

Municipal Building 625 52nd Street – Room 204	<i>Kenosha Historic Preservation Commission Agenda</i>	March 27, 2014 5:00 p.m.
<i>Alderman Jan Michalski - Chairman and Merike Phillips - Vice-Chairperson, Peter Shaw Johnson, Royanne Moon, Sue Dyke O'Day, William Siel and Violet Ricker</i>		

Call to Order and Roll Call

Approval of Minutes from February 27, 2014

1. Certificate of Appropriateness for Kenosha County Administration Building (Old Moose Lodge), 1010 56th Street, Civic Center Historic District. PUBLIC HEARING
2. Commission Training.

Public Comments

Commissioner Comments

Staff Comments

Adjournment

Community Development & Inspections
625 52nd Street – Room 308
Kenosha, WI 53140
262.653.4030 phone / 262.653.4045 fax
www.kenosha.org

If you are disabled in need of assistance, please call 262.653.4030 at least 72 hours before this meeting.

Notice is hereby given that a majority of the members of the Common Council may be present at the meeting. Although this may constitute a quorum of the Common Council, the Council will not take any action at this meeting.

HISTORIC PRESERVATION COMMISSION
Minutes
February 27, 2014

MEMBERS PRESENT: Alderman Jan Michalski, Merike Phillips, Peter Shaw Johnson, Royanne Moon, Sue Dyke O'Day, William Siel and Violet Ricker

STAFF PRESENT: Mike Maki

The meeting was called to order at 5:01 p.m. by Alderman Michalski and roll was taken.

A motion was made by Ms. Phillips and seconded by Ms. Dyke O'Day to approve the minutes of the November 14, 2013 meeting as written. The motion passed unanimously. (Ayes 7; Noes 0)

1. Election of Chairperson and Vice Chairperson

A motion was made by Ms. Phillips to nominate Alderman Michalski for Chairperson and seconded by Mr. Siel.

A motion was made by Mr. Johnson to nominate Ms. Phillips for Vice Chairperson and seconded by Ms. Dyke O'Day.

The motions passed. (Ayes 7; Noes 0)

2. Proposed Historical Artifact Listing for Reuther Central High School Murals at 913 57th Street.

Mike Maki, Community Development Specialist, said Patrick Finnemore, Director of Facilities with Kenosha Unified School District is here.

Public hearing opened.

Patrick Finnemore, Director of Facilities with the Kenosha Unified School District, 3600 52nd Street, said they are in favor of designation. Mr. Finnemore said they read the ordinance and understand everything. Mr. Finnemore said with this designation it might help get funding for professional cleaning of the murals.

Public hearing closed.

Ms. Phillips congratulated the school on the great job on keeping them. Ms. Phillips found it interesting that the artist Gustave Brandt worked on murals at the Chicago World's Fair.

Ms. Moon noted that the pictures of the murals are a bit yellow and asked what is their current condition. Mr. Finnemore stated he does not think they were ever touched. They would like to get better lighting so they are more noticeable and would also like to get them restored to show their true colors.

Mr. Johnson mentioned Conrad Schmidt Studios in New Berlin might be a source in regards to cleaning the murals. Mr. Finnemore said that Affiliated Company for cleaning was a possible company to use as well.

Mr. Maki said in reference to what Mr. Finnemore mentioned about possible funding to get the murals cleaned was something they talked about using CDBG – Block Grant Funds. Mr. Maki met with HUD and no funds can be used just for the murals, it would have to be with a part of an overall larger theater project.

Alderman Michalski said he would also like to congratulate Kenosha Unified for keeping the murals.

Motion was made by Ms. Dyke O'Day and seconded by Mr. Seil to recommend the Reuther Central High School Murals as Historic Artifacts. The motion passed (Ayes 7; Noes 0).

3. Commission Training

Mr. Maki reviewed training materials.

Ms. Phillips asked in Section 106 who all is involved if there is an adverse effect? Mr. Maki answered the Federal agency provides funding, consulting parties, the State Historic Preservation Officer and possibly the Advisory Council on Historic Preservation.

Alderman Michalski said in regards to the CLG status the Ordinance will not change and if they want it to change they need to contact other alderman.

Ms. Phillips said she served on the ordinance committee in 1994 to try to get it approved and there was a lot of opposition.

Ms. Dyke O'Day asked how long does it take to get nominated with the state? Mr. Maki responded approximately 4 months.

Alderman Michalski said if commissioners had any more questions or would like more information they should talk to Mr. Maki.

Ms. Phillips said Mr. Maki should send the web link for HP Briefs to the new people.

Ms. Moon said she is on this committee to see things are done the right way and this training helped a lot.

Motion was made to receive and file by Mr. Seil and seconded by Ms. Dyke O'Day. The motion passed (Ayes 7; Noes 0).

Public Comments

Margaret Heller, 217 69th Street, said she has been running around in circles in regards to the Southport Beach House. She noted there are many problems and is not sure what to ask from this committee but she would like to see a policy to get work done on the Southport Beach House.

Public hearing closed.

Commissioner Comments

Ms. Phillips said Ms. Heller makes a good point and would like to see this on the agenda. Ms. Phillips would also like to follow up on the Historic signs and she wants to also see home owners notified about the availability of tax credits for historic properties.

Mr. Seil asked was anything brought to this Commission about the Southport Beach

House? Mr. Maki said there are some items coming for review. Mr. Seil asked about deferred maintenance and was this attached to Demolition by Neglect, how is it listed? Mr. Maki responded on all three lists (local, State and the National Register). Mr. Seil asked is this an issue we get involved in - do we maintain status? Mr. Maki responded no that the Commission gets involved when there is a Certificate of Appropriateness review.

Ms. Phillips said in regards to private property neglect, the city gets involved; can the Historic Preservation Commission Committee tell the city to keep up Historic property? Ms. Phillips would like to see this put on the agenda.

Alderman Michalski said we could put that on the agenda and would like to know the plans.

Ms. Dyke O'Day said we need something concrete to say.

Ms. Phillips asked what our options from the staff are. Mr. Maki responded that the Commissioners duties are listed in the ordinance.

Staff Comments

Mr. Maki mentioned to Ms. Moon and Mr. Seil that their terms are coming up and wanted them to think about if they want to be reappointed for a 3 year term.

A motion was made by Mr. Johnson and seconded by Mr. Seil to adjourn the meeting. The motion passed unanimously. (Ayes 7; Noes 0) The meeting adjourned at 5:58 p.m.

Meeting Minutes Prepared by: Laurie Bauman, Community Development & Inspections

FACT SHEET Kenosha Historic Preservation Commission	Community Development Division 625 52nd Street Kenosha, WI 53140 262.653.4030	March 27, 2014	Item 1
Certificate of Appropriateness for Kenosha County Administration Building (Old Moose Lodge), 1010 56th Street, Civic Center Historic District. PUBLIC HEARING			

PURPOSE:

Review of proposed renovation to the Kenosha County Administration Building

HISTORIC DISTRICT:

Civic Center Historic District

NOTIFICATIONS/PROCEDURES:

The alderperson of the district, Chris Schwartz, has been notified.

ANALYSIS:

Section 15.10 of the Zoning Ordinance requires a Certificate of Appropriateness for any exterior alteration, rehabilitation, reconstruction, or restoration of a Historic Structure that is not classified as an exempt item. InSite Consulting Architects (ICA) has been hired by Kenosha County to examine and recommend repair of stone displacement, spall and other deterioration of the limestone. ICA has overseen the restoration work over the last few years at Reuther High School and the Kenosha County Courthouse.

The project requires a Certificate of Appropriateness for the following items:

- Removal, restoration/repair and reset of limestone panels in select areas
- Replacement of select limestone panels
- Rebuild of all parapet walls
- Replacement of rubber membrane roofs (no COA required)
- Tuckpointing of mortar joints
- Terra cotta inspection, repair and/or replacement at cornice
- Replacement of Terra cotta at base on south and east building elevations with black granite
- Replacement of 10% of outer wythe brick on north and west elevations; repoint mortar joints
- Removal and replacement of hollow metal exterior doors on north elevation
- Inspection and restoration of exposed concrete wall surfaces on west elevations
- Replacement of stucco located at the bandshell support area (west elevation)
- Redesign of north entry to include ramp and covered entry (Alternate Bids)
- Restoration of copper panels, including decorative arch elements and spandrels, at east entry
- Replacement of south and east concrete stairs
- Restoration/repair of north exterior stairs with application of derbigum liquid membrane (waterproofing to stairs and sidewalls)

The attached plans indicate that all stones have a unique number and each have been color-coded one of six (6) codes as follows:

1. **Rehab Code A (White Areas)** – The limestone panels will remain in place and tuckpointed.
2. **Rehab Code B (Green Areas)** – Stones that will be removed, stored and reset.
3. **Rehab Code R (Pink Areas)** – Stones that will be repaired in place (Number in parenthesis indicates square inches of repair)
4. **Rehab Code X (Blue Areas)** – **Stones that will be replaced in-kind.**
5. **Rehab Code R (Yellow Areas)** – Terra cotta that will be repaired in place (Number in parenthesis indicates square inches of repair)
6. **Rehab Code Y (Brown Areas)**– Terra cotta located at base of building on south and east sides that will be replaced with black granite.

A comprehensive analysis of the County Administration Building was performed by ICA. The analysis revealed that the building was sound but had several significant anomalies similar to that found at the Court House and Reuther Central High School. Existing Terra cotta, brick masonry and limestone have deteriorated and need to

FACT SHEET Kenosha Historic Preservation Commission	Community Development Division 625 52nd Street Kenosha, WI 53140 262.653.4030	March 27, 2014	Item 1
Certificate of Appropriateness for Kenosha County Administration Building (Old Moose Lodge), 1010 56th Street, Civic Center Historic District. PUBLIC HEARING			

be repaired and/or replaced. Flashings are missing or inadequate. Corrections are also needed to properly pin and strap existing and new limestone.

The project has been designed to repair limestone pieces where possible, and to only replace the limestone when absolutely necessary. Areas, as identified on the elevations have been organized to reflect where limestone pieces will be restored/tuckpointed in place, removed and reset and, removed and replaced. All parapet walls, including the brick facing, will be rebuilt with new stainless steel clips, straps and pins. All roof membrane systems will also be replaced. The roof does not require Commission approval.

Elevations are reflected on Sheets A2.1 through A3.4. Details on pins, strapping, patch mortar, parapet walls, canopies, and ramps/stairs on shown on Sheets A4.1 through A6.3. Each elevation depicts a portion of the facade, which is depicted on a **Key Plan** located just above the Sheet Number.

Stairways will include restoration of all exterior stairs and the addition of a waterproof coating. Broken granite treads will be replaced and damaged concrete will be repaired and/or replaced. An alternate bid is shown to include a new accessible ramp on the north elevation and a new canopy to match the historic canopies on the east and south elevations.

The project was reviewed in conformance with Section 15.10 of the Zoning Ordinance, pertaining to Standards for Granting Certificate of Appropriateness. The project meets Standard 7, "Deteriorated historic features are retained rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical or pictorial evidence."

The following work meets Standard 7 of the Ordinance:

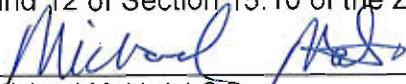
- Cornice Terra cotta, limestone and brick are proposed to be replaced only when substantially deteriorated.
- New mortar used for limestone and brick masonry are proposed to be a type "N" mortar, which is appropriate for a historic building of this age and these building materials. Type "N" mortars contain more lime and are softer than modern Portland cement mortars.
- The existing canopies on the east and south elevations are proposed to match the existing historic details, including ornamental sheet metal.

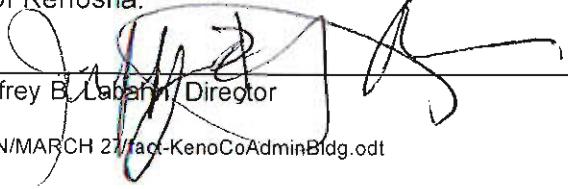
The proposed accessible ramp meets Standard 12 of the Ordinance since it will provide access to the handicapped and it located on a less prominent side of the building.

The replacement of Terra cotta along the base of the building on the east and south elevations with black granite would generally not be recommended by the Secretary of Interior Standards. However, Terra cotta is a fired-clay material and not a very durable material for a lower portion of a building. The replacement with black granite is both a more durable material for this location and since it will match the color of the Terra cotta, it will also meet Standard 10 of the Ordinance, "the new work is compatible with the existing size and scale" of the Terra cotta.

RECOMMENDATION:

A recommendation is made to approve the Certificate of Appropriateness in conformance with Standards 7, 10 and 12 of Section 15.10 of the Zoning Ordinance for the City of Kenosha.


Michael Maki, A.I.C.P.


Jeffrey B. Labaree, Director

KENOSHA HISTORIC PRESERVATION COMMISSION
CERTIFICATE OF APPROPRIATENESS APPLICATION

PROPERTY ADDRESS	
OWNER/APPLICANT	Kenosha County/Frank Martinelli
ADDRESS	1010 56th Street
CITY, STATE, ZIP	Kenosha, WI 53140
DAYTIME PHONE NUMBER	(262) 857-1863

DATE OF APPLICATION	
ARCHITECT/DESIGNER/BUILDER	InSite Consulting Architects
ADDRESS	115 E. Main Street, Suite 200
CITY, STATE, ZIP	Madison, WI 53703
DAYTIME PHONE NUMBER	(608) 204-0825

PROJECT DESCRIPTION

Historic restoration of the Kenosha County Administration Building (originally Kenosha Moose Lodge LOOM #286). Project includes the full historic restoration of the exterior facades. Work includes limestone repair and replacement, terra cotta repair and replacement, roof rehabilitation and sub-grade waterproofing. South canopy addition restoration is planned to include a sympathetic restructuring that is in keeping with the standards set forth by the Secretary of the Interior's Standards. All work has been vetted by the State Historic Society. Several revisions and caveats were presented by the WHS and have been satisfactorily addressed.

PROJECT TYPE

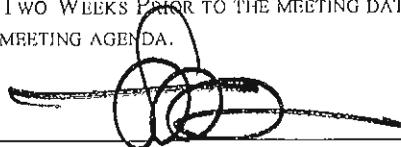
- NEW CONSTRUCTION, ADDITIONS, DEMOLITIONS, AND PUBLIC IMPROVEMENTS
11"x17"
- NEW CONSTRUCTION, ADDITIONS, DEMOLITIONS, EXTERIOR ALTERATIONS, REHABILITATION, RECONSTRUCTION AND RESTORATIONS
- ALL PROJECTS
- IN THE INSTANCE OF INTRODUCING MATERIALS WHICH DO NOT DUPLICATE THE ORIGINAL
- IN THE INSTANCE OF INTRODUCING NEW ARCHITECTURAL DETAILS OR ARCHITECTURAL DETAILS WHICH DO NOT DUPLICATE THE ORIGINAL

REQUIRED DOCUMENTATION

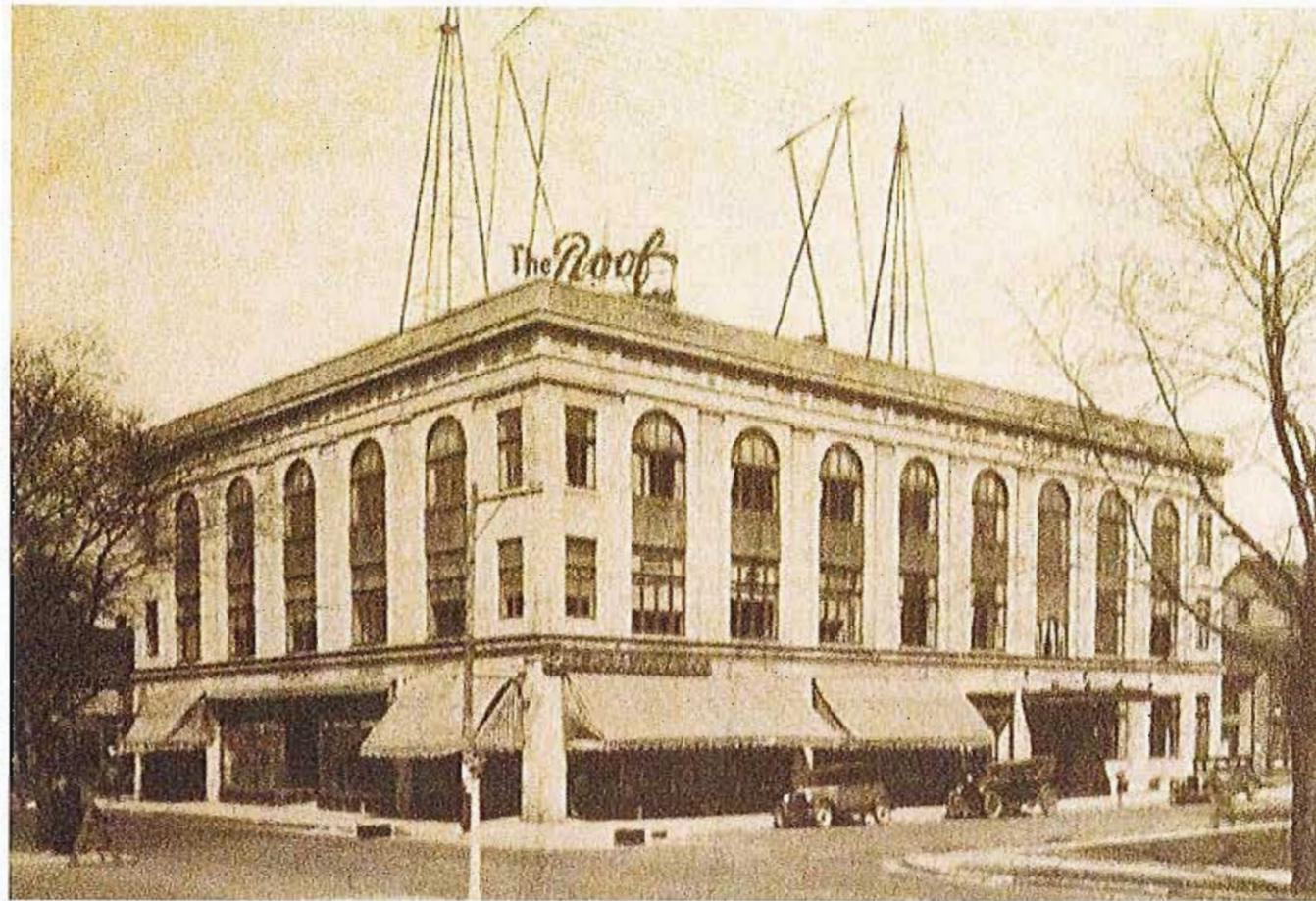
- SITE PLAN
(1 SET 24"x32" AND 12 SETS MAXIMUM SIZE)
- BUILDING ELEVATIONS [EXISTING AND PROPOSED]
(1 SET 24"x32" AND 12 SETS MAXIMUM SIZE 11"x17")
- PHOTOGRAPHS (DIGITAL PREFERRED)
- MATERIAL SAMPLES
- PICTURES OR DRAWINGS

YOUR APPLICATION WILL BE FORWARDED TO THE INSPECTION DIVISION OF THE DEPARTMENT OF COMMUNITY DEVELOPMENT & INSPECTIONS FOR REVIEW AND INPUT. REQUIRED DOCUMENTATION MUST BE SUBMITTED TO THE DEPARTMENT OF COMMUNITY DEVELOPMENT & INSPECTIONS A MINIMUM OF TWO WEEKS PRIOR TO THE MEETING DATE IN ORDER FOR THE APPLICATION TO BE PLACED ON THE HISTORIC PRESERVATION COMMISSION MEETING AGENDA.

APPLICANT'S SIGNATURE: _____



DATE: 03/12/2014

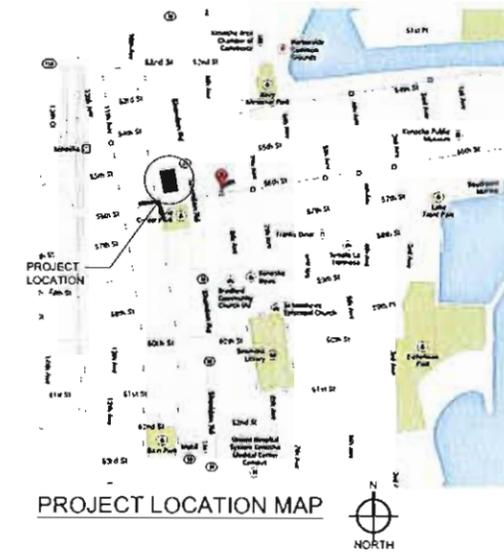


EXTERIOR RESTORATION PROJECT AT THE KENOSHA COUNTY ADMINISTRATION BUILDING

1010 56th Street
Kenosha, WI 53140

PROJECT GENERAL NOTES

- HISTORIC GUIDELINE COMPLIANCE: PROJECT SHALL MEET REQUIREMENTS FOR SECRETARY OF THE INTERIORS STANDARDS FOR THE RESTORATION AND PRESERVATION OF HISTORIC STRUCTURES THE FOLLOWING PRESERVATION BRIEFS APPLY:
 - Cleaning and Water-Repellent Treatments for Historic Masonry Buildings
 - Repairing Mortar Joints in Historic Masonry Buildings
 - Improving Energy Efficiency in Historic Buildings
 - The Preservation of Historic Glazed Architectural Terra-Cotta
 - The Preservation and Repair of Historic Stucco
 - Holding the Line: Controlling Unwanted Moisture in Historic Buildings
 - The Use of Awnings on Historic Buildings: Repair, Replacement and New Design
- ALL DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STATE OF WISCONSIN BUILDING CODE LATEST ADDITION. ALL PERMITS ARE BY THE CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF, AND COORDINATION WITH, ALL DIMENSIONS SHOWN ON THESE DRAWINGS RELATIVE TO EXISTING CONDITIONS PRIOR TO BEGINNING WORK
- CONTRACTOR SHALL REPORT IMMEDIATELY TO THE ARCHITECT ANY DIMENSION(S) OR DISCREPANCIES VERBALLY. A WRITTEN REPORT SHOULD PROMPTLY FOLLOW. CONTRACTOR SHALL CEASE WORK IN THE AFFECTED AREA UNTIL DIRECTED BY THE ARCHITECT.
- THE CONTRACTOR SHALL PROVIDE ALL METHODS AND EQUIPMENT FOR PROTECTING THE BUILDING, ALL MATERIALS, AND PERSONNEL FROM FIRE OR OTHER DAMAGE PRIOR TO STARTING. THE CONTRACTOR SHALL SUBMIT THE APPROVED METHODS AND EQUIPMENT IN WRITING FOR THE OWNER AND ARCHITECT'S REVIEW PRIOR TO STARTING WORK.
- THE CONTRACTOR SHALL COMPLY WITH ALL SAFETY AND HEALTH LAWS AND REGULATIONS.
- THE CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, SHEATHING, REQUIRED FOR THE SAFETY AND PROPER EXECUTION OF THE WORK. MAINTAIN EGRESS AT SOUTH ENTRANCE. COORDINATE ALL TEMPORARY CLOSURES OF CODE - REQUIRED EGRESS WITH OWNER, ARCHITECT AND FIRE DEPARTMENT IF NECESSARY AND BUILDING ACCESS THROUGHOUT THE COURSE OF ENTIRE CONSTRUCTION SCHEDULE
- EXECUTION OF THE WORK WILL INVOLVE CONSIDERATION FOR ALLOWING THE OWNER TO CONTINUE THE OPERATION OF THE BUILDING AND THE BUSINESS IN THE FACILITY AND ADJACENT FACILITIES. PRIOR TO THE AWARD OF THE CONTRACT, THE CONSTRUCTION SCHEDULE PREPARED BY THE CONTRACTOR SHALL BE SUBMITTED TO THE ARCHITECT AND SHALL BE COORDINATED WITH THE FACILITIES DEPARTMENT. OWNER'S APPROVAL OF THE PROPOSED SCHEDULE SHALL SUPERCEDE THE CONTRACT, PROVIDED THE OVERALL TIME IS NOT CHANGED.
- THE CONTRACTOR SHALL REVIEW ALL EXISTING CONDITIONS TO DETERMINE ALL SERVICES (ELECTRICAL, MECHANICAL AND PLUMBING) AFFECTED BY THE REPAIR WORK. THE CONTRACTOR SHALL MAKE NECESSARY TEMPORARY CONNECTIONS TO MAINTAIN EXISTING SERVICES TO ALL AREAS OF THE BUILDING DIRECTLY AND INDIRECTLY AFFECTED BY THE WORK. THE CONTRACTOR SHALL SUBMIT METHODS AND SCHEDULE OF CONNECTIONS TO THE OWNER FOR APPROVAL PRIOR TO BEGINNING WORK
- AS THE WORK PROGRESSES, THE CONTRACTOR SHALL PRODUCE "AS-BUILT" DRAWINGS FOR THE INSTALLATION OF ALL REPAIR ITEMS UNDER THE CONTRACT. THE ARCHITECT WILL PROVIDE THE GENERAL CONTRACTOR WITH A SET OF REPRODUCIBLE PLANS FOR THIS PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE AS-BUILT DRAWINGS ACCORDING TO THE JOB PROGRESS. EACH PAY REQUEST SUBMITTED BY THE CONTRACTOR SHALL BE ACCOMPANIED BY A COPY OF THE UPDATED AS-BUILT DRAWINGS.
- THE CONTRACTOR SHALL CALL "DIGGER'S HOTLINE" AT 800-242-8511, 48 HOURS (EXCLUDING WEEKENDS AND/OR HOLIDAYS) PRIOR TO DIGGING ANY EXCAVATION. "DIGGER'S HOTLINE" WILL CONTACT UTILITY COMPANIES TO LOCATE AND MARK THEIR UNDERGROUND FACILITIES. NO SUCH WORK SHALL COMMENCE PRIOR TO VERIFICATION THAT ALL UTILITIES HAVE RESPONDED.
- PROTECT TREES, SHRUBS, LAWNS, AND OTHER FEATURES WITHIN PROJECT LIMITS. RESTORE DAMAGED FEATURES TO ORIGINAL CONDITION.



PROJECT LOCATION MAP

DRAWING INDEX

GENERAL

A0.1 COVER SHEET, INDEX AND GENERAL NOTES

CIVIL

C-1 SITE PLAN AND DETAILS

ARCHITECTURAL - SITE

A1.1 SITE STAGING PLAN
 A1.2 BASEMENT PUMP
 A1.3 WATERPROOFING DETAILS
 A1.4 WATERPROOFING DETAILS

ARCHITECTURAL

A2.1 EXTERIOR ELEVATIONS
 A2.2 EXTERIOR ELEVATIONS
 A3.1 ENLARGED EXTERIOR ELEVATIONS
 A3.2 ENLARGED EXTERIOR ELEVATIONS
 A3.3 ENLARGED EXTERIOR ELEVATIONS
 A3.4 ENLARGED EXTERIOR ELEVATIONS
 A4.1 DETAILS
 A4.2 DETAILS
 A4.3 WALL SECTIONS & DETAILS
 A4.4 WALL SECTIONS & DETAILS
 A4.5 WALL SECTIONS & DETAILS
 A4.6 WALL SECTIONS & DETAILS
 A4.7 WALL SECTIONS & DETAILS
 A4.8 WALL SECTIONS & DETAILS
 A4.9 WALL SECTIONS & DETAILS
 A5.1 ROOF PLAN
 A5.2 ROOF DETAILS
 A5.3 ROOF DETAILS
 A6.1 NORTH ENTRY PLANS AND DETAILS
 A6.2 NORTH ENTRY DETAILS
 A6.3 NORTH ENTRY ALTERNATE AND DETAILS

PROJECT TEAM

OWNER
 KENOSHA COUNTY DIVISION OF FACILITIES
 18600 75TH STREET, SUITE 122-1
 BRISTOL, WI 53104
 CONTACT: FRANK MARTINELLI
 PH: (262) 857-1863

ARCHITECT
 INSITE CONSULTING ARCHITECTS
 115 E. MAIN #200
 MADISON, WISCONSIN 53703
 CONTACT: STEPHEN E. MAR-FOHL
 PH: (608) 453-8086

CIVIL
 CLARK DIETZ, INC. - ENGINEERS
 5017 GREEN BAY ROAD, SUITE 126
 KENOSHA, WI 53144
 CONTACT: GREGORY J. DROESSLER
 PH: 262.657.1550

MECHANICAL ENGINEERING
 SOUTHPORT ENGINEERED SYSTEMS
 6919 51ST STREET
 KENOSHA, WI 53144
 CONTACT: TIM PANN
 PH: 262-454-6630



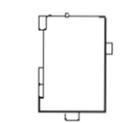
InSite Consulting Architects
 115 E. Main / STE 200
 Madison, Wisconsin 53703
 608-264-0025
 608-267-1702 (fax)
 info@csarc.com



Kenosha County
 Administration Building
 1010 56th Street
 Kenosha, WI 53140

EXTERIOR RESTORATION PROJECT AT THE
 KENOSHA COUNTY ADMINISTRATION BUILDING
 KENOSHA, WI

- ▲ ADDENDUM 1 1/9/14
- ▲ ADDENDUM 2 1/15/14
- ▲ ADDENDUM 4 1/20/14
- ▲ ADDENDUM 5 1/24/14



KEY PLAN

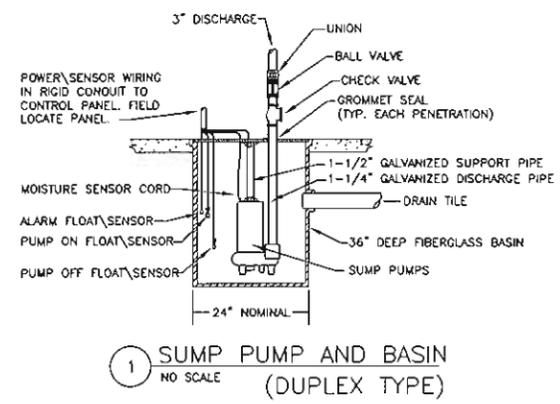
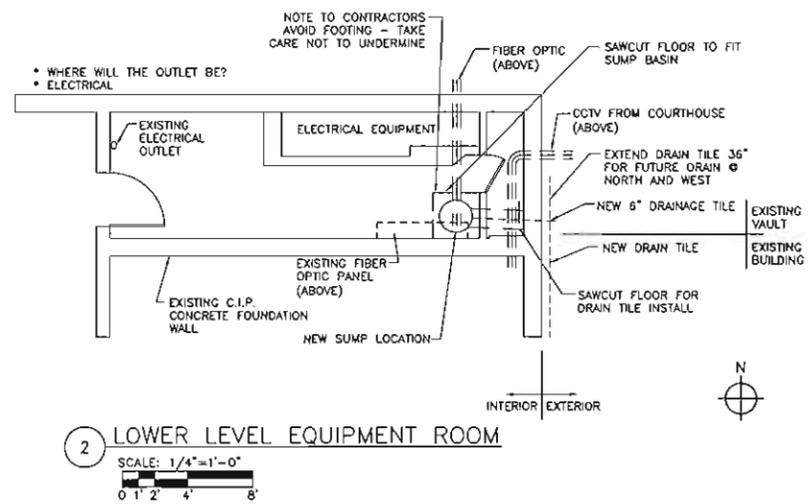
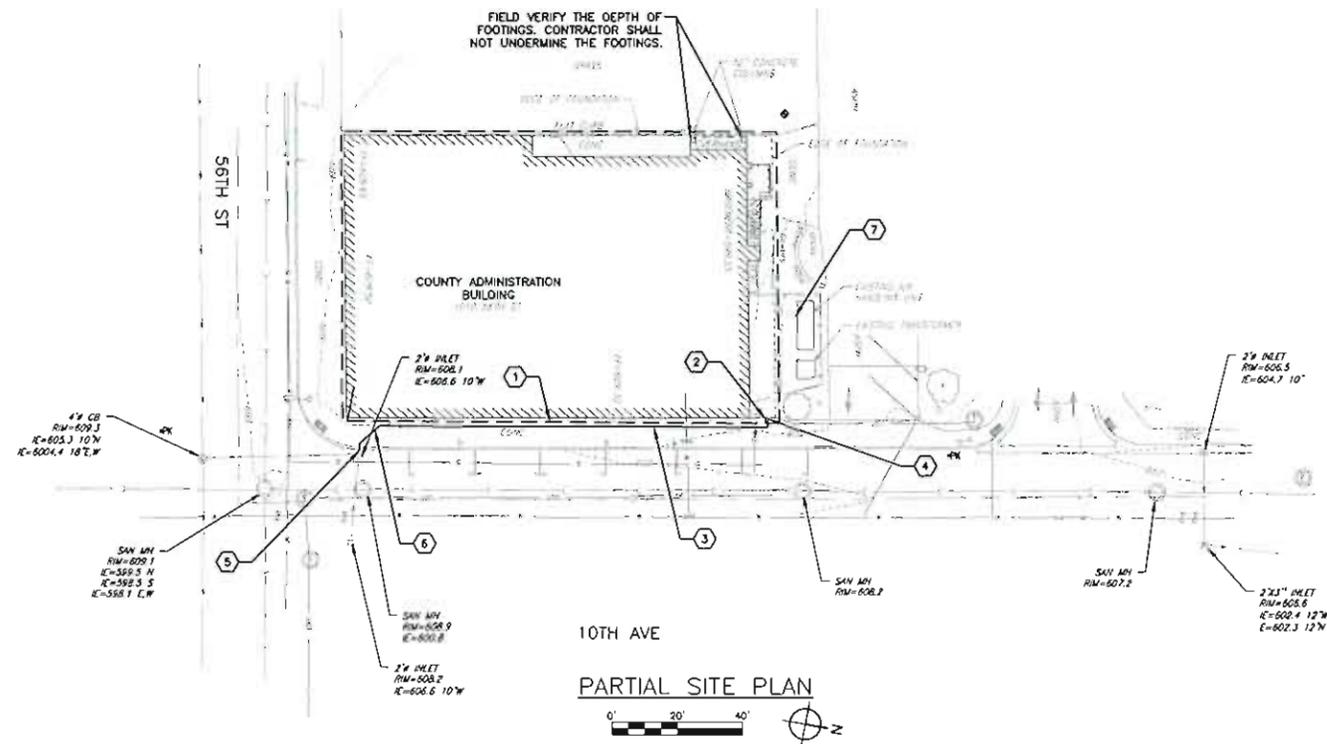
ICAM0 KCAB 13/01

COVER SHEET, INDEX,
 GENERAL NOTES

CONSTRUCTION 03/06/14

A0.1

TITLE SHEET



NOTES (THIS DRAWING)

1. INSTALL 450' OF 6" PERFORATED DRAINAGE TILE PER ARCHITECTURAL DETAIL ON SHEETS K1, K2, AND K3. PIPE SHALL CONFORM TO ASTM PIPE SPECIFICATIONS F405 AND F687.
2. INSTALL DRAINAGE TILE BELOW FOOTING TO EQUIPMENT ROOM. SEE DETAIL 2 (THIS SHEET) FOR CONTINUATION.
3. 3" SCH 80 PVC PIPE FROM SUMP PIT TO INLET. INSTALL AT MIN 1% SLOPE.
4. CORE WALL AT EL 606.00. LINK SEAL REQUIRED.
5. CORE INLET @ EL 607.00 AND GROUT IN NEW 3" SUMP PIPE.
6. 3" 45° BENDS REQUIRED.
7. UTILITIES IN THIS AREA ARE UNKNOWN. CONTRACTOR TO FIELD VERIFY.

ELECTRICAL GENERAL NOTES

1. CONTRACTOR SHALL LOCATE TWO (2) SEPARATE 20A OUTLETS NEAR THE SUMP PIT ON THE SOUTH WALL. EACH OUTLET SHALL BE ON A SEPARATE 20A CIRCUIT. ALL WIRING SHALL BE RUN IN A 2" RGS CONDUIT FROM THE 120V CIRCUIT PANEL LOCATED IN THE BASEMENT.

STRUCTURAL GENERAL NOTES

CAST-IN-PLACE CONCRETE

1. CONCRETE WORK ON THIS PROJECT SHALL CONFORM TO ALL REQUIREMENTS OF ACI 301-05, STANDARD SPECIFICATIONS FOR STRUCTURAL CONCRETE, PUBLISHED BY THE AMERICAN CONCRETE INSTITUTE (ACI), DETROIT, MICHIGAN, EXCEPT AS MODIFIED BY THE REQUIREMENTS OF THESE CONTRACT DOCUMENTS.
2. ALL CONCRETE SHALL BE PROVIDED WITH A MINIMUM ULTIMATE COMPRESSIVE STRENGTH AT 28 DAYS (f'c) OF 4000 PSI.
3. ALL EXTERIOR CONCRETE, BUILDING FOUNDATIONS AND CONCRETE SUBJECT TO FREEZE-THAW SHALL HAVE 4% TO 7% AIR CONTENT BY VOLUME MEASURED IN ACCORDANCE WITH ASTM C231. AIR ENTRAINING ADMIXTURES SHALL CONFORM TO ASTM C260. THE SLUMP SHALL NOT EXCEED 4 INCHES MEASURED IN ACCORDANCE WITH ASTM C143.
4. REINFORCING STEEL SHALL CONFORM TO ASTM A615 GRADE 60. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.
5. SUBMIT SHOP DRAWINGS OF THE REINFORCEMENT BARS PREPARED IN ACCORDANCE WITH ACI 315, DETAILS AND DETAILING OF CONCRETE REINFORCEMENT.
6. FOR ALL EXPOSED CONCRETE PROVIDE CLASS 1 (PLASTIC PROTECTED) BAR SUPPORTS AND SPACERS IN ACCORDANCE WITH THE ACI 315 DETAILING MANUAL.
7. EXTEND ALL SLAB AND BEAM REINFORCEMENT INTO THE SUPPORT IN ACCORDANCE WITH ACI CODE. IF SUCH EXTENSIONS ARE NOT OBTAINABLE, THE BAR SHALL TERMINATE WITH STANDARD HOOK.
8. WELDING OF REINFORCING BARS SHALL NOT BE PERMITTED.
9. NO CALCIUM CHLORIDE WILL BE USED IN CONCRETE.
10. DUSTING WITH ANY MATERIAL TO ABSORB SURFACE WATER IS PROHIBITED.
11. CURING PROCEDURES IN ACCORDANCE WITH ACI 301 SHALL CONTINUE FOR A PERIOD OF AT LEAST 7 DAYS.
12. DO NOT MIX SALT, CHEMICALS OR OTHER FOREIGN MATERIALS WITH THE CONCRETE TO PREVENT FREEZING. MAINTAIN THE TEMPERATURE OF THE CONCRETE ABOVE 50 DEGREES FAHRENHEIT FOR FIVE DAYS AFTER PLACEMENT.
13. PROVIDE RIBBED WATERSTOP AT ALL CONSTRUCTION JOINTS IN WALLS AND SLABS LISTED BELOW:
 - A. ALL STRUCTURAL SLABS BELOW GRADE.
 - B. WALLS SEPARATING DRY WORKING AREA FROM EARTH OR WATER.
 - C. ALL EXTERIOR WALLS OF WATER RETAINING STRUCTURES.
14. UNLESS SHOWN OTHERWISE, CHAMFER ALL EXPOSED EDGES OF CONC 1/4" INCH.
15. CONCRETE BEAMS AND ADJACENT SLABS SHALL BE POURED MONOLITH SO THAT NO HORIZONTAL CONSTRUCTION JOINTS ARE PROVIDED, EXC WHERE SHOWN ON DRAWINGS.
16. SEE MECHANICAL, ELECTRICAL, ARCHITECTURAL, AND PIPING DRAWINGS, EQUIPMENT MANUFACTURER'S SHOP DRAWINGS FOR LOCATION OF HOLES, OPENINGS, RECESSES IN SLABS AND WALLS, CASTINGS, ANCHOR ETC.

GA

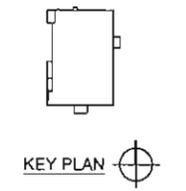
INSITE CONSULTING ARCHITECTS

INSITE Consulting Architects
115 E. Main, STE 200
Madison, Wisconsin 53703
608-204-4225
608-267-1722 (fax)
info@icars.com

Kenosha County
Administration Building
1010 56th Street
Kenosha, WI 53140

Clark Dietz
ENGINEERS

EXTERIOR RESTORATION PROJECT AT THE
KENOSHA COUNTY ADMINISTRATION BUILDING
KENOSHA, WI

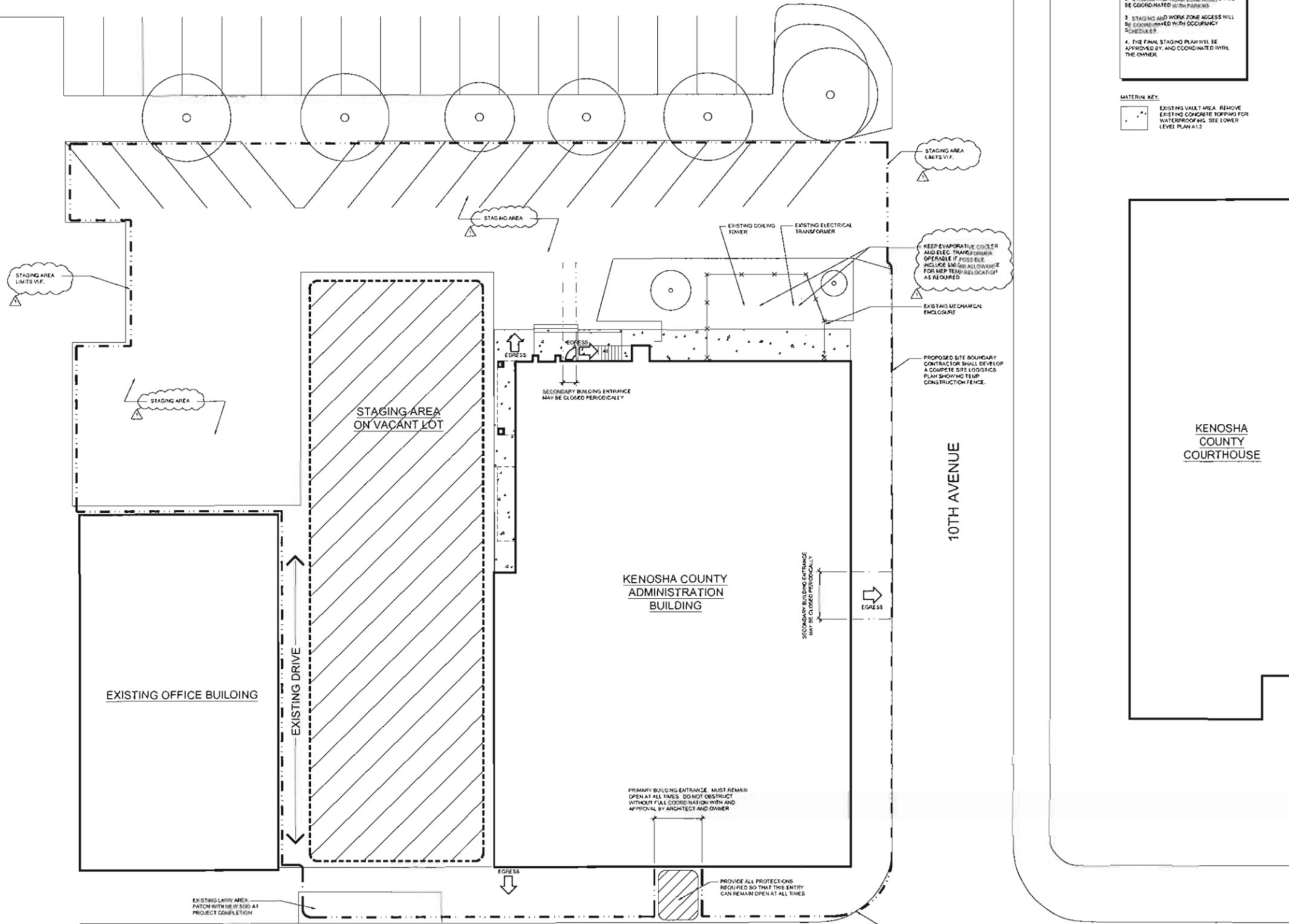


IGA NO. KCAB 13-001

ISSUE FOR BID 12-15-13

C-1

PARKING FOR KENOSHA COUNTY PUBLIC SAFETY BUILDING - DO NOT USE



GENERAL NOTES

1. THE FINAL STAGING PLAN WILL BE DEVELOPED THROUGH A COLLABORATIVE PROCESS WITH THE GENERAL CONTRACTOR THAT IS AWARDED THE PROJECT AND THE ARCHITECT
2. STAGING AND WORK ZONE ACCESS WILL BE COORDINATED WITH PARKING
3. STAGING AND WORK ZONE ACCESS WILL BE COORDINATED WITH OCCUPANCY SCHEDULES
4. THE FINAL STAGING PLAN WILL BE APPROVED BY AND COORDINATED WITH THE OWNER

MATERIAL KEY

- EXISTING VAULT AREA - REMOVE
- EXISTING CONCRETE TOPPING FOR WATERPROOFING - SEE LOWER LEVEL PLAN A1.2



CA Consulting Architects
 115 E. Main Street, 200
 Kenosha, Wisconsin 53103
 Kenosha, WI 53103
 908.204.4822
 Kenosha, WI 53103
 info@caarc.com

Kenosha County
 Administration Building
 1016 56th Street
 Kenosha, WI 53140

EXTERIOR RESTORATION PROJECT AT THE
 KENOSHA COUNTY ADMINISTRATION BUILDING
 KENOSHA, WI

- ▲ ADDENDUM 1 1/9/14
- ▲ ADDENDUM 2 1/15/14
- ▲ ADDENDUM 4 1/20/14
- ▲ ADDENDUM 5 1/24/14



KEY PLAN

CA NO. KCAB 13-001

SITE STAGING PLAN

CONSTRUCTION 03/06/14

A1.1

SITE PLAN

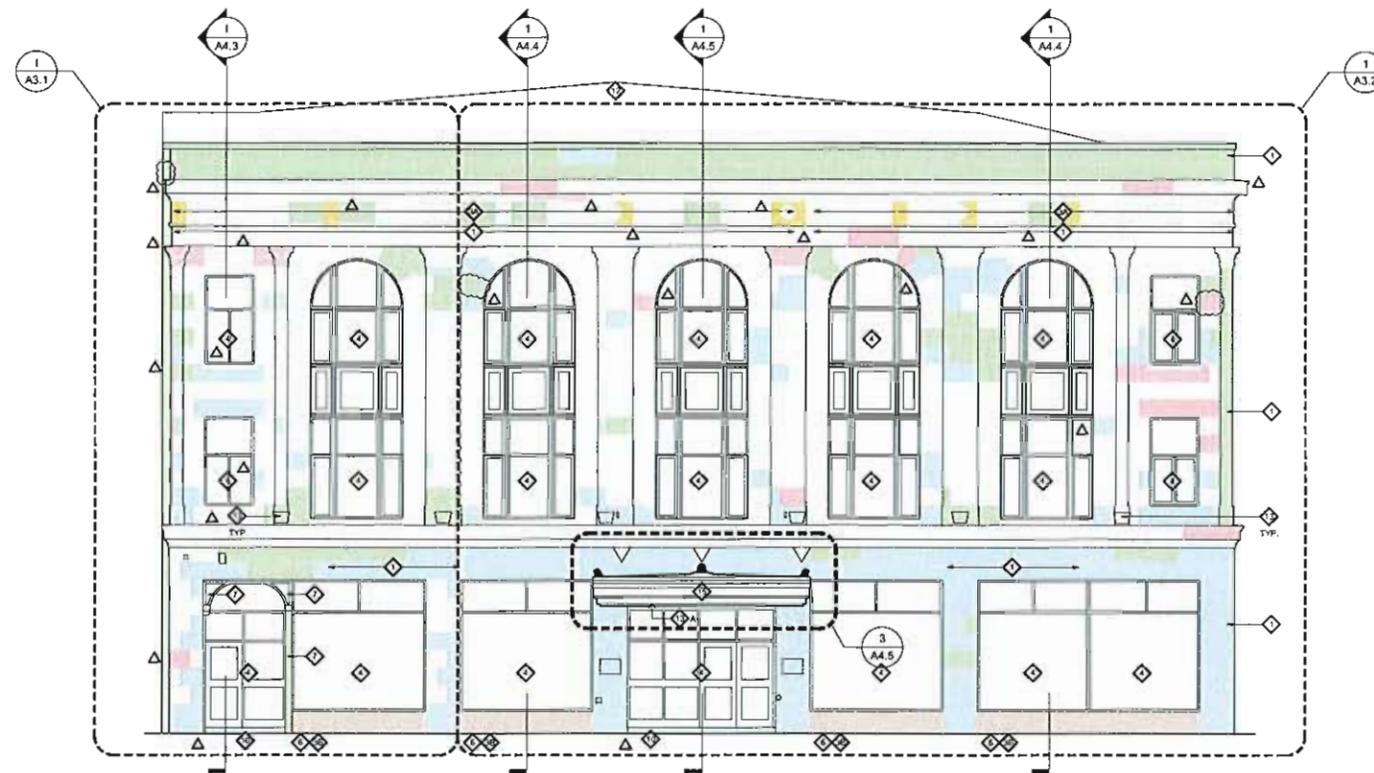
56TH STREET

1 SITE STAGING PLAN
 A1.1 SCALE: 1" = 10'-0"

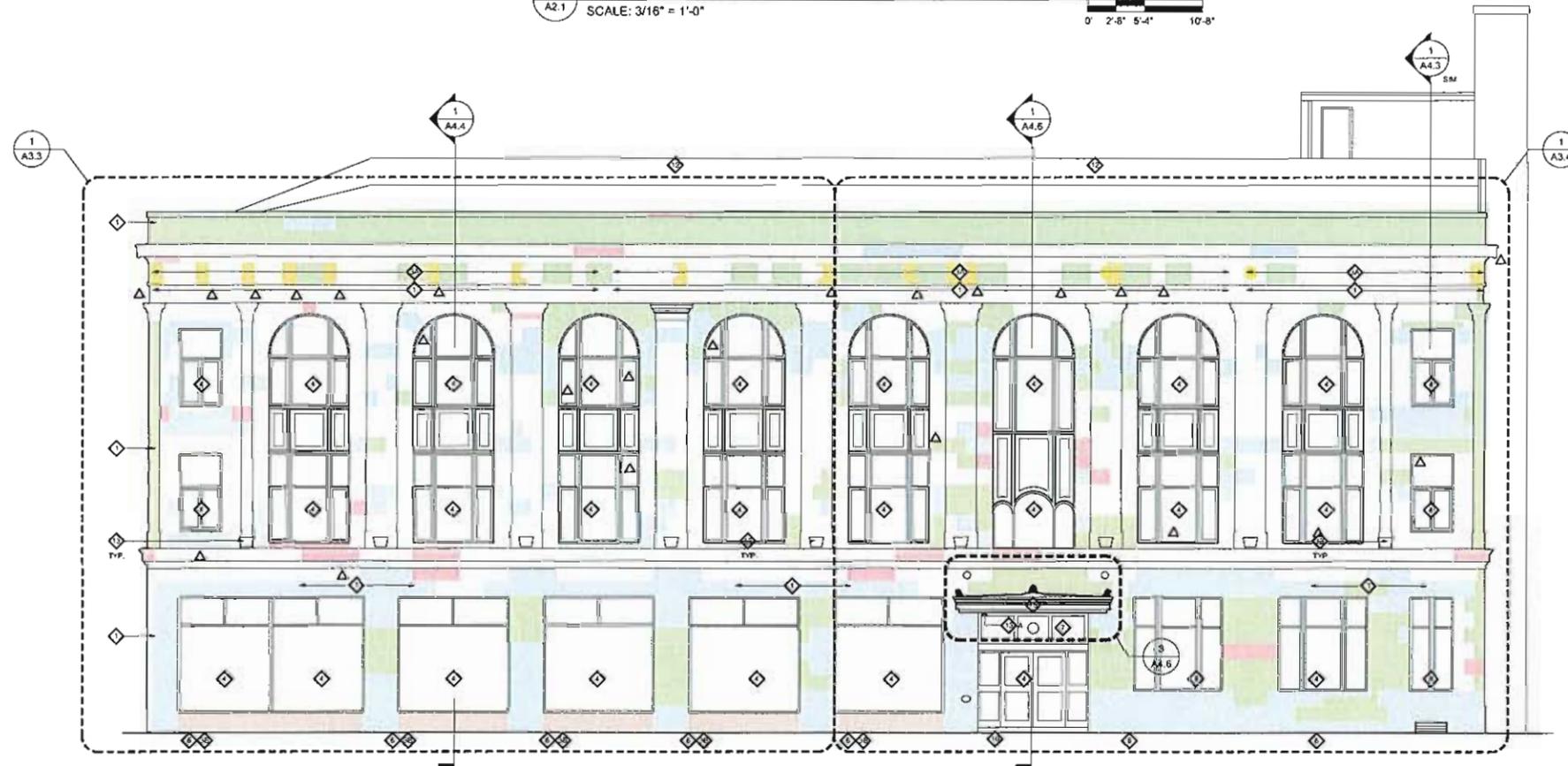


56TH STREET

PROPOSED SITE BOUNDARY - CONTRACTOR SHALL DEVELOP A COMPLETE SITE LOGISTICS PLAN SHOWING TEMP. CONSTRUCTION FENCE.



1 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



2 EAST ELEVATION
SCALE: 3/16" = 1'-0"

KEYED DESIGN NOTES

- ◆ LESTONITE: ACCORDING TO THE DRAWINGS REMOVE, RESTORE, REPLACE, AND REPOINT EXISTING LESTONITE.
- ◆ BRICK: 10% OF THE OUTER WYTHE BRICK SHALL BE REPLACED. REPLACE ALL BRICK WHERE INDICATED BY DETAILS. RE-POINT MASONRY AS REQUIRED ON A UNIT-BY-UNIT BASIS.
- ◆ TERRACOTTA: ALL OF THE TERRACOTTA AT THE BUILDING CORNICE SHALL BE THOROUGHLY INSPECTED AND REPAIRED AS REQUIRED.
- ◆ THE TERRACOTTA AT THE BASE OF THE BUILDING ON THE SOUTH AND EAST ELEVATIONS WILL BE REPLACED WITH NEW BLACK GRANITE TO MATCH THE EXISTING TERRACOTTA.
- ◆ WINDOW SEALS: ALL OF THE BUILDING SEALS WILL BE REPLACED INCLUDING THE WINDOW FRAMES AND THE GLASS-FRAME CONNECTION WILL BE WET SEALED. CONTRACTORS TO RUSH ALL WINDOWS AT THE END OF THE PROJECT.
- ◆ REMOVE EXISTING H.M. DOOR AND FRAME. REPLACE WITH NEW ALUMINUM AND GLASS DOOR AND FRAME. PROVIDE NEW 1" LAMINATED GLASS LITES AT DOOR. PROVIDE NEW CODE COMPLIANT EXIT HARDWARE WITH RELEASE DEVICE (NO DOGGING) + ELECTRIC STRIKE. REMOVE AND RE-SET EXISTING GROUND BENDER. RECONNECT TO NEW SYSTEM. (1) LOCATION
- ◆ REMOVE EXISTING H.M. DOOR AND FRAME. REPLACE WITH NEW H.M. DOOR AND FRAME. PRIME AND PAINT. PROVIDE NEW CODE COMPLIANT EXIT HARDWARE. (3) LOCATIONS.
- ◆ WATERPROOFING: WATERPROOFING OF ALL SUBGRADE FOUNDATION WALLS AND VAULT AREAS IS REQUIRED SINCE THERE HAVE BEEN A NUMBER OF LEAKS INTO THE OCCUPIED SPACES OF THE BUILDING'S BASEMENT FOR YEARS. ALL FOUNDATIONS WILL BE REPOSED DOWN TO THE FOOTINGS AND A POSITIVE SOLE WATERPROOFING SYSTEM WILL BE INSTALLED.
- ◆ COPPER PANEL RESTORATION ALLOWANCE: VARIOUS COPPER DETAILS INCLUDING DECORATIVE ARCH ELEMENTS AND SPINNERS AT THE EAST ENTRY WILL BE RESTORED. COORDINATE DETAILS OF RESTORATION WITH ARCHITECT.
- ◆ CONCRETE: ALL OF THE EXPOSED CONCRETE VERTICAL SURFACES SHALL BE INSPECTED APPROPRIATELY 15% OF THE CONCRETE WALL SURFACES WILL REQUIRE MINIMAL RESTORATION.
- ◆ STUCCO: THE STUCCO AT THE BAND SHELL SUPPORT AREA SHALL BE COMPLETELY REMOVED AND REPLACED WITH NEW EXTERIOR NATURAL HYDRAULIC LINE STUCCO SYSTEM.
- ◆ STEPS/TAIRS: THE STEPS LEADING TO THE ENTRY ON THE SOUTH AND EAST SIDES WILL BE RESTORED WITH NEW CONCRETE AND DR. STONE.
- ◆ NORTH ENTRY: THE NORTH ENTRY WILL BE REDESIGNED AND RECONSTRUCTED TO INCLUDE A NEW CONCRETE RAMP AND COVERED ENTRY.
- ◆ ROOF AREAS: ALL OF THE ROOF AREAS WILL BE REPLACED WITH NEW ENERGY EFFICIENT AND HIGH PERFORMANCE LOW MAINTENANCE ROOF MEMBRANE SYSTEMS. THE NEW ROOF AREAS INCLUDED WILL BE THE SOUTH CANOPY, THE EAST CANOPY, THE MAIN ROOF, THE AUXILIARY ROOFS ON THE WEST SIDE OF THE BUILDING AND THE ROOF AT THE NORTHWEST STAIR TOWER.
- ◆ REMOVE EXISTING BUILDING UP LIGHTING AND ASSOCIATED ELECTRICAL ON SOUTH AND EAST FACADE. REMOVE EXPOSED CONDUIT. TERMINATE ELECTRICAL UTILITY CONNECTION. BUILDING ORNAMENTAL LIGHTING BY OTHERS.
- ◆ REMOVE EXISTING LIGHTING AND TEMPORARILY DISCONNECT EXISTING POWER. PROVIDE CONCEALED CONDUIT AND ELECTRICAL CONNECTION TO NEW CANOPY LIGHTING. SEE CANOPY PLANS.
- ◆ HVAC: HEAT PUMP. ROOFTOP HVAC UNIT (HEAT PUMP) REPLACEMENT. SEE MECHANICAL.
- ◆ CANOPY RESTORATION: THE EAST CANOPY WILL BE RESTORED AND RE-GLAZED TO ITS ORIGINAL CONFIGURATION. THE SOUTH CANOPY WILL BE RESTORED AND RE-GLAZED TO BETTER INTEGRATE IT WITH THE HISTORIC FABRIC OF THE ORIGINAL FACADE.
- ◆ A NEW NORTH CANOPY AND CANOPY STRUCTURE WILL BE ADDED IN ALTERNATE B.C.
- ◆ NEW CANOPY DOWN LIGHTS: BY SHORTLY 4" CIRCLED RECESSED ALUMINUM DOWN LIGHT WITH 80' CUT OFF SPECIALLY DESIGNED FOR LED TECHNOLOGY. TWO STAGE REFLECTION SYSTEM PRODUCES SMOOTH ILLUMINATION WITH EXCELLENT LIGHT CONTROL AND LOW AMBIENCE RESISTANCE. DIMMABLES WITH COLOR TEMPERATURES OF 2700K, 3000K, 3500K. RFP# AVAILABLE IN 80 OR 90 GR. SUITABLE FOR COMMERCIAL CONSTRUCTION AND EXCEEDS HIGH EFFICACY REQUIREMENTS WITH DESIGNATED TRIMS FOR 124 ENERGY STAR QUALIFIED TRIM AS SELECTED BY ARCHITECT.

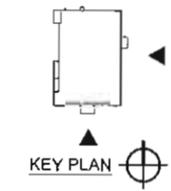


InSite Consulting Architecture
115 E. Main / STE 200
Kenosha, WI 53102
(920) 204-0225
(920) 291-1722 (fax)
info@isarc.com

Kenosha County
Administration Building
1010 5th Street
Kenosha, WI 53140

EXTERIOR RESTORATION PROJECT AT THE
KENOSHA COUNTY ADMINISTRATION BUILDING
KENOSHA, WI

- ▲ ADDENDUM 1 1/9/14
- ▲ ADDENDUM 2 1/15/14
- ▲ ADDENDUM 4 1/20/14
- ▲ ADDENDUM 5 1/24/14



CSA NO. KCAB 13-001

EXTERIOR ELEVATIONS

CONSTRUCTION 03/06/14

A2.1

OVERALL ELEVATIONS

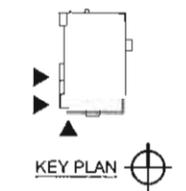


InSite Consulting Architects
 115 E. Main / 512 200
 Kenosha, WI 53102
 920-208-0025
 920-208-1122 (fax)
 info@insite.com

Kenosha County
 Administration Building
 1010 Main Street
 Kenosha, WI 53140

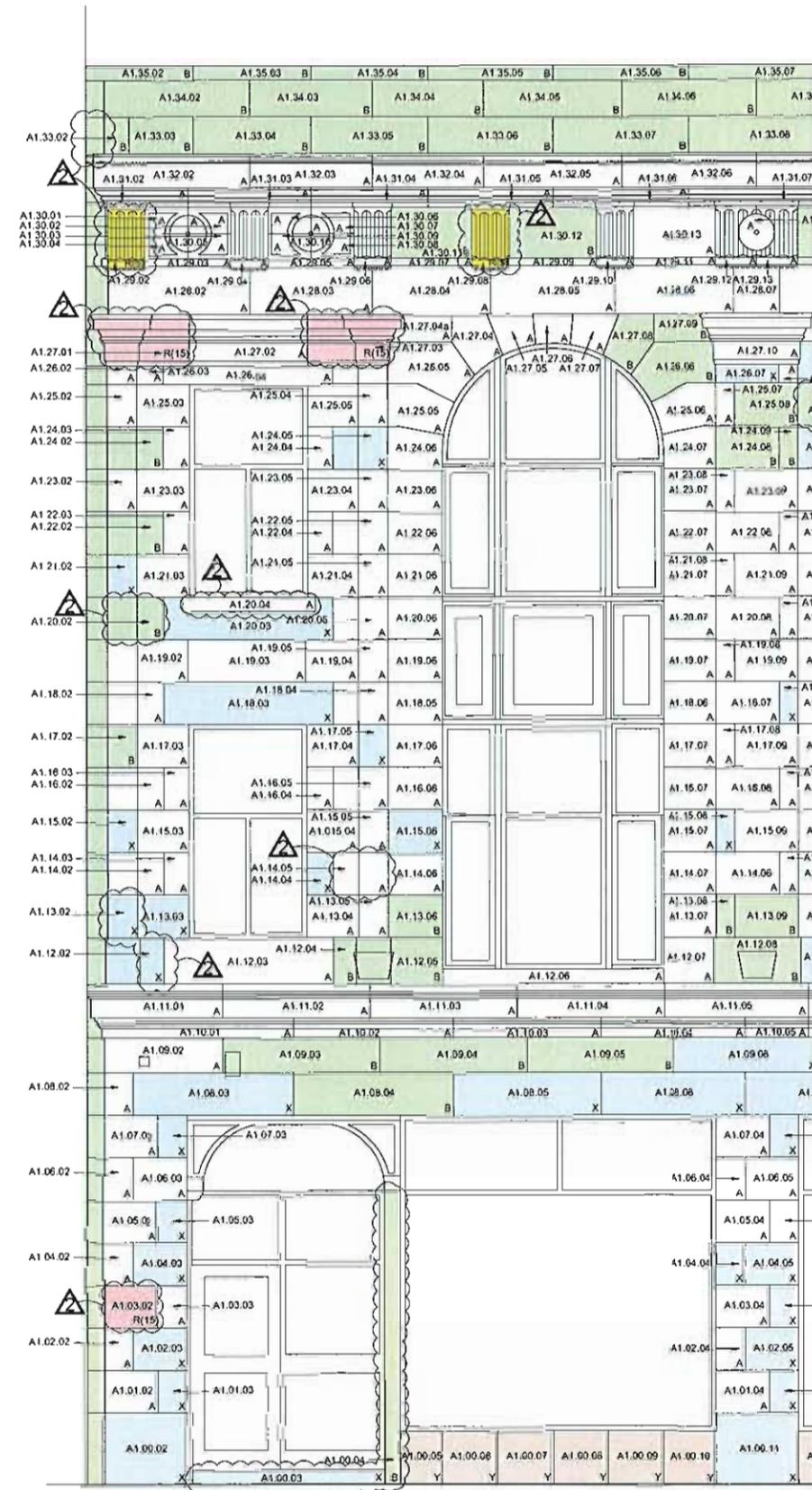
EXTERIOR RESTORATION PROJECT AT THE
 KENOSHA COUNTY ADMINISTRATION BUILDING
 KENOSHA, WI

- ▲ ADDENDUM 1 1/9/14
- ▲ ADDENDUM 2 1/15/14
- ▲ ADDENDUM 4 1/20/14
- ▲ ADDENDUM 5 1/24/14

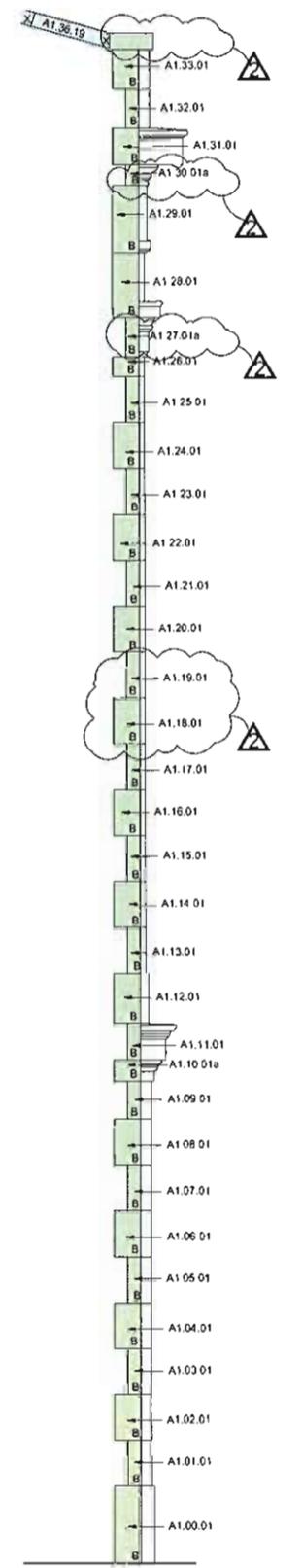


ICA NO. KCAB 13.001

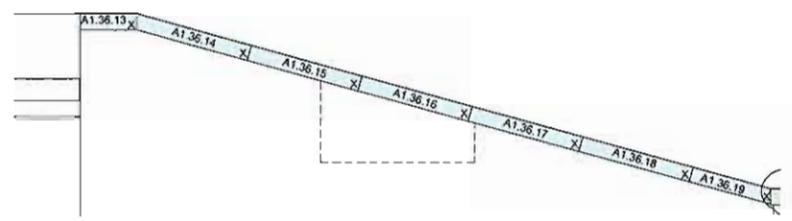
ENLARGED EXTERIOR ELEVATIONS
 CONSTRUCTION 03/06/14
A3.1
 PARTIAL ELEVATIONS



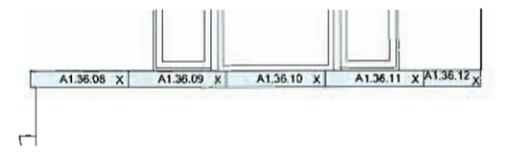
1 PARTIAL SOUTH ELEVATION
 A3.1 SCALE: 1/2" = 1'-0"



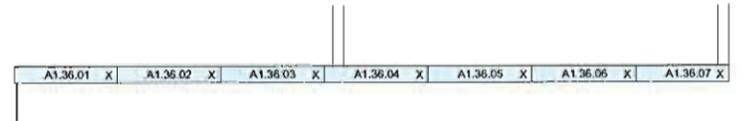
2 PARTIAL WEST ELEVATION
 A3.1 SCALE: 1/2" = 1'-0"



3 PARTIAL WEST ELEVATION (CONT'D)
 A3.1 SCALE: 1/2" = 1'-0"



4 PARTIAL WEST ELEVATION
 A3.1 SCALE: 1/2" = 1'-0"



5 PARTIAL WEST ELEVATION
 A3.1 SCALE: 1/2" = 1'-0"

- LEGEND:
- REHAB CODE A EXISTING TO REMAIN IN PLACE AND BE PROPERLY TUCKPOINTED AS SPECIFIED
 - REHAB CODE B REMOVE STONE AND RESET EXISTING LIMESTONE
 - REHAB CODE R REPAIR EXISTING STONE IN PLACE. PARENTHETICAL NUMBER () INDICATES MINIMUM SQUARE INCH SURFACE AREA OF REPAIR, WHERE INDICATED
 - REHAB CODE X REMOVE AND REPLACE EXISTING LIMESTONE WITH NEW, MATCHING EXISTING IN ALL WAYS

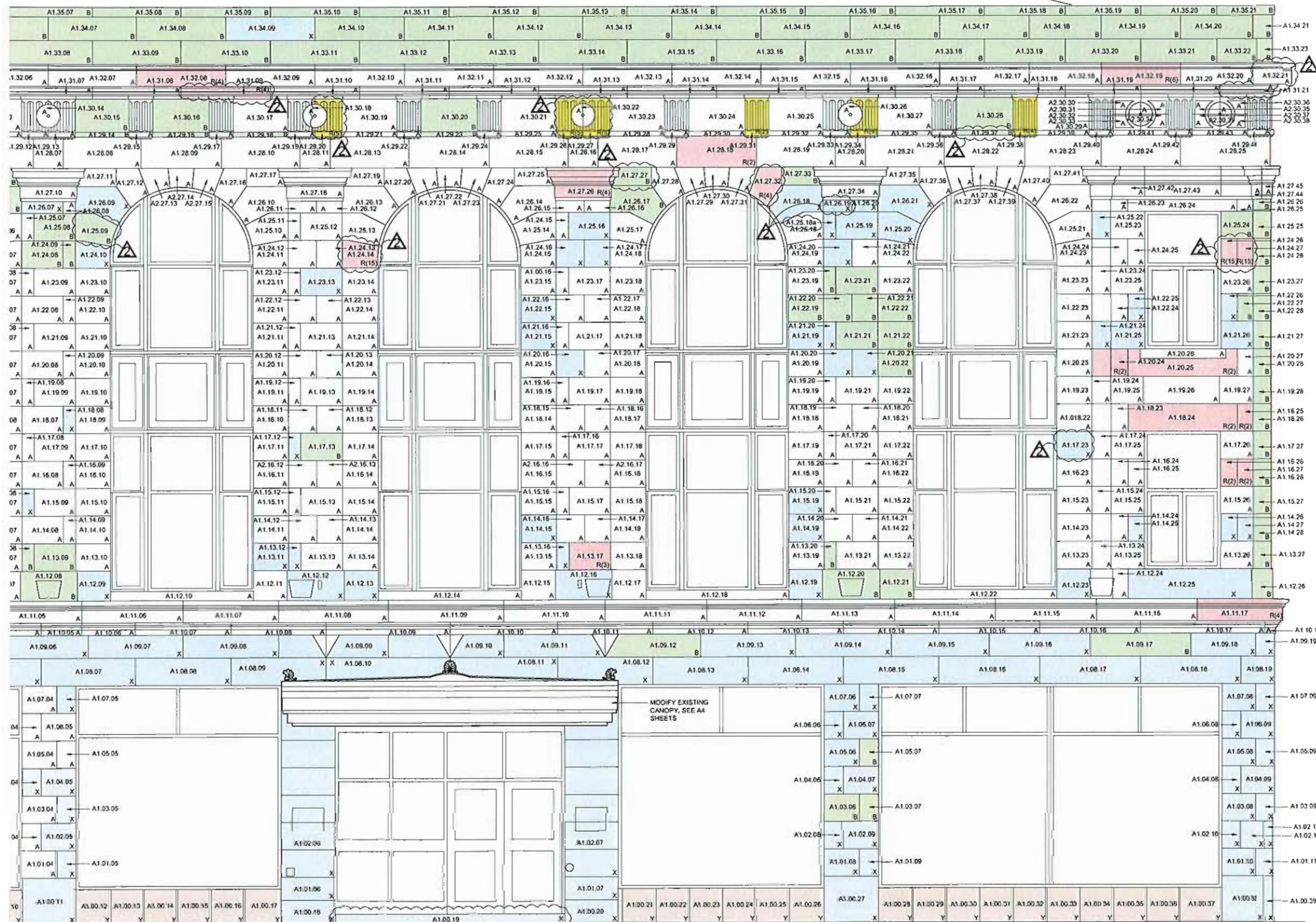
- REHAB CODE R REPAIR EXISTING TERRACOTTA IN PLACE. PARENTHETICAL NUMBER () INDICATES MINIMUM SQUARE INCH SURFACE AREA OF REPAIR, WHERE INDICATED
- REHAB CODE Y TERRACOTTA AT THE BASE OF THE BUILDING ON THE SOUTH AND EAST ELEVATIONS WILL BE REPLACED WITH NEW BLACK GRANITE TO MATCH THE EXISTING TERRACOTTA.



InSite Consulting Architects
115 E. Frank / STE 200
Kenosha, WI 53102
(920) 394-2995
info@insitearch.com
www.insitearch.com

Kenosha County
Administration Building
115 E. Frank / STE 200
Kenosha, WI 53102

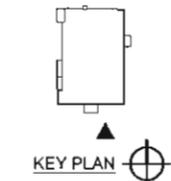
EXTERIOR RESTORATION PROJECT AT THE
KENOSHA COUNTY ADMINISTRATION BUILDING
KENOSHA, WI



1 PARTIAL SOUTH ELEVATION
A3.2 SCALE: 1/2" = 1'-0"

- LEGEND.
- REHAB CODE A. EXISTING TO REMAIN IN PLACE AND BE PROPERLY TUCKPOINTED AS SPECIFIED
 - REHAB CODE B. REMOVE, STORE AND RESET EXISTING LIMESTONE
 - REHAB CODE R. REPAIR EXISTING STONE IN PLACE. PARENTHETICAL NUMBER (L) INDICATES MINIMUM SQUARE INCH SURFACE AREA OF REPAIR, WHERE INDICATED
 - REHAB CODE X. REMOVE AND REPLACE EXISTING LIMESTONE WITH NEW, MATCHING EXISTING IN ALL WAYS
 - REHAB CODE R. REPAIR EXISTING TERRAZZOTA SURFACE. PARENTHETICAL NUMBER (L) INDICATES MINIMUM SQUARE INCH SURFACE AREA OF REPAIR, WHERE INDICATED
 - REHAB CODE Y. TERRAZZOTA AT THE BASE OF THE BUILDING ON THE SOUTH AND EAST ELEVATIONS WILL BE REPAIRED WITH NEW BLACK GRANITE TO MATCH THE EXISTING TERRAZZOTA

- △ ADDENDUM 1 1/5/14
- △ ADDENDUM 2 1/15/14
- △ ADDENDUM 4 1/20/14
- △ ADDENDUM 5 1/24/14



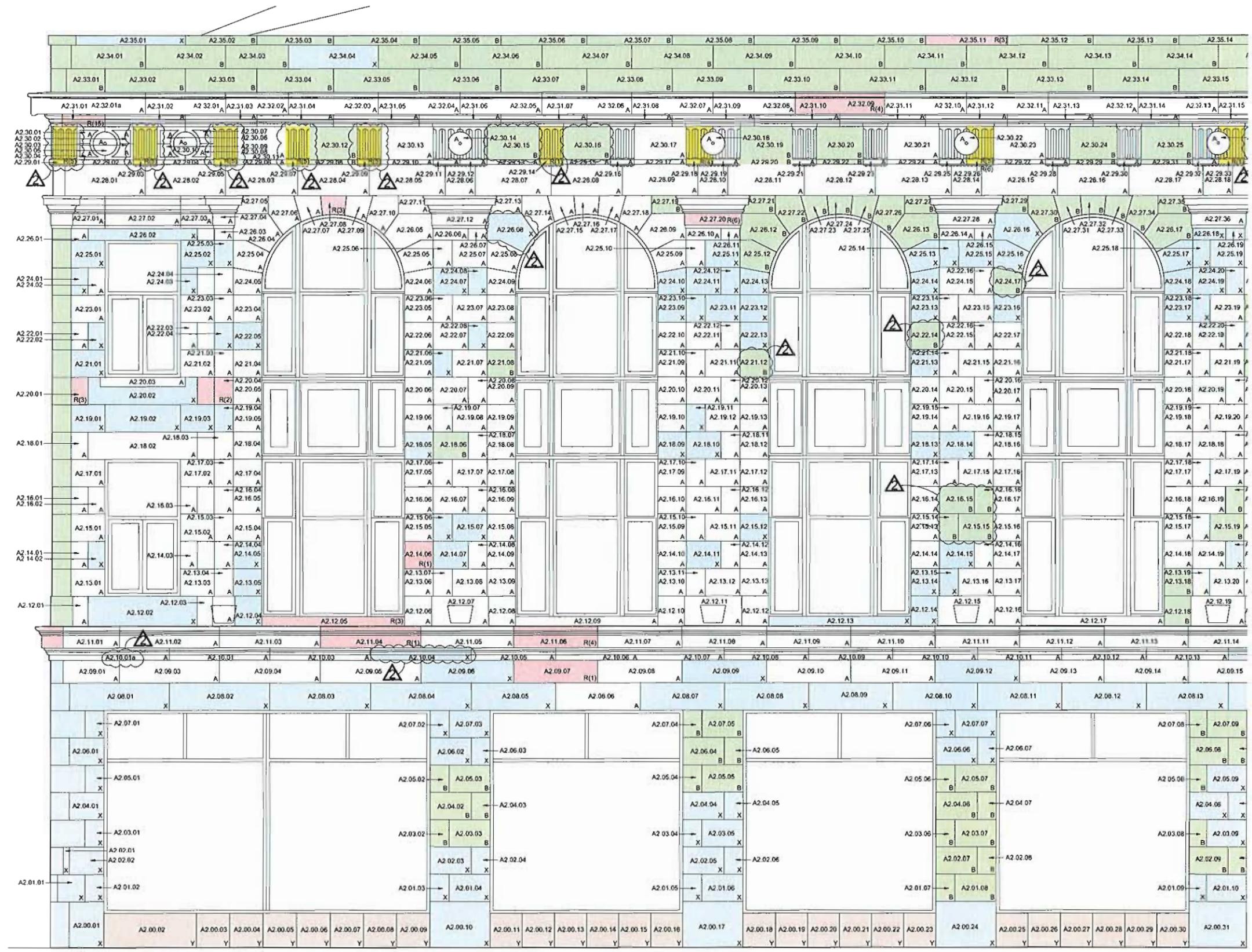
04 MO XGAB 13-001
ENLARGED EXTERIOR ELEVATIONS
CONSTRUCTION 03/06/14
A3.2
PARTIAL ELEVATIONS



InSite Consulting Architects
115 E Main / STE 200
Kenosha, WI 53102-5103
608-394-8835
608-394-1382 (fax)
www.itsac.com

Kenosha County
Administration Building
1010 56th Street
Kenosha, WI 53140

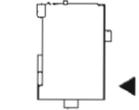
EXTERIOR RESTORATION PROJECT AT THE
KENOSHA COUNTY ADMINISTRATION BUILDING
KENOSHA, WI



1 PARTIAL EAST ELEVATION
A3.3 SCALE: 1/2" = 1'-0"

- LEGEND:
- REHAB CODE A EXISTING TO REMAIN IN PLACE AND BE PROPERLY TUCKPOINTED AS SPECIFIED
 - REHAB CODE B REMOVE, STORE AND RESET EXISTING LIMESTONE
 - REHAB CODE R REPAIR EXISTING STONE IN PLACE. PARENTHEetical NUMBER () INDICATES MINIMUM SQUARE INCH SURFACE AREA OF REPAIR, WHERE INDICATED.
 - REHAB CODE R REPAIR EXISTING TERRACOTTA IN PLACE. PARENTHEtical NUMBER () INDICATES MINIMUM SQUARE INCH SURFACE AREA OF REPAIR, WHERE INDICATED.
 - REHAB CODE Y TERRACOTTA AT THE BASE OF THE BUILDING ON THE SOUTH AND EAST ELEVATIONS WILL BE REPLACED WITH NEW BLACK GRANITE TO MATCH THE EXISTING TERRACOTTA.
 - REHAB CODE X REMOVE AND REPAIR EXISTING LIMESTONE WITH NEW, MATCHING EXISTING IN ALL WAYS

- ADDENDUM 1 1/5/14
- ADDENDUM 2 1/15/14
- ADDENDUM 4 1/20/14
- ADDENDUM 5 1/24/14



KEY PLAN

ICA NO. KCAB 13-001

ENLARGED EXTERIOR ELEVATIONS

CONSTRUCTION 02/05/14

A3.3

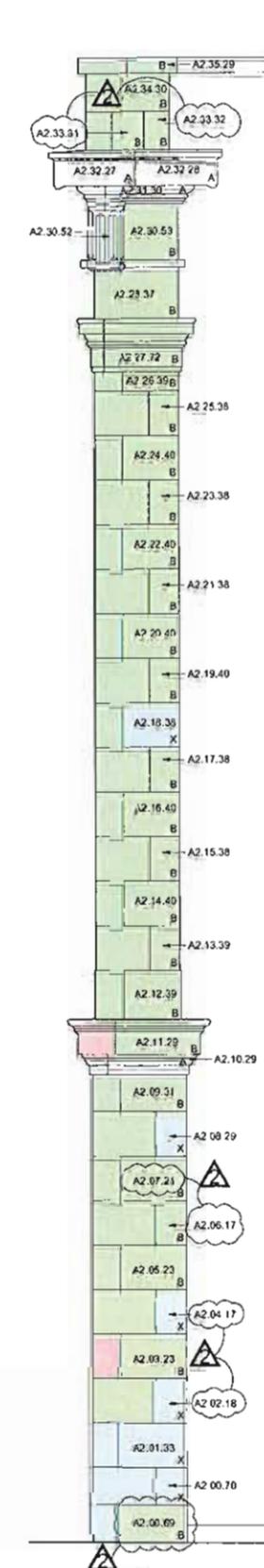
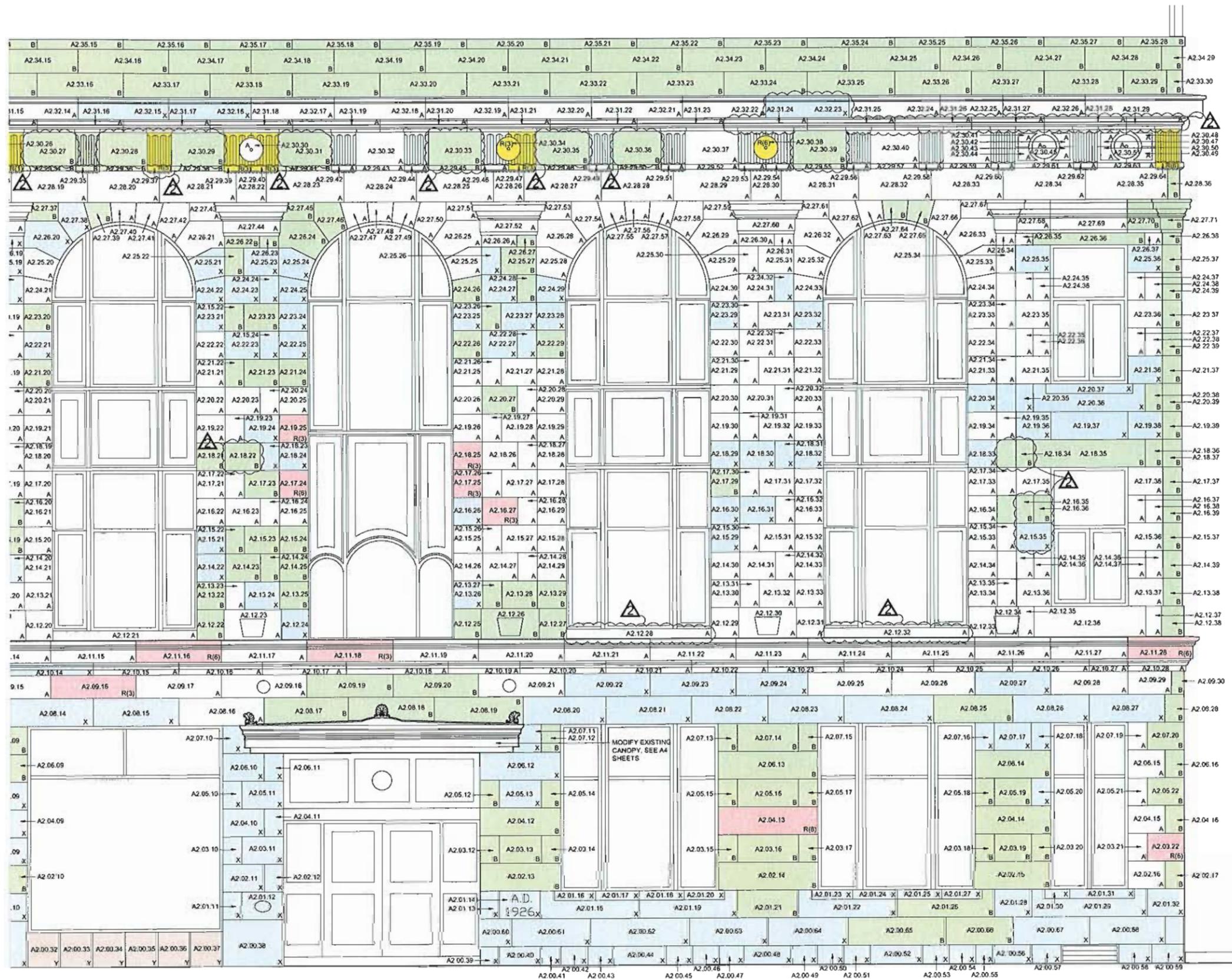
PARTIAL ELEVATIONS



InSite Consulting Architects
 115 E. Main / STE 200
 Kenosha, Wisconsin 53102
 (920) 394-0025
 866-257-1762 (fax)
 info@insite.com

Wisconsin County Administration
 2000 W. Wisconsin Ave
 Kenosha, WI 53140

EXTERIOR RESTORATION PROJECT AT THE
 KENOSHA COUNTY ADMINISTRATION BUILDING
 KENOSHA, WI

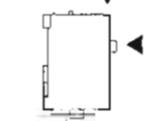


1 PARTIAL EAST ELEVATION (CONT'D)
 SCALE: 1/2" = 1'-0"

2 PARTIAL NORTH ELEVATION
 SCALE: 1/2" = 1'-0"

- LEGEND:
- REHAB CODE A EXISTING TO REMAIN IN PLACE AND BE PROPERLY TOUCHUPPED AS SPECIFIED
 - REHAB CODE B REMOVE, STORE AND RESET EXISTING LIMESTONE
 - REHAB CODE R REPAIR EXISTING STONE IN PLACE, PARENTHETICAL NUMBER () INDICATES MINIMUM SQUARE INCH SURFACE AREA OF REPAIR WHERE INDICATED
 - REHAB CODE X REMOVE AND REPAIR EXISTING LIMESTONE WITH NEW, MATCHING EXISTING IN ALL WAYS
 - REHAB CODE R REPAIR EXISTING TERRAZZOTA IN PLACE, PARENTHETICAL NUMBER () INDICATES MINIMUM SQUARE INCH SURFACE AREA OF REPAIR WHERE INDICATED
 - REHAB CODE Y TERRAZZOTA AT THE BASE OF THE BUILDING ON THE SOUTH AND EAST ELEVATIONS WILL BE REPLACED WITH NEW BLACK GRANITE TO MATCH THE EXISTING TERRAZZOTA

- ▲ ADDENDUM 1 1/15/14
- ▲ ADDENDUM 2 1/15/14
- ▲ ADDENDUM 4 1/20/14
- ▲ ADDENDUM 5 2/24/14



KEY PLAN

CA NO. K248 13-001

ENLARGED EXTERIOR ELEVATIONS

CONSTRUCTION 03/06/14

A3.4

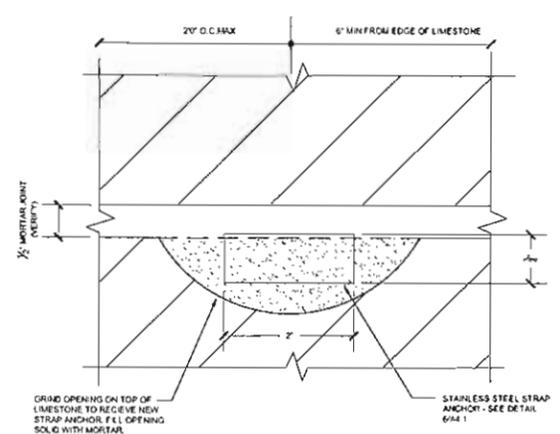
PARTIAL ELEVATIONS



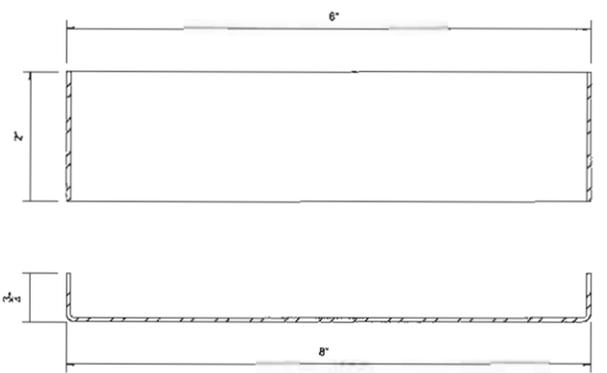
InSite Consulting Architects
115 E. Main / STE 200
Kenosha, WI 53102-5473
(262) 234-4844
(262) 234-1702 (fax)
l@insite.com

Kenosha County
Administration Building
1010 36th Street
Kenosha, WI 53140

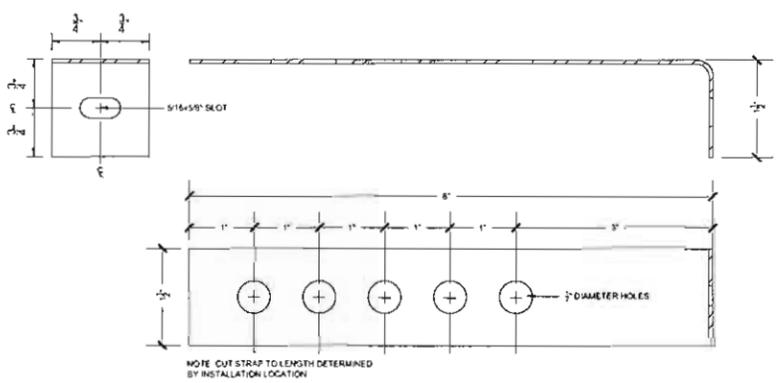
EXTERIOR RESTORATION PROJECT AT THE
KENOSHA COUNTY ADMINISTRATION BUILDING
KENOSHA, WI



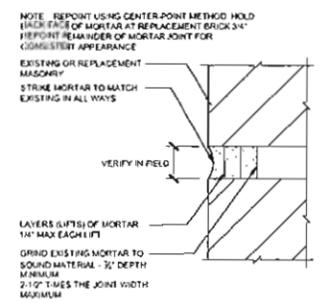
5 STAINLESS STEEL STRAP ANCHOR DETAIL
A4.1 SCALE: FULL SIZE



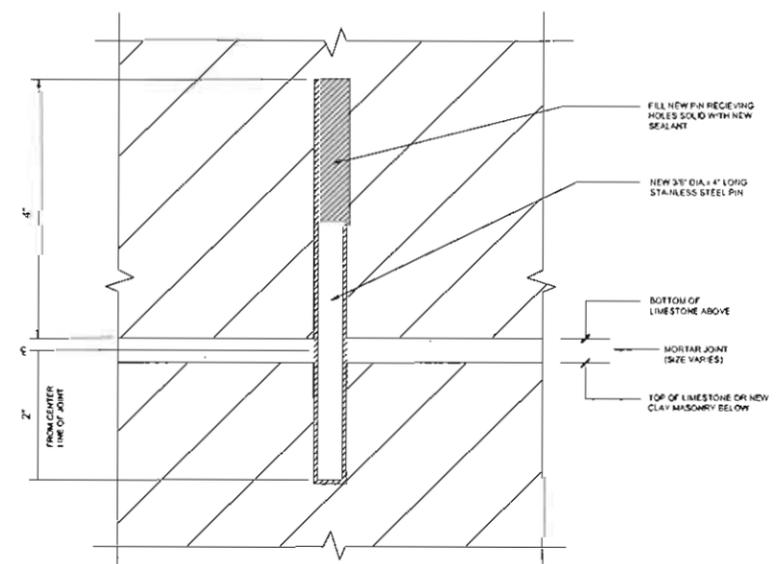
6 STAINLESS STEEL STRAP ANCHOR (12 GAUGE)
A4.1 SCALE: FULL SIZE



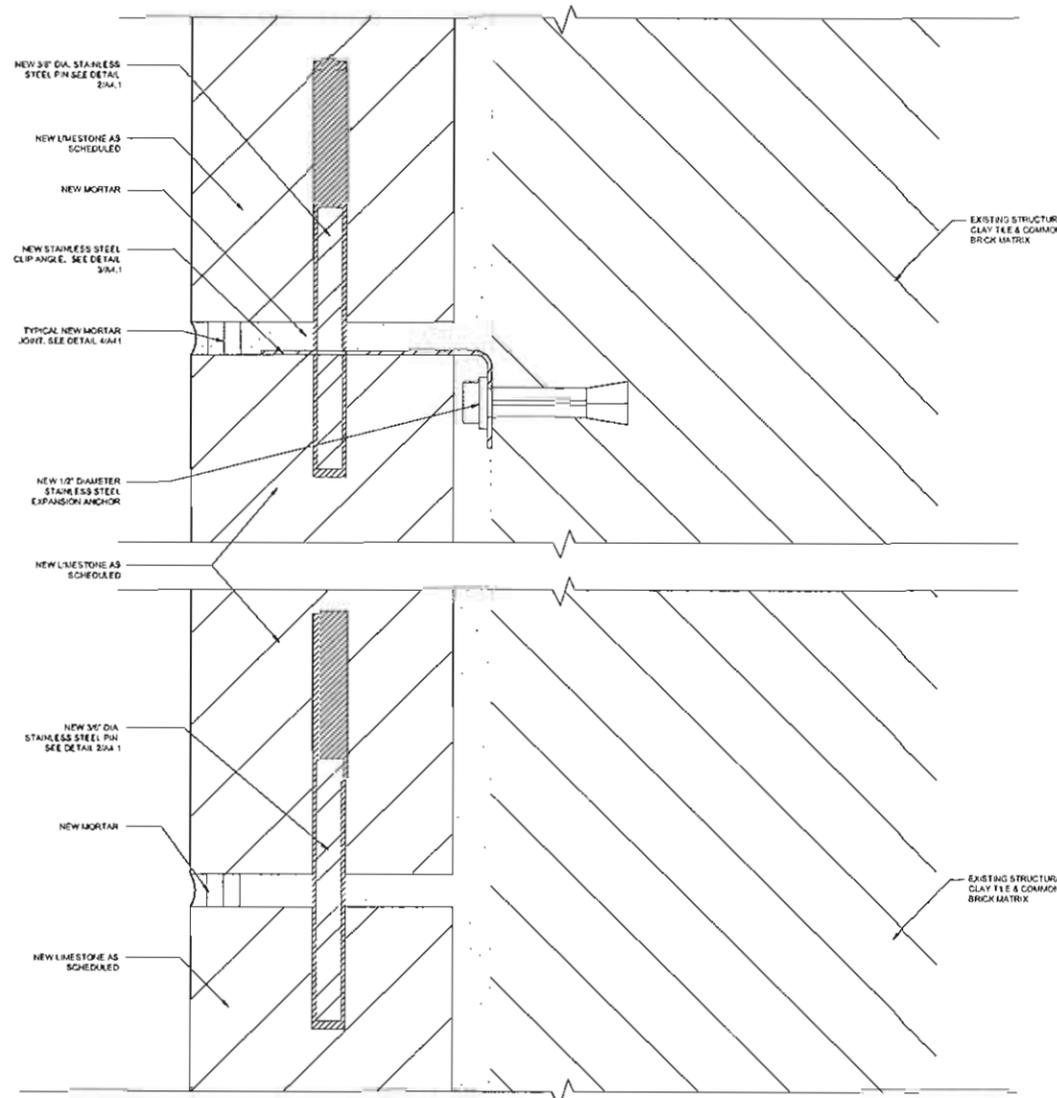
3 STAINLESS STEEL CLIP ANGLE (12 GAUGE)
A4.1 SCALE: FULL SIZE



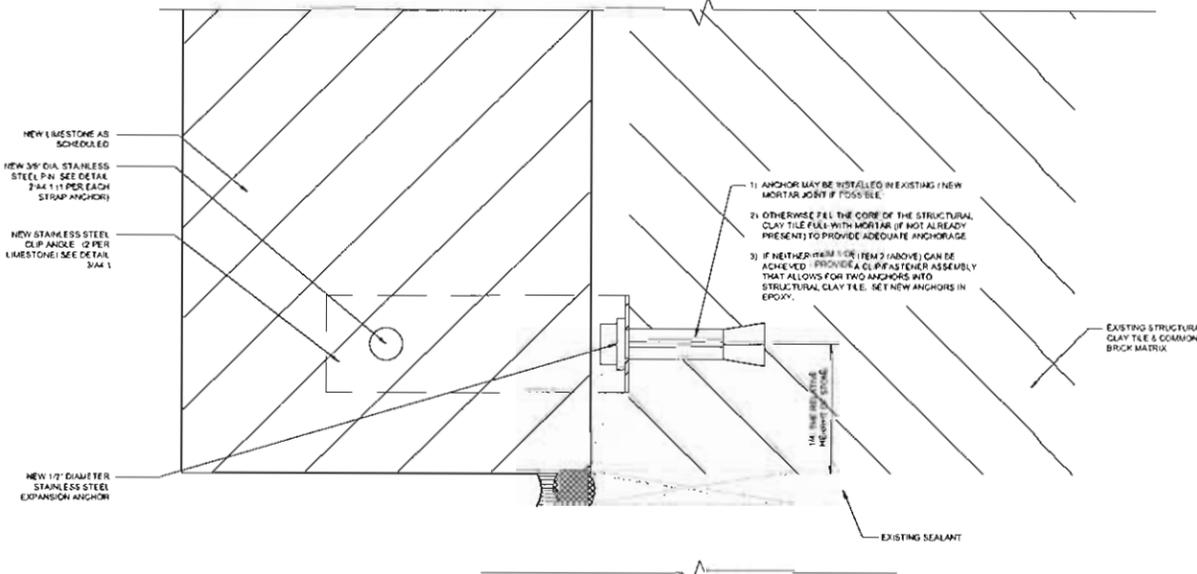
4 REPOINTING DETAIL (CENTER-POINT METHOD)
A4.1 SCALE: FULL SIZE



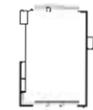
2 TYP. STAINLESS STEEL PIN DETAIL
A4.1 SCALE: FULL SIZE



1 STONE CLADDING - ATTACH NEW TO EXISTING
A4.1 SCALE: FULL SIZE



- ▲ ADDENDUM 1 1/9/14
- ▲ ADDENDUM 2 1/15/14
- ▲ ADDENDUM 4 1/20/14
- ▲ ADDENDUM 5 1/24/14



KEY PLAN

ICM NO. KCAE 13-001

DETAILS

CONSTRUCTION 03/06/14

A4.1

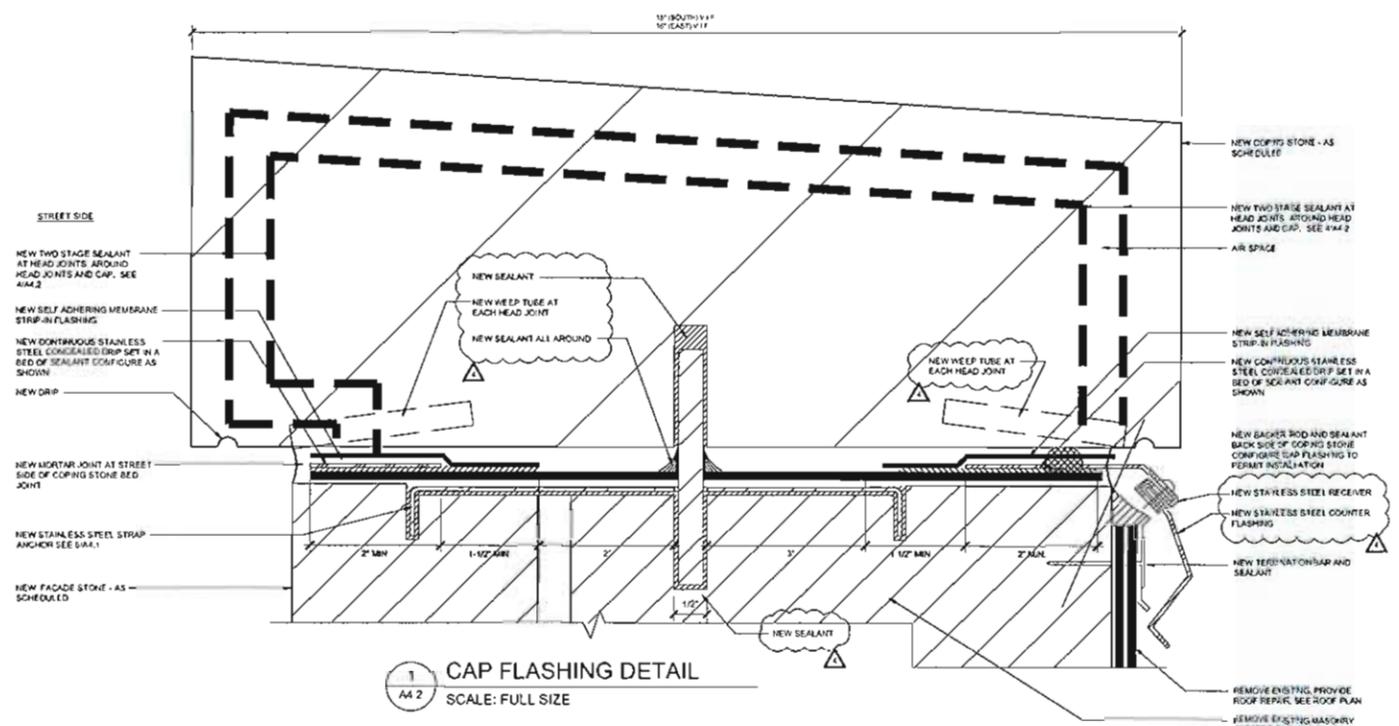
GENERAL DETAILS



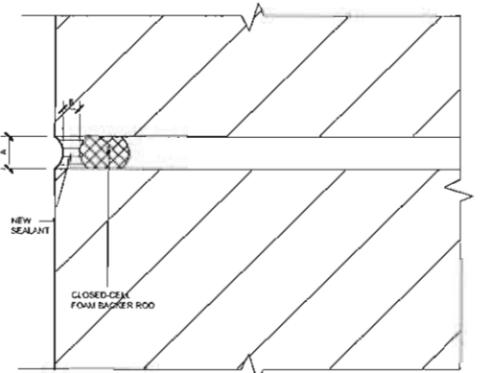
InSitu Consulting Architects
115 E. Main / STE 200
Madison, Wisconsin 53703
608-254-0825
608-257-1122 (fax)
info@insu.com

Kenosha County
Administration Building
1015 5th Street
Kenosha, WI 53140

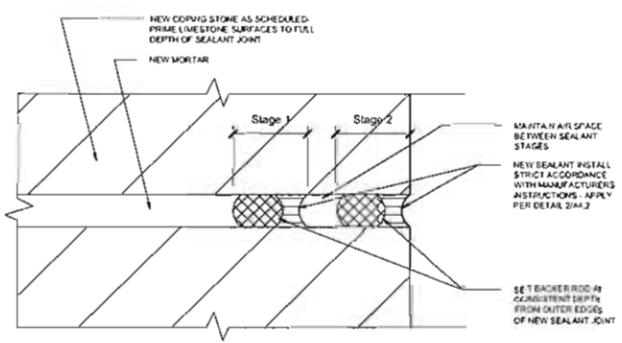
EXTERIOR RESTORATION PROJECT AT THE
KENOSHA COUNTY ADMINISTRATION BUILDING
KENOSHA, WI



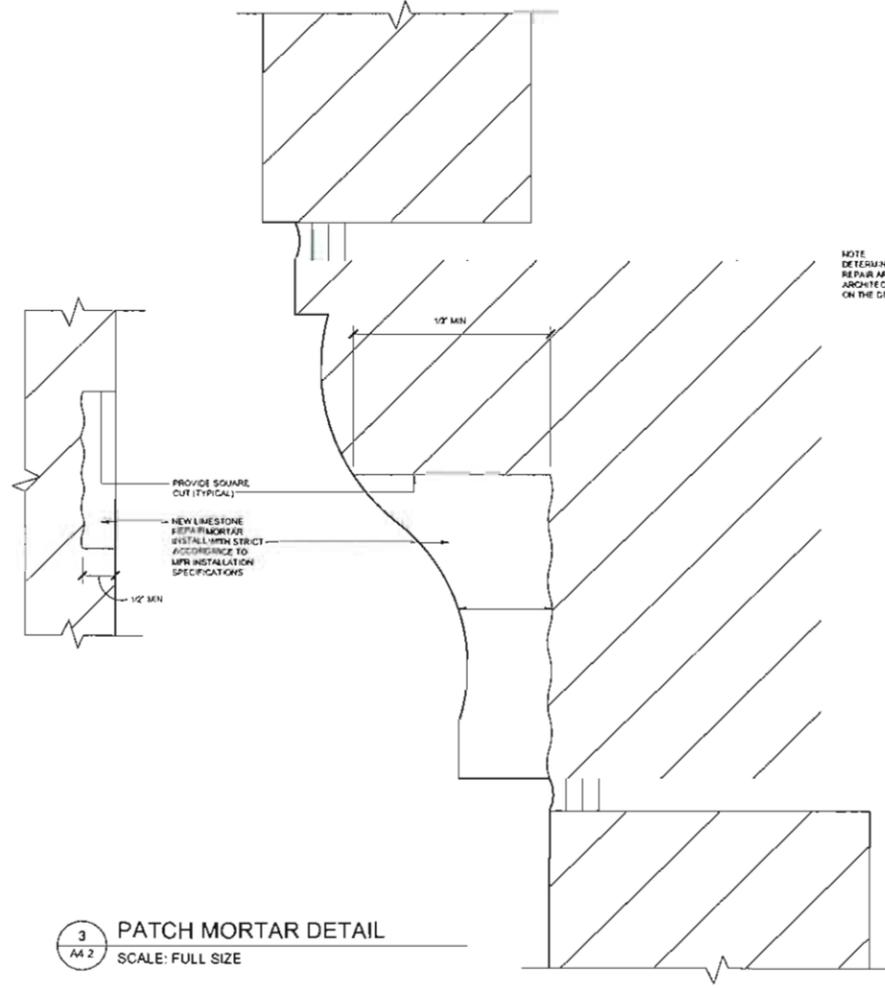
SEALANT NOTES
SEALANT SHALL BE
INSTALLED WITH A BAGGER
ROD. HEIGHT TOOL
CALIBRATED FOR DEPTH
INDICATED
-RATIO OF 'A' TO 'B' SHALL
BE 2 TO 1
- 'A' SHALL BE 1" MAX
- 'B' SHALL BE 1/4" MIN AND
1/2" MAX
- AT ALL JOINTS LESS THAN
1/4" REPLACE BAGGER ROD
WITH BREAKER TAPE



2 SEALANT DETAIL
SCALE: FULL SIZE



4 TWO STAGE SEALANT DETAIL
SCALE: FULL SIZE



3 PATCH MORTAR DETAIL
SCALE: FULL SIZE

NOTE
DETERMINATION OF LIMESTONE
REPAIR AREAS SHALL BE BY THE
ARCHITECT AND/OR AS SHOWN
ON THE DRAWINGS

- ▲ ADDENDUM 1 1/9/14
- ▲ ADDENDUM 2 1/15/14
- ▲ ADDENDUM 4 1/20/14
- ▲ ADDENDUM 5 1/24/14



KEY PLAN

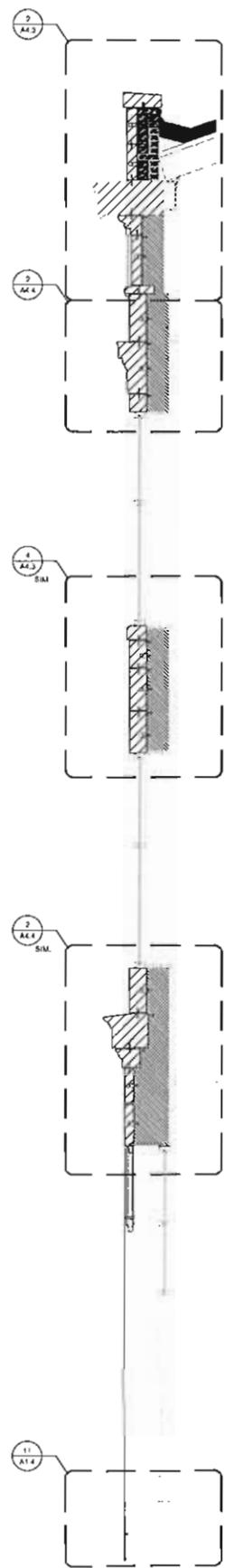
CA NO. KCAB 13-001

DETAILS

CONSTRUCTION 03/06/14

A4.2

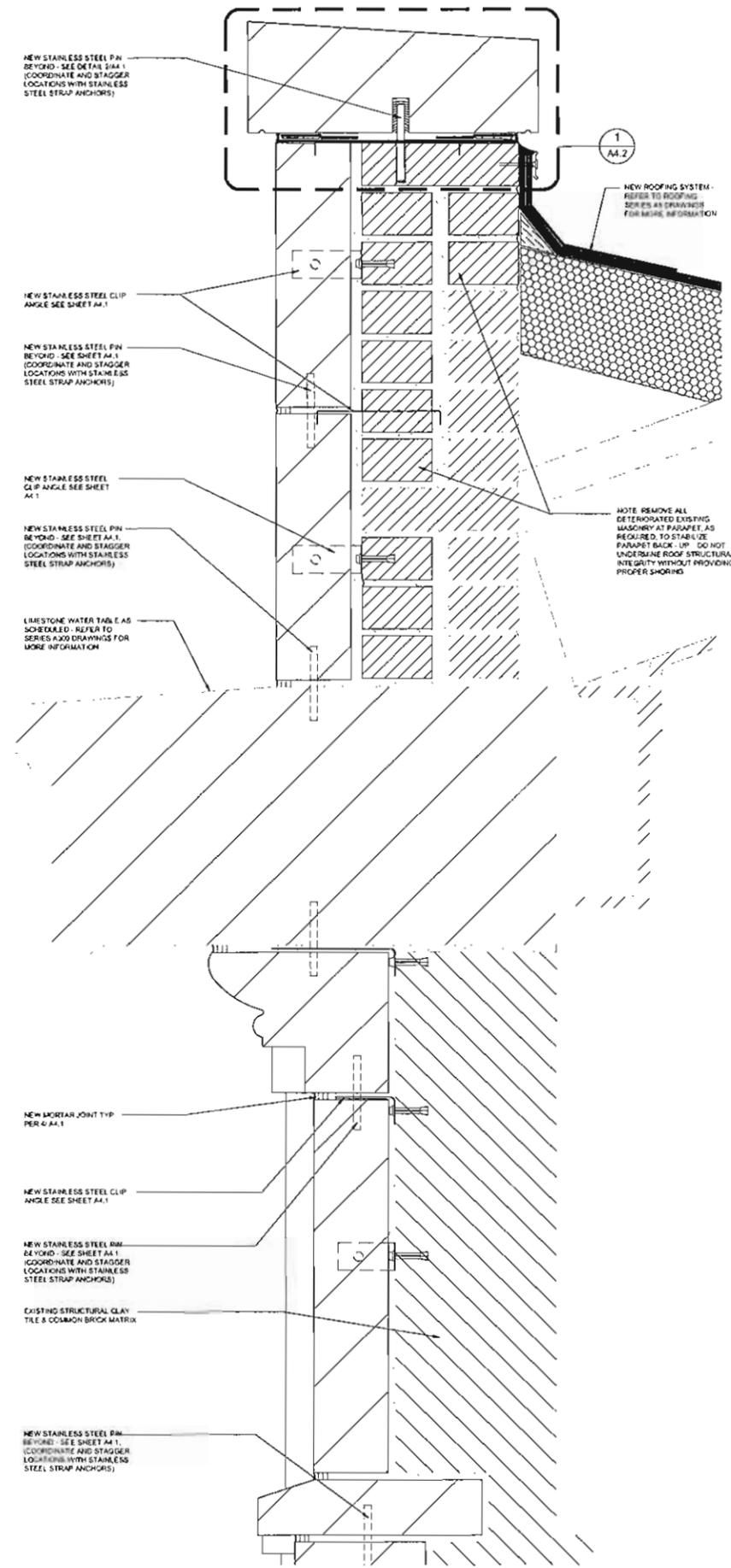
GENERAL DETAILS



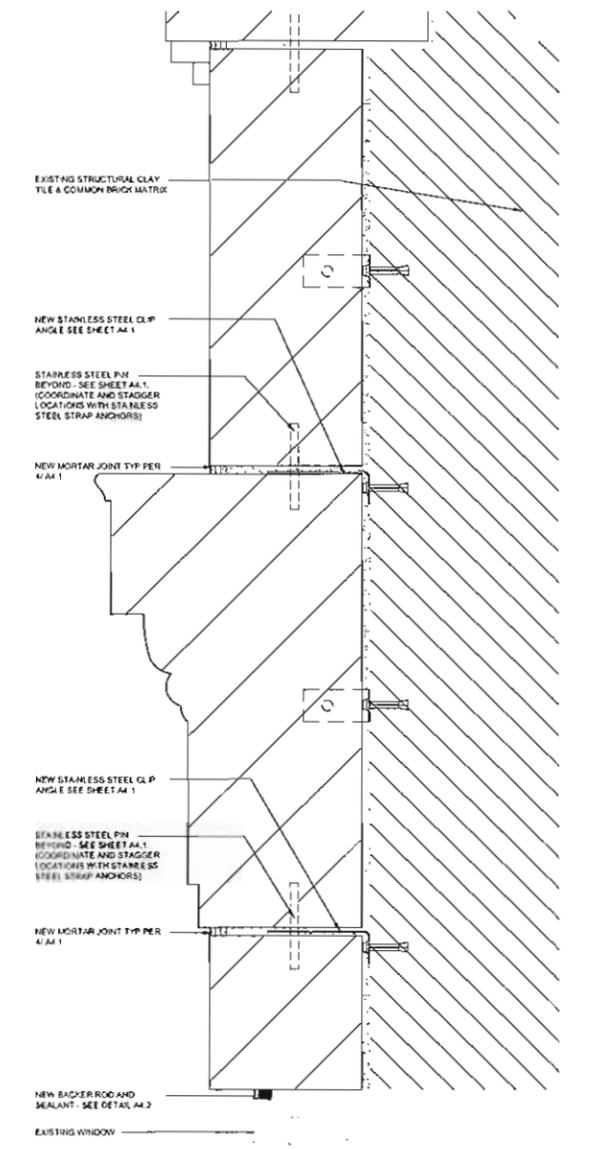
GENERAL NOTES

1. DETAILS SHOWN INDICATE ALL POSSIBLE PIN CLIP ANGLE AND ANCHOR STRAP INSTALLATIONS AND BY NO MEANS INDICATE THE QUANTITY OR LOCATION OF LESTONES RECEIVING WORK.
2. FOR DETAILED INFORMATION AS TO WHAT STONE RECEIVES WORK AND WHAT TYPE OF WORK (IF ANY) REFER TO SERIES A3 DRAWINGS FOR MORE INFORMATION.
3. MORTAR JOINTS OF STONE SCHEDULED TO REMAIN IN PLACE SHALL BE GRIND OUT TO A CONSISTENT DEPTH AND REPOINTED - SEE DETAIL A4.1 AND A4.2.
4. WORK ON STONE SCHEDULED FOR REPAIRS SHALL BE EXECUTED AS INDICATED IN SHEET A4.1 AND A4.2.
5. PROVIDE STONE ANCHORS IN EXISTING STRUCTURAL CLAY TILE & COMMON BRICK MATRIX - SEE 10A.1.

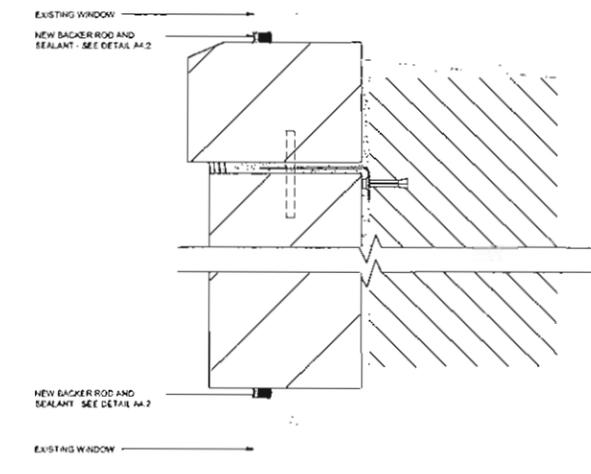
1 OVERALL WALL SECTION
SCALE: 1/2" = 1'-0"



2 PARAPET DETAIL
SCALE: 3" = 1'-0"



3 DETAIL
A4.3 SCALE: 3" = 1'-0"



4 DETAIL
A4.3 SCALE: 3" = 1'-0"

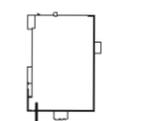


InSite Consulting Architects
115 E. Main, STE 200
Madison, Wisconsin 53703
608-264-6825
608-264-1112 (fax)
info@isite.com

Kenosha County
Administration Building
1010 5th Street
Kenosha, WI 53140

**EXTERIOR RESTORATION PROJECT AT THE
KENOSHA COUNTY ADMINISTRATION BUILDING
KENOSHA, WI**

- ▲ ADDENDUM 1 1/9/14
- ▲ ADDENDUM 2 1/15/14
- ▲ ADDENDUM 4 1/20/14
- ▲ ADDENDUM 5 1/24/14



KEY PLAN

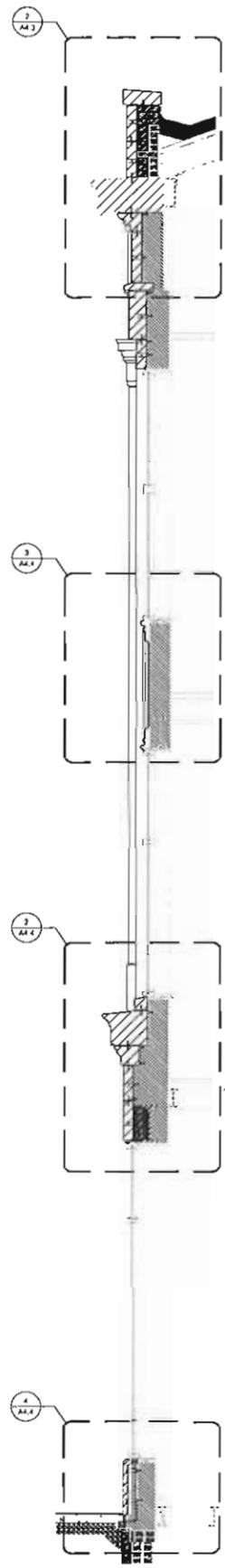
ICA NO: KCAB 15-001

WALL SECTIONS & DETAILS

CONSTRUCTION 03/08/14

A4.3

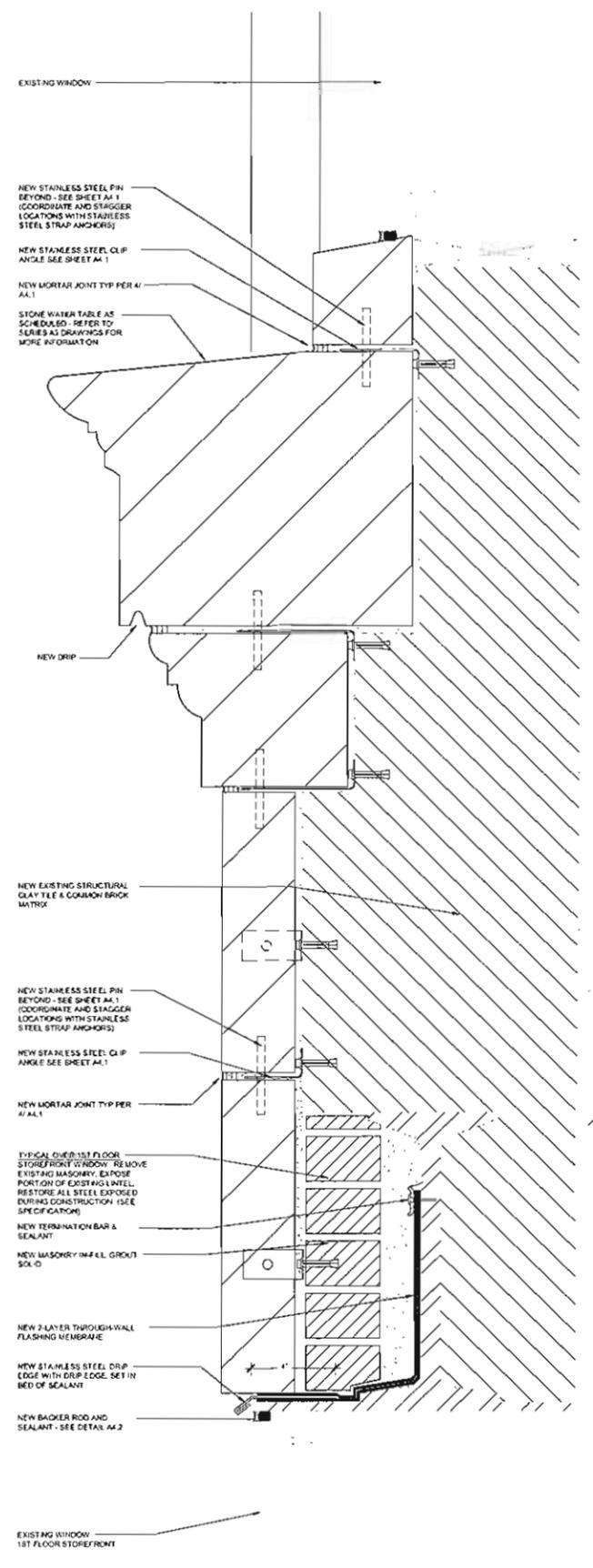
SECTION DETAILS



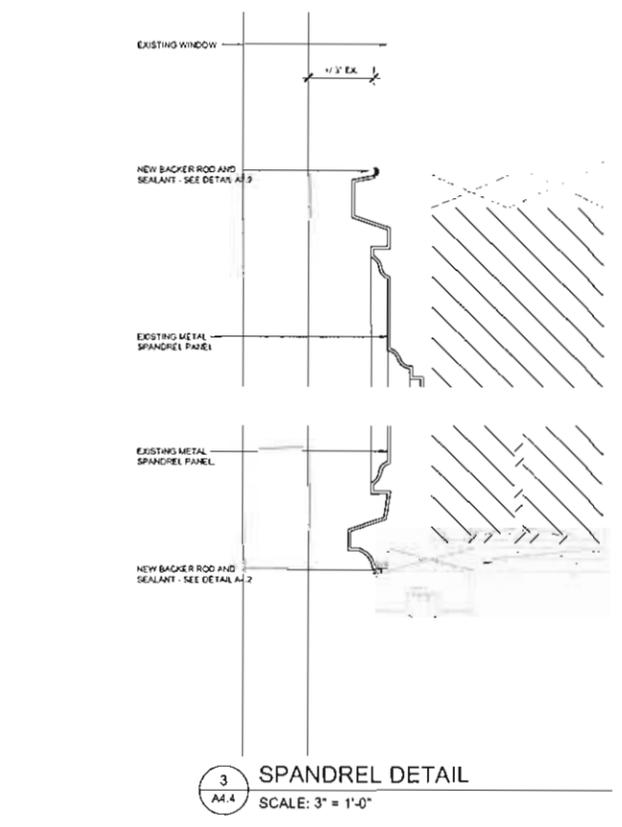
1 OVERALL WALL SECTION
A4.4 SCALE: 1/2" = 1'-0"

GENERAL NOTES

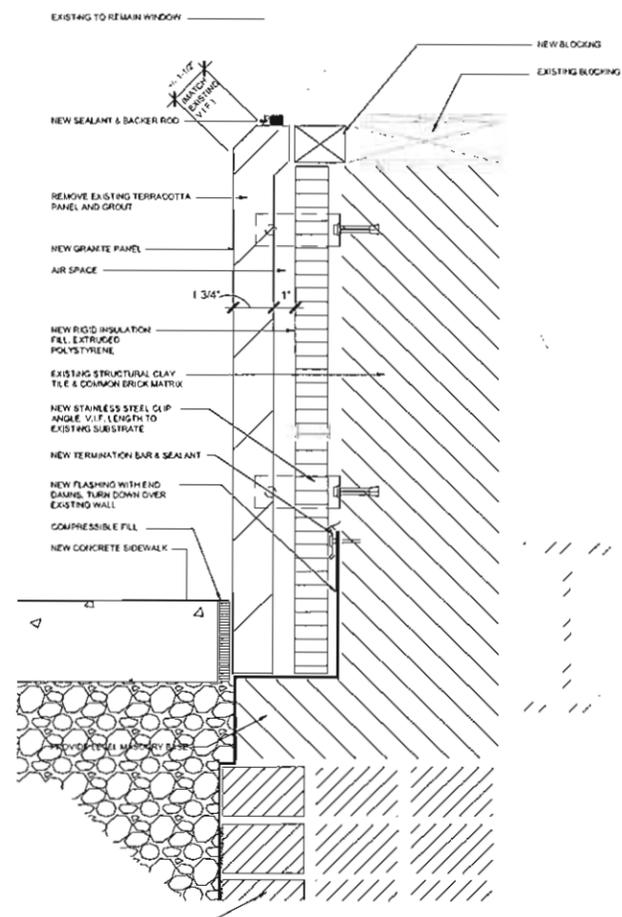
1. DETAILS SHOWN INDICATE ALL POSSIBLE PIN, CLIP ANGLE AND ANCHOR STRAP INSTALLATIONS AND BY NO MEANS INDICATE THE QUANTITY OR LOCATION OF Limestones RECEIVING WORK.
2. FOR DETAILED INFORMATION AS TO WHAT STONE RECEIVES WORK AND WHAT TYPE OF WORK IF ANY, REFER TO SERIES A2 DRAWINGS FOR MORE INFORMATION.
3. MORTAR JOINTS OF STONE SCHEDULED TO REMAIN IN PLACE SHALL BE GRIND OUT TO A CONSISTENT DEPTH AND TUCKPOINTED - SEE DETAIL A4.1 AND A4.2.
4. WORK ON STONE SCHEDULED FOR REPAIRS, SHALL BE EXECUTED AS INDICATED IN SHEET A4.1 AND A4.2.
5. PROVIDE STONE ANCHORS IN EXISTING STRUCTURAL CLAY TILE & COMMON BRICK MATRIX. SEE 11A.1.



2 DETAIL
A4.4 SCALE: 3" = 1'-0"



3 SPANDREL DETAIL
A4.4 SCALE: 3" = 1'-0"



4 GRANITE PANEL DETAIL
A4.4 SCALE: 3" = 1'-0"

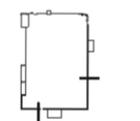


G.A. Consulting Architects
115 E. Main / 918 200
Kenosha, Wisconsin 53103
(920) 398-1100
(920) 258-1782 (F)
g@gaarch.com

Kenosha County
Administration Building
1014 10th Street
Kenosha, WI 53140

EXTERIOR RESTORATION PROJECT AT THE
KENOSHA COUNTY ADMINISTRATION BUILDING
KENOSHA, WI

- ▲ ADDENDUM 1 1/9/14
- ▲ ADDENDUM 2 1/15/14
- ▲ ADDENDUM 4 1/20/14
- ▲ ADDENDUM 5 1/24/14



KEY PLAN

ICMA NO. 10001
WALL SECTIONS & DETAILS
CONSTRUCTION 03/06/14

A4.4

SECTION DETAILS

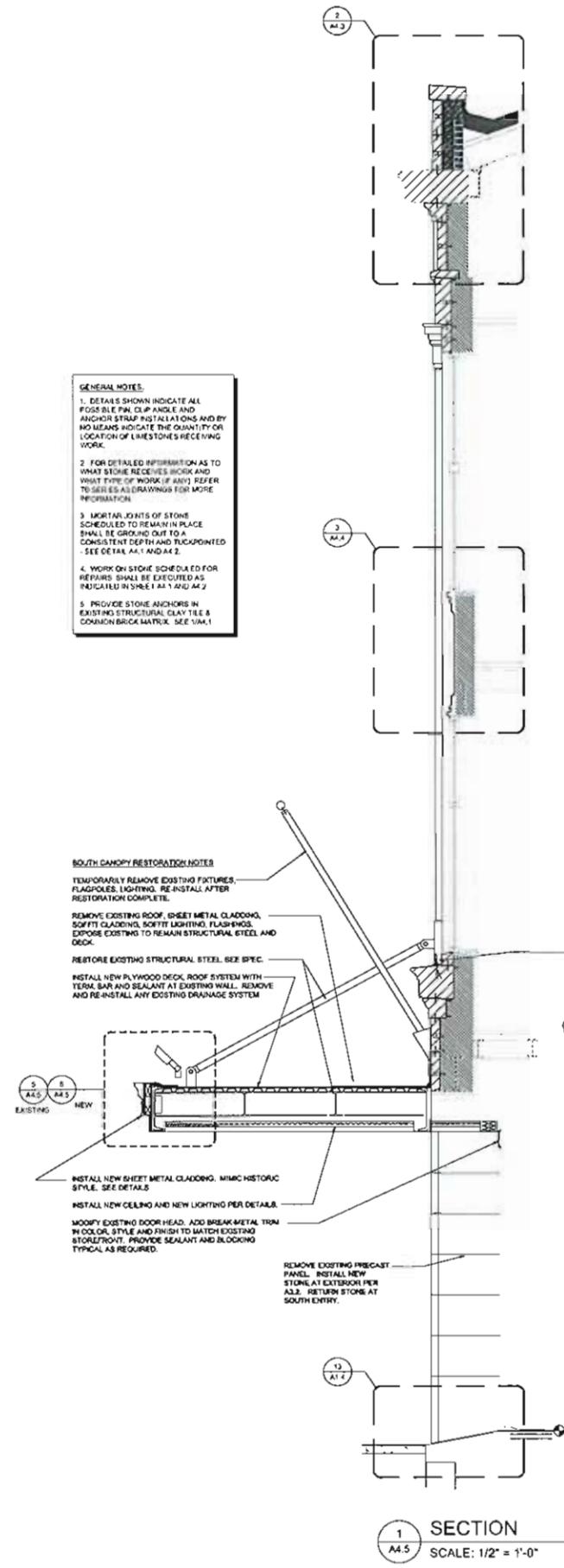
- GENERAL NOTES**
1. DETAILS SHOWN INDICATE ALL POSSIBLE PIN, CLIP, ANGLE AND ANCHOR STRAP INSTALLATIONS AND BY NO MEANS INDICATE THE QUANTITY OR LOCATION OF Limestone RECEIVING WORK.
 2. FOR DETAILED INFORMATION AS TO WHAT STONE RECEIVES BLOCK AND WHAT TYPE OF WORK IF ANY, REFER TO SERIES A4 DRAWINGS FOR MORE INFORMATION.
 3. MORTAR JOINTS OF STONE SCHEDULED TO REMAIN IN PLACE SHALL BE GROUND OUT TO A CONSISTENT DEPTH AND RECAPOINTEED. SEE DETAIL A4.1 AND A4.2.
 4. WORK ON STONE SCHEDULED FOR REPAIRS SHALL BE EXECUTED AS INDICATED IN SHEET A4.1 AND A4.2.
 5. PROVIDE STONE ANCHORS IN EXISTING STRUCTURAL CLAY TILE & COMMON BRICK MASONRY. SEE VAK-1.

SOUTH CANOPY RESTORATION NOTES

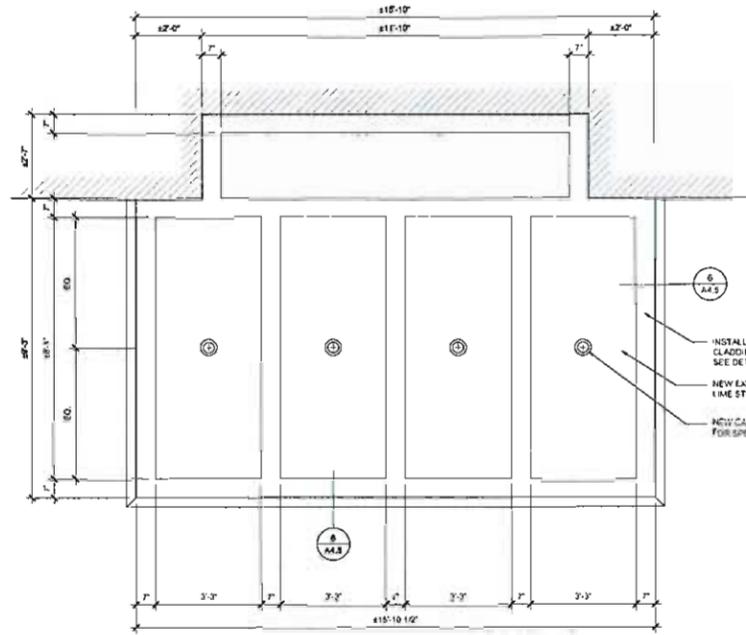
- TEMPORARILY REMOVE EXISTING FIXTURES, FLAGPOLES, LIGHTING. RE-INSTALL AFTER RESTORATION COMPLETE.
- REMOVE EXISTING ROOF, SHEET METAL CLADDING, SOFFIT CLADDING, SOFFIT LIGHTING, FLASHINGS. EXPOSE EXISTING TO REMAIN STRUCTURAL STEEL AND DECK.
- RESTORE EXISTING STRUCTURAL STEEL. SEE SPEC.
- INSTALL NEW PLYWOOD DECK, ROOF SYSTEM WITH TERN BAR AND SEALANT AT EXISTING WALL. REMOVE AND RE-INSTALL ANY EXISTING DRAINAGE SYSTEM.

- INSTALL NEW SHEET METAL CLADDING. MIMIC HISTORIC STYLE. SEE DETAILS.
- INSTALL NEW CEILING AND NEW LIGHTING PER DETAILS.
- MOOPY EXISTING DOOR HEAD. ADD BREAK METAL TRIM IN COLOR, STYLE AND FINISH TO MATCH EXISTING STOREFRONT. PROVIDE SEALANT AND BLOCKING TYPICAL AS REQUIRED.

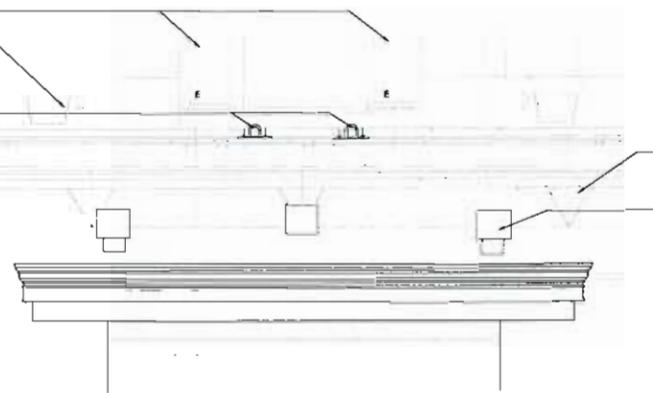
- REMOVE EXISTING PRECAST PANEL. INSTALL NEW STONE AT EXTERIOR PER A4.3. RETURN STONE AT SOUTH ENTRY.



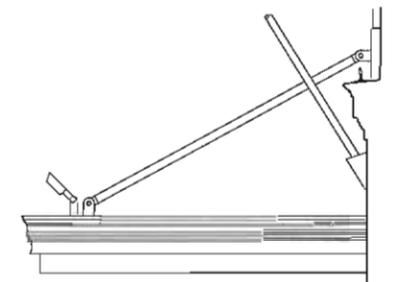
1 SECTION
A4.5 SCALE: 1/2" = 1'-0"



2 SOUTH CANOPY REFLECTED CLG. PLAN
A4.5 SCALE: 1/2" = 1'-0"

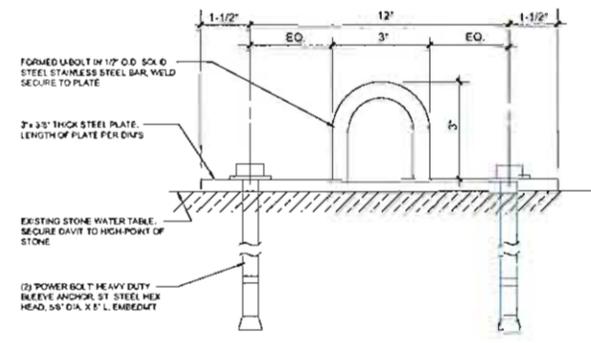


3 SOUTH CANOPY ELEVATION
A4.5 SCALE: 1/2" = 1'-0"

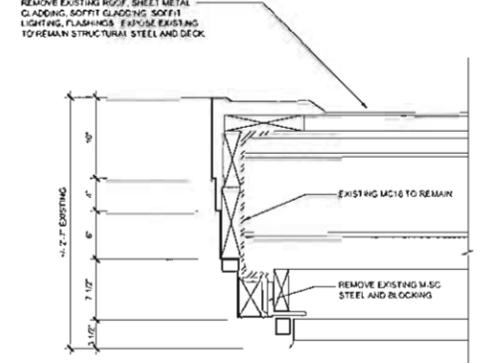


4 SIDE ELEVATION
A4.5 SCALE: 1/2" = 1'-0"

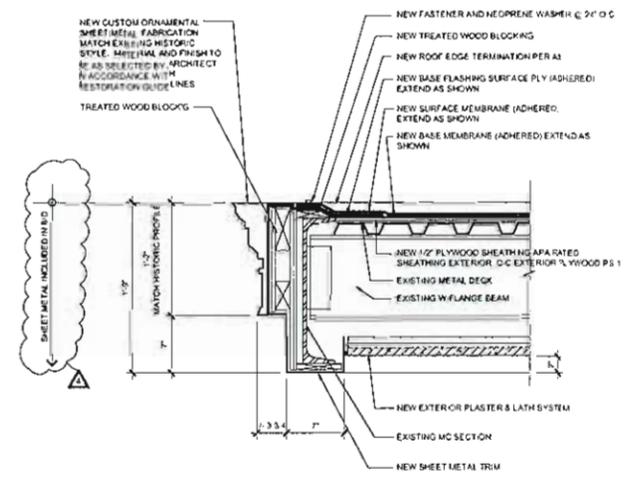
NOTE: TIE-OFF SHALL BE IN STAINLESS STEEL SUBMIT FABRICATION SHOP DRAWING FOR OWNER ARCH REVIEW



7 DAVIT DETAIL
A4.5 SCALE: N.T.S.



5 CANOPY DETAIL - EXISTING
A4.5 SCALE: 1-1/2" = 1'-0"



6 CANOPY DETAIL - NEW
A4.5 SCALE: 1-1/2" = 1'-0"

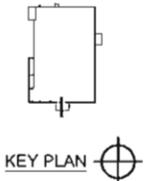


CA Consulting Architects
115 E. Main / STE 200
Kenosha, WI 53102
608-226-4609
608-226-7162 (fax)
info@ca-wi.com

Kenosha County
Administration Building
1015 1st St
Kenosha, WI 53140

EXTERIOR RESTORATION PROJECT AT THE
KENOSHA COUNTY ADMINISTRATION BUILDING
KENOSHA, WI

- ADDENDUM 1 1/9/14
- ADDENDUM 2 1/15/14
- ADDENDUM 4 1/20/14
- ADDENDUM 5 1/24/14



KEY PLAN

KCA NO. KCAB 13.001

WALL SECTIONS & DETAILS

CONSTRUCTION 03/05/14

A4.5

SECTION DETAILS



InBee Consulting Architects
 115 E. Main Street 200
 Madison, Wisconsin 53703
 608-264-0629
 866-267-1762 (fax)
 info@icarc.com

Kensha County
 1011 1/2 Street
 Kenosha, WI 53140

EXTERIOR RESTORATION PROJECT AT THE
 KENOSHA COUNTY ADMINISTRATION BUILDING
 KENOSHA, WI

- GENERAL NOTES:**
1. DETAILS SHOWN INDICATE ALL POSSIBLE PIN CLIP ANGLE AND ANCHOR STRAP INSTALLATIONS AND BY NO MEANS INDICATE THE QUANTITY OR LOCATION OF LIMESTONES RECEIVING WORK.
 2. FOR DETAILED INFORMATION AS TO WHAT STONE RECEIVES WORK AND WHAT TYPE OF WORK IF ANY, REFER TO SERIES 'A' DRAWINGS FOR MORE INFORMATION.
 3. MORTAR JOINTS OF STONE SCHEDULED TO REMAIN IN PLACE SHALL BE GROUNDED OUT TO A CONSISTENT DEPTH AND TUCKPOINTED - SEE DETAIL A4.1 AND A4.2
 4. WORK ON STONE SCHEDULED FOR REPAIRS, SHALL BE EXECUTED AS INDICATED IN SHEET A4.1 AND A4.3
 5. PROVIDE STONE ANCHORS IN EXISTING STRUCTURAL CLAY TILE & COMMON BRICK MATRIX - SEE 104.1.

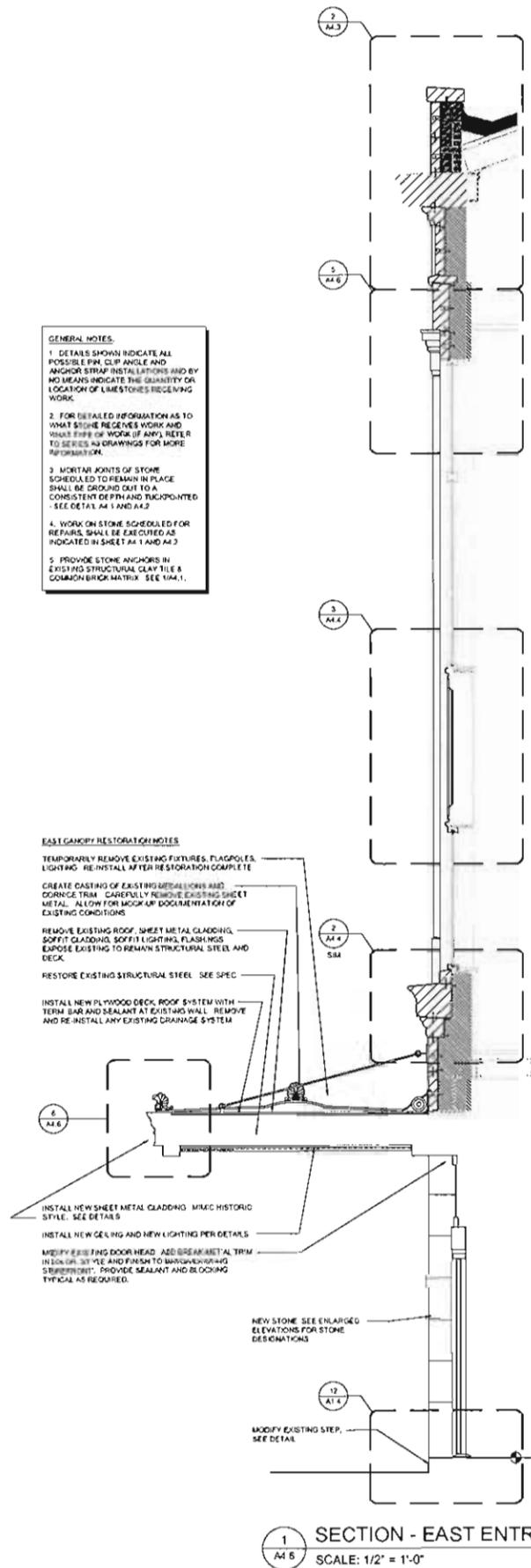
EAST CANOPY RESTORATION NOTES

- TEMPORARILY REMOVE EXISTING FIXTURES, FLAGPOLES, LIGHTING. RE-INSTALL AFTER RESTORATION COMPLETE.
- CREATE CASTING OF EXISTING METALWORK AND CORNER TRIM. CAREFULLY REMOVE EXISTING SHEET METAL. ALLOW FOR MOCKUP DOCUMENTATION OF EXISTING CONDITIONS.
- REMOVE EXISTING ROOF, SHEET METAL CLADDING, SOFFIT CLADDING, SOFFIT LIGHTING, FLASHINGS. EXPOSE EXISTING TO REMAIN STRUCTURAL STEEL AND DECK.
- RESTORE EXISTING STRUCTURAL STEEL. SEE SPEC.
- INSTALL NEW PLYWOOD DECK, ROOF SYSTEM WITH TERNUM BAR AND SEALANT AT EXISTING WALL. REMOVE AND RE-INSTALL ANY EXISTING DRAINAGE SYSTEM.

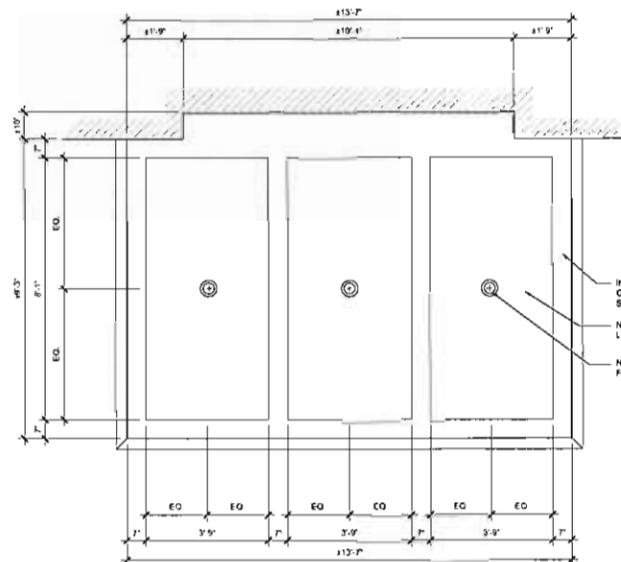
- INSTALL NEW SHEET METAL CLADDING. MATCH HISTORIC STYLE. SEE DETAILS.
- INSTALL NEW CEILING AND NEW LIGHTING PER DETAILS.
- MODIFY EXISTING DOOR HEAD. ADD ORNAMENTAL TRIM IN DOOR HEAD AND FINISH TO MATCH EXISTING STAFFWORK. PROVIDE SEALANT AND BLOCKING TYPICAL AS REQUIRED.

NEW STONE. SEE ENLARGED ELEVATIONS FOR STONE DESIGNATIONS.

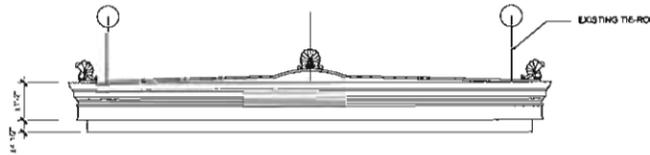
MODIFY EXISTING STEP. SEE DETAIL.



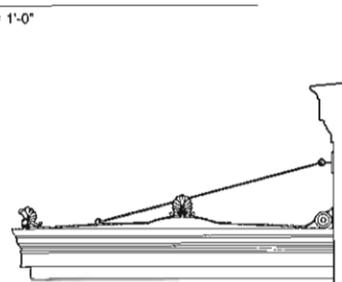
1 SECTION - EAST ENTRY
 SCALE: 1/2" = 1'-0"



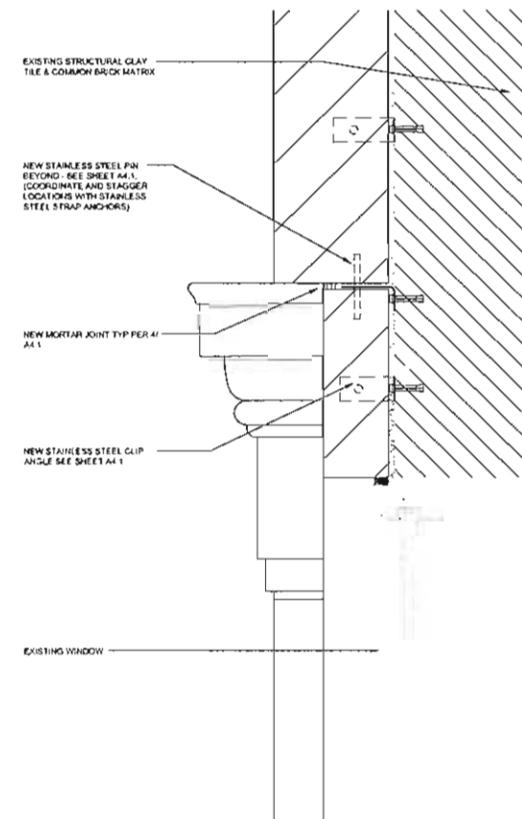
2 EAST CANOPY REFLECTED CLG. PLAN
 SCALE: 1/2" = 1'-0"



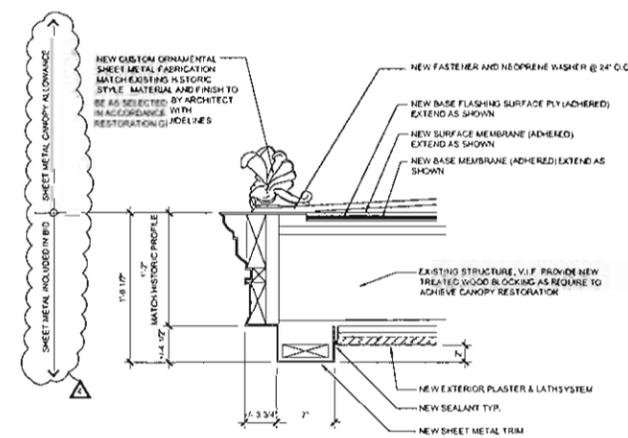
3 EAST CANOPY ELEVATION
 SCALE: 1/2" = 1'-0"



4 EAST CANOPY SIDE ELEVATION
 SCALE: 1/2" = 1'-0"

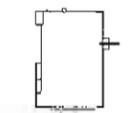


5 DETAIL
 SCALE: 3" = 1'-0"



6 CANOPY DETAIL - NEW
 SCALE: 1-1/2" = 1'-0"

- ADDENDUM 1 1/9/14
- ADDENDUM 2 1/15/14
- ADDENDUM 4 1/20/14
- ADDENDUM 5 1/24/14



KEY PLAN

ICAWD ICASB 13-001

WALL SECTIONS & DETAILS

CONSTRUCTION 03/06/14

A4.6

SECTION DETAILS

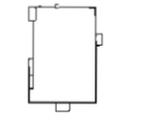


InSite Consulting Architects
115 E Main / STE 200
Madison, Wisconsin 53703
608-264-0325
888-291-1162 (fax)
info@isite.com

Kenosha County
Administration Building
1015 Main Street
Kenosha WI 53140

EXTERIOR RESTORATION PROJECT AT THE
KENOSHA COUNTY ADMINISTRATION BUILDING
KENOSHA, WI

- ▲ ADDENDUM 1 1/9/14
- ▲ ADDENDUM 2 1/15/14
- ▲ ADDENDUM 4 1/20/14
- ▲ ADDENDUM 5 1/24/14



KEY PLAN

CSA NO. KCSAB 13-001

ROOF PLAN
CONSTRUCTION 03/06/14
A5.1
ROOF PLAN

DRAINING DESIGNATION KEY

- ◇ DESIGN NOTE DESIGNATION
- ↘ ROOF SLOPE DESIGNATION (TAPERED)
- ↔ STRUCTURAL SLOPE DESIGNATION
- ⊠ CURB MOUNTED HVAC UNIT
- ⊙ SMALL PENETRATION
- ⊕ PLUMBING VENT
- ⊗ GRAM
- ⊕ ANTENNA
- ⊠ RAIL SUPPORTED AC UNIT
- ⊗ ABANDONED CURB
- ⊠ SKYLIGHT
- CONDUIT SUPPORT
- ▬ STAIRWAY
- ⊠ CURB W/ CONDUIT COVER
- CONDUIT
- ⊕ FLUE
- ⊠ LEG SUPPORTED AC UNIT

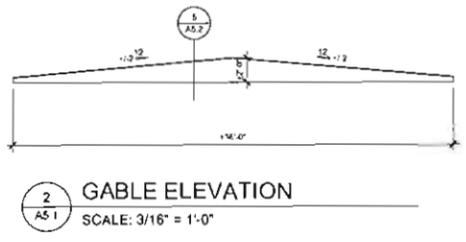
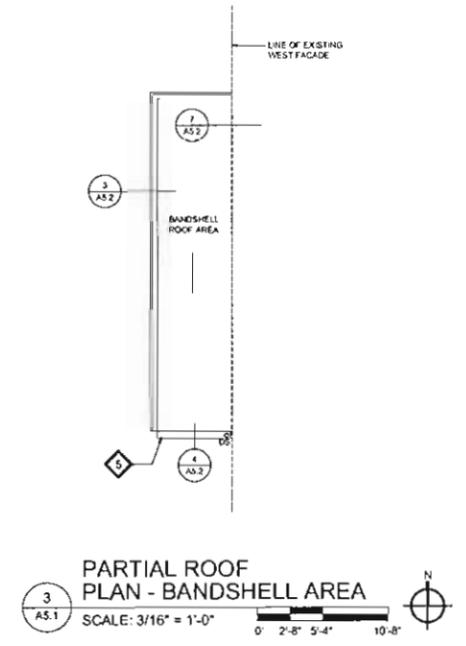
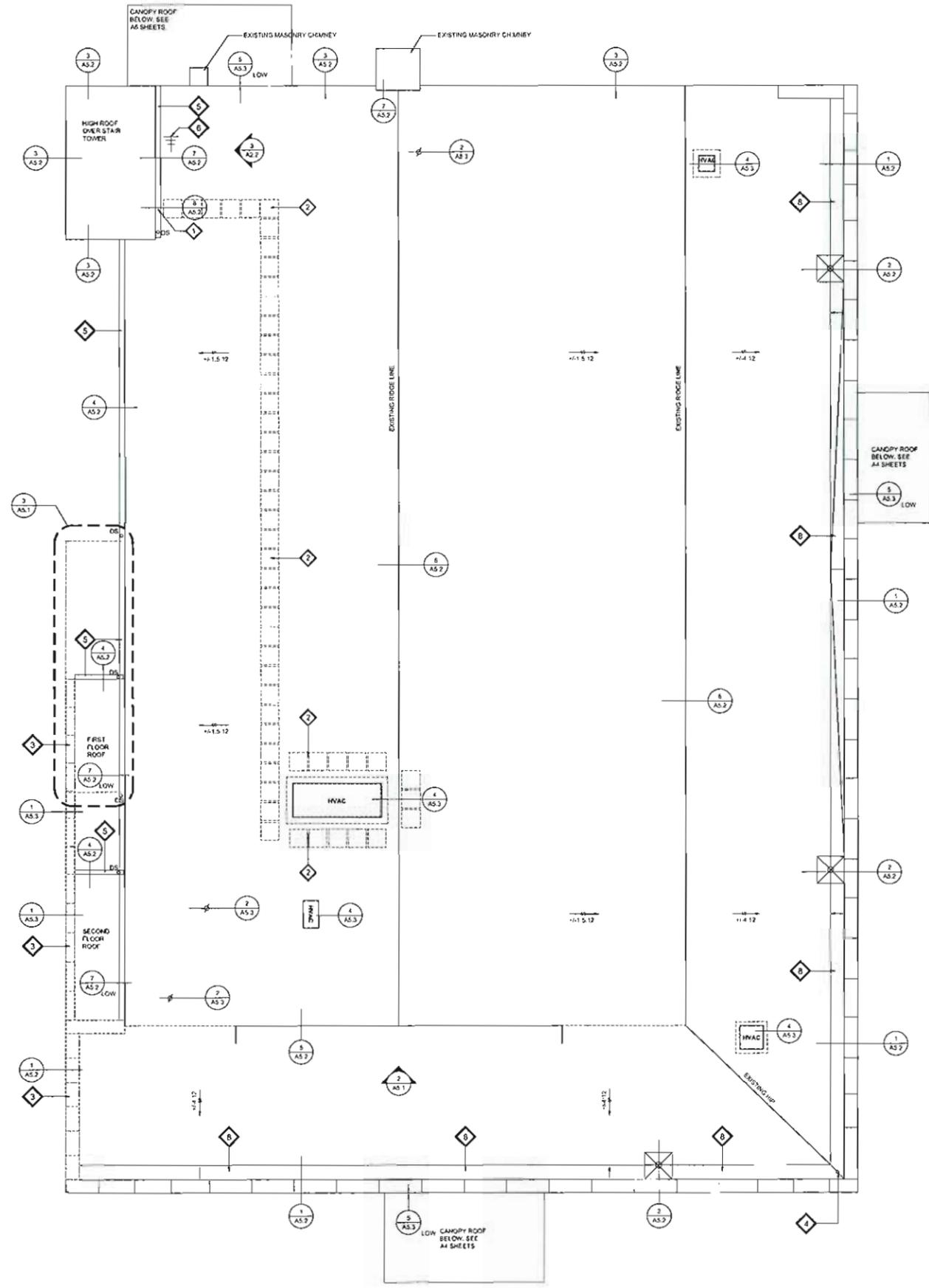
- EXISTING ROOF SYSTEM - REMOVE EXISTING DOWN TO EXISTING DECK**
- EXISTING CONCRETE DECK
 - EXISTING WALKOFF METAL DECK IN HOT
 - EXISTING 2" POLYISOCYANURATE
 - EXISTING 3/4" WOOD FIBER (AS, MECHANICALLY FASTENED)
 - EXISTING FULLY ADHERED EPDM
- NEW ROOF SYSTEM**
- EXISTING CONCRETE DECK
 - WALKOFF METAL DECK
 - 2" POLYISOCYANURATE, MECHANICALLY FASTENED
 - 2" POLYISOCYANURATE, ADHERED
 - CEILING BASE ULTRA ADHERED SAM MEMBRANE
 - SURFACE MEMBRANE, GRANULAR SURFACE APP MODIFIED BITUMEN DERB-COOR

DESIGN NOTES:

- 1 REMOVE EXISTING DOOR. INSTALL NEW INSULATED METAL DOOR AND HOLLOW METAL FRAME. PART FIELD VERIFY ALL DIMENSIONS. INSTALL NEW ALUMINUM THRESHOLD. MODIFY EXISTING THRESHOLD HEIGHT. SEE SLL DETAIL.
- 2 REMOVE EXISTING PRECAST WALKWAY COMPLETE.
- 3 REMOVE EXISTING PRECAST COPING. REPLACE WITH NEW STONE COPING.
- 4 INSTALL NEW FLUID APPLIED FLASHING MEMBRANE AT EXISTING PIPE PENETRATION TO ACHIEVE 6" MINIMUM FLASHING HEIGHT. PREPARE SUBSTRATE AS REQUIRED.
- 5 REMOVE EXISTING GUTTER WITH ROOF SYSTEM REMOVAL. REPLACE WITH NEW.
- 6 REMOVE AND RE-SET EXISTING ROOF TOP ANTENNA. COORDINATE WITH OWNER.
- 7 NOT USED.
- 8 EXISTING CRICKET. REMOVE PORTIONS OF EXISTING TAPERED INSULATION. PATCH EXISTING CONCRETE DECK. AS REQUIRED TO CREATE POSITIVE DRAINAGE (1/4" PER FT) SLOPE TO ROOF DRAINS.

GENERAL ROOFING NOTES:

- 01. BY SUBMITTING BID, THE BIDDERS ACKNOWLEDGE THAT THEY HAVE VERIFIED ALL DIMENSIONS, DETAILS AND OTHER CONDITIONS PRIOR TO SUBMITTING THEIR BID.
- 02. THE DRAWINGS REPRESENT THE ON-SITE CONDITIONS TO THE EXTENT KNOWN. THE BIDDERS ARE REQUIRED TO INFORM THE ARCHITECT AND OWNER OF ANY OBSERVED DISCREPANCIES BETWEEN THE DRAWINGS AND THE ON-SITE CONDITIONS PRIOR TO SUBMITTING THEIR BID.
- 03. THE BIDDERS SHALL INCLUDE IN THEIR BID ALL WORK, MATERIALS, SERVICES, ETC. NECESSARY TO THE SUCCESSFUL COMPLETION OF THE PROJECT.
- 04. THE BIDDERS SHALL INCLUDE ALL COLLATERAL WORK REQUIRED FOR THE SUCCESSFUL COMPLETION OF THE PROJECT INCLUDING BUT NOT LIMITED TO HVAC DISCONNECT AND RECONNECT AND RAISING OF MECHANICAL CURBS AS REQUIRED TO ACHIEVE 6" FLASHING.



1 ROOF PLAN
SCALE: 3/16" = 1'-0"

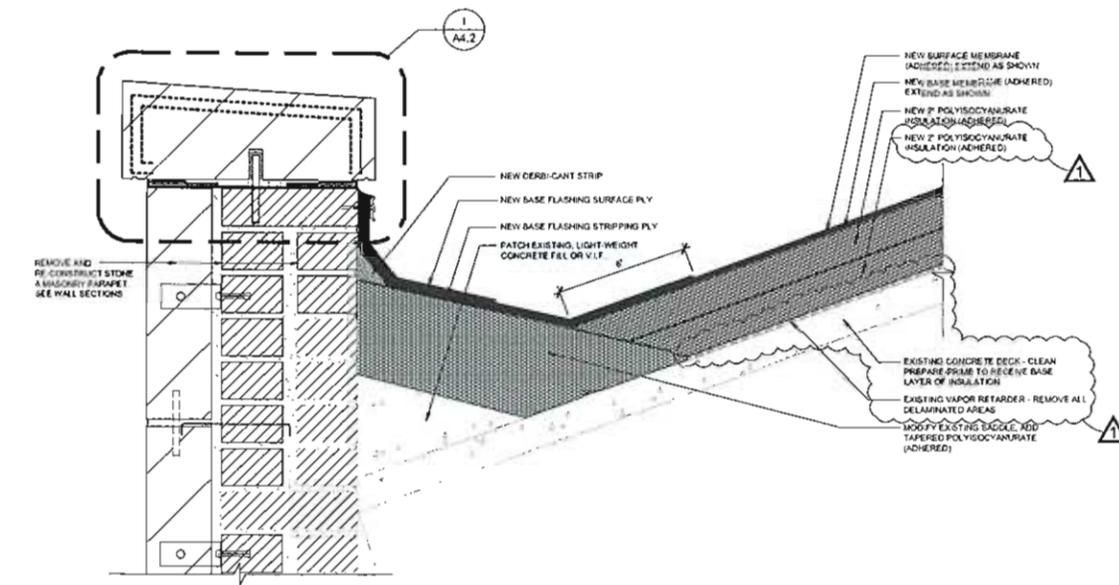
0' 2'-8" 5'-4" 10'-8"



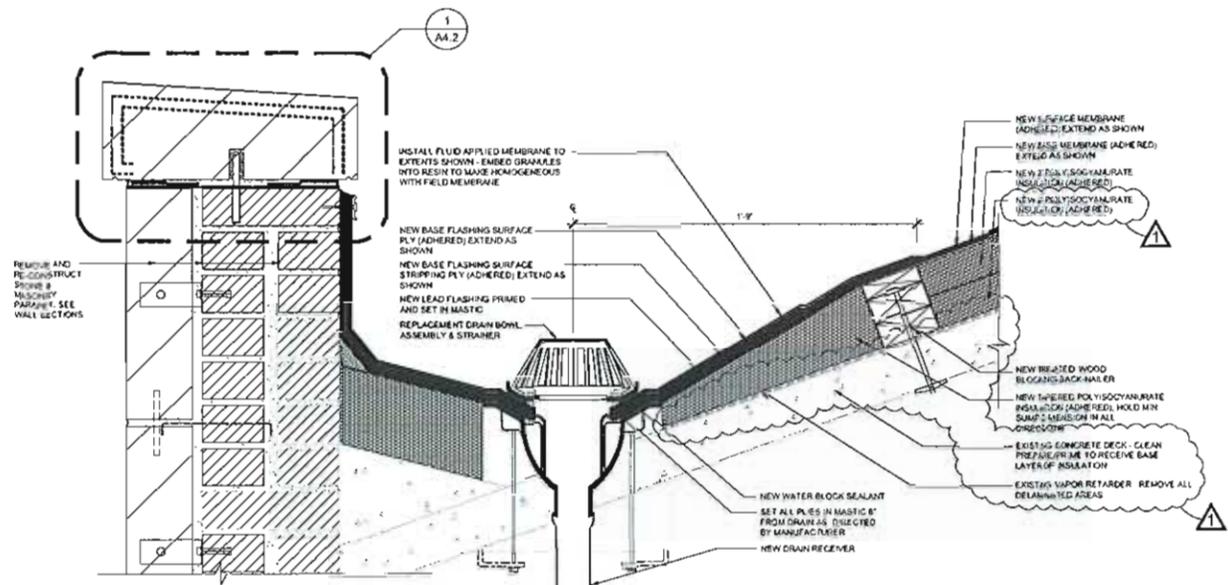
GA Consulting Architects
115 E. Main / STE 200
MILWAUKEE, WISCONSIN 53103
414.224.0225
608.297.1162 (fax)
info@gaac.com

Kennosh County
Administration Building
1150 West 50th
Kenosha, WI 53142

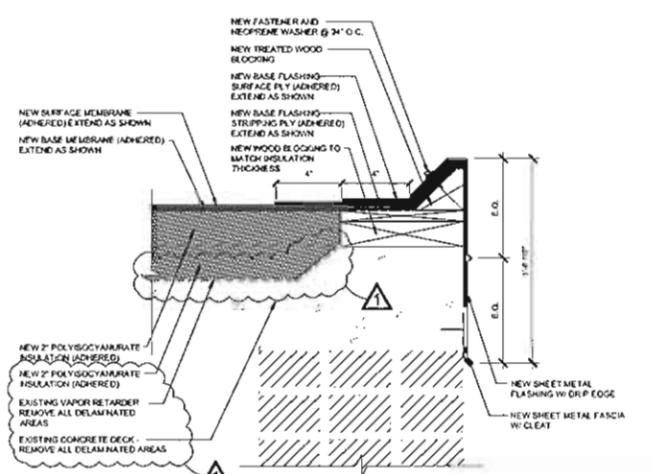
EXTERIOR RESTORATION PROJECT AT THE
KENOSHA COUNTY ADMINISTRATION BUILDING
KENOSHA, WI



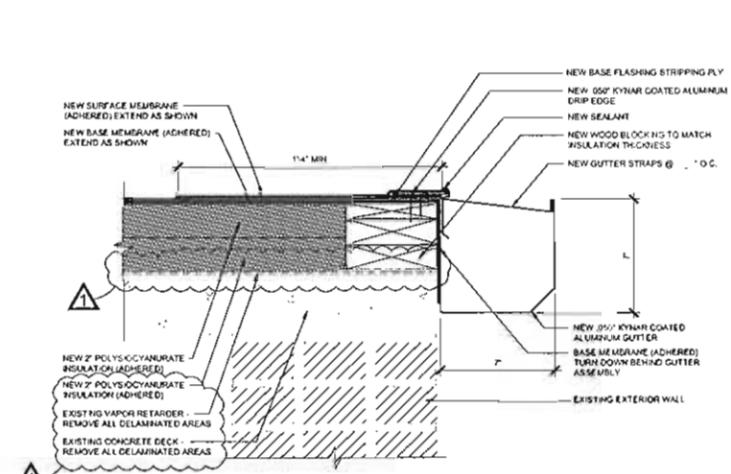
1 PARAPET DETAIL
SCALE: 3" = 1'-0"



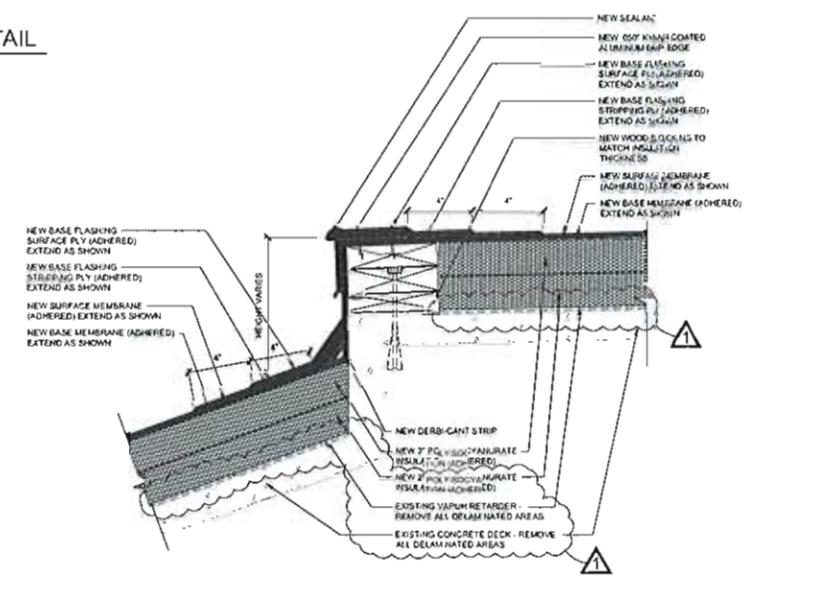
2 ROOF DRAIN DETAIL
SCALE: 3" = 1'-0"



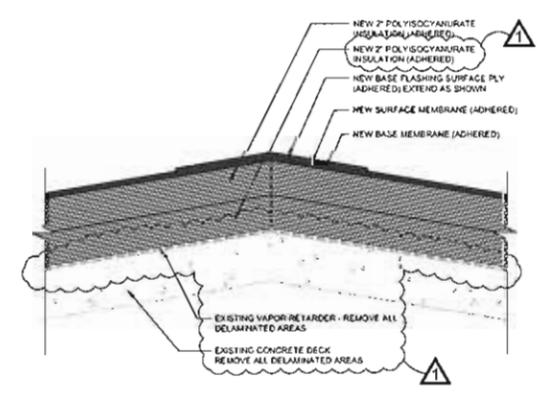
3 ROOF EDGE DETAIL
SCALE: 3" = 1'-0"



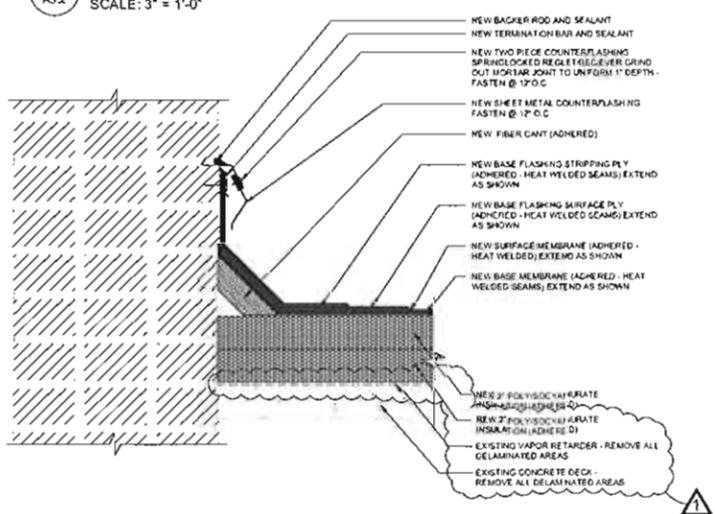
4 ROOF GUTTER DETAIL
SCALE: 3" = 1'-0"



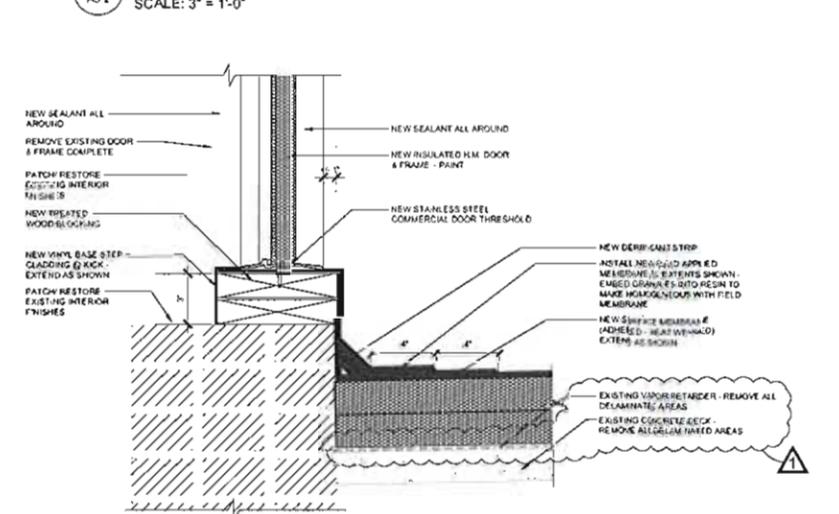
5 ROOF TRANSITION DETAIL
SCALE: 3" = 1'-0"



6 ROOF TRANSITION DETAIL @ RIDGE
SCALE: 3" = 1'-0"



7 ROOF TO WALL TRANSITION DETAIL
SCALE: 3" = 1'-0"



8 ROOF TO WALL TRANSITION @ DOOR
SCALE: 3" = 1'-0"

- ▲ ADDENDUM 1 1/8/14
- ▲ ADDENDUM 2 1/15/14
- ▲ ADDENDUM 4 1/20/14
- ▲ ADDENDUM 5 1/24/14



KEY PLAN

CA NO. KCAB 13-001

ROOF DETAILS

CONSTRUCTION 03/06/14

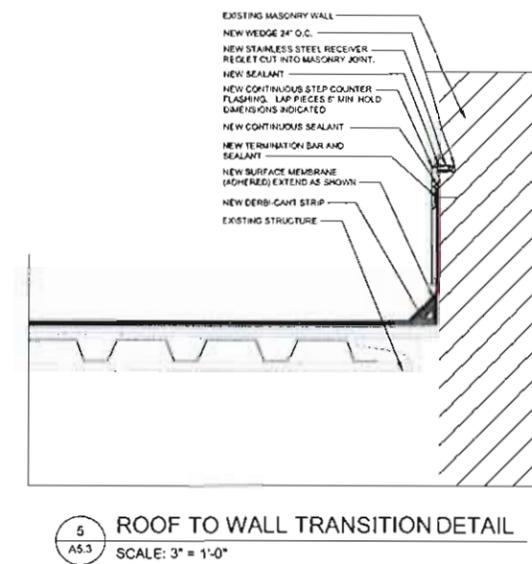
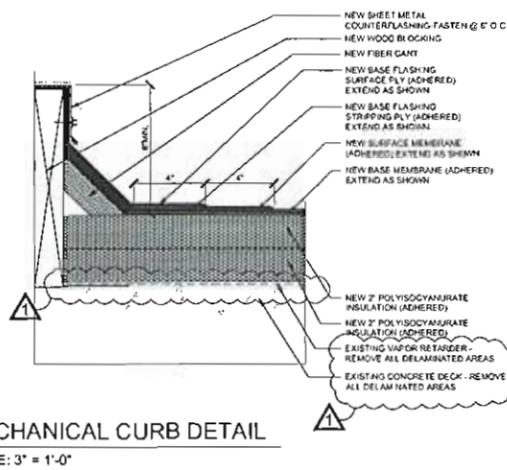
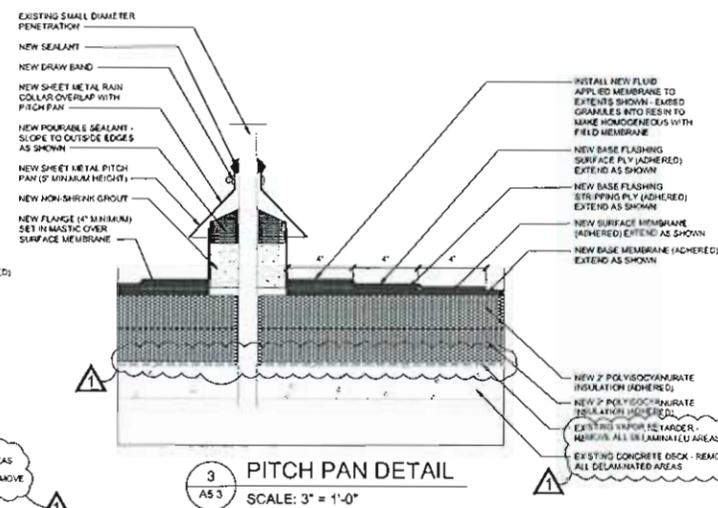
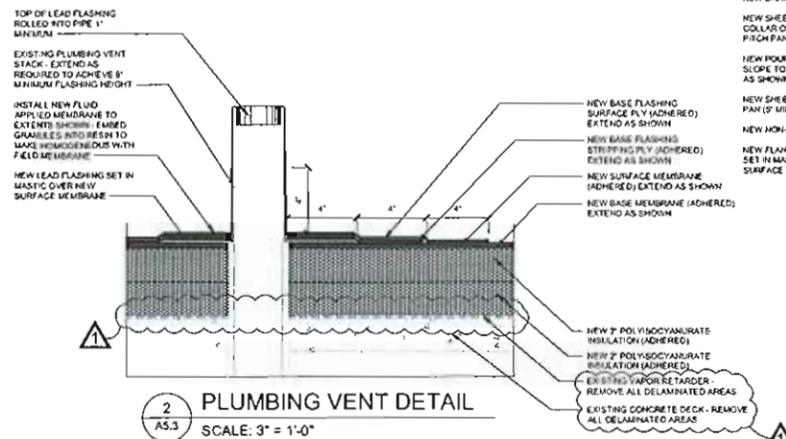
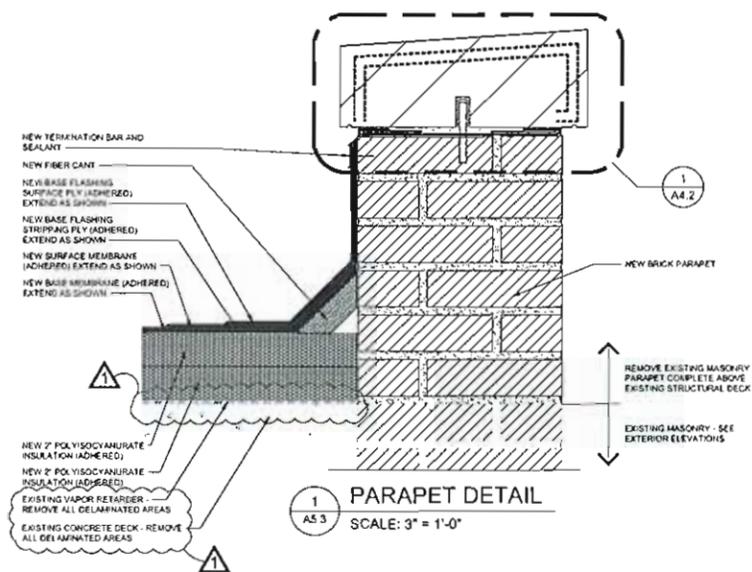
A5.2

ROOF DETAILS



In-Site Consulting Architects
 115 E. Main / STE 200
 Madison, Wisconsin 53703
 608.254.0825
 608.793.1122 (fax)
 info@in-site.com

Kenosha County
 Administration Building
 1610 56th Street
 Kenosha, WI 53140



EXTERIOR RESTORATION PROJECT AT THE
 KENOSHA COUNTY ADMINISTRATION BUILDING
 KENOSHA, WI

- ▲ ADDENDUM 1 1/9/14
- ▲ ADDENDUM 2 1/15/14
- ▲ ADDENDUM 4 1/20/14
- ▲ ADDENDUM 5 1/24/14



KEY PLAN

CA NO KCAB 13-001

ROOF DETAILS

CONSTRUCTION 03/06/14

A5.3

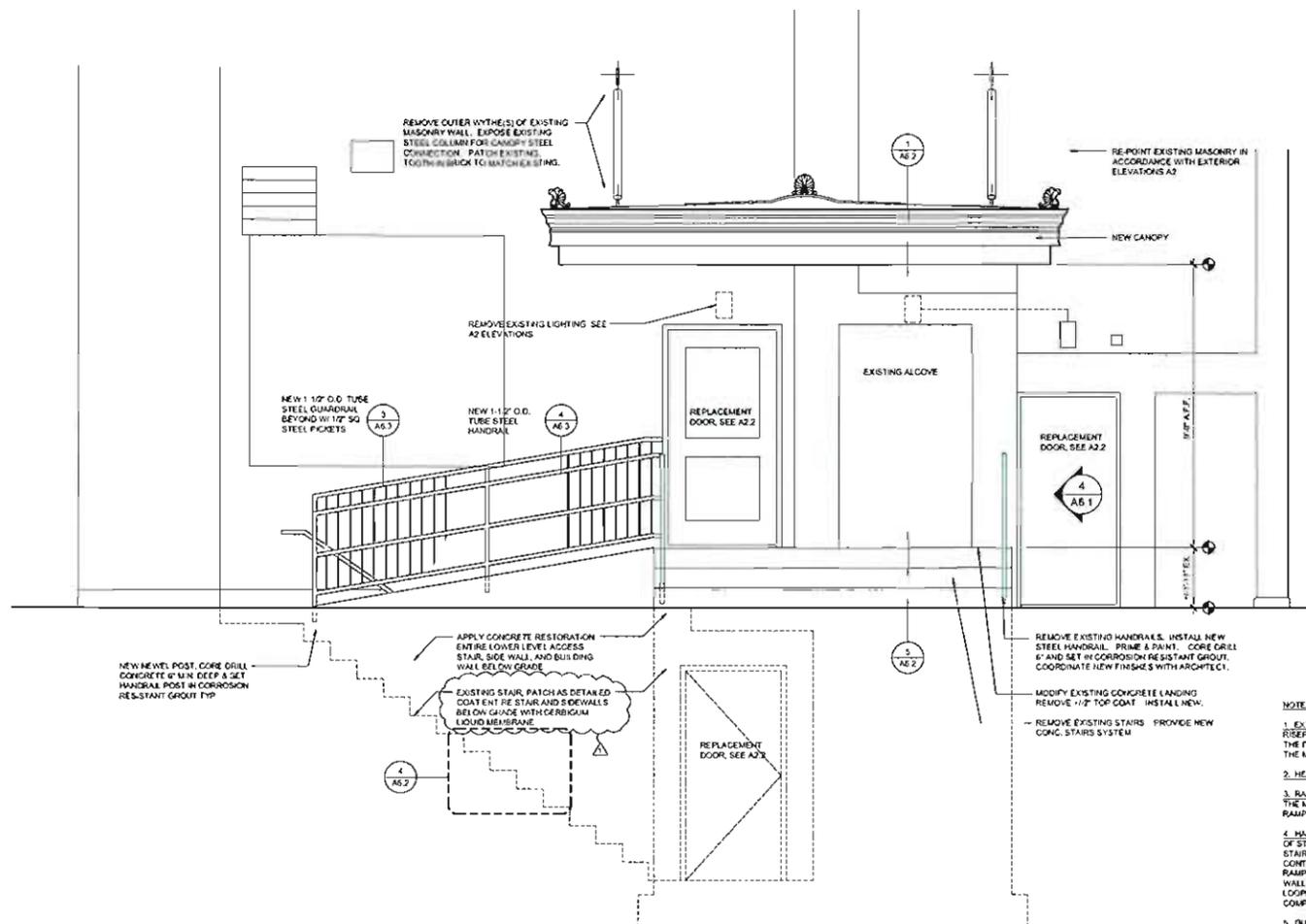
ROOF DETAILS



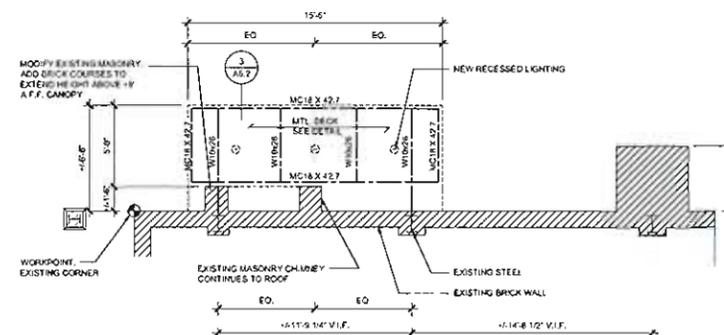
In-Site Consulting Architects
115 E. Main / STE 200
Kenosha, Wisconsin 53103
608.298.0888
608.261.4162 (fax)
info@insite.com

Kenosha County
Administration Building
101 E. Main Street
Kenosha, WI 53140

EXTERIOR RESTORATION PROJECT AT THE
KENOSHA COUNTY ADMINISTRATION BUILDING
KENOSHA, WI



2 NORTH ELEVATION - CANOPY ALTERATIONS
SCALE: 1/2" = 1'-0"

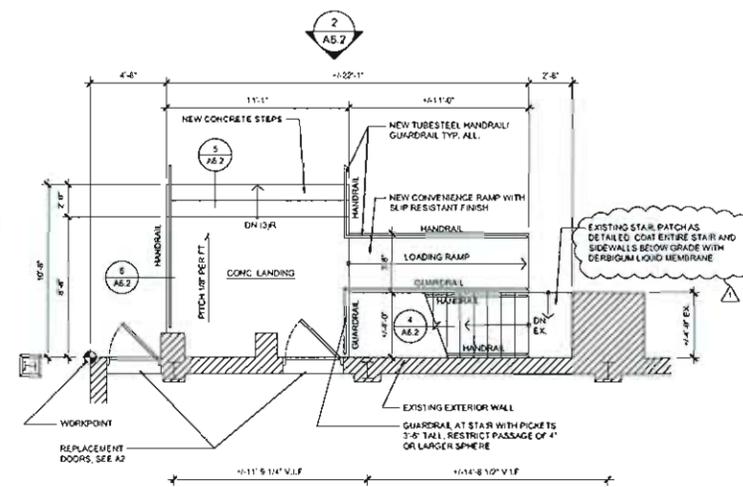


1A CANOPY FRAMING PLAN - ALT B & C
SCALE: 1/4" = 1'-0"

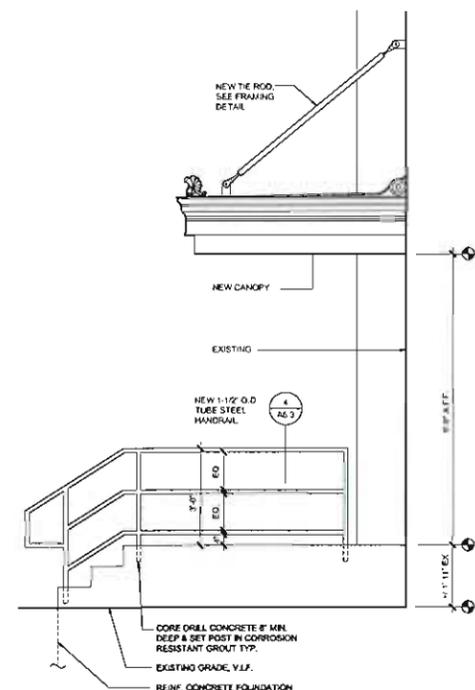
NOTES COMPLY WITH THE FOLLOWING:

- EXTERIOR CONCRETE RISERS & THROAT RISERS SHALL BE OF UNIFORM DIMENSIONS FOR THE FLIGHT, WITH A MAXIMUM RISE HEIGHT OF 7". THE MINIMUM TREAD SHALL BE 10".
- HEADROLL MINIMUM HEADROOM IS 7'-0" A.F.F.
- RAMP CLEAR WIDTH - SEE PLANS FOR WIDTH. THE MINIMUM WIDTH OF RAMP SHALL BE 30". RAMP SHALL HAVE EDGE PROTECTION 4" A.F.F.
- HANDRAILS SHALL BE PROVIDED ON BOTH SIDES OF STAIRS AT 36" ABOVE STAIR nosING FOR ALL STAIRWAYS OR RAMPS. ALL HANDRAILS SHALL BE CONFORMOUS THE FULL LENGTH OF THE STAIR OR RAMP. TERMINATIONS SHALL BE INSTALLED TO THE WALL OR RETURN TO HENNEL POSTS OR SAFETY LOOPED TERMINALS - SEE DETAILS FOR CODE COMPLIANT EXTENSIONS.
- GUARDRAILS SHALL BE PROVIDED FOR ALL LEVEL CHANGES OF 12" OR MORE. HEIGHT OF GUARDRAILS SHALL BE 36" A.F.F. RESTRICT PASSAGE OF 4" OR LARGER SPHERE.
- FINISH - ALL EXPOSED CONCRETE FLOORING TO BE SEaled AND FINISHED WITH FRICTION & SLIP-RESISTANT FINISH.

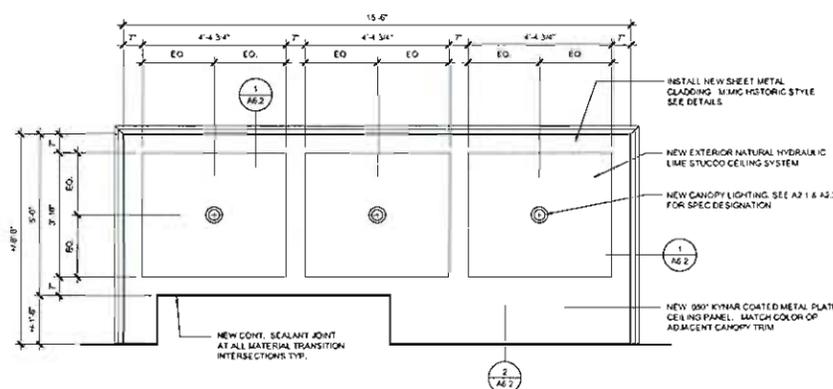
NOTE: REMOVE EXISTING METAL HANDRAIL GUARDRAIL COMPLETE. REMOVE EXISTING CONCRETE STAIRS. REMOVE PORTION OF EXISTING CONCRETE LANDING AND CONCRETE TOPPING TO ALLOW FOR NEW.



1 FIRST FLOOR PLAN - ALT. B
SCALE: 1/4" = 1'-0"

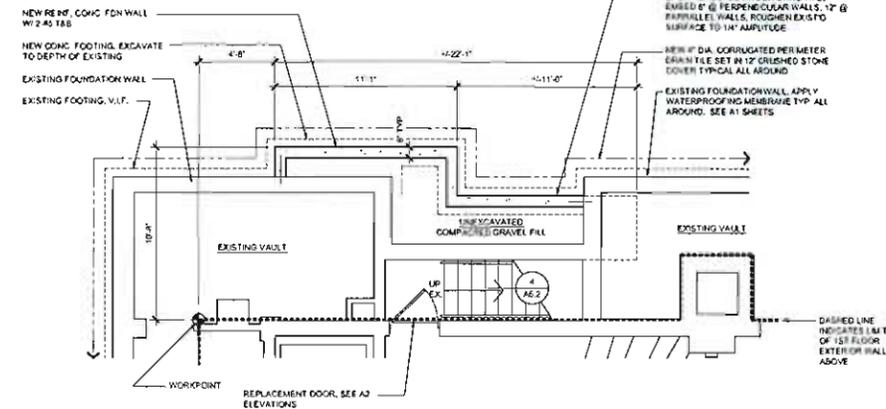


4 SIDE ELEVATION
SCALE: 1/2" = 1'-0"



3 NORTH CANOPY REFLECTED CLG. PLAN
SCALE: 1/2" = 1'-0"

FOUNDATION COORDINATION - ALLOW FOR ARCHITECT REVIEW OF FOOTING AND WALL FORMWORK PRIOR TO CONCRETE WALL POUR. CONFIRM ALL TOPS OF FOUNDATION WITH EXISTING GRADING CONDITIONS.

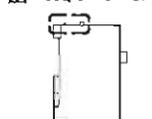


0 FOUNDATION PLAN - ALT. B
SCALE: 1/4" = 1'-0"

GENERAL NOTES

- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS.
- CONTRACTOR TO MEASURE AND DOCUMENT EXISTING CONCRETE STAIR PRIOR TO DEMOLITION.
- INSTALL NEW SEALANT AT JOINTS THROUGHOUT AS PER DETAIL A4.1 & A4.2. COORDINATE NEW SEALANT COLO WITH ARCHITECT.
- ALL PAINTED METALS TO BE REFINISHED WILL BE STRIPPED TO BARE METAL THEN PRIMED AND COATED WITH THE TMECC SYSTEM - SEE STEEL RESTORATION SPEC.

- ADDENDUM 1 1/9/14
- ADDENDUM 2 1/15/14
- ADDENDUM 4 1/23/14
- ADDENDUM 5 1/24/14



KEY PLAN

CA-NO KCAB 13-001

NORTH ENTRY PLANS AND DETAILS

CONSTRUCTION 03/06/14

A6.1

PLANS AND DETAILS



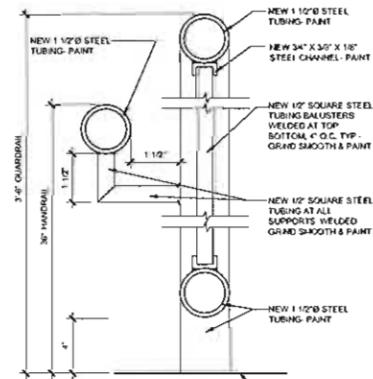
G.A. Consulting Architects
 112 E. Main Street 200
 Madison, Wisconsin 53703
 608-254-2825
 608-251-1142 (fax)
 info@gaarch.com

Kenosha County
 Administration Building
 10 N. 26th Street
 Kenosha, WI 53140

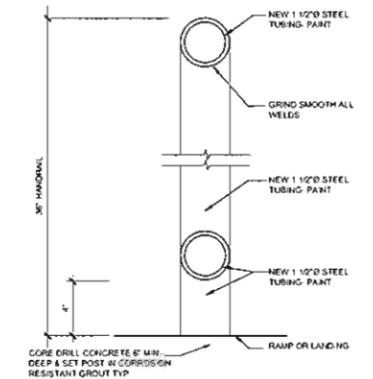
EXTERIOR RESTORATION PROJECT AT THE
 KENOSHA COUNTY ADMINISTRATION BUILDING
 KENOSHA, WI

NOTE: PROVIDE COMPLETE SHOP DRAWING SUBMITTAL INDICATING ELEVATION VIEW OF ALL HANDRAIL/GUARDRAIL CONDITIONS. SHOP DRAWING REVIEW REQUIRED PRIOR TO FABRICATION OR FRAMING. V.I.F. EXISTING DIMENSIONS.

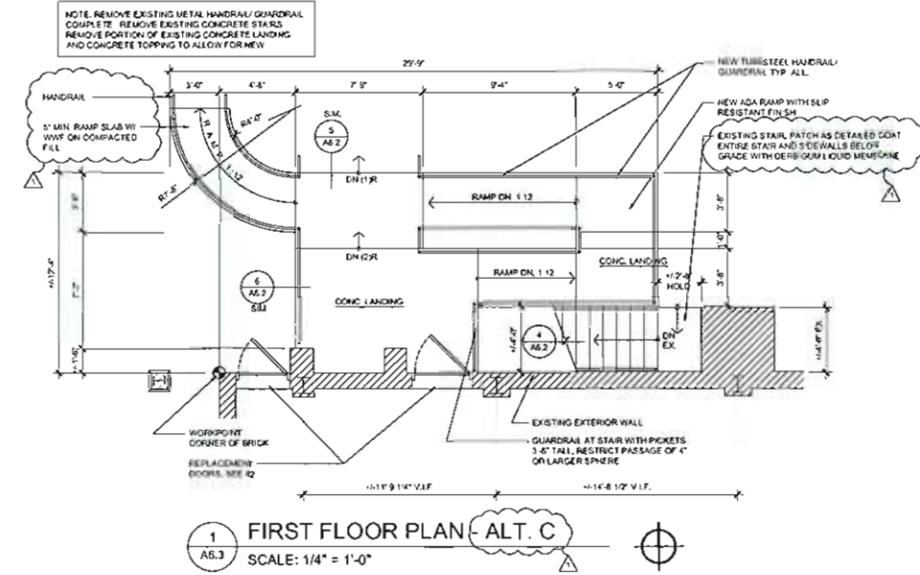
ALL EXPOSED STEEL TO BE GALVANNEED (SHUP 114181), FIELD PAINTED WITH (2) COATS STEEL PROTECTIVE COATING.



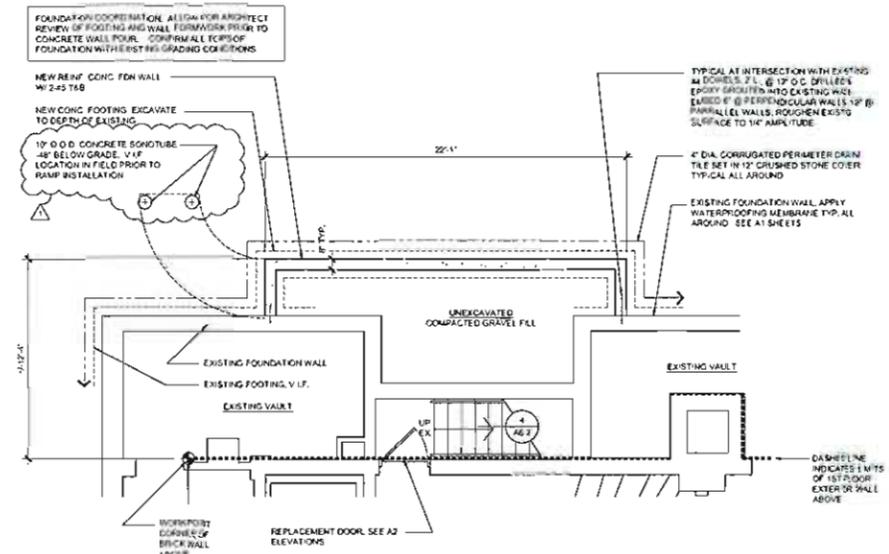
3 GUARDRAIL DETAIL
 SCALE: HALF FULL SIZE



4 HANDRAIL DETAIL
 SCALE: HALF FULL SIZE



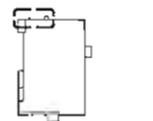
1 FIRST FLOOR PLAN - ALT. C
 SCALE: 1/4" = 1'-0"



0 FOUNDATION PLAN - ALT. C
 SCALE: 1/4" = 1'-0"

- GENERAL NOTES**
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS
 - CONTRACTOR TO MEASURE AND FOOTPRINT EXISTING CONCRETE STAIR PRIOR TO DEMOLITION
 - INSTALL NEW SEALANT AT JOINTS THROUGHOUT AS PER DETAIL A6.1 & A6.2. COORDINATE NEW SEALANT COLOR WITH ARCHITECT
 - ALL PAINTED METALS TO BE REFINISHED BY STRIPPING TO BARE METAL THEN PRIMED AND COATED WITH THE TMEC SYSTEM. SEE DETAIL RESTORATION SPEC

- ▲ ADDENDUM 1 1/9/14
- ▲ ADDENDUM 2 1/15/14
- ▲ ADDENDUM 4 1/20/14
- ▲ ADDENDUM 5 1/24/14



KEY PLAN

KA MO. KCAB 13-001

NORTH ENTRY ALTERNATE AND DETAILS

CONSTRUCTION 03/06/14

A6.3

ALTERNATE DETAILS

FACT SHEET Kenosha Historic Preservation Commission	Community Development Division 625 52nd Street Kenosha, WI 53140 262.653.4030	March 27, 2014	Item 2
--	--	----------------	--------

Commission Training

PURPOSE:

Commission Training

HISTORIC DISTRICT:

N/A

NOTIFICATIONS/PROCEDURES:

N/A

ANALYSIS:

- The attached training material will be discussed with the Historic Preservation Commission.

RECOMMENDATION:

A recommendation is made to receive and file.



Michael Maki, A.I.C.P.



Jeffrey B. Labahn, Director

The Economics of Preservation: Communities and Homes

Commission members should be aware of historic preservation's economic benefits to cities and communities. Dozens of studies conducted nationwide in recent decades have demonstrated that historic preservation is an economically sound, fiscally responsible, and cost-effective strategy that produces visible and measurable economic benefits to communities. In short, historic preservation makes good economic sense.

Tax Savings

In addition to the most obvious benefit of enhancing the surrounding physical environment, how can the rehabilitation and preservation of older buildings help a community? Between 2001 and 2005, the Wisconsin Historical Society assisted property owners with \$28 million of rehabilitation work on historic homes, leading to \$7 million of state tax savings. During these years, the state also recorded \$254 million of economic activity in the rehabilitation of income-producing historic buildings.

These tax credits amounted to \$50 million in federal tax savings and \$13 million in state tax savings for Wisconsin residents. These economic impacts have a ripple effect throughout local economies and promote additional investment and tourism.

Increased Property Values

Our houses often represent our largest economic asset, and we all want this asset to improve in value. Historic district designation and the use of design review guidelines help to ensure that our investment in a historic area will be protected — from inappropriate new construction, misguided remodeling, or demolition. Studies have shown that over time, property valuation in historic districts tends to increase, sometimes dramatically. No evidence suggests that historic designation and the use of design guidelines lowers property values.

Numerous studies across the country have shown that property values in designated National Register or local historic districts generally increase at a more rapid rate than the market. One example is a four-year study conducted during the 1990s in Knoxville, Tennessee, that compared house sale prices in three similar neighborhoods with varying historical designations. Over the four-year period, the neighborhood with both a local and a National Register designation had increased sale prices of 157%. The second neighborhood, which had National Register status but no local historic zoning, had increased sale prices of 36%. Property values in the neighborhood without any historical zoning or recognition increased by only 20% during the same period.

Locally designated districts protect the composite or overall economic value of a historic area. Every building or parcel in a historic area is influenced by the actions of its neighbors. Every decision one property owner makes has an impact on the property values of another. Design guidelines provide a level playing field for all property owners because they apply equally to everyone in a historic area.

Therefore, all property owners' rights are protected from the adverse economic impact that could result from the actions of others. Historic designation and design review not only benefits existing residents of a neighborhood, but it often attracts new buyers who know their investment will be protected.

Enhanced Livability

Quality of life is a key ingredient in most of today's economic decisions. Historic preservation is important because healthy downtowns and neighborhoods reflect a community's self-image. Companies planning to relocate will often consider the economic and physical health of the downtown in their decision-making process. Consider these points:

- More than any other man-made element, historic buildings differentiate one community from all others. Any community can duplicate your community's water lines, industrial park, shopping mall, or tax rate. No community can duplicate your historic resources.
- Many quality-of-life activities—museums, theaters, and libraries—are located in historic buildings and in downtown areas.
- The quality of historic buildings says much about a community's self-image. A community's commitment to itself is a prerequisite for nearly all quality-of-life elements.
- Historic preservation can lead to revitalized commercial areas, and commercial areas that are more active and lively also generally increase safety and diversity.
- Quality-of-life issues and the livability of a community are important factors to Baby Boomers, who make up the largest percentage of the U.S. population and have the highest median household incomes. Baby Boomers typically have an interest in culture and heritage and tend to enjoy entertainment venues, walkable streets, and other aspects commonly associated with preservation.
- Many Baby Boomers in the coming years will be downsizing and choosing urban lifestyles for dining, arts and culture, and convenience. A large number of Boomers don't want to be tied to the car in suburbia. As a result, demand will increase for housing in our downtown areas. Many downtowns are already seeing a surge in conversions of upper floor areas for loft apartments and condos.

In addition to offering tax savings, increasing property values, and enhancing the livability of a community, historic preservation efforts contribute to two other community economic benefits: tourism and job creation.

The Economics of Preservation: Tourism & Jobs

Economic Benefits of Heritage Tourism

A phrase that all commission members should have in their vocabulary is "heritage tourism." Across the nation, historic and cultural sites draw more tourists than recreational assets, making heritage tourism one of the fastest growing industries today. Heritage tourism strengthens the local economy by bringing outside dollars into local businesses.

Recent studies reveal that a typical heritage tourist stays longer, spends more money, and makes return trips or extends his or her stay much more than the average tourist. Communities that identify, preserve, enhance, and market their unique history and architecture will attract such visitors.

Heritage Tourism in Wisconsin

In Wisconsin, historic properties draw a substantial number of visitors to the state and constitute a large percentage of its tourism revenue. One of the most popular activities of Wisconsin tourists is sight-seeing, and travelers often select areas to visit based on the availability of historic and scenic sites. According to the Wisconsin Department of Tourism, in 2011 tourism had a \$16 billion impact on the state economy, with tourism generating \$1.3 billion in state and local revenues and sustaining 1 in every 13 jobs in the state.

Wisconsin was part of a pilot Heritage Tourism Program that began in 1990 in partnership with the National Trust for Historic Preservation. As one of four states selected to be part of this economic development initiative, Wisconsin became a model for similar efforts across the country. The Heritage Tourism Program is administered through the Department of Tourism and provides professional advice to local projects on tourism development, preservation and marketing, long-term development plans, and enhanced services to increase tourism. Projects developed through this program include:

- Timber Trails in Chippewa Valley
- Fox-Wisconsin Rivers Heritage Corridor
- Wisconsin's Ethnic Settlement Trail
- Lake Superior Heritage Highways

Another great example of a successful "homegrown" heritage tourism project in Wisconsin is "Wisconsin's Northwest Heritage Passage." In this project, the counties of Barron, Bayfield, Burnett, Polk, Sawyer, and Washburn worked together to produce thousands of maps to highlight the area's historic downtowns, craft shops, farmer's markets, and farms offering direct sales of produce. This map was funded by organizations in each of the counties involved, along with grant funds provided through the Wisconsin Department of Tourism Joint Effort Marketing Program. Comments from small business owners about the "Passage" map indicate the positive impact of this effort:

- "Definite impact. We've had our best summer in four years."
- "It has dramatically increased awareness of our immediate community and other handmade, homegrown businesses."
- "Yes, brought people here from out of the immediate area."
- "We had customers come in stating they found us on the map. Great way to promote on a large scale with a small budget."
- "I believe your map is responsible for my success this summer!"

In addition to the above accolades, the "Passage" program received a Wisconsin Rural Partners, Inc. award as one of the Top Ten Development Initiatives of 2001.

Creating Local Preservation Jobs

Rehabilitation and revitalization projects create thousands of construction jobs annually, and historic preservation creates more jobs than new construction. On average, \$1 million invested in rehabilitation instead of new construction produces:

- 20 percent more jobs
- \$120,000 more in the local economy
- \$107,000 more in household income
- \$34,000 more in retail sales

(The Economics of Historic Preservation, p. 14)

Historic preservation creates more jobs largely because rehabilitation projects are more labor intensive than new construction. In new construction, about half of all expenditures are for labor and half are for materials. In a typical historic rehabilitation project, between 60 and 70 percent of the total cost goes toward labor, which has a beneficial ripple effect throughout the local economy. Labor for preservation projects — carpenters, electricians, plumbers, sheet metal workers, painters — is nearly always hired locally. And local wages are spent locally.

In addition to construction, historic preservation also generates jobs for architects, accountants, attorneys, engineers, preservationists, real estate brokers, and others. The materials used in preservation projects are much more likely to be purchased locally, whereas materials for new construction are often purchased elsewhere. Across the nation, building rehabilitation outperforms new construction in the number of jobs created, the increase in local household incomes, and the impact on other industries.

[Sources: Rypkema, Donovan D. "The Economics of Historic Preservation: A Community Leader's Guide" (Washington, D.C.: National Trust for Historic Preservation, 1994); Wisconsin Department of Tourism. [The Power of Wisconsin Tourism](#) (PDF, 76 KB)]

Historic preservation conserves resources and encourages sustainable design, making it an environmentally friendly approach to revitalizing a community. Historic structures also tend to be more pedestrian-friendly than modern structures, which increases the walkability and vibrancy of a community.

The Environmental Impact of Preservation

Resource Conservation and Sustainable Design

Preserving and rehabilitating an existing historic building has less negative impact on the environment than new construction. The rehabilitation of older buildings utilizes existing infrastructure, such as water lines, sidewalks, and streets, and preserves existing building materials and architectural elements. Debris from demolition typically makes up 25 to 30 percent of all materials discarded in landfills. The rehabilitation of an existing structure prevents substantial amounts of building material from becoming landfill. The economic revitalization of a historic main street lessens the demand for another strip mall on the edge of town.

Historic buildings, particularly vernacular designs, are by nature closely tied to the land and are often

compatible with the principles of today's sustainable design for environmentally friendly structures. Features of historic buildings such as porches, large windows, and projecting overhangs take advantage of natural ventilation systems and solar heating. Historic properties typically incorporate the use of shade trees in their setting and are often sited to take advantage of natural wind currents. Preservation encourages the use of natural materials, typically generated at the local level.

Conservation of Embodied Energy

Historic buildings embody energy that was expended in the past — the energy put forth to make the bricks, clapboard siding, windows, and other elements of the building. Rehabilitating older structures is a cost-effective reuse of these existing assets. If original elements are removed and replaced with new materials, new energy must be applied to make them. On the heels of the energy crisis of the mid-1970s, the consulting firm Booz Allen Hamilton measured the amount of energy inherent in various building materials. They found that the amount of energy required to manufacture eight bricks, haul them to a construction site, and place them in a wall is equal to the amount of energy in a gallon of gasoline.

This finding was important because it tells us that existing historic buildings — the heart of many communities' Main Streets and neighborhoods — represent a huge energy investment. This investment is lost when these buildings are torn down. For example, the amount of energy inherent in the bricks alone in a typical three-floor, 20-by-100-foot brick bearing-wall main street building is equal to the amount of energy in more than 3,700 gallons of gasoline — enough to keep the average American driving for almost eight and a half years. Multiply this by the structures that make up a downtown or inner city residential building stock, and the embodied energy is enormous.

Increased Walkability

Historic preservation increases the general walkability of a city, town, or village. Historic structures were built and designed with pedestrians, rather than automobiles, in mind.

Historic commercial buildings, and many historic residential buildings, were built up to the sidewalk. Unlike their modern-day counterparts, historic commercial buildings have large display windows that passersby can see through, and their entryways are designed to be inviting to pedestrians. This welcoming design encourages interaction, and the more "walkable" a downtown or commercial area is, the more active and vibrant it becomes. And when people can take a pleasant walk to their destination, they may just leave the car at home.

Smart Growth Community Planning

A term that historic preservation commission members should have in their vocabulary is "smart growth." Smart growth refers to an approach toward community planning and development. The goal of smart growth is for a community to conscientiously direct its growth rather than allowing growth and development to happen randomly, which usually results in misuse of open space and wastes public and private investments.

Through smart growth planning, communities recycle existing buildings and land, conserve historic residential neighborhoods and downtown commercial districts, preserve farmland, and maintain community character.

Role of Preservation in Smart Growth Planning

Historic preservation work plays an important role in smart growth planning. Members of preservation commissions should be actively involved in developing and guiding their community's future through incorporating smart growth into local planning.

Wisconsin's comprehensive planning legislation requires community comprehensive plans to address these nine elements:

- Issues and opportunities
- Housing
- Transportation
- Utilities and community facilities
- Agricultural, natural, and cultural resources
- Economic development
- Intergovernmental cooperation
- Land use
- Implementation

As part of local government, a preservation commission should participate in the community's comprehensive planning process and take a lead role in developing the cultural resource component of the plan. Community members and groups with a significant interest or experience in historic preservation should also be included in this portion of the planning process.

In addition to leading the development of the cultural resource element of a community's comprehensive plan, the preservation commission should also be involved in the entire planning process and contribute to other elements of the plan. The commission's participation will ensure that all elements of the plan incorporate concerns for the community's cultural resources. The commission should have a representative on the planning committee and attend as many meetings as possible.

Guide to Smart Growth

The Wisconsin Historical Society's Division of Historic Preservation - Public History has published "A Guide to Smart Growth and Cultural Resource Planning," which thoroughly addresses a commission's role in the planning process and how to develop the cultural resource portion of a comprehensive plan. This document is a valuable resource that every commission member should have. The booklet outlines the following steps to take when developing the cultural resource element:

Organize the Historic Preservation Team

Encourage community participation and include representatives from a wide variety of key community groups, such as Native Americans, local historical society members, Main Street program members, local preservation groups, etc. Clarify the group's roles and purpose, and discuss views and perceived problems concerning local historic and cultural resources.

Create Vision

Investigate the concerns and values of the community regarding its historic and cultural resources. Develop overarching goals.

Take Stock

Collect and evaluate the available information about the community's cultural resources. Decide if an additional survey is needed.

Set Goals

Assess how existing programs meet the community's need to preserve significant historic and cultural resources. Identify issues and needs, and formulate long-range goals.

Strategize

Develop a strategy statement that proposes specific actions to achieve the stated goals, identifies responsible parties, and defines a time frame.

Implement

Define how the plan's goals and policies will be carried out. Be sure that the implementation element corresponds to other elements within the overall comprehensive plan.

Evaluate Progress

Establish a process to measure the progress of reaching the set goals, policies, and strategies.