52201-232-000	03/14 FD-EMS PRINTR	20.78
			110-01-51301-232-000	03/14 AD-MNG PRINTR	20.78
			110-01-52001-232-000	03/14 MC-COPIER MNT	19.13
			110-01-51301-232-000	03/14 AD-SERVICE AGR	14.34
			521-09-50101-232-000	03/14 AR-COPIER MNT	14.04
			110-03-53103-232-000	03/14 ST-COPIER MNT	13.94
			110-01-51301-232-000	02/14 AD-OVERAGES	2.12
				..... CHECK TOTAL	3,544.85
136795	3/21	SAM'S CLUB	110-01-50101-311-000	WATER FOR COUNCIL	47.40
136796	3/21	CINTAS CORP.	110-01-51801-246-000	02/14 COLLECT/SHREDD	140.00
			110-01-51801-246-000	02/14 COLLECT/SHREDD	70.00
				..... CHECK TOTAL	210.00
136797	3/21	PAGEL HYDRAULIC SERVICE	630-09-50101-393-000	02/14-SE SERVICES/PA	2,540.00
136798	3/21	ELITE K-9, INC.	783-00-21995-000-000	BITE SLEEVE	134.02
			783-00-21995-000-000	LEAD	23.95
				..... CHECK TOTAL	157.97
136799	3/21	DIVERSIFIED COLLECTION SVCS	110-00-21581-000-000	03/21/14 DEDUCTION	32.18
136800	3/21	BROOKHOUSE & HEMSING LAW	110-01-51303-212-000	02/14 SERVICE 14-17	1,670.00
136801	3/21	CHULA VISTA RESORT	110-02-52107-263-000	WNOA 2 3/3-5/14	198.00
136802	3/21	ORGANIZATION DEVELOPMENT	110-01-51303-216-000	CANDIDATE EVALS	3,900.00
136803	3/21	UNITED LABORATORIES, INC	520-09-50201-382-000	PINK MARVEL CLEANER	504.33
136804	3/21	JOHNSON BANK	110-00-21532-000-000	03/21/14 CITY HRLY	1,265.00
			110-00-21532-000-000	03/21/14 WATER HRLY	404.62
			 CHECK TOTAL	1,669.62

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
136805	3/21	FIFTY STATES DIST.	110-02-52203-259-000	02/14 LAUNDRY SERVIC	2,782.97
136806	3/21	FASTENAL COMPANY	630-09-50101-393-000	02/14 SE TOOLS/MATER	32.40
136807	3/21	MCI SERVICE PARTS INC.	520-09-50201-347-000	02/14-GMC COACH PART	227.94
136808	3/21	CHAPTER 13 TRUSTEE	110-00-21581-000-000	03/21/14 DEDUCTION	104.00
			110-00-21581-000-000	03/21/14 DEDUCTION	87.00
			110-00-21581-000-000	03/21/14 DEDUCTION	45.00
				..... CHECK TOTAL	236.00
136809	3/21	LOGISTICS PLUS	205-03-53118-219-000	02/14-WA TIRE RECYCL	900.00
136810	3/21	MSC INDUSTRIAL SUPPLY	520-09-50201-347-000	02/14 SHOP SUPPLI	396.20
			520-09-50201-347-000	02/14 SHOP SUPPLIES	65.82
			520-09-50201-347-000	02/14 SHOP SUPPLI	23.46
				..... CHECK TOTAL	485.48
136811	3/21	STATE BAR OF WISCONSIN	110-01-50301-322-000	02/14-LE PUBLICATION	159.37
			110-01-50301-322-000	02/14-LE PUBLICATION	80.10
				..... CHECK TOTAL	239.47
136812	3/21	SHERWIN INDUSTRIES	110-03-53103-355-000	02/14-ST COLD PATCH	2,180.56
136813	3/21	WIS SCTF	110-00-21581-000-000	03/21/14 HRLY DEDCT	640.30
136814	3/21	PREVOST CAR (US) INC	520-09-50201-347-000	02/14-BUS PARTS	51.92
136815	3/21	ILLINOIS DEPT OF PUBLIC AID	110-00-21581-000-000	03/21/14 DEDUCTION	128.40
136816	3/21	NEXTEL COMMUNICATIONS	110-02-52109-226-000	01/14 PHONE SERVICE	313.62
			110-02-52109-226-000	02/14 PHONE SERVICE	312.42
				..... CHECK TOTAL	626.04
136817	3/21	NATIONAL ELEVATOR INSP SVS	520-09-50202-246-000	02/14-METRA INSPECT	89.00
136818	3/21	TIME WARNER CABLE	110-01-51102-233-000	3/09-4/08 FIRE DEPAR	839.94
136819	3/21	MICRO FOCUS	520-09-50201-219-000	ANNUAL SUPPORT	263.50

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
136820	3/21	SCHMITT PROTECTIVE SERVICES	110-01-51801-246-000	02/14-MB SECURITY CH	72.00
136821	3/21	WHOLESALE DIRECT INC	110-02-52203-344-000 630-09-50101-393-000	02/14-FD PARTS/MATER 02/14-CE PARTS/MATER CHECK TOTAL	378.34 132.29 510.63
136822	3/21	BUSCHE, JUDY LLC	110-01-50301-219-000	02/14 LE SERVICES OF	150.00
136823	3/21	SHAFFER ELECTRIC INC.	414-11-51302-583-000	GENERATOR	15,172.00
136824	3/21	BRUCE MUNICIPAL EQUIPMENT	630-09-50101-393-000 630-09-50101-393-000 630-09-50101-393-000	02/14 SE #1006 PARTS 03/14 SE #1006 PARTS 03/14 SE PARTS & MAT CHECK TOTAL	1,203.82 56.90 16.73 1,277.45
136825	3/21	AIRGAS NORTH CENTRAL	632-09-50101-389-000 110-05-55109-235-000	02/14 SE INDUSTRIAL 02/14 PA INDUSTRIAL CHECK TOTAL	156.17 17.57 173.74
136826	3/21	KENOSHA TIRE	110-02-52203-344-000	01/14 FD STN 4	64.00
136827	3/21	RED THE UNIFORM TAILOR	110-02-52206-367-000 520-09-50101-367-000 110-02-52103-367-000 110-02-52103-367-000	02/14 FD-UNIFORMS 02/14 TD-UNIFORMS 02/14 PD-UNIFORMS 02/14 PD-UNIFORMS CHECK TOTAL	1,613.55 439.59 193.80 143.90 2,390.84
136828	3/21	APWA - WISCONSIN CHAPTER	631-09-50101-264-000 110-03-53101-264-000	BILINGSLEY 4/30-5/02 M LEMENS 4/30-5/02 CHECK TOTAL	225.00 225.00 450.00
136829	3/21	WIS DEPT OF REVENUE	110-01-50901-323-000	E CRUEY-RECERTIFY	20.00
136830	3/21	GENESIS CHIROPRACTIC CLINIC	110-09-56405-161-000	11/13/13 W/C	72.52
136831	3/21	IOD INCORPORATED	520-09-50101-161-000 520-09-50101-161-000	3/10/14 W/C 3/10/14 W/C CHECK TOTAL	166.75 120.40 287.15
136832	3/21	AURORA HEALTH CARE	520-09-50101-161-000 520-09-50101-161-000 520-09-50101-161-000 110-09-56405-161-000 110-09-56405-161-000 520-09-50101-161-000 110-09-56405-161-000 110-09-56405-161-000 110-09-56405-161-000	1/31/14 W/C 2/7/14 W/C 1/17/14 W/C 1/14/14 W/C 1/10/14 W/C 2/4/14 W/C 2/11/14 W/C 1/30/14 W/C CHECK TOTAL	1,003.19 635.74 435.46 357.00 287.30 170.85 170.85 51.85 3,112.24

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
136833	3/21	AMG BURLINGTON CLINIC	110-09-56405-161-000	1/10/14 W/C	281.35
136834	3/21	WHITE, GLENN F	110-00-45104-000-000	FINE PMT #R931291	22.30
			110-00-21910-000-000	FINE PMT #R931291	10.00
			110-00-45103-000-000	FINE PMT #R931291	5.00
				..... CHECK TOTAL	37.30
136835	3/21	GILBERTSON, CRYSTAL L	110-00-45103-000-000	FINE PMT #R932372	50.00
			110-00-45104-000-000	FINE PMT #R932372	28.00
			110-00-21911-000-000	FINE PMT #R932372	13.00
			110-00-21901-000-000	FINE PMT #R932372	13.00
			110-00-21910-000-000	FINE PMT #R932372	10.00
				..... CHECK TOTAL	114.00
136836	3/21	OLSEN, ORLANDRA L	110-00-45103-000-000	FINE PMT #R932862	50.00
			110-00-45104-000-000	FINE PMT #R932862	28.00
			110-00-21911-000-000	FINE PMT #R932862	13.00
			110-00-21901-000-000	FINE PMT #R932862	13.00
			110-00-21910-000-000	FINE PMT #R932862	10.00
				..... CHECK TOTAL	114.00
136837	3/21	WILSON, EDDIE L	110-00-45103-000-000	FINE PMT #R930754	30.00
			110-00-21910-000-000	FINE PMT #R930753	10.00
			110-00-21910-000-000	FINE PMT #R930754	10.00
			110-00-45104-000-000	FINE PMT #R930753	9.64
			110-00-45103-000-000	FINE PMT #R930753	5.00
			110-00-21901-000-000	FINE PMT #R930753	1.30
			110-00-45104-000-000	FINE PMT #R930754	.16
				..... CHECK TOTAL	66.10
136838	3/21	ODOM, CARRIE A	110-00-45103-000-000	FINE PMT #R939895	50.00
			110-00-45103-000-000	FINE PMT #R939894	50.00
			110-00-45104-000-000	FINE PMT #R939895	28.00
			110-00-45104-000-000	FINE PMT #R939894	28.00
			110-00-21911-000-000	FINE PMT #R939895	13.00
			110-00-21911-000-000	FINE PMT #R939894	13.00
			110-00-21901-000-000	FINE PMT #R939895	13.00
			110-00-21901-000-000	FINE PMT #R939894	13.00
			110-00-21910-000-000	FINE PMT #R939895	10.00
			110-00-21910-000-000	FINE PMT #R939894	10.00
			 CHECK TOTAL	228.00

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
136839	3/21	YSZENGA, NICOLE A	110-00-45103-000-000	FINE PYMT 5569676	30.00
			110-00-45104-000-000	FINE PYMT 5569676	28.00
			110-00-21911-000-000	FINE PYMT 5569676	13.00
			110-00-21910-000-000	FINE PYMT 5569676	10.00
			110-00-21901-000-000	FINE PYMT 5569676	7.80
				..... CHECK TOTAL	88.80
136840	3/21	OBRYAN, AMY E	110-00-21902-000-000	OVERPAY FROM DOR	114.00
136841	3/21	HOPKINS, JENNIFER	110-00-21111-000-000	COUPR PYMT R014201	215.47
136842	3/21	WESTOWN OF KENOSHA, INC	110-00-44204-000-000	CLASS A RETL LIQUOR	125.00
			110-00-44202-000-000	CLASS A RETAIL BEER	100.00
			110-00-21104-000-000	PUBLICATE-NOT PUBL	46.00
				..... CHECK TOTAL	271.00
136843	3/21	GARCIA, REBECCA	110-00-21106-000-000	2013 TAX REFUND	1,197.73
136844	3/21	CHARTER FITNESS OF KENOSHA	110-00-21106-000-000	2013 TAX REFUND	83.92
136845	3/21	ATF	110-00-21106-000-000	2013 TAX REFUND	21.19
136846	3/21	SYED SONS II KENOSHA INC	110-00-21106-000-000	2013 TAX REFUND	76.64
136847	3/21	AVIATION ADVISOR INC	110-00-21106-000-000	2013 TAX REFUND	1.10
136848	3/21	MONGOLIAN GRILL RESTAURAN	110-00-21106-000-000	2013 TAX REFUND	16.48
136849	3/21	INDEPENDENT WEALTH MANAGE	110-00-21106-000-000	2013 TAX REFUND	1.90
136850	3/21	PETERSEN, JOHN R.	110-02-52101-219-000	3/10 COURT#09-112877	130.60
136851	3/21	ALFREDSON, DAVID G.	110-02-52107-263-000	3/3-5-WI DELLS WNOA	63.00
136852	3/21	LABATORE, JOSEPH	110-02-52107-322-000	GUIDE SAFETY CYCLNG	25.60
136853	3/21	FLAHIVE, CHRISTINE	110-02-52107-263-000	3/9-11 NEENAH-CONF	24.00
136854	3/21	MADSEN, MICHAEL W	110-02-52107-263-000	3/9-11 FT MCCOY	24.00

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
136855	3/21	OBERST, RANDY	110-02-52107-263-000	3/10-14 APPLETON	100.00
136856	3/21	COCHRAN, TYLER J	110-02-52107-263-000	3/9-11/14 FT MCCOY	24.00
136857	3/21	JURGENS, ADAM	110-02-52103-263-000	3/7/14 WINNEBAGO	12.00
136858	3/21	KUKOWSKI, ERIC	110-02-52103-263-000	3/6/14 WINNEBAGO	12.00
136859	3/21	WICKETTS, ALEX	110-02-52103-263-000	3/6/14 WINNEBAGO	12.00
136860	3/21	HANSEN, JEFF	501-09-50103-263-000	3/3-5/14 NEENAH	184.00
			501-09-50103-261-000	3/3-5/14 NEENAH	151.20
				..... CHECK TOTAL	335.20
136861	3/21	RUHA, BRIAN	110-02-52103-263-000	3/7/14 WINNEBAGO	12.00
136862	3/26	BINDELLI BROTHERS, INC	110-09-56501-259-569	03/14 2212 ROOSEVLT	157.00
			110-09-56501-259-569	03/14 2515 60TH ST	72.12
				..... CHECK TOTAL	229.12
136863	3/26	RNOW, INC.	630-09-50101-393-000	02-14-SE#2886 PARTS/	1,013.88
136864	3/26	ALPHA TERRA SCIENCE, INC	420-11-50706-589-000	12/13 ADD'L ACTIVIT	1,232.50
136865	3/26	SCOUT LEADERS RESCUE SQUAD	222-09-50101-294-000	1ST QTR RETAINER	1,250.00
136866	3/26	KENOSHA NEWS	222-09-50101-259-000	2/14-SNOW DAZE AD	65.00
136867	3/26	SHOPKO	520-09-50301-362-000	03/14-TD MERCHANDISE	129.98
			206-02-52205-318-000	03/14-FD#1 MERCHANDI	44.82
				..... CHECK TOTAL	174.80
136868	3/26	WIS DEPT OF REVENUE	110-00-21512-000-000	3/1-15/14 DEDUCTS	108,975.09
136869	3/26	WE ENERGIES	110-03-53109-221-000	#12 02/09-03/10	1,812.37
			110-03-53109-221-000	#12 02/06-03/09	895.88
			110-05-55109-221-000	#12 02/07-03/10	888.55
			110-05-55109-222-000	#12 02/06-03/09	830.93
			110-03-53109-221-000	#12 02/04-03/05	363.53
			524-05-50101-221-000	#12 02/06-03/09	345.93
			524-05-50101-222-000	#12 02/06-03/09	334.38
			110-03-53103-221-000	#12 02/04-03/05	301.12
			110-05-55109-221-000	#12 02/06-03/09	281.17
			110-05-55102-221-000	#12 01/31-03/03	250.99
			110-03-53109-221-000	#12 02/02-03/03	195.46
			110-03-53109-221-000	#12 02/05-03/06	194.68
			110-05-55109-221-000	#12 02/09-03/10	166.09
			110-05-55109-221-000	#12 02/06-03/07	104.76
			110-05-55102-221-000	#12 02/09-03/10	100.22

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
			110-05-55102-221-000	#12 02/06-03/09	86.47
			110-05-55108-221-000	#12 02/10-03/11	67.42
			110-05-55109-222-000	#12 02/09-03/10	64.00
			110-05-55109-221-000	#12 02/05-03/06	62.17
			110-05-55109-221-000	#12 02/10-03/11	44.61
			110-05-55108-221-000	#12 02/06-03/09	9.62
			110-05-55109-222-000	#12 02/10-03/11	8.99
			110-05-55103-222-000	#12 02/04-03/05	8.99
				..... CHECK TOTAL	7,418.33
136870	3/26	STATE OF WISCONSIN	110-00-21901-999-000	02/14 COURT COSTS	19,151.11
			110-00-21911-999-000	02/14 COURT COSTS	13,286.02
			110-00-45104-999-000	02/14 COURT COSTS	5,535.00
				..... CHECK TOTAL	37,972.13
136871	3/26	OAKES & SON, INC., A. W.	402-11-51213-589-000	EST 6 THRU 3/07/14	3,422.50
			403-11-51102-588-000	EST 6 THRU 3/07/14	3,102.10
				..... CHECK TOTAL	6,524.60
136872	3/26	CRETEX MATERIALS INC	110-03-53107-351-000	03/14 CONCRETE SAND	811.30
			110-03-53107-351-000	02/14 CONCRETE SAND	495.48
				..... CHECK TOTAL	1,306.78
136873	3/26	REINDERS INC.	630-09-50101-393-000	02/14-CE PARTS/SERVI	139.83
136874	3/26	BECKER AWNING	110-02-52206-367-000	03/14 FD-REPAIRS	75.00
136875	3/26	CURTIS INDUSTRIES, INC	630-09-50101-393-000	02/14 CE-FASTENERS	647.99
			630-09-50101-393-000	02/14 CE-FASTENERS	153.45
			630-09-50101-393-000	03/14 CE-FASTENERS	89.61
				..... CHECK TOTAL	891.05
136876	3/26	FABCO EQUIPMENT, INC.	630-09-50101-393-000	02/14 PARTS/MATERLS	62.15
			630-09-50101-393-000	02/14 PARTS/MATERLS	17.47
				..... CHECK TOTAL	79.62
136877	3/26	GOODYEAR TIRE & RUBBER CO.	520-09-50106-346-000	01/14-TD TIRE LEASE	3,707.50
136878	3/26	LARK UNIFORM, INC.	110-02-52103-367-000	02/14-PD#550 UNIFORM	359.70
			110-02-52103-367-000	02/14-PD#570 UNIFORM	279.75
			110-02-52103-367-000	02/14-PD#571 UNIFORM	155.90
			 CHECK TOTAL	795.35

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
136879	3/26	AT&T	110-01-51801-227-000	3/07-4/06 CIRCUITS	311.50
			110-02-52103-227-000	3/07-4/06 CIRCUITS	70.00
			110-02-52110-227-000	3/07-4/06 CIRCUITS	35.00
			110-02-52108-225-000	3/07-4/06 CIRCUITS	35.00
				..... CHECK TOTAL	451.50
136880	3/26	INTERNATIONAL ASSOCIATION	110-01-50901-323-000	DUES-M HIGGINS	175.00
136881	3/26	OFFICEMAX	110-02-52103-311-000	03/14-PD#2795 OFFICE	86.76
			110-02-52201-311-000	03/14-FD#2796 OFFICE	79.49
			110-01-51601-311-000	02/14-CD#2792 OFFICE	75.44
			110-02-52201-311-000	03/14-FD#2797 OFFICE	47.52
			110-02-52201-311-000	03/14-FD#2796 OFFICE	24.94
				..... CHECK TOTAL	314.15
136882	3/26	REGISTRATION FEE TRUST	110-09-56519-909-000	LICENSE RNWL #3026	75.00
136883	3/26	MANDLIK & RHODES	501-09-50102-219-000	01/14 YW-SET UP FEE	150.00
136884	3/26	CICCHINI ASPHALT LLC	403-11-51314-588-000	EST 4 THRU 11/27/13	24,433.41
			403-11-51314-588-000	EST 4 THRU 11/27/13	7,201.75
				..... CHECK TOTAL	31,635.16
136885	3/26	JAMES IMAGING SYSTEMS, INC.	110-01-51601-311-000	12/13 CD-STAPLES	99.79
136886	3/26	CLASSIC AUTO BODY	206-02-52205-344-000	AMBULANCE REPAIRS	2,654.48
136887	3/26	CARLINO'S ROOFING	258-06-50509-259-000	#5667172 ROOF	5,000.00
			463-11-50601-589-000	6710 38TH AVE REHAB	1,300.00
			258-06-50508-259-000	#5667167 REHAB	500.00
				..... CHECK TOTAL	6,800.00
136888	3/26	KESSINGER, NANCY	222-09-50101-259-000	03/14 REPLENISH	50.01
			110-01-51301-311-000	03/14 REPLENISH	47.04
			455-11-51401-296-000	03/14 REPLENISH	30.00
			110-02-52201-311-000	03/14 REPLENISH	21.09
			611-09-50101-155-000	03/14 REPLENISH	16.88
			761-09-50101-312-000	03/14 REPLENISH	13.96
			632-09-50101-263-000	03/14 REPLENISH	11.54
			110-01-51306-312-000	03/14 REPLENISH	7.19
			110-02-52203-385-000	03/14 REPLENISH	7.16
			110-01-51901-263-000	03/14 REPLENISH	2.99
			110-01-50301-311-000	03/14 REPLENISH	1.25
			 CHECK TOTAL	209.11

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
136889	3/26	CINTAS CORP.	110-02-52101-219-000	03/14-PD PURGE SVC	27.50
136890	3/26	PAUL CONWAY SHIELDS	110-02-52206-367-000	02/14-FD TURNOUT GEA	469.50
136891	3/26	DROPRITE TREE & LANDSCAPE	407-11-51302-219-000 407-11-51302-219-000	02/14 TREE REMOVAL 03/14 TREE REMOVAL	4,445.50 3,260.00
				..... CHECK TOTAL	7,705.50
136892	3/26	JENSEN TOWING	110-02-52103-219-000	03/14-#14-030189 TOW	45.00
136893	3/26	TSI, INC	110-02-52203-235-000	CALIBRATION/CLEANING	966.48
136894	3/26	MARTIN PETERSEN COMPANY, INC.	520-09-50201-246-000	TD 1 OF 4-P.M. PROGR	1,404.00
136895	3/26	CLIFTON LARSON ALLEN	110-01-50701-211-000	#1 Y.E. 13	15,000.00
136896	3/26	HUMANA SPECIALTY BENEFITS	110-00-21538-000-000	03/14 DEDUCTIONS	1,659.52
136897	3/26	MOHAWK MFG. & SUPPLY CO.	520-09-50201-347-000	02/14-BUS PARTS	851.41
136898	3/26	CENTRAL SAW AND MOWER	110-05-55109-369-000 110-05-55109-369-000 110-05-55109-369-000 520-09-50201-347-000 501-09-50106-344-000	PROFESSIONAL BLOWER PROFESSIONAL EDGER PROFESSIONAL TRIMMER MISC. PARTS 02/14-PA PARTS/SERVI	360.00 230.00 221.00 142.11 137.24
				..... CHECK TOTAL	1,090.35
136899	3/26	WISCONSIN COMMUNITY MEDIA	761-09-50101-323-000	2014 MEMBERSHIP	240.00
136900	3/26	HTH ENGINEERING, INC.	110-02-52101-235-000	TRANSCRIPTION SYSTEM	185.41
136901	3/26	MENARDS (KENOSHA)	110-05-55109-246-000 110-05-55109-361-000 521-09-50101-357-000	02/14-BEACH HOUSE ME 02/14-PA MERCHANDISE 02/14-AR MERCHANDISE	205.85 139.87 10.97
				..... CHECK TOTAL	356.69
136902	3/26	SHERWIN INDUSTRIES	501-09-50105-355-000 110-03-53103-355-000 501-09-50105-355-000	02/14-SW COLD PATCH 02/14-ST COLD PATCH 02/14-SW COLD PATCH	9,379.65 6,893.25 2,264.85
			 CHECK TOTAL	18,537.75

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
136903	3/26	PRS	206-00-21109-000-000	C MUTO 2/23/13	628.38
136904	3/26	BELLE CITY FIRE EXTINGUISHER	110-02-52103-389-000 110-02-52203-389-000	02/14 PD-EXTINGUISH 03/13 FD-EXTINGUISH CHECK TOTAL	91.50 81.90 173.40
136905	3/26	HALLMAN LINDSAY	110-05-55109-244-000	03/14-PA PAINT/PRODU	42.00
136906	3/26	KENOSHA COUNTY TREASURER	110-00-21910-999-000 110-00-21901-999-000 110-00-21910-999-000	2/14 FEES COLLECTED 2/14 FEES COLLECTED 2/14 FEES COLLECTED CHECK TOTAL	10,344.49 2,749.92 294.02 13,388.43
136907	3/26	LOCAL GOVERNMENT PROPERTY	110-00-21109-000-000	2014 JD LOADER	389.00
136908	3/26	ROCKFORD IND. WELDING	206-02-52205-389-000	02/14-FD SUPPLIES/RE	45.00
136909	3/26	TIME WARNER CABLE	761-09-50101-233-000 761-09-50101-225-000	3/9-4/8/14 PHONE/RR 3/9-4/8/14 PHONE/RR CHECK TOTAL	76.11 60.75 136.86
136910	3/26	LEXIS NEXIS DATA MGMT	110-02-52101-219-000	02/14 SEARCH/LOCATE	347.70
136911	3/26	BOUND TREE MEDICAL, LLC	206-02-52205-318-000 206-02-52205-318-000 206-02-52205-318-000	02/14 MEDICAL SUPPL 02/14 MEDICAL SUPPL 03/14 MEDICAL SUPPL CHECK TOTAL	1,515.00 150.00 29.70 1,694.70
136912	3/26	US DEPT OF TREASURY	238-00-24101-000-000	2013 INTEREST EARN	211.00
136913	3/26	MUNCIE TRANSIT SUPPLY	520-09-50201-347-000 520-09-50201-347-000 520-09-50201-347-000	02/14-TD COACH PARTS 02/14-TD COACH PARTS 03/14-TD RETURN COAC CHECK TOTAL	1,025.60 57.90 244.88CR 838.62
136914	3/26	RED THE UNIFORM TAILOR	110-02-52103-367-000 110-02-52206-367-000 110-02-52206-367-000 110-02-52206-367-000 110-02-52206-367-000 110-02-52206-367-000 110-02-52206-367-000 110-02-52206-367-000 110-02-52206-367-000 110-02-52206-367-000 110-02-52206-367-000 110-02-52206-367-000 110-02-52206-367-000 110-02-52103-367-000 110-02-52206-367-000	02/14 PD-UNIFORMS 02/14 FD-UNIFORMS 02/14 PD-UNIFORMS 02/14 FD-UNIFORMS CHECK TOTAL	229.00 183.90 183.90 183.90 183.90 143.00 143.00 91.95 71.50 71.50 38.85 38.00 1,562.40

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
136915	3/26	WIS SUPREME COURT	110-01-52001-264-000	SUBSCRIPT-5/14-4/15	625.00
136916	3/26	KD PLUMBING	258-06-50510-259-000 258-06-50511-259-000	#5668841 REHAB #5668654 REHAB CHECK TOTAL	2,018.81 1,518.27 3,537.08
136917	3/26	FIREHOUSE PERFORMANCE	110-02-52103-344-000 110-02-52103-344-000	03/14 PD-#3204 TIRES 03/14 PD #3206 TIRES CHECK TOTAL	625.28 298.40 923.68
136918	3/26	MOORE, RAYMOND L	110-00-21902-000-000	FINE PMT #R936457	25.80
136919	3/26	ARTISAN & TRUCKERS CASUALTY	110-09-56404-719-000	C AGUILAR 12/25/13	4,742.72
136920	3/26	LARSEN, ERIC T.	110-02-52102-219-000	REPL INFORMANT FUND	1,000.00
136921	3/26	MILLSAPS, NINA M.	611-09-50101-155-000	CORP CUP EXPENSES	160.47
136922	3/26	ROMBALSKI, MICHAEL	110-02-52107-263-000	3/12-14 GLEN ELLYN	38.00
136923	3/26	PATTON, PATRICK	110-02-52107-263-000	3/10-11 PLATTEVILLE	37.00
136924	3/26	BRIETCHAFT, PHILLIP	110-02-52107-263-000	3/10-11 PLATTEVILLE	37.00
136925	3/26	ROHDE, JOHN	110-02-52107-263-000 110-02-52107-264-000	3/11-12 2 OFFICERS 3/10-13/14 OBERST CHECK TOTAL	444.00 280.00 724.00
136926	3/26	BOSMAN, KEITH	110-01-51301-341-000	GAS-MAYOR'S VAN	37.49
136927	3/26	WESTPHAL, RANDY	110-09-56405-166-000	3/23-4/21/14 PPD	1,395.33
136928	3/26	HILL, RYAN	110-02-52103-263-000	3/15/14 WINNEBAGO	12.00
136929	3/26	NIEBUHR, JUSTIN M	110-02-52107-263-000	3/19/14 MILWAUKEE	8.00
136930	3/26	AUSSE, TIMOTHY E	110-02-52107-263-000	3/12-14 GLEN ELLYN	38.00
136931	3/26	MARSHALL, TODD	110-02-52107-263-000	3/19/14 MILWAUKEE	8.00

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
136932	3/26	DONAHUE, ERIC	110-02-52103-263-000	3/15/14 WINNEBAGO	12.00
136933	3/28	INTERSTATE ELECTRIC SUPPLY	521-09-50101-375-000	03/14-AR ELECTRICAL	180.81
			110-03-53109-375-000	03/14-ST ELECTRICAL	126.48
			110-03-53109-375-000	03/14-ST ELECTRICAL	72.55
			110-03-53109-375-000	03/14-ST ELECTRICAL	22.00
			110-03-53103-389-000	03/14-ST ELECTRICAL	3.07
			110-03-53109-375-000	03/14-ST ELECTRICAL	1.63
				..... CHECK TOTAL	406.54
136934	3/28	CARDINAL HEALTH	206-02-52205-318-000	03/14 MEDICAL SUPPLI	810.15
			206-02-52205-318-000	03/14 MEDICAL SUPPLI	239.87
			206-02-52205-318-000	03/14 MEDICAL SUPPLI	212.50
				..... CHECK TOTAL	1,262.52
136935	3/28	KENOSHA CITY EMPLOYEE'S	110-00-21562-000-000	03/28/14 CITY HRLY	10,459.30
			110-00-21562-000-000	03/28/14 WATER HRLY	3,590.87
				..... CHECK TOTAL	14,050.17
136936	3/28	KENOSHA CITY EMPLOYEE'S	110-00-21562-000-000	03/31/14 CITY SAL	39,370.38
			110-00-21562-000-000	03/31/14 WATER SAL	5,984.00
			110-00-21562-000-000	03/31/14 LIBRARY SAL	5,630.89
				..... CHECK TOTAL	50,985.27
136937	3/28	KENOSHA CITY EMPLOYEE'S	110-00-21553-000-000	03/28/14 CITY HRLY	114.00
			110-00-21553-000-000	03/28/14 WATER HRLY	51.30
			110-00-21553-000-000	03/28/14 MUSEUM HRLY	5.70
			110-00-21553-000-000	03/31/14 WATER SAL	2.85
				..... CHECK TOTAL	173.85
136938	3/28	KENOSHA COUNTY SHERIFF DEPT	110-02-52108-256-000	02/14-PRISONER MAINT	660.00
136939	3/28	UNITED WAY OF KENOSHA COUNTY	110-00-21541-000-000	03/28/14 MUSEUM HRLY	22.00
			110-00-21541-000-000	03/28/14 CITY HRLY	10.00
				..... CHECK TOTAL	32.00
136940	3/28	UNITED HOSPITAL SYSTEMS INC	110-09-56405-161-000	1/22/14 W/C	377.43
			110-09-56405-161-000	1/12/14 W/C	243.45
				..... CHECK TOTAL	620.88
136941	3/28	UNITED HOSPITAL SYSTEMS INC	110-02-52102-219-000	MED REC #13-187678	85.08

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
136942	3/28	KENOSHA NEWS	110-01-51601-321-000	03/16 HOME PROGRAM	69.40
			110-01-50101-321-000	03/14 ABSENTEE NOTC	23.52
			110-01-50101-321-000	03/14 PUBLIC TEST	21.11
				..... CHECK TOTAL	114.03
136943	3/28	KENOSHA POLICE & FIREMEN'S	110-00-21563-000-000	03/31/14 CITY SAL	83,391.00
			110-00-21563-000-000	03/31/14 WATER SAL	25.00
				..... CHECK TOTAL	83,416.00
136944	3/28	LANDMARK TITLE CORPORATION	110-01-51601-219-000	7401 SHER LTR RPT	65.00
136945	3/28	MONROE TRUCK EQUIPMENT	630-09-50101-393-000	03/14-SE#3007 PARTS/	237.04
136946	3/28	NORTHWESTERN UNIVERSITY	631-09-50101-264-000	6/2-6/14-KUFFEL	1,050.00
			631-09-50101-264-000	5/19-23/14-KUFFELL	1,050.00
				..... CHECK TOTAL	2,100.00
136947	3/28	WE ENERGIES	217-06-51612-259-000	#5670036 UTILITIES	124.15
			217-06-51611-259-000	#5670032 UTILITIES	123.92
			217-06-51610-259-000	#5670037 UTILITIES	121.37
			217-06-51615-259-000	#5670034 UTILITIES	113.56
			758-09-51607-259-000	2/04-3/04/14 UTILS	106.23
	..... CHECK TOTAL	589.23			
136948	3/28	WIS RETIREMENT SYSTEM	110-00-21625-000-000	02/14 PENSION	490,347.80
			110-00-21622-000-000	02/14 PENSION	216,187.13
			110-02-52203-153-000	02/14 PENSION	9,474.02
			110-00-21521-000-000	02/14 PENSION	4,225.00
			110-02-52103-153-000	02/14 PENSION	687.94
	..... CHECK TOTAL	720,921.89			
136949	3/28	AMERICAN STUDENT ASSISTANCE	110-00-21581-000-000	03/31/13 DEDUCTION	226.79
136950	3/28	STREICHER'S POLICE EQUIPMENT	110-02-52103-365-000	HOLSTER: SERPA	352.99
136951	3/28	KENOSHA WATER UTILITY	110-03-53107-131-250	2/15-3/1 PLOWING	721.72
			110-03-53107-131-250	3/1 SNOWPLOWING	238.07
			 CHECK TOTAL	959.79
136952	3/28	A & R DOOR SERVICE	110-02-52203-246-000	03/14 FD #5 DOOR REP	75.00

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
136953	3/28	DME ELEVATORS & LIFTS	520-09-50202-246-000	STATE INSPECTION	400.00
136954	3/28	CHASE BANK KENOSHA	110-00-21513-000-000	03/28/14 HRLY DEDCT	18,620.58
			110-00-21511-000-000	03/28/14 HRLY DEDCT	10,925.92
			110-00-21612-000-000	03/28/14 HRLY DEDCT	10,925.86
			110-00-21514-000-000	03/28/14 HRLY DEDCT	2,736.62
			110-00-21614-000-000	03/28/14 HRLY DEDCT	2,736.56
				..... CHECK TOTAL	45,945.54
136955	3/28	CHASE BANK KENOSHA	110-00-21513-000-000	03/31/14 SAL DEDUCT	204,561.76
			110-00-21511-000-000	03/31/14 SAL DEDUCT	73,128.93
			110-00-21612-000-000	03/31/14 SAL DEDUCT	73,128.90
			110-00-21614-000-000	03/31/14 SAL DEDUCT	23,205.48
			110-00-21514-000-000	03/31/14 SAL DEDUCT	23,205.21
				..... CHECK TOTAL	397,230.28
136956	3/28	FIREFIGHTERS ASSOC/KENOSHA	110-00-21515-000-000	03/31/14-SAL DEDUCTS	4,000.00
136957	3/28	FIREFIGHTERS LOCAL 414	110-00-21554-000-000	03/31/14-SAL DEDUCTS	10,962.75
136958	3/28	HOLLAND SUPPLY, INC.	630-09-50101-393-000	03/14-CE HYDRAULIC F	730.20
			630-09-50101-393-000	03/14-CE HYDRAULIC F	165.88
			630-09-50101-393-000	03/14-CE HYDRAULIC F	137.52
			630-09-50101-393-000	03/14-CE HYDRAULIC F	39.48
			630-09-50101-393-000	03/14-CE HYDRAULIC F	7.44
				..... CHECK TOTAL	1,080.52
136959	3/28	KPSOA	110-00-21552-000-000	03/31/14-SAL DEDUCTS	800.00
136960	3/28	KENOSHA PROFESSIONAL POLICE	110-00-21557-000-000	03/31/14-SAL DEDUCTS	9,039.60
136961	3/28	ACCURATE PRINTING CO., INC.	501-09-50101-311-000	03/14 YD WASTE COUP	320.00
			110-02-52103-311-000	03/14 PD-#10 REG EP	116.00
				..... CHECK TOTAL	436.00
136962	3/28	PITNEY BOWES	110-01-51306-282-000	03/14-CT MACHINE LEA	386.00
136963	3/28	MG TRUST COMPANY	761-09-50101-151-000	03/14 PIRO/RIMKUS	243.30
			761-00-21599-000-000	03/14 PIRO/RIMKUS	243.30
			 CHECK TOTAL	486.60

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
136964	3/28	PAGE, WOLFBERG & WIRTH LLC	206-02-52205-322-000	2014 HIPPA BUNDLE	380.00
136965	3/28	MESSERLI & KRAMER P.A.	110-00-21581-000-000	03/28/14 DEDUCTION	163.78
			110-00-21581-000-000	03/31/14 DEDUCTION	147.70
				..... CHECK TOTAL	311.48
136966	3/28	LEE PLUMBING, INC.	110-03-53103-246-000	02/14 ST HVAC, PLUMB	607.00
136967	3/28	HUMANA CLAIMS	611-09-50101-155-527	03/25/14 MED CLAIMS	87,091.89
			611-09-50101-155-527	03/21/14 MED CLAIMS	67,470.28
			611-09-50101-155-527	03/26/14 PHARMACY	15,630.27
			611-09-50101-155-527	03/26/14 MED CLAIMS	15,543.62
			611-09-50101-155-527	03/21/14 PHARMACY	11,370.05
			611-09-50101-155-527	03/24/14 PHARMACY	7,880.09
			611-09-50101-155-527	03/24/14 MED CLAIMS	5,592.32
			611-09-50101-155-527	03/20/14 PHARMACY	5,339.03
			611-09-50101-155-527	03/19/14 PHARMACY	4,699.97
			611-09-50101-155-527	03/19 MED CLAIMS	4,328.44
			611-09-50101-155-527	02/14 BEST DOCTORS	1,632.00
			611-09-50101-155-527	02/14 PR YR STOP LS	1,189.46
			611-09-50101-155-527	03/25/14 PHARMACY	954.50
			611-09-50101-155-527	02/14 SHARED SAVINGS	573.18
			611-09-50101-155-527	03/20/14 MED CLAIMS	499.79
			611-09-50101-155-527	02/14 VOIDS	946.45CR
			611-09-50101-155-527	02/14 FINCL RECOVERY	11,029.57CR
				..... CHECK TOTAL	217,818.87
136968	3/28	PIONEER COMMERCIAL CLEANING	110-01-51801-243-000	03/14 JANITORIAL SER	3,735.00
136969	3/28	WASTE MANAGEMENT OF WI	110-03-53117-253-416	03/14 872.04 TONS	21,103.37
			110-03-53117-253-416	03/14 WDNR TONNAGE	11,336.52
			110-03-53117-253-416	03/14 FUEL SURCHARGE	1,967.43
			110-03-53117-253-417	03/14 73.01 TONS	1,766.84
			110-03-53117-253-417	03/14 9 CMPT PULLS	1,564.20
			110-03-53117-253-417	03/14 WDNR TONNAGE	949.13
			110-03-53117-253-417	03/14 FUEL SURCHARGE	311.76
			110-03-53117-253-416	03/14 ENVIRO SURCHG	258.00
			110-03-53117-253-417	03/14 ENVIRO SURCHG	54.00
			 CHECK TOTAL	39,311.25

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
136970	3/28	HEALTHSTAT	611-09-50101-155-504	02/14 MID LVL PROV	13,394.77
			611-09-50101-155-504	02/14 PROG ADMN FEE	9,271.80
			611-09-50101-155-504	02/14 REF LAB FEE	5,655.15
			611-09-50101-155-504	02/14 MED OFFC ASST	4,768.05
			611-09-50101-155-504	01/14 BANK FEES	87.96
			611-09-50101-155-504	01/14 MED SUPPLIES	185.05CR
			611-09-50101-155-504	02/14 EMPL CO-PAYS	440.00CR
				..... CHECK TOTAL	32,552.68
136971	3/28	DIVERSIFIED COLLECTION SVCS	110-00-21581-000-000	03/28/14 DEDUCTION	32.90
136972	3/28	WISCONSIN COUNCIL 40	110-00-21553-000-000	03/28/14 CITY HRLY	1,286.00
			110-00-21553-000-000	03/28/14 WATER HRLY	578.70
			110-00-21553-000-000	03/28/14 MUSEUM HRLY	64.30
			110-00-21553-000-000	03/31/14 WATER SAL	32.15
				..... CHECK TOTAL	1,961.15
136973	3/28	STARK ASPHALT	402-11-51301-585-000	EST 4 THRU 12/31/13	152,330.53
			402-11-51201-585-000	EST 4 THRU 12/31/13	94,958.55
				..... CHECK TOTAL	247,289.08
136974	3/28	PELION BENEFITS, INC.	110-00-21517-000-000	3/16-31/14 DEDUCTS	2,463.51
136975	3/28	INTERNATIONAL PERSONNEL	110-01-51303-323-000	DUES 5/14 TO 4/15	315.00
136976	3/28	JOHNSON BANK	110-00-21532-000-000	03/31/14 CITY SAL	25,019.43
			110-00-21532-000-000	03/31/14 WATER SAL	2,814.41
			110-00-21532-000-000	03/31/14 LIBRARY SAL	1,315.00
			110-00-21532-000-000	03/28/14 CITY HRLY	1,265.00
			110-00-21532-000-000	03/28/14 WATER HRLY	404.62
				..... CHECK TOTAL	30,818.46
136977	3/28	CDW-G	110-02-52103-311-000	TONER	2,250.00
			110-01-51102-539-000	03/14 DP COMPUTER EQ	449.46
			110-01-51102-539-000	03/14 DP COMPUTER EQ	305.08
				..... CHECK TOTAL	3,004.54
136978	3/28	NYBERG TROPHIES & AWARDS	110-05-55101-311-000	2-PLAQUES/PARKS COMM	70.00
136979	3/28	CHAPTER 13 TRUSTEE	110-00-21581-000-000	03/31/14 DEDUCTION	743.00
			110-00-21581-000-000	03/31/14 DEDUCTION	419.00
			110-00-21581-000-000	03/31/14 DEDUCTION	400.00
			110-00-21581-000-000	03/28/14 DEDUCTION	104.00
			110-00-21581-000-000	03/28/14 DEDUCTION	87.00
			110-00-21581-000-000	03/28/14 DEDUCTION	45.00
			 CHECK TOTAL	1,798.00

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
136980	3/28	STAPLES	110-01-51102-311-000	03/14-DP OFFICE SUPP	105.81
136981	3/28	WAUSAU EQUIPMENT CO.	630-09-50101-393-000	03/14-SE PARTS/MATER	221.85
136982	3/28	AMSTON SUPPLY	420-11-51301-579-000	2015 TIPPER TRAILER	57,280.00
			420-11-51301-579-000	OPTION 2 WALL LINER	852.00
			420-11-51301-579-000	OPTION 3 ALUM. FLOOR	620.00
			420-11-51301-579-000	OPTION 4 REL. SYSTEM	387.00
			420-11-51301-934-560	TRADE-IN #2456	500.00CR
				..... CHECK TOTAL	58,639.00
136983	3/28	OLIVER ADJUSTMENT COMPANY	110-00-21581-000-000	03/31/13 DEDUCTION	469.59
136984	3/28	MSC INDUSTRIAL SUPPLY	520-09-50201-347-000	03/14-TD SHOP SUPPLI	39.10
136985	3/28	MENARDS (KENOSHA)	110-05-55109-357-000	STATUE RESTORATION	31.99
			110-05-55109-357-000	STATUE RESTORATION	17.12
			110-05-55109-357-000	STATUE RESTORATION	4.85
				..... CHECK TOTAL	53.96
136986	3/28	AMERICAN PUBLIC WORKS ASSOC	110-03-53101-264-000	DULANEY 5/4-7 SNOW	470.00
136987	3/28	WIS SCTF	110-00-21581-000-000	3/28/14 HRLY DEDCT	683.44
136988	3/28	WIS SCTF	110-00-21581-000-000	03/31/14 SAL DEDUCT	10,051.29
136989	3/28	ILLINOIS DEPT OF PUBLIC AID	110-00-21581-000-000	03/31/14 DEDUCTION	278.00
			110-00-21581-000-000	03/28/14 DEDUCTION	128.40
				..... CHECK TOTAL	406.40
136990	3/28	TIME WARNER CABLE	110-01-51102-233-000	02/18-04/16 INTERNT	901.77
			110-00-15601-000-000	02/18-04/16 INTERNT	901.77
			110-01-51102-233-000	03/19-04/18 STORES	139.95
			524-05-50101-219-000	03/14 GO-MO CABLE	34.20
			110-01-51102-233-000	03/17-04/16 CITY HAL	22.50
				..... CHECK TOTAL	2,000.19
136991	3/28	GATEWAY TECH COLLEGE	709-09-50101-219-000	EMT REFRESHER 2014	5,800.00
136992	3/28	BOUND TREE MEDICAL, LLC	206-02-52205-318-000	03/14 FD MEDICAL SUP	317.38

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
136993	3/28	LEE PLUMBING, HEATING AND	217-06-51609-259-000	#5668660 - PLUMBING	315.00
136994	3/28	WHOLESALE DIRECT INC	630-09-50101-393-000	03/14-CE PARTS/MATER	198.35
136995	3/28	GILLIG CORPORATION	520-09-50201-347-000	02/14-TD BUS PARTS	5,950.54
			520-09-50201-347-000	03/14-TD BUS PARTS	1,289.62
			520-09-50201-347-000	03/14-TD BUS PARTS	4.40
				..... CHECK TOTAL	7,244.56
136996	3/28	ERICKSON AUTO TRIM	630-09-50101-393-000	03/14 SE #2954 UPHOL	125.00
136997	3/28	RIMKUS, JASON	761-09-50101-111-000	03/16-31/14 SERVICE	1,933.04
			761-00-21514-000-000	03/16-31/14 SERVICE	28.03CR
			761-00-21599-000-000	03/16-31/14 SERVICE	96.65CR
			761-00-21512-000-000	03/16-31/14 SERVICE	108.90CR
			761-00-21511-000-000	03/16-31/14 SERVICE	119.85CR
			761-00-21513-000-000	03/16-31/14 SERVICE	220.00CR
				..... CHECK TOTAL	1,359.61
136998	3/28	PIRO, RALPH	761-09-50101-111-000	03/16-31/14 SERVICE	916.45
			761-00-21514-000-000	03/16-31/14 SERVICE	13.29CR
			761-00-21599-000-000	03/16-31/14 SERVICE	25.00CR
			761-00-21512-000-000	03/16-31/14 SERVICE	40.70CR
			761-00-21511-000-000	03/16-31/14 SERVICE	56.82CR
			761-00-21513-000-000	03/16-31/14 SERVICE	76.00CR
				..... CHECK TOTAL	704.64
136999	3/28	MAXIM REBUILDERS	110-05-55109-344-000	MOWER REPAIR #2280	40.00
137000	3/28	UNITED HEALTHCARE INSURANCE	110-00-21534-000-000	04/13 DEDUCTIONS	1,392.99
137001	3/28	SOUTHPORT MARINA	110-05-55109-221-000	7-12/13 EMON METER	9,866.92
137002	3/28	COMPREHENSIVE ORTHOPAEDICS	110-09-56405-161-000	1/29/14 W/C	3,703.50
137003	3/28	KENOSHA MEDICAL CTR CAMPUS	206-02-52205-264-000	HEARTSAVER CPR/AED	24.00
137004	3/28	IHC - KENOSHA RADIOLOGY LLC	110-09-56405-161-000	1/12/14 W/C	74.80
			110-09-56405-161-000	1/12/14 W/C	46.75
				..... CHECK TOTAL	121.55

START DATE FOR SUMMARY: 3/16 END DATE FOR SUMMARY: 3/31

CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
137005	3/28	UNITED OCC MEDICINE	110-09-56405-161-000	1/12/14 W/C	338.30
			110-09-56405-161-000	2/17/14 W/C	173.40
			110-09-56405-161-000	1/27/14 W/C	152.15
				..... CHECK TOTAL	663.85
137006	3/28	AURORA HEALTH CARE	110-09-56405-161-000	1/10/14 W/C	1,759.08
			110-09-56405-161-000	1/30/14 W/C	433.50
				..... CHECK TOTAL	2,192.58
137007	3/28	OCCUCARE SYSTEMS & SOLUTION	110-09-56405-161-000	2/18/14 W/C	674.22
			110-09-56405-161-000	2/20/14 W/C	579.22
			110-09-56405-161-000	2/17/14 W/C	579.22
			110-09-56405-161-000	2/6/14 W/C	571.11
			110-09-56405-161-000	2/11/14 W/C	448.57
			110-09-56405-161-000	2/24/14 W/C	396.11
			110-09-56405-161-000	2/26/14 W/C	363.11
				..... CHECK TOTAL	3,611.56
137008	3/28	COMPREHENSIVE CLINICAL AND	110-09-56405-161-000	2/26/14 W/C	102.37
			110-09-56405-161-000	2/12/14 W/C	102.37
			110-09-56405-161-000	1/15/14 W/C	96.02
				..... CHECK TOTAL	300.76
137009	3/28	NEUROSURGERY & ENDOVASCULAR	520-09-50101-161-000	2/12/14 W/C	530.40
137010	3/28	VISTA MEDICAL CENTER EAST	110-09-56405-161-000	3/19/14 W/C	20.00
137011	3/28	BUELOW, VETTER, BUIKEMA,	110-01-51303-212-000	02/14 SERVICES	27,748.99
			110-01-51001-212-000	02/14 SERVICES	1,072.50
				..... CHECK TOTAL	28,821.49
137012	3/28	SHINGARA, EDWARD T	110-00-21111-000-000	COURT PYMT V796510	67.06
137013	3/28	ZIRKLE, SEAN	110-00-21111-000-000	COURT PMT #J245032	114.61
137014	3/28	WOLLMUTH, ERICA D	110-00-21111-000-000	COURT PMT #R018169	47.00
137015	3/28	UTTECH, THOMAS J	110-00-21111-000-000	COURT PMT #V475634	24.75
137016	3/28	ROSALES, WILMA E	110-00-21111-000-000	COURT PMT #V473542	15.93

START DATE FOR SUMMARY: 3/16 END DATE FOR SUMMARY: 3/31

CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
137017	3/28	MOTLEY, JEANNETT A	110-00-21111-000-000	COURT PMT #V922502	89.83
137018	3/28	MORENO-ARROYO, THALIA	110-00-21111-000-000	COURT PMT #1107586	107.60
137019	3/28	MOORE, BARBARA J	110-00-21111-000-000	COURT PYMT S565639	68.80
137020	3/28	MAY, LERON K	110-00-21111-000-000	COURT PYMT V998520	40.00
137021	3/28	JEFF, PAJELL M	110-00-21111-000-000	COIRT PYMT N1270511	3.36
137022	3/28	JANIS, CINDY L	110-00-21111-000-000	COURT PYMT V714198	42.65
137023	3/28	HEATH, ARIEL S	110-00-21111-000-000	COURT PYMT S571035	79.00
137024	3/28	HAWBAKER, ANDREW J	110-00-21111-000-000	COURT PYMT R936434	405.60
137025	3/28	BAXTER, CANDICE	110-00-21111-000-000	COURT PYMT R935693	96.10
137026	3/28	ECKERT, KARI R	110-00-21111-000-000	COURT PYMT S562359	240.60
137027	3/28	CREASON, BRANDON L	110-00-21111-000-000	COURT PYMT S570294	105.00
137028	3/28	BROWN, JOSHUA R	110-00-21111-000-000	COURT PYMT R931739	111.00
137029	3/28	BERNAL, BOBBIE J	110-00-21111-000-000	COURT PYMT R937812	177.60
137030	3/28	BERGER, AUSTIN R	110-00-21111-000-000	COURT PYMT R937156	13.80
137031	3/28	JABUREK, SARAH	110-00-21905-000-000	3/14-15 BEACHHOUSE	300.00
137032	3/28	SCHVETZ, KATHERINE	110-00-21106-000-000	2013 TAX REFUND	1,077.01
137033	3/28	JOSEPH BARTA D.D.S.	110-00-21106-000-000	2013 TAX REFUND	12.29
137034	3/28	KNIGHT BARRY TITLE GROUP	110-00-21106-000-000	2013 TAX REFUND	10.32
137035	3/28	CLAYBROOK, VIRGIA	110-00-21106-000-000	2013 TAX REFUND	278.89
137036	3/28	COX, THEONITA	110-01-51303-144-000	2014 SPRING TUITION	1,500.00

START DATE FOR SUMMARY: 3/16 END DATE FOR SUMMARY: 3/31

CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
137037	3/28	FRANCIS, RONALD	110-02-52110-311-000	THANK YOU CARDS	362.95
137038	3/28	WESTPHAL, RANDY	110-09-56405-161-000	1/29/14 W/C	8.66
137039	3/28	DE WITT, JEREMY	110-02-52107-263-000	3/19/14 MILWAUKEE	8.00
137040	3/28	BONDS, CHRISTOPHER	110-02-52107-263-000	3/19/14 MILWAUKEE	8.00
137041	3/28	YANDEL, DAVID M	110-02-52107-263-000	03/19/14 MILWAUKEE	8.00
137042	3/28	BARDEN, SAMANTHA	110-01-51901-132-000	2/18/14 POLL-WAGES	120.00
			110-00-21512-000-000	2/18/14 POLL-WAGES	1.63CR
			110-00-21513-000-000	2/18/14 POLL-WAGES	7.67CR
				..... CHECK TOTAL	110.70
GRAND TOTAL FOR PERIOD *****					2,971,746.38



ENGINEERING DIVISION
 SHELLY BILLINGSLEY, P.E.
 CITY ENGINEER

PARK DIVISION
 JEFF WARNOCK
 SUPERINTENDENT

FLEET MAINTENANCE
 MAURO LENCI
 SUPERINTENDENT

STREET DIVISION
 JOHN H. PRIJIC
 SUPERINTENDENT

WASTE DIVISION
 ROCKY BEDNAR.
 SUPERINTENDENT

DEPARTMENT OF PUBLIC WORKS

MICHAEL M. LEMENS, P.E., DIRECTOR
 SHELLY BILLINGSLEY, P.E., DEPUTY DIRECTOR

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To: Alderman Eric Hugaard, Chairman, Public Works Committee
 Alderman Daniel Prozanski, Jr., Chairman, Finance Committee

From: Shelly Billingsley, P.E., *Shelly Billingsley*
 Deputy Director of Public Works/City Engineer

Subject: 2014 Sidewalk Assessment Rates

BACKGROUND/ANALYSIS

Since 2000, we have been including hazardous sidewalk repair in our street resurfacing projects. Adding this element to our contracts, we improved our ability to repair hazardous sidewalk and driveway approaches. By having a single assessment rate, we are able to fairly assess affected properties, and improve our ability to inform the affected property owners of the cost of the sidewalk assessment.

We are proposing that the rates listed below be approved for all 2014 sidewalk work. The rate for 2014 was established by using actual 2014 sidewalk contract bid costs then adding \$0.30 to that total for administrative costs as prescribed by assessment policies and procedures of the Public Works Department.

This is the same procedure we used in past years.

Item	Cost			Average Cost Per Sidewalk Square					
				4' x 4'			5' x 5'		
	2012	2013	2014	2012	2013	2014	2012	2013	2014
4" Sidewalk – New	\$3.80	\$3.30	\$4.30	\$60.80	\$52.80	\$68.80	\$95.00	\$85.50	\$107.50
4" Sidewalk – Remove/Replace	\$5.20	\$5.55	\$6.60	\$83.20	\$88.80	\$105.60	\$130.00	\$138.75	\$165.00
6" Sidewalk – New	\$4.30	\$3.80	\$4.80	\$68.80	\$60.80	\$76.80	\$107.50	\$95.00	\$120.00
6" Sidewalk – Remove/Replace	\$5.40	\$5.70	\$6.70	\$86.40	\$91.20	\$107.20	\$135.00	\$142.50	\$167.50

Driveway approaches will be assessed at the same rate as 6" sidewalk.

It is intended that this will be an annual request. We expect that future year rates will be adjusted annually to reflect changes in construction costs.

RECOMMENDATION

I hereby recommend that the sidewalk and driveway approach rates as listed in the above scheduled be approved for the 2014 construction season.