

**AGENDA**  
**KENOSHA COMMON COUNCIL**  
**KENOSHA, WISCONSIN**  
**Council Chambers – Room 200 – Kenosha Municipal Building**  
**Monday, March 7, 2011**  
**7:00 P.M.**

**CALL TO ORDER**  
**ROLL CALL**  
**INVOCATION**  
**PLEDGE OF ALLEGIANCE**

Approval of the minutes of the meeting held February 21, 2011.

Matters referred to the Committees by the Mayor.

Presentation, Commendations and Awards by Mayor.

Awards and Commendations from Boards, Commissions, Authorities and Committees.

**CITIZENS' COMMENTS**

**A. REFERRALS**

**a. TO THE COMMITTEE ON FINANCE**

- a.1. Proposed Ordinance by Alderperson Anthony Nudo - to Repeal and Recreate Paragraph 1.03 e 7. of the Code of General Ordinances Allowing for Abstention by Alderpersons for Conflict of Interest Reasons and Updating the Historic Term "Alderman" to the Statutory Term "Alderson".

**b. TO THE PUBLIC WORKS COMMITTEE**

**c. TO THE PUBLIC SAFETY AND WELFARE COMMITTEE**

**d. TO THE CITY PLAN COMMISSION**

- d.1. Proposed Ordinance by Alderperson Jesse L. Downing – to Create Section 3.12 E.of the Zoning Ordinance Regarding Class "A"/"Class A" Businesses. (Also refer to Licensing/Permit Committee)

**e. TO THE LICENSING/PERMIT COMMITTEE**

- e.1. Proposed Ordinance by Alderperson Jesse L. Downing - To Repeal and Recreate Subsection 10.05 J. of the Code of General Ordinances Regarding Drive Through Window Regulation.

**B. COMMUNICATIONS, PETITIONS, REPORTS OF DEPARTMENTS**

- B.1. Approval of the following applications per list on file in the Office of the City Clerk:
- \_\_\_\_\_ Operator's (Bartenders) license(s).
  - \_\_\_\_\_ Transfer of Agent Status of Beer and/or Liquor license(s).
  - \_\_\_\_\_ Special Class "B" Beer and/or Special "Class B" Wine license(s).
  - \_\_\_\_\_ Taxi Driver License(s).

**C. RECOMMENDATIONS FROM THE COMMITTEE ON LICENSING/PERMITS**

*NOTE: All licenses and permits are subject to withholding of issuance by the City Clerk as specified in Section 1.045 of the Code of General Ordinances.*

- C.1. Approve application of Timothy Paar, for a new Operator's (*Bartender*) license, subject to **20 demerit points**. (Ayes 3: Noes 0) **HEARING**  
[go to backup](#)
- C.2. Approve application of James Nichols, for a new Taxi Driver's license, subject to **50 demerit points**. (Ayes 3: Noes 0) **HEARING**  
[go to backup](#)
- C.3. DENY application of Jerald Olson for a new Taxi Driver's license, **based on material police record**. (Ayes 4: Noes 0) **HEARING** [go to backup](#)
- C.4. Application of Mildred Torrez for a new Taxi Driver's license. (Recommendation Pending) **HEARING** [go to backup](#)
- C.5. Application of Bragados Banquets, LLC, Marco Mendez, Agent, for a new Cabaret License to be Located at 4820-75<sup>th</sup> Street (*Bragados Banquets*). (15<sup>th</sup> District) (Recommendation Pending) **HEARING** [go to backup](#)
- C.6. DENY application of Javier Vaca, Agent, for a Class "A" Beer/"Class A" Liquor License located at 7519 - 22<sup>nd</sup> Avenue, (*Sol Azteca*), **based on public safety & welfare and density**. (3rd District) (Ayes 4: Noes 0) **HEARING**  
[go to backup](#)
- C.7. DENY application of 504 Place, LLC, Ronald R. Slaght, Agent, for a Class "B" Beer/"Class B" Liquor License located at 504 57th St., (*Grant's Saloon & Eatery*), **based on public safety & welfare**. (2nd District) (Ayes 3: Noes 1) **HEARING** [go to backup](#)
- C.8. Approve application of GH Holdings, LLC, Michael Honold, Agent, for a Class "B" Beer/"Class B" Liquor License located at 6325 120th Avenue, (*The Hub*), (17th District) (Ayes 4: Noes 0) **HEARING** [go to backup](#)

- C.9. DENY application of Cobe, LLC, Blanca O. Martinez, Agent, for a Class "B" Beer/"Class B" Liquor License located at 621 - 56th Street, (*Hydrate Margarita Lounge*) **based on economic impact**. (2<sup>nd</sup> District) (Ayes 4: Noes 0) **HEARING** [go to backup](#)
- C.10. Approve application of GGR, LLC, Nick Gochis, Agent, for a Class "B" Beer/"Class B" Liquor License located at 4017 - 80th Street, (*Bull & Bear Eatery & Tavern*), with acceptance of a conditional surrender of a similar license at the same location from The Barn, LLC, to be effective March 8, 2011. (14th District) (Ayes 4: Noes 0) **HEARING** [go to backup](#)
- C.11. Approve application of Scotty's Inc. of Wisconsin to change the closing hours of the Outdoor Extension of the Class "B" Beer/"Class B" Liquor License located at 2117 - 50th Street, (*Scotty's Tavern*).to 12:00 AM. (Ayes 4: Noes 0) **HEARING** [go to backup](#)
- C.12. Approve application of Latoshi Stapleton for an Amusement and Recreation Enterprise Supervisor License (*Children's Recreational Club DF8*). (Ayes 4: Noes 0) **HEARING** [go to backup](#)

#### **D. ORDINANCES 1<sup>st</sup> READING**

- D.1. By Committee on Public Safety and Welfare - To Amend Section 7.115 A. (*of the Code of General Ordinances for the City of Kenosha, Wisconsin*), to Remove Automatic Traffic Control Signals at 52<sup>nd</sup> Street and Chrysler Driveway (2700 Block) (PSW-Ayes 5: Noes 0) [go to backup](#)

#### **E. ZONING ORDINANCES 1<sup>st</sup> READING**

- E.1. By the Mayor - To Repeal, Recreate and Renumber various parts of Sections 3.03 through 3.09 and 7.02 F. of the Zoning Ordinance regarding garages (*To Repeal, Recreate and Renumber various parts of Sections 3.03 through 3.09 regarding Front Yard Exceptions and Garages; To Repeal and Recreate Section 7.02 F. regarding Nonconforming Residential Structures, and To Create Definitions for "Front-facing Garage", "Livable Space", "Overhead Door" and "Side-loaded Garage" in Section 12.0 B. of the Zoning Ordinance for the City of Kenosha, Wisconsin.*) (CP-Ayes 7: Noes 0) [go to backup](#)
- E.2. By the Mayor - To Repeal and Recreate Subsection 4.06 A.17 of the Zoning Ordinance for the City of Kenosha regarding residential conditional uses to expressly authorize inspections as a point of verification for allowing non-conforming use as a conditional use . (CP-Ayes 7: Noes 0) [go to backup](#)

## **F. ORDINANCES 2<sup>nd</sup> READING**

- F.1. By Mayor - To Repeal and Recreate Various Sections of Chapter 15 (*of the Code of General Ordinances*) Related to Off-Premise Signs. (PSW-Ayes 5: Noes 0) (Deferred 12/6/10 & 12/20/10) **PUBLIC HEARING** [go to backup](#)

## **G. ZONING ORDINANCES 2<sup>nd</sup> READING**

- G.1. By the Mayor - To Create and Repeal and Recreate Various Sections of the Zoning Ordinance Regarding Off-Premises Signs (*Subsection 2.02 E.4 prohibiting off-premises signs and to Repeal and Recreate various sections of the Zoning Ordinance, removing off-premise signs as a conditional use in the B-2, M-1 and M-2 Districts; and To Create a limitation on the maintenance of non-conforming off-premises signs; and to Create a definition of "off-premises signs" in Section 12 of the Zoning Ordinance.*) (CP-No Recommendation-Ayes 7: Noes 0) (Deferred 12/6/10) **PUBLIC HEARING** [go to backup](#)
- G.2. By the Mayor - To Create Subsection 18.02 c. (of the Zoning Ordinance) to Amend the Land Use Plan Map for the City of Kenosha: 2035. (Kesch Properties, LLC) (6th District) (CP-Ayes 8: Noes 0) **PUBLIC HEARING** [go to backup](#)
- G.3. By the Mayor - To Rezone Property Located at 4418-4420 21st Avenue from RG-1 General Residential District to B-1 Neighborhood Business District, (in conformance with Section 10.02 of the Zoning Ordinance, District #6 [Kesch] (CP-Ayes 8: Noes 0) **PUBLIC HEARING** [go to backup](#)

## **H. RESOLUTIONS**

- H.1. By Finance Committee – To Levy Special Assessments Upon Various Parcels of Property Located in the City per List on File in the Office of the City Clerk:
- a. Trash and Debris Removal - \$340.00
  - b. Boarding and Securing - \$2,404.60
  - c. Property Maintenance Reinspection Fees - \$2,300.00
- (Fin.-Recommendation Pending) **HEARING** [go to backup](#)
- H.2. By Public Works Committee - Intent to Assess for Project 11-1012 Resurfacing Phase I (*32nd Avenue - 60th Street to 55th Street, Taft Road – Pershing Blvd to 39th Avenue, 88th Place - 47th Avenue to 43rd Avenue, 81st Street - 25th Avenue to 22nd Avenue, 25th Avenue - 32nd Street to 31st Street*) for Hazardous Sidewalk and Driveway Approach Only. (5<sup>th</sup>, 11<sup>th</sup>, 13<sup>th</sup> 14<sup>th</sup> & 15<sup>th</sup> Districts) (PW-Ayes 6: Noes 0) [go to backup](#)

- H.3. By the Board of Water Commissioners – To Endorse the Regional Water Supply Plan for Southeastern Wisconsin as Adopted on December 1, 2010 by the Southeastern Wisconsin Regional Planning Commission. (Board of Water Commissioners – Ayes 5: Noes 0) [go to backup](#)
- H.4. By Mayor - Designating the Boundaries of the City of Kenosha's Development Opportunity Zone. (Fin.-Recommendation Pending) [go to backup](#)

**I. APPOINTMENTS/REAPPOINTMENTS BY THE MAYOR**

- I.1. Appointment of Pamela DeVuyst to the Transit Commission for a term to expire June 7, 2011. [go to backup](#)
- I.2. Appointment of Mary Therese Sinnott Chardukian to the Kenosha Housing Authority for a term to expire July 1, 2015. [go to backup](#)

**J. PUBLIC CONSTRUCTION AND IMPROVEMENT CONTRACTS**

- J.1. Approve Award of Contract for Project 10-1412 Southport Beach House ADA Ramp (7825 First Avenue) to Camosy Construction, (Kenosha WI), in the amount of \$27,000.00. (3<sup>rd</sup> District) (PW-Ayes 6: Noes 0; Park Commission – Ayes 5: Noes 0) [go to backup](#)
- J.2. Award of Contract for Project 10-1025 38th Street Reconstruction – Phase IV (38th Street - West of CTH S; East of Kilbourn Ditch Bridge) to Stark Asphalt, (Milwaukee, Wisconsin), in the amount of \$550,000.00. (16<sup>th</sup> District) (PW-Ayes 6: Noes 0) [go to backup](#)

**K. OTHER CONTRACTS AND AGREEMENTS**

- K.1. Approval of Lease By and Between the City of Kenosha, Wisconsin (A Municipal Corporation) and Harris Golf Cars (An Iowa Corporation). (Park Commission-Recommendation Pending) [go to backup](#)

**L. RECOMMENDATIONS FROM THE COMMITTEE ON FINANCE**

- L.1. Disbursement Record #3 – \$5,172,141.36. (Recommendation Pending) [go to backup](#)

**M. RECOMMENDATIONS FROM THE COMMITTEE ON PUBLIC WORKS**

**N. RECOMMENDATIONS FROM THE COMMITTEE ON PUBLIC SAFETY & WELFARE**

**O. REPORTS AND RECOMMENDATIONS OF BOARDS AND COMMISSIONS**

- O.1. Approve Conditional Use Permit for a 4,070 s.f. restaurant with a drive-thru to be located at the northeast corner of Green Bay Road and Washington Road. (*District #16*). (*McDonald's at Kenosha Pointe*) (Ayes 7: Noes 0)  
**PUBLIC HEARING**  
[go to backup](#)
- O.2. Approve Conditional Use Permit for a 47-unit senior assisted living facility to be located at 1870 27th Avenue (*District #5*). (*Celebre Place*) (Ayes 7: Noes 0)  
**PUBLIC HEARING**  
[go to backup](#)
- O.3. Approve Conditional Use Permit for a non-conforming residential use to be located at 6316 28th Avenue (*District #12.*) (*Vines*) (Ayes 7: Noes 0)  
**PUBLIC HEARING**  
[go to backup](#)

And such matters as are authorized by law or regular business.

LEGISLATIVE REPORT  
MAYOR'S COMMENTS  
ALDERMEN'S COMMENTS

IF YOU ARE DISABLED AND IN NEED OF ASSISTANCE,  
PLEASE CALL 653-4020 BEFORE THIS MEETING  
web site: [www.kenosha.org](http://www.kenosha.org)



**COMMON COUNCIL  
OFFICIAL PROCEEDINGS  
Monday, February 21, 2011**

**Keith G. Bosman, Mayor                      Michael K. Higgins, City Clerk**

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**KENOSHA MUNICIPAL  
BUILDING COUNCIL  
CHAMBERS ROOM 200**

**Monday, February 21, 2011**

At a meeting of the Common Council held this evening, His Honor, Mayor Keith G. Bosman presided. The meeting was called to order at 7:03 p.m.

On roll call, the following members of the Common Council were present: Alderpersons Ruffalo, Michalski, Ruffolo, LaMacchia, Ohnstad, Juliana, Marks, Green, Kennedy, Nudo, Bostrom, Misner, Prozanski, Orth, Downing and Bogdala. Excused: Alderperson Haugaard.

The invocation was given by Alderperson Prozanski.

Mayor Bosman then led the Council in the Pledge of Allegiance to the American Flag.

It was moved by Alderperson Gree, seconded by Alderperson LaMacchia, to approve the minutes of the meeting held February 7, 2011.

Motion carried unanimously.

Seventeen (17) Citizens spoke during Citizen's Comments: Ray Heideman, Michael Goebe, Jeff Weidner, Tom Anderson, Richard Baumann, Karen Kempinen, Patti Prostko, Kathy Lusiak, Louis Rugani, Tom Reiherzer, Donna Dickenson, Anne Knapp, Laurel Mozlin, Scott McDonald, Lucas Ade, Dave Domine and Nick Kasmer.

**MATTERS REFERRED TO THE COMMITTEES BY THE MAYOR**

a. To the Licensing/Permit Committee – Proposed Ordinance by Alderperson Rocco LaMacchia, Sr. to Create Subsection 10.05 K. Regarding Limitation on Sale of Individual Containers of Fermented Malt Beverages.

**A. REFERRALS**

**TO THE CITY PLAN COMMISSION**

A.1. Conditional Use Permit for a 4,070 s.f. restaurant with a drive-thru to be located at the northeast corner of Green Bay Road and Washington Road, District #16. (McDonald's at Kenosha Pointe)

A.2. Conditional Use Permit for a non-conforming residential use to be located at 6316 28th Avenue, District #12. (Vines)

**B. COMMUNICATIONS,  
PETITIONS, REPORTS  
OF DEPARTMENTS**

B.1. It was moved by Alderperson Nudo, seconded by Alderperson Green, to approve:

a. 4 applications for an Operator's (Bartenders) license, per list on file in the office of the City Clerk.

b. There were no application(s) for a transfer of agent status of Beer and/or Liquor licenses, per list on file in the office of the City Clerk.

c. 7 application(s) for a special Class "B" Beer and/or "Class B" Wine license per list on file in the office of the City Clerk.

d. 1 There were no application(s) for a Taxi Driver's license per list on file in the office of the City Clerk.

On a voice vote, motion carried.

**C. RECOMMENDATIONS FROM THE COMMITTEE ON LICENSING/PERMITS**

C.1. It was moved by Alderperson Nudo, seconded by Alderperson Kennedy, to approve the following applications for new Operator's (Bartender) licenses, subject to:

-20 demerit points:

a. Priscella Gazda

b. Gloria Cameron

-40 demerit points:

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**Keith G. Bosman, Mayor**

**Michael K. Higgins, City Clerk**

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c. John Kemen

A hearing was held. Applicant a. was present and spoke. On a voice vote, motion carried.

C.2. It was moved by Alderperson Green, seconded by Alderperson Kennedy, to approve application of Taylor Leamon for a new Operator's (Bartender) license, subject to 80 demerit points.

A hearing was held. The applicant was present and spoke. On a voice vote, motion carried.

C.3. It was moved by Alderperson Ohnstad, seconded by Alderperson Kennedy, to approve application of Karen Felde for a new Taxi Driver's license, subject to 70 demerit points.

A hearing was held. The applicant was present and spoke.

C.3.1. It was then moved by Alderperson Ruffolo, seconded by Alderperson Kennedy to refer back to the Licensing/Permit Committee. On a voice vote, motion carried.

C.4. It was moved by Alderperson Nudo, seconded by Alderperson Bogdala, to approve Findings of Fact, Conclusions of Law and Recommendation (to revoke) in the Matter of the Taxi Driver's License of Lawrence Sosbe. A hearing was held. The applicant did not appear. On roll call vote, motion carried unanimously.

**D. ORDINANCES 1ST READING**

**E. ZONING ORDINANCES 1ST READING**

It was moved by Alderperson Nudo, seconded by Alderperson Ruffalo, to send the following ordinances on their way:

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**Keith G. Bosman, Mayor**                      **Michael K. Higgins, City Clerk**

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- E.1. By the Mayor - To Create Subsection 18.02 c. (of the Zoning Ordinance) to Amend the Land Use Plan Map for the City of Kenosha: 2035. (Kesch Properties, LLC) (6th District)
- E.2. By the Mayor - To Rezone Property Located at 4418-4420 21st Avenue from RG-1 General Residential District to B-1 Neighborhood Business District, (in conformance with Section 10.02 of the Zoning Ordinance, District #6 [Kesch])
- On a voice vote, motion carried.

**F. ORDINANCES 2ND READING**

- F.1. It was moved by Alderperson Nudo, seconded by Alderperson Bogdala, to adopt Ordinance 9-11.
- A public hearing was held. No one spoke for or against said ordinance.
- F.1.1. It was moved by Alderperson Kennedy, seconded by Alderperson Ohnstad to add the following stricken sentence back in:
1. "Proper Attire" shall mean, with respect to male members, a suit or sportcoat and dress pants worn with a shirt and tie, or banded collar shirt., ~~except for the time period of Memorial Day to Labor Day, during which a suit coat may be optional.~~
- On roll call vote, motion failed (7-9) with Alderpersons Kennedy, Downing, Michalski, LaMacchia, Ohnstad, Juliana and Marks voting aye.
- F.1.2. It was moved by Alderperson Kennedy, seconded by Alderperson Ohnstad to strike the following section:
- E. Penalty. If a member fails to comply with this ordinance or a majority of the Common Council does not vote to allow the suspension of the rule, those members found not to be in compliance, will be barred for the entirety of that particular Common Council meeting, Committee of the Whole meeting or committee, commission, or board meeting specified in subsection D. above, or until such time as they be found to be in compliance with this ordinance.*
- On roll call vote, motion failed (7-9) with Alderpersons Kennedy, Downing, Michalski, LaMacchia, Ohnstad, Juliana and Marks voting aye.
- On roll call vote, motion carried (9-7) with Alderpersons Kennedy, Downing, Michalski, LaMacchia, Ohnstad, Juliana and Marks voting nay and said ordinance was thereupon adopted as follows:

**ORDINANCE NO. 9-11**

**BY: ALDERPERSON DAVID F. BOGDALA**

**TO REPEAL AND RECREATE SECTION 1.025 OF THE CODE OF GENERAL ORDINANCES  
REGARDING DRESS CODE FOR MEMBERS OF THE COMMON COUNCIL**

The Common Council of the City of Kenosha, Wisconsin, do ordain as follows: Section One: Section 1.025 of the Code of General Ordinances for the City of Kenosha, Wisconsin, is hereby repealed and recreated as follows: 1.025 DRESS CODE FOR MEMBERS OF THE COMMON COUNCIL A. Purpose. The purpose of this Ordinance is to create a dignified and professional environment for the Council meetings which will be reflected in news media coverage thereof. B. Definitions. 1. "Proper Attire" shall mean, with respect to male members, a suit or sportcoat and dress pants worn with a shirt and tie, or banded collar shirt. 2. "Proper Attire" shall mean, with respect to female members, a dress, pantsuit, skirt with a sweater or blouse, or blazer with dress slacks. The term "proper attire" shall also mean that clothing shall be clean, neat and pressed. 3. "Business Casual" attire shall mean with respect to male members, a combination of collared shirt (such as a dress shirt or polo shirt) and cotton trousers (such as khakis or blue, green, brown, or black trousers). With respect to female members, a reasonable length skirt or full-length slacks of a material other than denim combined with a top (such as a dress shirt, polo, or sweater set) is considered acceptable. C. Requirement. All members of the Common Council shall wear proper attire to all regular meetings of the Common Council and Committee of the Whole meetings. During committee meetings of the Finance Committee, Public Works Committee, Board of Water Commissioners, Storm Water Utility Committee, Public Safety and Welfare Committee, Board of Park Commissioners, and License and Permit Committee, business casual attire shall be worn. D. Exception. The Common Council, by motion and for good cause, may suspend this rule for a particular meeting for

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**Keith G. Bosman, Mayor**

**Michael K. Higgins, City Clerk**

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the entire Common Council or for any member or members thereof, which a majority vote shall be required. E. Penalty. If a member fails to comply with this ordinance or a majority of the Common Council does not vote to allow the suspension of the rule, those members found not to be in compliance, will be barred for the entirety of that particular Common Council meeting, Committee of the Whole meeting or committee, commission, or board meeting specified in subsection D. above, or until such time as they be found to be in compliance with this ordinance. Section Two: This Ordinance shall become effective upon passage and publication.

**APPROVED:**

**KEITH G. BOSMAN, MAYOR**

**ATTEST:**

**DEBRA L. SALAS, DEPUTY CITY CLERK**

F.2. It was moved by Alderperson Nudo, seconded by Alderperson Green, to adopt Ordinance 10-11. A public hearing was held. No one spoke for or against said ordinance.

On roll call vote, motion carried unanimously and said ordinance was thereupon adopted as follows:

**ORDINANCE NO. 10-11**

**BY: ALDERPERSON ANTHONY NUDO**

**TO REPEAL AND RECREATE SECTION 8.01.A. OF THE CODE OF GENERAL  
ORDINANCES REGARDING STORMWATER UTILITY CREATION**

The Common Council of the City of Kenosha, Wisconsin, do ordain as follows: Section One: Section 8.01.A. of the Code of General Ordinances for the City of Kenosha, Wisconsin, is hereby repealed and

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**Keith G. Bosman, Mayor**

**Michael K. Higgins, City Clerk**

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recreated as follows: 8.01 GENERAL A. Creation. There is hereby established a Stormwater Utility in the City of Kenosha, Wisconsin. The operation of the Stormwater Utility shall be managed by the Director of Public Works (the Director), under the direction of the Stormwater Utility Committee. Section Two: This Ordinance shall become effective upon passage and publication.

**APPROVED:**

**KEITH G. BOSMAN, MAYOR**

**ATTEST:**

**DEBRA L. SALAS, DEPUTY CITY CLERK**

F.3. It was moved by Alderperson Ruffolo, seconded by Alderperson Green, to adopt Ordinance 11-11.

A public hearing was held. No one spoke for or against said ordinance.

On roll call vote, motion carried unanimously and said ordinance was thereupon adopted as follows:

**ORDINANCE NO. 11-11**

**BY: ALDERPERSON ANTHONY NUDO**

**TO REPEAL AND RECREATE SECTION 1.03.C.1. ENTITLED COMMITTEES OF COUNCIL;  
TO REPEAL AND RECREATE SECTION 1.03.C.1.B. ENTITLED COMMITTEE ON PUBLIC  
WORKS; TO CREATE SECTION 1.03.C.1.E. REGARDING COMMITTEE ON STORMWATER  
UTILITY; TO REPEAL AND RECREATE SECTION 1.03.C.2. REGARDING COMMITTEE  
MEMBERS; TO REPEAL AND  
RECREATE SECTION 1.06.K OF THE CODE OF GENERAL ORDINANCES REGARDING  
STORMWATER UTILITY COMMITTEE PURPOSE**

The Common Council of the City of Kenosha, Wisconsin, do ordain as follows: Section One: Section 1.03.C.1 of the Code of General Ordinances for the City of Kenosha, Wisconsin, is hereby repealed and recreated as follows: C. Committees of Council. 1. The Committees on Finance, Public Works (Board of Public Works), Public Safety and Welfare, Stormwater Utility, and Licenses/Permits shall be appointed by the Mayor and confirmed by a majority vote of the members present at the organizational meeting of the newly elected Council on the third Tuesday of April, or as soon thereafter as may be possible. Section Two: Section 1.03.C.1.B of the Code of General Ordinances for the City of Kenosha, Wisconsin, is hereby repealed and recreated as follows: b. Committee on Public Works which shall be the Board of Public Works and the Board of Water Commissioners. The Committee on Public Works shall be responsible for the management, control, improvement and regulation of all public grounds and grounds belonging to the City except such public grounds as under the laws of this State or the charter provisions of ordinances of the City are otherwise under the care and supervision of other officers, committees, boards or commissions. Section Three: Section 1.03.C.1.E. of the Code of General Ordinances for the City of Kenosha, Wisconsin, is hereby created as follows: e. Committee on Stormwater Utility which shall be empowered to govern, manage, control, improve and care for stormwater management services, systems, and shall have the powers and duties conferred upon it by the Code of General Ordinances of the City of Kenosha, and the Wisconsin State Statutes. Section Four: Section 1.03.C.2. of the Code of General Ordinances for the City of Kenosha, Wisconsin, is hereby repealed and recreated as follows: 2. The Committees on Finance, Public Works and Stormwater Utility shall consist of six (6) members of the Council and the Committees on Public Safety & Welfare and Licenses/Permits shall consist of five (5) members of the Council, all which members shall be appointed by the Mayor on or before the first Monday of May of each even numbered year. The Committees of Public Works and Stormwater Utility shall be made up of the same members. Section Five: Section 1.06.K. of the Code of General Ordinances for the City of Kenosha, Wisconsin, is hereby repealed and recreated as follows: K. Stormwater Utility Commission. There is hereby created a Stormwater Utility Commission, which shall be the Committee on Stormwater Utility of the Common Council. 1. Purpose. The purpose of the Stormwater Utility Commission is to govern, manage, control, improve and care for stormwater management services, systems and facilities. 2. Said Commission shall have all the powers and duties conferred upon it by the Code of General Ordinances of the City of Kenosha, and the Wisconsin State Statutes. Section Six: These Ordinances shall become effective upon passage and publication.

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**Keith G. Bosman, Mayor**

**Michael K. Higgins, City Clerk**

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**APPROVED:**

**KEITH G. BOSMAN, MAYOR**

**ATTEST:**

**DEBRA L. SALAS, DEPUTY CITY CLERK**

F.4. It was moved by Alderperson Nudo, seconded by Alderperson Michalski, to adopt Ordinance 12-11.

A public hearing was held. No one spoke for or against said ordinance.

On roll call vote, motion carried unanimously (Alderperson Misner absent for vote) and said ordinance was thereupon adopted as follows:

**ORDINANCE NO. 12-11**

**BY: MAYOR**

**TO REPEAL AND RECREATE VARIOUS SECTIONS OF CHAPTER 17 OF THE CODE OF GENERAL ORDINANCES REGARDING APPROVAL OF PLATS , TO EXTEND THE TIME**

**AFTER APPROVAL OF A**

**PRELIMINARY PLAT DURING WHICH FINAL APPROVAL MAY OCCUR, IN ORDER TO BECOME CONSISTENT WITH STATUTORY CHANGES**

The Common Council of the City of Kenosha, Wisconsin, do ordain as follows: Section One: Section 17.04 G.2. of the Code of General Ordinances for the City of Kenosha, Wisconsin, is hereby repealed and recreated as follows: 2. Approval or conditional approval of a Preliminary Plat shall not constitute automatic approval of the Final Plat, except that if the Final Plat is submitted within thirty-six months

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**Keith G. Bosman, Mayor                      Michael K. Higgins, City Clerk**

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of the last required approval by the Common Council or state, if applicable of the Preliminary Plat and conforms substantially to the Preliminary Plat layout as indicated in Section 236.11(1)(b) of the Wisconsin Statutes, the Final Plat shall be entitled to approval with respect to such layout. Any agency vested by law to have final approving authority of a plat may extend the time for submission of a Final Plat. The Preliminary Plat shall be deemed an expression of approval or conditional approval of the layout submitted as a guide to the preparation of the Final Plat, which will be subject to further consideration by the City Plan Commission and the Common Council at the time of its submission. The City Planner shall provide his or her conclusions as to whether the Final Plat conforms substantially to the Preliminary Plat and provide his or her recommendations on approval of the Final Plat. The conclusions and recommendation shall be made a part of the record of the proceeding at which the Final Plat is being considered and are not required to be submitted in writing. Section Two: Section 17.04 I.4. of the Code of General Ordinances for the City of Kenosha, Wisconsin, is hereby repealed and recreated as follows: 4. After the Final Plat has been approved by the Common Council and the State, and an assurance assuring the construction and installation of required improvements is filed, the City Clerk/Treasurer shall cause the certificate inscribed upon the Plat attesting to such approval to be duly executed. The City Planner shall then record the Plat with the Kenosha County Register of Deeds, within twelve (12) months of the last approval, and within thirty-six (36) months of the first approval. Section Three: Section 17.11 A.4. of the Code of General Ordinances for the City of Kenosha, Wisconsin, is hereby repealed and recreated as follows: 4. Assurances. The Development Agreement shall provide for an assurance as defined in Section 17.02 B., which shall guarantee the construction, installation and maintenance of improvements in compliance with the Development Agreement and this Ordinance. If the sub-divider's project will be constructed in phases the amount of any assurance required by the Development Agreement shall be limited to the phase of the project that is currently being constructed. The assurance required by the Development Agreement may not be required any sooner than is reasonably necessary before the commencement of the installation of the improvements. Section Four: This Ordinance shall become effective upon passage and publication.

**APPROVED:**

**KEITH G. BOSMAN, MAYOR**

**ATTEST:**

**DEBRA L. SALAS, DEPUTY CITY CLERK**

**G. ZONING ORDINANCES 2ND READING**

**H. RESOLUTIONS**

H.1. It was moved by Alderperson Green, seconded by Alderperson LaMacchia, to adopt resolutions 15-11 through 18-11. A hearing was held. No one spoke for or against said resolution. On roll call vote, motion carried unanimously (Alderperson Misner absent for vote) and said resolutions were thereupon adopted as follows:

**a. RESOLUTION NO. 15-11**

**BY: FINANCE COMMITTEE**

**To Specially Assess Certain Parcels of Property for Property Maintenance Reinspection Fees**

BE IT RESOLVED, that special assessments for reinspection fees during 2010/2011, in the total amount of \$3,312.00, be levied against the respective parcels of property as shown by a report of the Department of Neighborhood Services and Inspections and filed in the office of the City Clerk of the City of Kenosha.

**APPROVED:**

**KEITH G. BOSMAN, MAYOR**

**ATTEST:**

**DEBRA L. SALAS, DEPUTY CITY CLERK**

**b. RESOLUTION NO. 16-11**

**BY: FINANCE COMMITTEE**

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**Michael K. Higgins, City Clerk**

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**To Specially Assess Certain Parcels of Property for Boarding and Securing**

BE IT RESOLVED, that special assessments for boarding and securing (account #110-00-46808) during 2010/2011, in the total amount of \$1,708.48, be levied against the respective parcels of property as shown by a report of the Department of Neighborhood Services and Inspections and filed in the office of the City Clerk of the City of Kenosha.

**APPROVED:**

**KEITH G. BOSMAN, MAYOR**

**ATTEST:**

**DEBRA L. SALAS, DEPUTY CITY CLERK**

**c. RESOLUTION NO. 17-11**

**BY: FINANCE COMMITTEE**

**To Specially Assess Certain Parcels of Property for Razing/Pre-Razing of Structures**

BE IT RESOLVED, that special assessments for razing/pre-razing of structures during 2010/2011, in the total amount of \$2,235.00, be levied against the respective parcels of property as shown by a report of the Department of Neighborhood Services and Inspections and filed in the office of the City Clerk of the City of Kenosha.

**APPROVED:**

**KEITH G. BOSMAN, MAYOR**

**ATTEST:**

**DEBRA L. SALAS, DEPUTY CITY CLERK**

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**d. RESOLUTION NO. 18-11  
BY: FINANCE COMMITTEE**

**To Specially Assess Certain Parcel(s) of Property for Trimming/Removing Bushes for Visual Clearance (Miscellaneous Assessment)**

BE IT RESOLVED, that special assessments for visual clearance issues during 2010, in the total amount of \$175.00, be levied against the respective parcels of property as shown by a report of the Department of Neighborhood Services and Inspections and filed in the office of the City Clerk of the City of Kenosha.

**APPROVED:**

**KEITH G. BOSMAN, MAYOR**

**ATTEST:**

**DEBRA L. SALAS, DEPUTY CITY CLERK**

H.2. It was moved by Alderperson Ruffalo, seconded by Alderperson Michalski, to adopt Resolution 19-11.

A public hearing was held. No one spoke for or against said resolution.

On roll call vote, motion carried unanimously and said resolution was thereupon adopted as follows:

**RESOLUTION NO. 19-11**

**BY: FINANCE COMMITTEE**

**RESOLUTION TO APPROVE THE 2011 CONSOLIDATED PLAN - ANNUAL PLAN**

WHEREAS, the City of Kenosha receives CDBG funds under the Housing and Community Development Act of 1974, as amended; and HOME funds under the HOME Investment Partnership Program of 1991 as amended; and WHEREAS, the U.S. Department of Housing and Urban Development (HUD) requires the City to develop a document designed as its Consolidated Plan; and WHEREAS, for the purpose of the CDBG Program, public hearings were held before the CDBG Committee on September 15, 2010; December 7, 2010 and December 8, 2010; the City Plan Commission on September 23, 2010 and February 21, 2011; the Finance Committee on October 18, 2010 and February 21, 2011 and the Common Council on October 18, 2010 and February 21, 2011 to consider proposed projects and obtain citizen views and comments on housing and community development needs; and WHEREAS, for the purpose of the HOME Program, public hearings were held before the Finance Committee on February 21, 2011 and the Common Council on February 21, 2011 to consider the 2011 Program Description and obtain citizen comments on housing needs; and WHEREAS, the 2011 CDBG Entitlement Grant to be received from HUD for the City is estimated to be \$1,163,013 and project allocations are based on this amount; and WHEREAS, if the actual 2011 CDBG Entitlement Grant is less than \$1,163,013, program allocations will be adjusted in proportion to each project allocation; and WHEREAS, if the actual 2011 CDBG Entitlement Grant is more than \$1,163,013, funds will be used in accordance with the 2011 Fund Allocation Plan approved by the Common Council on October 18, 2010, Item #L.3.; and WHEREAS, the 2011 HOME Entitlement Grant to be received from HUD for the City is estimated to be \$523,933 and proposed allocations are based on this amount; and WHEREAS, if the actual 2011 HOME Entitlement Grant is more or less than \$523,933, the program allocation will be adjusted in proportion to each activity allocation approved in the 2011 Program Description. NOW, THEREFORE, BE IT RESOLVED by the Common Council, that the 2011 Consolidated Plan - Annual Plan is approved; and BE IT FURTHER RESOLVED that the Mayor is hereby authorized to submit all necessary and required documents to the U.S. Department of Housing and Urban Development, and execute all documents relative thereto.

**APPROVED:**

**KEITH G. BOSMAN, MAYOR**

**ATTEST:**

**DEBRA L. SALAS, DEPUTY CITY CLERK**

H.3. It was moved by Alderperson Nudo, seconded by Alderperson Green, to adopt Resolution 20-11. Alderperson Kennedy requested the Clerk to read the resolution out loud. The Clerk read the resolution.

H.3.1. It was then moved by Alderperson LaMacchia, seconded by Alderperson Kennedy to defer for 30 days. After discussion, the maker and seconder withdrew this motion.

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H.3.2. It was moved by Alderperson Ruffolo, seconded by Alderperson Ruffalo to amend the resolution to add the program should be completed in 60 days. On a voice vote, decision was unclear. On roll call vote, motion carried (12-4) with Alderpersons Kennedy, LaMacchia, Juliana and Marks voting nay.

On roll call vote, motion carried (12-4) with Alderpersons Kennedy, LaMacchia, Juliana and Marks voting nay and said resolution was thereupon adopted as follows:

**RESOLUTION NO. 20-11**

**BY: Alderperson ANTHONY NUDO**

**Alderperson DAVID F. BOGDALA**

**Alderperson MICHAEL J. ORTH**

**Alderperson G. JOHN RUFFOLO**

**Alderperson RAY MISNER**

**Alderperson STEVE BOSTROM**

**Alderperson THEODORE RUFFALO**

**Alderperson JESSE L. DOWNING**

**Alderperson LAWRENCE F. GREEN**

**JOB OPPORTUNITIES BY SEVERAL NEIGHBORS OFFERING WORK PROGRAM  
(J.O.B.S. N.O.W. PROGRAM)**

WHEREAS, it is incumbent upon the Common Council for the City of Kenosha to provide an atmosphere conducive to employers providing jobs for its citizens; and,

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WHEREAS, the City of Kenosha has various unallocated dollars; and,

WHEREAS, said unallocated dollars should be assigned, in part, to assist the City of Kenosha with economic development to create or retain jobs; and,

WHEREAS, economic development activity that should be eligible for said unallocated dollars should include, but is not limited to commercial rehabilitation; and,

WHEREAS, the lending or granting of said unallocated dollars to commercial tenant and property owners (neighbors) to rehabilitate commercial real estate should be an eligible activity, so long as jobs are created or retained for or by a minimum of fifty-one percent low-to-moderate income persons.

NOW, THEREFORE, BE IT RESOLVED that the Common Council for the City of Kenosha create a program to loan or grant money to employers to rehabilitate commercial real estate in the City of Kenosha which shall create or retain jobs for or by a minimum of fifty-one percent low-to-moderate income persons for each loan or grant, and do ordain as follows:

1) Direct the City Attorney to draft an agreement and bring it back to the Common Council in 60 days which provides that the City of Kenosha would loan or grant various dollars on-hand to any eligible employer to rehabilitate commercial real estate, so long as said rehabilitation creates or retains jobs for or by a minimum of fifty-one percent low-to-moderate income persons, which shall be City of Kenosha residents, including any necessary provision(s) to protect and/or promote the interests of the City of Kenosha. Said loans or grants shall be subject to approval of the Common Council or designated committee thereof; and,

2) Request that the Executive Branch for the City of Kenosha (Mayor's Office) promote this program, once established, through all available sources of outreach to existing and prospective employers including, but not limited to, news releases, Chamber of Commerce, Kenosha Area Business Alliance, various State of Wisconsin and County of Kenosha economic development departments, and personal communication.

**APPROVED:**

**KEITH G. BOSMAN, MAYOR**

**ATTEST:**

**DEBRA L. SALAS, DEPUTY CITY CLERK**

H.4. It was moved by Alderperson Prozanski, seconded by Alderperson Orth to adopt resolution 21-11.

The sponsors of the resolution agreed to add Alderpersons Haugaard and Ruffolo to the sponsors of the resolution.

H.4.1. Alderperson Bogdala offered the following friendly amendment, to which the sponsors of the resolution agreed:

*WHEREAS, the Common Council of the City of Kenosha has in every budget beginning in fiscal year 2009 to the present, demonstrated an ability to work cooperatively with its union employees to reduce operating costs, increase efficiencies, and lower the tax burden to its citizens; and,*

*WHEREAS, the Common Council of the City of Kenosha has asked its employees to take a zero percent pay increase for two consecutive years, furlough days, and saved Transit positions by asking for a reduction of \$100,00000 in the operating budget in order to reduce the City's overall tax levy; and,*

*WHEREAS, the Common Council for the City of Kenosha has enjoyed a good working relationship with its union employees and supports local control and local decision-making when said decisions are associated with local tax dollars, and rejects any mandate from either the state or federal government; and,*

*WHEREAS, the Common Council for the City of Kenosha understands the economic realities needed to make decisions to overcome the state's budget shortfall; however, the proposed plan to limit the bargaining rights of municipal employees may adversely affect the local budget, whereby potentially leading to an increase in taxes due to eliminating bargaining rights for non-monetary contractual issues and limiting bargaining to monetary issues only.*

**RESOLUTION NO. 21-11**

**BY: THE MAYOR**

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**ALDERPERSON DANIEL PROZANSKI, JR.**

**ALERPERSON MICHAEL ORTH**

**ALDERPERSON TOD OHNSTAD**

**ALDERPERSON JAN MICHALSKI**

**ALDERPERSON ROCCO LAMACCHIA**

**ALDERPERSON RAY MISNER**

**ALDERPERSON ERIC HAUGAARD**

**ALDERPERSON G. JOHN RUFFOLO**

**TO REGISTER THE OPPOSITION OF THE CITY OF KENOSHA, WISCONSIN TO  
EFFORTS BY THE GOVERNOR AND/OR THE LEGISLATURE TO ADVERSELY AFFECT  
THE COLLECTIVE BARGAINING ABILITY OF GOVERNMENT EMPLOYEES**

WHEREAS, Wisconsin has maintained a progressive climate toward protection of its workforce, fostering an environment whereby organized labor has had a rich and extensive history in Wisconsin, intertwined with the history of the State, including: the first recognized labor activity was by ship carpenters in 1848, the year of Wisconsin's statehood; the first union was officially recognized in 1865, when the Molders Union Local 125 was formed in Milwaukee; in 1893, the state Federation of Labor, which later became the Wisconsin State AFL-CIO, was founded; and in 1932, the American Federation of State, County and Municipal Employees (AFSCME), a nationally-recognized union, got its start in Madison when a small group of white-collar, professional, state employees held a meeting "to promote, defend and enhance the civil service system;" and,

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WHEREAS, during the years of the Great Depression (1929-1941), Wisconsin workers joined unions in droves, making Wisconsin one of the most unionized of states on a percentage basis; it is a record that continues today; and,

WHEREAS, the state of Wisconsin has a long-standing tradition of being at the vanguard of protecting the rights of workers who contribute to the state's economy and culture; and,

WHEREAS, in 1911, the state of Wisconsin adopted the first workers' compensation law in the United States; and,

WHEREAS, in 1932, the state of Wisconsin adopted the first unemployment compensation law in the United States; and,

WHEREAS, in 1937, the Wisconsin Employment Relations Act was passed, adding critical state support to the workers' right to organize; and,

WHEREAS, in 1959, the Wisconsin Legislature passed the Public Employee Collective Bargaining Act, creating Section 111.70 of the Wisconsin Statutes, which made Wisconsin the first state to give local government workers and teachers collective bargaining rights; and,

WHEREAS, the Public Employee Collective Bargaining Act was strengthened in 1961 and 1963; and,

WHEREAS, in the absence of meaningful collective bargaining the only effective means that employees have in the negotiation process is their labor, creating the possibility of strikes or other work stoppages where agreement is not occurring, practical examples of which were recurring, almost annually in the 1950's in Milwaukee, Wisconsin, when AFSCME District Council 48 would threatened garbage strikes at budget time; and,

WHEREAS, to avoid the potential for for crippling strikes that would deprive citizens of governmental services, strikes were and are expressly prohibited, the quid pro quo for which prohibition are a series of regulations assuring peace, including articulating and forbidding "prohibited practices", and outlining methods of peaceful settlement of disputes; and,

WHEREAS, the Wisconsin law was a model for the nation; it was a success in that few crippling strikes occurred, while employees gained better wages and working conditions, and the citizenry has gained by retaining in civil service well-trained and experienced workers; and,

WHEREAS, Governor Walker's proposed plan to amend the Public Employee Collective Bargaining Act as embodied in Section 111.70 of the Wisconsin Statutes would essentially eliminate meaningful collective bargaining from all of Wisconsin's State public Unions; and,

WHEREAS, Governor Walker, in pushing his proposed plan, is not merely ignoring Wisconsin's long, rich history of collective bargaining, but by the state's proposed actions, unilaterally regressing governments' relationships with their respective organized workforces; and,

WHEREAS, ending collective bargaining for public employees in Wisconsin will do little to impact the state's budget shortfall; and,

WHEREAS, Governor Walker characterizes his plan of ending over a century of support for unions and collective bargaining as "modest" when in reality this proposal will end collective bargaining for public employees in the State of Wisconsin and increase the risk of labor strife and strikes in Kenosha and other communities across the state; and,

WHEREAS, the Common Council for the City of Kenosha supports the right of public employee unions in Kenosha and across the state to fairly negotiate contracts under the collective bargaining system; and,

WHEREAS, the Common Council of the City of Kenosha has in every budget beginning in fiscal year 2009 to the present, demonstrated an ability to work cooperatively with its union employees to reduce operating costs, increase efficiencies, and lower the tax burden to its citizens; and,

WHEREAS, the Common Council of the City of Kenosha has asked its employees to take a zero percent pay increase for two consecutive years, furlough days, and saved Transit positions by asking for a reduction of \$100,000.00 in the operating budget in order to reduce the City's overall tax levy; and,

WHEREAS, the Common Council for the City of Kenosha has enjoyed a good working relationship with its union employees and supports local control and local decision-making when said decisions are associated with local tax dollars, and rejects any mandate from either the state or federal government; and,

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WHEREAS, the Common Council for the City of Kenosha understands the economic realities needed to make decisions to overcome the state's budget shortfall; however, the proposed plan to limit the bargaining rights of municipal employees may adversely affect the local budget, whereby potentially leading to an increase in taxes due to eliminating bargaining rights for non-monetary contractual issues and limiting bargaining to monetary issues only.

THEREFORE, BE IT RESOLVED, that the Common Council for the City of Kenosha does hereby register its opposition to the proposed plan of Governor Walker to adversely affect bargaining rights of municipal employees and removing local decision making by amending Section 111.70 of the Wisconsin Statutes.

BE IT FURTHER RESOLVED, that the City Clerk/Treasurer is hereby directed to send a copy of this Resolution to Governor Scott Walker, State Senator Robert Wirsch, and State Assemblymen Peter Barca, John Steinbrink, and Samantha Kerkman.

**APPROVED:**

**KEITH G. BOSMAN, MAYOR**

**ATTEST:**

**DEBRA L. SALAS, DEPUTY CITY CLERK**

H.5. It was moved by Alderperson Ruffolo, seconded by Alderperson LaMacchia to approve resolution 22-11.

Alderperson Kennedy requested the clerk to read the resolution out loud. The clerk read the resolution.

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**Michael K. Higgins, City Clerk**

On roll call vote, motion to approve Resolution 22-11 carried (12-1) (Aldermen Juliana, Marks and Prozanski absent for vote) with Alderperson Kennedy voting nay and said resolution was thereupon adopted as follows:

**RESOLUTION NO. 22-11**

**BY: ALDERPERSON RAYMOND MISNER**

**TO REQUEST THAT THE PRESIDING OFFICER OF THE CITY OF KENOSHA MUNICIPAL COURT CASE NUMBER NAC01011 CONSIDER THE FOLLOWING FACTORS IN ITS REVIEW OF THE COMPLAINT SUBMITTED IN CASE NUMBER NAC01011**

WHEREAS, a complaint has been filed by the Enforcing Officer against Alderperson Raymond Misner in the City of Kenosha Municipal Court pursuant to City of Kenosha, Code of General Ordinances Section 30.09 D.; and, WHEREAS, the basis of the complaint is the alleged failure of Alderperson Misner to fully disclose information as required by City of Kenosha, Code of General Ordinances Section 30.07; and, WHEREAS, the complaint alleges that Alderperson Misner failed to identify obligations he owed to his creditors which are documented by civil judgments filed in the Kenosha County Circuit Court; and, WHEREAS, the civil judgments are a matter of public record and are readily available to the general public on the Wisconsin Circuit Court Access website "CCAP"; and, WHEREAS, the Kenosha News has publicly documented the indebtedness of Alderperson Misner in its print edition; and, WHEREAS, Alderperson Misner has on multiple occasions publicly disclosed in public forums such as common council meetings his indebtedness and financial hardships; and, WHEREAS, that prior to filing the Statement of Economic Interest dated December 7, 2009, Alderperson Misner was required to file a Statement of Economic Interest with the City of Kenosha, which completely disclosed his financial position at the time of that filing. NOW, THEREFORE, BE IT RESOLVED, that the Common Council for the City of Kenosha requests that the Presiding Officer of the City of Kenosha Municipal Court, Case Number NAC01011 consider the preceding factors in its review of the complaint in the matter of City of Kenosha vs. Raymond O. Misner.

**APPROVED:**

**KEITH G. BOSMAN, MAYOR**

**ATTEST:**

**DEBRA L. SALAS, DEPUTY CITY CLERK**

It was moved by Alderperson Ohnstad, seconded by Alderperson Nudo to approve Resolutions 23-11 and 24-11. On a voice vote, motion carried and said resolutions were thereupon adopted as follows:

**H.6. RESOLUTION No. 23-11**

**BY: The Mayor**

**RESOLUTION TO OFFICIALLY DESIGNATE THE CLASSIFICATIONS OF COURT CLERK I AND II AS NON-REPRESENTED POSITIONS**

WHEREAS, 2009 Wisconsin Act 402 amended Wisconsin Statute Section 755.10 by providing the Municipal Judge with the authority to determine the hiring, termination, hours of employment, and work responsibilities of the court personnel when working during hours assigned to the court; and WHEREAS, as a result of amendment to Wisconsin Statute Section 755.10, Local #71 of the American Federation of State, County and Municipal Employees (AFSCME) formally de-certified the positions of Court Clerk I and II from their representation by a unanimous vote on October 26, 2010; and WHEREAS, the City of Kenosha now recognizes these positions to be non-represented under the Civil Service Rules and Regulations; and WHEREAS, it is recommended that the salary ranges for these positions be established as follows under the 2011 Compensation Plan for Managerial, Supervisory, Professional and Confidential Employees.

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<b>Position</b>	<b>Step A</b>	<b>Step B</b>	<b>Step C</b>	<b>Step D</b>	<b>Step E</b>
Court Clerk II	\$3,113	\$3,307	\$3,502	\$3,696	\$3,891
Court Clerk I	\$2,989	\$3,176	\$3,362	\$3,549	\$3,736

NOW, THEREFORE, BE IT RESOLVED, by the Common Council of the City of Kenosha, Wisconsin that the classifications of Court Clerk I and II be officially designated as non-represented positions effective immediately.

**APPROVED:**

**KEITH G. BOSMAN, MAYOR**

**ATTEST:**

**DEBRA L. SALAS, DEPUTY CITY CLERK**

**H.7. RESOLUTION NO. 24-11**

**BY: MAYOR**

**TO RESCIND RESOLUTION 178-10, IN ORDER TO ALLOW FURTHER**

**DISBURSEMENTS TO KENOSHA LAKESHORE BUSINESS IMPROVEMENT DISTRICT**

WHEREAS, the Common Council adopted Resolution 178-10 on December 20, 2010; and, WHEREAS, said Resolution 178-10 prohibits further disbursement that would otherwise have been made to Kenosha Lakeshore Business Improvement District pursuant to subsection 2.180 of the Code

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of General Ordinances for the City of Kenosha until: (1) enough new members were appointed to the Kenosha Lakeshore Business Improvement District Board to create a quorum; (2) the Common Council received a written request that disbursements be reinstated; and (3) Resolution 178-10 be rescinded; and, WHEREAS, as of the February 7, 2011 meeting of the Common Council whereat two new members of the Kenosha Lakeshore Business Improvement District were confirmed, the total current membership is eight such that a quorum of the eleven established positions exists; and, WHEREAS, by letter from Zohrab Khaligian, secretary of Kenosha Lakeshore Business Improvement District, dated January 6, 2011, the Kenosha Lakeshore Business Improvement District has made the prerequisite request necessary under the provisions of Resolution 178-10 for reinstatement of disbursements to Kenosha Lakeshore Business Improvement District. NOW, THEREFORE, BE IT RESOLVED that Resolution 178-10 is hereby rescinded and the Common Council authorizes reinstatement of disbursements to Kenosha Lakeshore Business Improvement District otherwise withheld pursuant to Resolution 178-10, which is hereby rescinded.

**APPROVED:**

**KEITH G. BOSMAN, MAYOR**

**ATTEST:**

**DEBRA L. SALAS, DEPUTY CITY CLERK**

**I. APPOINTMENTS/  
REAPPOINTMENTS BY THE MAYOR**

**J. PUBLIC CONSTRUCTION AND IMPROVEMENT CONTRACTS**

**K. OTHER CONTRACTS AND AGREEMENTS**

K.1. It was moved by Alderperson Kennedy, seconded by Alderperson Ohnstad, to approve the Easement with AT & T at Anderson Park.

On roll call vote, motion carried (10-2) with Alderpersons Downing and Green voting nay.

**L. RECOMMENDATIONS FROM THE COMMITTEE ON FINANCE**

L.1. It was moved by Alderperson Kennedy, seconded by Alderperson Ohnstad, to approve the Disbursement Record #2 – \$43,885,342.29. On roll call vote, motion carried unanimously.

L.2. At approximately 10:17 pm, it was moved by Alderperson Kennedy, seconded by Alderperson Ohnstad to go into closed session to discuss collective bargaining ramifications of the proposed extension of the current collective bargaining agreement with AFSCME (AFL-CIO) Local #71 as submitted by AFSCME (AFL-CIO) Local #71 on February 21, 2011. pursuant to §19.85(1)(c), Wisconsin Statutes. On roll call vote, motion to go into closed session carried (13-1) with Alderperson Downing voting nay.

At approximately 10:54 p.m. the Council reconvened.

**M. RECOMMENDATIONS FROM THE COMMITTEE ON PUBLIC WORKS**

**N. RECOMMENDATIONS FROM THE COMMITTEE ON  
PUBLIC SAFETY & WELFARE**

**O. OTHER**

O.1. It was moved by Alderperson Downing, seconded by Alderperson Green, to approve the Conditional use Permit for a 2,905 s.f. Auto Sales Building to be Located at 5309-75th Street (Palmen/Fiat). (District 15) A public hearing was held. No one spoke.

On a voice vote, motion carried.

O.2 It was moved by Alderperson Green, seconded by Alderperson Michalski, to approve the Conditional use Permit for a Contractor's Storage Yard to be Located at 8867 Sheridan Road (Trees-B-Gone). (District

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9) A public hearing was held. One (1) person spoke.

O.2.1. It was then moved by Alderperson Bostrom, seconded by Alderperson Green to add the requirement to move the fence prior to the occupancy permit being issued.

On a voice vote, motion carried.

**ADJOURNMENT**

There being no further business to come before the Common Council, it was moved by Alderperson LaMacchia, seconded by Alderperson Green, to adjourn at 11:10 p.m.

On a voice vote, motion carried.

Approved:

**KEITH G. BOSMAN  
MAYOR**

Attest:

**DEBRA L. SALAS  
DEPUTY CITY CLERK**

**Operator (Bartender) License Police Record Report**  
**Applicant Information**

Date of Application:	Driver's License Status:	Name of Applicant:	Date of Birth:
2/15/11	VALID	Timothy J Paar	1/17/86

Address of Applicant:	Business (where license is to be used):	Business Address:
9002 Sheridan Rd Lot 34	Shell Food Plaza	11748 75th St
License Number: N183		Expiration Date: 6/30/12

Date of Charge	Offense	Status	Was Offense Listed on Application? (Y/N)	Points
02-25-10	Trespassing	Guilty	Y	20

**City Attorney Recommendation:**

Offense Demerit Points (above)	20
Were all Offenses Listed on Application?	Y
Total Demerit Points	20

X	Grant, Subject to	20	Demerit Points
	DENY, based on material police record (substantially related to the license activity)		
	DENY, false application		
City Attorney Comments:			

**Taxi Driver's License Police Record Report**  
**Applicant Information**

Date of Application:	Driver's License Status:	Name of Applicant:	Date of Birth:
1/28/11	VALID	James R Nichols	11/4/62

Address of Applicant:	Business (where license is to be used):	Business Address:
5009 58th St		
License Number:N24		Expiration Date:4/30/11

Date of Charge	Offense	Status	Was Offense Listed on Application? (Y/N)	Points
09-10-06	SPEEDING IN EXCESS	GUILTY	Y	50
	APPLICANT ALSO LISTED A SPEEDING OFFENSE IN 2010 IN ILLINOIS			

**City Attorney Recommendation:**

Offense Demerit Points (above)	50
Were all Offenses Listed on Application?	Y
Total Demerit Points	50

X	Grant, Subject to	50	Demerit Points
	DENY, based on material police record (substantially related to the license activity)		
	DENY, false application		
City Attorney Comments:			



**Taxi Driver's License Police Record Report**  
**Applicant Information**

Date of Application:	Driver's License Status:	Name of Applicant:	Date of Birth:
2/24/11	VALID	Mildred Torrez	1/13/63

Address of Applicant:	Business (where license is to be used):	Business Address:
6518 92nd Ave	My Way Cabs	6011 20th Ave
License Number:N28		Expiration Date:4/30/11

Date of Charge	Offense	Status	Was Offense Listed on Application? (Y/N)	Points
12-04-09	SPEEDING IN EXCESS	GUILTY	Y	50

City Attorney Recommendation:

Offense Demerit Points (above)	50
Were all Offenses Listed on Application?	Yes 0
Total Demerit Points	50

X	Grant, Subject to	50	Demerit Points
	DENY, based on material police record (substantially related to the license activity)		
	DENY, false application		
City Attorney Comments:			

APPLICATION FOR YEARLY CABARET LICENSE

CITY OF KENOSHA

NOTE: ALLOW 15 DAYS FOR PROCESSING & APPROVAL

PLEASE NOTE: This license is non-renewable. Applications shall be referred by the City Clerk to the Police Department. The Police Department shall make a report, in writing, to the City Attorney as to any police record of the applicant, which may reflect upon good moral character or business responsibility. The City Attorney shall examine said record and make a recommendation to the Committee on Licenses/Permits based thereon as to whether the license shall be granted. The Committee on Licenses/Permits shall review all applications, any reports, the recommendation of the City Attorney and all other information before it. Said Committee shall recommend to the Common Council either the granting or denial of each application. (In accordance to Chapter X, Section 10.07 of the Code of General Ordinances of the City of Kenosha.)

Type: 212-Yearly (Pink) \$300.00/Year

Date of Application 2/25/2011

1. Licensee Name Bragados Banquets, LLC, Marco Mendez (NOTE: must be same name as beer/liquor license)

2. Business Name & Address Bragados - 4820-75th Street Kenosha, WI 53142

3. If license is in the name of a Corporation or LLC, Agent Name Marco A. Mendez 53142

Licensee: Individual, or if Corporation/LLC, Agent completes following:

4. Date of Birth of Agent (if Corporation/LLC) or Individual 11/27/73

5. Address 11402-11th Ave, Pleasant Prairie, WI 53142

6. Driver's License Number: M5325417342705 - WI (MUST INDICATE IF THIS IS NOT A WISCONSIN DL)

7. Have you, as an adult, ever been convicted of a major crime (felony) or minor crime (misdemeanor) in Wisconsin, or in any other State, or do you have such a charge pending at this time? [ ] Yes [x] No If yes, state charge, year offense committed or alleged to be committed, and disposition:

8. Have you, as an adult, ever been convicted of violating a municipal or county ordinance in Wisconsin or in any state, or do you have such a charge pending at this time? [ ] Yes [x] No If yes, state charge and year offense committed or alleged to be committed, and disposition:

9. Have you, as an adult, ever served time, or been sentenced to serve time, in a jail or prison in Wisconsin or in any other State? [ ] Yes [x] No If yes, explain:

-OVER-

10. Have you ever had your driver's license suspended or revoked in Wisconsin or in any other State?  
 Yes  No If yes, explain:

11. Have you received any traffic citations in Wisconsin or in any other State within the past five (5) years, or do you have any such citations pending?  Yes  No If yes, state charge, year offense committed or alleged to be committed, and disposition:

Speeding ticket violation - 2011

12. Have you, as an adult, within the past five (5) years, while operating a business or engaged in a profession, been convicted of any state or federal charges, or do you have such charges pending at this time involving unfair trade practices, unethical conduct, or discrimination?  Yes  No If yes, state charge, year offense committed or alleged to be committed, and disposition:

13. List the name and address of all employers for which you have worked and/or businesses you have operated in the past five (5) years:

Harrath-Sinn (Architect) 1580 S. Milwaukee Ave. Libertyville, IL 60048  
Skidmore-Owens AAN Merrill, Chicago, IL 245, Michigan Ave. Chicago, IL  
Dockers Restaurant (Mario Martinez) 33 West Grand Ave. Fox Lake, IL. 60063

14. List all addresses at which you have lived in the past five (5) years:

1309 North Channel Drive, Round Lake Beach, IL 60073

11402 - 11<sup>th</sup> Ave. Pleasant Prairie, Kenosha, WI 53158 - Present

Applicant's Signature

Marco D. Mendley

Date:

2/25/2011

PLEASE READ: §1.22 LICENSE/PERMIT APPLICATIONS - CODE OF GENERAL ORDINANCES

A. Prohibition It shall be unlawful for any person, acting as an individual, a partner, a corporate officer, or an agent, to execute or file with any City Department, or to authorize any person to do so on their behalf, a license or permit application which is not true, correct and/or complete in all material respects and which was known by said person to be untrue, incorrect and/or incomplete. The term "in all material respects" shall mean with respect to some fact, which, if known to the granting authority, would be a basis or a consideration for license or permit denial.

B. Penalty 1) Any person violating Subsection A. above, shall, upon conviction thereof, be subject to a forfeiture not to exceed Five Hundred (\$500) Dollars, plus the payment of the costs of prosecution, and, in default of the timely payment thereof, shall be committed to the County Jail until such forfeiture has been paid, but not to exceed a period of thirty (30) days.

2) The license or permit granting authority may grant, but withhold the issuance of, any license or permit for a period not to exceed thirty (30) days from the date of granting under circumstances wherein an application is found by the granting authority to have violated Section A. above, and the applicant was provided with an opportunity to appear before the granting authority. The granting authority may also issue a written warning to the applicant which shall be made part of their license/permit record for two (2) consecutive license/permit years.

Where such finding and penalty is made and imposed by other than the Common Council, applicant may, within ten (10) days of receipt of oral or written notice of the imposition of any such penalty, whichever is first, if both oral and written notice is provided, file a Notice of Appeal with the City Clerk and have such matter reviewed by the Common Council.

§1.225 ADMINISTRATIVE CHARGE FOR PROCESSING LICENSE/PERMIT APPLICATIONS

The first Twenty-five (\$25) Dollars of the application fee for any License/Permit shall be retained by the City in the event of a License/Permit denial or the withdrawal of the application by applicant for administrative and processing costs, and the balance, if any, refunded to the applicant. Where the application fee is less than Twenty-five (\$25) Dollars, the entire application fee shall be retained by the City for administrative and processing costs.

# Memo



**Assistant Chief William J. Brydges**  
**Kenosha Police Department**  
**1000 - 55<sup>th</sup> Street**  
**Kenosha, WI 53140-3794**  
Telephone: (262) 605-5245  
Fax: (262) 605-5298  
Email: wjb213@kenoshapolice.com

February 10, 2011

To: Deputy City Attorney Matthew Knight  
City Clerk Mike Higgins

From: Assistant Chief William J. Brydges

Reference: Cabaret License for Bragados Banquets

Cc: File

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Our Department has received an application for a cabaret license for Bragados Banquets, Agent, Marco Mendez.

Although, there is no adverse recommendation on the applicant, Marco Mendez, the Department has had an issue with the business in the past week. The Tavern Unit conducted a compliance check at the business on February 26<sup>th</sup> and found they had live entertainment without a cabaret license. The owner/licensee, Marco Mendez, showed a receipt from February 25<sup>th</sup> which was issued by the City Clerk's office for a Cabaret license. They informed the officer that no information, instructions, or documents were given with the receipt from the City Clerk's Office. Officer Wilson did not issue any citations at that time; however, he did send information by e-mail that citations are still pending under this case and he plans to make contact with Marco Mendez by this Friday.

As there is a pending case against Bragados Banquets in which citations may be issued, our Department has adverse recommendations.

***Assistant Chief William Brydges***

Assistant Chief William Brydges

**CITY OF KENOSHA STATEMENT OF ECONOMIC IMPACT  
APPLICATION FOR A NEW "CLASS A" RETAIL LIQUOR LICENSE**

1. Applicant Name JAVIER VACA

2. Business Name SOL ARTECA

3. Property Information  
a. Address 7529 22<sup>nd</sup> AVE b. Owner JAVIER

c. If applicant is not owner, does applicant have a lease agreement with the owner?  Yes  No (Please note: proof of property ownership or proof of an executed lease must be provided to the City Clerk before the license will be issued)

d. Square footage of building 2,500 e. Assessed value of property 200,000

f. Assessed value of personal property (furniture, fixtures, equipment to be used in the business) 50,000

4. Number of Employees (NOTE: A minimum of two (2) employees are required to be on premises during the hours in which the sale of "Class A" Liquor beverages are permitted)

Number of Full Time Employees 2 Number of Part Time Employees \_\_\_\_\_

5. Is Premises physically closed to customers during the hours that the sale of "Class A" Liquor beverages are not permitted.  Yes  No

6. Gross Monthly Revenue - According to Section 10.03, applicants must come within 70% of the estimate of gross monthly revenue for alcohol beverages after one full license term or the license may be subject to revocation.

Product	Gross Monthly Revenue	Basis for Estimates
Beer	<u>65,000</u>	<u>Previous Liquor Store</u>
Liquor (including wine)	<u>20,000</u>	
Food	<u>1,000</u>	
Other (specify)		
<b>Total Gross Monthly Revenue</b>	<u>86,000</u>	

7. Explain how the issuance of this license will benefit the City:

MORE BUSINESS to this Area.

8. List other factors the Common Council should consider:

Experience in Running a Liquor Store.

Applicant Signature Javier Vaca

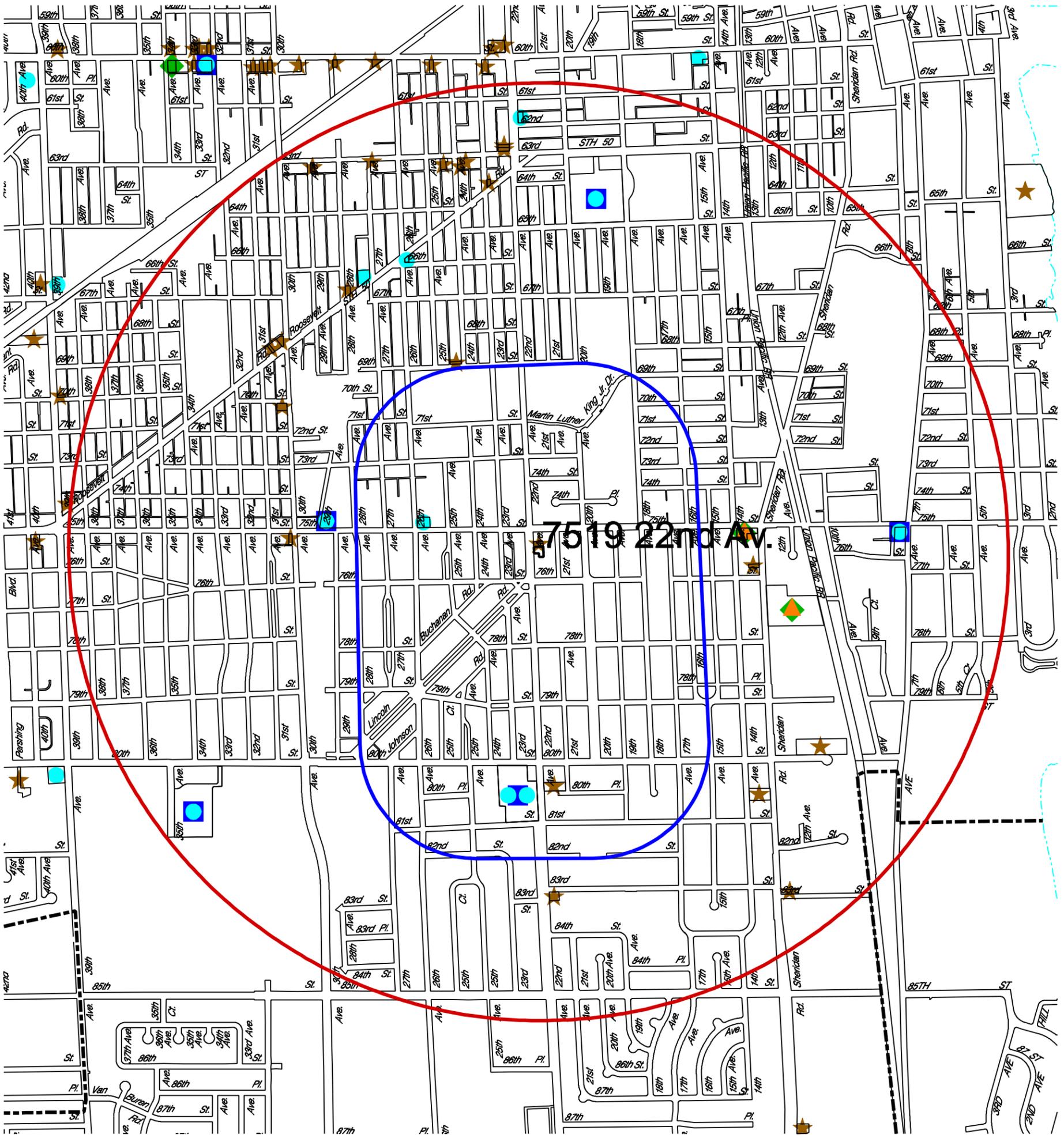
FOR OFFICE USE ONLY

Within 5,280 feet of the premises: Class "B" Beer only \_\_\_\_\_ "Class A" and "Class B" (Liquor) in residential district \_\_\_\_\_

"Class A" and "Class B" (Liquor) in business district \_\_\_\_\_ Class "A" Beer \_\_\_\_\_ "Class C" Wine \_\_\_\_\_

# City of Kenosha

## Class "A" Beer/"Class A" Liquor Combination Application 7519 22nd Avenue

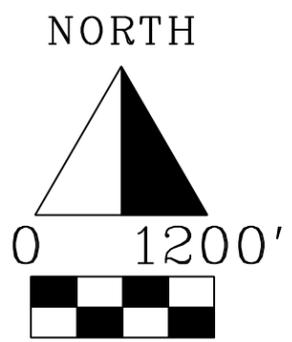


● Class "A"     
 ■ "Class A"     
 ◆ Class "B"     
 ★ Class "B" & "Class B"     
 ▲ "Class C"

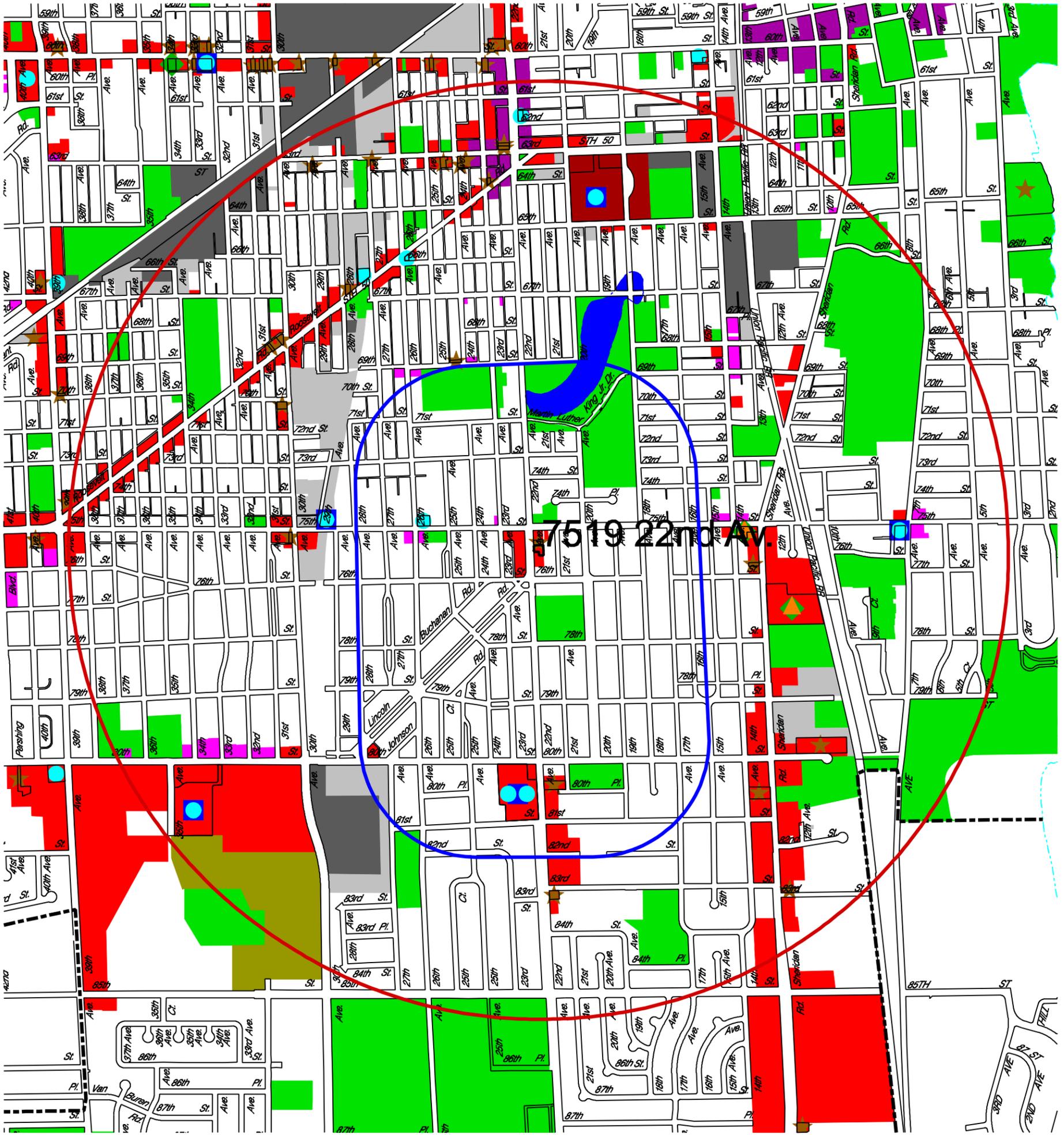
— 5,280 ft from Applicant     
 — 6 blocks from Applicant

5,280 ft Radius	Class "A"				
	Class "A"	"Class A"	Class "B"	Class "B" & "Class B"	"Class C"
Residential Districts	0	0	0	1	0
Business Districts	10	5	2	21	2
Other Districts	0	0	0	0	0

6 Block Radius	Class "A"				
	Class "A"	"Class A"	Class "B"	Class "B" & "Class B"	"Class C"
Residential Districts	0	0	0	0	0
Business Districts	3	1	0	2	0
Other Districts	0	0	0	0	0



Class "A" Beer/"Class A" Liquor Combination Application  
7519 22nd Avenue



- Class "A"
- "Class A"
- ◆ Class "B"
- ★ Class "B" & "Class B"
- ▲ "Class C"

Note: Residential Districts are not colored.

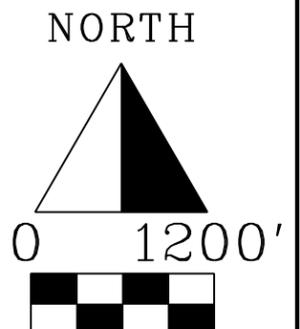
Note: Business Districts are colored as follows: B-1 B-2 B-3 B-4

— 5,280 ft from Applicant

— 6 blocks from Applicant

5,280 ft Radius	Class "A"				
	Class "A"	"Class A"	Class "B"	Class "B" & "Class B"	"Class C"
Residential Districts	0	0	0	1	0
Business Districts	10	5	2	21	2
Other Districts	0	0	0	0	0

6 Block Radius	Class "A"				
	Class "A"	"Class A"	Class "B"	Class "B" & "Class B"	"Class C"
Residential Districts	0	0	0	0	0
Business Districts	3	1	0	2	0
Other Districts	0	0	0	0	0



**CITY OF KENOSHA STATEMENT OF ECONOMIC IMPACT  
APPLICATION FOR A NEW BEER/LIQUOR LICENSE**

Check One:

<input type="checkbox"/>	Class "A" Retail Beer
<input type="checkbox"/>	Class "B" Beer Only
<input checked="" type="checkbox"/>	Class "B" Beer/Class B" Liquor Combination

1. Applicant Name RONALD R. SLAUGHT  
 2. Business Name CRANTS SALOON AND CATERY

**3. Property Information**

- a. Address 504-57th STREET
- b. Owner RONALD SLAUGHT / 504 PLACE LLC
- c. If applicant is not owner, does applicant have a lease agreement with the owner?  yes  no (Please note: Proof of property ownership or proof of an executed lease must be provided to the City Clerk before the license will be issued)
- d. Square Footage of Building 1365 sqft Assessed Value of Property \$167,400.-
- e. Assessed Value of Personal Property (furniture, fixtures, equipment) to be used in the business \$30,000

4. Number of Full Time Employees 1-2 Number of Part Time Employees 1-2

**5. Gross Monthly Revenue**

According to Section 10.03, applicants must come within 70% of the estimate for alcohol beverages after one full license term or the license may be subject to revocation. Also, according to Section 4.05, smoking is prohibited in restaurants. However, restaurants and/or taverns holding a Class "B" Fermented Malt Beverage or "Class B" Intoxicating Liquor license may permit smoking in the entire establishment or full service bar area if beer/liquor gross receipts account for 33-50% (smoking limited to full service bar area) or more than 50% (smoking permitted in entire establishment). Licensees are required to file an affidavit at the time of license renewal as a condition of the operator permitting smoking in a restaurant or tavern.

Gross Monthly Revenue	
Alcoholic Beverages	<u>\$ 910.00</u>
Food	<u>\$ 13665.00</u>
Other (specify)	<u>\$ 1,667.00</u>
<b>Total Gross Monthly Revenue</b>	<b><u>\$ 24,442.00</u></b>

Basis for estimates  
See Exhibit "A"

**6. Explain how the issuance of this license will benefit the City:**

CRANTS SALOON & CATERY will be a family oriented AND museum  
we will work with THE CIVIL WAR MUSEUM bringing TRAFFIC TO AREA.

**7. List other factors the Common Council should consider:**

My LLC owns Building THIS Building HAS been a Tavern 50 years.  
I have a bigger Mortgage than building is now worth. it needs to be sold.

Applicant Signature RONALD R. SLAUGHT

**FOR OFFICE USE ONLY**

Within a 6 block radius:  
 Class "B" Beer only  Class B Combination  Class "A" Beer  Class "A" Liquor  Class "C" Wine

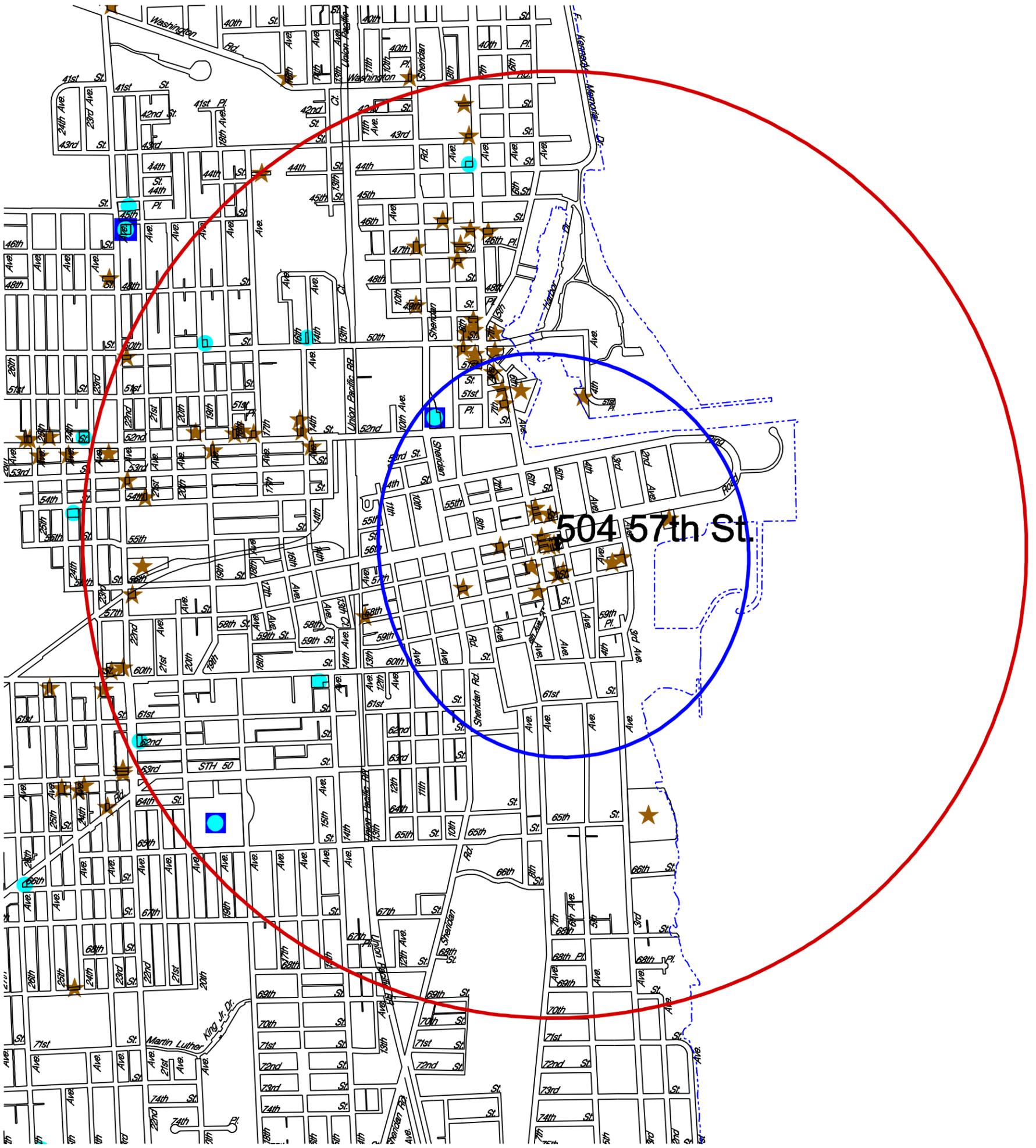
Common Council Agenda Item # C.7.



### 504 PLACE BUDGET 1 YEAR

Sales Food	\$163,982.00	
Sales Bar	\$109,321.00	
Total Bar & Food	\$273,303.00	
Other Sales	\$20,000.00	
<b>Total Sales</b>	<b>\$293,303.00</b>	<b>100.00%</b>
Food Cost	\$65,592.80	40.00%
Bar Cost	\$30,609.88	28.00%
Total Cost	\$96,202.68	35.19%
Gross Profit	\$197,100.32	
<b>Expenses</b>		
Labor	\$71,058.78	26.00%
Labor Taxes	\$2,401.79	3.38%
Insurance	\$4,000.00	
Indirect cost	\$40,995.45	15.00%
Estate taxes	\$3,400.00	
Accounting	\$6,000.00	
Utilities	\$10,932.12	4.00% *Get Actual
Rent	\$22,332.00	7.61%
Total Expense	\$161,120.14	
Profit / Loss	\$35,980.18	11.90%
Debt	\$18,600.00	
Cash Flow	\$17,380.18	

Class "B" Beer/"Class B" Liquor Combination Application  
504 57th Street



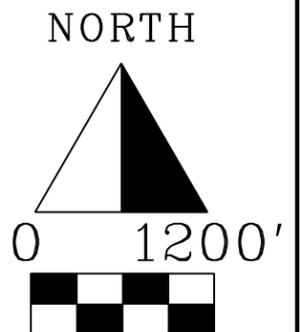
- Class "A"
- "Class A"
- ◆ Class "B"
- ★ Class "B" & "Class B"
- ▲ "Class C"

— 5,280 ft from Applicant

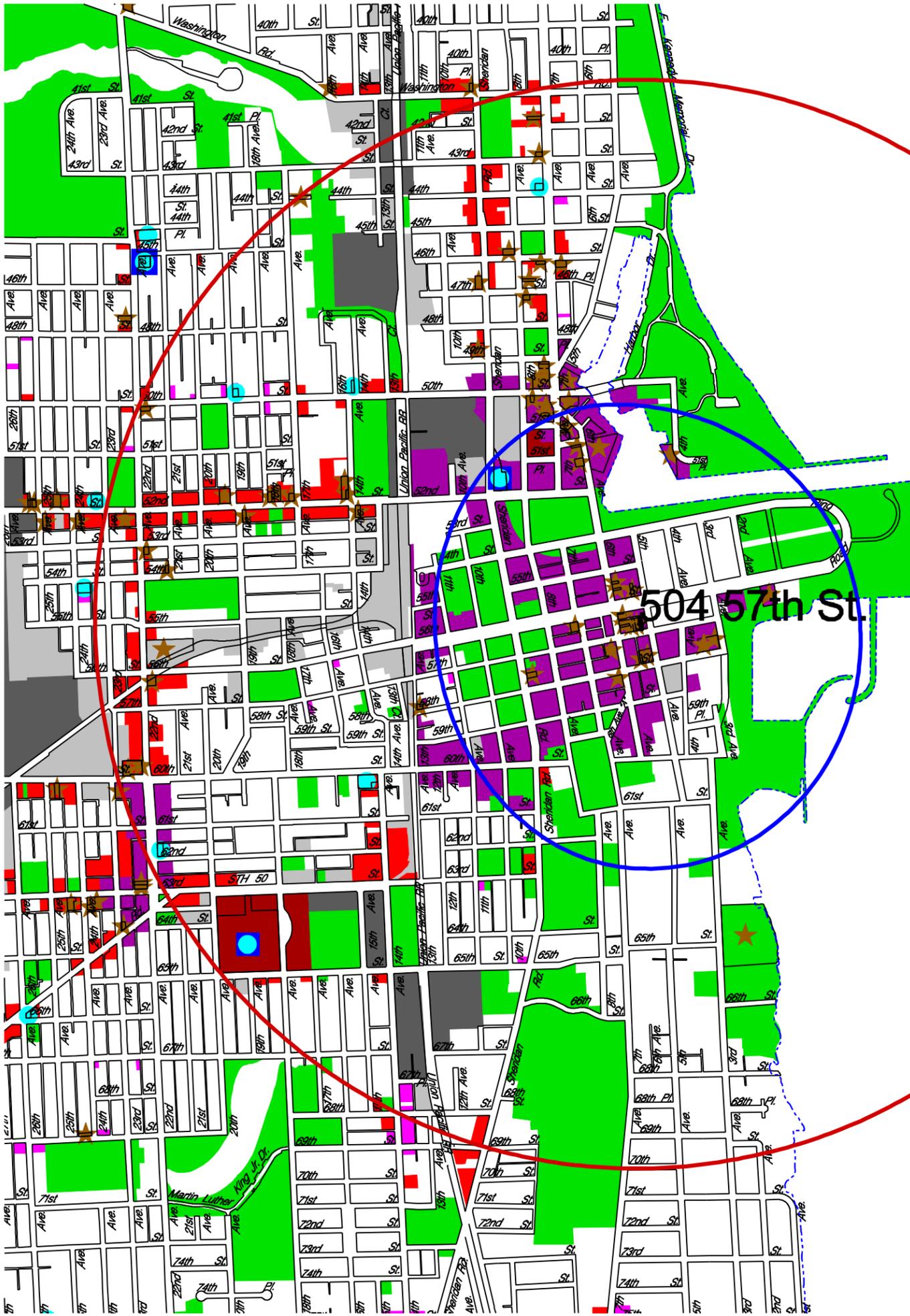
— 6 blocks from Applicant

5,280 ft Radius	Class "A"				
	Class "A"	"Class A"	Class "B"	Class "B" & "Class B"	"Class C"
Residential Districts	0	0	0	3	0
Business Districts	7	2	0	54	0
Other Districts	0	0	0	1	0

6 Block Radius	Class "A"				
	Class "A"	"Class A"	Class "B"	Class "B" & "Class B"	"Class C"
Residential Districts	0	0	0	0	0
Business Districts	1	1	0	21	0
Other Districts	0	0	0	0	0



Class "B" Beer/"Class B" Liquor Combination Application  
504 57th Street



- Class "A"
- "Class A"
- ◆ Class "B"
- ★ Class "B" & "Class B"
- ▲ "Class C"

Note: Residential Districts are not colored.

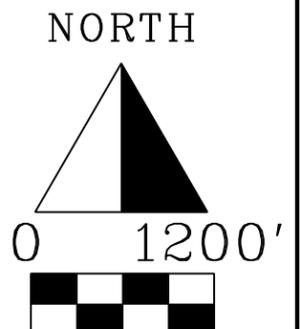
Note: Business Districts are colored as follows: B-1 B-2 B-3 B-4

— 5,280 ft from Applicant

— 6 blocks from Applicant

5,280 ft Radius	Class "A"				
	Class "A"	"Class A"	Class "B"	Class "B" & "Class B"	"Class C"
Residential Districts	0	0	0	3	0
Business Districts	7	2	0	54	0
Other Districts	0	0	0	1	0

6 Block Radius	Class "A"				
	Class "A"	"Class A"	Class "B"	Class "B" & "Class B"	"Class C"
Residential Districts	0	0	0	0	0
Business Districts	1	1	0	21	0
Other Districts	0	0	0	0	0



**CITY OF KENOSHA STATEMENT OF ECONOMIC IMPACT  
APPLICATION FOR A NEW BEER/LIQUOR LICENSE**

Check One:

<input type="checkbox"/>	Class "A" Retail Beer
<input type="checkbox"/>	Class "B" Beer Only
<input checked="" type="checkbox"/>	Class "B" Beer/"Class B" Liquor Combination

1. Applicant Name GH Holdings, LLC.

2. Business Name THE HUB

**3. Property Information**

- a. Address 6325 120th AVE. KENOSHA, WI 53142
- b. Owner THE LANOLI HUB, LLC.
- c. If applicant is not owner, does applicant have a lease agreement with the owner?  yes  no (Please note: Proof of property ownership or proof of an executed lease must be provided to the City Clerk before the license will be issued)
- d. Square Footage of Building 4300 Assessed Value of Property \$ 442,300
- e. Assessed Value of Personal Property (furniture, fixtures, equipment) to be used in the business \$ 15,000

4. Number of Full Time Employees 10 Number of Part Time Employees 5

**5. Gross Monthly Revenue**

According to Section 10.03, applicants must come within 70% of the estimate for alcohol beverages after one full license term or the license may be subject to revocation. Also, according to Section 4.05, smoking is prohibited in restaurants. However, restaurants and/or taverns holding a Class "B" Fermented Malt Beverage or "Class B" Intoxicating Liquor license may permit smoking in the entire establishment or full service bar area if beer/liquor gross receipts account for 33-50% (smoking limited to full service bar area) or more than 50% (smoking permitted in entire establishment). Licensees are required to file an affidavit at the time of license renewal as a condition of the operator permitting smoking in a restaurant or tavern.

Gross Monthly Revenue	
Alcoholic Beverages	<u>\$ 24,000</u>
Food	<u>\$ 6,000</u>
Other (specify)	<u>—</u>
<b>Total Gross Monthly Revenue</b>	<b><u>\$ 30,000</u></b>

Basis for estimates  
PREVIOUS OWNERS  
ACCOUNTING RECORDS

6. Explain how the issuance of this license will benefit the City:

WILL HELP CITY BY TAKING A VACANT BUSINESS

AND BUILDING AND PREVENTING IT FROM FALLING INTO DISREPAIR. THIS WILL HELP MAXIMIZE THE CITY'S POTENTIAL FOR TAX REVENUE. WE WILL ALSO PROVIDE 10-15

7. List other factors the Common Council should consider:

NEW JOBS

LICENSE LAPSED ON ERROR

Applicant Signature Michael Arnold

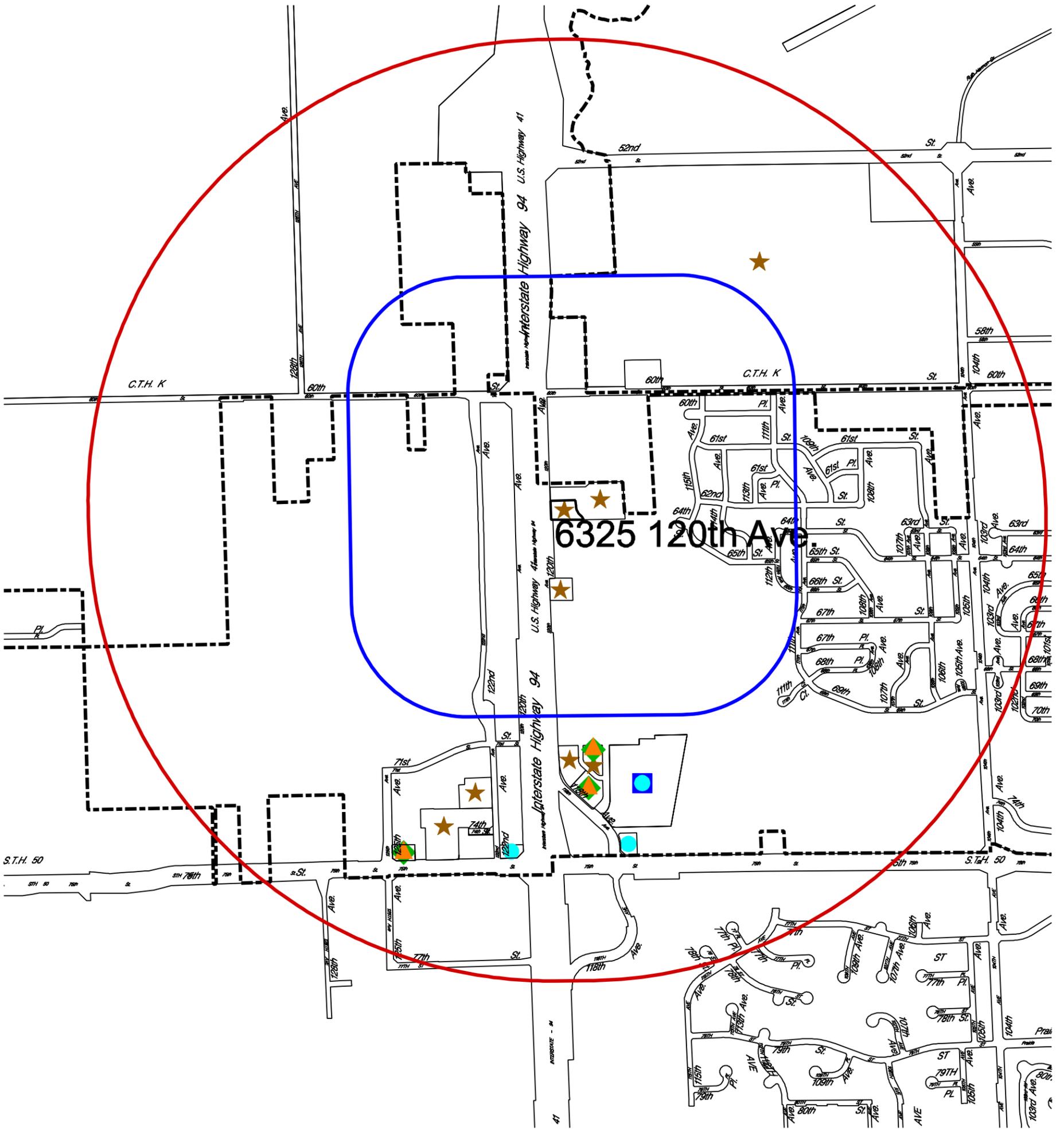
FOR OFFICE USE ONLY

Within a 6 block radius:

Class "B" Beer only \_\_\_\_\_ Class B Combination \_\_\_\_\_ Class "A" Beer \_\_\_\_\_ "Class A" Liquor \_\_\_\_\_ "Class C" Wine \_\_\_\_\_

# City of Kenosha

## Class "B" Beer / "Class B" Liquor Combination Application 6325 120th Avenue



- Class "A"
- "Class A"
- ◆ Class "B"
- ★ Class "B" & "Class B"
- ▲ "Class C"

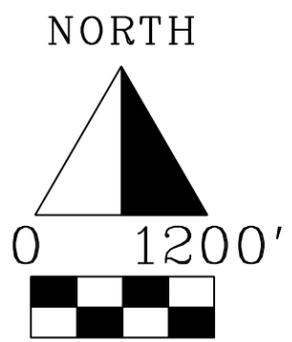
— 5,280 ft from Applicant

— 6 blocks from Applicant

5,280 ft Radius	Liquor Class				
	Class "A"	"Class A"	Class "B"	Class "B" & "Class B"	"Class C"
Residential Districts	0	0	0	0	0
Business Districts	3	1	3	7	3
Other Districts	0	0	0	1	0

6 Block Radius	Liquor Class				
	Class "A"	"Class A"	Class "B"	Class "B" & "Class B"	"Class C"
Residential Districts	0	0	0	0	0
Business Districts	0	0	0	3	0
Other Districts	0	0	0	1	0

----- Municipal Boundary



# City of Kenosha

## Class "B" Beer / "Class B" Liquor Combination Application 6325 120th Avenue



- Class "A"
- "Class A"
- ◆ Class "B"
- ★ Class "B" & "Class B"
- ▲ "Class C"

Note: Residential Districts are not colored.

Note: Business Districts are colored as follows: B-1 B-2 B-3 B-4

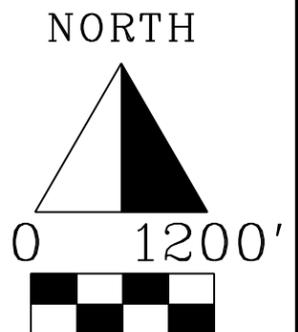
— 5,280 ft from Applicant

— 6 blocks from Applicant

5,280 ft Radius	Class "A"	"Class A"	Class "B"	Class "B" & "Class B"	"Class C"
Residential Districts	0	0	0	0	0
Business Districts	3	1	3	7	3
Other Districts	0	0	0	1	0

6 Block Radius	Class "A"	"Class A"	Class "B"	Class "B" & "Class B"	"Class C"
Residential Districts	0	0	0	0	0
Business Districts	0	0	0	3	0
Other Districts	0	0	0	1	0

----- Municipal Boundary



CITY OF KENOSHA STATEMENT OF ECONOMIC IMPACT  
APPLICATION FOR A NEW BEER/LIQUOR LICENSE

Check One:

<input type="checkbox"/>	Class "A" Retail Beer
<input type="checkbox"/>	Class "B" Beer Only
<input checked="" type="checkbox"/>	Class "B" Beer/"Class B" Liquor Combination

1. Applicant Name COBE, LLC

2. Business Name HYDRATE MARGARITA LOUNGE

3. Property Information

a. Address 621-56th ST. KENOSHA, WI 53140

b. Owner COUNTRYSIDE MANAGEMENT, LLC

c. If applicant is not owner, does applicant have a lease agreement with the owner?  yes  no (Please note: Proof of property ownership or proof of an executed lease must be provided to the City Clerk before the license will be issued)

d. Square Footage of Building 4700 Assessed Value of Property \$382,000

e. Assessed Value of Personal Property (furniture, fixtures, equipment) to be used in the business ESTIMATED TO BE \$15,000.

4. Number of Full Time Employees 2 Number of Part Time Employees 3

5. Gross Monthly Revenue

According to Section 10.03, applicants must come within 70% of the estimate for alcohol beverages after one full license term or the license may be subject to revocation. Also, according to Section 4.05, smoking is prohibited in restaurants. However, restaurants and/or taverns holding a Class "B" Fermented Malt Beverage or "Class B" Intoxicating Liquor license may permit smoking in the entire establishment or full service bar area if beer/liquor gross receipts account for 33-50% (smoking limited to full service bar area) or more than 50% (smoking permitted in entire establishment). Licensees are required to file an affidavit at the time of license renewal as a condition of the operator permitting smoking in a restaurant or tavern.

	Gross Monthly Revenue
Alcoholic Beverages	\$5000.00
Food	\$3500.00
Other (specify)	—
Total Gross Monthly Revenue	\$8500.00

Basis for estimates  
EXPERIENCE IN FOOD & BEVERAGE INDUSTRY.

6. Explain how the issuance of this license will benefit the City:

THE RESTAURANT/LOUNGE WILL HELP DIVERT TRAFFIC TO THE DOWNTOWN AREA. IT WILL PROVIDE A DIFFERENT TYPE OF AMENITIES FOR KENOSHA RESIDENTS. WILL HELP ADD A TAX BASE.

7. List other factors the Common Council should consider:

THE MEMBERS HAVE A LARGE EXPERIENCE IN THIS INDUSTRY AND WANT TO RUN A FINE/CASUAL MEXICAN RESTAURANT THAT THE DOWNTOWN AREA DOES NOT HAVE.

Applicant Signature Blair Montroy

FOR OFFICE USE ONLY

Within a 6 block radius:  
Class "B" Beer only \_\_\_\_\_ Class B Combination \_\_\_\_\_ Class "A" Beer \_\_\_\_\_ "Class A" Liquor \_\_\_\_\_ "Class C" Wine \_\_\_\_\_

# City of Kenosha

## Class "B" Beer/"Class B" Liquor Combination Application 621 56th Street



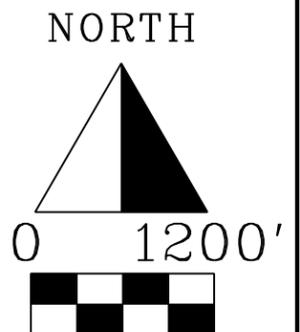
● Class "A"     
 ■ "Class A"     
 ◆ Class "B"     
 ★ Class "B" & "Class B"     
 ▲ "Class C"

— 5,280 ft from Applicant

— 6 blocks from Applicant

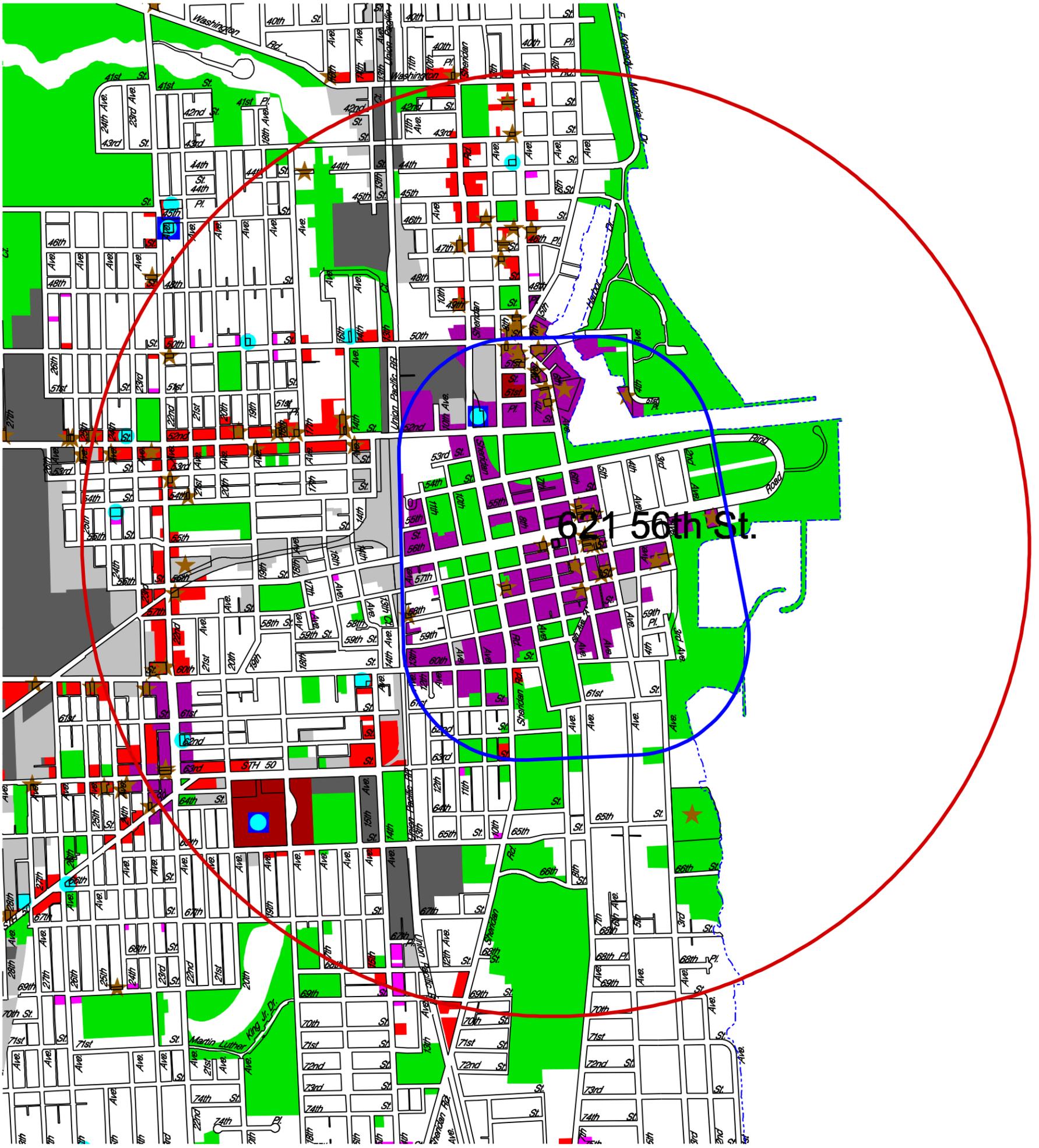
5,280 ft Radius	Class "A"				
	Class "A"	"Class A"	Class "B"	Class "B" & "Class B"	"Class C"
Residential Districts	0	0	0	3	0
Business Districts	9	2	0	58	0
Other Districts	0	0	0	1	0

6 Block Radius	Class "A"				
	Class "A"	"Class A"	Class "B"	Class "B" & "Class B"	"Class C"
Residential Districts	0	0	0	0	0
Business Districts	1	1	0	26	0
Other Districts	0	0	0	0	0



# City of Kenosha

## Class "B" Beer/"Class B" Liquor Combination Application 621 56th Street



- Class "A"
- "Class A"
- ◆ Class "B"
- ★ Class "B" & "Class B"
- ▲ "Class C"

Note: Residential Districts are not colored.

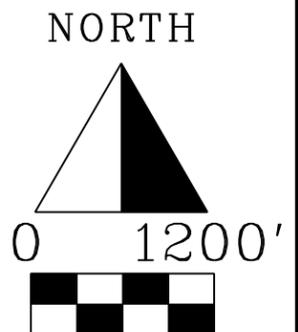
Note: Business Districts are colored as follows: B-1 B-2 B-3 B-4

— 5,280 ft from Applicant

— 6 blocks from Applicant

5,280 ft Radius	Class "A"				
	Class "A"	"Class A"	Class "B"	Class "B" & "Class B"	"Class C"
Residential Districts	0	0	0	3	0
Business Districts	9	2	0	58	0
Other Districts	0	0	0	1	0

6 Block Radius	Class "A"				
	Class "A"	"Class A"	Class "B"	Class "B" & "Class B"	"Class C"
Residential Districts	0	0	0	0	0
Business Districts	1	1	0	26	0
Other Districts	0	0	0	0	0



**CITY OF KENOSHA STATEMENT OF ECONOMIC IMPACT  
APPLICATION FOR A NEW BEER/LIQUOR LICENSE**

Check One:

<input type="checkbox"/>	Class "A" Retail Beer
<input type="checkbox"/>	Class "B" Beer Only
<input checked="" type="checkbox"/>	Class "B" Beer/"Class B" Liquor Combination

1. Applicant Name GGR LLC.  
 2. Business Name Bull and Bear Eatery and tavern

3. Property Information

a. Address 4017 80th St Kenosha WI 53142

b. Owner Chris Gochis + Tony Louzios

c. If applicant is not owner, does applicant have a lease agreement with the owner?  yes  no (Please note: Proof of property ownership or proof of an executed lease must be provided to the City Clerk before the license will be issued)

d. Square Footage of Building 8000 Assessed Value of Property 490K

e. Assessed Value of Personal Property (furniture, fixtures, equipment) to be used in the business 40K

4. Number of Full Time Employees 6 Number of Part Time Employees 12

5. Gross Monthly Revenue  
 According to Section 10.03, applicants must come within 70% of the estimate for alcohol beverages after one full license term or the license may be subject to revocation. Also, according to Section 4.05, smoking is prohibited in restaurants. However, restaurants and/or taverns holding a Class "B" Fermented Malt Beverage or "Class B" Intoxicating Liquor license may permit smoking in the entire establishment or full service bar area if beer/liquor gross receipts account for 33-50% (smoking limited to full service bar area) or more than 50% (smoking permitted in entire establishment). Licensees are required to file an affidavit at the time of license renewal as a condition of the operator permitting smoking in a restaurant or tavern.

Gross Monthly Revenue	
Alcoholic Beverages	<u>15K</u>
Food	<u>10K</u>
Other (specify)	<u>0</u>
Total Gross Monthly Revenue	<u>25K</u>

Basis for estimates  
Projected sales for 2011

6. Explain how the issuance of this license will benefit the City:

Good, clean, somewhat upscale establishment plus tax revenue and employment for city of Kenosha

7. List other factors the Common Council should consider:

long standing established business on south end of town

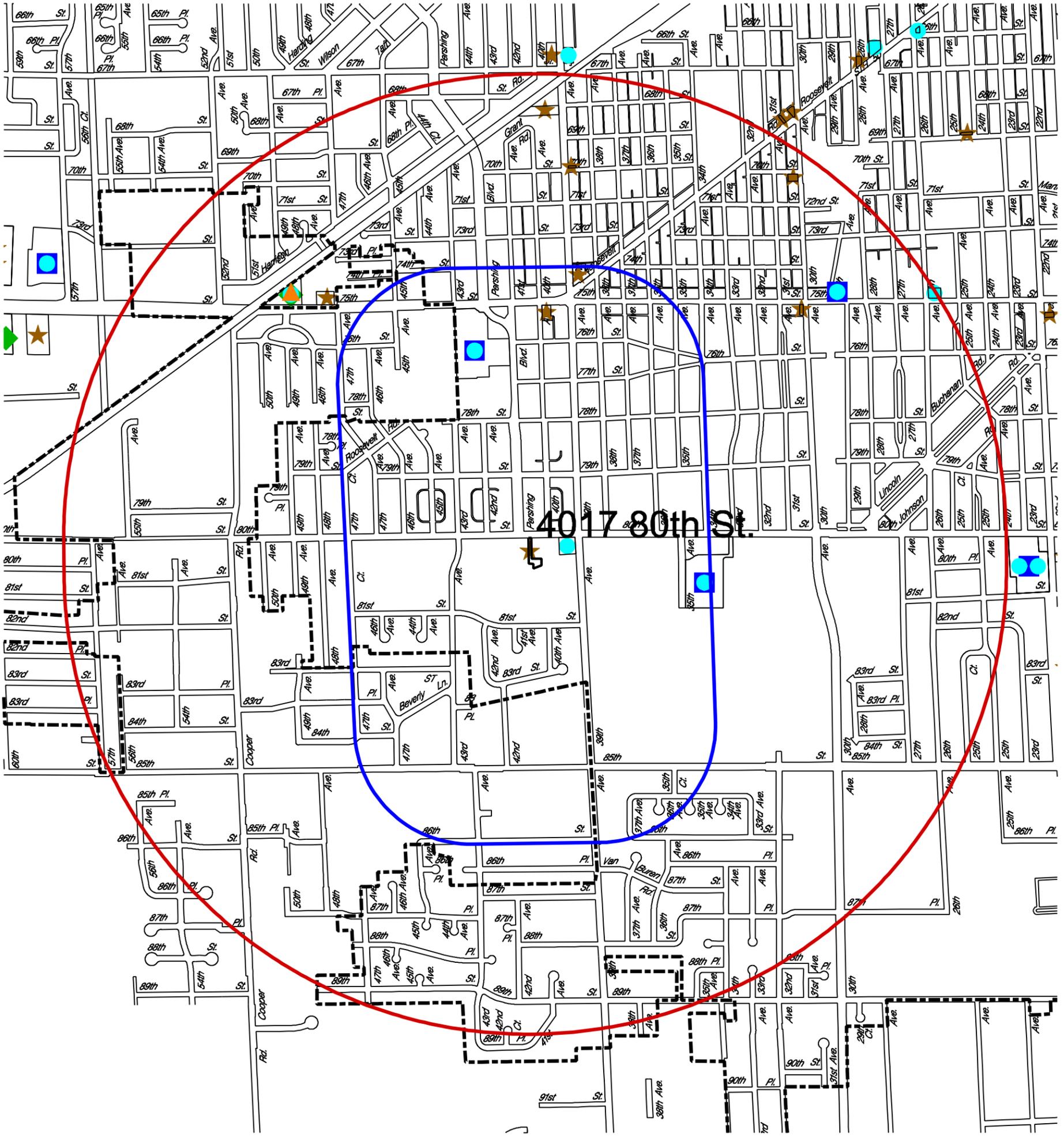
Applicant Signature [Signature]

**FOR OFFICE USE ONLY**

Within a 6 block radius:  
 Class "B" Beer only \_\_\_\_\_ Class B Combination \_\_\_\_\_ Class "A" Beer \_\_\_\_\_ "Class A" Liquor \_\_\_\_\_ "Class C" Wine \_\_\_\_\_

# City of Kenosha

## Class "B" Beer & "Class B" Liquor Application 4017 80th Street



● Class "A"    
 ■ "Class A"    
 ◆ Class "B"    
 ★ Class "B" & "Class B"    
 ▲ "Class C"

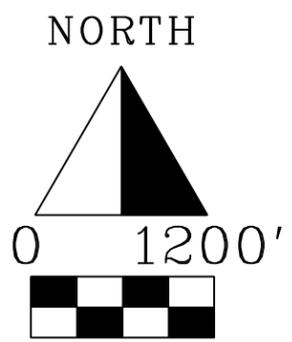
— 5,280 ft from Applicant

— 6 blocks from Applicant

5,280 ft Radius	Municipal Boundary				
	Class "A"	"Class A"	Class "B"	Class "B" & "Class B"	"Class C"
Residential Districts	0	0	0	0	0
Business Districts	6	3	1	8	1
Other Districts	0	0	0	0	0

6 Block Radius	Municipal Boundary				
	Class "A"	"Class A"	Class "B"	Class "B" & "Class B"	"Class C"
Residential Districts	0	0	0	0	0
Business Districts	3	2	0	3	0
Other Districts	0	0	0	0	0

----- Municipal Boundary



# City of Kenosha

## Class "B" Beer & "Class B" Liquor Application 4017 80th Street



- Class "A"
- "Class A"
- ◆ Class "B"
- ★ Class "B" & "Class B"
- ▲ "Class C"

Note: Residential Districts are not colored.

Note: Business Districts are colored as follows: B-1 B-2 B-3 B-4

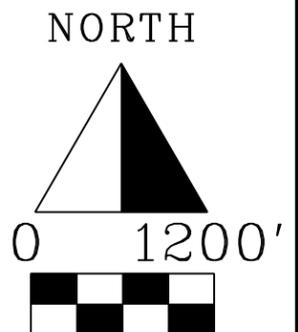
— 5,280 ft from Applicant

— 6 blocks from Applicant

5,280 ft Radius	Municipal Boundary				
	Class "A"	"Class A"	Class "B"	Class "B" & "Class B"	"Class C"
Residential Districts	0	0	0	0	0
Business Districts	6	3	1	8	1
Other Districts	0	0	0	0	0

6 Block Radius	Municipal Boundary				
	Class "A"	"Class A"	Class "B"	Class "B" & "Class B"	"Class C"
Residential Districts	0	0	0	0	0
Business Districts	3	2	0	3	0
Other Districts	0	0	0	0	0

----- Municipal Boundary



Paula Blise  
2-16-11

**OUTDOOR EXTENSION  
CITY ORDINANCE §10.075**

**REQUEST TO CHANGE CLOSING HOURS  
TO 12:00 MIDNIGHT TO 8:00 AM**

Licensee Name SCOTTY'S INC. OF WIS.

Trade Name SCOTTY'S TAVERN

Trade Address 2117 50 ST KENOSHA WIS 53140

.....  
The undersigned is hereby applying for a change of the closing hours of the outdoor extension of the Class "B" Beer/"Class B" Liquor Combination license in accordance with §10.075 of the Code of General Ordinances to 12:00 Midnight to 8:00 am.

In making this application, I understand that amplified music or sound otherwise permitted under Section 10.75 E.2. shall not be allowed after 10:00.

.....  
Kevin Leake  
(Individual/Partner/President of Corporation)

Alan P. [Signature]  
(Partner/Secretary of Corporation)

SUBSCRIBED TO AND SWORN TO BEFORE ME

THIS 16<sup>th</sup> OF February, 2011.

Dore J. Hoff  
Notary Public

My commission expires 6/19/2011

APPLICATION FOR AMUSEMENT AND RECREATION  
ENTERPRISE SUPERVISOR LICENSE

(Includes: Bowling Alleys, Pool Halls, Skating Rinks, Shooting Galleries, and Public Dance)

Type: 123

Fee: \$25.00

Expires: May 31<sup>st</sup>

Check One:  Original Application  Renewal Application

PLEASE PRINT

Name Latashi D. Stapleton

Address 3142 Osborne Blvd, Racine, WI

Date of Birth 9/10/1978  
(Applicant must be at least 18 years of age)

Home Phone (262) 632-6876

Trade Name of Amusement Enterprise (where this license will be used):

Children Recreational Club

Please fill out the attached "Applicant's Report - Police Record"  
(Be sure to include your middle initial)

Applicant's Signature Latashi D. Stapleton

Date 10/29/10

Subscribed and Sworn to before me this  
29 day of October, 2010

Stacie M. Zongolowicz  
Notary Public

My Commission Expires March 18 2012



FOR OFFICE USE ONLY

License # 11-7

Clerk Initials DL

Date Received/Filed 1/26/11

Date License Granted by Council \_\_\_\_\_

# Memo



Assistant Chief William J. Brydges  
Kenosha Police Department  
1000 - 55<sup>th</sup> Street  
Kenosha, WI 53140-3794  
Telephone: (262) 605-5245  
Fax: (262) 605-5298  
Email: wjb213@kenoshapolice.com

February 10, 2011

To: Deputy City Attorney Matthew Knight  
City Clerk Mike Higgins

From: Assistant Chief William J. Brydges

Reference: Children Recreational Club DF8

Cc: File

---

Our Department has received applications for Children Recreational Club DF8 from Latoshi Stapleton for an Amusement and Recreation Enterprise Supervisor License and Yolanda Green for a Theatre License. At this time, we have not received an application for a Public Entertainment License from this business.

Although, there are no adverse recommendations on the two applicants, Yolanda Green and Latoshi Stapleton, the Police Department has had issues with this business and location since it opened. Currently, J Brendan Derosier, owner of this business, has five pending license violations as listed below. Documentation of these reports is attached for your review.

<u>Date</u>	<u>Case Number</u>	<u>Ticket Issued</u>
12-17-2010	2010184548	Operate without a Valid Liquor License
08-07-2010	2010117263	Operate without Operator/Manager License Operate without Amusement License Operate without Theatre License
07-16-2010	2010105148	Operate without Operator/Manager License Sale of Alcohol

For these reasons, the Police Department has an adverse recommendation for the requested licenses.

*Assistant Chief William Brydges*  
Assistant Chief William Brydges

Enclosures

Common Council Agenda Item # C.12.



**Engineering Division**  
Michael M. Lemens, P.E.  
Director/City Engineer  
**Fleet Maintenance**  
Mauro Lenci  
Superintendent  
**Park Division**  
Jeff Warnock  
Superintendent

**Street Division**  
John H. Prijic  
Superintendent  
**Waste Division**  
Rocky Bednar  
Superintendent

## DEPARTMENT OF PUBLIC WORKS

**Ronald L. Bursek, P.E., Director**

Municipal Building • 625 - 52<sup>nd</sup> Street • RM 305 • Kenosha, WI 53140  
Telephone (262) 653-4050 • Fax (262) 653-4056

DATE: February 14, 2011

TO: Public Safety and Welfare Committee

FROM: Kevin Risch, P.E., Assistant City Engineer \_\_\_\_\_

SUBJECT: Staff Request to Remove Traffic Signals 52<sup>nd</sup> Street and Chrysler Driveway (2700 Block) and to Remove Flashing Yellow Pedestrian Lights 30<sup>th</sup> Avenue 5300 and 5800 Block. (District 7, 10, & 11)

Reference traffic signal has been on flash for several weeks and the gates are closed for the driveway being served for the signal (Chrysler). These signals are no longer needed and should be removed.

The need for these pedestrian flashing lights are now longer required or necessary along 30<sup>th</sup> Avenue in the 5300 and 5800 blocks for N/S traffic.

Staff recommends approval for removal of traffic signals at 2709 52<sup>nd</sup> Street and the removal of Flashing Yellow Pedestrian Lights 30<sup>th</sup> Avenue 5300 and 5800 Block.

The following ordinance change is required:

Amend Section 7.115(a) Signalized Intersection, Listing:  
Remove; 52<sup>nd</sup> Street & Chrysler Driveway (2700 Block)

KKR:dt

cc: Alderman Patrick Juliana – w/a  
Alderman Anthony Kennedy – w/a  
Alderman Anthony Nudo - w/a  
Ronald L. Bursek, Director of Public Works - w/a  
Michael M. Lemens, Director of Engineering/City Engineer – w/a  
Randy LeClaire - w/a  
File - w/a

**ORDINANCE NO. \_\_\_\_\_**

**BY: COMMITTEE ON PUBLIC  
SAFETY AND WELFARE**

**TO AMEND SECTION 7.115 A. OF THE CODE OF  
GENERAL ORDINANCES FOR THE CITY OF KENOSHA,  
WISCONSIN, TO REMOVE AUTOMATIC TRAFFIC  
CONTROL SIGNALS AT 52<sup>nd</sup> STREET AND CHRYSLER  
DRIVEWAY (2700 BLOCK)**

The Common Council of the City of Kenosha, Wisconsin, do ordain as follows:

**Section One:** Section 7.115 A. of the Code of General Ordinances for the

City of Kenosha, Wisconsin, is hereby amended by deleting the following thereto:

**52<sup>nd</sup> Street & Chrysler Driveway (2700 Block)**

**Section Two:** This Ordinance shall become effective upon passage and

publication.

ATTEST: \_\_\_\_\_ City Clerk

APPROVED: \_\_\_\_\_ Mayor                      Date: \_\_\_\_\_

Passed:

Published:

Drafted By:  
JONATHAN A. MULLIGAN  
Assistant City Attorney

<p>City Plan Division 625 52<sup>nd</sup> Street Kenosha, WI 53140 262.653.4030</p>	<p>Kenosha City Plan Commission</p> <p style="text-align: center;"><b>FACT SHEET</b></p>	<p>February 10, 2011</p>	<p>Item 4</p>
<p><b>Zoning Ordinance To Repeal, Recreate and Renumber various parts of Sections 3.03 through 3.09 regarding Front Yard Exceptions and Garages; To Repeal and Recreate Section 7.02 F. regarding Nonconforming Residential Structures, and To Create Definitions for "Front-facing Garage", "Livable Space", "Overhead Door" and "Side-loaded Garage" in Section 12.0 B. of the Zoning Ordinance for the City of Kenosha, Wisconsin. PUBLIC HEARING</b></p>			

**LOCATION/SURROUNDINGS:**

City-Wide

**NOTIFICATIONS/PROCEDURES:**

This Zoning Ordinance requires Common Council approval.

**ANALYSIS:**

- The proposed Ordinance will allow attached garages in all residential zoning districts, with the following limitations:
  - Previously, attached garages could only be built on an infill lot where the surrounding area had more than 50% attached garages. The proposed Ordinance will allow both front-facing and side-loaded garages on all infill lots.
  - The only change proposed for new subdivisions is a clarification that required porches or stoops must be covered.
- Detached garages may be constructed in all districts, but will not be required.
- Definitions are added for side-loaded garages, front-facing garages, overhead door and livable space.
- Various sections regulating garages have been consolidated into one section within each Zoning District to help simplify the Ordinance.
- New standards for front-facing garages have been created for historic properties (HPO zoned properties) that are located in two of the "newer" Zoning Districts, RS-1 and RS-2. Previously, in most cases, an attached garage was not permitted to be constructed on a historic property.
- Photographs and diagrams are attached for reference of the proposed changes.
- Section 1 - Redefines front yard setback requirements for infill homes so that new homes match front yard setbacks of adjacent homes.
- Sections 2 - 16 & 28-32 - Reorganizes garage requirements for new homes in the RR-1, RR-2, RR-3 and RD Residential Districts into one section for either side-loaded or front-facing garages. Other sections are repealed and/or renumbered into the new sections.
- Section 17-26 - Reorganizes garage requirements for new homes in the RS-1 and RS-2 Residential districts into one section for requirements for side-loaded or front-facing garages. The front-facing garage section is further broken down into more restrictive requirements for homes constructed on a property that is designed as a historic site or structure, or located within a historic district (HPO zoned

City Plan Division 625 52 <sup>nd</sup> Street Kenosha, WI 53140 262.653.4030	Kenosha City Plan Commission  <b>FACT SHEET</b>	February 10, 2011	Item 4
<b>Zoning Ordinance To Repeal, Recreate and Renumber various parts of Sections 3.03 through 3.09 regarding Front Yard Exceptions and Garages; To Repeal and Recreate Section 7.02 F. regarding Nonconforming Residential Structures, and To Create Definitions for "Front-facing Garage", "Livable Space", "Overhead Door" and "Side-loaded Garage" in Section 12.0 B. of the Zoning Ordinance for the City of Kenosha, Wisconsin. PUBLIC HEARING</b>			

properties). Front-facing garages may now be constructed on the HPO properties if they meet the following requirements:

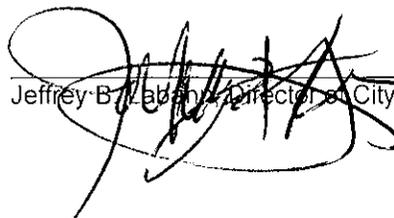
- Must be located a minimum of ten (10') feet behind the Living Area of the home;
- Must be equal to or less than fifty (50%) percent of the width of the entire house; and
- The home must have a covered porch or stoop that is a minimum of six (6') feet deep and covers a minimum area of 25 s.f.  
Other sections are repealed and/or renumbered into the new sections.
- Section 27 and 33-34 - Allows both side-loaded and front-facing attached garages in the RG-1, RG-2 and RS-3 Residential Districts (Older Residential Zoning Districts).
  - Side-loaded garages are required to be flush or set back from the front of the Living Area and have at least one (1) window located on the side of the garage that faces the public street.
  - Front-facing garages are required to be located at least ten (10') feet behind the Living Area and have a width equal to or less than fifty (50%) percent of the width of the home. An exception is also provided for side-loaded garages to extend in front of the living area on lots with slopes of twelve (12%) percent or greater, with additional requirements.
- Section 35 - Exceptions for Non-conforming Residential Structures is recreated due to the repeal and reorganization of other sections of the Zoning Ordinance.
- Section 36 - Definitions are provided for Front-facing Garage, Livable Space, Overhead Door and Side-loaded Garage to provide clarification for new terminology used in the above sections.

**RECOMMENDATION:**

A recommendation is made to approve the Ordinance.



Mike Maki, AICP, Planner  
/u2/acct/cp/ckays/1CPC/2011/Feb10/fact-zo-303-garage.odt



Jeffrey B. Zaban, Director of City Development

ZONING ORDINANCE NO.

DRAFT 01/24/11/

01/27/11

01/31/11

BY: THE MAYOR

TO REPEAL, RECREATE AND RENUMBER VARIOUS PARTS OF SECTIONS 3.03 THROUGH 3.09 REGARDING FRONT YARD EXCEPTIONS AND GARAGES, TO REPEAL AND RECREATE SECTION 7.02 F. REGARDING NONCONFORMING RESIDENTIAL STRUCTURES, AND TO CREATE DEFINITIONS FOR "FRONT-FACING GARAGE", "LIVABLE SPACE", "OVERHEAD DOOR", AND "SIDE-LOADED GARAGE" IN SECTION 12.0 B. OF THE ZONING ORDINANCE FOR THE CITY OF KENOSHA, WISCONSIN

The Common Council of the City of Kenosha, Wisconsin, do ordain as follows:

**Section One:** Section 3.03 D.1. of the Zoning Ordinance for the City of Kenosha, Wisconsin is repealed and recreated as follows:

~~1. **Front Yard.** Where forty (40%) percent, or more of all lots measured at frontage, as defined, is built up with buildings having a front yard of other than twenty-five (25') feet from the street right of way or from the setback of a major street, no building hereafter erected or structurally altered shall project beyond the average front yard of the adjacent buildings. Where a majority of principal buildings along a street frontage have a front yard other than the required yard, all principal buildings hereafter erected or structurally altered shall have a front yard equal to the average front yard of the lots on either side of the subject lot. Corner lots shall provide a front yard equal to the average front yard of the adjacent lot and the lot across the intersecting street along the same street frontage.~~

**1. Front Yard.** As measured along the street frontage on both sides of the right of way of a block bounded by intersecting cross streets, if a majority of lots have a front yard other than the required front yard, no principal building may be erected or structurally altered unless the setback is greater than or equal to the average setbacks of the two nearest residential developed lots on either side of the subject lot sharing the same street frontage which are most nearly adjacent to the subject lot.

Corner lots subject to this Paragraph D.1 shall comply along each frontage, using as an average setback, the averages of the most nearly adjacent lot along the subject frontage and the lot directly across the street of the subject frontage sharing the same street frontage.

**Section Two:** Section 3.031 H. of the Zoning Ordinance for the City of Kenosha, Wisconsin is repealed and recreated as follows:

**H. Attached Garages.** ~~The garage wall(s) that includes a garage door opening facing a public street shall not comprise more than sixty (60%) percent of the facade of the principal building width containing a primary entrance, measured along the ground level of the front facade(s). The side(s) of the garage wall where the garage door does not face a public street, shall be designed to be integral with the design features of the principal building and shall include at least one (1) window.~~

**1. Side-loaded Garages.** Side-loaded garages shall be designed to be integral with the design features of the portion of the principal building having livable space. ~~and shall~~ If the side-loaded garage extends laterally from the facade of the remainder of the principal building having livable space, it shall include at least one (1) window that faces the public right-of-way that matches the windows used on the balance of the front facade of the portion of the principal building having containing livable space.

**2. Front-facing Garages.** Front-facing garages may extend a maximum of ten feet (10') in front of the longest line of the front facade containing livable space on the ground level, and shall be subject to the following standards:

**a.** Width shall be restricted to a maximum of sixty percent (60%) of the total width of the principal building.

**b.** The primary entrance is emphasized by a covered porch or stoop having a minimum area equal to fifty percent (50%) of the width of the garage, a minimum area of twenty-five square feet (25 sq.'), and includes columns, railings, balustrades, trellises and/or decorative posts to define the perimeter.

**Section Three:** Section 3.031 I. Of the Zoning Ordinance for the City of Kenosha, Wisconsin is hereby repealed.

**Section Four:** Section 3.031 J. and 3.031 K. are renumbered as 3.031 I. and 3.031 J., respectively.

**Section Five:** Section 3.031 J.2. of the Zoning Ordinance for the City of Kenosha, Wisconsin is hereby repealed.

**Section Six:** Section 3.031 J.3 of the Zoning Ordinance for the City of Kenosha, Wisconsin is renumbered as Section 3.031 J.2.

**Section Seven:** Section 3.032 H. of the Zoning Ordinance for the City of Kenosha, Wisconsin is repealed and recreated as follows:

**H. Attached Garages.** ~~The garage wall(s) that includes a garage door opening facing a public street shall not comprise more than sixty (60%) percent of the facade of the principal building width containing a primary entrance, measured along the ground level of the front facade(s). The side(s) of the garage wall where the garage door does not face a public street, shall be designed to be integral with the design features of the principal building and shall include at least one (1) window.~~

**1. Side-loaded Garages.** Side-loaded garages shall be designed to be integral with the design features of the portion of the principal building having livable space. ~~It shall~~ If the side-loaded garage extends laterally out from the facade of the remainder of the principal building having livable space, it shall include at least one (1) window that faces the public right-of-way that matches the windows used on the balance of the front facade of the portion of the principal building having containing livable space.

**2. Front-facing Garages.** Front-facing garages may extend a maximum of ten feet (10') in front of the longest line of the front facade containing livable space on the ground level, and shall be subject to the following standards:

**a.** Width shall be restricted to a maximum of sixty percent (60%) of the total width of the principal building.

**b.** The primary entrance is emphasized by a covered porch or stoop having a minimum area equal to fifty percent (50%) of the width of the garage, a minimum area of twenty-five square feet (25 sq.'), and includes columns, railings, balustrades, trellises and/or decorative posts to define the perimeter.

**Section Eight:** Section 3.032 I. Of the Zoning Ordinance for the City of Kenosha, Wisconsin is hereby repealed.

**Section Nine:** Section 3.032 J. and 3.032 K. are renumbered as 3.032 I. and 3.032 J., respectively.

**Section Ten:** Section 3.032 J.2. of the Zoning Ordinance for the City of Kenosha, Wisconsin is hereby repealed.

**Section Eleven:** Section 3.032 J.3 of the Zoning Ordinance for the City of Kenosha, Wisconsin is renumbered as Section 3.032 J.2..

**Section Twelve:** Section 3.033 G. of the Zoning Ordinance for the City of Kenosha, Wisconsin is repealed and recreated as follows:

**G. Attached Garages.** ~~The garage wall(s) that includes a garage door opening facing a public street shall not comprise more than sixty (60%) percent of the facade of the principal building width containing a primary entrance, measured along the ground level of the front facade(s). The side(s) of the garage wall where the garage door does not face a public street, shall be designed to be integral with the design features of the principal building and shall include at least one (1) window.~~

**1. Side-loaded Garages.** ~~Side-loaded garages shall be designed to be integral with the design features of the portion of the principal building having livable space.. ~~and shall~~ If the side-loaded garage extends laterally ~~out~~ from the facade of the remainder of the principal building having livable space, it shall include at least one (1) window that faces the public right-of-way that matches the windows used on the balance of the front facade of the portion of the principal building having ~~containing~~ livable space.~~

**2. Front-facing Garages.** ~~Front-facing garages may extend a maximum of ten feet (10') in front of the longest line of the front facade containing livable space on the ground level, and shall be subject to the following standards:~~

**a.** ~~Width shall be restricted to a maximum of sixty percent (60%) of the total width of the principal building.~~

**b.** ~~The primary entrance is emphasized by a covered porch or stoop having a minimum area equal to fifty (50%) percent of the width of the garage, a minimum area of twenty-five square feet (25 sq.'), and includes columns, railings, balustrades, trellises and/or decorative posts to define the perimeter.~~

**Section Thirteen:** Section 3.033 H. of the Zoning Ordinance for the City of Kenosha, Wisconsin is hereby repealed.

**Section Fourteen:** Section 3.033 I. And 3.033 J. are renumbered as 3.033 H. and 3.033 I., respectively.

**Section Fifteen:** Section 3.033 I.2. of the Zoning Ordinance for the City of Kenosha, Wisconsin is hereby repealed.

**Section Sixteen:** Section 3.033 I.3 of the Zoning Ordinance for the City of Kenosha, Wisconsin is renumbered as Section 3.033 I.2.

**Section Seventeen:** Section 3.04 G. of the Zoning Ordinance for the City of Kenosha, Wisconsin is repealed and recreated as follows:

**G. Attached Garages.** ~~The garage wall(s) that includes a garage door opening facing a public street shall not comprise more than sixty (60%) percent of the facade of the principal building width containing a primary entrance, measured along the ground level of the front facade(s). The side(s) of the garage wall where the garage door does not face a public street, shall be designed to be integral with the design features of the principal building and shall include at least one (1) window.~~

**1. Side-loaded Garages.** Side-loaded garages shall be designed to be integral with the design features of the portion of the principal building having livable space ~~and shall~~. If the side-loaded garage extends laterally out from the facade of the remainder of the principal building having livable space, it shall include at least one (1) window that faces the public right-of-way that matches the windows used on the balance of the front facade of the portion of the principal building having ~~livable space~~.

**2. Front-facing Garages.**

**a. HPO Zoned Properties.** Front-facing garages shall be required to be located a minimum of ten (10') feet behind the longest line of the front facade containing livable space on the ground level, and shall be subject to the following standards:

(1) Width shall be restricted to a maximum of fifty percent (50%) of the total width of the principal building.

(2) The primary entrance is emphasized by a covered porch or stoop having a minimum area of twenty-five feet (25'), a minimum depth of six feet (6'), and includes columns, railings, balustrades, trellises and/or decorative posts to define the perimeter.

**b. All Other Properties.** Front-facing garages may extend a maximum of ten feet (10') in front of the longest line of the front facade containing livable space on the ground level, and shall be subject to the following standards:

(1) Width shall be restricted to a maximum of sixty percent (60%) of the total width of the principal building.

(2) The primary entrance is emphasized by a covered porch or stoop having a minimum area equal to fifty percent (50%) of the width of the garage, a minimum area of twenty-five square feet (25 sq.'), and includes columns, railings, balustrades, trellises and/or decorative posts to define the perimeter.

**Section Eighteen:** Section 3.04H. of the Zoning Ordinance for the City of Kenosha, Wisconsin is hereby repealed.

**Section Nineteen :** Section 3.04I. and 3.04J. are renumbered as 3.04H. and 3.04 I, respectively.

**Section Twenty:** Section 3.04.I.2. of the Zoning Ordinance for the City of Kenosha, Wisconsin is hereby repealed.

**Section Twenty-One:** Section 3.04 I.3 of the Zoning Ordinance for the City of Kenosha, Wisconsin is renumbered as Section 3.04 I.2.

**Section Twenty-Two:** Section 3.05 G. of the Zoning Ordinance for the City of Kenosha,

Wisconsin is repealed and recreated as follows:

**G. Attached Garages.** ~~The garage wall(s) that includes a garage door opening facing a public street shall not comprise more than sixty (60%) percent of the facade of the principal building width containing a primary entrance, measured along the ground level of the front facade(s). The side(s) of the garage wall where the garage door does not face a public street, shall be designed to be integral with the design features of the principal building and shall include at least one (1) window.~~

**1. Side-loaded Garages.** Side-loaded garages shall be designed to be integral with the design features of the portion of the principal building having livable space ~~and shall~~. If the side-loaded garage extends laterally out from the facade of the remainder of the principal building having livable space, it shall include at least one (1) window that faces the public right-of-way that matches the windows used on the balance of the front facade of the portion of the principal building having ~~livable space.~~

**2. Front-facing Garages.**

**a. HPO Zoned Properties.** Front-facing garages shall be required to be located a minimum of ten feet (10') behind the longest line of the front facade containing livable space on the ground level, and shall be subject to the following standards:

(1) Width shall be restricted to a maximum of fifty percent (50%) of the total width of the principal building.

(2) The primary entrance is emphasized by a covered porch or stoop having a minimum area of twenty-five feet (25'), a minimum depth of six feet (6'), and includes columns, railings, balustrades, trellises and/or decorative posts to define the perimeter.

**b. All Other Properties.** Front-facing garages may extend a maximum of ten feet (10') in front of the longest line of the front facade containing livable space on the ground level, and shall be subject to the following standards:

(1) Width shall be restricted to a maximum of sixty percent (60%) of the total width of the principal building.

(2) The primary entrance is emphasized by a covered porch or stoop having a minimum area equal to fifty percent (50%) of the width of the garage, a minimum area of twenty-five square feet (25 sq.'), and includes columns, railings, balustrades, trellises and/or decorative posts to define the perimeter.

**Section Twenty-Three:** Section 3.05 H. of the Zoning Ordinance for the City of Kenosha, Wisconsin is hereby repealed.

**Section Twenty-Four:** Section 3.05 I. and 3.05 J. are renumbered as 3.05 H. and 3.05 I., respectively.

**Section Twenty-Five:** Section 3.05 I.2. of the Zoning Ordinance for the City of Kenosha, Wisconsin is hereby repealed.

**Section Twenty-Six:** Section 3.05 I.3 of the Zoning Ordinance for the City of Kenosha, Wisconsin is renumbered as Section 3.05 I.2.

**Section Twenty-Seven:** Section 3.06 I.2. is repealed and recreated as follows:

**2. Attached Garages.** ~~Attached garages shall only be permitted when attached garages represent the prevailing style of surrounding garages. Where permitted, attached garages shall not be permitted to have any wall closer to the front lot line than the living area of the principal building and shall not comprise more than fifty~~

(50%) percent of the total length of front facade of new principal buildings as measured along the ground floor. The front facade shall be further defined as the enclosed portion of the principal building which contains the primary entrance. Notwithstanding above, an attached garage is permitted when the garage door is oriented to an alley.

**a. Side-loaded Garages.** ~~Side-loaded garages shall not have any wall closer to the front yard than the longest length of the front facade's livable space on the ground level, and shall have at least one (1) window that faces the public right-of-way that matches the windows used on the balance of the front facade's livable space.~~ Side-loaded garages shall not have any wall closer to the front lot line than a point on the front facade of the remainder of the principal building having livable space that is nearest to the lot line. If the side-loaded garage extends laterally ~~out~~ from the facade of the remainder of the principal building having livable space, it shall have at least one (1) window that faces the public right-of-way that matches the windows used on the balance of the portion of the principal building having livable space. Notwithstanding the above, side-loaded garages may have a wall closer to the front lot line than a point on the front facade of the remainder of the principal building having livable space that is nearest to the lot line, when all of the following conditions are met:

(1) The lot has a slope steeper than twelve percent (12%).

(2) Livable space is included above the side-loaded garage and has an exterior wall plane level with the build-to line of the garage.

(3) The livable space above the garage and the sidewall of the garage both have windows that match the windows used on the balance of the front facade containing livable space.

(4) There are a minimum of two (2) windows on the garage sidewall that faces the public right-of-way.

(5) No portion of the sidewall visible to the public right-of-way exceeds sixty percent (60%) of the total maximum width of the principal building.

**b. Front-facing Garages.** Front-facing garages shall be required to be located a minimum of ten feet (10') behind the longest length of the front facade's livable space on the ground level, and its width shall be restricted to a maximum of fifty percent (50%) of the total width of the principal building.

**Section Twenty-Eight:** Section 3.07 G. of the Zoning Ordinance for the City of Kenosha,

Wisconsin is repealed and recreated as follows:

**G. Attached Garages.** ~~The garage wall(s) that includes a garage door opening facing a public street shall not comprise more than sixty (60%) percent of the facade of the principal building width containing a primary entrance, measured along the ground level of the front facade(s). The side(s) of the garage wall where the garage door does not face a public street, shall be designed to be integral with the design features of the principal building and shall include at least one (1) window.~~

**1. Side-loaded Garages.** Side-loaded garages shall be designed to be integral with the design features of the portion of the principal building having livable space ~~and shall have at least one (1) window that faces the public right-of-way that matches the windows used on the balance of the front facade of the portion of the principal building having livable space.~~ If the side-loaded garage extends laterally ~~out~~ from the facade of the remainder of the principal building having livable space, it shall include at least one (1) window that faces the public right-of-way that matches the windows used on the balance of the front facade of the portion of the principal building having livable space.

**2. Front-facing Garages.** Front-facing garages may extend a maximum of ten feet (10') in front of the longest line of the front facade containing livable space on the ground level, and shall be subject to the following standards:

**a.** Width shall be restricted to a maximum of sixty percent (60%) of the total width of the principal building.

**b.** The primary entrance is emphasized by a covered porch or stoop having a minimum area equal to fifty percent (50%) of the width of the garage, a minimum area of twenty-five square feet (25 sq.'), and includes columns, railings, balustrades, trellises and/or decorative posts to define the perimeter.

**Section Twenty-Nine:** Section 3.07 H. of the Zoning Ordinance for the City of Kenosha,

Wisconsin is hereby repealed.

**Section Thirty:** Section 3.07 I. and 3.07 J. are renumbered as 3.07 H. and 3.07 I., respectively.

**Section Thirty-One:** Section 3.07 I.2. of the Zoning Ordinance for the City of Kenosha,

Wisconsin is hereby repealed.

**Section Thirty-Two:** Section 3.07 I.3 of the Zoning Ordinance for the City of Kenosha,

Wisconsin is renumbered as Section 3.07 I.2.

**Section Thirty-Three:** Section 3.08 I.2. is repealed and recreated as follows:

~~2. **Attached Garages.** Attached garages shall only be permitted when attached garages represent the prevailing style of surrounding garages. Where permitted, attached garages shall not be permitted to have any wall closer to the front lot line than the living area of the principal building and shall not comprise more than fifty (50%) percent of the total length of front facade of new principal buildings as measured along the ground floor. The front facade shall be further defined as the enclosed portion of the principal building which contains the primary entrance. Notwithstanding above, an attached garage is permitted when the garage door is oriented to an alley.~~

~~//////////////////////////////////////**Side-Loaded Garages.** Side-loaded garages shall not have any wall closer to the front lot line than the longest length of the front facade's livable space on the ground level, and shall have at least one (1) window that faces the public right-of-way that matches the windows used on the balance of the front facade's livable space. Notwithstanding the above, side-loaded garages may have a wall closer to the front lot line than the longest length of the front facade's livable space on the ground level, when all of the following conditions are met:~~

~~**a. Side-loaded Garages.** Side-loaded garages shall not have any wall closer to the front lot line than a point on the front facade of the remainder of the principal building having livable space that is nearest to the lot line. If the side-loaded garage extends laterally ~~out~~ from the facade of the remainder of the principal building having livable space, it shall have at least one (1) window that faces the public right-of-way that matches the windows used on the balance of the portion of the principal building having livable space. Notwithstanding the above, side-loaded garages may have a wall closer to the front lot line than a point on the front facade of the remainder of the principal building having livable space that is nearest to the lot line, when all of the following conditions are met:~~

~~(1) The lot has a slope steeper than twelve percent (12%).~~

~~(2) Livable space is included above the side-loaded garage and has an exterior wall plane level with the build-to line of the garage.~~

~~(3) The livable space above the garage and the sidewall of the garage both have windows that match the windows used on the balance of the front facade containing livable space.~~

~~(4) There are a minimum of two (2) windows on the garage sidewall that faces the public right-of-way.~~

~~(5) No portion of the sidewall visible to the public right-of-way exceeds sixty percent (60%) of the total maximum width of the principal building.~~

~~**b. Front-facing Garages.** Front-facing garages shall be required to be located a minimum of ten feet (10') behind the longest length of the front facade's livable space on the ground level, and its width shall be restricted to a maximum of fifty percent (50%) of the total width of the principal building.~~

**Section Thirty-Four:** Section 3.09 I.2. is repealed and recreated as follows:

~~2. **Attached Garages.** Attached garages shall only be permitted when attached garages represent the prevailing style of surrounding garages. Where permitted, attached garages shall not be permitted to have any wall closer to the front lot line than the living area of the principal building and shall not comprise more than fifty~~

(50%) percent of the total length of front facade of new principal buildings as measured along the ground floor. The front facade shall be further defined as the enclosed portion of the principal building which contains the primary entrance. Notwithstanding above, an attached garage is permitted when the garage door is oriented to an alley.

~~**a. Side-loaded Garages. Side-loaded garages shall not have any wall closer to the front yard than the longest length of the front facade's livable space on the ground level, and shall have at least one (1) window that faces the public right-of-way that matches the windows used on the balance of the front facade's livable space. Notwithstanding the above, side-loaded garages may have a wall closer to the front yard than the longest length of the front facade's livable space on the ground level, when all of the following conditions are met:**~~

Side-loaded garages shall not have any wall closer to the front lot line than a point on the front facade of the remainder of the principal building having livable space that is nearest to the lot line. If the side-loaded garage extends laterally out from the facade of the remainder of the principal building having livable space, it shall have at least one (1) window that faces the public right-of-way that matches the windows used on the balance of the portion of the principal building having livable space. Notwithstanding the above, side-loaded garages may have a wall closer to the front lot line than a point on the front facade of the remainder of the principal building having livable space that is nearest to the lot line, when all of the following conditions are met:

~~(1) The lot has a slope steeper than twelve percent (12%).~~

~~(2) Livable space is included above the side-loaded garage and has an exterior wall plane level with the build-to line of the garage.~~

~~(3) The livable space above the garage and the sidewall of the garage both have windows that match the windows used on the balance of the front facade containing livable space.~~

~~(4) There are a minimum of two (2) windows on the garage sidewall that face the public right-of-way.~~

~~(5) No portion of the sidewall visible to the public right-of way exceeds sixty percent (60%) of the total maximum width of the principal building.~~

~~**b. Front-facing Garages. Front-facing garages shall be required to be located a minimum of ten feet (10') behind the longest length of the front facade's livable space on the ground level, and its width shall be restricted to a maximum of fifty percent (50%) of the total width of the principal building.**~~

**Section Thirty-Five:** Section 7.02 F. of the Zoning Ordinance for the City of Kenosha,

Wisconsin is repealed and recreated as follows:

**F. Exceptions for NonConforming Residential Structures Located in the RS-1, RS-2, RR-1, RR-2, RR-3 or RD Zoning Districts.** A residential building or structure which does not comply with any or all of the following:

- Sections **3.031 H.**, **3.032 H.**, **3.033 G.**, **3.04 G.**, **3.05 G.**, or **3.07 G.** of the Zoning Ordinance, regarding Attached Garages;
- ~~Sections **3.031 I.**, **3.032 I.**, **3.033 H.**, **3.04 H.**, **3.05 H.**, or **3.07 H.** of the Zoning Ordinance regarding Garage Door Placement;~~
- Sections **3.031 J.**, **3.032 J.**, **3.033 H.**, **3.04 H.**, **3.05 H.**, or **3.07 H.**, of the Zoning Ordinance regarding Building Composition and Character;
- Sections ~~**3.031 K.**~~, ~~**3.032 K.**~~, **3.033 J.**, **3.04 J.**, **3.05 J.**, or **3.07 J.**, of the Zoning Ordinance regarding Compatibility with Existing Structures; and, which is damaged or destroyed by a catastrophe or act of God, may be reconstructed to its original construction prior to such damage if all of the following conditions are met:

1. A Building Permit for the reconstruction is obtained within twelve (12) months of the date of the catastrophe or act of God.
2. Reconstruction will not increase any dimensional nonconformity of the building or structure.
3. The reconstructed building or structure complies with all other City and State Codes and Ordinances existing at the time of reconstruction.

**Section Thirty-Six:** Section 12.0 B. is amended by adding thereto:

**Front-facing Garage.** An attached garage where the overhead doors are parallel to the front yard and visible from the public right-of way. Pertaining to corner lots, front-facing garages shall also be defined where the overhead doors are parallel to the street-side yard and where the primary entrance also is parallel to the street-side yard.

**Livable Space.** That part of the building which is enclosed and supported upon the main foundation system of the structure, excluding garages, unfinished basements, bay windows, porches and breezeways.

**Overhead Door.** A door opening for a garage allowing ingress and egress of a car.

**Side-loaded Garage.** An attached garage where the overhead doors are perpendicular to the front yard and generally not visible from the public right-of way.

**Section Thirty-Seven:** This Ordinance shall become effective upon passage and publication.

ATTEST: \_\_\_\_\_ City Clerk

APPROVED: \_\_\_\_\_ Mayor

Passed:

Published:

Drafted By:  
EDWARD R. ANTARAMIAN  
City Attorney

**ZONING ORDINANCE NO.**

**BY: THE MAYOR**

**TO REPEAL, RECREATE AND RENUMBER VARIOUS PARTS OF SECTIONS 3.03 THROUGH 3.09 REGARDING FRONT YARD EXCEPTIONS AND GARAGES, TO REPEAL AND RECREATE SECTION 7.02 F. REGARDING NONCONFORMING RESIDENTIAL STRUCTURES, AND TO CREATE DEFINITIONS FOR "FRONT-FACING GARAGE", "LIVABLE SPACE", "OVERHEAD DOOR", AND "SIDE-LOADED GARAGE" IN SECTION 12.0 B. OF THE ZONING ORDINANCE FOR THE CITY OF KENOSHA, WISCONSIN**

The Common Council of the City of Kenosha, Wisconsin, do ordain as follows:

**Section One:** Section 3.03 D.1. of the Zoning Ordinance for the City of Kenosha, Wisconsin is repealed and recreated as follows:

**1. Front Yard.** As measured along the street frontage of the right of way of a block bounded by intersecting cross streets, if a majority of lots have a front yard other than the required front yard, no principal building may be erected or structurally altered unless the setback is equal to the average setbacks of the two nearest residential developed lots on either side of the subject lot sharing the same street frontage which are most nearly adjacent to the subject lot.

Corner lots subject to this Paragraph D.1 shall comply using as an average setback, the averages of the most nearly adjacent lot along the subject frontage and the lot directly across the street of the subject frontage sharing the same street frontage.

**Section Two:** Section 3.031 H. of the Zoning Ordinance for the City of Kenosha, Wisconsin is repealed and recreated as follows:

**H. Attached Garages.**

**1. Side-loaded Garages.** Side-loaded garages shall be designed to be integral with the design features of the portion of the principal building having livable space. If the side-loaded garage extends laterally from the facade of the remainder of the principal building having livable space, it shall include at least one (1) window that faces the public right-of-way that matches the windows used on the balance of the front facade of the portion of the principal building having livable space.

**2. Front-facing Garages.** Front-facing garages may extend a maximum of ten feet (10') in front of the longest line of the front facade containing livable space on the ground level, and shall be subject to the following standards:

- a. Width shall be restricted to a maximum of sixty percent (60%) of the total width of the principal building.
- b. The primary entrance is emphasized by a covered porch or stoop having a minimum area equal to fifty percent (50%) of the width of the garage, a minimum area of twenty-five square feet (25 sq.'), and includes columns, railings, balustrades, trellises and/or decorative posts to define the perimeter.

**Section Three:** Section 3.031 I. Of the Zoning Ordinance for the City of Kenosha, Wisconsin is hereby repealed.

**Section Four:** Section 3.031 J. and 3.031 K. are renumbered as 3.031 I. and 3.031 J.,

respectively.

**Section Five:** Section 3.031 J.2. of the Zoning Ordinance for the City of Kenosha, Wisconsin is hereby repealed.

**Section Six:** Section 3.031 J.3 of the Zoning Ordinance for the City of Kenosha, Wisconsin is renumbered as Section 3.031 J.2..

**Section Seven:** Section 3.032 H. of the Zoning Ordinance for the City of Kenosha, Wisconsin is repealed and recreated as follows:

**H. Attached Garages.**

**1. Side-loaded Garages.** Side-loaded garages shall be designed to be integral with the design features of the portion of the principal building having livable space. If the side-loaded garage extends laterally from the facade of the remainder of the principal building having livable space, it shall include at least one (1) window that faces the public right-of-way that matches the windows used on the balance of the front facade of the portion of the principal building having livable space.

**2. Front-facing Garages.** Front-facing garages may extend a maximum of ten feet (10') in front of the longest line of the front facade containing livable space on the ground level, and shall be subject to the following standards:

**a.** Width shall be restricted to a maximum of sixty percent (60%) of the total width of the principal building.

**b.** The primary entrance is emphasized by a covered porch or stoop having a minimum area equal to fifty percent (50%) of the width of the garage, a minimum area of twenty-five square feet (25 sq.'), and includes columns, railings, balustrades, trellises and/or decorative posts to define the perimeter.

**Section Eight:** Section 3.032 I. Of the Zoning Ordinance for the City of Kenosha, Wisconsin is hereby repealed.

**Section Nine:** Section 3.032 J. and 3.032 K. are renumbered as 3.032 I. and 3.032 J., respectively.

**Section Ten:** Section 3.032 J.2. of the Zoning Ordinance for the City of Kenosha, Wisconsin is hereby repealed.

**Section Eleven:** Section 3.032 J.3 of the Zoning Ordinance for the City of Kenosha, Wisconsin is renumbered as Section 3.032 J.2..

**Section Twelve:** Section 3.033 G. of the Zoning Ordinance for the City of Kenosha, Wisconsin is repealed and recreated as follows:

**G. Attached Garages.**

**1. Side-loaded Garages.** Side-loaded garages shall be designed to be integral with the design features of the portion of the principal building having livable space. If the side-loaded garage extends laterally from the facade of the remainder of the principal building having livable space, it shall include at least one (1) window that faces the public right-of-way that matches the windows used on the balance of the front facade of the portion of the principal building having livable space.

**2. Front-facing Garages.** Front-facing garages may extend a maximum of ten feet (10') in front of the longest line of the front facade containing livable space on the ground level, and shall be subject to the following standards:

a. Width shall be restricted to a maximum of sixty percent (60%) of the total width of the principal building.

b. The primary entrance is emphasized by a covered porch or stoop having a minimum area equal to fifty (50%) percent of the width of the garage, a minimum area of twenty-five square feet (25 sq.'), and includes columns, railings, balustrades, trellises and/or decorative posts to define the perimeter.

**Section Thirteen:** Section 3.033 H. of the Zoning Ordinance for the City of Kenosha, Wisconsin is hereby repealed.

**Section Fourteen:** Section 3.033 I. And 3.033 J. are renumbered as 3.033 H. and 3.033 I, respectively.

**Section Fifteen:** Section 3.033 I.2. of the Zoning Ordinance for the City of Kenosha, Wisconsin is hereby repealed.

**Section Sixteen:** Section 3.033 I.3 of the Zoning Ordinance for the City of Kenosha, Wisconsin is renumbered as Section 3.033 I.2.

**Section Seventeen:** Section 3.04 G. of the Zoning Ordinance for the City of Kenosha, Wisconsin is repealed and recreated as follows:

**G. Attached Garages.**

**1. Side-loaded Garages.** Side-loaded garages shall be designed to be integral with the design features of the portion of the principal building having livable space. If the side-loaded garage extends laterally from the facade of the remainder of the principal building having livable space, it shall include at least one (1) window that faces the public right-of-way that matches the windows used on the balance of the front facade of the portion of the principal building having livable space.

**2. Front-facing Garages.**

a. **HPO Zoned Properties.** Front-facing garages shall be required to be located a minimum of ten (10') feet behind the longest line of the front facade containing livable space on the ground level, and shall be subject to the following standards:

(1) Width shall be restricted to a maximum of fifty percent (50%) of the total width of the principal building.

(2) The primary entrance is emphasized by a covered porch or stoop having a minimum area of twenty-five feet (25'), a minimum depth of six feet (6'), and includes columns, railings, balustrades, trellises and/or decorative posts to define the perimeter.

b. **All Other Properties.** Front-facing garages may extend a maximum of ten feet (10') in front

of the longest line of the front facade containing livable space on the ground level, and shall be subject to the following standards:

(1) Width shall be restricted to a maximum of sixty percent (60%) of the total width of the principal building.

(2) The primary entrance is emphasized by a covered porch or stoop having a minimum area equal to fifty percent (50%) of the width of the garage, a minimum area of twenty-five square feet (25 sq.'), and includes columns, railings, balustrades, trellises and/or decorative posts to define the perimeter.

**Section Eighteen:** Section 3.04H. of the Zoning Ordinance for the City of Kenosha, Wisconsin is hereby repealed.

**Section Nineteen :** Section 3.04I. and 3.04J. are renumbered as 3.04H. and 3.04 I, respectively.

**Section Twenty:** Section 3.04.I.2. of the Zoning Ordinance for the City of Kenosha, Wisconsin is hereby repealed.

**Section Twenty-One:** Section 3.04 I.3 of the Zoning Ordinance for the City of Kenosha, Wisconsin is renumbered as Section 3.04 I.2.

**Section Twenty-Two:** Section 3.05 G. of the Zoning Ordinance for the City of Kenosha, Wisconsin is repealed and recreated as follows:

#### **G. Attached Garages.**

**1. Side-loaded Garages.** Side-loaded garages shall be designed to be integral with the design features of the portion of the principal building having livable space. If the side-loaded garage extends laterally from the facade of the remainder of the principal building having livable space, it shall include at least one (1) window that faces the public right-of-way that matches the windows used on the balance of the front facade of the portion of the principal building having livable space.

#### **2. Front-facing Garages.**

**a. HPO Zoned Properties.** Front-facing garages shall be required to be located a minimum of ten feet (10') behind the longest line of the front facade containing livable space on the ground level, and shall be subject to the following standards:

(1) Width shall be restricted to a maximum of fifty percent (50%) of the total width of the principal building.

(2) The primary entrance is emphasized by a covered porch or stoop having a minimum area of twenty-five feet (25'), a minimum depth of six feet (6'), and includes columns, railings, balustrades, trellises and/or decorative posts to define the perimeter.

**b. All Other Properties.** Front-facing garages may extend a maximum of ten feet (10') in front of the longest line of the front facade containing livable space on the ground level, and shall be subject to the following standards:

(1) Width shall be restricted to a maximum of sixty percent (60%) of the total width of the principal building.

(2) The primary entrance is emphasized by a covered porch or stoop having a minimum area equal to fifty percent (50%) of the width of the garage, a minimum area of twenty-five square feet (25 sq.'), and includes columns, railings, balustrades, trellises and/or decorative posts to define the perimeter.

**Section Twenty-Three:** Section 3.05 H. of the Zoning Ordinance for the City of Kenosha,

Wisconsin is hereby repealed.

**Section Twenty-Four:** Section 3.05 I. and 3.05 J. are renumbered as 3.05 H. and 3.05 I., respectively.

**Section Twenty-Five:** Section 3.05 I.2. of the Zoning Ordinance for the City of Kenosha, Wisconsin is hereby repealed.

**Section Twenty-Six:** Section 3.05 I.3 of the Zoning Ordinance for the City of Kenosha, Wisconsin is renumbered as Section 3.05 I.2.

**Section Twenty-Seven:** Section 3.06 I.2. is repealed and recreated as follows:

**2. Attached Garages.**

**a. Side-loaded Garages.** Side-loaded garages shall not have any wall closer to the front lot line than a point on the front facade of the remainder of the principal building having livable space that is nearest to the lot line. If the side-loaded garage extends laterally from the facade of the remainder of the principal building having livable space, it shall have at least one (1) window that faces the public right-of-way that matches the windows used on the balance of the portion of the principal building having livable space. Notwithstanding the above, side-loaded garages may have a wall closer to the front lot line than a point on the front facade of the remainder of the principal building having livable space that is nearest to the lot line, when all of the following conditions are met:

- (1) The lot has a slope steeper than twelve percent (12%) .
- (2) Livable space is included above the side-loaded garage and has an exterior wall plane level with the build-to line of the garage.
- (3) The livable space above the garage and the sidewall of the garage both have windows that match the windows used on the balance of the front facade containing livable space.
- (4) There are a minimum of two (2) windows on the garage sidewall that faces the public right-of way.
- (5) No portion of the sidewall visible to the public right-of way exceeds sixty percent (60%) of the total maximum width of the principal building.

**b. Front-facing Garages.** Front-facing garages shall be required to be located a minimum of ten feet (10') behind the longest length of the front facade's livable space on the ground level, and its width shall be restricted to a maximum of fifty percent (50%) of the total width of the principal building.

**Section Twenty-Eight:** Section 3.07 G. of the Zoning Ordinance for the City of Kenosha,

Wisconsin is repealed and recreated as follows:

**G. Attached Garages.**

**1. Side-loaded Garages.** Side-loaded garages shall be designed to be integral with the design features of the portion of the principal building having livable space. If the side-loaded garage extends laterally from the facade of the remainder of the principal building having livable space, it shall include at least one (1) window that faces the public right-of-way that matches the windows used on the balance of the front facade of the portion of the principal building having livable space.

**2. Front-facing Garages.** Front-facing garages may extend a maximum of ten feet (10') in

front of the longest line of the front facade containing livable space on the ground level, and shall be subject to the following standards:

a. Width shall be restricted to a maximum of sixty percent (60%) of the total width of the principal building.

b. The primary entrance is emphasized by a covered porch or stoop having a minimum area equal to fifty percent (50%) of the width of the garage, a minimum area of twenty-five square feet (25 sq.'), and includes columns, railings, balustrades, trellises and/or decorative posts to define the perimeter.

**Section Twenty-Nine:** Section 3.07 H. of the Zoning Ordinance for the City of Kenosha, Wisconsin is hereby repealed.

**Section Thirty:** Section 3.07 I. and 3.07 J. are renumbered as 3.07 H. and 3.07 I., respectively.

**Section Thirty-One:** Section 3.07 I.2. of the Zoning Ordinance for the City of Kenosha, Wisconsin is hereby repealed.

**Section Thirty-Two:** Section 3.07 I.3 of the Zoning Ordinance for the City of Kenosha, Wisconsin is renumbered as Section 3.07 I.2.

**Section Thirty-Three:** Section 3.08 I.2. is repealed and recreated as follows:

## **2. Attached Garages.**

a. **Side-loaded Garages.** Side-loaded garages shall not have any wall closer to the front lot line than a point on the front facade of the remainder of the principal building having livable space that is nearest to the lot line. If the side-loaded garage extends laterally from the facade of the remainder of the principal building having livable space, it shall have at least one (1) window that faces the public right-of-way that matches the windows used on the balance of the portion of the principal building having livable space. Notwithstanding the above, side-loaded garages may have a wall closer to the front lot line than a point on the front facade of the remainder of the principal building having livable space that is nearest to the lot line, when all of the following conditions are met:

(1) The lot has a slope steeper than twelve percent (12%) .

(2) Livable space is included above the side-loaded garage and has an exterior wall plane level with the build-to line of the garage.

(3) The livable space above the garage and the sidewall of the garage both have windows that match the windows used on the balance of the front facade containing livable space.

(4) There are a minimum of two (2) windows on the garage sidewall that faces the public right-of way.

(5) No portion of the sidewall visible to the public right-of way exceeds sixty percent (60%) of the total maximum width of the principal building.

b. **Front-facing Garages.** Front-facing garages shall be required to be located a minimum of ten feet (10') behind the longest length of the front facade's livable space on the ground level, and its width shall be restricted to a maximum of fifty percent (50%) of the total width of the principal building.

**Section Thirty-Four:** Section 3.09 I.2. is repealed and recreated as follows:

## **2. Attached Garages.**

a. **Side-loaded Garages.** Side-loaded garages shall not have any wall closer to the front lot line than a point on the front facade of the remainder of the principal building having livable space that is nearest to the

lot line. If the side-loaded garage extends laterally from the facade of the remainder of the principal building having livable space, it shall have at least one (1) window that faces the public right-of-way that matches the windows used on the balance of the portion of the principal building having livable space. Notwithstanding the above, side-loaded garages may have a wall closer to the front lot line than a point on the front facade of the remainder of the principal building having livable space that is nearest to the lot line, when all of the following conditions are met:

- (1) The lot has a slope steeper than twelve percent (12%).
  - (2) Livable space is included above the side-loaded garage and has an exterior wall plane level with the build-to line of the garage.
  - (3) The livable space above the garage and the sidewall of the garage both have windows that match the windows used on the balance of the front facade containing livable space.
  - (4) There are a minimum of two (2) windows on the garage sidewall that face the public right-of way.
  - (5) No portion of the sidewall visible to the public right-of way exceeds sixty percent (60%) of the total maximum width of the principal building.
- b. Front-facing Garages.** Front-facing garages shall be required to be located a minimum of ten feet (10') behind the longest length of the front facade's livable space on the ground level, and its width shall be restricted to a maximum of fifty percent (50%) of the total width of the principal building.

**Section Thirty-Five:** Section 7.02 F. of the Zoning Ordinance for the City of Kenosha,

Wisconsin is repealed and recreated as follows:

**F. Exceptions for NonConforming Residential Structures Located in the RS-1, RS-2, RR-1, RR-2, RR-3 or RD Zoning Districts.** A residential building or structure which does not comply with any or all of the following:

- Sections **3.031 H., 3.032 H., 3.033 G., 3.04 G., 3.05 G., or 3.07 G.** of the Zoning Ordinance, regarding Attached Garages;
- Sections **3.031 I., 3.032 I., 3.033 H., 3.04 H., 3.05H., or 3.07 H.,** of the Zoning Ordinance regarding Building Composition and Character;
- Sections **3.031 J., 3.032 J., 3.033 I., 3.04 I., 3.05 I., or 3.07 I ,** of the Zoning Ordinance regarding Compatibility with Existing Structures; and, which is damaged or destroyed by a catastrophe or act of God, may be reconstructed to its original construction prior to such damage if all of the following conditions are met:
  1. A Building Permit for the reconstruction is obtained within twelve (12) months of the date of the catastrophe or act of God.
  2. Reconstruction will not increase any dimensional nonconformity of the building or structure.
  3. The reconstructed building or structure complies with all other City and State Codes and Ordinances existing at the time of reconstruction.

**Section Thirty-Six:** Section 12.0 B. is amended by adding thereto:

**Front-facing Garage.** An attached garage where the overhead doors are parallel to the front yard and visible from the public right-of way. Pertaining to corner lots, front-facing garages shall also be defined where the overhead doors are parallel to the street-side yard and where the primary entrance also is parallel to the street-side yard.

**Livable Space.** That part of the building which is enclosed and supported upon the main foundation system of the structure, excluding garages, unfinished basements, bay windows, porches and breezeways.

**Overhead Door.** A door opening for a garage allowing ingress and egress.

**Side-loaded Garage.** An attached garage where the overhead doors are perpendicular to the front yard and generally not visible from the public right-of way.

**Section Thirty-Seven:** This Ordinance shall become effective upon passage and publication.

ATTEST: \_\_\_\_\_ City Clerk

APPROVED: \_\_\_\_\_ Mayor

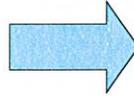
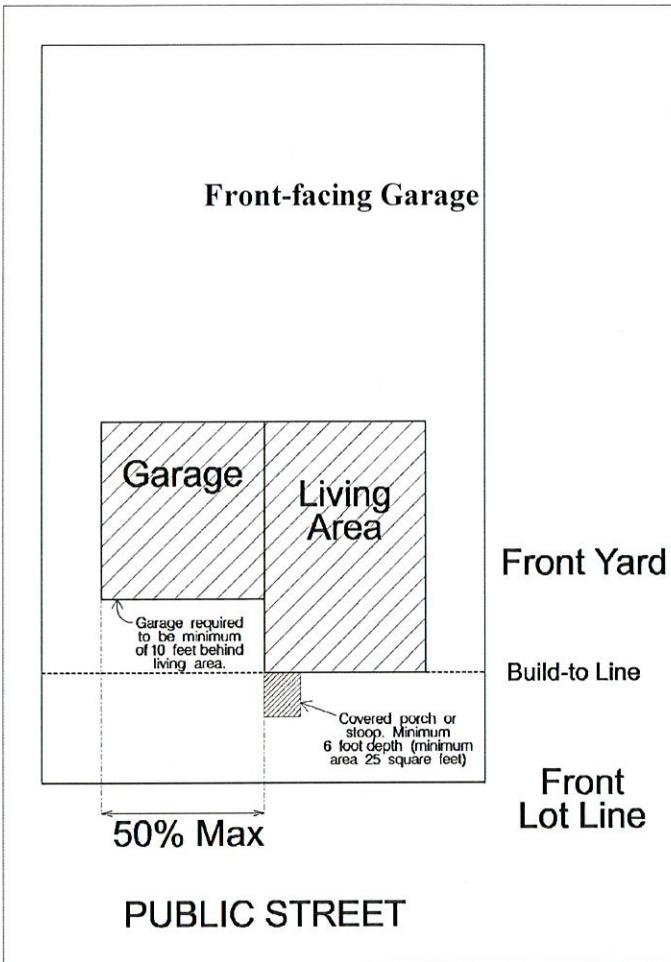
Passed:

Published:

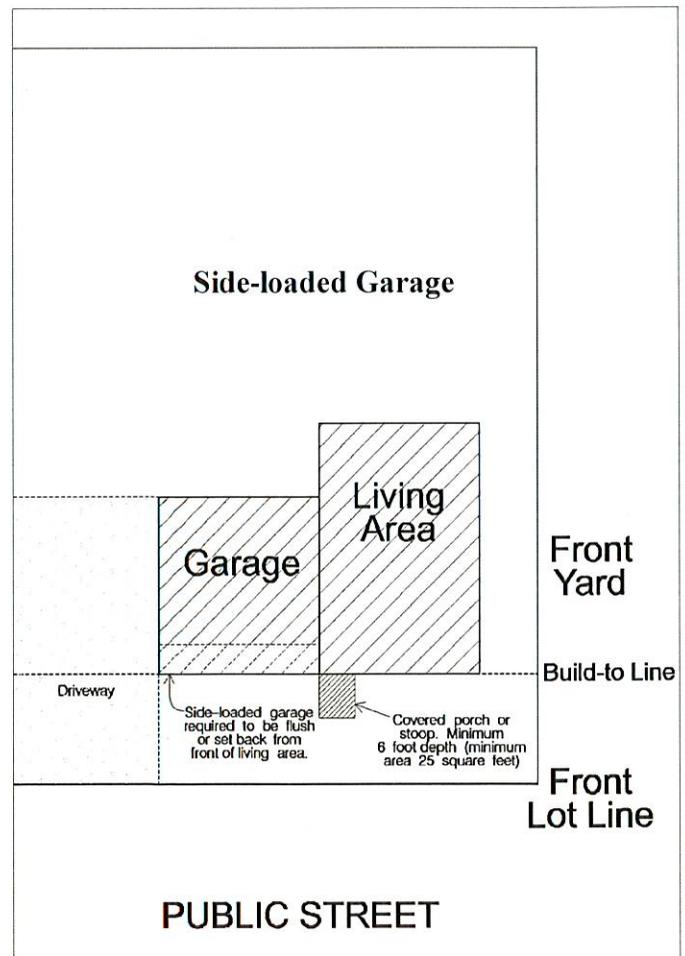
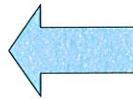
Drafted By:  
EDWARD R. ANTARAMIAN  
City Attorney

# Visual Summary of Changes to Residential Districts Regarding Garages

## OLDER RESIDENTIAL DISTRICTS (RG-1, RG-2 & RS-3)

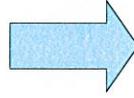
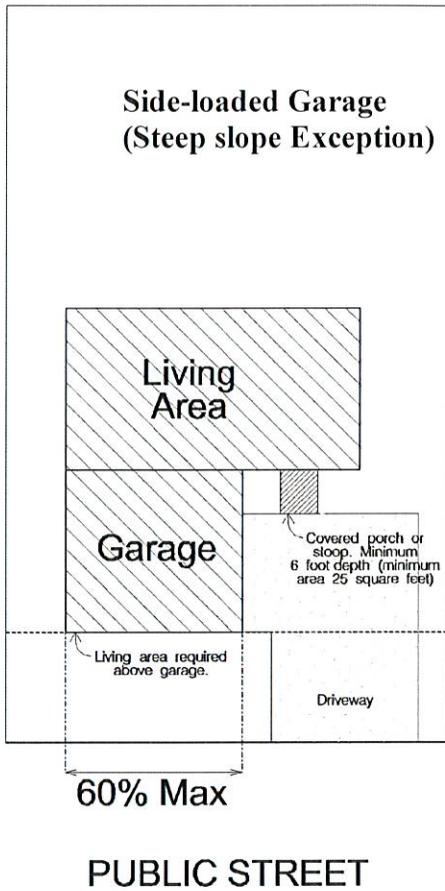


- Attached garage minimum of 10 feet behind Living Area
- Garage width limited to maximum of 50% of home width
- Covered porch required



- Side-loaded garage required to be flush with Living Area or set back from Living Area
- Side of garage requires at least one window that matches windows on Living Area
- Covered porch required

**OLDER RESIDENTIAL DISTRICTS (RG-1, RG-2 & RS-3) - Continued**



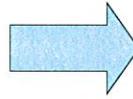
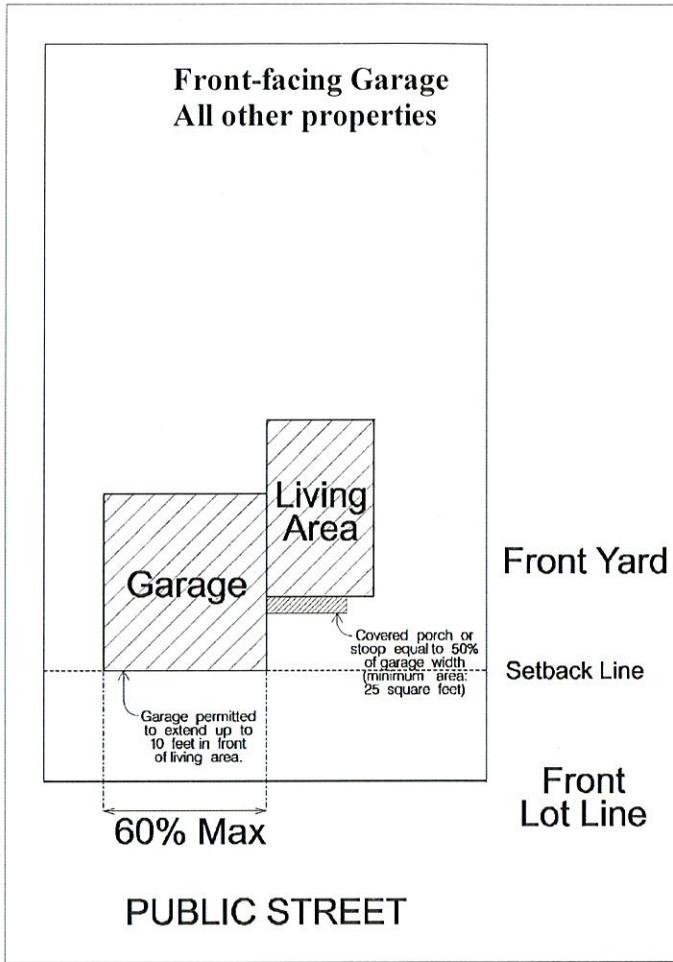
**Front Yard**

**Build-to Line**

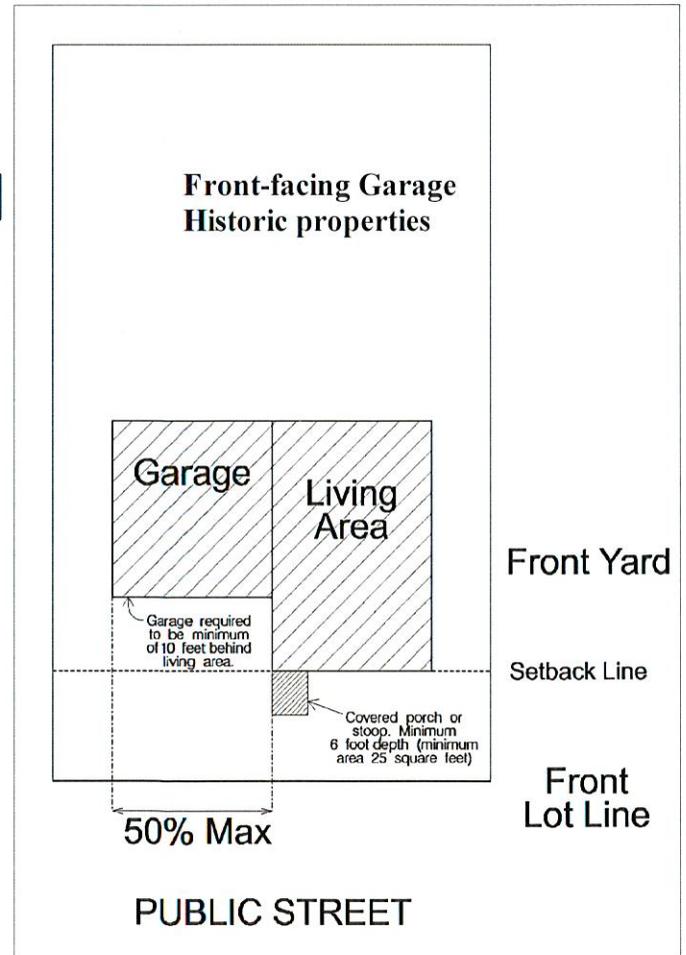
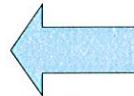
**Front Lot Line**

- Side-loaded garage permitted in front of Living Area on lots with slope at least 12%
- Living Area required above garage
- Required to have minimum of two windows on garage sidewall that faces public street
- Windows used on garage side to match windows on Living Area
- Garage limited to maximum width of 60% of house
- Covered porch required

**NEWER RESIDENTIAL DISTRICTS (RR-1, RR-2, RR-3, RS-1, RS-2, RD)**



- Attached garage permitted to extend up to 10 feet in front of Living Area
- Maximum garage width of 60% of home width
- Covered porch required equal to 50% width of garage & 25 square feet if garage extends in front of Living Area (not required if garage is flush or set back)



**HPO Zoned (Historic Properties) Requirements**

- Attached garage required to be a minimum of 10 feet behind Living Area
- Maximum garage width of 50% of home width
- Covered porch required

City Plan Division 625 52 <sup>nd</sup> Street Kenosha, WI 53140 262.653.4030	Kenosha City Plan Commission  <b>FACT SHEET</b>	February 10, 2011	Item <b>5</b>
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**To Repeal and Recreate Subsection 4.06 A.17 of the Zoning Ordinance for the City of Kenosha regarding residential conditional uses to expressly authorize inspections as a point of verification for allowing non-conforming use as a conditional use . PUBLIC HEARING**

**LOCATION/SURROUNDINGS:**

**NOTIFICATIONS/PROCEDURES:**

The ordinance requires Common Council approval.

**ANALYSIS:**

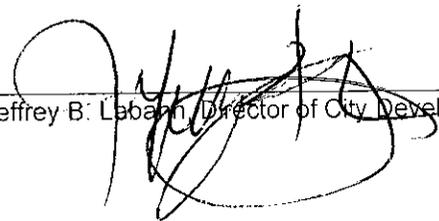
- The City previously adopted a Zoning Ordinance which would allow a Conditional Use Permit to be issued for non-conforming residential uses located within a residential district.
- This Ordinance will clarify that as a part of the City verification of the non-conforming use, that Staff has the ability to conduct interior and exterior inspections of the structure.

**RECOMMENDATION:**

A recommendation is made to approve the attached Ordinance.



Rich Schroeder, Assistant City Planner  
 /u2/acct/cp/ckays/1CPC/2011/Feb10/fact-zo-406-inspect.odt



Jeffrey B. Labahn, Director of City Development

**DRAFT 01.26.11**

**BY: ALDERPERSON ANTHONY NUDO**

**TO REPEAL AND RECREATE SUBSECTION 4.06 A. 17 OF THE ZONING ORDINANCE FOR THE CITY OF KENOSHA REGARDING RESIDENTIAL CONDITIONAL USES TO EXPRESSLY AUTHORIZE INSPECTIONS AS A POINT OF VERIFICATION FOR ALLOWING NONCONFORMING USE AS A CONDITIONAL USE**

The Common Council of the City of Kenosha, Wisconsin, do ordain as follows:

**Section One:** Section 4.01 A. of the Zoning Ordinance for the City of

Kenosha, Wisconsin, is hereby repealed and recreated as follows:

**A. RESIDENTIAL CONDITIONAL USES**

**17. Non-conforming Residential Uses**

- a. Verification by the applicant, in form and substance, including but not limited to, an inspection or inspections by City staff or agents on behalf of the City of the interior and/or exterior of any structure that is subject to an application under this subsection. satisfactory to the reviewing authority of the prior existing residential use.
- b. Building Plan as required in Sections 4.05B. and 14.07 B. of the Zoning Ordinance.
- c. Site Plan as required in Sections 4.05 C. and 14.07 C. of the Zoning Ordinance.
- d. Drainage Plan as required in Sections 4.05D. and 14.07 E. of the Zoning Ordinance.
- e. Landscape Plan as required in Sections 4.05 E. and 14.07 F. of the Zoning Ordinance.
- f. Utility Plan as required in Sections 4.05 F. and 14.07 D. of the Zoning Ordinance.
- g. Other issues which may have an adverse social , economic, or environmental impact, or affecting the health, safety or welfare of abutting or neighboring properties or the City as a whole.
- h. One or more of plans identified hereinabove may be waived in the discretion of reviewing authority.

**Section Two:** This Ordinance shall become effective upon passage and

publication.

ATTEST: \_\_\_\_\_ City Clerk

APPROVED: \_\_\_\_\_ Mayor

Passed:

Published:

Drafted By:  
EDWARD R. ANTARAMIAN  
City Attorney

ZONING ORDINANCE NO. \_\_\_\_\_

BY: ALDERPERSON ANTHONY NUDO

TO REPEAL AND RECREATE SUBSECTION 4.06 A. 17 OF THE ZONING ORDINANCE FOR THE CITY OF KENOSHA REGARDING RESIDENTIAL CONDITIONAL USES TO EXPRESSLY AUTHORIZE INSPECTIONS AS A POINT OF VERIFICATION FOR ALLOWING NONCONFORMING USE AS A CONDITIONAL USE

The Common Council of the City of Kenosha, Wisconsin, do ordain as follows:

**Section One:** Section 4.01 A. of the Zoning Ordinance for the City of

Kenosha, Wisconsin, is hereby repealed and recreated as follows:

**A. RESIDENTIAL CONDITIONAL USES**

**17. Non-conforming Residential Uses**

- a. Verification by the applicant, in form and substance, including but not limited to, an inspection or inspections by City staff or agents on behalf of the City of the interior and/or exterior of any structure that is subject to an application under this subsection, satisfactory to the reviewing authority of the prior existing residential use.
- b. Building Plan as required in Sections 4.05B. and 14.07 B. of the Zoning Ordinance.
- c. Site Plan as required in Sections 4.05 C. and 14.07 C. of the Zoning Ordinance.
- d. Drainage Plan as required in Sections 4.05D. and 14.07 E. of the Zoning Ordinance.
- e. Landscape Plan as required in Sections 4.05 E. and 14.07 F. of the Zoning Ordinance.
- f. Utility Plan as required in Sections 4.05 F. and 14.07 D. of the Zoning Ordinance.
- g. Other issues which may have an adverse social , economic, or environmental impact, or affecting the health, safety or welfare of abutting or neighboring properties or the City as a whole.
- h. One or more of plans identified hereinabove may be waived in the discretion of reviewing authority.

**Section Two:** This Ordinance shall become effective upon passage and

publication.

ATTEST: \_\_\_\_\_ City Clerk

APPROVED: \_\_\_\_\_ Mayor

Passed:

Published:

Drafted By:  
EDWARD R. ANTARAMIAN  
City Attorney

ORDINANCE NO. \_\_\_\_\_

Recommended amendment  
in green from the Jan. 31, 2011  
PSW meeting.

BY: MAYOR

**TO REPEAL AND RECREATE VARIOUS SECTIONS OF  
CHAPTER 15 OF THE CODE OF GENERAL ORDINANCES  
RELATED TO OFF-PREMISE SIGNS.**

The Common Council of the City of Kenosha, Wisconsin, do ordain as follows:

**Section One:** Repeal definitions of “off premise” and “on-premise” in Section 15.02 of the Code of General Ordinances for the City of Kenosha, Wisconsin.

**Section Two:** Definitions of “on-premise commercial sign” and “off-premise commercial sign” in Section 15.02 of the Code of General Ordinances for the City of Kenosha, Wisconsin are hereby created as follows:

**Off-Premise Commercial Sign.** A Sign identifying or advertising a business, owner, operator, product, service or commercial activity not located or available on the Premise where the Sign is located or directing persons to a different location from where the Sign is located.

**On-Premise Commercial Sign.** A Sign identifying or advertising a business, owner, operator, product, service or commercial activity located or available on the Premise where the Sign is located.

**Section Three:** Section 15.03 of the Code of General Ordinances for the City of Kenosha, Wisconsin is hereby repealed and recreated as follows:

**15.03 PROHIBITION/~~PERMIT AND LICENSE REQUIREMENT~~**

**A. ~~Sign Permit/License Requirement.~~** It shall be unlawful for any person to erect, place, replace, move, establish, originally paint, construct, install, convert, substantially alter, rebuild, enlarge, remodel, relocate, illuminate, or maintain any Sign defined in this Ordinance in the City contrary to the applicable provisions, standards and requirements of this Ordinance. ~~without first obtaining a permit and/or license, where required by this Ordinance. A Sign Permit and/or license may be issued with reasonable conditions consistent with the purpose of this Ordinance.~~

**B. Kenosha Water Utility Water Tower Signs Exempt.** Signs placed or allowed on elevated water towers owned and maintained by the Kenosha Water Utility shall be exempt from the requirements and prohibitions proscribed in this Chapter.

**Section Four:** Section 15.04 of the Code of General Ordinances for the City of Kenosha, Wisconsin is hereby repealed and recreated as follows:

## 15.04 PERMITTED AND PROHIBITED SIGNS

Signs shall be permitted or prohibited (not permitted) in the City in certain Zoning Districts in accordance with Table 1, attached hereto and incorporated herein. See Section 15.12 for Prohibited Signs and ~~Section 15.15 I. for Prohibited Off-Premise Signs.~~

Section Five: Section 15.07 of the Code of General Ordinances for the City of

Kenosha, Wisconsin is hereby repealed and recreated as follows:

## 15.07 SIGN PERMIT

**A. Sign Permit Required.** A Sign Permit from the Administrator shall be required for any Person to erect, place, replace, move, establish, originally paint, construct, install, convert, substantially alter, rebuild, enlarge, remodel, relocate, or illuminate any ~~On-Premise or Off-Premise~~ Sign upon private property, whether a Permanent or Portable Sign, unless exempted from this requirement by this Ordinance.

### B. Exemptions.

1. Noncommercial signs that are:
  - a. less than 16 square feet
  - b. not permanent
2. Table 1 of this Ordinance identifies Signs which require or do not require a permit.
3. The repair, routine maintenance or repainting of any existing Sign shall not be considered a substantial alteration or other activity requiring a permit hereunder.

**BC. Application.** A Sign Permit for a Permanent or Portable Sign, except as otherwise provided in this Ordinance, shall not be granted or issued until after a fully completed application form has been filed with the Administrator by a licensed Sign erector showing the plans and specifications, dimensions, material, setback, elevation, projections, and details of the proposed Sign nor until all provisions of this Ordinance relating to such Sign shall be complied with, nor until after the payment of the prescribed fee for every such permit. The Administrator may prescribe the form of all applications for the various forms of permits herein required.

**CD. Fees.** The Common Council shall, from time to time, establish the permit fees. Permit fees shall be waived for any permit under this Chapter applied for by the City of Kenosha, City of Kenosha Redevelopment Authority, Library, or Museum.

**DE. Portable Sign Permits.** Portable Signs shall be permitted only upon the issuance of a Portable Sign Permit granted and issued by the Administrator subject to the following conditions and restrictions:

1. A Portable Sign Permit shall allow the use of a Portable Sign for a specified period of time, not to exceed thirty (30) consecutive days.

2. Only two (2) Portable Sign Permits shall be issued with respect to the same Premise in any

calendar year.

3. All Portable Signs shall be anchored and supported in a manner which reasonably prevents the possibility of Signs becoming hazards to public health and safety. Any Portable Sign weighing in excess of fifty (50) pounds must conform to the requirements of the City Building Code.

4. Portable Signs shall not exceed thirty-two (32) square feet of Sign Face area per side.

#### **F. Off-Premise Commercial Signs**

Subject to the provisions of Wisconsin Statutes §§ 62.23 (7) (h) and (hc) no sign permit may be issued to erect, place, replace, move, establish, originally paint, construct, install, ~~convert~~, substantially alter, rebuild, enlarge, remodel, or relocate any off-premise commercial sign.

#### **Section Six**

Section 15.12 of the Code of General Ordinances for the City of

Kenosha, Wisconsin is hereby repealed and recreated as follows:

#### **15.12 PROHIBITED SIGNS**

All Signs not expressly permitted are prohibited in any location in the City. The following Signs are specifically prohibited:

1. Signs containing statements, words or pictures of an obscene or pornographic nature.
2. A Sign, handbill, notice or poster affixed to a tree, fence, pole, Street Sign, Traffic Sign or other structure not constructed or intended for use as a Sign base, which is not authorized by this Ordinance.
3. Revolving Signs.
4. Roof Signs.
5. Signs which are structurally dangerous, or unsafe.
6. Abandoned/Obsolete Signs.
7. Flashing and Animated Signs.
8. Deteriorated Signs.
9. Signs used beyond time limits provided in this Ordinance.
10. Off-premise commercial signs.

#### **Section Seven**

Section 15.15 of the Code of General Ordinances for the City of

Kenosha, Wisconsin is hereby repealed and recreated as follows:

#### **15.15 OFF-PREMISE SIGNS**

**A. Purpose.** This Section is intended to protect the public health, safety and welfare by regulating the construction, materials, ~~placement/location~~, size, height, spacing and maintenance of Off-Premise Commercial Signs. This Section is designed to ensure that Off-Premise Commercial Signs are compatible with other Signs and land uses, and are not detrimental to the aesthetic quality of the community. All Off-Premise Commercial Signs ~~permitted-existing~~ in the City shall be maintained in accordance with the following conditions and restrictions:

**B. Illumination.** The light rays from any Off-Premise Commercial Sign which is externally illuminated shall be cast directly upon the Sign Face surface and shall not be visible to motor vehicle operators, except as may be reflected from the Sign Face. The illumination of Off-Premise Commercial Signs will not be permitted between 12:00 A.M. and 5:00 A.M. No Off-Premise Commercial Sign shall contain flashing elements or video displays.

**C. Wind Load Requirement.** Off-Premise Commercial Signs shall be maintained so as to withstand a wind load/pressure of not less than thirty (30) pounds to the square foot.

**D. Nonconforming Off-Premise Commercial Signs.** Any existing Off-Premise Commercial Sign constructed, erected and installed in accordance with applicable State and local laws, rules and regulations established on the effective date of this Ordinance and which Sign becomes Nonconforming by the provisions herein, shall be a Nonconforming use and any Sign which, as a result of subsequent amendments hereto becomes Nonconforming, shall also be a Nonconforming use and is to be subject to Section 7.0 of the Zoning Ordinance.

No Nonconforming Off-Premise Commercial Sign structure shall be altered or reconstructed, unless the alteration or reconstruction is in compliance with the provisions of Section 7.0 of the Zoning Ordinance. For the purpose of this Section only, the term "altered or reconstructed" shall not include painting, rustproofing, ~~or~~ changing of advertising message; or the installation of cable and bracket components necessary to ratchetably anchor a flex billboard of the type having a fully recyclable polyethylene substrate. For inspection purposes, an approved building permit must be obtained prior to the commencement of any work associated with the installation of cable and bracket components.

Nonconforming Off-Premise Commercial Signs may continue in use only when in compliance with the following:

1. The Sign must have been actually in existence as of the effective date of this Ordinance.
2. The Sign may be sold, leased, or otherwise transferred without affecting its Nonconforming status, but its location may not be changed. ~~A Nonconforming Sign removed as a result of a Street Right-of-Way taking or for any other reason may be relocated only if the Sign is made to conform to this Ordinance.~~
3. The Sign must have been constructed, erected, and installed in accordance with applicable State and local laws, rules and regulations that were in effect at the time this Ordinance was enacted, and must continue to be maintained in accordance with this Ordinance. Failure to adhere to rules and regulations associated with construction, erection and installation of Off-Premise Signs, including failure to obtain permit approvals, shall render the Sign illegal.
4. In accordance with Section 62.23(7)(h), Wisconsin Statutes, the Sign must remain substantially the same as it was on the effective date of this Ordinance and may not be enlarged or expanded. Any extension, enlargement, rebuilding, changing the materials of the Sign structure, changing the size of the Sign structure materials, adding catwalks, adding guys or struts for stabilization of the Sign or structure, adding lights to a non illuminated Sign, changing the height of the Sign above ground or re-erection of the Sign is prohibited. The Sign may not be structurally altered so as to prolong the life of the Sign.
5. The Sign may continue in use as long as it is not destroyed, extended, expanded, abandoned, or discontinued. A Sign is deemed destroyed when it is rendered any or all of the following descriptions: dismantled, ~~blown down~~, removed or modified from its original state. A Sign shall be deemed expanded if any or all of the following standards are met: increase in size, mass, volume or scope in any direction; provide greater detail; to spread out; to increase or grow in extent; or, to increase in width or

circumference. A Sign is deemed abandoned or discontinued if for a period of twelve (12) months or longer, it is composed of obsolete advertising matter, or is without advertising matter, or is in need of substantial repair provided that any period of involuntary discontinuance which occurs during the period a street is closed shall not be considered. A Sign is deemed abandoned or discontinued if the name of the owner does not appear thereon and if the name and address of the current owner is not readily ascertainable from records on file with the Department of Neighborhood Services and Inspections.

An unsafe to abandoned Sign is declared a public nuisance, which shall be abated by the owner within sixty (60) days of receiving notice from the Department. After sixty (60) days, the Sign may be removed by the Department, and the cost thereof shall be placed on the tax roll as a special assessment and become a lien against the benefited property, unless paid sooner.

**E. Identification of Sign Erector.** On every Off-Premise Sign erected, the erector shall, in a permanent manner, state the name and address of the Sign erector that erected the Sign, the permit number, and the date of its erection. Such information must be readable from a distance of at least one (1) foot.

**F. Off-Premise Sign License.**

**1. License Required.** An annual Off-Premise Sign License for each Off-Premise Sign Face.

**2. Fees.** The fee for such License shall be calculated for each Sign Face. License fees are not proratable. License fees shall be deposited in a special revenue fund, which shall be used to offset the City's cost associated with the annual inspection and licensing of each Sign Face. The Common Council shall, from time to time, establish the License Fees.

**3. Term.** Every License issued hereunder shall expire on the first (1st) day of July of the year following the date of issuance.

**G. Replacement Sign Credits.** Off-Premise Signs constructed as a result of Replacement Sign Credits granted prior to June 16, 2008, shall be subject to the Ordinance standards enacted March 6, 1995. An Off-Premise Sign Permit shall be obtained prior to the expiration of subject credits.

**H. Off-Premise Signs in City Parks or Recreation Areas.** This section does not apply to off-premise signs placed in City parks or recreational areas pursuant to authorization for non-permanent placement, from the Parks Commission.

**Section Eight:** To repeal and recreate the line pertaining to off-premises in Table 1

of Chapter 15 of the Code of General Ordinances for the City of Kenosha, Wisconsin as follows:

SIGN DESCRIPTIONS	B-1/B2-/B-3	IP	M-1/M-2	RG/RS/RD/RR	RM
Off-Premise <u>Commercial Signs</u> [Refer to Section 15.15]	<del>PERMITTED ONLY IN B-2</del> <u>NOT PERMITTED</u>	NOT PERMITTED	<u>NOT</u> PERMITTED	NOT PERMITTED	NOT PERMITTED

**Section Nine:** This Ordinance shall become effective upon passage and publication.

ATTEST: \_\_\_\_\_ City Clerk

APPROVED: \_\_\_\_\_ Mayor

Passed:

Published:

Drafted By:  
EDWARD R. ANTARAMIAN  
City Attorney

**Underscored language is the recommended amendment from the Jan. 31, 2011 PSW meeting.**

**BY: MAYOR**

**TO REPEAL AND RECREATE VARIOUS SECTIONS OF CHAPTER 15 OF THE CODE OF GENERAL ORDINANCES RELATED TO OFF-PREMISE SIGNS.**

The Common Council of the City of Kenosha, Wisconsin, do ordain as follows:

**Section One:** Repeal definitions of “off premise” and “on-premise” in Section 15.02 of the Code of General Ordinances for the City of Kenosha, Wisconsin.

**Section Two:** Definitions of “on-premise commercial sign” and “off-premise commercial sign” in Section 15.02 of the Code of General Ordinances for the City of Kenosha, Wisconsin are hereby created as follows:

**Off-Premise Commercial Sign.** A Sign identifying or advertising a business, owner, operator, product, service or commercial activity not located or available on the Premise where the Sign is located or directing persons to a different location from where the Sign is located.

**On-Premise Commercial Sign.** A Sign identifying or advertising a business, owner, operator, product, service or commercial activity located or available on the Premise where the Sign is located.

**Section Three:** Section 15.03 of the Code of General Ordinances for the City of Kenosha, Wisconsin is hereby repealed and recreated as follows:

**15.03 PROHIBITION**

**A.** It shall be unlawful for any person to erect, place, replace, move, establish, originally paint, construct, install, convert, substantially alter, rebuild, enlarge, remodel, relocate, illuminate, or maintain any Sign defined in this Ordinance in the City contrary to the applicable provisions, standards and requirements of this Ordinance. .

**B. Kenosha Water Utility Water Tower Signs Exempt.** Signs placed or allowed on elevated water towers owned and maintained by the Kenosha Water Utility shall be exempt from the requirements and prohibitions proscribed in this Chapter.

**Section Four:** Section 15.04 of the Code of General Ordinances for the City of

Kenosha, Wisconsin is hereby repealed and recreated as follows:

**15.04 PERMITTED AND PROHIBITED SIGNS**

Signs shall be permitted or prohibited (not permitted) in the City in certain Zoning Districts in accordance with Table 1, attached hereto and incorporated herein. See Section 15.12 for Prohibited Signs

**Section Five:** Section 15.07 of the Code of General Ordinances for the City of

Kenosha, Wisconsin is hereby repealed and recreated as follows:

**15.07 SIGN PERMIT**

**A. Sign Permit Required.** A Sign Permit from the Administrator shall be required for any Person to erect, place, replace, move, establish, originally paint, construct, install, convert, substantially alter, rebuild, enlarge, remodel, relocate, or illuminate any Sign upon private property, whether a Permanent or Portable Sign, unless exempted from this requirement by this Ordinance.

**B. Exemptions.**

1. Noncommercial signs that are:
  - a. less than 16 square feet
  - b. not permanent
2. Table 1 of this Ordinance identifies Signs which require or do not require a permit.
3. The repair, routine maintenance or repainting of any existing Sign shall not be considered a substantial alteration or other activity requiring a permit hereunder.

**C. Application.** A Sign Permit for a Permanent or Portable Sign, except as otherwise provided in this Ordinance, shall not be granted or issued until after a fully completed application form has been filed with the Administrator by a licensed Sign erector showing the plans and specifications, dimensions, material, setback, elevation, projections, and details of the proposed Sign nor until all provisions of this Ordinance relating to such Sign shall be complied with, nor until after the payment of the prescribed fee for every such permit. The Administrator may prescribe the form of all applications for the various forms of permits herein required.

**D. Fees.** The Common Council shall, from time to time, establish the permit fees. Permit fees shall be waived for any permit under this Chapter applied for by the City of Kenosha, City of Kenosha Redevelopment Authority, Library, or Museum.

**E. Portable Sign Permits.** Portable Signs shall be permitted only upon the issuance of a Portable Sign Permit granted and issued by the Administrator subject to the following conditions and restrictions:

1. A Portable Sign Permit shall allow the use of a Portable Sign for a specified period of time, not to exceed thirty (30) consecutive days.

2. Only two (2) Portable Sign Permits shall be issued with respect to the same Premise in any calendar year.

3. All Portable Signs shall be anchored and supported in a manner which reasonably prevents the possibility of Signs becoming hazards to public health and safety. Any Portable Sign weighing in excess of fifty (50) pounds must conform to the requirements of the City Building Code.

4. Portable Signs shall not exceed thirty-two (32) square feet of Sign Face area per side.

#### **F. Off-Premise Commercial Signs**

Subject to the provisions of Wisconsin Statutes §§ 62.23 (7) (h) and (hc) no sign permit may be issued to erect, place, replace, move, establish, originally paint, construct, install, ~~convert~~, substantially alter, rebuild, enlarge, remodel, or relocate any off-premise commercial sign.

#### **Section Six**                      Section 15.12 of the Code of General Ordinances for the City of

Kenosha, Wisconsin is hereby repealed and recreated as follows:

#### **15.12 PROHIBITED SIGNS**

All Signs not expressly permitted are prohibited in any location in the City. The following Signs are specifically prohibited:

1. Signs containing statements, words or pictures of an obscene or pornographic nature.
2. A Sign, handbill, notice or poster affixed to a tree, fence, pole, Street Sign, Traffic Sign or other structure not constructed or intended for use as a Sign base, which is not authorized by this Ordinance.
3. Revolving Signs.
4. Roof Signs.
5. Signs which are structurally dangerous, or unsafe.
6. Abandoned/Obsolete Signs.
7. Flashing and Animated Signs.
8. Deteriorated Signs.
9. Signs used beyond time limits provided in this Ordinance.
10. Off-premise commercial signs.

#### **Section Seven**                      Section 15.15 of the Code of General Ordinances for the City of

Kenosha, Wisconsin is hereby repealed and recreated as follows:

#### **15.15 OFF-PREMISE SIGNS**

**A. Purpose.** This Section is intended to protect the public health, safety and welfare by regulating the construction, materials, size, height, spacing and maintenance of Off-Premise Commercial Signs. This Section is designed to ensure that Off-Premise Commercial Signs are compatible with other Signs and land uses, and are not detrimental to the aesthetic quality of the community. All Off-Premise Commercial Signs existing in the City shall be maintained in accordance with the following conditions and restrictions:

**B. Illumination.** The light rays from any Off-Premise Commercial Sign which is externally illuminated shall be cast directly upon the Sign Face surface and shall not be visible to motor vehicle operators, except as may be reflected from the Sign Face. The illumination of Off-Premise Commercial Signs will not be permitted between 12:00 A.M. and 5:00 A.M. No Off-Premise Commercial Sign shall contain flashing elements or video displays.

**C. Wind Load Requirement.** Off-Premise Commercial Signs shall be maintained so as to withstand a wind load/pressure of not less than thirty (30) pounds to the square foot.

**D. Nonconforming Off-Premise Commercial Signs.** Any existing Off-Premise Commercial Sign constructed, erected and installed in accordance with applicable State and local laws, rules and regulations established on the effective date of this Ordinance and which Sign becomes Nonconforming by the provisions herein, shall be a Nonconforming use and any Sign which, as a result of subsequent amendments hereto becomes Nonconforming, shall also be a Nonconforming use and is to be subject to Section 7.0 of the Zoning Ordinance.

No Nonconforming Off-Premise Commercial Sign structure shall be altered or reconstructed, unless the alteration or reconstruction is in compliance with the provisions of Section 7.0 of the Zoning Ordinance. For the purpose of this Section only, the term "altered or reconstructed" shall not include painting, rustproofing, changing of advertising message. or the installation of cable and bracket components necessary to ratchetably anchor a flex billboard of the type having a fully recyclable polyethylene substrate. For inspection purposes, an approved building permit must be obtained prior to the commencement of any work associated with the installation of cable and bracket components.

Nonconforming Off-Premise Commercial Signs may continue in use only when in compliance with the following:

1. The Sign must have been actually in existence as of the effective date of this Ordinance.
2. The Sign may be sold, leased, or otherwise transferred without affecting its Nonconforming status, but its location may not be changed.
3. The Sign must have been constructed, erected, and installed in accordance with applicable State and local laws, rules and regulations that were in effect at the time this Ordinance was enacted, and must continue to be maintained in accordance with this Ordinance. Failure to adhere to rules and regulations associated with construction, erection and installation of Off-Premise Signs, including failure to obtain permit approvals, shall render the Sign illegal.
4. In accordance with Section 62.23(7)(h), Wisconsin Statutes, the Sign must remain substantially the same as it was on the effective date of this Ordinance and may not be enlarged or expanded. Any extension, enlargement, rebuilding, changing the materials of the Sign structure, changing the size of the Sign structure materials, adding catwalks, adding guys or struts for stabilization of the Sign or structure, adding lights to a non illuminated Sign, changing the height of the Sign above ground or re- erection of the Sign is prohibited. The Sign may not be structurally altered so as to prolong the life of the Sign.
5. The Sign may continue in use as long as it is not destroyed, extended, expanded, abandoned, or discontinued. A Sign is deemed destroyed when it is rendered any or all of the following descriptions: dismantled, removed or modified from its original state. A Sign shall be deemed expanded if any or all of the following standards are met: increase in size, mass, volume or scope in any direction; provide greater detail; to spread out; to increase or grow in extent; or, to increase in width or circumference. A Sign is deemed abandoned or discontinued if for a period of twelve (12) months or longer, it is composed of

obsolete advertising matter, or is without advertising matter, or is in need of substantial repair provided that any period of involuntary discontinuance which occurs during the period a street is closed shall not be considered. A Sign is deemed abandoned or discontinued if the name of the owner does not appear thereon and if the name and address of the current owner is not readily ascertainable from records on file with the Department of Neighborhood Services and Inspections.

An unsafe to abandoned Sign is declared a public nuisance, which shall be abated by the owner within sixty (60) days of receiving notice from the Department. After sixty (60) days, the Sign may be removed by the Department, and the cost thereof shall be placed on the tax roll as a special assessment and become a lien against the benefited property, unless paid sooner.

**E. Identification of Sign Erector.** On every Off-Premise Sign erected, the erector shall, in a permanent manner, state the name and address of the Sign erector that erected the Sign, the permit number, and the date of its erection. Such information must be readable from a distance of at least one (1) foot.

**F. Off-Premise Sign License.**

**1. License Required.** An annual Off-Premise Sign License for each Off-Premise Sign Face.

**2. Fees.** The fee for such License shall be calculated for each Sign Face. License fees are not proratable. License fees shall be deposited in a special revenue fund, which shall be used to offset the City's cost associated with the annual inspection and licensing of each Sign Face. The Common Council shall, from time to time, establish the License Fees.

**3. Term.** Every License issued hereunder shall expire on the first (1st) day of July of the year following the date of issuance.

**G. Replacement Sign Credits.** Off-Premise Signs constructed as a result of Replacement Sign Credits granted prior to June 16, 2008, shall be subject to the Ordinance standards enacted March 6, 1995. An Off-Premise Sign Permit shall be obtained prior to the expiration of subject credits.

**H. Off-Premise Signs in City Parks or Recreation Areas.** This section does not apply to off-premise signs placed in City parks or recreational areas pursuant to authorization for non-permanent placement, from the Parks Commission.

**Section Eight:** To repeal and recreate the line pertaining to off-premises in Table 1

of Chapter 15 of the Code of General Ordinances for the City of Kenosha, Wisconsin as follows:

SIGN DESCRIPTIONS	B-1/B2-/B-3	IP	M-1/M-2	RG/RS/RD/RR	RM
Off-Premise Commercial Signs [Refer to Section 15.15]	NOT PERMITTED				

**Section Nine:** This Ordinance shall become effective upon passage and publication.

ATTEST: \_\_\_\_\_ City Clerk

APPROVED: \_\_\_\_\_ Mayor

Passed:

Published:

Drafted By:  
EDWARD R. ANTARAMIAN  
City Attorney

City Plan Division  
625 52<sup>nd</sup> Street  
Kenosha, WI 53140  
262.653.4030

Kenosha City Plan Commission

**FACT SHEET**

November 4, 2010

Item 4

**To Create Subsection 2.02 E.4 prohibiting off-premises signs and to Repeal and Recreate various sections of the Zoning Ordinance, removing off-premise signs as a conditional use in the B-2, M-1 and M-2 Districts; and To Create a limitation on the maintenance of non-conforming off-premises signs; and to Create a definition of "off-premises signs" in Section 12 of the Zoning Ordinance.**  
**PUBLIC HEARING**

**LOCATION/SURROUNDINGS:**

City-Wide

**NOTIFICATIONS/PROCEDURES:**

This item requires final approval by the Common Council.

**ANALYSIS:**

- **Section 1** - Makes off-premises signs a prohibited use.
- **Sections 2 thru- 6** - Removes references to off-premises signs as conditional uses in the B-2, M-1 and M-2 Sections of the Zoning Ordinance.
- **Section 7** - Lists off-premises signs under non-conforming use and provides rules for repairs, alteration and/or restoration of existing non-conforming off-premises signs.
- **Section 8** - Provides a definition for off-premises signs.
- The purpose of the Zoning Ordinance is to stipulate that no new off-premises signs can be constructed in the City. There will also be a separate Ordinance Amendment to the City Code of General Ordinances.

**RECOMMENDATION:**

For Commission review and recommendation.



Rich Schroeder, Assistant City Planner



Jeffrey B. Labahn, Director of City Development

/u2/acct/cp/ckays/1CPC/2010/Nov4/fact-zo-offpremise signs.odt

**Common Council Agenda Item # G.1.**

ZONING ORDINANCE NO. \_\_\_\_\_

**DRAFT 10.29.10**

**BY: MAYOR**

**TO CREATE SUBSECTION 2.02 E.4 PROHIBITING OFF-PREMISES SIGNS AND TO REPEAL AND RECREATE VARIOUS SECTIONS OF THE ZONING ORDINANCE, REMOVING OFF-PREMISE SIGNS AS A CONDITIONAL USE IN THE B-2, M-1 AND M-2 DISTRICTS; AND TO CREATE A LIMITATION ON THE MAINTENANCE OF NON-CONFORMING OFF-PREMISES SIGNS; AND TO CREATE A DEFINITION OF "OFF-PREMISES SIGN" IN SECTION 12 OF THE ZONING ORDINANCE**

The Common Council of the City of Kenosha, Wisconsin, do ordain as follows:

**Section One:** Section 2.02 E.4 of the Zoning Ordinance for the City of Kenosha,

Wisconsin, is hereby created as follows:

4. Any sales, rental, or leasing of a structure, or of space on a structure, for display on an off-premises sign.

**Section Two:** Section 3.14 C. 23 of the Zoning Ordinance for the City of

Kenosha, Wisconsin, is hereby repealed:

~~23. Off-Premise Signs, in conformance with Chapter 15 of the Code of General Ordinances.~~

**Section Three:** Section 3.17 C. 9 of the Zoning Ordinance for the City of

Kenosha, Wisconsin, is hereby repealed:

~~9. Off-Premise Signs, in conformance with Chapter 15 of the Code of General Ordinances.~~

**Section Four:** Section 3.18 C. 21 of the Zoning Ordinance for the City of

Kenosha, Wisconsin, is hereby repealed:

~~21. Off-Premise Signs, in conformance with Chapter 15 of the Code of General Ordinances.~~

**Section Five:** Group 4 of Table 4.01, Institutional and Other Conditional Uses, of

the Zoning Ordinance for the City of Kenosha, Wisconsin, is hereby repealed and recreated:

**GROUP 4 INSTITUTIONAL AND OTHER CONDITIONAL USES**

<u>Development Type</u>	<u>Review Authority</u>
Accessory structures in the FW and FFO Districts	CC
Arena, auditorium, exhibition hall and stadium in the IP District	CC
Bed and breakfast establishments in the Rd, B-1, B-2, B-3, B-4 and IP Districts	CPD
Community living arrangements in the IP District	CC
Conditional uses within the C-2 Lowland Resource Conservancy District	CPD
Conference centers	CC
Filling within the FFO District	CC
Institutional structures in the FFO District	CC
Municipal water supply and sanitary sewerage systems in the FW and FFO Districts	CC
Open space & related uses in the FW District	CC
Penal, disciplinary, mental health and reform institutions in the IP District	CC
Rental or lease of pier or dock space in the Rg-2, Rm-1, Rm-2 and IP Districts	CC
Shelter facility in the IP District	CC
Storm Water Detention & Retention Basins	CPD
Utility substations	CPD
Financial institutions, including related drive-thru facilities in the IP District	CC
Communication towers and antennas in the IP District	CPD
Institutional development in the HRPO District	CC
Radio/Television/Relay Towers and Antenna in the IP District	CPD
Development consisting of 2 or more Buildings on a single parcel or contiguous parcels in the IP District	CC
A building with 20,000 gross sq. ft. or greater of floor area located in the IP District	CC
<del>Off-Premise Signs in the B-2, M-1 or M-2 Districts</del>	<del>CPD</del>

**Section Six:** Section 4.06 D. 16 of the Zoning Ordinance for the City of

Kenosha, Wisconsin, is hereby repealed:

**16. Off-Premise Signs in the B-2, M-1 or M-2 Districts:-**

- ~~a. Site Plan as required in Sections 4.05 C. and 14.07 C. of the Zoning Ordinance.~~
- ~~b. Drainage Plan as required in Sections 4.05 D. and 14.07 E. of the Zoning Ordinance.~~
- ~~c. Landscape Plan as required in Sections 4.05 E. and 14.07 F. of the Zoning Ordinance.~~
- ~~d. Utility Plan as required in Sections 4.05 F. and 14.07 D. of the Zoning Ordinance.~~
- ~~e. The Off-Premise Sign shall meet all dimensional and locational requirements of Chapter 15 of the Code of General Ordinances.~~
- ~~f. The Review Authority shall require the paving of any areas defined as a Parking Facility in Chapter 5 of the Code of General Ordinances that are not paved on the site proposed for the Off-Premise Sign. Parking facility(ies) shall be landscaped in conformance with Section 14 of the Zoning Ordinance. Site lighting for the parking facility(ies) shall be installed in conformance with Section 14.07 D.11. of the Zoning Ordinance.~~
- ~~g. Other issues which may have an adverse social, economic or environmental impact or affecting the health, safety or welfare of abutting or neighboring properties or the City as a whole.~~

**Section Seven:** Section 7.03 E. of the Zoning Ordinance for the City of

Kenosha, Wisconsin, is hereby created as follows:

Subject to the provisions of Wisconsin Statutes §§ 62.23 (7) (h) and (hc), no nonconforming off-premises sign may be repaired, altered, or restored. Subject to the provision of Wisconsin Statutes §§ 62.23 (7) (h) and (hc), no sales, rental, or leasing of a structure, or sales, rental, or leasing of space on a structure, for display on an off-premises sign may occur.

**Section Eight:** Definition of “Off- Premises Sign” in Section 12 of the Zoning

Ordinance for the City of Kenosha, Wisconsin, is hereby created as follows:

**Off-Premises Sign.** A sign identifying or advertising a business, owner, operator, product, service or commercial activity neither located nor available on the lot or on the group of contiguous lots which functions as a unified business center, upon which lot or group of contiguous lots the sign is located. The term “off premise signs” specifically excludes signs placed on fences or backstops of athletic fields owned or operated by the City, Kenosha Unified Schools, any other governmental agency, or any bona fide educational, religious, or charitable institution. The term “off premises sign” specifically excludes an historical sign as that term is defined in Chapter 15 of the Code of General Ordinances.

**Section Nine:** This Ordinance shall become effective upon passage and

publication.

ATTEST: \_\_\_\_\_ City Clerk

APPROVED: \_\_\_\_\_ Mayor

Passed:

Published:

Drafted By:  
EDWARD R. ANTARAMIAN  
City Attorney

ZONING ORDINANCE NO. \_\_\_\_\_

BY: MAYOR

**TO CREATE SUBSECTION 2.02 E.4 PROHIBITING OFF-PREMISES SIGNS AND TO REPEAL AND RECREATE VARIOUS SECTIONS OF THE ZONING ORDINANCE, REMOVING OFF-PREMISE SIGNS AS A CONDITIONAL USE IN THE B-2, M-1 AND M-2 DISTRICTS; AND TO CREATE A LIMITATION ON THE MAINTENANCE OF NON-CONFORMING OFF-PREMISES SIGNS AND TO CREATE A DEFINITION OF "OFF-PREMISES SIGNS" IN SECTION 12 OF THE ZONING ORDINANCE**

The Common Council of the City of Kenosha, Wisconsin, do ordain as follows:

**Section One:** Section 2.02 E.4 of the Zoning Ordinance for the City of Kenosha,

Wisconsin, is hereby created as follows:

4. Any sales, rental, or leasing of a structure, or of space on a structure, for display on an off-premises sign.

**Section Two:** Section 3.14 C. 23 of the Zoning Ordinance for the City of

Kenosha, Wisconsin, is hereby repealed.

**Section Three:** Section 3.17 C. 9 of the Zoning Ordinance for the City of

Kenosha, Wisconsin, is hereby repealed.

**Section Four:** Section 3.18 C. 21 of the Zoning Ordinance for the City of

Kenosha, Wisconsin, is hereby repealed.

**Section Five:** Group 4 of Table 4.01, Institutional and Other Conditional Uses, of

the Zoning Ordinance for the City of Kenosha, Wisconsin, is hereby repealed and recreated:

**GROUP 4 INSTITUTIONAL AND OTHER CONDITIONAL USES**

<b><u>Development Type</u></b>	<b><u>Review Authority</u></b>
Accessory structures in the FW and FFO Districts	CC
Arena, auditorium, exhibition hall and stadium in the IP District	CC
Bed and breakfast establishments in the Rd, B-1, B-2, B-3, B-4 and IP Districts	CPD
Community living arrangements in the IP District	CC
Conditional uses within the C-2 Lowland Resource Conservancy District	CPD
Conference centers	CC
Filling within the FFO District	CC

<u>Development Type</u>	<u>Review Authority</u>
Institutional structures in the FFO District	CC
Municipal water supply and sanitary sewerage systems in the FW and FFO Districts	CC
Open space & related uses in the FW District	CC
Penal, disciplinary, mental health and reform institutions in the IP District	CC
Rental or lease of pier or dock space in the Rg-2, Rm-1, Rm-2 and IP Districts	CC
Shelter facility in the IP District	CC
Storm Water Detention & Retention Basins	CPD
Utility substations	CPD
Financial institutions, including related drive-thru facilities in the IP District	CC
Communication towers and antennas in the IP District	CPD
Institutional development in the HRPO District	CC
Radio/Television/Relay Towers and Antenna in the IP District	CPD
Development consisting of 2 or more Buildings on a single parcel or contiguous parcels in the IP District	CC
A building with 20,000 gross sq. ft. or greater of floor area located in the IP District	CC

**Section Six:**                    Section 4.06 D. 16 of the Zoning Ordinance for the City of

Kenosha, Wisconsin, is hereby repealed:

**Section Seven:**                Section 7.03 E. of the Zoning Ordinance for the City of

Kenosha, Wisconsin, is hereby created as follows:

E.        Subject to the provisions of Wisconsin Statutes §§ 62.23 (7) (h) and (hc), no nonconforming off-premises sign may be repaired, altered, or restored. Subject to the provision of Wisconsin Statutes §§ 62.23 (7) (h) and (hc), no sales, rental, or leasing of a structure, or sales, rental, or leasing of space on a structure, for display on an off-premises sign may occur.

**Section Eight:**                Definition of “Off- Premises Sign” in Section 12 of the Zoning

Ordinance for the City of Kenosha, Wisconsin, is hereby created as follows:

**Off-Premises Sign.** A sign identifying or advertising a business, owner, operator, product, service or commercial activity neither located nor available on the lot or on the group of contiguous lots which functions as a unified business center, upon which lot or group of contiguous lots the sign is located. The term “off premise signs” specifically excludes signs placed on fences or backstops of athletic fields owned or operated by the City, Kenosha Unified Schools, any other governmental agency, or any bona fide educational, religious, or charitable institution. The term “off premises sign” specifically excludes an historical sign as that term is defined in Chapter 15 of the Code of General Ordinances.

**Section Nine:** This Ordinance shall become effective upon passage and publication.

ATTEST: \_\_\_\_\_ City Clerk

APPROVED: \_\_\_\_\_ Mayor

Passed:

Published:

Drafted By:  
EDWARD R. ANTARAMIAN  
City Attorney

City Plan Division 625 52 <sup>nd</sup> Street Kenosha, WI 53140 262.653.4030	Kenosha City Plan Commission  <b>FACT SHEET</b>	January 20, 2011	Item
<b>Zoning Ordinance to Create Subsection 18.02 c. of the Zoning Ordinance to Amend the Land Use Plan Map for the City of Kenosha: 2035, District #6. (Kesch Properties, LLC) PUBLIC HEARING</b>			

**LOCATION/SURROUNDINGS:**

Site: 4418 - 4420 21st Avenue

**NOTIFICATIONS/PROCEDURES:**

The alderman of the district, Alderman Ohnstad, has been notified. The Common Council is the final review authority.

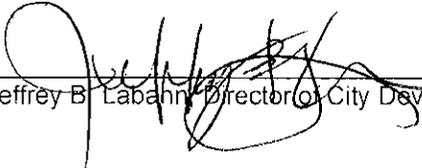
**ANALYSIS:**

- The Common Council adopted "A Comprehensive Plan for the City of Kenosha: 2035" on April 19, 2010.
- Wisconsin Statutes require the Common Council to adopt an Ordinance for Amendments to the Comprehensive Plan.
- The attached Zoning Ordinance references Map C1-11, which identifies the Amendment to the Land Use Plan located in the Comprehensive Plan. The Amendment will change the land use designation for the referenced properties from "Medium-High Density Residential" to "Commercial".

**RECOMMENDATION:**

A recommendation is made to approve the proposed Zoning Ordinance.

  
 Brian R. Wilke, Development Coordinator  
 /u2/acct/cp/ckays/1CPC/2011/Jan20/fact-zo-kesch.odt

  
 Jeffrey B. Labahn, Director of City Development

ZONING ORDINANCE NO. \_\_\_\_\_

**DRAFT 01.11.11**

**BY: CITY PLAN COMMISSION**

**TO CREATE SUBSECTION 18.02 c. OF THE ZONING  
ORDINANCE TO AMEND THE LAND USE PLAN MAP  
FOR THE CITY OF KENOSHA: 2035**

The Common Council of the City of Kenosha, Wisconsin, do ordain as follows:

**Section One:** Subsection 18.02 c. of the Zoning Ordinance for the City of

Kenosha, Wisconsin, is hereby created as follows:

**18.02** The comprehensive plan adopted in subsection 18.01 is amended by the following:

- a. By Common Council resolution 126-10 on file with the City Clerk.
- b. By map C1-10 on file with the Department of City Development.
- c. By map C1-11 on file with the Department of City Development.

**Section Two:** This Ordinance shall become effective upon passage and  
publication.

ATTEST: \_\_\_\_\_ City Clerk

APPROVED: \_\_\_\_\_ Mayor

Passed:

Published:

Drafted By:  
MATTHEW A. KNIGHT  
Deputy City Attorney

ZONING ORDINANCE NO. \_\_\_\_\_

BY: CITY PLAN COMMISSION

**TO CREATE SUBSECTION 18.02 c. OF THE ZONING  
ORDINANCE TO AMEND THE LAND USE PLAN MAP  
FOR THE CITY OF KENOSHA: 2035**

The Common Council of the City of Kenosha, Wisconsin, do ordain as follows:

**Section One:** Subsection 18.02 c. of the Zoning Ordinance for the City of

Kenosha, Wisconsin, is hereby created as follows:

- 18.02** The comprehensive plan adopted in subsection 18.01 is amended by the following:
- a. By Common Council resolution 126-10 on file with the City Clerk.
  - b. By map C1-10 on file with the Department of City Development.
  - c. By map C1-11 on file with the Department of City Development.

**Section Two:** This Ordinance shall become effective upon passage and

publication.

ATTEST: \_\_\_\_\_ City Clerk

APPROVED: \_\_\_\_\_ Mayor

Passed:

Published:

Drafted By:  
MATTHEW A. KNIGHT  
Deputy City Attorney

CITY PLAN COMMISSION RESOLUTION # \_\_-11

By: City Plan Commission

To Amend the Land Use Plan Map for the Comprehensive Plan for the City of Kenosha: 2035 Property at 4418 - 4420 21st Avenue

WHEREAS, the City of Kenosha, pursuant to Section 62.23 of the Wisconsin Statutes, has established the City Plan Commission; and

WHEREAS, the Common Council adopted "A Comprehensive Plan for the City of Kenosha: 2035" on April 19, 2010, following extensive public participation; and

WHEREAS, a property owner has submitted a request to amend the Land Use designation for the referenced properties from "Medium-High Density Residential" to "Commercial", as mapped on the attached Map C1-11 and on the Land Use Plan map adopted by the Common Council as part of the Comprehensive Plan; and

WHEREAS, the City Plan Commission finds that the Comprehensive Plan, with the proposed amendment, contains all of the required elements specified in Section 66.1001(2) of the Wisconsin Statutes and the Comprehensive Plan, with the proposed amendment, is internally consistent; and

WHEREAS, the City has duly noticed and will hold a public hearing on the proposed amendment, following the procedures in Section 66.1001(4)(d) of the Wisconsin Statutes.

NOW, THEREFORE BE IT RESOLVED that pursuant to Section 66.1001(4)(b), the City Plan Commission for the City of Kenosha, Wisconsin, hereby approves the amendment to "A Comprehensive Plan for the City of Kenosha: 2035" as shown on the attached Map C1-11.

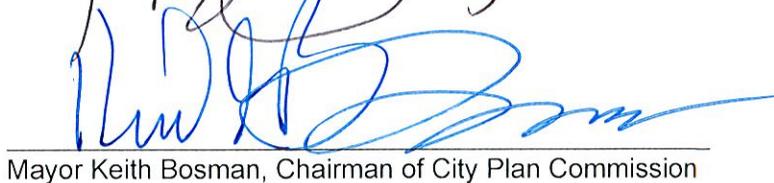
BE IT FURTHER RESOLVED, that the City Plan Commission, for the City of Kenosha, Wisconsin, does hereby recommend that the Common Council enact a Zoning Ordinance adopting the Comprehensive Plan Amendment.

Adopted this \_\_\_\_ day of \_\_\_\_\_, 2011

ATTEST:

  
Jeffrey B. Labahn, Secretary of City Plan Commission

APPROVE:

  
Mayor Keith Bosman, Chairman of City Plan Commission

DRAFTED BY: CITY DEVELOPMENT  
/u2/acct/cp/ckays/1CPC/2011/Jan20/resol-cpc-amdmap.odt

District Map

Comprehensive Plan Amendment

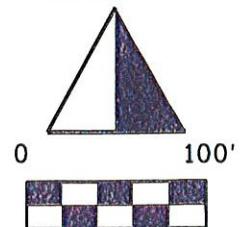
Map C1-11



Property requested to be changed from:

 *Medium-High Density Residential to Commercial*

NORTH



City Plan Division 625 52 <sup>nd</sup> Street Kenosha, WI 53140 262.653.4030	Kenosha City Plan Commission  <b>FACT SHEET</b>	January 20, 2011	Item 44
<b>Petition to rezone property at 4418 21st Avenue from RG-1 General Residential District to B-1 Neighborhood Business District, District #6. (Kesch Properties, LLC) PUBLIC HEARING</b>			

**LOCATION/SURROUNDINGS:**

Site: 4418 21st Avenue  
Neighborhood: Washington

**Vicinity Zoning/Land Use:**

North: RG-1/Single and Two-Family Residential  
South: B-2/Gas Station  
East: RG-1/Single and Two-Family Residential  
West: RG-1/Single and Two-Family Residential

**NOTIFICATIONS/PROCEDURES:**

The alderman of the district, Alderman Ohnstad, has been notified. Property owners within 100 feet of the proposed rezoning were notified. The Common Council is the final review authority.

**ANALYSIS:**

- The owner of the property has requested to rezone the property from RG-1 General Residential to B-1 Neighborhood Business District. The purpose of the rezoning is to utilize the existing vacant building on the site for retail use.
- The site currently has two one-story buildings on it. Both buildings have commercial appearance.
  - The easternmost building, which fronts on 21st Avenue, has a single residential unit in one-half of the building and a hair salon in the other half. The residential unit is a conforming use, and the hair salon is a legal non-conforming use. Since the retail use in this space has not been vacant for more than twelve (12) consecutive months, the hair salon use may continue. However, if the hair salon use was to cease for more than twelve consecutive months, only a use which conforms to the RG-1 District could re-occupy the space.
  - The other building on the site, which fronts on 44th Place, is vacant. The building cannot be used for retail based on the RG-1 zoning, and cannot be used for a second residential unit since the property does not meet a minimum lot width or area required for a two-family use.
- If the property was to be rezoned to B-1 Neighborhood Business District, the existing hair salon would become a conforming use, and the existing residential unit would become a legal non-conforming use. If the residential use was to cease for more than twelve consecutive months, only a use which conforms to the B-1 District could reoccupy that space.
- Rezoning of the property to B-1 Neighborhood Business District is not consistent with the adopted *Comprehensive Plan for the City of Kenosha: 2035* which lists this site as Medium-High Density Residential. An Amendment to that plan is required for the City to approve the rezoning. That Amendment has been included on this agenda.

<p>City Plan Division 625 52<sup>nd</sup> Street Kenosha, WI 53140 262.653.4030</p>	<p>Kenosha City Plan Commission</p> <p style="text-align: center;"><b>FACT SHEET</b></p>	<p>January 20, 2011</p>	<p>Item</p>
<p><b>Petition to rezone property at 4418 21st Avenue from RG-1 General Residential District to B-1 Neighborhood Business District, District #6. (Kesch Properties, LLC) PUBLIC HEARING</b></p>			

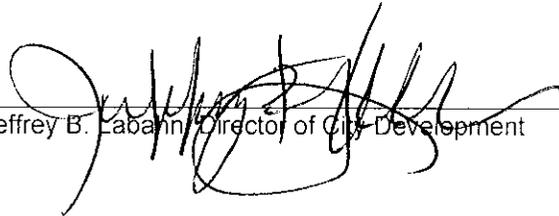
- No exterior changes are proposed to the building or site. Therefore, a Conceptual Plan has not been provided by the applicant.
- The applicant would be required to obtain an Occupancy Permit for any retail use in the vacant building if the rezoning is approved by the Common Council.
- The applicant went door-to-door in the neighborhood to speak to the residents and a neighborhood meeting was held by the applicant and Alderman Ohnstad on January 5, 2011. No neighbors attended the neighborhood meeting.
- The proposed rezoning will be compatible with the amended *Comprehensive Plan for the City of Kenosha: 2035*.

**RECOMMENDATION:**

A recommendation is made to approve the Rezoning.



\_\_\_\_\_  
 Brian Wilke, Development Coordinator  
 /u2/acct/cp/ckays/1CPC/2011/Jan20/fact-rezone-kesch.odt



\_\_\_\_\_  
 Jeffrey B. Cabahn, Director of City Development

REZONING ORDINANCE NO. \_\_\_\_\_

BY: THE MAYOR

**Zoning:** TO REZONE PROPERTY LOCATED AT 4418-4420  
21<sup>st</sup> AVENUE FROM RG-1 GENERAL RESIDENTIAL  
DISTRICT TO B-1 NEIGHBORHOOD BUSINESS  
DISTRICT, IN CONFORMANCE WITH SECTION 10.02  
OF THE ZONING ORDINANCE, DISTRICT #6 [KESCH]

The Common Council of the City of Kenosha, Wisconsin, do ordain as follows:

**Section One:** That the land shown on the attached Supplement Map No.  
Z1-11 be, and the same hereby is, zoned and districted as indicated on said map.

**Section Two:** This Ordinance shall be in full force and effect upon passage  
and the day after its publication.

ATTEST: \_\_\_\_\_ City Clerk

APPROVED: \_\_\_\_\_ Mayor                      Date: \_\_\_\_\_

Passed:

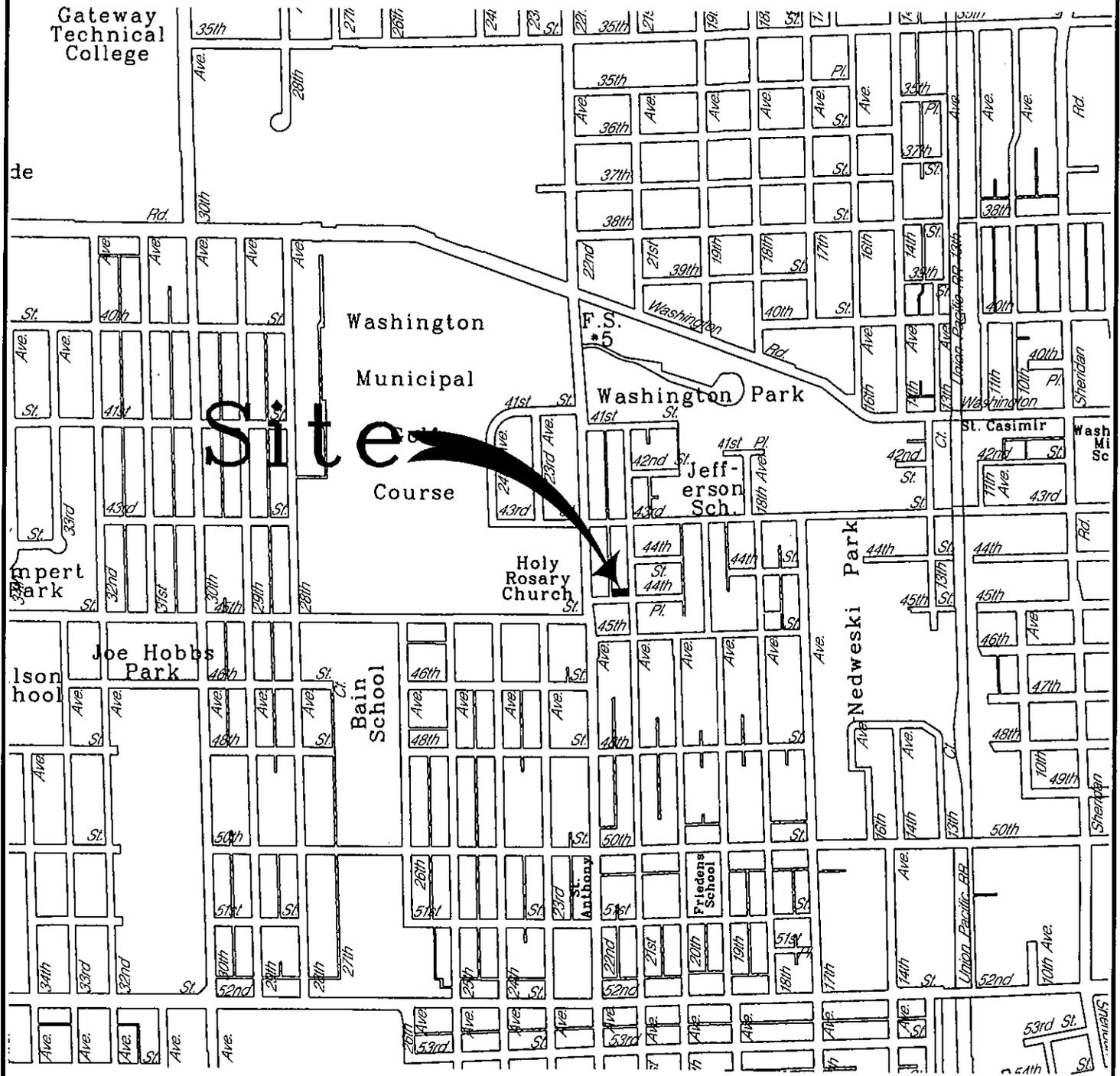
Published:

Drafted By:  
JONATHAN A. MULLIGAN  
Assistant City Attorney

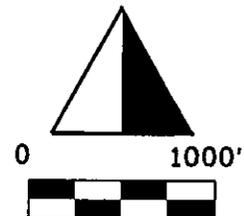
CITY OF KENOSHA

Vicinity Map

Kesch Properties, LLC Rezoning



NORTH



CITY OF KENOSHA

District Map

Rezoning

Kesch Properties, LLC Petition

SUPPLEMENT NO. Z1-11

ORDINANCE NO. \_\_\_\_\_



Property requested to be rezoned from:

 *RG-1 General Residential to*  
 *B-1 Neighborhood Business*

CITY OF KENOSHA

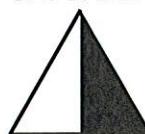
Land Use Map

Kesch Properties, LLC Rezoning



 *Property requested to be rezoned*

NORTH



0 100'



DEPARTMENT OF CITY DEVELOPMENT  
625 - 52<sup>ND</sup> STREET - ROOM 308  
KENOSHA, WISCONSIN 53140  
(262) 653-4030  
FAX (262) 653-4045  
[www.kenosha.org](http://www.kenosha.org)



CITY PLAN  
REAL ESTATE  
HISTORIC PRESERVATION  
COMMUNITY DEVELOPMENT BLOCK GRANT  
REDEVELOPMENT

**JEFFREY B. LABAHN**  
Director of City Development

January 7, 2011

### **Notice of Public Hearing**

#### ***Rezoning of property located at 4481 21st Avenue (Kesch Properties, LLC)***

The City Plan Commission will hold a public hearing on a petition submitted by Kesch Properties, LLC to rezone their property located at 4418 21st Avenue. The proposed rezoning would amend the zoning on the property from RG-1 General Residential District to B-1 Neighborhood Business District. The rezoning request is to allow the existing vacant building on the site to be used for retail uses.

The public hearing will be held at the City Plan Commission meeting as follows:

Thursday, January 20, 2011 at 5:00 p.m.  
Municipal Building, 625 52nd Street - Room 202

You are being notified of these public hearings because, as the owner of property located within 100-feet of the proposed zoning change, you are eligible to file a protest petition pursuant to Wisconsin State Statutes. The proposed rezoning **will not** change the zoning of your property. The enclosed map identifies the boundaries of the proposed rezoning and the location of your property has been highlighted.

The City Plan Commission will make a recommendation to the Common Council on the zoning petition. The Common Council is tentatively scheduled to hold a public hearing and take final action on this item at their meeting on Monday, March 7, 2011 at 7:00 p.m. in Room 200 of the Municipal Building.

Additional information regarding this petition is on file with the Department of City Development in Room 308 of the Municipal Building. For additional information or related questions, please contact Brian Wilke at 262.653.4030 or via email at [bwilke@kenosha.org](mailto:bwilke@kenosha.org).

BW:kas  
Enclosure

**Kesch Properties, LLC.  
5918 - 8<sup>th</sup> Avenue, #H  
Kenosha, WI 53140**

November 29, 2010

Mr. Brian Wilke  
Department of City Development  
City of Kenosha  
Room 308  
625 - 52<sup>nd</sup> Street  
Kenosha, WI 53140

RE: Rezoning Application for 4418 - 21<sup>st</sup> Avenue

Dear Brian:

Thank you for your time recently when I talked to you about the rezoning of the property located at 4418 - 21<sup>st</sup> Avenue. Per your request, I am submitting the following information about the property and its use.

<b>Property Addresses:</b>	<u>4418 - 21st Avenue</u> official address (Additional addresses are: 4420 - 21st Ave., and 2106 - 44 <sup>th</sup> Place)
<b>Parcel Number:</b>	11-223-30-357-011
<b>Owner Name:</b>	Kesch Properties, LLC.
<b>Current Property Class:</b>	Commercial
<b>Current Property Use:</b>	Retail with Apartment
<b>Current Zoning:</b>	RG-1 General Residential district
<b>Current Building Uses:</b>	<u>Building 1</u> – Two Unit - Hair Salon and Residential Apartment <u>Building 2</u> – One Unit - Currently Vacant ( <i>Cannot be rented as residential or commercial under the current zoning.</i> )
<b>Desired Zoning:</b>	<u>B-4</u> or <u>B-1</u> (with amendments to allow the first floor residential unit).
<b>Reason for Change:</b>	To bring <u>Building 1</u> to conforming use as a ground floor commercial and residential. To bring <u>Building 2</u> to conforming use as a single commercial unit.

There is ample street parking around the entire property with the option of renting parking spaces from the parking lot directly across the street (44<sup>th</sup> Place). I have also enclosed a drawing of the site with the building configurations and sizes.

I have spoken with the Alderman Tod Ohnstad and he has indicated his support of this rezoning effort.

Thank you for taking the time to review this request for rezoning this property. If you need anything further information, please feel free to contact me at (262) 652-9000.

Sincerely,

A handwritten signature in cursive script that reads "Keevin Schier".

Keevin Schier  
Kesch Properties, LLC.  
(262)652-9000

Encl: Property Drawing  
CC: Alderman Tod Ohnstad

Kesch Properties, LLC.  
5918 8<sup>th</sup> Avenue, #H  
Kenosha, WI 53140  
(262) 652-9000

January 4, 2011

Dear Neighbor,

A few days ago you received a letter from the City of Kenosha about the rezoning of our property located at 4418 21<sup>st</sup> Avenue. This property now incorporates the hair salon Retrospect, and a two bedroom apartment. There is an additional storefront on this property that is currently vacant. This storefront cannot be used for any purpose unless the zoning of the property is changed from **RG-1 General Residential** to **B-1 Neighborhood Business District** designation. *(It is important to note that the zoning change is for our property only and will not affect the value or zoning of your property in any way).* Keeping this building vacant is not a desirable condition since any unusable building will not enhance the neighborhood if it remains empty and decaying. Rezoning the property will enable us to re-utilize the building, to remodel and enhance it, and provide an opportunity for a small business or service to help to enrich the neighborhood.

Some of the uses that we envision for the building after rezoning and remodeling would be a variety of shall businesses such as a barber shop, coffee house/café, pet shop, shoe repair, upholstery shop, legal office, etc. The use of the building will be light and of limited hours of operation. The parking requirements will be minimal and will not clog the available parking now existing. Our plans will definitely enhance the neighborhood in terms of the look of the building and the services of the eventual new tenant.

We would appreciate your support of this zoning change for our property and hope that you will welcome the enhancements it will bring to you as a neighbor. If you have any questions concerning any of this, please feel free to call me at (262) 652-9000 and I will be happy to answer them personally.

Sincerely,



Keevin Schier  
President

**Development Review Application  
City of Kenosha, Wisconsin**

**MAILING INFORMATION**

**NAME OF PROJECT:** Retrospect Salon Rezoning

*Check one (1) of the following boxes to indicate the recipient of all correspondence:*

Name and Address of Applicant [Please print]:  
Kevin Schier / John Fox Phone: 847-971-7320  
5918 8th Ave. #H Fax: \_\_\_\_\_  
Kenosha, WI 53140 E-Mail: KSchier@AOC.com

Name and Address of Architect/Engineer [Please print]:  
 \_\_\_\_\_ Phone: \_\_\_\_\_  
 \_\_\_\_\_ Fax: \_\_\_\_\_  
 \_\_\_\_\_ E-Mail: \_\_\_\_\_

Name and Address of Property Owner (if other than applicant)[Please print]:  
Kesch Properties, LLC Phone: 262-652-9000  
5918 8th Ave. #H Fax: \_\_\_\_\_  
Kenosha, WI 53140 E-Mail: \_\_\_\_\_

**PROJECT LOCATION**

Location of Development (street address and / or parcel number): 4418 21st Ave  
Parcel # - 11-223-30-357-011

**TYPE OF LAND DEVELOPMENT**

**Check all that apply. Note: Additional information may be required within individual Sections.**

- |   |            |               |
|---|------------|---------------|
| <input type="checkbox"/> Certified Survey Map   | Section 1  | Page 2        |
| <input type="checkbox"/> Concept Review (Land Division)                               | Section 2  | Page 3        |
| <input type="checkbox"/> Concept Review (Multi-Family Residential or Non-Residential) | Section 3  | Page 4        |
| <input type="checkbox"/> Conditional Use Permit                                       | Section 4  | Pages 5 & 6   |
| <input type="checkbox"/> Developer's Agreement  | Section 5  | Page 6        |
| <input type="checkbox"/> Final Plat   | Section 6  | Pages 7 & 8   |
| <input type="checkbox"/> Lot Line Adjustment Survey                                   | Section 7  | Page 9        |
| <input type="checkbox"/> Preliminary Plat   | Section 8  | Pages 10 & 11 |
| <input checked="" type="checkbox"/> Rezoning  | Section 9  | Pages 12 & 13 |
| <input type="checkbox"/> Site Plan Review   | Section 10 | Pages 14 & 15 |

**PRIOR TO SUBMITTING THIS APPLICATION TO THE DEPARTMENT OF CITY DEVELOPMENT,  
PLEASE REVIEW THE APPROPRIATE SECTION(S) FOR FEES, REQUIREMENTS AND APPROPRIATE APPENDICES.**

*Submit this cover page, completed application, applicable section(s) and appendices  
along with ALL required plans, information and fees to:*

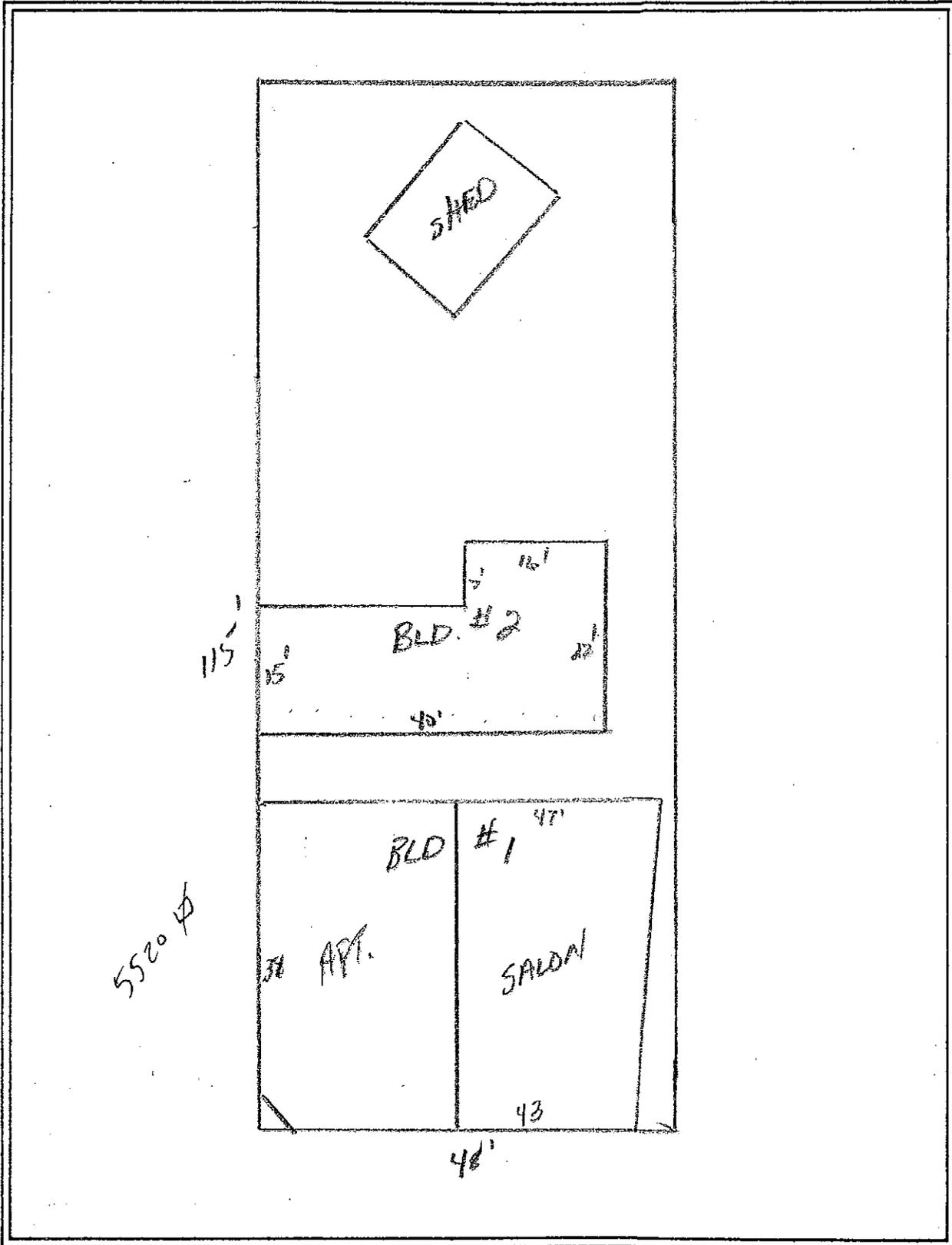
Department of City Development  
625 52nd Street, Room 308  
Kenosha, WI 53140

Phone: 262.653.4030  
Fax: 262.653.4045

Office Hours:  
M - F 8:00 am - 4:30 pm

Date November 29, 2010

Subject 4418 - 21<sup>st</sup> Avenue



No 02989

Common Council Agend Item # G.3.



Common Council Agend Item # G.3.

RESOLUTION NO. \_\_\_\_\_

BY: FINANCE COMMITTEE

To Specially Assess Certain Parcels of Property for  
Trash and Debris Removal

BE IT RESOLVED, that special assessments for trash and debris removal during 2011, in the total amount of \$340.00, be levied against the respective parcels of property as shown by a report of the Department of Neighborhood Services and Inspections and filed in the office of the City Clerk of the City of Kenosha.

Passed this \_\_\_\_\_ day of \_\_\_\_\_, 2011

Approved:

\_\_\_\_\_, Mayor  
Keith Bosman

Attest:

\_\_\_\_\_, Deputy City Clerk  
Debra L. Salas

Drafted by:  
Department of Neighborhood Services and Inspections

/saz

PARCEL NUMBER	LOT	FRONTAGE	COST PER LINEAL FT	TOTAL ASSESSMENT
11-223-30-432-006-0		1.000	\$240.00	\$340.00

PROPERTY ADDRESS  
ARMANDO M & GLORIA GARCIA  
4013 011 AV

MAIL TO ADDRESS  
ARMANDO M & GLORIA GARCIA  
6303 72ND ST  
KENOSHA, WI 53142

LEGAL DESCRIPTION  
LOT 4 BLK 1 BENDT'S SUB PT OF  
BLK 27 SE 1/4 SEC 30 T 2 R 23  
DOC#1100834  
DOC#1171162

-----  
STREET TOTAL 1.00 \$340.00

PAGE 1

GRAND TOTALS PARCELS 1 FOOTAGE 1.000 TOTAL COST \$340.00

PAGE 2

RESOLUTION NO. \_\_\_\_\_

BY: FINANCE COMMITTEE

**To Specially Assess Certain Parcels of Property  
for Boarding and Securing**

BE IT RESOLVED, that special assessments for boarding and securing (account #110-00-46808) during 2011, in the total amount of **\$2,404.60**, be levied against the respective parcels of property as shown by a report of the Department of Neighborhood Services and Inspections and filed in the office of the City Clerk of the City of Kenosha.

Passed this \_\_\_\_\_ day of \_\_\_\_\_, 2011

Approved:

\_\_\_\_\_, Mayor  
Keith G. Bosman

Attest:

\_\_\_\_\_, Deputy City Clerk  
Debra L. Salas

Drafted by:  
Department of Neighborhood Services and Inspections

/saz

		ADMIN. FEE	CHARGE	TOTAL ASSESSMENT
PARCEL NUMBER	LOT	\$100.00	\$412.00	\$512.00
01-122-01-187-013-0				

PROPERTY ADDRESS  
BRADLEY S LORENZ & HOLLIE A LORENZ  
6606 022 AV

MAIL TO ADDRESS  
BRADLEY S & HOLLIE A LORENZ  
809 72ND AVE  
KENOSHA, WI 53144

LEGAL DESCRIPTION  
LOT 2 B 3 FROST & TUTTLE'S SUB  
BEING PT OF NE 1/4 SEC 1 T 1 R  
22  
V 1539 P 892  
V 1654 P 423

---

PARCEL NUMBER	LOT	\$100.00	\$182.60	\$282.60
05-123-06-229-003-0				

PROPERTY ADDRESS  
ALISON M SUITS  
2013 061 ST

MAIL TO ADDRESS  
ALISON M SUITS  
2013 61ST ST  
KENOSHA, WI 53143

LEGAL DESCRIPTION  
LOT 3 BLK 8 BOND'S SUB PT  
OF NW 1/4 SEC 6 T 1 R 23  
DOC#1124510  
DOC#1284200  
DOC#1375725  
DOC#1470520

PARCEL NUMBER	LOT	ADMIN. FEE	CHARGE	TOTAL ASSESSMENT
09-222-36-476-003-0		\$100.00	\$880.00	\$980.00

PROPERTY ADDRESS  
EDWIN R WILLIAMS  
5507 023 AV

MAIL TO ADDRESS  
EDWIN R WILLIAMS  
5507 23RD AVE  
KENOSHA, WI 53140-3506

LEGAL DESCRIPTION  
S 11 FT OF LOT 1 & N 36 FT OF  
LOT 2 BLK 16 BAIN'S SUB PT  
OF SE 1/4 SEC 36 T 2 R 22  
DOC#1045571  
DOC#1141594  
DOC#1351963  
DOC#1369533

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09-222-36-476-003-0		\$100.00	\$350.00	\$450.00
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PROPERTY ADDRESS  
EDWIN R WILLIAMS  
5507 023 AV

MAIL TO ADDRESS  
EDWIN R WILLIAMS  
5507 23RD AVE  
KENOSHA, WI 53140-3506

LEGAL DESCRIPTION  
S 11 FT OF LOT 1 & N 36 FT OF  
LOT 2 BLK 16 BAIN'S SUB PT  
OF SE 1/4 SEC 36 T 2 R 22  
DOC#1045571  
DOC#1141594  
DOC#1351963  
DOC#1369533

PARCEL NUMBER	LOT	ADMIN. FEE	CHARGE	TOTAL ASSESSMENT
10-223-18-302-064-0		\$100.00	\$80.00	\$180.00

PROPERTY ADDRESS  
 RODNEY & THERESA GLASS  
 1539 016 AV

MAIL TO ADDRESS  
 RODNEY & THERESA GLASS  
 1539 16TH AVE  
 KENOSHA, WI 53140

LEGAL DESCRIPTION  
 S 20 FT LOT 74 & N 40 FT LOT 75  
 VILLA CAPRI ALTA UNIT "A" SUB  
 PT SW 1/4 SEC 18 T 2 R 23  
 V 1283 P 516  
 V 1374 P 136  
 DOC #985905  
 DOC #987769  
 DOC#1388659

-----  
 STREET TOTAL 5.00 \$2,404.60

GRAND TOTALS	PARCELS	5	FOOTAGE	5.000	TOTAL COST	\$2,404.60	PAGE	3
							PAGE	4

RESOLUTION NO. \_\_\_\_\_

BY: FINANCE COMMITTEE

**To Specially Assess Certain Parcels of Property for  
Property Maintenance Reinspection Fees**

BE IT RESOLVED, that special assessments for reinspection fees during 2011, in the total amount of **\$2,300.00**, be levied against the respective parcels of property as shown by a report of the Department of Neighborhood Services and Inspections and filed in the office of the City Clerk of the City of Kenosha.

Passed this \_\_\_\_\_ day of \_\_\_\_\_, 2011

Approved:

\_\_\_\_\_, Mayor  
Keith G. Bosman

Attest:

\_\_\_\_\_, Deputy City Clerk  
Debra L. Salas

Drafted by:  
Department of Neighborhood Services and Inspections

/saz

PARCEL NUMBER	LOT	ADMIN. FEE	INSPC. FEE	TOTAL ASSESSMENT
11-223-30-436-020-0		\$100.00	\$360.00	\$460.00

PROPERTY ADDRESS  
 JOPPA LODGE NO 9 F & A.M.  
 4054 007 AV

MAIL TO ADDRESS  
 JOPPA LODGE NO 9 F & A M  
 4054 7TH AVE  
 KENOSHA, WI 53140

LEGAL DESCRIPTION  
 SE 1/4 SEC 30 T 2 R 23  
 DUNNEBACK'S SUB BLK 28 E 75FT  
 OF LOT 1  
 V 1361 P 588

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PARCEL NUMBER	LOT	ADMIN. FEE	INSPC. FEE	TOTAL ASSESSMENT
11-223-30-451-012-0		\$100.00	\$360.00	\$460.00

PROPERTY ADDRESS  
 DALE NEHLS LC  
 716 043 ST

MAIL TO ADDRESS  
 DALE NEHLS  
 714 43RD ST  
 KENOSHA, WI 53140-5700

LEGAL DESCRIPTION  
 PT OF B 29 SE 1/4 SEC 30 T 2 R  
 23 COM ON N LINE OF 43RD ST  
 172 FT W OF SE COR OF B TH N  
 109 FT W 40FT S 109 FT E 40 FT  
 TO BEG

PARCEL NUMBER	LOT	ADMIN. FEE	INSPC. FEE	TOTAL ASSESSMENT
11-223-30-451-013-0		\$100.00	\$360.00	\$460.00

PROPERTY ADDRESS  
DALE A NEHLS  
714 043 ST

MAIL TO ADDRESS  
DALE A NEHLS  
714 43RD ST  
KENOSHA, WI 53140-5700

LEGAL DESCRIPTION  
PT OF BLK 29 SE 1/4 SEC 30 T 2  
R23 COM 8 RDS W OF SE COR OF B  
TH N 9 RDS W 33 FT S 39 1/2 FT  
W 7 FT S 110 FT E 40 FT TO BEG  
DOC#1217980

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PARCEL NUMBER	LOT	ADMIN. FEE	INSPC. FEE	TOTAL ASSESSMENT
12-223-31-141-005-0		\$100.00	\$360.00	\$460.00

PROPERTY ADDRESS  
MARY DEMET  
4611 008 AV

MAIL TO ADDRESS  
MARY DEMET  
2808 OREGON ST  
RACINE, WI 53405

LEGAL DESCRIPTION  
PT OF LOTS 2 & 3 BLK 63 ORIGINAL  
TOWN SOUTHPORT PT NE 1/4 SEC 31  
T 2 R 23 BEG ON E LINE 8TH AVE  
132 FT S OF S LINE 46TH ST TH E  
98.3 FT N 8FT W 37.8 FT N 31 FT  
W 60.5 FT S 39 FT TO BEG  
V 1548 P 144  
V 1633 P 132  
DOC #1255097  
DOC #1326540  
DOC #1363896  
DOC #1435724  
DOC#1434769 NOTE  
DOC#1500946

PARCEL NUMBER	LOT	ADMIN. FEE	INSPC. FEE	TOTAL ASSESSMENT
12-223-31-384-013-0		\$100.00	\$360.00	\$460.00

PROPERTY ADDRESS  
FINE PROPERTIES LLC  
5907 018 AV

MAIL TO ADDRESS  
FINE PROPERTIES LLC  
12403 85TH AVE  
PLEASANT PRAIRIE, WI 53158

LEGAL DESCRIPTION  
BEING PT OF SW 1/4 SEC 31 T 2  
R 23 COM ON E LINE OF 18TH AVE  
247 FT N OF S LINE OF 1/4 SEC  
TH E 92 FT N 50 FT W 92 FT S  
50 FT TO BEG  
DOC#1012067  
DOC#1323937  
DOC#1374008

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STREET TOTAL	5.00	\$2,300.00
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PAGE 3

GRAND TOTALS	PARCELS	5	FOOTAGE	5.000	TOTAL COST	\$2,300.00
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PAGE 4

**RESOLUTION NO. \_\_\_\_\_**

**BY: COMMITTEE ON PUBLIC WORKS**

**PRELIMINARY RESOLUTION DECLARING INTENT TO LEVY ASSESSMENTS  
FOR  
HAZARDOUS SIDEWALK AND/OR DRIVEWAY APPROACH**

**PROJECT #11-1012 RESURFACING PHASE I**

WHEREAS, it is expedient, necessary and in the best interest of the City of Kenosha, and for benefit of the property affected thereby that improvements in street right-of-ways: sidewalk and/or driveway approaches.

**32<sup>nd</sup> Avenue - 60<sup>th</sup> Street to 55<sup>th</sup> Street, Taft Road – Pershing Blvd to 39<sup>th</sup> Avenue,  
88<sup>th</sup> Place - 47<sup>th</sup> Avenue to 43<sup>rd</sup> Avenue, 81<sup>st</sup> Street - 25<sup>th</sup> Avenue to 22<sup>nd</sup> Avenue, 25<sup>th</sup>  
Avenue - 32<sup>nd</sup> Street to 31<sup>st</sup> Street**

NOW, THEREFORE, BE IT RESOLVED, By the Common Council of Kenosha, Wisconsin:

1. The Common Council hereby declares its intention to exercise its police power under Section 66.0703, Wisconsin Statutes, to levy special assessments on all property fronting upon both sides of the street within the above limits for benefits conferred upon property by improvement of the streets enumerated above.

2. Said public improvement shall include the improvements in street right-of-ways: sidewalk and/or driveway approaches.

3. The Common Council determines that the improvements constitute an exercise of the police power and the amount assessed against each parcel shall be based on a per front foot or per square foot rate.

4. The assessments against any parcel may be paid in a lump sum or in three (3) annual installments, at the election of the property owner.

5. The Board of Public Works is directed to prepare a report consisting of:
  - a. Preliminary plans and specifications for said improvements.
  - b. An estimate of entire cost of the proposed improvements and in street right-of-way.
  - c. Schedule of proposed assessments.

6. Upon receiving the report of the Board of Public Works (Public Works Committee), the Clerk is directed to give notice of public hearings on such report, as specified in Section 66.0703 of the Wisconsin Statutes. The hearings shall be held at the Municipal Office Building at a time set by the Clerk, in accordance with Section 66.0703, Wisconsin Statutes.

Adopted this 7<sup>th</sup> day of March, 2011.

APPROVED: \_\_\_\_\_  
MAYOR  
KEITH G. BOSMAN

ATTEST: \_\_\_\_\_  
DEPUTY CITY CLERK  
DEBRA L. SALAS

To the Honorable Mayor and Common Council:

March 2, 2011

Your Committee on Board of Water Commissioners

To endorse the Regional Water Supply Plan for Southeastern Wisconsin as adopted on December 1, 2010 by the Southeastern Wisconsin Regional Planning Commission

MOTION: Nudo

SECOND: Michalski

Respectfully report and recommend - TO APPROVE

5-0

Commissioners

Circle One

  
\_\_\_\_\_  
G. John Ruffolo, Chairman

Aye    No

  
\_\_\_\_\_  
Steve Bostrom

Aye    No

  
\_\_\_\_\_  
Patrick Juliana

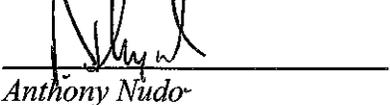
Aye    No

  
\_\_\_\_\_  
Jan Michalski

Aye    No

\_\_\_\_\_  
Ray Misher

Aye    No

  
\_\_\_\_\_  
Anthony Nudo

Aye    No

**RESOLUTION \_\_\_\_\_**

**By: BOARD OF WATER COMMISSIONERS**

**TO ENDORSE THE REGIONAL WATER SUPPLY PLAN FOR  
SOUTHEASTERN WISCONSIN AS ADOPTED ON DECEMBER 1, 2010 BY  
THE SOUTHEASTERN WISCONSIN REGIONAL PLANNING COMMISSION**

WHEREAS, the Southeastern Wisconsin Regional Planning Commission has requested that the KENOSHA WATER UTILITY review the Regional Water Supply Plan for Southeastern Wisconsin as adopted by the Commission on December 1, 2010; and

WHEREAS, the KENOSHA WATER UTILITY has completed its review of said plan and its implementation responsibilities at the March 2, 2011 meeting;

NOW, THEREFORE, BE IT RESOLVED that the CITY OF KENOSHA COMMON COUNCIL endorses the Regional Water Supply Plan for Southeastern Wisconsin which is attached to this Resolution.

Adopted: \_\_\_\_\_

Approved: \_\_\_\_\_  
Keith Bosman, Mayor

Attest: \_\_\_\_\_  
Debra L. Salas, Deputy City Clerk

Date: \_\_\_\_\_

/sc/01board/reso

DEPARTMENT OF CITY DEVELOPMENT  
625 - 52<sup>ND</sup> STREET - ROOM 308  
KENOSHA, WISCONSIN 53140  
(262) 653-4030  
FAX (262) 653-4045  
www.kenosha.org



CITY PLAN  
REAL ESTATE  
HISTORIC PRESERVATION  
COMMUNITY DEVELOPMENT BLOCK GRANT  
REDEVELOPMENT

**JEFFREY B. LABAHN**  
Director of City Development

**MEMO**

**TO:** Mayor Keith Bosman  
Members of the Common Council  
Members of the Finance Committee

**FROM:** A. Zohrab Khaligian, Community Development Specialist *AZK*

**RE:** **Resolution Designating the Boundaries of the City of Kenosha's  
Development Opportunity Zone**

**DATE:** March 7, 2011

---

The State created the Development Opportunity Zone Program under Section 560.795 of the Wisconsin Statutes to provide corporate income tax credits for projects that involve job creation/retention, capital investments, and environmental remediation.

The City has been allocated \$5,000,000 in tax credits, with an opportunity for an additional allocation of \$5,000,000. The City must designate the boundaries of the zone to receive any allocation.

The Kenosha Area Business Alliance (KABA) was asked to administer the Development Opportunity Zone Program in compliance with State Statutes and Administrative rules. KABA previously administered the Community Development Zone Program for the City. The Development Opportunity Zone Program is intended to function similar to the Community Development Zone Program.

If you have any additional questions, please contact me at 653.4041. I will be available at the Common Council meeting on March 7, 2011 to answer any questions.

JBL:kas  
Attachment

RESOLUTION NO. \_\_\_\_\_

BY: THE MAYOR

**RESOLUTION DESIGNATING THE BOUNDARIES OF THE  
CITY OF KENOSHA'S DEVELOPMENT OPPORTUNITY ZONE**

WHEREAS, the State of Wisconsin created the Development Opportunity Zone Program under Section 560.795 of the Wisconsin Statutes; and

WHEREAS, the purpose of the Development Opportunity Zone is to promote economic growth, job creation and investment in specific areas of the state; and

WHEREAS, the City of Kenosha was designated as a development opportunity zone; and

WHEREAS, the City of Kenosha's Development Opportunity Zone was designated for an initial allocation of \$5,000,000 of non-refundable tax credits, with an opportunity for an additional allocation of \$5,000,000 of non-refundable tax credits; and

WHEREAS, in order to receive any allocation of non-refundable tax credits, the City of Kenosha must adopt a resolution designating the boundaries of the development opportunity zone.

NOW, THEREFORE, BE IT RESOLVED by the Common Council of the City of Kenosha, Wisconsin that the boundaries of the City of Kenosha's Development Opportunity Zone shall be the corporate limits of the City of Kenosha, Wisconsin, as from time to time amended and/or modified.

Adopted this \_\_\_\_\_ day of \_\_\_\_\_, 2011.

ATTEST: \_\_\_\_\_ City Clerk  
Michael Higgins

APPROVED: \_\_\_\_\_ Mayor                      Date: \_\_\_\_\_  
Keith G. Bosman

**KEITH G. BOSMAN  
MAYOR**



*CITY OF KENOSHA  
625 - 52nd Street  
Kenosha, Wisconsin 53140  
(262) 653-4000  
Fax (262) 653-4010*

February 28, 2011

The Honorable Common Council  
CITY OF KENOSHA  
Kenosha, WI 53140

Dear Ladies and Gentlemen:

I hereby appoint Pamela DeVuyst, 5800 3<sup>rd</sup> Avenue, Kenosha to the Transit Commission to fulfill an unexpired term which will expire June 7, 2011. Ms. DeVuyst filed a Statement of Economic Interest on February 17, 2011.

Ms. DeVuyst has completed many classes at Gateway Technical College in Child Care and Infant/Toddler Care. She received a Child Care Management Diploma from Harcourt Learning Direct in 1999. She acquired a Child Development Associate recognition in April 2003 with renewal in May 2005. She has been very involved in the community and is a member of the Peer Program at Society Assets, an advocate for Disability Rights of Wisconsin and a volunteer for the Kenosha Public Museums.

I am confident Ms. DeVuyst will be a conscientious and hardworking member of the Transit Commission.

Sincerely,  
CITY OF KENOSHA



Keith G. Bosman  
Mayor

KGB:jd

**KEITH G. BOSMAN  
MAYOR**



*CITY OF KENOSHA  
625 - 52nd Street  
Kenosha, Wisconsin 53140  
(262) 653-4000  
Fax (262) 653-4010*

March 1, 2011

The Honorable Common Council  
CITY OF KENOSHA  
Kenosha, WI 53140

Dear Ladies and Gentlemen:

I hereby appoint Mary Therese Sinnott Chardukian, 932 Sheridan Road, Kenosha to the Kenosha Housing Authority to fulfill an unexpired term which will expire July 1, 2015. Ms. Sinnott Chardukian filed her Statement of Economic Interest form on February 11, 2011.

Ms. Sinnott Chardukian is the Assistant Vice President/Mortgage Loan Officer at Bank of Kenosha. She has been with the Bank of Kenosha since 2003. Prior to that time, she was the Vice President market Manager at the First Banking Center in Kenosha. She is a 2009 Graduate of Cardinal Stritch University, earning her Associate Degree in Business Management. She also has her Life Insurance License and is qualified for both Residential and Life Insurance. She is a Past President of the Kenosha Area Chamber of Commerce and a current board member.

I am confident Ms. Sinnott Chardukian will be a conscientious and hard-working member of the Kenosha Housing Authority.

Sincerely,  
CITY OF KENOSHA

A handwritten signature in black ink, appearing to read "Keith G. Bosman", is written over the printed name below.

Keith G. Bosman  
Mayor

KGB:jd



**Engineering Division**  
 Michael M. Lemens, P.E.  
 Director/City Engineer  
**Fleet Maintenance**  
 Mauro Lenci  
 Superintendent

**Street Division**  
 John H. Prijic  
 Superintendent  
**Waste Division**  
 Rocky Bednar  
 Superintendent  
**Parks Division**  
 Jeff Warnock  
 Superintendent

**DEPARTMENT OF PUBLIC WORKS**

**Ronald L. Bursek, P.E., Director**

Municipal Building · 625 52<sup>nd</sup> ST · RM 305 · Kenosha, WI 53140  
 Telephone (262) 653-4050 · Fax (262) 653-4056

February 25, 2011

To: G. John Ruffolo, Chairman, Public Works Committee  
 Michael J. Orth, Chairman, Park Commission

From: Michael M. Lemens, P.E. \_\_\_\_\_  
 Director of Engineering /City Engineer

Subject: Project: 10-1412 Southport Beach House ADA Ramp  
 Location: 7825 First Avenue

The Department of Public Works, Engineering Division has opened bids for the above referenced project. Engineer's Estimate was \$25,000.00. Budget amount is \$120,000.00.

This project consists of installing ADA handrails and ramps, removing and replacing concrete sidewalks and curb & gutter, installing detectable warning fields, installing asphalt path, and site restoration.

**Following is the list of bidders:**

	Bid Total
Camosy Construction, Kenosha, WI	\$24,451.33
TD Concrete, Inc., Racine, WI	\$26,783.00
Platt Construction, Franklin, WI	\$27,583.45
Absolute Construction Enterprise, Racine, WI	\$27,692.76
Rasch Construction, Kenosha, WI	\$28,769.03
Cicchini Asphalt, LLC, Kenosha, WI	\$30,831.50
Bane Nelson, Inc., Kenosha, WI	\$31,434.10
Parking Lot Maintenance, Pewaukee, WI	\$33,348.81
A.W. Oakes & Son, Inc., Racine, WI	\$34,883.00
Black Diamond Group, Oak Creek, WI	\$38,969.50

It is recommended that this contract be awarded to Camosy Construction, Kenosha, Wisconsin, for the base bid amount of \$24,451.33 plus \$2,548.67 in contingency for unforeseen conditions (if needed), for total award amount of \$27,000.00. Funding is from CIP Line Item PK-00-002.

MML/kjb  
 cc: Carol Stancato, Director of Finance  
 Common Council Agenda Item # J.1.



**Engineering Division**  
 Michael M. Lemens, P.E.  
 Director/City Engineer  
**Fleet Maintenance**  
 Mauro Lenci  
 Superintendent

**Street Division**  
 John H. Prijic  
 Superintendent  
**Waste Division**  
 Rocky Bednar  
 Superintendent  
**Parks Division**  
 Jeff Warnock  
 Superintendent

**DEPARTMENT OF PUBLIC WORKS**

**Ronald L. Bursek, P.E., Director**

Municipal Building · 625 52<sup>nd</sup> ST · RM 305 · Kenosha, WI 53140  
 Telephone (262) 653-4050 · Fax (262) 653-4056

February 25, 2011

To: G. John Ruffolo, Chairman,  
 Public Works Committee

From: Michael M. Lemens, P.E. \_\_\_\_\_  
 Director of Engineering /City Engineer

Subject: Project: 10-1025 38<sup>th</sup> Street Reconstruction – Phase IV

Location: 38<sup>th</sup> Street – 2000 feet east of the Kilbourn Ditch Bridge to 300 feet west of CTH S

The Department of Public Works, Engineering Division has opened bids for the above referenced project. Engineer's Estimate was \$717,000.00. Budget amount is \$770,000.00.

This project consists of excavation, installing concrete pavement, grading, concrete curb and gutter, storm sewer installation, street lighting, pavement marking, permanent signing, and site restoration.

**Following is the list of bidders:**

	Bid Total
Stark Asphalt, Milwaukee, WI	\$485,395.52
A.W. Oakes & Son, Racine, WI	\$503,746.06
Willkomm Excavating, Union Grove, WI	\$510,962.23
LaLonde Contractors, Milwaukee, WI	\$551,311.82
Cornerstone Pavers, Racine, WI	\$565,635.69
Mann Bros., Inc., Elkhorn, WI	\$620,407.06

It is recommended that this contract be awarded to Stark Asphalt, Milwaukee, Wisconsin, for the base bid amount of \$485,395.52 plus \$64,604.48 in contingency for unforeseen conditions (if needed), for total award amount of \$550,000.00. Funding is from CIP Line Item IN-08-002.

MML/kjb

cc: Carol Stancato, Director of Finance



**Engineering Division**  
Michael M. Lemens, P.E.  
Director/City Engineer  
**Fleet Maintenance**  
Mauro Lenci  
Superintendent  
**Parks Division**  
Jeff Warnock  
Superintendent

**Street Division**  
John H. Prijic  
Superintendent  
**Waste Division**  
Rocky Bednar  
Superintendent

## DEPARTMENT OF PUBLIC WORKS

Ronald L. Bursek, P.E., Director

Municipal Building · 625 52<sup>nd</sup> ST · RM 305 · Kenosha, WI 53140  
Telephone (262) 653-4050 · Fax (262) 653-4056

March 7, 2011

TO: Michael Orth, Chairman  
Board of Park Commissioners

FROM: Jeff Warnock, Superintendent of Parks *Jw*

Re: Approval of Lease By and Between the City of Kenosha, Wisconsin (A Municipal Corporation) and Harris Golf Cars (An Iowa Corporation)

### BACKGROUND INFORMATION

We did an request for proposal with the Finance Department Purchasing Agent and evaluated all proposal and negotiated the best possible deal with Harris Golf Cars.

### STAFF RECOMMENDATION

Staff recommends approval of lease.



Iowa Location:  
9875 Kapp Court  
Pecata, IA 52088  
Phone: (563) 582-7390  
Fax: (563) 582-8863

Illinois Location:  
649 Heartland Drive, Suite A  
Sugar Grove, IL 60554  
Phone: (630) 466-6239  
Fax: (630) 466-6266

Wisconsin Location:  
13900 Leesibir Road  
Sturtevant, WI 53177  
Phone: (262) 886-2818  
Fax: (262) 898-1803



Golf Cars • Utility Cars • Multi-Passenger Vehicles

[www.harrisgolfcars.com](http://www.harrisgolfcars.com)

## HARRIS/YAMAHA ON CALL SERVICE CONTRACT

This service agreement shall be between the Customer, *Washington Park Golf Course*, and the Provider, *Harris Golf Cars*.

### CUSTOMER RESPONSIBILITIES

During the term of this agreement, Customer shall perform the following services at Customers expense:

- Perform daily pre-operation inspection
- Maintain proper fluid levels and change tires (Spares Provided)
- Keep fleet Clean and Secure

### HARRIS GOLF CARS SERVICES PROVIDED

- All recommended **preventive maintenance** as prescribed by Yamaha.
- All **warranty** repairs, recalls, and updates.
- **Routine On Call service visits** to inspect the vehicles to ensure Customer Satisfaction.
- Repair or replace any failed parts due to **normal wear**.
- **Year-End Service** to prepare for following season.

### DEFINITIONS

**Preventive Maintenance:** All preventive maintenance as prescribed in the Genuine Yamaha Maintenance Chart including parts and labor. This contract requires the use of Genuine Yamaha Parts only.

**Warranty:** Any repairs made due to a manufacturer's defect during Yamaha's warranty period. This includes all recalls and factory modification campaigns.

**Routine scheduled service visit:** Scheduled visits to inspect the vehicles to ensure Customer Satisfaction and to perform prescribed maintenance, warranty repairs or normal wear and tear repairs if requested.

**Normal wear:** A part that wears out or fails due to normal wear and tear, including tire/wheels. This does not include repairs caused by damage, abuse, or acts of God. Customer may perform those repairs or request that *Harris Golf Cars* perform these repairs at Customers expense.

### ADDENDUM

Cars covered by this contract; YDRAH1W, Quantity 26. This agreement shall be for the period of 5/1/11 through 10/1/16. Customer reserves the right to cancel this contract at any time by providing Harris Golf Cars with written notice at least 60 days in advance. Harris Golf Cars has the right to cancel this contract if Customer fails to execute the Customer Responsibilities described above.

### PAYMENT SCHEDULE

This contract is provided at no additional charge as an integral part of the Harris/Yamaha lease dated 10/7/10.

CUSTOMER (Washington Park GC) SIGNATURE 	CUSTOMER TITLE DIRECTOR OF PUBLIC WORKS	DATE 11/21/10
DISTRIBUTOR SIGNATURE 	DISTRIBUTOR TITLE VP	DATE 11-23-10

*Serving Iowa, Illinois & Wisconsin Since 1979!*



Iowa Location:  
9875 Kapp Court  
Pocahontas, IA 52068  
Phone: (563) 582-7390  
Fax: (563) 582-6863

Illinois Location:  
549 Heartland Drive, Suite A  
Sugar Grove, IL 60554  
Phone: (630) 466-5239  
Fax: (630) 466-5266

Wisconsin Location:  
13900 Leetsbir Road  
Sturtevant, WI 53177  
Phone: (262) 886-2316  
Fax: (262) 898-1803



Golf Cars • Utility Cars • Multi-Passenger Vehicles

[www.harrisgolfcars.com](http://www.harrisgolfcars.com)

**LEASE/PURCHASE PROPOSAL**

	Cost Month	Full Svc	On Call	# Of Cars	Monthly Total	Payment Months	Yearly Total	Lease Term Total
5 Year Lease	\$89.00		✓	26	\$2,314.00	6	\$13,884.00	\$69,420.00
6 Year Lease	\$82.65		✓	26	\$2,148.90	6	\$12,893.40	\$77,360.40

Delivery: March 2011 - First Payment: May 2011

**WARRANTY/SERVICE**

This includes a Harris/Yamaha Golf Car On-Call Service contract (attached) that supports the remaining fleet car warranty. Accessories are covered by their manufacturers' warranty. Installation of GPS and other electronic systems without approval will void the battery warranty.

The above quotation does not include insurance and is subject to Yamaha Leasing credit approval. Please be aware this inventory is subject to prior sale and the proposal is valid for 7 days from October 7, 2010. Acceptance requires authorized signature and date.

Accepted By: *[Signature]* Date: 10/2/10  
Washington Park Golf Course

Accepted By: *[Signature]* Date: 10/12/10  
Harris Golf Cars

*Serving Iowa, Illinois & Wisconsin Since 1979!*



**FISCAL NOTE  
CITY OF KENOSHA  
DEPARTMENT OF FINANCE**

**PREPARED FOR:** Finance Committee

**ITEM:** Disbursement Record #3

**ESTIMATED FINANCIAL IMPACT:**

No additional fiscal note needed.

**Date Prepared:** 02/23/11

**Prepared By:** 

**Reviewed By:** 

START DATE FOR SUMMARY: 2/01 END DATE FOR SUMMARY: 2/15

CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
102917	2/04	EDM PUBLISHERS	110-02-52201-322-000	2011 SUBSCRIP RENWL	89.00
102918	2/04	BINDELLI BROTHERS, INC	110-09-56501-259-569	01/11 5507 23 AVE	880.00
			110-09-56501-259-569	01/11 6606 22 AVE	412.00
			110-09-56501-259-569	01/11 5507 23 AVE	350.00
			110-09-56501-259-569	1/11 5525 23 AVE	274.00
			110-09-56501-259-569	01/11 2013 61 ST	182.60
			110-09-56501-259-569	01/11 2016 61 ST	176.00
			110-09-56501-259-569	01/11 1539 16 AVE	80.00
			110-09-56501-259-569	01/11 1615 60 ST	60.00
				..... CHECK TOTAL	2,414.60
102919	2/04	VIKING ELECTRIC SUPPLY	110-03-53109-375-000	1/11-ST ELECTRICAL M	139.50
			110-03-53109-375-000	1/11-ST ELECTRICAL M	94.64
			110-03-53109-375-000	1/11-ST ELECTRICAL M	14.37
				..... CHECK TOTAL	248.51
102920	2/04	GENERAL COMMUNICATIONS, INC.	110-02-52203-235-000	12/10-FD MISC. ITEMS	210.00
102921	2/04	GENERAL FIRE EQUIPMENT CO	715-09-50101-369-000	TRUCK-VAULT	1,880.88
102922	2/04	COMSYS, INCORPORATED	110-01-51102-215-000	2/08-3/7/11 SERVICES	36,013.76
			501-09-50101-215-000	2/08-3/7/11 SERVICES	9,003.46
				..... CHECK TOTAL	45,017.22
102923	2/04	HWY C SERVICE	110-03-53107-389-000	11/10-ST PARTS/SERVI	234.00
102924	2/04	ICMA RETIREMENT TRUST	110-00-21572-000-000	1/16-31/11 CONTRIBS	51,253.87
			110-00-21599-000-000	1/16-31/11 ROTH CONT	1,330.00
				..... CHECK TOTAL	52,583.87
102925	2/04	INTERSTATE ELECTRIC SUPPLY	110-02-52203-382-000	1/11-FD ELECTRICAL S	656.04
			110-02-52101-235-000	1/11-PD ELECTRICAL S	11.31
			110-03-53109-375-000	1/11-ST ELECTRICAL S	8.43
			110-03-53109-375-000	1/11-ST ELECTRICAL S	7.37
				..... CHECK TOTAL	683.15
102926	2/04	KENOSHA CITY EMPLOYEE'S	110-00-21562-000-000	2/04/11 CITY HRLY	15,878.25
			110-00-21562-000-000	2/04/11 WATER HRLY	4,249.85
			110-00-21562-000-000	2/04/11 MUSEUM HRLY	205.00
				..... CHECK TOTAL	20,333.10

START DATE FOR SUMMARY: 2/01 END DATE FOR SUMMARY: 2/15

CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
102927	2/04	LABOR PAPER, THE	110-01-50101-321-000	12/1,12/2,12/16 CC	1,008.00
			110-01-50101-321-000	11/15 CC MINUTES	504.00
				..... CHECK TOTAL	1,512.00
102928	2/04	UNITED HOSPITAL SYSTEMS INC	110-09-56405-161-000	12/2/10 C ZIELINKSI	670.73
102929	2/04	SHOPKO DEPT. STORE	110-02-52103-311-000	01/11 PD MERCHANDISE	40.64
102930	2/04	WILLKOMM INC., JERRY	520-09-50106-341-000	1/11 DIESEL FUEL	20,949.09
102931	2/04	WI CHIEFS OF POLICE ASSOC.	110-02-52101-323-000	2011 MEMBER DUES	295.00
102932	2/04	WE ENERGIES	110-03-53109-221-000	#6 12/22-01/24	3,082.93
			110-03-53109-221-000	#6 12/21-01/23	2,480.48
			633-09-50101-221-000	#6 12/27-01/26	2,179.74
			110-02-52203-222-000	#6 12/26-01/25	2,068.44
			520-09-50401-221-000	#6 12/27-01/26	1,774.15
			110-03-53109-221-000	#6 12/19-01/19	1,564.27
			522-05-50102-221-000	#6 12/19-01/19	1,545.08
			110-02-52203-221-000	#6 12/27-01/25	1,410.90
			110-05-55109-221-000	#6 12/21-01/19	1,400.78
			110-03-53109-221-000	#6 12/20-01/20	1,381.59
			110-05-55106-222-000	#6 12/22-01/25	1,280.98
			110-03-53116-221-000	#6 12-20-01/20	1,183.82
			110-05-55111-221-000	#6 12/20-01/20	868.58
			110-03-53109-221-000	#6 12/22-01/21	818.72
			522-05-50102-221-000	#6 12/21-01/18	672.47
			110-05-55109-221-000	#6 12/19-01/19	499.68
			110-05-55109-221-000	#6 12/20-01/20	402.08
			110-03-53109-221-000	#6 12/23-01/25	274.21
			110-03-53117-221-000	#6 12/20-01/20	197.49
			110-05-55109-222-000	#6 12/19-01/19	130.75
			110-05-55109-222-000	#6 12/26-01/25	125.84
			110-05-55109-221-000	#6 12/21-01/23	78.06
			519-09-50103-221-000	#6 12/26-01/25	67.39
			522-05-50102-221-000	#6 12/19-01/19	65.20
			522-05-50102-222-000	#6 12/19-01/19	8.99
				..... CHECK TOTAL	25,562.62
102933	2/04	WE ENERGIES	758-09-50106-259-850	12/13-1/13 UTILITIES	150.23
			269-06-50219-259-000	#5221898 UTILITIES	105.98
			269-06-50215-259-000	#5221905 UTILITIES	105.85
			269-06-50221-259-000	#5221908 UTILITIES	105.62
			269-06-50220-259-000	#5221899 UTILITIES	102.77
			269-06-50214-259-000	#5221903 UTILITIES	90.13
			269-06-50218-259-000	#5221901 UTILITIES	49.88
			461-11-51001-581-000	4702 36 AV-UTILITIES	10.04
				..... CHECK TOTAL	720.50

START DATE FOR SUMMARY: 2/01 END DATE FOR SUMMARY: 2/15

CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
102934	2/04	WISCONSIN STATE FIRE CHIEF'S	110-02-52201-323-000	THOMSEN/SANTELLI	150.00
102935	2/04	KENOSHA CO CIRCUIT COURT	110-01-52001-219-000	24 DOCKET FEES	240.00
102936	2/04	WIS FUEL & HEATING INC	520-09-50106-341-000	01/11 DIESEL FUEL PU	21,850.99
			630-09-50101-392-000	01/11 DIESEL FUEL	21,732.65
			110-03-53107-341-000	01/11 ST LUBRICANTS/	581.90
				..... CHECK TOTAL	44,165.54
102937	2/04	BROOKS TRACTOR, INC.	630-09-50101-393-000	1/11 SE PARTS & MATE	144.85
102938	2/04	CURTIS INDUSTRIES, INC	630-09-50101-393-000	1/11 SE FASTENERS-VA	696.09
			630-09-50101-393-000	1/11 SE FASTENERS-VA	35.95
				..... CHECK TOTAL	732.04
102939	2/04	DICKOW & CYZAK TILE CO.	414-11-51002-583-000	STATION 2 FLOORING	13,821.00
			414-11-51002-583-000	STAIR TREAD	900.00
				..... CHECK TOTAL	14,721.00
102940	2/04	FABCO EQUIPMENT, INC.	630-09-50101-393-000	1/11 SE #8514 PARTS	1,074.70
			630-09-50101-393-000	1/11 SE PARTS & MATE	613.10
			630-09-50101-393-000	1/11 SE #2597 PARTS	237.52
			630-09-50101-393-000	1/11 SE PARTS & MATE	83.43
			630-09-50101-393-000	01/11 SE PARTS & MAT	19.07
			630-09-50101-393-000	1/11 SE #2745 PARTS	15.47
			630-09-50101-393-000	01/11 SE CREDIT	1,524.27CR
				..... CHECK TOTAL	519.02
102941	2/04	A & R DOOR SERVICE	110-02-52203-246-000	1/11 FD #3 DOOR REPA	250.00
			110-03-53103-246-000	1/11 ST DOOR REPAIRS	208.00
			501-09-50105-246-000	1/11 ST DOOR REPAIRS	58.00
				..... CHECK TOTAL	516.00
102942	2/04	CHASE BANK KENOSHA	110-00-21513-000-000	1/31/11 SAL DEDUCTS	201,276.47
			110-00-21612-000-000	1/31/11 SAL DEDUCTS	69,158.17
			110-00-21511-000-000	1/31/11 SAL DEDUCTS	46,849.28
			110-00-21513-000-000	2/04/11 HRLY DEDUCT	24,613.94
			110-00-21614-000-000	1/31/11 SAL DEDUCTS	20,746.05
			110-00-21514-000-000	1/31/11 SAL DEDUCTS	20,746.03
			110-00-21612-000-000	2/04/11 HRLY DEDUCT	12,037.33
			110-00-21511-000-000	2/04/11 HRLY DEDUCT	8,154.31
			110-00-21614-000-000	2/04/11 HRLY DEDUCT	2,882.20
			110-00-21514-000-000	2/04/11 HRLY DEDUCT	2,882.09
				..... CHECK TOTAL	409,345.87

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
102943	2/04	REGISTRATION FEE TRUST	110-09-56519-909-000	LICENSE/TITLE #3118	74.50
			110-09-56519-909-000	LICENSE/TITLE #3117	74.50
			110-09-56519-909-000	LICENSE/TITLE #3116	74.50
			110-09-56519-909-000	LICENSE/TITLE #3115	74.50
			110-09-56519-909-000	LICENSE TITLE #3114	74.50
				..... CHECK TOTAL	372.50
102944	2/04	REGISTRATION FEE TRUST	110-09-56519-909-000	REPL PLATE FLT 2788	2.00
102945	2/04	PLANNED PRODUCTS LLC	630-09-50101-393-000	2609 DEFROSTER KITS	290.45
102946	2/04	WIS DEPT OF REVENUE	110-00-21581-000-000	1/1-3/11 DEDUCTS	34.45
102947	2/04	XEROX CORPORATION	110-02-52201-232-000	11/23-12/30 MAINTENA	37.41
102948	2/04	LEE'S RENT IT	286-06-50302-259-000	#5223900 LIFT	61.86
102949	2/04	SCHELBLE & HEMMER, S.C.	110-00-21581-000-000	2/04/11 B GARRETT	121.76
102950	2/04	KENOSHA COUNTY	631-09-50101-311-000	12/10 DOCUMENT COPY	8.00
102951	2/04	KENOSHA COUNTY DIVISION OF	520-09-50301-258-000	9/26-12/31 ADMIN OVR	8,002.39
102952	2/04	FLORIDA MICRO	110-01-51102-539-000	SWITCHES	1,956.80
102953	2/04	BONESTROO, INC	405-11-51005-589-000	6/13-1/22 BEAVER PND	36,840.00
102954	2/04	HILTON GARDEN INN	110-02-52107-263-000	3/07-18 2 OFFICERS	1,184.20
102955	2/04	LAKESIDE INTERNATIONAL TRUCK	630-09-50101-393-000	12/10-SE PARTS-MATER	4,616.08
			520-09-50106-341-000	COOLANT	1,470.80
			520-09-50201-347-000	12/10-BUS PARTS/MATE	473.22
			110-02-52203-344-000	12/10-FD PARTS/MATER	210.68
			110-02-52203-382-000	12/10-FD PARTS/MATER	138.62
			206-02-52205-344-000	12/10-FD PARTS/MATER	80.98
				..... CHECK TOTAL	6,990.38
102956	2/04	HUMANA CLAIMS	611-09-50101-155-527	1/31/11 MED CLAIMS	213,677.17
			611-09-50101-155-527	2/01/11 MED CLAIMS	29,418.51
			611-09-50101-155-527	1/31/11 PHARMACY	17,629.52
			611-09-50101-155-527	1/28/11 MED CLAIMS	7,675.12
			611-09-50101-155-527	1/28/11 PHARMACY	7,655.27
			611-09-50101-155-527	2/01/11 PHARMACY	3,743.12
				..... CHECK TOTAL	279,798.71

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
102957	2/04	TRANSIT MUTUAL INSURANCE	520-09-50301-276-000	2011 AUTO LIAB PREM	230,422.00
			520-09-50201-276-000	2011 PHYSICAL DMG	51,841.00
				..... CHECK TOTAL	282,263.00
102958	2/04	RUEKERT & MIELKE, INC.	409-11-51004-589-000	6-12/10 39TH AVE CON	71,809.57
			409-11-51010-589-000	6-12/10 27TH ST CONS	16,589.03
				..... CHECK TOTAL	88,398.60
102959	2/04	WISCONSIN HYDRAULICS	630-09-50101-393-000	12/10 LABOR/MATERIAL	897.10
102960	2/04	EMERGING COMMUNITIES CORP	492-11-50301-219-000	01/11 CONSULTING SER	1,000.00
102961	2/04	AFFORDABLE FLOOR COVERING	110-01-51801-246-984	FLOOR/CARPET REPAIR	275.00
102962	2/04	SEATER CONSTRUCTION CO., INC	110-00-21581-000-000	2/04/11 CHRISTERSON	129.11
102963	2/04	DIVERSIFIED COLLECTION SVCS	110-00-21581-000-000	2/04/11 L SAYLOR	34.12
102964	2/04	CAL AMP	110-02-52103-369-000	SERIAL CABLES	264.00
102965	2/04	KIWANIS BREAKFAST CLUB	110-00-47119-000-000	OVERPAY INV 101201	360.00
102966	2/04	HARPE DEVELOPMENT LLC	284-06-50210-259-000	#5218533 DRAW #1	20,112.98
			269-06-50222-259-000	#5218533 DRAW #1	1,432.83
			282-06-50209-259-000	#5218533 DRAW #1	1,400.45
			283-06-50211-259-000	#5218533 DRAW #1	653.74
				..... CHECK TOTAL	23,600.00
102967	2/04	KAR PRODUCTS	520-09-50201-347-000	12/10-TD SHOP SUPPLI	517.26
102968	2/04	JENSEN TOWING	206-02-52205-344-000	TOW MED 5 TO STN 4	285.00
			110-02-52103-219-000	1/11-#11-004798 TOWI	45.00
				..... CHECK TOTAL	330.00
102969	2/04	WIS DEPT OF AGRI/TRADE	520-09-50201-389-000	REFRIG REPAIR REG.	120.00
102970	2/04	KENOSHA STARTER & ALTERNATOR	630-09-50101-393-000	1/11-SE#168STA PARTS	177.82
			630-09-50101-393-000	1/11-SE#1006 PARTS/L	82.08
				..... CHECK TOTAL	259.90

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
102971	2/04	FRED PRYOR SEMINARS	110-02-52107-264-000	2 REG FEES-3/21/11	198.00
102972	2/04	INSTY-PRINTS	110-03-53107-311-000	SNOW ROUTE BINDERS	161.34
102973	2/04	WIS PARK & RECREATION ASSN.	110-05-55109-323-000	3 MEMBER RENEWALS	250.00
			110-05-55101-323-000	3 MEMBER RENEWALS	125.00
				..... CHECK TOTAL	375.00
102974	2/04	KENOSHA COUNTY TREASURER	110-00-21106-000-000	2010 TAX-1615 60 ST	575.70
102975	2/04	LAKESIDE CLEANERS	110-02-52203-259-000	12/10-LAUNDRY SERVIC	1,333.80
102976	2/04	NYBERG TROPHIES & AWARDS	761-09-50101-389-000	UPDATE PLAQUE PLATES	20.00
102977	2/04	HANSMANN PRINTING	110-02-52203-389-000	12/10-BC'D PLATES	77.00
102978	2/04	NORTHLAND EQUIPMENT	630-09-50101-393-000	12/10 FURNISH PARTS/	49.03
102979	2/04	FORCE AMERICA	630-09-50101-393-000	1/11 SE PARTS/MATERI	1,603.15
			630-09-50101-393-000	1/11 SE PARTS/MATERI	797.09
			630-09-50101-393-000	1/11 SE PARTS/MATERI	786.34
				..... CHECK TOTAL	3,186.58
102980	2/04	MENARDS (KENOSHA)	286-06-50302-259-000	#5221896 MATERIALS	151.81
			110-03-53103-389-000	01/11 ST MERCHANDISE	124.15
			286-06-50302-259-000	#5221896 MATERIALS	102.57
			286-06-50302-259-000	#5221896 MATERIALS	75.32
			286-06-50302-259-000	#5221896 MATERIALS	43.04
			521-09-50101-375-000	01/11 AR MERCHANDISE	39.96
			286-06-50302-259-000	#5221896 MATERIALS	37.91
			286-06-50302-259-000	#5221896 MATERIALS	26.66
			110-05-55109-344-000	01/11 PA MERCHANDISE	14.63
			521-09-50101-385-000	01/11 AR MERCHANDISE	8.98
			110-05-55109-382-000	01/11 PA MERCHANDISE	7.52
			521-09-50101-382-000	01/11 AR MERCHANDISE	5.46
			110-03-53103-389-000	12/10 ST MERCHANDISE	1.78
				..... CHECK TOTAL	639.79
102981	2/04	J & J BEARING & TRUCK, INC	630-09-50101-393-000	1/11-SE REPLACEMENT	15.78

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
102982	2/04	SYMBOL ARTS, LLC	110-02-52103-367-000	12/10-PD BADGES/ACCE	160.00
102983	2/04	WIS DEPT OF COMMERCE	405-11-50809-589-000	WATER FEATURE REVIEW	1,800.00
102984	2/04	J. GARDNER & ASSOCIATES, LLC	110-02-52204-383-000 110-02-52204-383-000	GLOW BRACLET CUSTOM TATTOO ..... CHECK TOTAL	955.00 630.00 1,585.00
102985	2/04	WIS SCTF	110-00-21581-000-000	2/04/11 HRLY DEDUCT	1,069.34
102986	2/04	HYDROTEX	630-09-50101-393-000	11/10-SE LUBRICANTS	1,740.42
102987	2/04	CHASE BANK-DTC	307-00-22213-000-000	2/01/11 INTEREST	83,812.50
102988	2/04	HALLMAN LINDSAY	110-05-55109-344-000	1/11-PA PAINT/PRODUC	102.74
102989	2/04	KENOSHA COUNTY JOB CTR	110-02-52102-219-000	2010 CHEMIST	38,781.29
102990	2/04	LASER NET INC	110-01-51201-311-000 110-01-51101-314-000 110-01-51201-311-000 110-01-51201-312-000	12/10 PRINTING/MAILI 12/10 MICROFICHE PRC CITY CLERK/TRES EPS 12/10 BILLS-POSTAGE ..... CHECK TOTAL	7,360.77 1,248.09 1,120.00 900.91CR 8,827.95
102991	2/04	ILLINOIS DEPT OF PUBLIC AID	110-00-21581-000-000	2/04/11 J PETRILLO	139.82
102992	2/04	SAFETY & BUILDING DIVISION	110-02-52601-264-000 110-02-52601-264-000	HILLESLAND 821.34 K MIKOLAS 821.34 GD ..... CHECK TOTAL	60.00 60.00 120.00
102993	2/04	LOCAL GOVERNMENT PROPERTY	520-00-21109-000-000	PREMIUM 11/1/10-11	649.00
102994	2/04	GRAINGER	521-09-50101-361-000 521-09-50101-361-000 632-09-50101-389-000 630-09-50101-393-000	1/11-AR PARTS/MATERI 1/11-AR PARTS/MATERI 1/11-SE PARTS/MATERI 1/11-SE PARTS/MATERI ..... CHECK TOTAL	379.62 184.14 182.48 32.40 778.64
102995	2/04	BURKE TRUCK & EQUIPMENT INC	630-09-50101-393-000	LOADER LIFT CABLE	200.24

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
102996	2/04	WAMA	521-09-50101-323-000	MEMBER APPLICATION	250.00
102997	2/04	TIME WARNER CABLE	110-01-51102-233-000	01/17-02/16 CITY HAL	239.95
			110-01-51102-233-000	01/19-02/18 STORES G	139.95
			110-01-51102-233-000	01/09-02/08 BROADBAN	74.95
				..... CHECK TOTAL	454.85
102998	2/04	CINTAS CORP	632-09-50101-259-000	12/10 SE-UNIFORM/GLO	496.65
			520-09-50201-367-000	12/10 TD-UNIFORM/GLO	430.93
			110-02-52203-259-000	12/10 FD-UNIFORM/GLO	166.55
				..... CHECK TOTAL	1,094.13
102999	2/04	PARCEL & BUSINESS SOLUTIONS	632-09-50101-311-000	12/10 SE UPS SERVICE	10.85
			520-09-50106-311-000	12/10 TD UPS SERVICE	9.05
			520-09-50301-311-000	12/10 TD UPS SERVICE	6.89
				..... CHECK TOTAL	26.79
103000	2/04	GATEWAY TECH COLLEGE	110-02-52206-264-000	FALL 2010 FIRE EXAM	160.00
103001	2/04	INTERNATIONAL COUNCIL	110-01-51701-323-000	DUES JEFF LABAHN	100.00
103002	2/04	MILWAUKEE SPRING &	630-09-50101-393-000	11/10-SE PARTS/LABOR	1,084.26
103003	2/04	NEW WAVE	110-02-52204-344-000	CAR 5 INSTALLATION	300.00
103004	2/04	AZAR L.L.C.	401-11-51004-586-000	EST 7-SIDEWALK PROGR	26,987.25
			758-09-50109-259-852	RAZING/RESTORE LOT	7,700.00
			403-11-51001-585-000	EST 7-CURB/GUTTER PR	6,629.37
				..... CHECK TOTAL	41,316.62
103005	2/04	FOX VALLEY CHEMICAL CO	110-02-52203-382-000	1/11 FD #2 CONSUMABL	119.20
103006	2/04	HUMMERT INTERNATIONAL	110-05-55103-361-000	PRUNER	87.02
103007	2/04	HASTINGS AIR ENERGY CONTROL	110-02-52203-344-000	BALANCER NON-LOCK	791.93
103008	2/04	IAFF/NATIONWIDE	110-00-21574-000-000	1/16-31/11 CONTRIBS	19,873.99
103009	2/04	KENOSHA TIRE	630-09-50101-393-000	1/11-SE#8514 TIRES/	19.00

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
103010	2/04	JANI-KING OF MILWAUKEE	633-09-50101-243-000	1/11-JANITORIAL SERV	1,084.00
103011	2/04	NIULPE, INC.	110-05-55109-323-000	WOJTAK 2011	35.00
103012	2/04	RED THE UNIFORM TAILOR	110-02-52206-367-000	12/10 FD UNIFORMS	405.05
			110-02-52103-367-000	12/10 POLICE UNIFORM	266.85
			520-09-50101-367-000	12/10 TD UNIFORM ITE	244.55
			110-02-52103-367-000	01/11 POLICE UNIFORM	242.89
			520-09-50101-367-000	12/10 TD UNIFORM ITE	194.90
			110-02-52206-367-000	1/11 FD UNIFORMS	189.35
			110-02-52103-367-000	12/10 POLICE UNIFOR	145.90
			110-02-52103-367-000	1/11 POLICE UNIFORMS	129.90
			520-09-50101-367-000	10/10 TD UNIFORM ITE	127.35
			110-02-52103-367-000	12/10 POLICE UNIFORM	121.85
			520-09-50101-367-000	12/10 TD UNIFORM ITE	89.75
			520-09-50101-367-000	12/10 TD UNIFORM ITE	89.75
			110-02-52103-367-000	01/11 POLICE UNIFORM	89.50
			110-02-52103-367-000	11/10 POLICE UNIFORM	87.90
			520-09-50101-367-000	10/10 TD UNIFORM ITE	87.40
			110-02-52206-367-000	01/11 FD UNIFORMS	72.45
			110-02-52103-367-000	10/10 POLICE UNIFORM	39.99
			110-02-52206-367-000	12/10 FD UNIFORMS	19.95
			110-02-52206-367-000	01/11 FD UNIFORMS	10.95
			110-02-52206-367-000	1/11 FD UNIFORMS	6.80
			110-02-52103-367-000	01/11 POLICE UNIFORM	5.00
				..... CHECK TOTAL	2,668.03
103013	2/04	DOUBLE D CONSTRUCTION INC	758-09-50106-259-853	HOUSING REHAB	1,680.00
103014	2/04	J D BENEFITS, INC	110-00-21517-000-000	1/16-31/11 DEDUCTS	1,050.08
103015	2/04	GREAT WEST RETIREMENT SERV.	110-00-21576-000-000	1/16-31/11 CONTRIBS	10,617.23
103016	2/04	MINE SAFETY APPLIANCE CO.	110-02-52203-344-000	TIC MOUNT REPAIR	158.30
103017	2/04	AMERICAN SOCIETY OF POWER	110-05-55109-323-000	WOJTAK 2011	28.00
103018	2/04	ERO-TEX	403-11-51002-588-000	GEOTEXTILE FABRIC	385.00
103019	2/04	COMPREHENSIVE ORTHOPAEDICS	110-09-56405-161-000	3/15/10 B MILLER	158.95
			110-09-56405-161-000	1/2/11 D YANDEL	88.40
				..... CHECK TOTAL	247.35

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
103020	2/04	SLANA, V STEPHEN, M.D.	110-09-56405-161-000	11/26/10 M CURI	112.20
103021	2/04	GENESIS CHIROPRACTIC CLINIC	110-09-56405-161-000	4/23/10 D YANDEL	70.01
103022	2/04	OCCUCARE SYSTEMS & SOLUTIONS	110-09-56405-161-000	3/15/10 B MILLER	1,935.84
103023	2/04	IOD INCORPORATED	110-09-56405-161-000	1/20/11 K CARBON	39.75
103024	2/04	AURORA HEALTH CARE	110-09-56405-161-000	12/30/10 J KUNZ	2,432.85
			110-09-56405-161-000	11/19/10 J BILL	1,678.32
				..... CHECK TOTAL	4,111.17
103025	2/04	STONERIVER PHARMACY SOLUTION	110-09-56405-161-000	11/19/10 J BILL	13.84
103026	2/04	ENHANCED MED IMG OF KENOSHA	110-09-56405-161-000	12/4/10 J PETERSON	2,073.98
103027	2/04	LGIP LIBRARY	110-00-21804-000-000	WIRE TRANS 2/1/11	382,000.00
103028	2/04	LGIP MUSEUM	110-00-21805-000-000	2/01/11 WIRE TRANS	139,200.00
103029	2/04	CROCKETT, SUSAN M	110-00-21106-000-000	2010 RE TAX OVERPAY	48.29
103030	2/04	VERLEN, ROBERT J	110-00-21106-000-000	2010 TAX-2 PARCELS	6,459.81
103031	2/04	GRIFFIN, WALTER & KAREN	110-00-21106-000-000	2010 RE TAX OVERPAY	3.78
103032	2/04	FROST, DEBBIE & JOHN	110-00-21106-000-000	2010 TAX-6813 SHER	337.73
103033	2/04	HUFFORD, CURT & ANGELIA	110-00-21106-000-000	2010 RE TAX OVERPAY	3.97
103034	2/04	KERKMAN, THEODORE J	110-00-21106-000-000	2010 RE TAX OVERPAY	5.15
103035	2/04	FIDLER, DAVID B	110-00-21106-000-000	2010 RE TAX OVERPAY	10.00
103036	2/04	BEDFORD, CHARLENE	110-00-21106-000-000	2010 RE TAX OVERPAY	289.54
103037	2/04	VOZAR, JOSEPH C	110-00-21106-000-000	2010 RE TAX OVERPAY	49.55
103038	2/04	ACETO, PETER J & ELIZABETH	110-00-21106-000-000	2010 RE TAX OVERPAY	123.94

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
103039	2/04	PLEBANEK, JOHN & JESSICA	110-00-21106-000-000	2010 RE TAX OVERPAY	13.47
103040	2/04	SANDERSON, CRYSTAL AND	110-00-21106-000-000	2010 RE TAX OVERPAY	34.00
103041	2/04	PUNTILLO, ELIZABETH	110-00-21106-000-000	2010 RE TAX OVERPAY	8.95
103042	2/04	DASSINGER, LAWRENCE F	110-00-21106-000-000	2010 RE TAX OVERPAY	317.47
103043	2/04	VILLALOBOS, RITA	110-00-21106-000-000	2010 RE TAX OVERPAY	253.20
103044	2/04	KING, ADAM & CHRISTINE	110-00-21106-000-000	2010 RE TAX OVERPAY	4.00
103045	2/04	HUBBARD, WENDI R.	110-00-21106-000-000	2010 RE TAX OVERPAY	184.20
103046	2/04	BENDER, RUSTY & AMY	110-00-21106-000-000	2010 RE TAX OVERPAY	202.71
103047	2/04	KOHN LAW FIRM S.C.	110-00-21581-000-000	2/04/11 D LARSON	161.56
103048	2/04	YANDEL, DAVID & SARAH	110-00-21106-000-000	2010 TAX-3111 56 AV	162.00
103049	2/04	GRUNDY, SCOTT	110-00-44203-000-000	CLASS B BEER/LIQUOR	425.00
103050	2/04	DEBISH, MARY	110-00-21106-000-000	2010 TAX-1118 68 ST	90.22
103051	2/04	RUGG, MICHAEL & MARY	110-00-21106-000-000	2010 RE TAX OVERPAY	267.15
103052	2/04	QUEEN, DAWN M	110-00-21106-000-000	2010 RE TAX OVERPAY	154.29
103053	2/04	LPS PROPERTY TAX SOLUTION	110-00-21106-000-000	2010 TAX-6350 24 AV	592.71
103054	2/04	ODEGAARD, RICHARD W	110-00-21106-000-000	2010 RE TAX OVERPAY	41.24
103055	2/04	ANDERSON, KATHLEEN K	110-00-21106-000-000	2010 RE TAX OVERPAY	72.70
103056	2/04	TREDUP, KENNETH	110-00-13101-000-000	01-03/11 INSURANCE	1,657.60
			611-00-49135-000-000	01-03/11 INSURANCE	828.80
				..... CHECK TOTAL	2,486.40
103057	2/04	THRAMS, DENISE	110-00-21106-000-000	2010 RE TAX OVERPAY	66.92

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
103058	2/04	BAC TAX SERVICES CORP.	110-00-21106-000-000	2010 TAX-7401 35 AV	3,612.90
103059	2/04	RODRIGUEZ, PABLO	110-00-21106-000-000	2010 TAX-5311 24 AV	288.95
103060	2/04	HOLLAND, LISA J	110-00-21106-000-000	2010 RE TAX OVERPAY	10.98
103061	2/04	NELSON, TAYLOR	110-00-21109-000-000	COURT PMT #V713478	32.80
103062	2/04	NICHOL, TRACEY	110-00-21109-000-000	COURT PMT #V563918	252.60
103063	2/04	GIERL, DONALD	611-00-49135-000-000	01/11 INSURANCE PRM	875.32
103064	2/04	CHRISTIAN, GERALD R AND	110-00-21106-000-000	2010 RE TAX OVERPAY	762.05
103065	2/04	DANDURAND, JERRY SR	110-00-21106-000-000	2010 RE TAX OVERPAY	262.57
103066	2/04	BELEN, BALDOMERO JR & MARY	110-00-21106-000-000	2010 TAX-420 57 ST	213.86
103067	2/04	YOUNG, ANDRE L AND	110-00-21106-000-000	2010 RE TAX OVERPAY	30.79
103068	2/04	BOLOG, KEITH & MAUREEN	110-00-21107-000-000	2010 RE TAX OVERPAY	92.21
103069	2/04	OTTO, PAUL W	110-00-21106-000-000	2010 TAX-6100 37 AVE	37.92
103070	2/04	WLADKOSSKI, SANDRA A	110-00-21107-000-000	2010 RE TAX OVERPAY	92.21
103071	2/04	MCINTIRE, SHANON & SHARRON	110-00-21106-000-000	2010 RE TAX OVERPAY	269.66
103072	2/04	LAPLANTE, CHARLES & PAMELA	110-00-21106-000-000	2010 TAX-4711 7 AVE	123.98
103073	2/04	INGRAM, JASON L	110-00-21106-000-000	2010 RE TAX OVERPAY	67.23
103074	2/04	OTT, DUDLEY & SANDRA	110-00-21106-000-000	2010 TAX-1610 87 PL	38.67
103075	2/04	LAURENT, JEFFREY & JAYMIE	110-00-21106-000-000	2010 TAX-6431 22 AVE	343.46
103076	2/04	ROHLMAN, BARBARA A	110-00-21106-000-000	2010 RE TAX OVERPAY	100.64
103077	2/04	SORENSEN, NELS & JEAN	110-00-21106-000-000	2010 RE TAX OVERPAY	25.77

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
103078	2/04	ARIAS, GUILLERMINA A	110-00-21106-000-000	2010 RE TAX OVERPAY	1,735.37
103079	2/04	FENSKI, ALAN M AND	110-00-21106-000-000	2010 RE TAX OVERPAY	30.37
103080	2/04	WICK, MARK & KRISTINE	110-00-21106-000-000	2010 TAX-924 42 ST	829.53
103081	2/04	RODRIGUEZ, ASHLEY & ALBERTO	110-00-21107-000-000	2010 RE TAX OVERPAY	92.21
103082	2/04	FOSTER, ROBERT & SANDRA	110-00-21106-000-000	2010 RE TAX OVERPAY	21.53
103083	2/04	PEKOSKE, SHAWNA	110-00-21106-000-000	2010 RE TAX OVERPAY	27.24
103084	2/04	NICPAN, CHRISTOPHER J	110-00-21107-000-000	2010 TAX-331 55 ST	92.21
103085	2/04	BRACKEEN, CHRISTOPHER AND	110-00-21106-000-000	2010 TAX-4603 37 AV	1,224.88
103086	2/04	BROCK, AGNES M	110-00-21106-000-000	2010 RE TAX OVERPAY	58.34
103087	2/04	LUVIANOS, OFELIA	110-00-21106-000-000	2010 RE TAX OVERPAY	97.33
103088	2/04	ZOERNER, JOSH	110-00-21106-000-000	2010 TAX 6204 24 AV	37.43
			110-00-21106-000-000	2010 R E TAX OVERPAY	13.29
				..... CHECK TOTAL	50.72
103089	2/04	GIVENS, JEFF	110-00-21106-000-000	2010 TAX 6341 12 AV	450.60
103090	2/04	CARDAMONE, JOSEPH & MELISSA	110-00-21107-000-000	2010 RE TAX OVERPAY	92.21
103091	2/04	FLANNERY, KRISTINE K	110-00-21106-000-000	2010 TAX 3601 63 ST	88.96
			110-00-21106-000-000	2010 RE TAX OVERPAY	15.59
				..... CHECK TOTAL	104.55
103092	2/04	KISS, LASZLO	110-00-44715-000-000	SECONDHAND DEALER	2.50
103093	2/04	MCPHAUL, MATTHEW J	110-00-44709-000-000	BARTENDER LICENSE	50.00
103094	2/04	STRUEBING, SARA M	110-00-44709-000-000	BARTENDER LICENSE	50.00
103095	2/04	BUENO-PLAYIA, JOSE ISMAEL	110-00-45103-000-000	FINE PMT #V641651	60.00
			110-00-45104-000-000	FINE PMT #V641651	28.00
			110-00-21901-000-000	FINE PMT #V641651	27.60
			110-00-21911-000-000	FINE PMT #V641651	13.00
			110-00-21910-000-000	FINE PMT #V641651	10.00
				..... CHECK TOTAL	138.60

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
103096	2/04	TAYLOR, DANIEL R	110-00-45103-000-000	FINE PMT #V473409	30.00
			110-00-45104-000-000	FINE PMT #V473409	28.00
			110-00-21911-000-000	FINE PMT #V473409	13.00
			110-00-21910-000-000	FINE PMT #V473409	10.00
			110-00-21901-000-000	FINE PMT #V473409	7.80
				..... CHECK TOTAL	88.80
103097	2/04	MARTIN, TAMMY S	110-00-45103-000-000	FINE PMT #J799736	25.60
103098	2/04	STRAY VOLTAGE LLC	110-00-44804-000-000	PERMIT-5818 50 AVE	160.72
			110-00-44804-000-000	PERMIT-5904 50 AVE	160.72
			110-00-44804-000-000	PERMIT-5912 50 AVE	160.72
			110-00-44804-000-000	PERMIT FEE-5110 60ST	160.72
				..... CHECK TOTAL	642.88
103099	2/04	SWARTZ, DAVID M	110-00-21106-000-000	2010 RE TAX OVERPAY	18.11
103100	2/04	TORRES, KENNETH N	110-00-21106-000-000	2010 RE TAX OVERPAY	149.11
103101	2/04	HALVERSON, LISA A	110-00-21106-000-000	2010 RE TAX OVERPAY	128.44
103102	2/04	GOLDSTEIN, BENNY & CAROLE	110-00-21106-000-000	2010 TAX-6046 34 AVE	80.50
103103	2/04	ECKERT, ELIZABETH A	110-00-21106-000-000	2010 TAX-6611 22 AVE	256.19
103104	2/04	MORRISSEY, JOHN W.	110-02-52101-367-000	2011 CLOTHING ALLOW	400.00
103105	2/04	WILKE, BRIAN	110-01-51701-261-000	01/11 83 MILES	42.33
103106	2/04	BILLINGSLEY, SHELLY	501-09-50101-261-000	1/26/11 230 MILES	117.30
103107	2/04	WASHINGTON, AL	110-01-50901-261-000	1/11 202 MILES	103.02
103108	2/04	CRUEY, EDWARD	110-01-50901-261-000	1/11 221 MILES	112.71
103109	2/04	BOSMAN, KEITH	110-01-51301-263-000	1/22-23 DUBUQUE	166.88
			110-01-51301-263-000	1/22-23 DUBUQUE	83.54
			110-01-51301-341-000	1/22-23 DUBUQUE	26.04
				..... CHECK TOTAL	276.46

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
103110	2/04	ANDERSON, TANYA L	110-02-52107-263-000	1/09-14 APPLETON	137.00
103111	2/04	FLASCH, JEFF	110-02-52201-311-000	STATION CALENDAR	26.89
103112	2/09	NEW FLYER	520-09-50201-347-000	1/11-TD BUS PARTS	179.70
			520-09-50201-347-000	12/10-TD BUS PARTS	58.30
				..... CHECK TOTAL	238.00
103113	2/09	WE ENERGIES	110-03-53109-221-000	1/11 STREET LIGHTING	60,056.63
			110-05-55109-221-000	1/11 STREET LIGHTING	607.23
				..... CHECK TOTAL	60,663.86
103114	2/09	NATIONAL RECREATION AND	110-05-55101-323-000	2011 MEMBERSHIP PKG	575.00
103115	2/09	INTERSTATE ELECTRIC SUPPLY	520-09-50201-347-000	1/11-TD ELECTRICAL S	386.32
			520-09-50202-249-000	1/11-TD ELECTRICAL S	177.26
			110-02-52203-382-000	1/11-FD#7 ELECTRICAL	55.26
			110-02-52203-246-000	1/11-FD ELECTRICAL S	26.70
			110-03-53103-246-000	1/11-ST ELECTRICAL S	17.19
				..... CHECK TOTAL	662.73
103116	2/09	OTIS ELEVATOR CO.	110-01-51801-242-000	ELEVATOR SERVICE	8,361.94
103117	2/09	TRAFFIC & PARKING CONTROL CO	110-03-53110-372-000	01/11 TRAFFIC SIGNS	577.00
			110-03-53110-372-000	01/11 TRAFFIC SIGNS	152.71
			110-03-53110-372-000	01/11 RETURN	293.29CR
				..... CHECK TOTAL	436.42
103118	2/09	VULCAN MATERIALS COMPANY	403-11-51002-588-000	CLEAR 3" - 1" STONE	1,429.75
103119	2/09	WILLKOMM INC., JERRY	521-09-50101-341-000	1/11-AR FUEL	2,719.37
103120	2/09	WIS DEPT OF REVENUE	110-00-21512-000-000	1/16-31/11 DEDUCTS	114,899.33
103121	2/09	WE ENERGIES	520-09-50301-222-000	#7 12/29-01/31	7,429.34
			110-01-51801-222-000	#7 12/28-01/27	5,828.92
			110-03-53103-222-000	#7 12/27-01/26	5,549.28
			520-09-50301-221-000	#7 12/29-01/31	4,680.76
			110-01-51801-221-000	#7 12/29-01/28	4,569.95
			110-05-55109-222-000	#7 12/27-01/26	4,539.84
			110-03-53116-222-000	#7 12/28-01/27	3,369.63
			110-03-53103-221-000	#7 12/28-01/27	2,985.63
			521-09-50101-221-000	#7 01/02-01/31	2,574.40
			521-09-50101-222-000	#7 01/02-01/31	2,564.01
			633-09-50101-222-000	#7 12/27-01/26	2,540.79
			632-09-50101-222-000	#7 12/27-01/26	2,085.35
			521-09-50101-221-000	#7 12/30-01/31	1,987.04
			110-03-53109-221-000	#7 12/26-01/25	1,884.37
			632-09-50101-221-000	#7 12/28-01/27	1,591.83

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
			110-03-53109-221-000	#7 12/29-01/30	1,453.26
			110-03-53109-221-000	#7 12/27-01/26	1,317.18
			110-02-52203-222-000	#7 12/28-01/27	1,256.61
			110-02-52203-222-000	#7 01/02-01/31	1,251.36
			110-05-55109-221-000	#7 12/28-01/27	1,055.04
			110-03-53109-221-000	#7 12/28-01/27	1,048.29
			520-09-50401-222-000	#7 12/26-01/25	1,022.32
			110-03-53109-221-000	#7 01/03-02/21	966.32
			110-03-53109-221-000	#7 01/02-01/31	919.40
			110-03-53109-221-000	#7 12/23-01/25	833.76
			110-02-52203-221-000	#7 01/02-01/31	827.05
			110-02-52203-222-000	#7 12/27-01/26	797.66
			110-03-53109-221-000	#7 12/29-01/28	694.19
			110-02-52110-221-000	#7 12/28-01/27	654.83
			110-02-52203-221-000	#9 12/28-01/27	588.18
			110-02-52203-221-000	#7 12/27-01/26	548.67
			110-01-51802-221-000	#7 912 35 ST	541.65
			110-03-53109-221-000	#7 12/29-01/26	520.96
			110-05-55111-222-000	#7 12/20-01/20	420.68
			110-02-52110-222-000	#7 12/28-01/27	240.72
			110-03-53103-221-000	#7 12/26-01/25	234.64
			110-05-55111-221-000	#7 12/28-01/27	230.86
			110-05-55109-221-000	#7 12/22-01/24	176.92
			110-05-55111-221-000	#7 12/29-01/28	100.03
			110-05-55109-221-000	#7 01/03-02/01	60.49
			110-01-51802-221-000	#7 2210 52 ST	59.01
			110-03-53109-221-000	#7 01/04-02/02	44.60
			110-03-53103-221-000	#7 12/29-01/30	36.35
			110-05-55109-221-000	#7 01/05-02/03	36.20
			110-03-53103-221-000	#7 12/27-01/26	33.47
			110-05-55109-222-000	#8 12/29-01/30	31.80
			110-05-55109-221-000	#7 12/29-01/30	31.80
			110-05-55111-222-000	#7 12/28-01/27	17.40
			110-05-55109-221-000	#7 12/26-01/25	10.53
			110-03-53109-221-000	#7 12/27-01/26	10.47
			521-09-50101-221-000	#7 01/03-02/01	8.07
				..... CHECK TOTAL	72,261.91
103122	2/09	WEST GROUP	110-01-50301-322-000	1/11-LE SUBSCRIPTION	452.75

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
103123	2/09	A & R DOOR SERVICE	520-09-50401-246-000	1/11 TD DOOR REPAIRS	173.75
103124	2/09	AT&T	110-02-52203-225-000	1/22-2/21 REPEATER	199.72
			110-03-53103-225-000	1/19-2/18 652-2605	162.24
			110-02-52203-225-000	1/19-2/18 652-5506	136.86
			521-09-50101-225-000	1/19-2/18 652-1332	81.12
			520-09-50301-225-000	1/19-2/18 652-6932	81.12
			520-09-50301-225-000	1/19-2/18 652-5104	40.55
			110-01-51801-225-000	1/19-2/18 652-4112	40.55
				..... CHECK TOTAL	742.16
103125	2/09	WIS DEPT OF JUSTICE	110-01-51303-219-000	01/11 SERVICES	14.00
103126	2/09	DOSEMAGEN, PAUL & CAROL	409-11-50804-581-000	TEMP LTD EASEMENT	1,000.00
103127	2/09	OFFICEMAX	110-02-52103-311-000	01/11 PD #1710 OFFC	556.00
			110-01-51701-311-000	01/11 CD #1709 OFFC	236.15
			520-09-50106-311-000	01/11 TD #1712 OFFC	223.11
			110-01-51101-311-000	01/11 FN #1706 OFFC	169.90
			110-01-51303-311-000	01/11 HR #1713 OFFC	143.11
			110-02-52103-311-000	01/11 PD #1711 OFFC	134.62
			110-02-52103-311-000	01/11 PD #1710 OFFC	126.58
			110-01-51101-311-000	01/11 FN #1707 OFFC	102.78
			110-02-52103-311-000	01/11 PD #1710 OFFC	36.96
			110-02-52103-311-000	01/11 PD 1710 RETRN	73.14CR
				..... CHECK TOTAL	1,656.07
103128	2/09	BANE-NELSON, INC.	409-00-13109-000-000	11/10 MONTHLY STORAG	150.00
			409-00-13109-000-000	10/10 EN MONTHLY STO	150.00
				..... CHECK TOTAL	300.00
103129	2/09	NORTH AMERICAN SALT CO.	630-09-50101-393-000	1/11 SEASONAL FILL S	34,463.36
			630-09-50101-393-000	1/11 SEASONAL FILL S	19,374.58
				..... CHECK TOTAL	53,837.94
103130	2/09	HOLLAND SUPPLY, INC.	520-09-50201-317-000	1/11-TD HYDRAULIC FI	139.60
			630-09-50101-393-000	1/11-CE HYDRAULIC FI	78.00
			630-09-50101-393-000	1/11-CE HYDRAULIC FI	57.84
			520-09-50201-347-000	1/11-TD HYDRAULIC FI	42.11
			630-09-50101-393-000	1/11-CE HYDRAULIC FI	30.03
				..... CHECK TOTAL	347.58

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
103131	2/09	PITNEY BOWES	110-01-51306-282-000	1/11-CT MACHINE LEAS	364.00
103132	2/09	STRAND ASSOCIATES, INC.	110-03-53117-219-000	GRNDWATER SAMPLING	505.96
103133	2/09	MANDLIK & RHODES INFORMATION	501-09-50102-219-000	01/11 COUPON REDMPTN	930.00
			501-09-50102-219-000	01/11 COUPON REDMPTN	774.00
			501-09-50102-219-000	01/11 SERVICES	350.00
			501-09-50102-219-000	01/11 COUPON INCNTV	37.20
			501-09-50102-219-000	01/11 COUPON INCNTV	30.96
			501-09-50102-219-000	01/11 POSTAGE MRIS	4.13
			501-09-50102-219-000	01/11 PER CHECK FEE	4.00
			501-09-50102-219-000	01/11 POSTAGE FEE	3.52
			501-09-50102-219-000	01/11 PER CHECK FEE	3.00
			501-09-50102-219-000	01/11 POSTAGE FEE	2.64
			501-09-50102-219-000	01/11 POSTAGE MRIS	1.77
			501-09-50102-219-000	01/11 CREDIT	301.39CR
				..... CHECK TOTAL	1,839.83
103134	2/09	KISER, JOSEPH	110-00-13101-000-000	ETF DEDUCTIONS	237.05
103135	2/09	24-7 EMS	206-02-52205-322-000	2011 SUBSCRIP RENWL	899.00
103136	2/09	PROFORMA	110-02-52601-367-000	CLOTHING PURCHASE	1,758.00
103137	2/09	HUMANA CLAIMS	611-09-50101-155-527	02/07/11 MED CLAIMS	124,516.14
			611-09-50101-155-527	02/07/11 PHARMACY	25,980.18
			611-09-50101-155-527	02/03/11 PHARMACY	12,854.00
			611-09-50101-155-527	02/02/11 MED CLAIMS	12,811.02
			611-09-50101-155-527	02/04/11 MED CLAIMS	7,352.55
			611-09-50101-155-527	02/02/11 PHARMACY	5,377.25
			611-09-50101-155-527	02/04/11 PHARMACY	3,412.39
			611-09-50101-155-527	02/03/11 MED CLAIMS	1,075.28
				..... CHECK TOTAL	193,378.81
103138	2/09	PIONEER COMMERCIAL CLEANING	110-01-51801-243-000	01/11 JANITORIAL SER	3,430.00
			110-01-51801-243-000	01/11 JANITORIAL SER	125.00
				..... CHECK TOTAL	3,555.00
103139	2/09	EMERGING COMMUNITIES CORP	492-11-50301-219-000	2/11 CONSULTING SERV	1,000.00

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
103140	2/09	WFCA FIRE SERVICE BOOKSTORE	110-02-52206-322-000	AERIAL APPARATUS	3,038.75
			110-02-52206-322-000	FIRE OFFICER:	299.59
				..... CHECK TOTAL	3,338.34
103141	2/09	MALLERY & ZIMMERMAN, SC	110-00-21581-000-000	2/04/11 CHRISTERSON	129.11
103142	2/09	VERIZON WIRELESS	110-02-52101-226-000	PD 01/11 SERVICE	193.73
			110-02-52201-226-000	FD 01/11 SERVICE	130.68
			110-01-51301-226-000	AD 01/11 SERVICE	130.68
			110-01-50301-226-000	LE 01/11 SERVICE	130.68
			631-09-50101-226-000	EN 01/11 SERVICE	129.33
			110-01-51303-226-000	HR 01/11 SERVICE	74.65
			110-01-51201-226-000	CT 01/11 SERVICE	66.09
			520-09-50301-226-000	TD 01//11 SERVICE	65.34
			110-01-51701-226-000	CD 01/11 SERVICE	65.34
			110-01-51101-226-000	FN 01/01/11	65.34
			110-02-52103-226-000	PD 01/11 SERVICE	64.91
			110-02-52601-226-000	DH 01/01/11	64.71
			521-09-50101-226-000	AR 01/11 SERVICE	64.66
			501-09-50101-226-000	SW 01/11 SERVICE	64.66
			110-05-55101-226-000	PA 01/11 SERVICE	64.66
			110-03-53101-226-000	PW 01/11 SERVICE	64.66
				..... CHECK TOTAL	1,440.12
103143	2/09	REGISTER OF DEEDS	110-09-56501-259-000	RAZE 2415 48TH ST	30.00
103144	2/09	INSTY-PRINTS	759-09-50101-311-000	BINDERS	2,719.44
103145	2/09	SCHINDLER ELEVATOR CORP.	521-09-50101-242-000	1/11-3/11-AR ELEVATO	117.24
103146	2/09	J EWENS DESIGN INC	754-09-50102-549-000	1/11-TRUCK GRAPHICS	498.50
			754-09-50102-575-000	1/11-BOBCAT GRAPHICS	256.75
				..... CHECK TOTAL	755.25
103147	2/09	WASTE MANAGEMENT	633-09-50101-253-000	01/11 LI WEEKLY PICK	80.21
			521-09-50101-219-000	01/11 AR PAPER RECYC	54.08
			110-05-55109-246-000	01/11 PA PAPER RECY	37.86
				..... CHECK TOTAL	172.15
103148	2/09	MENARDS (KENOSHA)	110-05-55109-344-000	01/11 PA MERCHANDISE	181.84
			110-03-53107-389-000	01/11 ST MERCHANDISE	160.80
			110-05-55109-344-000	01/11 PA MERCHANDISE	128.25
			110-03-53103-344-000	01/11 ST MERCHANDISE	47.91
				..... CHECK TOTAL	518.80

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
103149	2/09	PAYNE & DOLAN	289-06-50407-259-000	FINAL-RESURFACING	42,597.56
103150	2/09	PREVOST CAR (US) INC	520-09-50201-347-000	1/11-BUS PARTS	556.44
103151	2/09	SUNSHINE SPECIALTIES	110-02-52110-311-000	REISSUE CK 101211	800.00
103152	2/09	THE HIGHLAND GROUP OF WI	409-11-50804-581-000 409-11-50804-581-000	12/10 RE ACQ. SERVC 11/10 RE ACQ. SERVC	13,925.00 2,350.00
				..... CHECK TOTAL	16,275.00
103153	2/09	NATIONAL ELEVATOR INSP SVS	633-09-50101-242-000	INSPECTION ELEVATOR	75.00
103154	2/09	GILLIG CORPORATION	520-09-50201-347-000 520-09-50201-347-000 520-09-50201-347-000 520-09-50201-347-000	1/11-BUS PARTS 1/11-BUS PARTS 12/10-BUS PARTS 1/11-BUS PARTS	434.48 217.56 113.38 108.00
				..... CHECK TOTAL	873.42
103155	2/09	FBI - LEEDA	110-02-52101-323-000	5 2011 MEMBER DUES	250.00
103156	2/09	FOX VALLEY TECHNICAL COLLEGE	110-02-52107-264-000	01/09-14 4 OFFICERS	1,660.00
103157	2/09	PROCESSWORKS INC.	110-00-21578-000-000 110-00-21578-000-000	2/01/11 CHECK REG 2010 CHARGES	4,056.20 1,847.68
				..... CHECK TOTAL	5,903.88
103158	2/09	AIRGAS NORTH CENTRAL	206-02-52205-389-000 206-02-52205-389-000 520-09-50201-317-000 206-02-52205-389-000	01/11 FD #4 OXYGEN C 1/11 FD #3 OXYGEN CY 12/10 TD INDUSTRIAL 01/11 FD #5 OXYGEN C	82.13 72.83 50.97 47.24
				..... CHECK TOTAL	253.17
103159	2/09	SPECTERA, INC.	110-00-21534-000-000 110-00-21534-000-000	02/11 DEDUCTS 01/11 DEDUCTS	1,619.55 1,619.55
				..... CHECK TOTAL	3,239.10
103160	2/09	APEX ALARM SYSTEMS INC.	758-09-50110-259-850 758-09-50106-259-853 286-06-50302-259-000 285-06-50209-259-000 285-06-50208-259-000 285-06-50207-259-000 285-06-50206-259-000 285-06-50205-259-000 285-06-50204-259-000 285-06-50203-259-000 110-02-52101-219-000	INST ALARM SYS INST ALARM SYS #5221021 ALARM #5221020 ALARM #5221020 ALARM #5221020 ALARM #5221020 ALARM #5221020 ALARM #5221020 ALARM #5221020 ALARM #5221020 ALARM ANNUAL MONITORING	1,054.40 1,054.40 1,054.40 1,054.40 1,054.40 1,054.40 1,054.40 1,054.40 1,054.40 1,054.40 1,054.40 414.00
				..... CHECK TOTAL	10,958.00

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
103161	2/09	NORTH CENTRAL EMS COOP.	206-02-52205-323-000	20011 RENEWAL	75.00
103162	2/09	MOSEY, DEAN L	110-00-21106-000-000	2010 RE TAX OVERPAY	89.84
103163	2/09	ELM, MATTHEW C	110-00-21106-000-000	2010 RE TAX OVERPAY	98.70
103164	2/09	COHN, TERRI L	110-00-21106-000-000	2010 RE TAX OVERPAY	3.62
103165	2/09	BURFIELD, SARA J	110-00-21106-000-000	2010 RE TAX OVERPAY	25.18
103166	2/09	DELGADO, ANTERO & GLORIA	110-00-21106-000-000	2010 RE TAX OVERPAY	60.14
103167	2/09	FINKLER, LAWRENCE & JENNIFER	110-00-21106-000-000	2010 TAX-6317 30 AV	278.35
			110-00-21106-000-000	2010 TAX-4822 24 AV	242.40
			110-00-21106-000-000	2010 TAX-5122 29 AV	60.89
				..... CHECK TOTAL	581.64
103168	2/09	HERNANDEZ, DIANA	110-00-21905-000-000	BEACH HOUSE 1/30/11	100.00
103169	2/09	CHILDERS, DARRELL	110-00-13101-000-000	ETF DEDUCTIONS	342.66
103170	2/09	COCHRAN, TYLER	110-00-21106-000-000	2010 RE TAX OVERPAY	137.72
103171	2/09	MATERA, MARTIN A AND	110-00-21106-000-000	2010 RE TAX OVERPAY	166.44
103172	2/09	BERRY, CLAUDE	110-00-13101-000-000	ETF DEDUCTIONS	93.04
103173	2/09	WELLS, JAMES	110-00-21106-000-000	2010 RE TAX OVERPAY	318.96
103174	2/09	DOSEMAGEN, CHRISTIAN D	110-00-21107-000-000	2010 RE TAX OVERPAY	92.21
103175	2/09	CORELOGIC TAX SERVICES	110-00-21106-000-000	2010 TAX-4109 47 AV	4,428.02
			110-00-21106-000-000	2010 TAX-4822 20 AV	92.21
				..... CHECK TOTAL	4,520.23
103176	2/09	JOHNSON, JANE	110-00-13101-000-000	ETF DEDUCTIONS	94.26
103177	2/09	AIRGAS NORTH CENTRAL, INC	110-00-21106-000-000	2010 TAX-5703 77 ST	82.73
103178	2/09	GARCIA, GLORIA	110-00-21106-000-000	2010 TAX-4013 11 AVE	282.54

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
103179	2/09	PETERSON, GARY R	110-00-21106-000-000	2010 TAX-5221 35 AVE	107.36
103180	2/09	GOVEKAR, KATHLEEN J	110-00-21107-000-000	2010 RE TAX OVERPAY	92.21
103181	2/09	JONES, RYAN S	110-00-21106-000-000	2010 RE TAX OVERPAY	171.93
103182	2/09	BENNING, MICHAEL W	110-00-21106-000-000	2010 RE TAX OVERPAY	85.62
103183	2/09	MATHERLY, JULIE D	110-00-21106-000-000	2010 RE TAX OVERPAY	141.89
103184	2/09	ANNEN, DAN & ASHLEY	110-00-21106-000-000	2010 TAX-5017 26 AVE	726.65
103185	2/09	RETZLAFF, ELLIOT L	110-00-21106-000-000	2010 RE TAX OVERPAY	45.84
103186	2/09	RAUEN, LEONARD & ANNE	110-00-21106-000-000	2010 TAX-2408 61 ST	334.13
103187	2/09	YOUNG, JERDY	110-00-21107-000-000	2010 RE TAX OVERPAY	92.21
103188	2/09	ROYAL, BRYANNA	110-00-21905-000-000	BEACH HOUSE 1/29/11	300.00
103189	2/09	QUINN, BRIAN JR	110-01-50605-219-000	1/11/11 YOUTH COMM	50.00
103190	2/09	ENGEN, MITCH	110-02-52601-261-000	01/11 194 MILES	98.94
			110-02-52601-226-000	12/10 CELL PHONE	14.68
				..... CHECK TOTAL	113.62
103191	2/09	BLISE, PAULA	110-02-52601-261-000	01/11 515 MILES	262.65
103192	2/09	SOBBE, STACEY	110-02-52107-261-000	02/03/11 FRANKLIN	29.58
			110-02-52107-263-000	02/03/11 FRANKLIN	8.00
				..... CHECK TOTAL	37.58
103193	2/09	BAUMANN, RICHARD H.	110-02-52601-261-000	01/11 511 MILES	260.61
103194	2/09	SWARTZ, MARTHA E.	110-02-52601-261-000	01/11 236 MILES	120.36
103195	2/09	KRYSTOWIAK, PETER	110-01-50901-261-000	1/10/11 WI DELLS	158.10
103196	2/09	HILLESLAND, RICHARD	110-02-52601-261-000	01/11 711 MILES	362.61

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
103197	2/09	MIKOLAS, KEVIN	110-02-52601-261-000	01/11 413 MILES	210.63
103198	2/09	CHIAPPETTA, LOUIS	110-02-52601-261-000	01/11 294 MILES	149.94
103199	2/09	DUMKE, JOHN E.	110-02-52601-261-000	01/11 250 MILES	127.50
103200	2/09	SANCHEZ, MARGARITO	110-02-52601-261-000	01/11 222 MILES	113.22
103201	2/09	RAZAA, LATEEF	110-09-56405-166-000	1/08-2/08/11 PPD	1,222.00
103202	2/11	BINDELLI BROTHERS, INC	217-06-51630-259-000	5420 22 AV-BOARD	548.00
			217-06-51630-259-000	5414 22 AV-BOARD	548.00
			217-06-51630-259-000	5422 22 AV-BOARD	500.12
			217-06-51630-259-000	5502 23 AV-BOARD	274.00
			217-06-51630-259-000	5502 23 AV-BOARD	220.00
			110-09-56501-259-569	01/11 2705-2811 18TH	168.12
				..... CHECK TOTAL	2,258.24
103203	2/11	RNOW, INC.	630-09-50101-393-000	1/11-SE PARTS/MATERI	1,532.20
			630-09-50101-393-000	1/11-SE PARTS/MATERI	480.91
			630-09-50101-393-000	1/11-SE PARTS/MATERI	147.55
				..... CHECK TOTAL	2,160.66
103204	2/11	CHESTER ELECTRONICS SUPPLY	630-09-50101-393-000	02/11 CE-PARTS/MATRL	35.88
			110-02-52103-369-000	01/11 PD-FLASH DRV	19.78
			520-09-50201-347-000	01/11 TD-PARTS/MATRL	8.99
			632-09-50101-389-000	01/11 SE-PARTS/MATRL	5.98
				..... CHECK TOTAL	70.63
103205	2/11	GODFREY & KAHN, SC	110-01-51301-219-000	11-12/10 CHRYSLER	12,696.63
103206	2/11	CARDINAL HEALTH	206-02-52205-318-000	01/11 MEDICAL SUPPLI	254.45
			206-02-52205-318-000	01/11 MEDICAL SUPPL	131.46
			206-02-52205-318-000	01/11 MEDICAL SUPPLI	100.66
				..... CHECK TOTAL	486.57
103207	2/11	KENOSHA CITY EMPLOYEE'S	110-00-21562-000-000	2/11/11 CITY HRLY	15,818.25
			110-00-21562-000-000	2/11/11 WATER HRLY	4,249.85
			110-00-21562-000-000	2/11/11 MUSEUM HRLY	205.00
				..... CHECK TOTAL	20,273.10

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
103208	2/11	UNITED HOSPITAL SYSTEMS INC	110-09-56405-161-000	1/10/11 S BALLARD	459.97
			110-09-56405-161-000	12/24/10 R PFEFFER	316.61
			110-02-52101-219-000	1/11-#10-179482 LAB	49.60
			110-02-52101-219-000	1/11-#10-189283 LAB	49.60
			110-02-52101-219-000	1/11-#10-186863 LAB	49.60
			110-09-56405-161-000	1/2/11 D YANDEL	15.15
			110-09-56405-161-000	1/10/11 S BALLARD	12.90
				..... CHECK TOTAL	953.43
103209	2/11	RODE'S CAMERA	110-02-52204-385-000	12/10-FD SUPPLIES/PR	99.90
103210	2/11	SHOPKO DEPT. STORE	110-02-52203-382-000	1/11-FD#7 MERCHANDIS	101.12
			632-09-50101-389-000	1/11-SE MERCHANDISE	19.98
				..... CHECK TOTAL	121.10
103211	2/11	SIMPLEX GRINNELL	520-09-50202-246-000	FIRE ALARM	403.00
103212	2/11	WILLKOMM INC., JERRY	630-09-50101-392-000	1/11-SE DIESEL FUEL	21,510.00
103213	2/11	WISCONSIN MUNICIPAL	110-01-52001-323-000	2011 MEMBER DUES	100.00
103214	2/11	WIS FUEL & HEATING INC	630-09-50101-392-000	1/11-SE DIESEL FUEL	22,497.75
			630-09-50101-391-000	1/11-SE UNLEADED GAS	20,927.79
				..... CHECK TOTAL	43,425.54
103215	2/11	URBAN LAND INSTITUTE	110-01-51701-264-000	ENTRY-OPEN SPACE AWD	200.00
103216	2/11	BADGER OIL EQUIPMENT CO.	630-09-50101-235-000	1/11 REPAIR FUEL PUM	188.72
103217	2/11	BROOKS TRACTOR, INC.	521-09-50101-282-000	01/11 LOADER RENTAL	2,820.00
103218	2/11	AURORA EAP	611-09-50101-155-517	01-03/11 EAP 1ST QTR	3,265.56
103219	2/11	CHASE BANK KENOSHA	110-00-21513-000-000	02/11/11 HRLY DEDCT	41,680.76
			110-00-21612-000-000	02/11/11 HRLY DEDCT	16,531.64
			110-00-21511-000-000	02/11/11 HRLY DEDCT	11,198.88
			110-00-21614-000-000	02/11/11 HRLY DEDCT	3,928.06
			110-00-21514-000-000	02/11/11 HRLY DEDCT	3,927.93
				..... CHECK TOTAL	77,267.27

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
103220	2/11	FEDEX	110-01-51306-312-000	1/21 PW-WI DNR SHIP	16.90
103221	2/11	WINTER EQUIPMENT CO., INC	110-03-53107-349-000	PLOWGUARD CURBGUARD	7,092.50
			110-03-53107-349-000	HEAVY DUTY CURBGUARD	5,079.65
				..... CHECK TOTAL	12,172.15
103222	2/11	OFFICEMAX	110-03-53103-311-000	01/11 ST #1716 OFFC	113.69
			110-01-50301-311-000	01/11 LE #1721 OFFC	97.80
			110-02-52601-311-000	01/11 DH #1720 OFFC	73.97
			611-09-50101-155-504	01/11 HR #1719 OFFC	71.91
			110-03-53101-311-000	01/11 PW #1715 OFFC	56.46
			110-01-51303-311-000	01/11 HR #1714 OFFC	51.38
			110-01-51301-311-000	01/11 AD #1717 OFFC	30.38
			110-02-52601-311-000	01/11 DH #1720 OFFC	18.79
			110-01-50301-311-000	01/11 LE #1721 OFFC	17.43
			501-09-50101-311-000	01/11 PW #1715 OFFC	14.20
			501-09-50103-388-000	01/11 PW #1715 OFFC	12.99
			110-01-50301-311-000	01/11 LE #1721 OFFC	11.69
				..... CHECK TOTAL	570.69
103223	2/11	PREISS, IRENE	110-02-52203-165-000	02/11 BENEFITS	941.50
			110-02-52203-165-000	02/11 BENEFITS	410.53
				..... CHECK TOTAL	1,352.03
103224	2/11	ZAK, PAUL	110-02-52203-165-000	02/11 BENEFITS	861.97
103225	2/11	SOUTHEAST PARK & RECREATION	110-05-55109-323-000	2011 MEMBER RENEWAL	25.00
103226	2/11	MADISON TRUCK EQUIPMENT	630-09-50101-393-000	1/11-SE PARTS/SERVIC	763.00
			630-09-50101-393-000	1/11-SE PARTS/SERVIC	31.05
				..... CHECK TOTAL	794.05
103227	2/11	LINCOLN CONTRACTORS SUPPLY	501-09-50105-361-000	1/11-SW TOOLS/SUPPLI	21.70
			501-09-50105-361-000	1/11-SW TOOLS/SUPPLI	13.79
				..... CHECK TOTAL	35.49
103228	2/11	UNIVERSITY OF WIS-LAW SCHOOL	110-01-50301-322-000	1/11-LEGAL PUBLICATI	75.00
103229	2/11	SCHELBLE & HEMMER, S.C.	110-00-21581-000-000	02/11/11 B GARRETT	101.61

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
103230	2/11	AT CONFERENCE	110-01-51801-225-000	1/18/11 AECOM/DRN	15.82
103231	2/11	RAMAKER & ASSOCIATES	405-11-50808-219-000	PROFESSIONAL SERVICE	485.00
103232	2/11	BENDLIN FIRE EQUIPMENT CO.	206-02-52205-344-000	01/11 PARTS/MATERL	420.87
			110-02-52203-344-000	01/11 PARTS/MATERL	254.14
			110-02-52203-344-000	01/11 PARTS/MATERL	236.79
				..... CHECK TOTAL	911.80
103233	2/11	CHEM-TECH INTERNATIONAL	110-01-51801-241-000	WATER TRMNT CONSULT	45.00
103234	2/11	WIS DEPT OF ADMINSTRATION	110-02-52103-311-000	CITATIONS	650.00
103235	2/11	MANDLIK & RHODES INFORMATION	501-09-50102-219-000	1/11 COUPON REDMPTN	2,094.00
			501-09-50102-219-000	1/11 COUPON REDMPTN	748.00
			501-09-50102-219-000	2/11 PROFSNL SERVC	350.00
			501-09-50102-219-000	1/11 COUPON INCENTV	83.76
			501-09-50102-219-000	1/11 COUPON INCENTV	29.92
			501-09-50102-219-000	1/11 PER CHECK FEE	3.00
			501-09-50102-219-000	1/11 PER CHECK FEE	3.00
			501-09-50102-219-000	1/11 POSTAGE FEE	2.64
			501-09-50102-219-000	1/11 POSTAGE FEE	2.64
			501-09-50102-219-000	1/11 POSTAGE MRIS	1.73
			501-09-50102-219-000	1/11 POSTAGE MRIS	.44
				..... CHECK TOTAL	3,319.13
103236	2/11	CICCHINI ASPHALT LLC	401-11-51001-585-000	FINAL-RESURF PHS II	10,146.18
103237	2/11	TRANSPORTATION DEVELOPMENT	520-09-50301-323-000	2011 MEMBER DUES	240.00
103238	2/11	LEE PLUMBING, INC.	414-11-50902-583-000	INSTALL TOILETS	875.00
103239	2/11	UNISOURCE	110-01-51101-311-000	1/11-FN PAPER PRODUC	497.27
103240	2/11	CINTAS DOCUMENT MANAGEMENT	110-02-52101-219-000	01/11 PURGE SERVICE	17.50
103241	2/11	HUMANA CLAIMS	611-09-50101-155-527	02/09/11 MED CLAIMS	256,195.86
			611-09-50101-155-527	02/10/11 PHARMACY	6,182.30
			611-09-50101-155-527	02/08/11 PHARMACY	5,020.18
			611-09-50101-155-527	02/10/11 MED CLAIMS	3,903.03
			611-09-50101-155-527	02/09/11 PHARMACY	3,714.06
			611-09-50101-155-527	02/08/11 MED CLAIMS	47.40
				..... CHECK TOTAL	275,062.83

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CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
103242	2/11	RUEKERT & MIELKE, INC.	403-11-51002-588-000	SEWER INSPECTION	8,020.80
103243	2/11	CUMMINS NPOWER, LLC	520-09-50201-347-000	01/11 TD-PARTS/SERVI	402.98
			520-09-50201-347-000	01/11 TD-PARTS/SERVI	353.76
				..... CHECK TOTAL	756.74
103244	2/11	WISCONSIN HYDRAULICS	630-09-50101-393-000	1/11-SE LABOR/MATERI	1,738.15
103245	2/11	INDEPENDENT MACHINE COMPANY	520-09-50401-317-000	CUTTING INSERT	590.48
103246	2/11	DIVERSIFIED COLLECTION SVCS	110-00-21581-000-000	02/11/11 L SAYLOR	17.80
103247	2/11	MALLERY & ZIMMERMAN, SC	110-00-21581-000-000	2/11/11 CHRISTERSON	129.89
103248	2/11	LETVEN, ESTHER	761-09-50101-219-000	DIRECT PLAN 3	637.50
103249	2/11	MALSACK, J	463-11-50802-219-000	1/11 PROPOSAL A SNOW	1,097.25
			461-11-51001-581-000	1/11 PROPOSAL B SNOW	1,002.25
			401-11-50712-581-000	1/11 PROPOSAL C SNOW	622.25
			110-09-56501-259-566	1/11 5525 8TH SNOW R	400.00
			110-09-56501-259-566	1/11 5821 5TH SNOW R	375.00
			110-09-56501-259-566	1/11 5821 SHER SNOW	230.00
			110-09-56501-259-566	1/11 6224 54TH SNOW	195.00
			110-09-56501-259-566	1/11 5722 6TH SNOW R	180.00
			110-09-56501-259-566	1/11 1803 21ST SNOW	168.00
			110-09-56501-259-566	1/11 4720 21ST SNOW	163.00
			110-09-56501-259-566	1/11 5500 6TH SNOW R	160.00
			110-09-56501-259-566	1/11 7026 26TH SNOW	155.00
			110-09-56501-259-566	1/11 5302 35TH SNOW	155.00
			110-09-56501-259-566	1/11 5225 22ND SNOW	150.00
			110-09-56501-259-566	1/11 5600 33RD SNOW	150.00
			110-09-56501-259-566	1/11 3700 22ND SNOW	150.00
			110-09-56501-259-566	1/11 3560 17TH SNOW	147.00
			110-09-56501-259-566	1/11 1402 56TH SNOW	135.00
			110-09-56501-259-566	1/11 7402 30 AVSNOW	134.00
			110-09-56501-259-566	1/11 5825 4TH SNOW R	117.00
			110-09-56501-259-566	1/11 7840 14TH SNOW	117.00
			110-09-56501-259-566	1/11 622/28 58TH SNO	84.00
			463-11-50802-219-000	1/11 5410/30 22ND AV	78.37
			110-09-56501-259-566	1/11 6620 26TH SNOW	55.00
			110-09-56501-259-566	1/11 6614 26TH SNOW	55.00
			110-09-56501-259-566	1/11 9022 15TH SNOW	55.00
			110-09-56501-259-566	1/11 9028 15TH SNOW	55.00
			110-09-56501-259-566	1/11 5120 21ST SNOW	55.00
			110-09-56501-259-566	1/11 1815 80TH SNOW	55.00
			110-09-56501-259-566	1/11 3717 60TH SNOW	55.00
			110-09-56501-259-566	1/11 7112 27TH SNOW	55.00
			110-09-56501-259-566	1/11 7724 34TH SNOW	55.00
			110-09-56501-259-566	1/11 8306 25TH SNOW	55.00

START DATE FOR SUMMARY: 2/01 END DATE FOR SUMMARY: 2/15

CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
			110-09-56501-259-566	1/11 1205 65TH SNOW	55.00
			110-09-56501-259-566	1/11 3020 RSVLT SNOW	55.00
			110-09-56501-259-566	1/11 1414 60TH SNOW	55.00
			110-09-56501-259-566	1/11 1410 60TH SNOW	55.00
			110-09-56501-259-566	1/11 5612 7TH SNOW R	55.00
			110-09-56501-259-566	1/11 5703 6TH SNOW R	55.00
			110-09-56501-259-566	1/11 3634 22ND SNOW	55.00
			110-09-56501-259-566	01/11 6212 50TH SNOW	55.00
			758-09-50106-259-850	1/11 6615 15TH SNOW	54.04
			758-09-50105-259-850	1/11 5512 24TH SNOW	54.04
			758-09-50104-259-850	1/11 6638 16TH SNOW	54.04
			758-09-50103-259-850	1/11 1414 59TH SNOW	54.04
			758-09-50110-259-850	1/11 5810 19TH SNOW	54.03
			758-09-50109-259-850	1/11 6105 25TH SNOW	54.03
			758-09-50108-259-850	1/11 5126 21SST SNOW	54.03
			758-09-50107-259-850	1/11 2103 45TH SNOW	54.03
				..... CHECK TOTAL	7,587.40
103250	2/11	BARNES DISTRIBUTION	110-02-52203-344-000	1/11 FD-REPAIR/SUPL	352.09
103251	2/11	CHRISTIANSEN HEATING & SHEET	284-06-50302-259-000	#5218541 HVAC	125.00
103252	2/11	ELECTRICAL CONTRACTORS, INC	110-05-55109-248-000	FLAG POLE LIGHT CK	323.49
103253	2/11	WIS DEPT OF REVENUE	761-00-21512-000-000	01/11 KCM DEDCUTS	297.90
103254	2/11	MARTIN PETERSEN COMPANY, INC.	520-09-50202-249-000	ELEVATOR HEATER	175.50
103255	2/11	FASTENAL COMPANY	630-09-50101-393-000	1/11 CE-TOOLS/MATRLS	55.23
			501-09-50104-389-000	1/11 SW-TOOLS/MATRLS	18.10
			501-09-50104-389-000	1/11 SW-TOOLS/MATRLS	11.83
			501-09-50104-389-000	1/11 SW-TOOLS/MATRLS	8.75CR
				..... CHECK TOTAL	76.41
103256	2/11	CDW-G	110-02-52101-389-000	1/11 STARTECH 1 PRT	35.02
103257	2/11	WAUSAU EQUIPMENT CO.	630-09-50101-393-000	1/11-SE PARTS/MATERI	382.10
103258	2/11	STATE BAR OF WISCONSIN	110-01-50301-322-000	1/11-LEGAL PUBLICATI	18.70

START DATE FOR SUMMARY: 2/01 END DATE FOR SUMMARY: 2/15

CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
103259	2/11	MENARDS (KENOSHA)	110-02-52203-382-000	1/11-FD#7 MERCHANDIS	99.92
			632-09-50101-389-000	1/11-SE MERCHANDISE	94.63
			110-02-52203-382-000	1/11-FD#3 MERCHANDIS	44.43
			110-02-52203-344-000	1/11-FD#4 MERCHANDIS	42.39
			110-03-53103-389-000	1/11-ST MERCHANDISE	41.51
			501-09-50103-361-000	1/11-SW MERCHANDISE	39.97
			501-09-50103-362-000	1/11-SW MERCHANDISE	19.99
			501-09-50105-344-000	1/11-SW MERCHANDISE	19.47
			632-09-50101-389-000	1/11-SW MERCHANDISE	13.97
				..... CHECK TOTAL	416.28
103260	2/11	BELLE CITY FIRE EXTINGUISHER	110-02-52203-389-000	1/11 STN4 EXTINGUISH	294.95
			110-02-52203-389-000	1/11 STN5 EXTINGUISH	107.65
			110-02-52203-389-000	1/11 STN3 EXTINGUISH	15.40
				..... CHECK TOTAL	418.00
103261	2/11	WIS SCTF	110-00-21581-000-000	02/11/11 HRLD DEDCT	1,295.04
103262	2/11	ALL KOOL RADIATOR REPAIR	630-09-50101-393-000	1/11 CE #67RAD-RADTR	1,035.00
			630-09-50101-393-000	1/11 #8520 RADIATOR	120.00
				..... CHECK TOTAL	1,155.00
103263	2/11	ILLINOIS DEPT OF PUBLIC AID	110-00-21581-000-000	02/11/11 J PETRILLO	139.82
103264	2/11	BRICKLINE, INC.	401-11-50908-589-000	FINAL-PAVEMENT MARKI	1,136.88
103265	2/11	AUTO GLASS SPECIALISTS, INC.	630-09-50101-393-000	1/11 #2592 GLASS/ACC	316.80
103266	2/11	ROCKFORD IND. WELDING	632-09-50101-389-000	1/11-SE SUPPLIES/MAT	25.13
103267	2/11	TIME WARNER CABLE	110-01-51102-233-000	2/9-3/8/11-STORES GA	74.95
			524-05-50101-219-000	2/11-GO MONTHLY CABL	16.92
				..... CHECK TOTAL	91.87
103268	2/11	R.A. ADAMS ENTERPRISES, INC.	420-11-51001-579-000	TRAILER (OPTION 15)	9,492.00
103269	2/11	WELLS FARGO HOME MORTGAGE	110-00-21106-000-000	2010 TAX 7703 16 AV	195.38
103270	2/11	GATEWAY TECH COLLEGE	245-09-50101-264-000	12/06-09 TRAINING	1,193.60

START DATE FOR SUMMARY: 2/01 END DATE FOR SUMMARY: 2/15

CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
103271	2/11	INTERNATIONAL ASSOC OF	110-02-52101-323-000	2011 3 MEMBER DUES	360.00
103272	2/11	MIDWEST GRAPHICS SERVICES	420-11-50905-589-000	1/11-SALT SHED PRINT	316.80
			420-11-50905-589-000	1/11-SALT SHED PRINT	181.44
				..... CHECK TOTAL	498.24
103273	2/11	GOODYEAR AUTO SERVICE CTR	110-02-52203-344-000	1/11 BATT#1 TIRE WRK	652.73
103274	2/11	PROCESSWORKS INC.	110-00-21578-000-000	2/08/11 CHECK REG	1,862.79
			110-00-21578-000-000	2010 CHARGES	240.03
				..... CHECK TOTAL	2,102.82
103275	2/11	RIMKUS, JASON	761-09-50101-111-000	2/01-15/11 SERVICES	1,840.80
			761-00-21514-000-000	2/01-15/11 SERVICES	26.69CR
			761-00-21511-000-000	2/01-15/11 SERVICES	77.31CR
			761-00-21599-000-000	2/01-15/11 SERVICES	92.04CR
			761-00-21512-000-000	2/01-15/11 SERVICES	102.40CR
			761-00-21513-000-000	2/01-15/11 SERVICES	216.00CR
				..... CHECK TOTAL	1,326.36
103276	2/11	PIRO, RALPH	761-09-50101-111-000	2/01-15/11 SERVICES	872.31
			761-00-21514-000-000	2/01-15/11 SERVICES	12.65CR
			761-00-21599-000-000	2/01-15/11 SERVICES	25.00CR
			761-00-21511-000-000	2/01-15/11 SERVICES	36.64CR
			761-00-21512-000-000	2/01-15/11 SERVICES	37.30CR
			761-00-21513-000-000	2/01-15/11 SERVICES	74.00CR
				..... CHECK TOTAL	686.72
103277	2/11	AVI MIDWEST LLC	761-09-50101-235-000	02-04/11 MAINT	2,798.00
103278	2/11	ASCAP	222-09-50101-219-000	MUSIC LICENSE FEE	740.00
103279	2/11	OCCUCARE SYSTEMS & SOLUTIONS	110-09-56405-161-000	3/15/10 B MILLER	1,861.77
103280	2/11	TRUE COURSE MDCS LLC	110-09-56405-161-000	11/19/10 J BILL	438.20
103281	2/11	KENOSHA EMERGENCY PHYSICIANS	110-09-56405-161-000	12/24/10 R PFEFFER	182.75
103282	2/11	AURORA HEALTH CARE	520-09-50101-161-000	1/8/11 R POYNER	690.05
			110-09-56405-161-000	11/19/10 J BILL	508.64
				..... CHECK TOTAL	1,198.69

START DATE FOR SUMMARY: 2/01 END DATE FOR SUMMARY: 2/15

CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
103283	2/11	WHEATON FRANCISCAN MED GRP	110-09-56405-161-000	011311 D PALMER	98.90
103284	2/11	BERASTAIN-FIALLO, ELISA	110-00-21106-000-000	2010 RE TAX OVERPAY	30.50
103285	2/11	SHEWMAKE, ORVILLE F, III	110-00-21106-000-000	2010 RE TAX OVERPAY	55.76
103286	2/11	EDWARDS, LEE & CAROL	110-00-21106-000-000	2010 RE TAX OVERPAY	258.68
103287	2/11	KOHN LAW FIRM S.C.	110-00-21581-000-000	2/11/11 D LARSON	389.63
103288	2/11	HETZEL, THOMAS & LAURA J	110-00-21106-000-000	2010 RE TAX OVERPAY	37.44
103289	2/11	GOMEZ, JESSICA	110-00-21905-000-000	ORIBILETTI 1/29/11	100.00
103290	2/11	CIEPLY, DESTINEE N	110-00-44709-000-000	BARTENDER LICENSE	50.00
103291	2/11	TOBIAS, ARMANDO	110-00-21106-000-000	2010 TAX-6222 11 AV	244.21
103292	2/11	RUFFALO, FRANK	110-00-21106-000-000	2010 TAX-1813 50 ST	235.07
103293	2/11	WILLING, PAUL & PHYLLIS	110-00-21107-000-000	2010 RE TAX OVERPAY	92.21
103294	2/11	SUCEVICH, MICHAEL H	110-00-21107-000-000	2010 RE TAX OVERPAY	92.21
103295	2/11	ANDERDON, RONALD AND	110-00-21106-000-000	2011 RE TAX OVERPAY	96.66
103296	2/11	SEICHTER, YVONNE	110-00-21106-000-000	2011 TAX-1324 56 ST	101.36
103297	2/11	FARMER, CYNTHIA S	110-00-21106-000-000	2011 RE TAX OVERPAY	126.11
103298	2/15	ICMA RETIREMENT TRUST	110-00-21572-000-000	2/01-15/11 CONTRIBS	50,873.87
			110-00-21599-000-000	2/01-15/11 CONTRIBS	1,390.00
				..... CHECK TOTAL	52,263.87
103299	2/15	KENOSHA CITY EMPLOYEE'S	110-00-21562-000-000	2/15/11 CITY SAL	47,434.42
			110-00-21562-000-000	2/15/11 LIBRARY SAL	8,613.50
			110-00-21562-000-000	2/15/11 WATER SAL	7,727.50
				..... CHECK TOTAL	63,775.42
103300	2/15	KENOSHA CITY EMPLOYEE'S	110-00-21553-000-000	2/15/11 SAL DEDUCT	40.82

START DATE FOR SUMMARY: 2/01 END DATE FOR SUMMARY: 2/15

CHECK #	CHECK DATE	VENDOR NAME	ACCOUNT	DESCRIPTION	AMOUNT
103301	2/15	UNITED WAY OF KENOSHA COUNTY	110-00-21541-000-000	2/15/11 CITY SAL	1,283.23
			110-00-21541-000-000	2/15/11 LIBRARY SAL	241.00
			110-00-21541-000-000	2/15/11 WATER SAL	180.00
				..... CHECK TOTAL	1,704.23
103302	2/15	KENOSHA POLICE & FIREMEN'S	110-00-21563-000-000	2/15/11 SAL DEDUCT	94,599.00
103303	2/15	AMERICAN STUDENT ASSISTANCE	110-00-21581-000-000	2/15/11 H TOLBERT	203.86
103304	2/15	CHASE BANK KENOSHA	110-00-21513-000-000	2/15/11 SAL DEDUCT	196,381.55
			110-00-21612-000-000	2/15/11 SAL DEDUCT	67,666.26
			110-00-21511-000-000	2/15/11 SAL DEDUCT	45,838.87
			110-00-21614-000-000	2/15/11 SAL DEDUCT	20,381.47
			110-00-21514-000-000	2/15/11 SAL DEDUCT	20,381.46
				..... CHECK TOTAL	350,649.61
103305	2/15	PREISS, IRENE	110-02-52203-165-000	02/11 BENEFITS	410.53
103306	2/15	TUDJAN, EDWARD	110-02-52203-165-000	02/11 BENEFITS	941.50
103307	2/15	KENOSHA FIREFIGHTER C.A.R.E.	110-00-21564-000-000	02/15/11 SAL DEDUCT	729.00
103308	2/15	MESSERLI & KRAMER P.A.	110-00-21581-000-000	02/15/11 A PAURA	191.81
103309	2/15	CHAPTER 13 TRUSTEE	110-00-21581-000-000	02/15/11 B MIFFLIN	419.00
			110-00-21581-000-000	02/15/11 H DARBY	283.00
				..... CHECK TOTAL	702.00
103310	2/15	WIS SCTF	110-00-21581-000-000	02/15/11 SAL DEDUCT	7,592.57
103311	2/15	ILLINOIS DEPT OF PUBLIC AID	110-00-21581-000-000	02/15/11 M RIVERA	278.00
103312	2/15	IAFF/NATIONWIDE	110-00-21574-000-000	2/01-15/11 CONTRIBS	19,898.99
103313	2/15	J D BENEFITS, INC	110-00-21517-000-000	02/01-15/11 DEDUCTS	830.72
103314	2/15	GREAT WEST RETIREMENT SERV.	110-00-21576-000-000	2/01-15/11 CONTRIBS	10,662.23
GRAND TOTAL FOR PERIOD *****					3,949,337.33

City Plan Division 625 52 <sup>nd</sup> Street Kenosha, WI 53140 262.653.4030	Kenosha City Plan Commission  <b>FACT SHEET</b>	February 24, 2010	Item 1
<b>Conditional Use Permit for a 4,070 s.f. restaurant with a drive-thru to be located at the northeast corner of Green Bay Road and Washington Road, District #16. (McDonald's at Kenosha Pointe)  PUBLIC HEARING</b>			

**LOCATION/SURROUNDINGS:**

Site: Northeast Corner of Green Bay Road (STH 31) and Washington Road (CTHS)  
Zoned: B-2 Community Business District/Air-4 Airport Overlay District

**NOTIFICATIONS/PROCEDURES:**

The alderman of the district, Alderman Downing, has been notified. The Common Council is the final review authority.

**ANALYSIS:**

- The applicant is proposing to construct a fast-food restaurant with a drive-thru on one of the lots in the Kenosha Pointe development, located at the northeast corner of Green Bay Road and Washington Road. The proposed development would be directly east of the CVS Pharmacy, currently under construction.
- The proposed materials are brick and cultured stone. Per Section 14.07 B.10(e) of the Zoning Ordinance, buildings in a Unified Business Center shall have consistent materials and colors. The brick proposed for this application is a different shade of red than the brick on the CVS Pharmacy. The brick color shall be re-evaluated for this application to be consistent with the CVS Pharmacy. The remainder of the building exterior complies with City Ordinances.
- The majority of the physical infrastructure for the shopping center has been installed. The applicant will be responsible only for their on-site improvements.
- The site is part of a Unified Business Center and will only be permitted one monument sign.
- The plans were sent to City Departments for their review. Their comments are included in the attached Conditions of Approval.
- The plans generally comply with Sections 4 and 14 of the Zoning Ordinance.

**RECOMMENDATION:**

A recommendation is made to approve the Conditional Use Permit, subject to the attached Conditions of Approval.



Brian R. Wilke, Development Coordinator  
/u2/acct/cp/ckays/1CPC/2011/Feb24/fact-cup-mcdonalds.odt



Jeffrey B. Labahn, Director of City Development

<p>City Plan Division 625 52nd Street Kenosha, WI 53140 262.653.4030</p>	<p><b>Kenosha City Plan Commission Conditions of Approval</b></p>	<p><b>McDonald's at Kenosha Pointe NEC Green Bay Road and Washington Road</b></p>	<p>February 24, 2011</p>
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1. The following Conditions of Approval will run with the land and shall be included in a document recorded with the Kenosha County Register of Deeds:
  - a. The applicant shall obtain all required construction permits from the Department of Neighborhood Services & Inspections. This includes, but is not limited to Erosion Control, Building, Plumbing, Electrical, Dumpster Enclosure and Occupancy permits.
  - b. The applicant shall obtain a Parking Lot permit from the Department of Public Works.
  - c. All signs shall comply with Chapter 15 of the Code of General Ordinances and the applicant shall obtain sign permits for all new signs. A separate submission and permits are required for all signs. Sign information provided under the Conditional Use Permit is for reference only and does not constitute sign permit approval. Since the site is part of a Unified Business Center, it is permitted only one freestanding monument sign.
  - d. The development shall be constructed per the approved Building, Site, Drainage, Utility and Landscaping Plans on file with the Department of City Development, Room 308, 625 52<sup>nd</sup> Street, Kenosha, WI 53140. Any changes to the approved plans shall require an amendment to the Conditional Use Permit. All changes shall be submitted to the Department of City Development for review and approval.
  - e. Prior to the issuance of any occupancy permits, all parking areas, drives and designated paved areas shall have the initial lift of asphalt installed. The building exterior shall be completed per the approved plans, the exterior lighting shall be installed and the Conditional Use Permit shall be recorded with the Kenosha County Register of Deeds. All improvements indicated on the plans, including landscaping, shall be installed prior to the issuance of a final Occupancy permit. The recording fees for the Conditional Use Permit shall be submitted by the applicant.
  - f. Compliance with City and State and/or Federal Codes and Ordinances and any Conditions noted in the recorded Developers Agreement.
  - g. All roof top mechanicals shall be properly screened per Section 14.07 B.10 of the Zoning Ordinance.
  - h. All trash containers shall be stored within the enclosure. Applicant/owner shall be responsible for waste collection and removal for the development. The City of Kenosha shall not provide waste collection or removal services or incur any cost in this regard.

<p>City Plan Division 625 52nd Street Kenosha, WI 53140 262.653.4030</p>	<p><i>Kenosha City Plan Commission Conditions of Approval</i></p>	<p><b>McDonald's at Kenosha Pointe NEC Green Bay Road and Washington Road</b></p>	<p>February 24, 2011</p>
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- i. The applicant shall meet all applicable Conditions of Approval and obtain a building permit within six (6) months of Common Council approval of the Conditional Use Permit or the Conditional Use Permit shall be null and void.
  - j. Outdoor display of products is prohibited.
  - k. All vehicles shall be parked within the designated paved areas.
  - l. All improvements, including landscaping, shall be maintained per the approved plans. Any damaged fencing, landscaping or building shall be replaced or reconstructed per the approved plans.
  - m. Cross access shall be provided to adjacent parcels if required at a future date by the City.
  - n. Compliance with the Operational Plan.
  - o. Compliance with the Kenosha Water Utility memo dated January 28, 2011.
  - p. Light fixtures and poles shall be compatible to the fixtures and poles used for the CVS Pharmacy.
2. The following conditions of approval shall be satisfied with City Staff prior to the issuance of any construction permits.
- a. The applicant shall provide the Department of City Development with a certificate from the County Treasurer stating that there are no past due real estate taxes or special assessments on the site per Section 2.02.B.8 of the Zoning Ordinance.
  - b. An Operational Plan shall be submitted that complies with Section 4.03 A.3 of the Zoning Ordinance.
  - c. The Lighting Plan shall be revised to show light fixture mountings with glare shields installed. The Plan shall show that the fixture is mounted with a zero degree tilt.
  - d. The Grading, Drainage, and Storm Sewer Plans generally lack much of the required information listed on the Storm Water Management Plan worksheet.
  - e. The Storm Sewer and Grading Plans lack the areas draining to the individual inlets (including those already in place) and any indication of what the storm water overflow routes will be.

City Plan Division  
625 52nd Street  
Kenosha, WI 53140  
262.653.4030

***Kenosha City Plan  
Commission  
Conditions of Approval***

**McDonald's at  
Kenosha Pointe  
NEC Green Bay  
Road and  
Washington Road**

February 24, 2011

- f. Since references to the existing Storm Water Management Plan for the entire site are made, please provide either a copy of the plan or independent information on these items.
- g. A Storm Water Management Permit is required.
- h. Provide a detailed plan on the masonry trash corral, recycle bin and storage shed. The gates shall be constructed either of wood or chain-link fencing with slats.
- i. The drive-thru lane shall be eleven (11') feet wide.
- j. The dimensions are incorrect for a 60-degree angle parking stall. The drive aisle shall be seventeen (17') feet wide and the parking stalls shall be twenty and one half (20.5') feet in depth.
- k. The Landscaping Plan shall show areas for snow storage.
- l. Include a sidewalk connection to the north/south private driveway west of the project site.
- m. The brick color shall be modified to be compatible with the brick used on the CVS Pharmacy.

/u2/acct/cp/ckays/1CPC/2011/Feb24/conditions-mcdonalds.odt

**Engineering Services**  
4401 Green Bay Road  
Kenosha WI 53144

Phone (262) 653-4315  
Fax (262) 653-4303



*"Providing and Protecting Kenosha's Greatest Natural Resource"*

MEMO

To: Brian Wilke, Development Coordinator

From: Curt Czarnecki, Water Engineer

Date: January 28, 2011

Subject: McDonald's at Kenosha Pointe

Location: Northeast corner of Green Bay Road and Washington Road

The Kenosha Water Utility (KWU) has reviewed the submittal for the above referenced project. The plans dated January 20, 2011 are approved subject to the following conditions:

1. Based on the proposed 2-inch water meter this development will be subject to a \$26,252.00 sewer connection fee.
2. Kenosha Water Utility shall be notified prior to the connections to the existing sanitary sewer lateral and water service. KWU personnel shall inspect the connections to ensure they meet all KWU specifications.

Cc: Bob Carlson, Director of Engineering

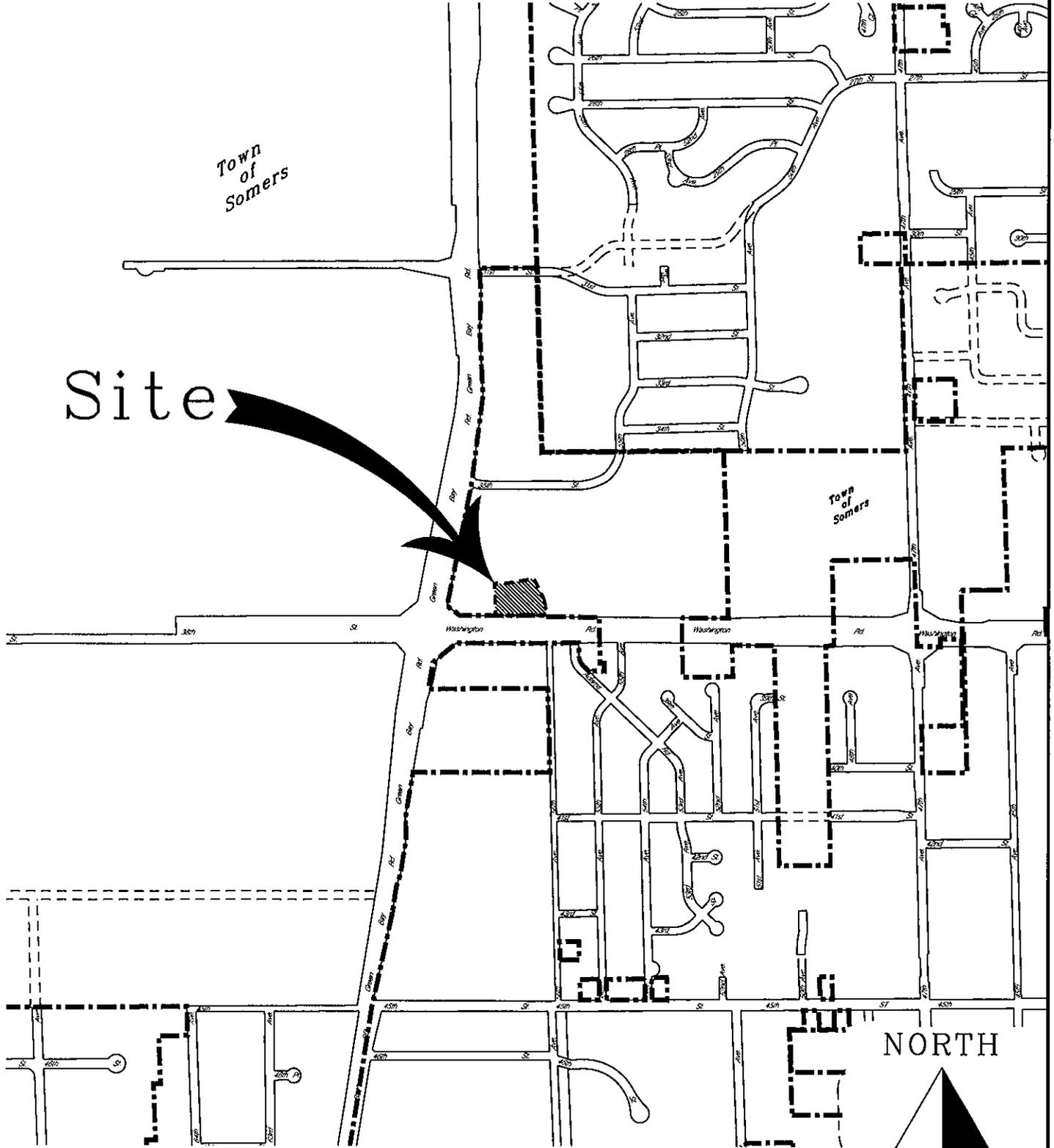
City of Kenosha

Vicinity Map  
McDonald's CUP

Town of Somers

Site

Town of Somers



-  Subject Property
-  Municipal Boundary

DCD ~ City Plan Division ~ JBL ~ BRW ~ 2-16-2011 ~ mc

**Development Review Application  
City of Kenosha, Wisconsin**

JAN 24 2011

**MAILING INFORMATION**

DEPARTMENT OF  
CITY DEVELOPMENT

**NAME OF PROJECT:** McDONALD'S KENOSHA - NEW BUILDING

*Check one (1) of the following boxes to indicate the recipient of all correspondence:*

<input checked="" type="checkbox"/>	Name and Address of Applicant (Please print): <u>HAAG MULLER, INC.</u> <u>101 EAST GRAND AVE. SUITE 1</u> <u>PORT WASHINGTON, WI. 53074</u>	Phone: <u>262-268-1200</u> Fax: _____ E-Mail: <u>WWW.HAAGMULLER.COM</u>
<input type="checkbox"/>	Name and Address of Architect/Engineer (Please print): <u>HAAG MULLER, INC.</u> <u>101 EAST GRAND AVE. SUITE 1</u> <u>PORT WASHINGTON, WI. 53074</u>	Phone: <u>262-268-1200</u> Fax: _____ E-Mail: <u>WWW.HAAGMULLER.COM</u>
<input type="checkbox"/>	Name and Address of Property Owner (if other than applicant)(Please print): <u>DAWN BOURSEAU</u> <u>MC DONALD'S CORPORATION</u> <u>4320 WINFIELD RD. SUITE 400</u> <u>WARRENVILLE, IL 60555</u>	Phone: <u>630-750-4868</u> Fax: <u>630-836-4804</u> E-Mail: <u>DAWN.BOURSEAU@US.MCD.COM</u>

**PROJECT LOCATION**

Location of Development (street address and / or parcel number): N.E. CORNER OF HWY 31 + 142.

**TYPE OF LAND DEVELOPMENT**

**Check all that apply. Note: Additional information may be required within individual Sections.**

- |   |            |               |
|---|------------|---------------|
| <input type="checkbox"/> Certified Survey Map   | Section 1  | Page 2        |
| <input type="checkbox"/> Concept Review (Land Division)                               | Section 2  | Page 3        |
| <input type="checkbox"/> Concept Review (Multi-Family Residential or Non-Residential) | Section 3  | Page 4        |
| <input checked="" type="checkbox"/> Conditional Use Permit                            | Section 4  | Pages 5 & 6   |
| <input type="checkbox"/> Developer's Agreement  | Section 5  | Page 7        |
| <input type="checkbox"/> Final Plat   | Section 6  | Pages 8 & 9   |
| <input type="checkbox"/> Lot Line Adjustment Survey                                   | Section 7  | Page 10       |
| <input type="checkbox"/> Preliminary Plat   | Section 8  | Pages 11 & 12 |
| <input type="checkbox"/> Rezoning   | Section 9  | Pages 13 & 14 |
| <input checked="" type="checkbox"/> Site Plan Review                                  | Section 10 | Pages 15 & 16 |

**PRIOR TO SUBMITTING THIS APPLICATION TO THE DEPARTMENT OF CITY DEVELOPMENT,  
PLEASE REVIEW THE APPROPRIATE SECTION(S) FOR FEES, REQUIREMENTS AND APPROPRIATE APPENDICES.**

*Submit this cover page, completed application, applicable section(s) and appendices  
along with ALL required plans, information and fees to:*

Department of City Development  
625 52nd Street, Room 308  
Kenosha, WI 53140

Phone: 262.653.4030  
Fax: 262.653.4045

Office Hours:  
M - F 8:00 am - 4:30 pm

**McDonald's Kenosha Gateway Development  
Storm Water Management Plan Worksheet  
Additional Information Attachment**

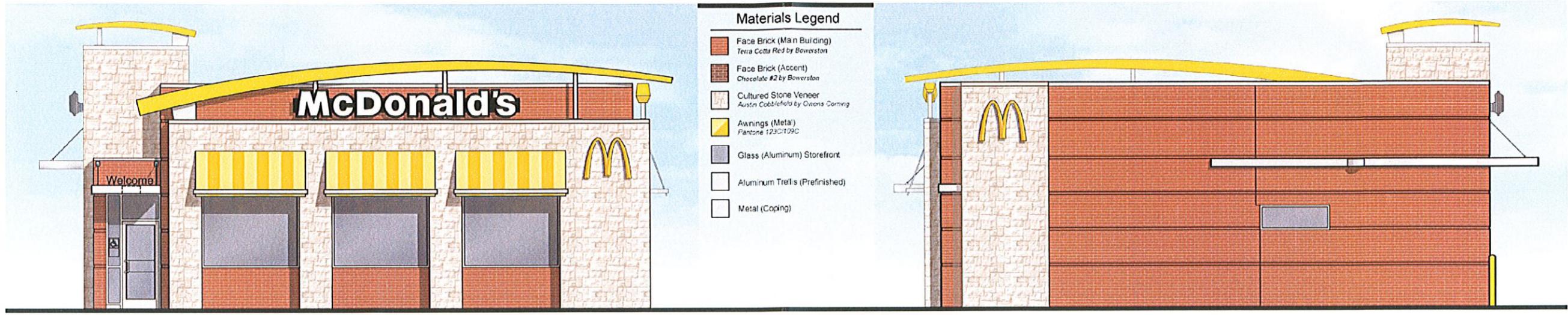
The McDonald's development is part of the larger Kenosha Gateway development by Terraco, Inc. The Kenosha Gateway development is provided with centralized storm water management facilities to provide storm water management for the parcels included within the development. Therefore, no on-site storm water management is being proposed or is required for the McDonald's parcel development.

The current storm water management design requirements were not the standard when the existing wet detention pond and storm water management plan was designed, approved and constructed. The project was constructed prior to WDNR NR 151 and WDNR technical standards. The civil engineering consultant for the Kenosha Gateway development (R.A. Smith National) performed SLAMM modeling of the overall development and determined that the existing pond will provide 75% TSS reduction. 80% TSS removal was not a requirement when the wet detention basin was design, approved and constructed.

Storm water infiltration was not included in the storm water management plan, because WDNR NR 151 and WDNR Technical standards pertaining to infiltration were not requirements when the existing wet detention basin was designed, approved and constructed. Site soils are also Type "C" soils, and therefore, would fall under the WDNR NR exemption for storm water infiltration.

Existing storm sewer computations were provided in the existing storm water management plan. The Kenosha Gateway development will not increase flows to the storm sewer system over prior conditions.

Refer to the Storm Water Management Plan submitted for the overall Kenosha Gateway project for additional details.



**Materials Legend**

- Face Brick (Main Building)  
*Terra Cotta Red by Bowerston*
- Face Brick (Accent)  
*Chocolate #2 by Bowerston*
- Cultured Stone Veneer  
*Austin Cobblefield by Owens Corning*
- Awnings (Metal)  
*Pantone 123C/109C*
- Glass (Aluminum) Storefront
- Aluminum Trellis (Prefinished)
- Metal (Coping)

Front Elevation

Rear Elevation



Non-Drive-Thru Side Elevation



Drive-Thru Side Elevation

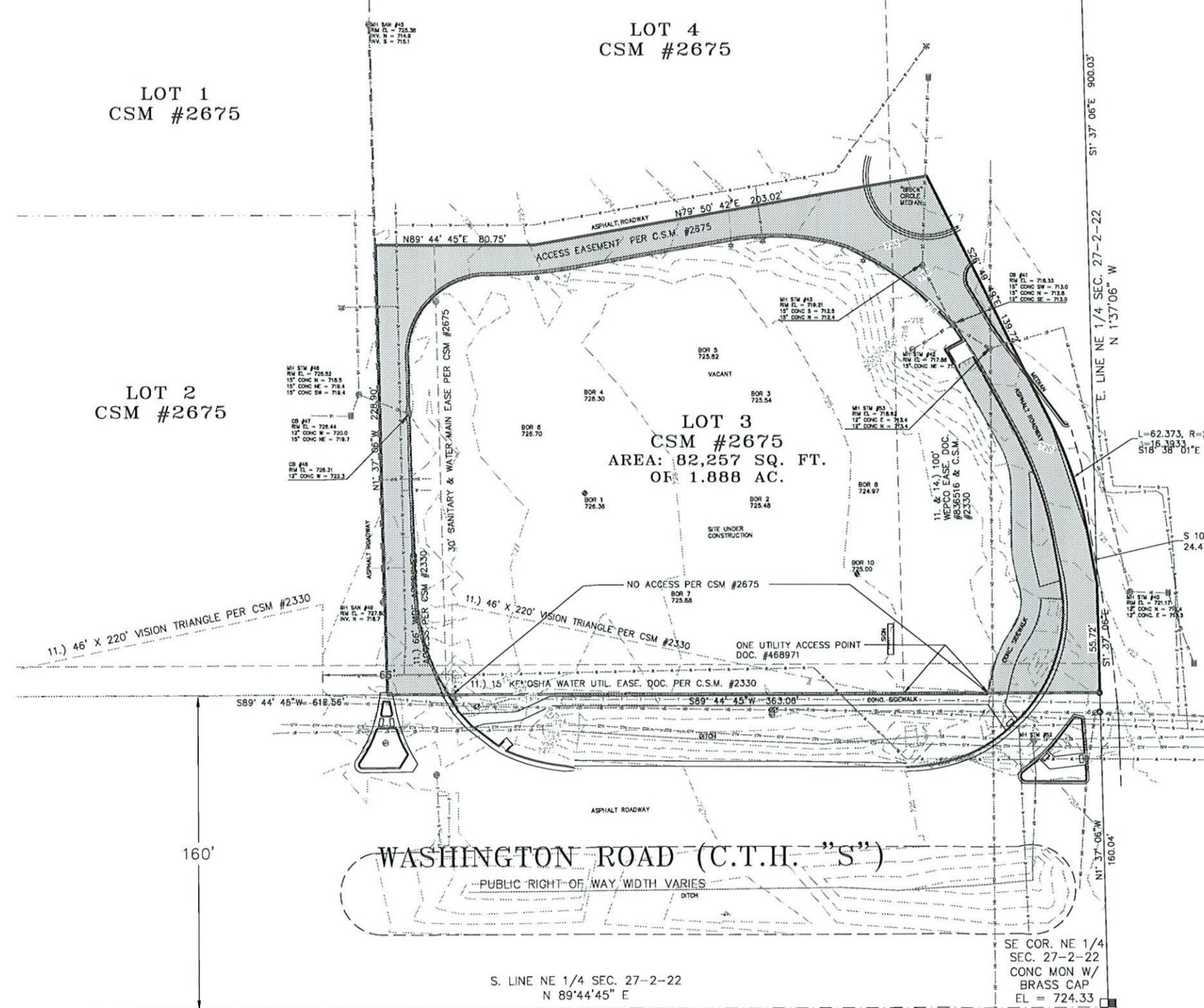
Proposed McDonald's Restaurant  
Color Elevation Study

PRELIMINARY FOR REVIEW ONLY

EXISTING CONDITIONS

McDONALD'S SITE  
 PART OF 3710 57TH AVE.  
 KENOSHA, WISCONSIN

NO.	REVISION	DATE	BY
GRAPHIC SCALE 0 30' 60'			
DRAWING NO. 2770-V-010-C.dwg			
DRAWN BY: JJR			
DATE: 01-20-11			
PROJECT NO: 2770			
CHECKED BY: JBL			
APPROVED BY: JBL			
SHEET NO.: <b>C1</b>			



**NOTES:**

- MONUMENTS TO BE SET BY OTHERS AFTER COMPLETION OF CONSTRUCTION.
- PARCEL DOES NOT FALL WITHIN THE FLOODPLAIN PER FEMA FIRM PANEL 550523 0005 B REVISED DECEMBER 5, 1996.
- LAND AREA: 82,257 SQUARE FEET OR 1.888 ACRES.
- BEARING BASED ON WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NAD 1927, WITH THE SOUTH LINE OF THE NORTHEAST 1/4 OF SECTION 27-2-22 HAVING A BEARING OF N 89°44'45" E. VERTICAL DATUM NOVD 1929 WITH THE ELEVATION OF THE SOUTHEAST CORNER OF THE NORTHEAST 1/4 OF SECTION 27-2-22 PUBLISHED AS 724.33, BY SEWRPC.
- THERE ARE NO BUILDINGS ON THIS SITE.
- OWNER: GENDELL PARTNERS KENOSHA, LLC.
- PARCEL ZONED B-4 MIXED USE.

Legal description per Chicago Title Insurance Company File No. 106715, as prepared by Merit Title, LLC, effective date of September 29, 2010, issue date of October 06, 2010:

Parcel 2 of Certified Survey Map No. 2330 as recorded in the Kenosha County Register of Deeds Office on October 14, 2002, as Document No. 1288981, being part of the Northeast 1/4 of Section 27, Town 2 North, Range 22 East, and part of the Northeast 1/4 of Section 26, Town 2 North, Range 22 East of the Fourth Principal Meridian; lying and being in the City of Kenosha, Kenosha County, Wisconsin.

Address: 3710 57th Avenue, Kenosha, WI  
 Tax Key No.: 08-222-27-101-105

Mets & Bounds Legal description:

Lot 3 of Certified Survey Map No. 2675, recorded as Document No. 1628568, being a division of Parcel 2 of Certified Survey Map No. 2330 as recorded in the Kenosha County Register of Deeds Office on October 14, 2002, as Document No. 1288981, being part of the Northeast 1/4 of Section 27, Town 2 North, Range 22 East, and part of the Northeast 1/4 of Section 26, Town 2 North, Range 22 East of the Fourth Principal Meridian; lying and being in the City of Kenosha, Kenosha County, Wisconsin, bounded and described as:

Commencing at the Southeast corner of said Northeast 1/4 of Section 27; thence North 1°37'06" West, 160.04 feet along the East line of said Northeast 1/4 section to the North line of Washington Road (C.T.H. "S") and to the Point of Beginning; thence South 89°44'45" West, 583.06 feet along said North line; thence North 1°37'06" West, 228.90 feet; thence North 89°44'45" East, 60.75 feet; thence North 79°50'42" East, 203.02 feet; thence South 26°49'49" East, 139.72 feet to the beginning of a 218.00 foot radius curve to the right, whose chord bears South 18°38'01" East, 62.16 feet; thence Southeasterly, 62.37 feet along the arc of said curve; thence South 10°26'14" East, 24.47 feet to the aforesaid East line of the Northeast 1/4 of Section 27; thence South 01°37'06" East, 55.72 feet along said East line to the Point of Beginning. Said parcel contains 82,257 square feet or 1.888 acres of land, more or less.

Tax Key No.: 08-222-27-101-013

Per Chicago Title Insurance Company File No. 106715, as prepared by Merit Title, LLC, effective date of September 29, 2010, issue date of October 06, 2010, the following items appear in Schedule B, II as exceptions:

11. Easements, restrictions, setback lines, covenants and conditions as shown on Certified Survey Map No. 2330. RESTRICTIONS INCLUDE THE FOLLOWING: "NO DEVELOPMENT SHALL OCCUR ON PARCELS 1 - 4 UNTIL A DRAINAGE PLAN AND C.U.P. IS APPROVED BY THE CITY OF KENOSHA." AND "AS OWNER, I HEREBY RESTRICT ALL LOTS AND BLOCKS SO THAT NO OWNER, POSSESSOR, USER, LICENSEE OR OTHER PERSON MAY HAVE ANY RIGHT OF DIRECT VEHICULAR INGRESS FROM OR EGRESS TO ANY HIGHWAY LYING WITHIN THE RIGHT OF WAY OF SH 31 OR CTH "S" OTHER THAN SHOWN ON THE LAND DIVISION MAP; IT IS EXPRESSLY INTENDED THAT THIS RESTRICTION CONSTITUTE A RESTRICTION FOR THE BENEFIT OF THE PUBLIC AS PROVIDED IN S. 236.293 WISCONSIN STATUTES AND SHALL BE ENFORCEABLE BY THE DEPARTMENT OR ITS ASSIGNS."

EASEMENTS SHOWN ON MAP:

12. Easement granted to Wisconsin Electric Power Company, a Wisconsin corporation doing business as WE Energies, Wisconsin Bell, Inc., d/b/a SBC Wisconsin & Time Warner Entertainment Company, LP by an instrument dated August 18, 2003 and recorded on August 26, 2003, as Document No. 1348302. SHOWN ON MAP.

13. Easement granted to Wisconsin Electric Power Company, a Wisconsin corporation doing business as WE Energies by an instrument dated February 17, 2003 and recorded on March 3, 2003, as Document No. 1314164 and corrected by Affidavit recorded on December 7, 2005, as Document No. 1461441. SHOWN ON MAP.

14. Easement granted to Wisconsin Electric Power Company by an instrument dated February 1, 1990 and recorded on February 6, 1990, Volume 1382, Page 580, as Document No. 835516. SHOWN ON MAP.

15. Storm Water Detention Pond Use and Maintenance Declaration dated August 4, 2004 and recorded on August 6, 2004, as Document No. 1399518. GENERAL IN NATURE, NOT SHOWN ON MAP.

16. Covenants, conditions, easements, restrictions, and charges or assessments, if any, as set forth in the Developer's Agreement, dated July 29, 2002, and recorded on October 14, 2002, as Document No. 1288982. GENERAL IN NATURE, NOT SHOWN ON MAP.

**SURVEYOR'S CERTIFICATION:**

TO: McDonald's Corporation, a Delaware corporation, McDonald's USA, LLC, a Delaware limited liability company, McDonald's Real Estate Company, a Delaware corporation, Franchise Realty Investment Trust - L, a Maryland trust, Chicago Title Insurance Company, Merit Title, LLC, Genendell Partners Kenosha, LLC, all lenders and successors and assigns of any of the foregoing and any other person who purchases, mortgages or guarantees the title thereto within one year of the date of this survey.

THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY AMERICAN LAND TITLE ASSOCIATION AND THE NATIONAL SOCIETY OF LAND SURVEYORS IN 2005 AND INCLUDES ITEMS 2, 3, 4, 5, 6, 8, 10, 11(A) & (B), 12, AND 14 FROM TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF WISCONSIN, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

BARBA M. ROZITE  
 WIS. REGISTRATION NO. S-2351

**LEGEND**

---	SECTION 1/4 SECTION LINE	○	MANHOLE
---	LOT LINE	○	CATCH BASIN
---	PROPERTY BOUNDARY	○	SEPTIC VENT
---	EASEMENT	○	HYDRANT
---	FENCE	○	VALVE
---	TREE LINE	○	POWER POLE
---	OVERHEAD UTILITY LINE	○	GUY WIRE
---	ELECTRIC	○	GAS/ELECTRIC METER
---	TELEPHONE	○	UTILITY PEDESTAL
---	FIBER OPTIC	○	TRAFFIC SIGNAL
---	CABLE TV	○	PULL BOX
---	SANITARY SEWER	○	UTILITY POLE
---	FORC MAIN	○	COMMUNICATION POLE
---	STORM SEWER	○	LIGHT POLE
---	WATER MAIN	○	MONITORING WELL
---	ONE	○	SOIL BORING
---	EXISTING CONTOUR	○	EXISTING SPOT ELEV.
○	IRON PIPE FOUND/SET	○	(N 0'0" E) RECORD DIMENSION
○	REBAR FOUND/SET		
○	CHISELED CROSS FOUND/SET		
○	PK NAIL FOUND/SET		
○	SPIKE/NAIL		
○	MONUMENT		
○	ROW MARKER		
○	BENCHMARK		
○	AIR CONDITIONER		
○	SIGN		
○	POST		
○	MAILBOX		
○	FLAG POLE		
○	DECIDUOUS TREE		
○	CONIFEROUS TREE		
○	BUSH		

THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD DATA OBTAINED DURING THIS SURVEY, INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY, AND AS-BUILT INFORMATION. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.

Legal description per Chicago Title Insurance Company File No. 106718, as prepared by Merit Title, LLC, effective date of September 28, 2010, issue date of October 05, 2010:

Parcel 2 of Certified Survey Map No. 2330 as recorded in the Kenosha County Register of Deeds Office on October 14, 2002, as Document No. 1288981, being part of the Northeast 1/4 of Section 27, Town 2 North, Range 22 East, and part of the Northeast 1/4 of Section 26, Town 2 North, Range 22 East of the Fourth Principal Meridian; lying and being in the City of Kenosha, Kenosha County, Wisconsin.

Address: 3710 57th Avenue, Kenosha, WI  
 Tax Key No.: 08-222-27-101-105

Males & Bounds, Legal description:

Lot 3 of Certified Survey Map No. 2575, recorded as Document No. 1628568, being a division of Parcel 2 of Certified Survey Map No. 2330 as recorded in the Kenosha County Register of Deeds Office on October 14, 2002, as Document No. 1288981, being part of the Northeast 1/4 of Section 27, Town 2 North, Range 22 East, and part of the Northeast 1/4 of Section 26, Town 2 North, Range 22 East of the Fourth Principal Meridian; lying and being in the City of Kenosha, Kenosha County, Wisconsin, bounded and described as:

Commencing at the Southeast corner of said Northeast 1/4 of Section 27; thence North 1°37'05" West, 160.04 feet along the East line of said Northeast 1/4 section to the North line of Washington Road (C.T.H. "S") and to the Point of Beginning; thence South 89°44'45" West, 363.05 feet along said North line; thence North 1°37'05" West, 228.80 feet; thence North 89°44'45" East, 80.75 feet; thence North 79°50'42" East, 203.02 feet; thence South 26°49'49" East, 139.72 feet to the beginning of a 218.00 foot radius curve to the right, whose chord bears South 18°38'01" East, 62.16 feet; thence Southwesterly, 82.37 feet along the arc of said curve; thence South 10°26'14" East, 24.47 feet to the aforesaid East line of the Northeast 1/4 of Section 27; thence South 01°37'05" East, 55.72 feet along said East line to the Point of Beginning. Said parcel contains 82,257 square feet or 1.888 acres of land, more or less.

Tax Key No.: 08-222-27-101-013

**PRELIMINARY FOR REVIEW ONLY**

**KENOSHA ZONING DATA**

ZONING = B-2 COMMUNITY BUSINESS DISTRICT		
SETBACK	REQUIRED (FT.)	PROVIDED (FT.)
WEST	0	102.0
SOUTH (STREET SIDE YARD)	0	101.0
EAST (REAR YARD)	25	130.8
NORTH	0	85.7

**SITE AREA CALCULATION**

AREA	S.F. (acres)	%
TOTAL LOT AREA	82,257 (1.888)	100.0
PRIVATE ROADWAY HARDSCAPE	15,817 (0.363)	19.2
MCDONALD'S HARDSCAPE		
BUILDING	4,070 (0.093)	4.9
SIDEWALKS	1,560 (0.036)	1.9
PAVEMENT	29,832 (0.686)	36.3
TOTAL MCDONALD'S HARDSCAPE	35,522 (0.815)	43.2
TOTAL LOT HARDSCAPE	51,339 (1.178)	62.4
TOTAL LOT GREENSPACE	30,918 (0.710)	37.6

**BUILDING FLOOR AREA**

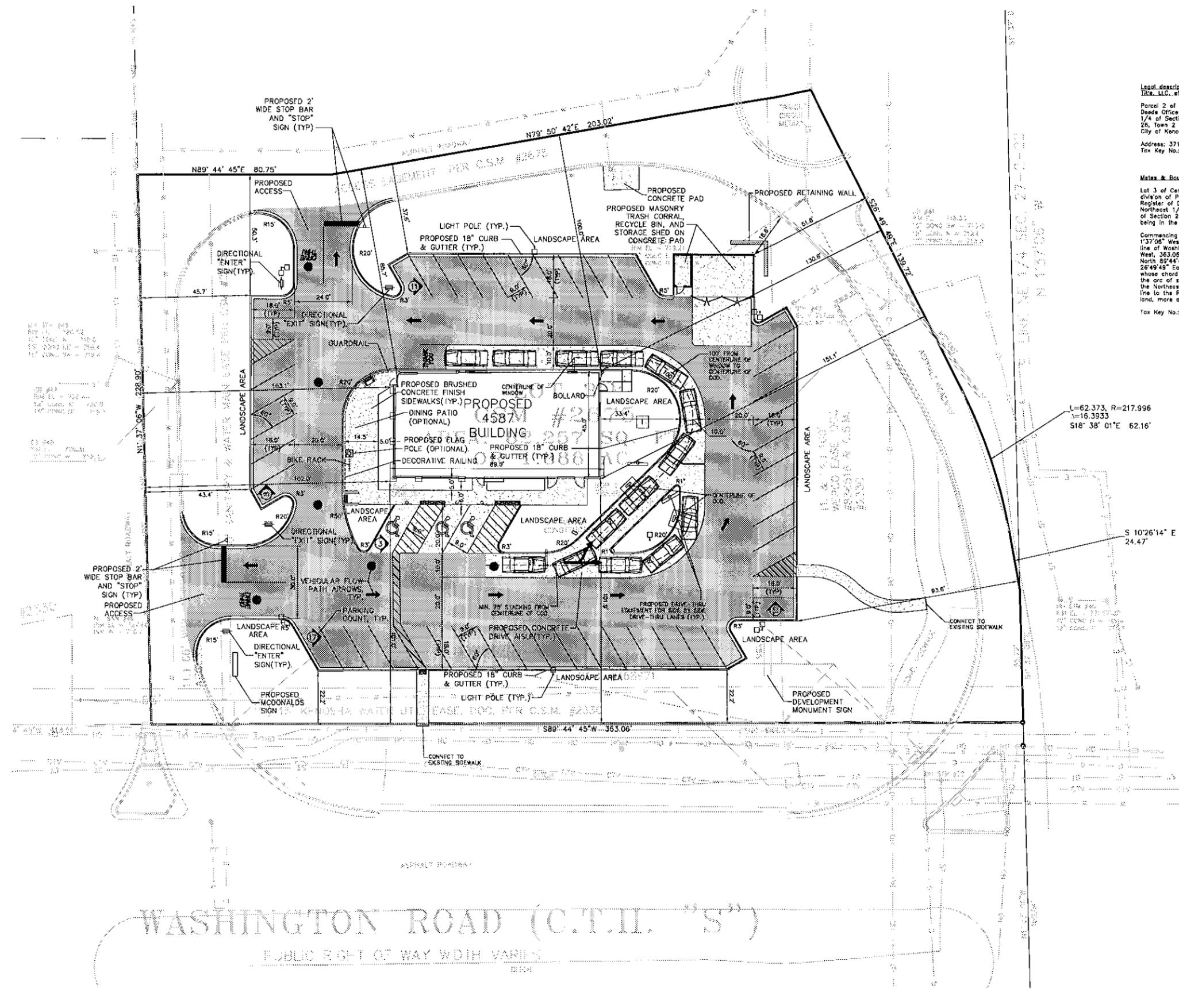
GROSS	= 4,457 S.F.
NET	= 4,070 S.F.

**ON-SITE PARKING DATA**

REQUIRED	
STORE CAPACITY (SC)	110
CITY REQ. (40% OF SC)	44
PROPOSED	
REGULAR SPACES	40
ADA ACCESSIBLE SPACES	3
TOTAL SPACES	51

**SITE PLAN NOTES:**

1. ALL RADIUS DIMENSIONS ARE TO BACK OF CURB
2. ALL LINEAR DIMENSIONS ARE TO FACE OF CURB

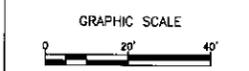


WASHINGTON ROAD (C.T.H. "S")  
 PUBLIC RIGHT OF WAY WIDTH VARIES

**MCDONALD'S SITE  
 PART OF 3710 57TH AVE.  
 KENOSHA, WISCONSIN**

**SITE PLAN**

NO.	REVISION	DATE	BY

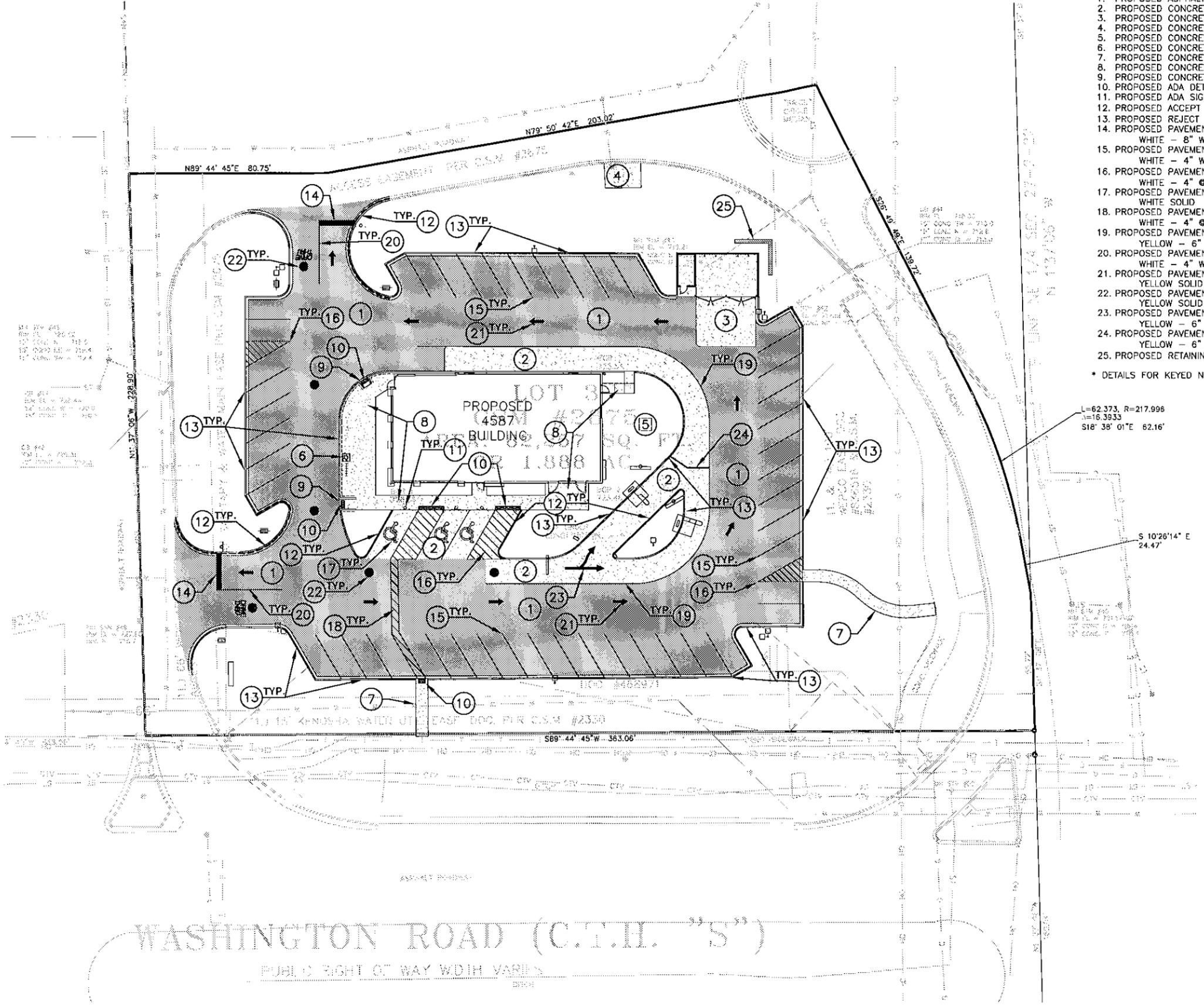


DRAWING NO.	2770-140-A.dwg
DRAWN BY:	JJR
DATE:	01-20-11
PROJECT NO.:	2770
CHECKED BY:	JBL
APPROVED BY:	JBL
SHEET NO.:	

**C 2**

**PRELIMINARY  
 FOR REVIEW ONLY**

- KEYED NOTES**
1. PROPOSED ASPHALTIC PAVEMENT
  2. PROPOSED CONCRETE PAVEMENT
  3. PROPOSED CONCRETE TRASH CORRAL PAD
  4. PROPOSED CONCRETE FIRE DEPARTMENT CONNECTION PAD
  5. PROPOSED CONCRETE TRANSFORMER PAD
  6. PROPOSED CONCRETE FLAG POLE PAD
  7. PROPOSED CONCRETE SIDEWALK
  8. PROPOSED CONCRETE BUILDING SIDEWALK
  9. PROPOSED CONCRETE RAMP
  10. PROPOSED ADA DETECHABLE WARNING PAD
  11. PROPOSED ADA SIGN & BOLLARD
  12. PROPOSED ACCEPT 18" CURB & GUTTER.
  13. PROPOSED REJECT 18" CURB & GUTTER
  14. PROPOSED PAVEMENT MARKING - STOP BAR  
 WHITE - 8" WIDE
  15. PROPOSED PAVEMENT MARKING - PARKING STALL  
 WHITE - 4" WIDE
  16. PROPOSED PAVEMENT MARKING - "NO PARK" HATCH  
 WHITE - 4" @ 4' SPACING
  17. PROPOSED PAVEMENT MARKING - ADA SYMBOL  
 WHITE SOLID
  18. PROPOSED PAVEMENT MARKING - SIDEWALK CROSSING  
 WHITE - 4" @ 4' SPACING
  19. PROPOSED PAVEMENT MARKING - DRIVE-THRU LANE  
 YELLOW - 6" WIDE
  20. PROPOSED PAVEMENT MARKING - LANE SEPARATION LINE  
 WHITE - 4" WIDE
  21. PROPOSED PAVEMENT MARKING - DIRECTIONAL ARROW  
 YELLOW SOLID
  22. PROPOSED PAVEMENT MARKING - CIRCLE DIRECTIONAL ARROW  
 YELLOW SOLID
  23. PROPOSED PAVEMENT MARKING - DOUBLE HEADED ARROW  
 YELLOW - 6" WIDE
  24. PROPOSED PAVEMENT MARKING - MERGE POINT  
 YELLOW - 6" WIDE
  25. PROPOSED RETAINING WALL (TO BE DESIGNED BY OTHERS)
- \* DETAILS FOR KEYED NOTES TO FOLLOW



**McDONALD'S SITE  
 PART OF 3710 57TH AVE.  
 KENOSHA, WISCONSIN**

**PAVING PLAN**

NO.	REVISION	DATE	BY

GRAPHIC SCALE  
 0 20' 40'

DRAWING NO. 2770-140-A.dwg  
 DRAWN BY: JUR  
 DATE: 01-20-11  
 PROJECT NO: 2770  
 CHECKED BY: JBL  
 APPROVED BY: JBL  
 SHEET NO.:

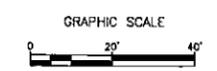
**C 3**

**PRELIMINARY  
 FOR REVIEW ONLY**

**MCDONALD'S SITE  
 PART OF 3710 57TH AVE.  
 KENOSHA, WISCONSIN**

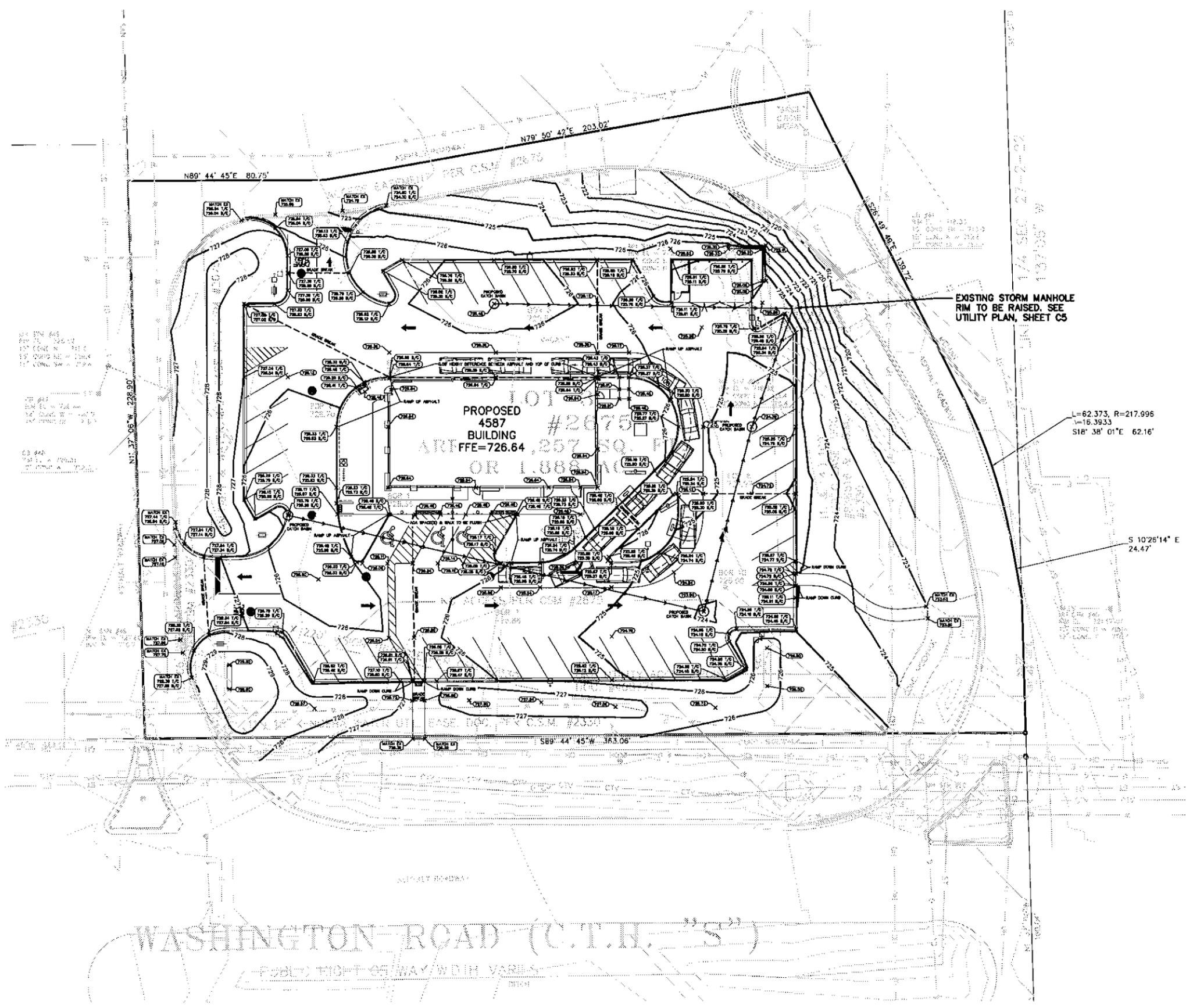
**GRADING PLAN**

NO.	REVISION	DATE	BY

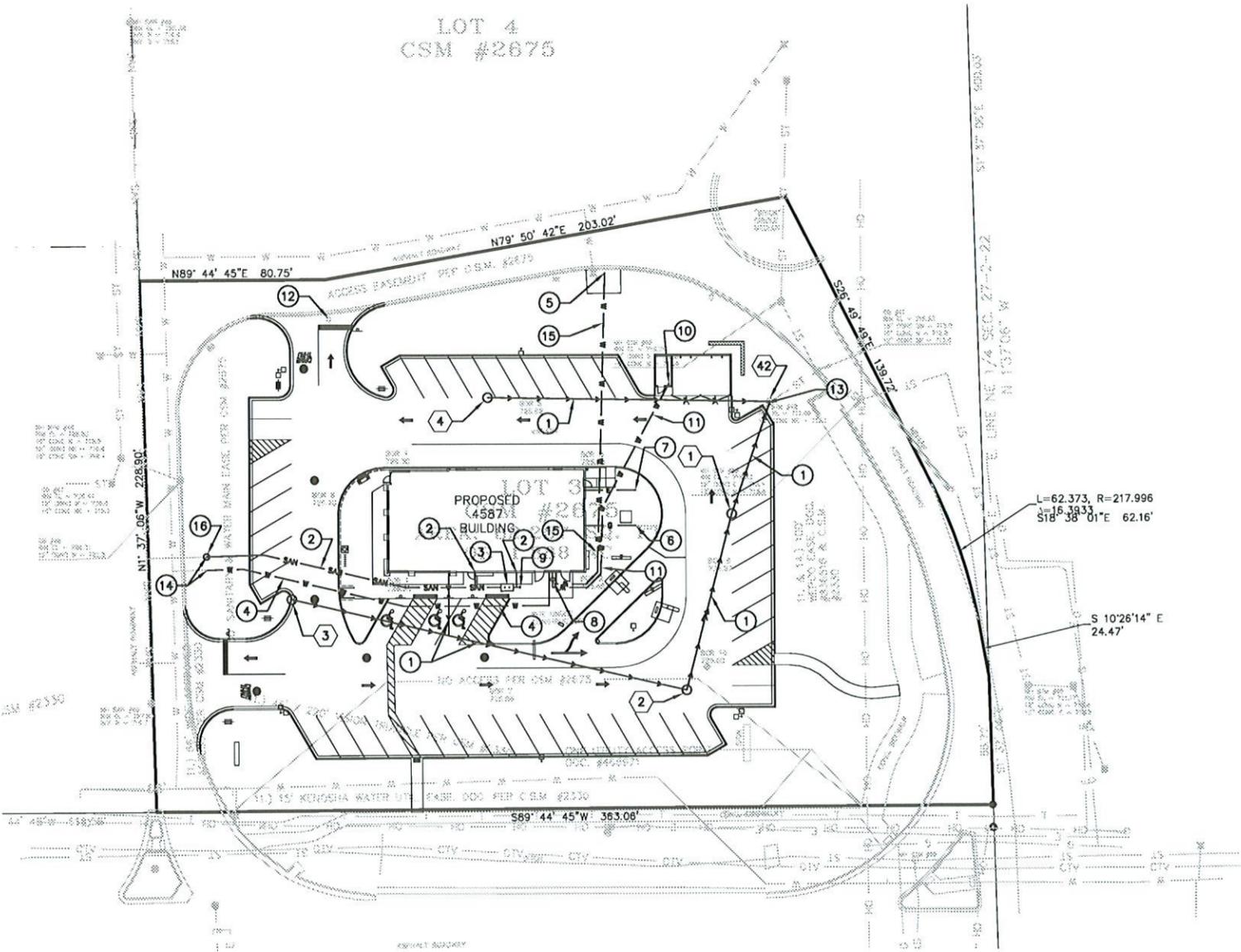


DRAWING NO.	2770-100-A.dwg
DRAWN BY:	JJR
DATE:	01-20-11
PROJECT NO:	2770
CHECKED BY:	JBL
APPROVED BY:	JBL
SHEET NO.:	

**C 4**



LOT 4  
CSM #2675



- GENERAL NOTES:**
1. ALL HORIZONTAL AND VERTICAL CLEARANCE REQUIREMENTS SHALL BE MET PER COMM. 82.
  2. ALL APPLICATIONS AND FEES FOR SANITARY SEWER AND WATER MUST BE COMPLETED AND PAID PRIOR TO CONNECTION TO SEWER/WATER SYSTEMS.
  3. ALL WATER CONNECTIONS TO EXISTING WATER MAINS SHALL BE COMPLETED BY KWJ, WITH EXCAVATION AND BACKFILL BY DEVELOPER. DEVELOPER SHALL PROVIDE 72 HOURS NOTICE TO WJ WHEN CONNECTION IS TO BE MADE.
  4. ANY UTILITY WORK IN THE RIGHT-OF-WAY AND ALL SANITARY SEWER CONNECTIONS TO BE INSPECTED BY KWJ. NOTIFY KWJ 48 HOURS IN ADVANCE OF CONNECTING TO SEWER.
  5. ALL WATER METERS 1-1/2" OR GREATER SHALL HAVE A BYPASS WITH A RUB TWO WAY BALL VALVE WITH LOCKING HANDLE.
  6. METERS 3" AND LARGER SHALL HAVE A 2" TEST PLUG PROVIDED BETWEEN THE OUTLET SIDE OF THE METER AND THE OUTLET VALVE.
  7. PROVIDE 3C18 GAGE CABLE BY BELDEN-M OR APPROVED EQUAL IN 1/2" CONDUIT THROUGH EXTERIOR WALL FOR THE REMOTE WATER METER READER. REMOTE READER TO BE FIELD LOCATED BY KWJ METER DIVISION. (RESIDENTIAL INSTALLED BY METER SHOP. COMMERCIAL INSTALLED BY DEVELOPER.)
  8. WATER SERVICES LARGER THAN 2" SHALL BE FLUSHED AND BACTERIA TESTED IN ACCORDANCE WITH KWJ CHAPTER-32 RULES & REGULATIONS, RULE 06-29.
  9. WATER SERVICES SHALL BE PROVIDED WITH A BLUE #12 LOCATOR WIRE INSTALLED ALONG THE ENTIRE LENGTH. LOCATOR WIRE SHALL BE BROUGHT TO THE SURFACE IN THE CURB BOX.
  10. SANITARY SEWER LATERALS SHALL HAVE A GREEN #12 LOCATOR WIRE INSTALLED ALONG THE ENTIRE LENGTH. LOCATOR WIRE SHALL BE BROUGHT TO THE SURFACE AT THE EDGE OF THE BUILDING AND ENCLOSED IN A CURB BOX WITH SEWER ON THE COVER.

**SIGMA GROUP**  
Single Source. Sound Solutions.  
www.thisigmagroup.com  
1300 West Canal Street  
Milwaukee, WI 53233  
Phone: 414-643-4200  
Fax: 414-643-4210

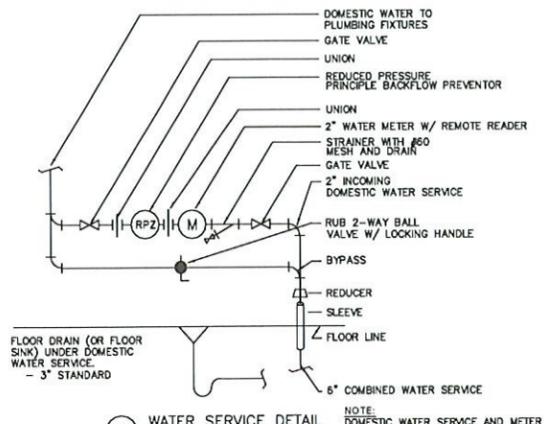
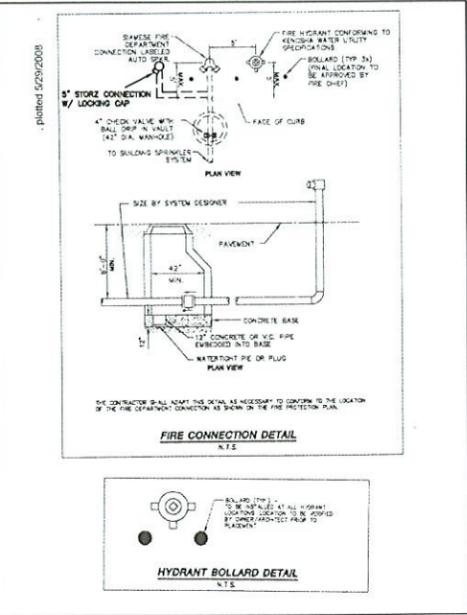
PRELIMINARY  
FOR REVIEW ONLY

- KENOSHA WATER UTILITY NOTES:**
1. ALL SANITARY SEWER AND WATER TO BE INSTALLED IN ACCORDANCE WITH KENOSHA WATER UTILITY (KWU) STANDARDS.
  2. ALL APPLICATIONS AND FEES FOR SANITARY SEWER AND WATER MUST BE COMPLETED AND PAID PRIOR TO CONNECTION TO SEWER/WATER SYSTEMS.
  3. ALL WATER CONNECTIONS TO EXISTING WATER MAINS SHALL BE COMPLETED BY KWJ, WITH EXCAVATION AND BACKFILL BY DEVELOPER. DEVELOPER SHALL PROVIDE 72 HOURS NOTICE TO WJ WHEN CONNECTION IS TO BE MADE.
  4. ANY UTILITY WORK IN THE RIGHT-OF-WAY AND ALL SANITARY SEWER CONNECTIONS TO BE INSPECTED BY KWJ. NOTIFY KWJ 48 HOURS IN ADVANCE OF CONNECTING TO SEWER.
  5. ALL WATER METERS 1-1/2" OR GREATER SHALL HAVE A BYPASS WITH A RUB TWO WAY BALL VALVE WITH LOCKING HANDLE.
  6. METERS 3" AND LARGER SHALL HAVE A 2" TEST PLUG PROVIDED BETWEEN THE OUTLET SIDE OF THE METER AND THE OUTLET VALVE.
  7. PROVIDE 3C18 GAGE CABLE BY BELDEN-M OR APPROVED EQUAL IN 1/2" CONDUIT THROUGH EXTERIOR WALL FOR THE REMOTE WATER METER READER. REMOTE READER TO BE FIELD LOCATED BY KWJ METER DIVISION. (RESIDENTIAL INSTALLED BY METER SHOP. COMMERCIAL INSTALLED BY DEVELOPER.)
  8. WATER SERVICES LARGER THAN 2" SHALL BE FLUSHED AND BACTERIA TESTED IN ACCORDANCE WITH KWJ CHAPTER-32 RULES & REGULATIONS, RULE 06-29.
  9. WATER SERVICES SHALL BE PROVIDED WITH A BLUE #12 LOCATOR WIRE INSTALLED ALONG THE ENTIRE LENGTH. LOCATOR WIRE SHALL BE BROUGHT TO THE SURFACE IN THE CURB BOX.
  10. SANITARY SEWER LATERALS SHALL HAVE A GREEN #12 LOCATOR WIRE INSTALLED ALONG THE ENTIRE LENGTH. LOCATOR WIRE SHALL BE BROUGHT TO THE SURFACE AT THE EDGE OF THE BUILDING AND ENCLOSED IN A CURB BOX WITH SEWER ON THE COVER.

- KEYED NOTES:**
1. PROPOSED PVC STORM SEWER. PVC SEWER SHALL CONFORM TO ASTM D-3034. SEE STORM SEWER TABULATION FOR DETAILS.
  2. PROPOSED 6" PVC SANITARY SEWER LATERAL TO CONNECT TO EXISTING 6" SANITARY SEWER LATERAL AT 1/8"/FT. MIN. SLOPE. PVC SEWER SHALL CONFORM TO ASTM D-3034. MINIMUM DEPTH TO TOP OF SEWER LATERAL FROM FINISHED GRADE SHALL BE 60 INCHES. CONTRACTOR TO VERIFY LOCATION, DEPTH, AND SIZE OF EXISTING LATERAL BEFORE CONSTRUCTION AND REPORT ANY DISCREPANCIES TO ENGINEER.
  3. PROPOSED GREASE TRAP. GREASE TRAP TO BE DESIGNED BY PLUMBING DESIGNER.
  4. PROPOSED 6" COMBINED FIRE/DOMESTIC PRIVATE WATER SERVICE. WATER SERVICE SHALL BE PVC CONFORMING TO AWWA C-900. MAINTAIN 6' MIN. COVER. SEE DETAIL B.
  5. PROPOSED REMOTE FIRE DEPARTMENT CONNECTION. TO BE INSTALLED IN 15'X10' CONCRETE PAD. SEE DETAIL A.
  6. PROPOSED GAS SERVICE. ROUTING TO BE COORDINATED WITH WE-ENERGIES BY CONTRACTOR.
  7. PROPOSED ELECTRIC SERVICE. ROUTING TO BE COORDINATED WITH WE-ENERGIES BY CONTRACTOR.
  8. PROPOSED GATE VALVE.
  9. PROPOSED CLEANOUT IN ACCORDANCE WITH COMM 82.35. PROVIDE CLEANOUTS WITH FROST SLEEVES. FROST SLEEVES SHALL BE PVC CONFORMING TO ASTM D-3034.
  10. PROPOSED YARD HYDRANT. INSTALL BACKFLOW PROTECTED, AUTOMATIC DRAINING, FREEZELESS YARD HYDRANT, WOODFORD MODEL 53.
  11. PROPOSED 3/4" COPPER COLD WATER SERVICE PIPE TO YARD HYDRANT. COPPER WATER PIPE SHALL BE TYPE "K" CONFORMING TO ASTM B-88. MINIMUM DEPTH FROM TOP OF WATER SERVICE TO FINISHED GRADE SHALL BE 6 FEET.
  12. EXISTING LIGHT POLE TO BE RELOCATED BY OTHERS.
  13. RAISE EXISTING STORM MANHOLE #42 RIM=717.86 TO PROPOSED RIM=724.83. IF MANHOLE CANNOT BE RAISED THEN INSTALL NEW STORM MANHOLE PER PLAN.
  14. CONNECTION TO EXISTING UTILITY LATERALS SHALL BE PER CITY OF KENOSHA STANDARDS AND SPECIFICATIONS.
  15. PROPOSED 6" PVC LEED TO REMOTE FIRE DEPARTMENT CONNECTION. PVC SHALL CONFORM TO AWWA C-900. MAINTAIN 6' COVER.
  16. PROPOSED SANITARY SAMPLING MANHOLE.

MCDONALD'S SITE  
PART OF 3710 57TH AVE.  
KENOSHA, WISCONSIN

UTILITY PLAN



**UTILITY CONTACTS:**  
CONTACT UTILITY COMPANIES PRIOR TO INITIATION OF WORK.  
GAS: WE ENERGIES (CONTACT: ROGER KOESSL, 262-886-7065)  
ELECTRIC: WE ENERGIES (CONTACT: ROGER KOESSL, 262-886-7065)  
TELEPHONE: AT&T (CONTACT: JAMIE ISOME, 262-636-0568)

**STORM STRUCTURE SCHEDULE:**

STR. #	RIM	INVERT
CB 1	724.39	NE-718.02 (12") SW-718.02 (12")
CB 2	723.90	NE-718.81 (12") NW-718.81 (10")
CB 3	725.26	SE-720.57 (10")
CB 4	725.48	E-719.48 (10")
CB 42	724.83	W-718.25 (10") SW-717.25 (12") NE-713.10 (15") (EXIST.)

**Storm Sewer Tabulation**

Station	Len	Drng Area		Roof coeff		Area x C		Tc	Rain (l)	Total flow	Cap full	Vel	Pipe		Invert Elev		HGL Elev		Grnd / Rim Elev		Line ID	
		Incr	Total	Incr	Total	Inlet	Syst						Size	Slope	Dn	Up	Dn	Up	Dn	Up		Dn
Line To	(ft)	(ac)	(ac)	(C)	(C)	(min)	(min)	(in hr)	(cfs)	(cfs)	(cfs)	(ft/s)	(in)	(%)	(ft)	(ft)	(ft)	(ft)	(ft)	(ft)		
1	End	51.410	0.18	0.85	0.95	0.17	0.81	5.0	6.8	8.9	4.78	5.19	8.09	12	1.50	717.25	716.02	718.18	718.93	724.83	724.39	CB1 TO CB 42
2	1	78.545	0.31	0.67	0.95	0.29	0.64	5.0	6.1	6.0	3.85	4.22	5.33	12	1.01	718.02	718.81	718.93	719.64	724.39	723.90	CB2 TO CB1
3	2	175.602	0.27	0.38	0.95	0.34	5.0	5.2	5.3	2.17	2.56	4.35	10	1.00	718.81	720.57	719.64	721.23	723.90	725.26	CB3 TO CB2	
4	3	27.500	0.09	0.08	0.95	0.09	0.09	5.0	5.0	0.4	0.55	1.44	1.57	8	1.02	719.69	719.97	721.23	721.27	725.25	726.64	Roof to Pipe 3
5	End	122.783	0.14	0.14	0.95	0.13	0.13	5.0	5.0	6.4	0.85	2.59	3.18	10	1.00	718.25	719.48	718.66	718.80	724.83	725.48	CB4 TO CB 42

NO. REVISION      DATE BY

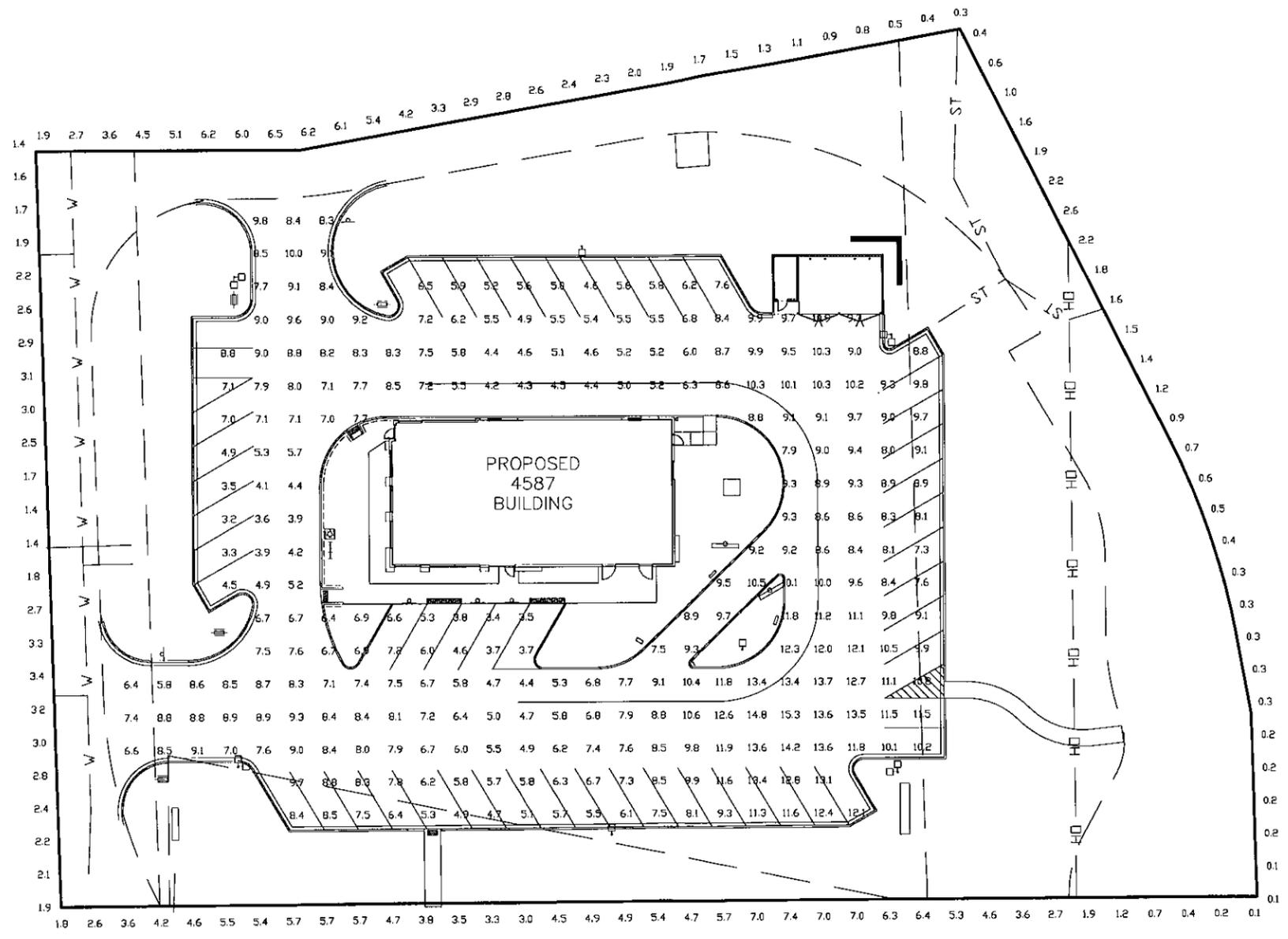
GRAPHIC SCALE  
0      30'      60'

DRAWING NO. 2770-135-A.dwg  
DRAWN BY: JJR  
DATE: 01-20-11  
PROJECT NO: 2770  
CHECKED BY: JBL  
APPROVED BY: JBL  
SHEET NO.:

**C 5**

- NOTES:**
1. THE FOOTCANDLE LEVELS AS SHOWN ARE BASED ON THE FOLLOWING CRITERIA. ANY SUBSTITUTIONS IN SPECIFIED FIXTURES OR CHANGES TO LAYOUT WILL AFFECT LIGHTING LEVELS SHOWN AND WILL NOT BE THE RESPONSIBILITY OF SECURITY LIGHTING.
  2. THE CONTRIBUTION OF THE METAL HALIDE SOFFIT / BUILDING LIGHTING IS NOT REFLECTED ON THIS DRAWING.
  3. DISTANCE BETWEEN READINGS 10'
  4. FINAL ADJUSTMENTS TO AIMING ANGLE/DIRECTION OF FIXTURES MAY BE REQUIRED TO ELIMINATE LIGHT TRESPASS OR GLARE ONTO ADJOINING PROPERTIES OR ROADWAYS.
  5. FOOTCANDLE LEVELS SHOWN ARE MAINTAINED. MAINTENANCE FACTOR USED ON THIS DRAWING IS .75

**PRELIMINARY FOR REVIEW ONLY**



**PAVED SURFACE READINGS**

Average	8.0
Maximum	15.3
Minimum	3.2
Avg Min	2.49
Max Min	4.78

**PROPERTY LINE READINGS**

Average	2.7
Maximum	7.4
Minimum	0.1
Avg Min	27.22
Max Min	74.00

McDONALD'S SITE  
 PART OF 3710 57TH AVE.  
 KENOSHA, WI

**LIGHTING PLAN**

NOTE: ALL POLES ARE DRILLED

FIXTURE TYPE	SYMBOL	QUANTITY	CONFIG	QUANTITY	HOISTING HEIGHT	LUMENS	POLE TYPE	QUANTITY
MSV-1000MH-F-MT-GR	•□	11	SGL	3	32'	110,000	SSS-30-50-3-AX-GR	7
			DBL90	4				

\* POLES SPECIFIED ON THIS DRAWING ARE RATED FOR AN 80 MPH WIND LOAD. FOR AREAS WHERE THE WIND LOAD CRITERIA EXCEEDS 80 MPH, PLEASE CONSULT FACTORY FOR PROPER POLE SPECIFICATION AND MODEL NUMBER.

THIS LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA. TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRES MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS.

UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE IN INCHES

DATE	1/13/11	SCALE	1" = 20'
DESIGNED BY	JM	CHECKED BY	
APPROVED BY		PROJECT NO.	1PCP23047

**POINT-BY-POINT FOOTCANDLE PLOT FOR**  
 - McDONALD'S -  
 KENOSHA, WI

DRAWING NUMBER  
 1PCP23047

NO. REVISION      DATE      BY

GRAPHIC SCALE  
 0      20'      40'

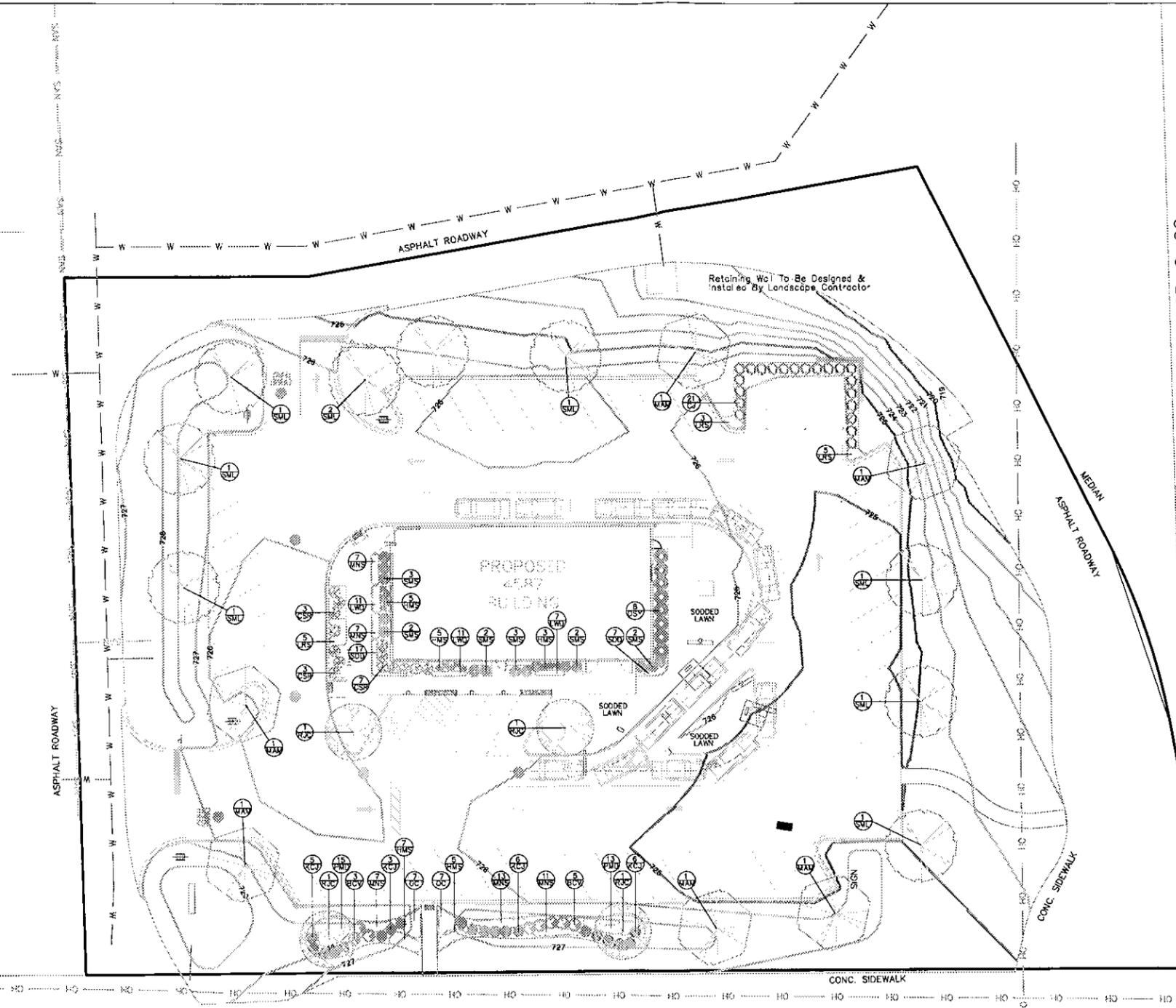
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 DRAWN BY:  
 DATE:  
 PROJECT NO.: 2770  
 CHECKED BY:  
 APPROVED BY:  
 SHEET NO.:

**L1**

LOT 1  
SM #2675

LOT 2  
M #2675

VISION TRIANGLE PER CSM #2330



E. LINE NE 1/4 SEC. 27-2-22  
N 1'37'06" W

**SIGMA** GROUP  
Single Source. Sound Solutions.  
www.thesigmagroup.com  
1300 West Canal Street  
Milwaukee, WI 53233  
Phone: 414-643-4200  
Fax: 414-643-4210

Current Plan Intended For Municipal Review. Not Intended For Construction Document Bid Review

McDONALD'S SITE  
PART OF 3710 57TH AVE.  
KENOSHA, WISCONSIN

**LANDSCAPE PLAN**

160'

**WASHINGTON ROAD (C.T.H. "S")**

PUBLIC RIGHT OF WAY WIDTH VARIES  
DITCH

**PLANT SCHEDULE**

Sym. Quan	Common Name	Botanical Name
<b>DECIDUOUS TREES</b>		
YAM 6	'Marmo' Freeman Maple	Acer freemanii 'Marmo'
SM 15	'Shademaster' Honeylocust	Gleditsia triacanthos 'Shademaster'
<b>ORNAMENTAL TREES</b>		
RJC 4	'Red Jewel' Crepeapple	Malus x 'Red Jewel'
<b>DECIDUOUS SHRUBS</b>		
BCV 8	'Bailey's Compact' Viburnum	Viburnum trilobum 'Bailey's Compact'
CSR 13	'Cherplain' Rose	Rosa 'Cherplain'
SMS 14	Snowbound Spirea	Spiraea nipponicum
<b>EVERGREEN SHRUBS</b>		
CJ 21	'Gansertii' Juniper	Juniperus virginiana 'Gansertii'
DSY 8	'Densiformis' Yew	Taxus x media 'Densiformis'
KCJ 20	'Kaley Compact' Juniper	Juniperus chinensis 'Kaley Compact'
<b>ORNAMENTAL GRASS</b>		
HMS 25	'Heavy Metal' Switchgrass	Panicum virgatum 'Heavy Metal'
<b>PERENNIALS</b>		
LRS 13	'Little Spire' Russian Sage	Perovskia atriplicifolia 'Little Spire'
LWD 29	'Little Wire Cups' Daylily	Henrocallis x 'Little Wire Cups'
MNS 45	'Maynight' Salvia	Salvia x superba 'Maynight'
OC 14	'Orange Coneflower'	Rudbeckia fulgida var. fulgida
PMD 28	'Pardon Me' Daylily	Henrocallis x 'Pardon Me'
SDD 24	'Stella D' Oro' Daylily	Henrocallis x 'Stella D' Oro'

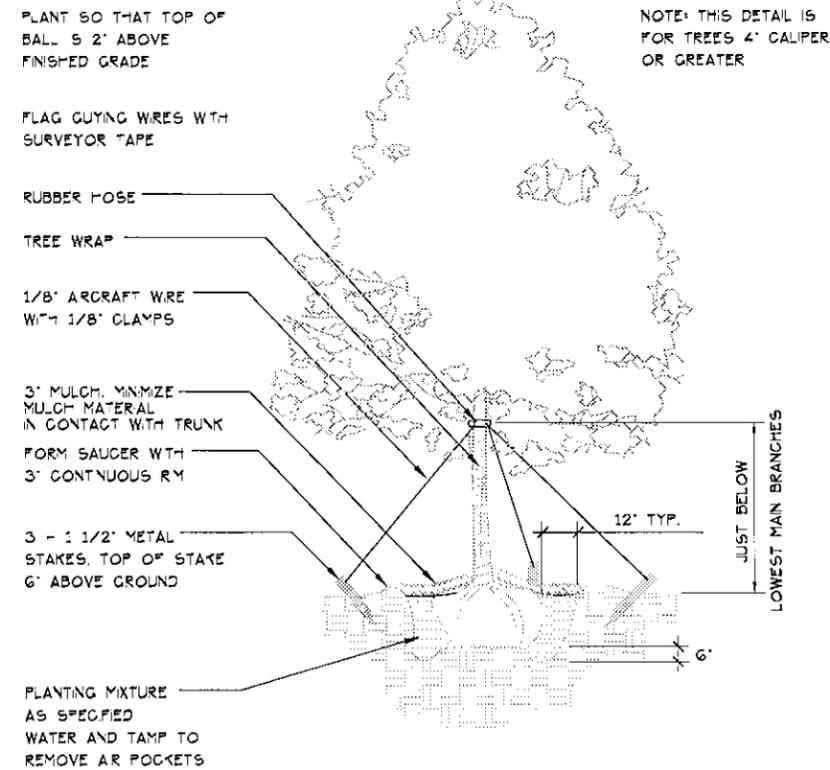
NO. REVISION DATE BY

GRAPHIC SCALE

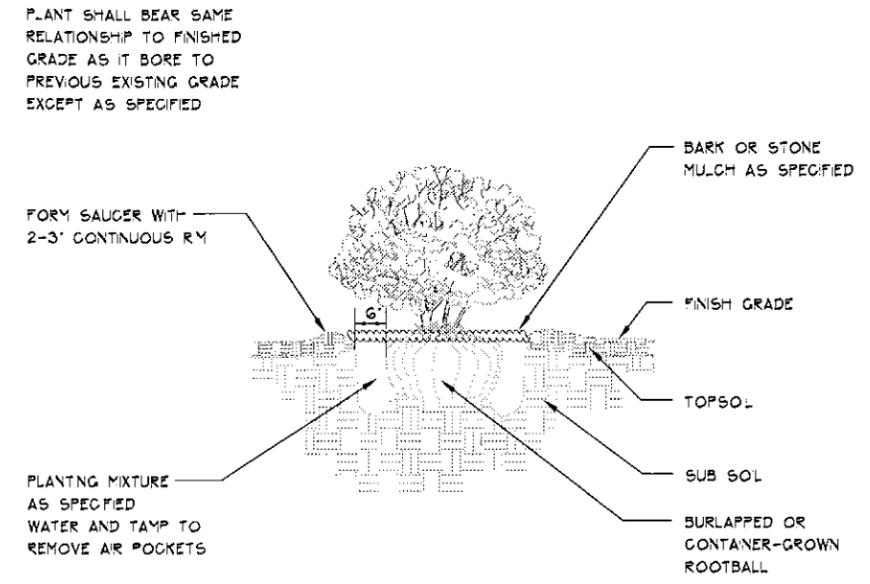
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DRAWN BY: JUR  
DATE: 01-20-11  
PROJECT NO: 2770  
CHECKED BY: JBL  
APPROVED BY: JBL  
SHEET NO.:

**LS 1.0**

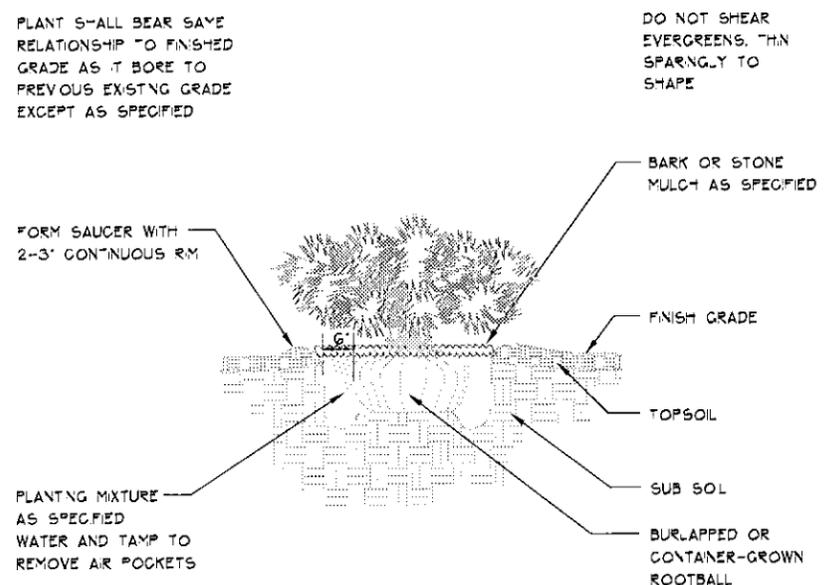
Current Plan Intended For Municipal Review. Not Intended For Construction Document Bid Review



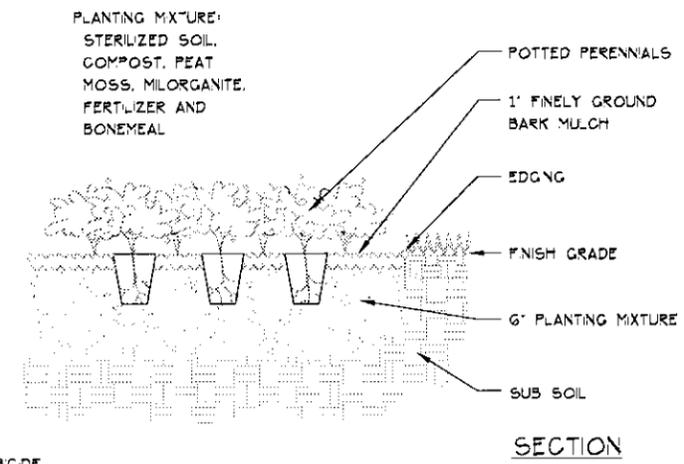
**TREE PLANTING - DECIDUOUS (GUY WIRES)**  
 Scale: Not To Scale



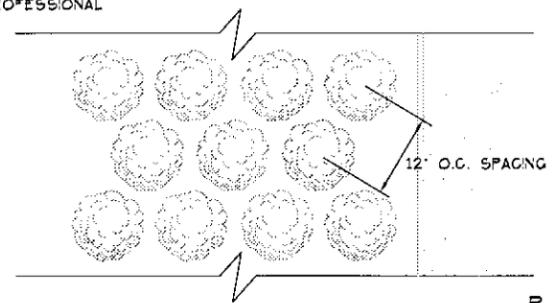
**SHRUB PLANTING - DECIDUOUS**  
 Scale: Not To Scale



**SHRUB PLANTING - EVERGREEN**  
 Scale: Not To Scale



\*\*TRIFLON HERBICIDE TO BE APPLIED BY LICENSED PROFESSIONAL



**PERENNIAL PLANTING**  
 Scale: Not To Scale

McDONALD'S SITE  
 PART OF 3710 57TH AVE.  
 KENOSHA, WISCONSIN

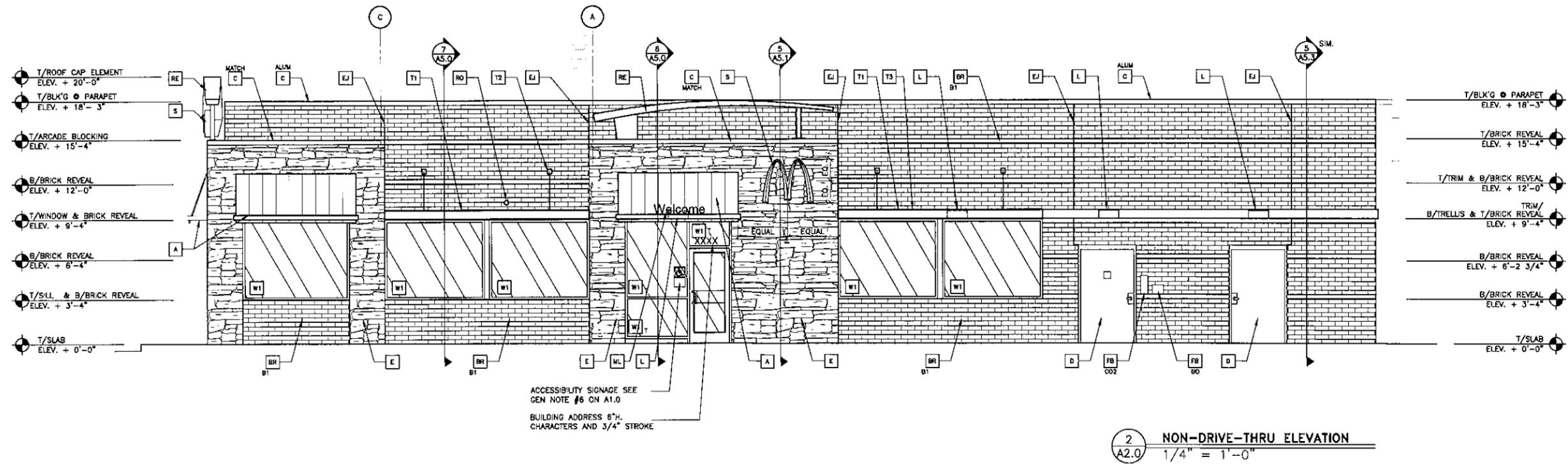
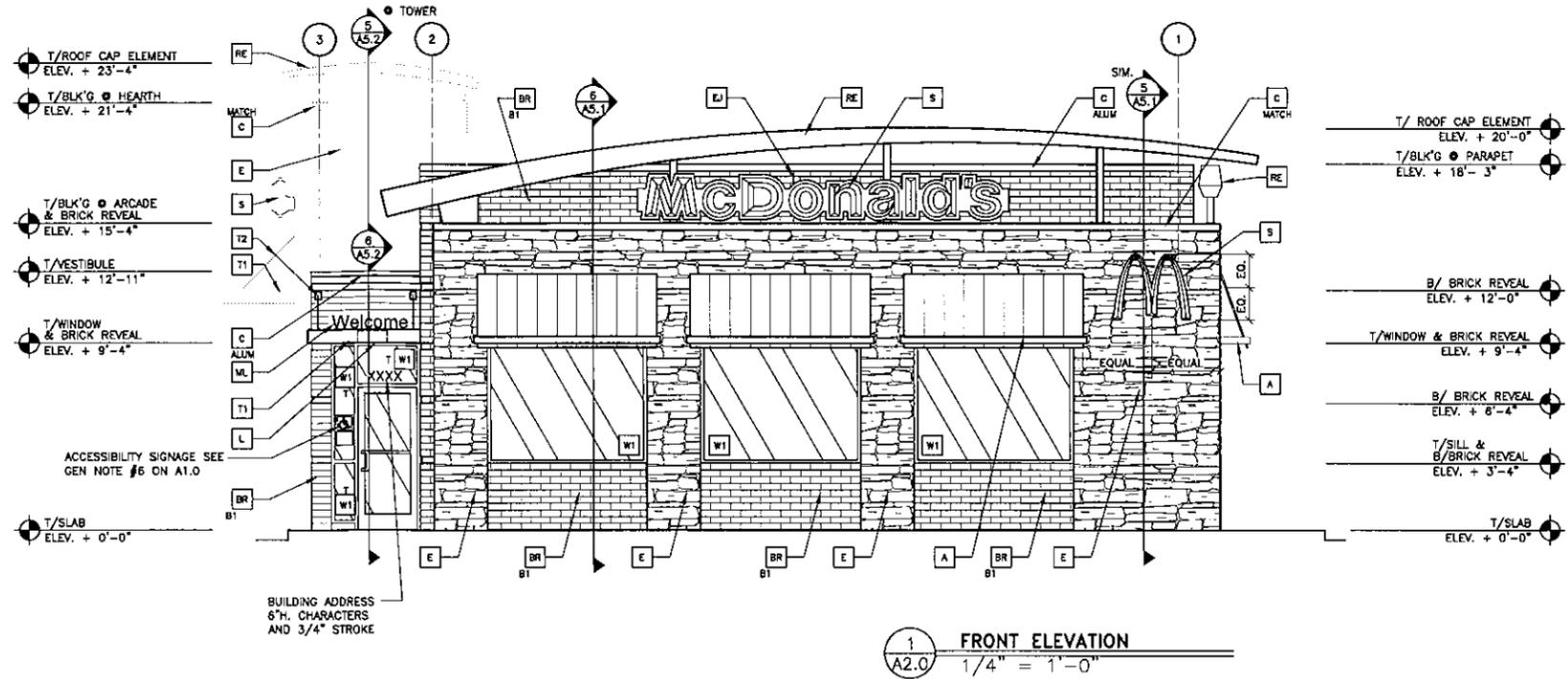
**LANDSCAPE DETAILS**

NO.	REVISION	DATE	BY
GRAPHIC SCALE			
DRAWING NO. McDonalds_1.dwg			
DRAWN BY: JJR			
DATE: 01-20-11			
PROJECT NO: 2770			
CHECKED BY: JBL			
APPROVED BY: JBL			
SHEET NO.:			

**LS 1.1**



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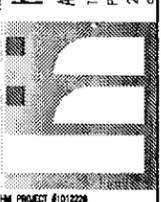


**KEY NOTES:**

- |   |   |   |   |   |  |  |
|---|---|---|---|---|--|--|
| <p><b>A</b> METAL AWNING - UNDER SEPARATE PERMIT. COLOR TO BE ALTERNATING STRIPES TO MATCH FANTONE 123C AND 109C</p> <p><b>BR</b> FACERBRICK</p> <p><b>BT</b> COLOR:<br/>B1 = BOWENSTON TERRACOTTA RED - UTILITY SIZE<br/>B2 = BOWENSTON CHOCOLATE - UTILITY SIZE<br/>*VERIFY W/ ARCH. FINAL COLOR SPECIFICATION.</p> | <p><b>C</b> METAL COPING - COLOR = ALUMINUM</p> <p><b>C</b> METAL COPING - COLOR TO MATCH SURROUNDING MATERIAL</p> <p><b>D</b> HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL</p> | <p><b>E</b> COBBLEFIELD PATTERN CULTURED STONE AS PROVIDED BY OWEN'S CORNING. COLOR SHALL BE TEXAS CREAM 2083.</p> <p><b>EJ</b> EXPANSION JOINT, SEE DETAIL 7/A4.1</p> <p><b>FB</b> CO2 FILL BOX (EOPM SCHEDULE ITEM 49.00)</p> <p><b>FB</b> CO22 CO2 FILL BOX (EOPM SCHEDULE ITEM 700.18) - CONFIRM USE WITH MCD PROJECT MANAGER</p> | <p><b>L</b> LIGHT FIXTURE (WALL SCONCE) - SEE ELECTRICAL</p> <p><b>ML</b> METAL LETTERING - BY OTHERS</p> <p><b>PB</b> PIPE BOLLARD - PAINTED YELLOW</p> <p><b>PT</b> (RMHC) COIN COLLECTOR</p> <p><b>RE</b> ROOF CAP ELEMENT BY OTHERS</p> | <p><b>RO</b> ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL</p> <p><b>S</b> MCDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.</p> <p><b>T1</b> ALUMINUM TRELLIS</p> <p><b>T2</b> TRELLIS TIE-BACK</p> <p><b>T3</b> 2" x 8" WALL FASCIA - REFER TO SIM, DETAIL 3 ON SHEET A3.1</p> | <p><b>W1</b> EXTERIOR WINDOW ASSEMBLY - SEE ASSEMBLY NOTES ON SHEET A3.0<br/>T = TEMPERED GLASS</p> <p><b>W2</b> DRIVE-THRU WINDOW BY READY ACCESS - CONFIRM MODEL, OPTIONS, AND SIZE WITH MCD AREA CONSTRUCTION MANAGER<br/>OPTIONS INCLUDE: TRANSOM (SHOWN)<br/>SLIDE DIRECTION: RL = RIGHT TO LEFT<br/>LR = LEFT TO RIGHT</p> | <p><b>GLAZING REQUIREMENTS:</b><br/>U VALUE = XXXX<br/>SHGC = XXXX</p> |
|---|---|---|---|---|--|--|

DATE	DESCRIPTION	BY	CHK
1/21/11	CONDITIONAL USE / SITE PLAN REVIEW SET	ME	SPS
			BT

PREPARED BY: SPS  
**haag muller, inc.**  
 Architecture - Interiors  
 101 East Grand Avenue, Suite 1  
 Fort Washington, Virginia 20774  
 703.268.1200 www.haagmuller.com  
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PROJECT # 071228  
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**M. McDonald's USA, LLC**  
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DATE	DESCRIPTION	BY	CHK
APR 2008	DESIGN	SPS	SPS
APR 2008	REVISION	SPS	SPS
APR 2008	REVISION	SPS	SPS
APR 2008	REVISION	SPS	SPS

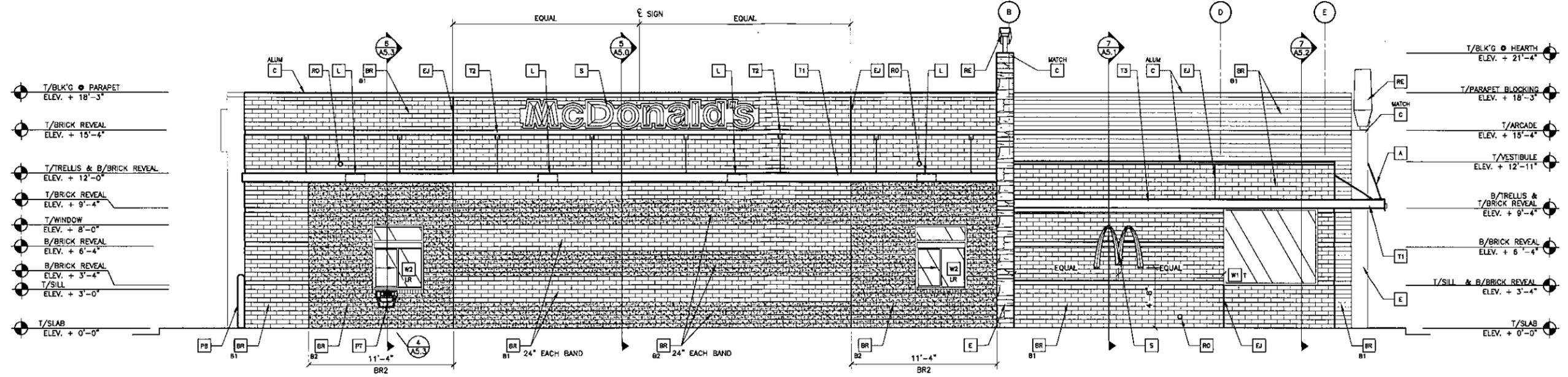
2009 STANDARD BUILDING  
 4587-WOOD/WOOD

DESCRIPTION: WOOD BRICK WALLS w/ 4" BECK CROWN TRUSS WOOD ROOF TRUSS TRIMMING. STATE CONTRACT TRUSS ARCHITECTURE. SEE 0 FOR TRUSS ARCHITECTURE. FOUNDATION: RECONSTRUCT

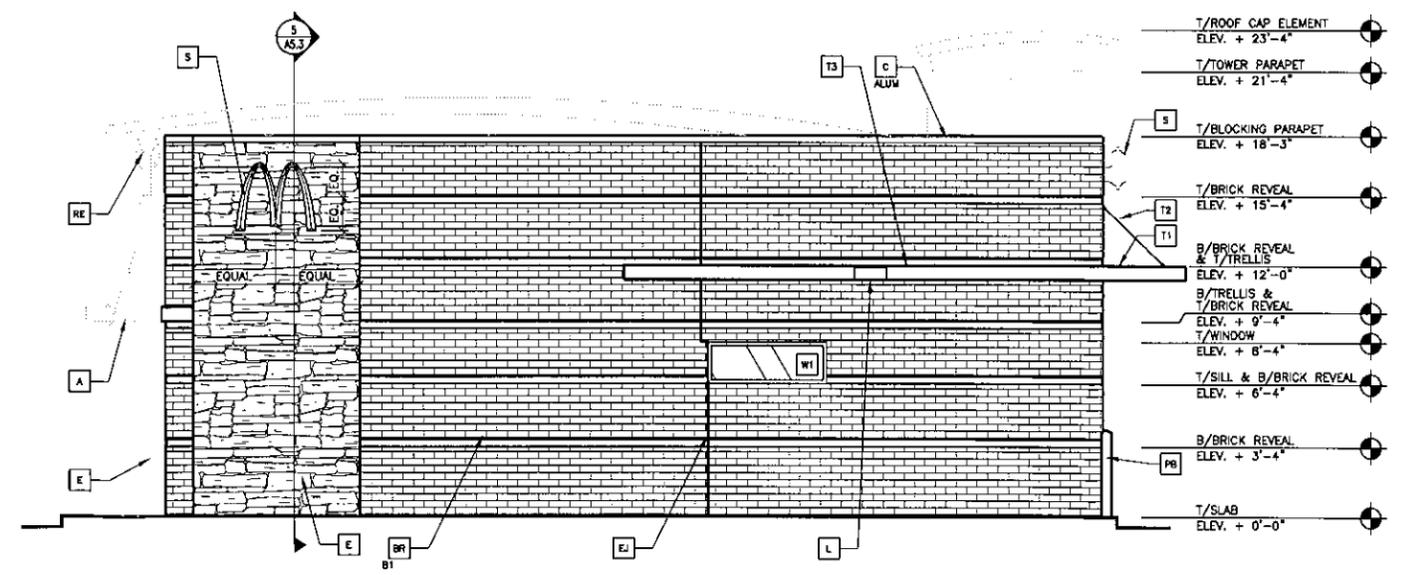
DATE: 03-07-2011  
 SHEET NO. **A2.0**  
 ELEVATIONS  
 Page 166

March 7, 2011

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1 DRIVE THRU ELEVATION  
1/4" = 1'-0"



2 REAR ELEVATION  
1/4" = 1'-0"

**KEY NOTES:**

- |   |  |  |  |   |   |  |
|---|--|--|--|---|---|--|
| <p><b>A</b> METAL AWNING - UNDER SEPARATE PERMIT. COLOR TO BE ALTERNATING STRIPES TO MATCH PANTONE 123C AND 109C</p> <p><b>BR</b> FACEBRICK</p> <p><b>BR1</b> COLOR:<br/>B1 = BOWERSTON TERRAZZOTA RED - UTILITY SIZE<br/>B2 = BOWERSTON CHOCOLATE - UTILITY SIZE<br/>*VERIFY W/ ARCH. FINAL COLOR SPECIFICATION.</p> | <p><b>C</b> METAL COPING - COLOR = ALUMINUM<br/>ALUM</p> <p><b>C</b> METAL COPING - COLOR TO MATCH SURROUNDING MATERIAL</p> <p><b>D</b> HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL</p> | <p><b>E</b> COBBLEFIELD PATTERN CULTURED STONE AS PROVIDED BY OWEN'S CORNING. COLOR SHALL BE TEXAS CREAM 2063.</p> <p><b>EJ</b> EXPANSION JOINT, SEE DETAIL 7/A4.1</p> <p><b>FB</b> CO2 FILL BOX (EOPM SCHEDULE ITEM 49.00)</p> <p><b>FB</b> OPTIONAL BLUX OIL FILL BOX (EOPM SCHEDULE ITEM 700.18) - CONFIRM USE WITH MCD PROJECT MANAGER</p> | <p><b>L</b> LIGHT FIXTURE (WALL SCONCE) - SEE ELECTRICAL</p> <p><b>ML</b> METAL LETTERING - BY OTHERS</p> <p><b>PB</b> PIPE BOLLARD - PAINTED YELLOW</p> <p><b>PT</b> (R4MHC) COIN COLLECTOR</p> <p><b>RE</b> ROOF CAP ELEMENT BY OTHERS</p> | <p><b>RD</b> ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL</p> <p><b>S</b> McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.</p> <p><b>T1</b> ALUMINUM TRELIS</p> <p><b>T2</b> TRELIS TIE-BACK</p> <p><b>TR</b> 2' x 8' WALL FASCIA - REFER TO SIM. DETAIL 3</p> | <p><b>W1</b> EXTERIOR WINDOW ASSEMBLY - SEE ASSEMBLY NOTES ON SHEET AS.0<br/>T = TEMPERED GLASS</p> <p><b>W2</b> DRIVE-THRU WINDOW BY READY ACCESS - CONFIRM MODEL, OPTIONS, AND SIZE WITH MCD AREA CONSTRUCTION MANAGER<br/>OPTIONS INCLUDE: TRANSOM (SHOWN)</p> <p>SLIDE DIRECTION: RL = RIGHT TO LEFT<br/>LR = LEFT TO RIGHT</p> | <p><b>GLAZING REQUIREMENTS:</b><br/>U VALUE = 0.00X<br/>SHGC = 0.00X</p> |
|---|--|--|--|---|---|--|

haag mueller, inc.  
Architecture Engineering Interiors  
101 East Grand Avenue, Suite 1  
Port Washington, Wisconsin 53074  
262.268.1200 www.haagmueller.com

McDonald's USA, LLC  
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2009 STANDARD BUILDING  
4587-WOOD/WOOD  
DESCRIPTION:  
WOOD BEARING WELLS BY 4" BRICK EXTERIOR FINISH  
WOOD ROOF TRUSS FINISH  
STONE EXTERIOR FINISH MATCH/PAINT  
SHEET NO. 10-0000.010  
DATE: APRIL 2009

City Plan Division 625 52 <sup>nd</sup> Street Kenosha, WI 53140 262.653.4030	Kenosha City Plan Commission  <b>FACT SHEET</b>	February 24, 2011	Item <b>2</b>
<b>Conditional Use Permit for a 47-unit senior assisted living facility to be located at 1870 27th Avenue, District #5. (Celebre Place) PUBLIC HEARING</b>			

**LOCATION/SURROUNDINGS:**

Site: 1870 27th Avenue  
Zoned: RM-3 Elderly and Handicapped Housing District

**NOTIFICATIONS/PROCEDURES:**

The alderman of the district, Alderman LaMacchia, has been notified. The alderman of the adjoining district, Alderman Ruffolo, has also been notified. The Common Council is the final review authority.

**ANALYSIS:**

- The applicant is proposing to construct a 47-unit assisted living facility at the *Lou DeMarco Village* campus on 27th Avenue, south of 18th Street. The facility would be licensed as a Residential Care Apartment Complex. (RCAC) The project will not be tax exempt.
- The proposed materials are brick and cement board siding, which complies with the Zoning Ordinance. The colors and materials are complimentary to the adjacent *Villa Ciera* apartment building to the south.
- The project applied for and received WHEDA tax credits for affordable housing. One-hundred (100%) percent of the units are covered by the tax credits.
- The proposed development will have forty-seven (47) units, which is a density of 23.98 units per acre. The maximum density in the RM-3 District is twenty-four 24 units per acre.
- The site will have twenty-five (25) underground parking spaces and thirteen (13) surface parking spaces. A minimum of twenty-one (21) spaces are required by the Zoning Ordinance for RCAC. If the project is converted to conventional senior housing, nine (9) additional spaces would be required.
- Plans were sent to City Departments for their review. Their comments are included in the attached Conditions of Approval.
- The plans generally comply with Sections 4 and 14 of the Zoning Ordinance.

**RECOMMENDATION:**

A recommendation is made to approve the Conditional Use Permit, subject to the attached Conditions.



Brian R. Wilke, Development Coordinator  
/u2/acct/cp/ckays/1CPC/2011/Feb24/fact-cup-celebre.odt



Jeffrey B. Labahn, Director of City Development

City Plan Division  
625 52nd Street  
Kenosha, WI 53140  
262.653.4030

**Kenosha City Plan  
Commission  
Conditions of Approval**

**Celebre Place  
1870 27th Avenue**

February 24, 2011

1. The following Conditions of Approval will run with the land and shall be included in a document recorded with the Kenosha County Register of Deeds:
  - a. The applicant shall obtain all required construction permits from the Department of Neighborhood Services & Inspections. This includes, but is not limited to Erosion Control, Building, Plumbing, Electrical and Occupancy permits.
  - b. The applicant shall obtain a Driveway permit from the Department of Public Works.
  - c. All signs shall comply with Chapter 15 of the Code of General Ordinances and the applicant shall obtain sign permits for all new signs. A separate submission and permits are required for all signs. Sign information provided under the Conditional Use Permit is for reference only and does not constitute sign permit approval.
  - d. The development shall be constructed per the approved plans on file with the Department of City Development, Room 308, 625 52<sup>nd</sup> Street, Kenosha, WI 53140. Any changes to the approved plans shall require an amendment to the Conditional Use Permit. All changes shall be submitted to the Department of City Development for review and approval.
  - e. Prior to the issuance of any occupancy permits, all parking areas, drives and designated paved areas shall have the initial lift of asphalt installed. The building exterior shall be completed per the approved plans, the exterior lighting shall be installed and the Conditional Use Permit shall be recorded with the Kenosha County Register of Deeds. All improvements indicated on the plans, including landscaping, shall be installed prior to the issuance of a final Occupancy permit. The recording fees for the Conditional Use Permit shall be submitted by the applicant.
  - f. Compliance with City and State and/or Federal Codes and Ordinances. The buildings shall comply with the current Code standards in effect upon application for a building permit.
  - g. All trash containers shall be stored within the enclosure or building. Applicant/owner shall be responsible for waste collection and removal for the development. The City of Kenosha shall not provide waste collection or removal services or incur any cost in this regard.
  - h. The applicant shall meet all applicable Conditions of Approval and obtain a building permit within six (6) months of Common Council approval of the Conditional Use Permit or the Conditional Use Permit shall be null and void.
  - i. All vehicles shall be parked within the designated paved areas.

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February 24, 2011

- j. All improvements, including landscaping, shall be maintained per the approved plans. Any damaged fencing, landscaping or building shall be replaced or reconstructed per the approved plans.
  - k. Cross access shall be provided to adjacent parcels if required at a future date by the City.
  - l. A Deed Restriction shall be recorded on the property which prevents the conversion of the site to conventional multi-family housing. The Deed Restriction shall be recorded prior to Occupancy.
  - m. If the building is converted to independent senior housing at a future date, the owner must amend the Conditional Use Permit, provide additional off-street parking and obtain a new Occupancy Permit.
  - n. Compliance with the Operational Plan dated November 30, 2010 and February 8, 2011.
2. The following conditions of approval shall be satisfied with City Staff prior to the issuance of any construction permits.
- a. The Drainage Plan shall be revised and resubmitted for review and approval addressing comments listed in the Public Works memo dated December 7, 2010.
  - b. The Utility Plan shall be revised and resubmitted for review and approval addressing the comments listed in the Kenosha Water Utility Memo dated December 1, 2010.
  - c. The applicant shall provide the Department of City Development with a certificate from the County Treasurer stating that there are no past due real estate taxes or special assessments on the site per Section 2.02.B.8 of the Zoning Ordinance.
  - d. A 10' x 8' office space shall be included on the first floor for the Kenosha Senior Action Council Housing Management Corporation or its future successor non-profit senior organization as approved by the Alderman of the District and an Alderman of any District located within 100 feet of the property. The office space shall be provided free of charge to the user.
  - e. The applicant shall work with the adjoining property owners to the east and north to provide a defined pedestrian link to the rear of the Glenwood Crossings shopping center. The link shall be installed on the applicant's property prior to the issuance of a final Occupancy permit.
  - f. A sidewalk connection from the public street to the main entrance is missing. A sidewalk shall be installed either along the northeast side or southwest side of the

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**Kenosha City Plan  
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February 24, 2011

development's private drive or install a painted crosswalk to the south sidewalk where the development's private drive intersects the building's proposed private drive.

- g. The layout of the sidewalk connection on the east side of the property differs between the Site Plan and all of the other plans. Please revise.
- h. Pull the proposed plantings that are currently shown in the middle of a swale either up the slope toward the building, or out to the lot line. The landscape plan shows a five (5') foot high berm on the swale. The berms west and south of the building are not required due to the building elevation, drainage necessity and close proximity of features.
- i. A Storm Water Management Permit application and Storm water Management Plan incorporating water quality detention or payment to the City in lieu of providing that storm water detention are needed.
- j. The plan shall include a calculation in square feet of the total size of the building broken down by floor.
- k. A Class III standpipe system shall be installed per Code.
- l. A remote Fire Department connection and standpipe connection shall be installed by the fire hydrant.
- m. Include a six (6') foot tall site-obscuring fence along the entire west property line. The fence should be compatible with the existing fence to the south.
- n. The twenty (20') foot wide fire access lane shall be paved with asphalt or concrete for the entire length.

/u2/acct/cp/ckays/1CPC/2011/Feb24/conditions-celebre.odt



**Engineering Division**  
 Michael M. Lemens, P.E.  
 Director/City Engineer

**Street Division**  
 John H. Prijic  
 Superintendent

**Fleet Maintenance**  
 Mauro Lenci  
 Superintendent

**Waste Division**  
 Robert Bednar  
 Superintendent

**Park Division**  
 Jeff Warnock  
 Superintendent

**Administration Supervisor**  
 Janice D. Schroeder

**DEPARTMENT OF PUBLIC WORKS**

Ronald L. Bursek, P.E., Director

**TO:** Brian Wilke, Development Coordinator

**FROM:** Ronald L. Bursek, P.E.  
 Director of Public Works

Michael M. Lemens, P.E.  
 Director of Engineering/City Engineer

*Ronald Bursek*  
*Michael M. Lemens*  
 12-7-10

**DATE:** December 7, 2010

**SUBJECT:** PLAN REVIEW COMMENTS

**Project Description:** Celebre Place Assisted Living

**Location:** 1870 27<sup>th</sup> Avenue

Our staff has reviewed the plans for this project. The following comments are provided:

<b>Parking Lot Ordinance Compliance</b>	<b>Sufficient</b>	<b>Deficient</b>
Parking Lot Paved	X	
Standard Stall Width	X	
Parking Lot Layout	X	
Parking Lot Lighting Shown	X	
Parking Lot Lighting Adequate	X	
Handicapped Parking	X	
Driveway Locations	X	
Driveway Width	X	
Passing Blister or Accel/Decel Lanes		
Sidewalks Adequate	X	
Drive Thru Lane Design		

<b>Public Streets</b>	<b>Sufficient</b>	<b>Deficient</b>
Geometric Design	N/A	
Pavement Width		
Pavement Thickness Design		
Established Grades		
Plan Details		
Sidewalks		
Street Lights		

Site Grading/Drainage	Sufficient	Deficient
Drainage Plan		X
Storm Sewer		X
Storm Water Detention		X
Drainage Calculations		X

Project Approval/Permits Needed	Yes	No
Project Approved for Permitting		X
Withhold Permits: See Comments		
Approve Footing/ Foundation Only (per condition)		
Parking Lot Permit Required	X	
Driveway Permits Required		X
Sidewalk Permit Required		X
Street Opening Permit Required		X
State Permit Required		

Other Comments:

1. The 48" storm sewer adjacent to the north property line ends about 12 ft short of the west property line. It needs to be extended to the west property line.
2. The existing elevations indicate that the properties north and west of this proposed development drain across the property line. It appears the proposed grading obstructs this drainage. Either show that this is not occurring, provide a drainage path along the lot line or provide an inlet to pick up this runoff.
3. Provide elevations for proposed grading along the lot lines, contours are not adequate.

cc: Randy LeClaire  
 Bill Kohel  
 Tara Zerzanek

**Engineering Services**  
4401 Green Bay Road  
Kenosha WI 53144

Phone (262) 653-4315  
Fax (262) 653-4303



*"Providing and Protecting Kenosha's Greatest Natural Resource"*

MEMO

To: Brian Wilke, Development Coordinator

From: Curt Czamecki, Water Engineer

Date: December 1, 2010

Subject: Celebre Place Assisted Living R.C.A.C.

Location: 1870 27<sup>th</sup> Avenue (Lou Demarco Village)

The Kenosha Water Utility (KWU) has reviewed the submittal for the above referenced project. Further information from the Developer is required before the Utility can complete this review. Please withhold all permits until the following information is submitted.

1. Easements and agreements shall be in place to encompass the sanitary sewer serving the proposed building from the connection point to the public main in 27<sup>th</sup> Avenue to the parcel on which the building is being built. In addition, if the private sanitary sewer line serves both the proposed development as well as the existing development to the south a signed joint ownership and maintenance agreement shall be in place clearly defining the joint ownership and maintenance responsibility of the line.
2. The water meter size along with a detail or diagram shall be provided. The development shall be subject to a sewer connection fee based on the water meter size.
3. A 3C18 gage cable by Belden-M or approved equal shall be installed in 1/2" conduit through the exterior wall for the remote water meter reader. The remote reader shall be field located by KWU meter division.
4. Water services larger than 2" shall be flushed and bacteria tested in accordance with KWU Chapter XXXII Rules and Regulations, Rule 06-29.
5. Water services shall have a minimum of 5 1/2' of cover to finished grade.
6. Water services shall have a blue #12 locator wire installed along the entire length. The locator wire shall be brought to the surface in the valve box at the connection point.
7. Sanitary sewer laterals shall have a green #12 locator wire installed along the entire length. Locator wire shall be brought to the surface at the edge of the building and enclosed in a curb box with "sewer" on the cover.
8. The proposed private fire hydrant will be subject to a private fire protection service charge.
9. The following notes shall be added to the utility plans
  - a. All sanitary sewer and water to be installed in accordance with Kenosha Water Utility standards.
  - b. All applications and fees for sanitary sewer and water must be completed and paid prior to connection to the sewer/water systems.
  - c. All water connections to existing water mains need a KWU representative present to inspect construction. Developer shall provide 48-hours notice to KWU when connections are to be made.
  - d. Any utility work in the right-of-way and all sanitary sewer connections to be inspected by KWU. Notify KWU 48-hours in advance of connecting to sewer.

**Celebre Place**  
**Operational Plan**  
**November 30, 2010**

**Overview:** A new, affordable 47-unit rental development for older adults. The owner intends to provide assisted living services to residents. It is anticipated that many residents will be Medicaid-eligible, and that this program will support the cost of living services.

**Staffing:** As an assisted living residence, Celebre Place will be staffed 24/7. If about half of all residents opt to receive services, about 12 to 15 people would be employed. Of those staff, about 4 to 5 would be full-time and 8 to 10 part-time positions. Positions may include leasing agents, managers, nursing staff, chefs and cooks, housekeepers, maintenance supervisors, caregivers and an assortment of healthcare professionals.

**Zoning Requirements and Building Design:** The property is zoned Rm-3 Elderly and Handicapped Housing District. The proposed development will meet all requirements of the Zoning Code for this District, including setbacks, parking and building height. The building is designed to accommodate the physical needs of its intended older adult residents, all of whom desire a measure of independence yet many of who may have mobility impairments.

**Celebre Place Common Space Amenities:**

- Dining room
- Professional kitchen
- Conference room
- Fitness center
- Salon and Art & Crafts rooms
- Business Center with computers
- Library/Media Center
- Underground parking
- Storage lockers
- Fully accessible for residents with mobility impairments

**Celebre Place Living Units:**

- 35 one-bedroom units, ranging from 645 to 754 square feet
- 12 two-bedroom units, ranging from 906 to 925 square feet
- Modern, Energy Star kitchen appliances, including range, oven, dishwasher, disposal and microwave
- Accessible design features, such as lever door, windows and plumbing hardware

**Property Management:** The property will be professionally managed. Fresh Coast Partners, a professional RCAC service provider, and Horizon Management Services, an experienced affordable rental manager, plan to provide management services. Horizon Management Services has managed the neighboring Villa Ciera since 2001. Fresh Coast Partners provides assisted living services for Parkview Manor in Caledonia and other properties in Southeast Wisconsin.

**Operation of the Property:** The owner intends to operate Celebre Place as an affordable assisted living rental residence for seniors. Changes in market conditions, public health care financing or other factors may, in the future, limit Celebre Place's ability to operate with service provision. The owner shall have the right to operate Celebre Place as rental housing for seniors with some or no assisted living services, and making such changes shall not cause the property to be in violation of its Conditional Use Permit, assuming all conditions of approval are complied with, including but not limited to, off-street parking requirements.

# Celebre Place LLC

---

February 8, 2011

Brian R. Wilke, Development Coordinator  
Department of City Development  
City of Kenosha  
625 52<sup>nd</sup> Street, Room 308  
Kenosha, WI 53140

Dear Brian:

Celebre Place LLC will be the owner of the Celebre Place rental residential property at 1870 27<sup>th</sup> Street in Kenosha.

As part of the City of Kenosha's review of the Conditional Use Permit application for Celebre Place, the City has requested assurance that this property will not be property tax exempt. This letter provides the City such assurance.

The owner of Celebre Place will not seek a property tax exemption from the City of Kenosha.

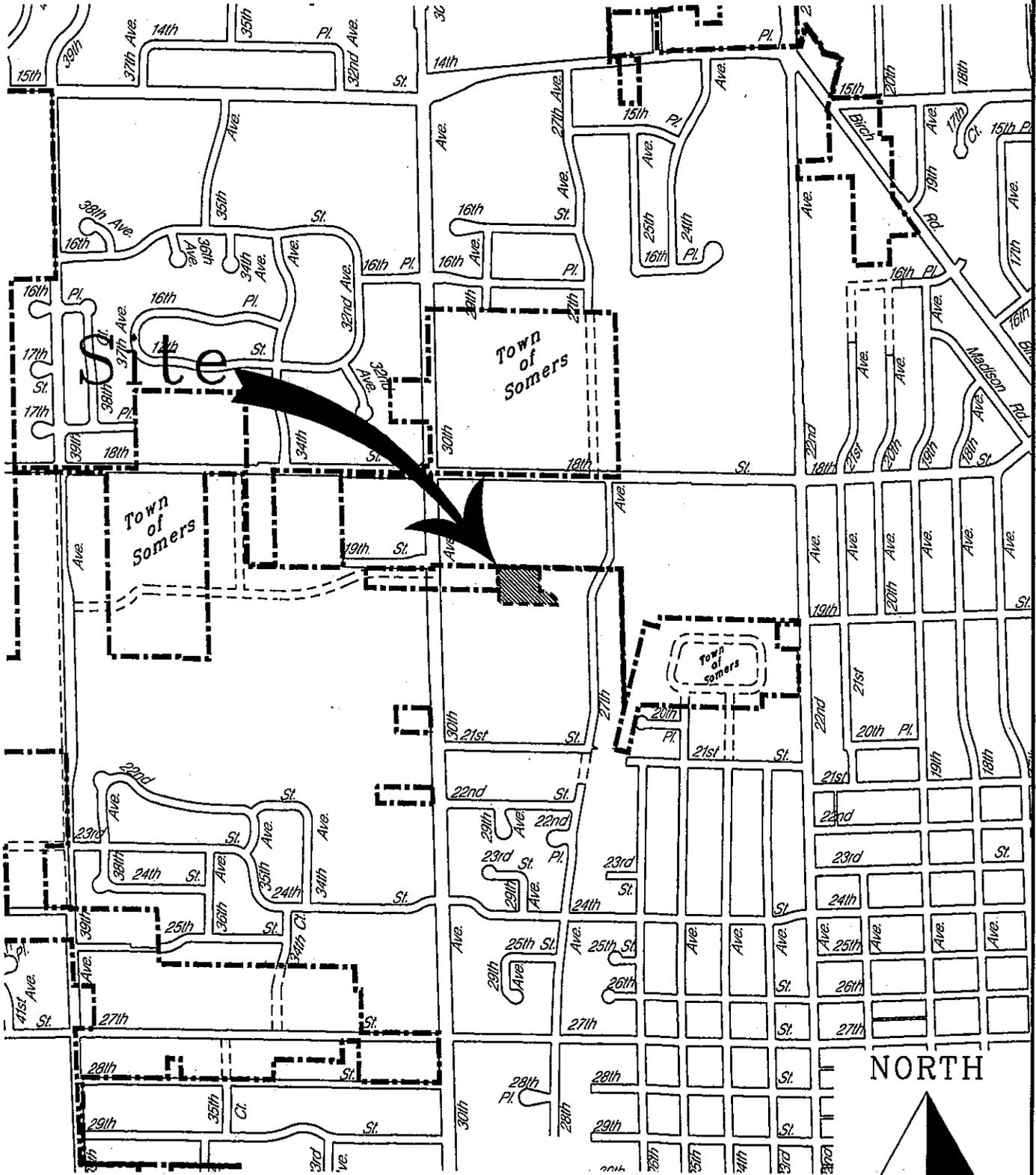
Sincerely,

Celebre Place LLC

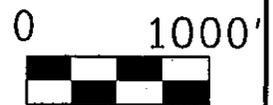
By:   
Robert B. Schwarz, President  
Parmenter Development, Inc., its Managing Member

# City of Kenosha

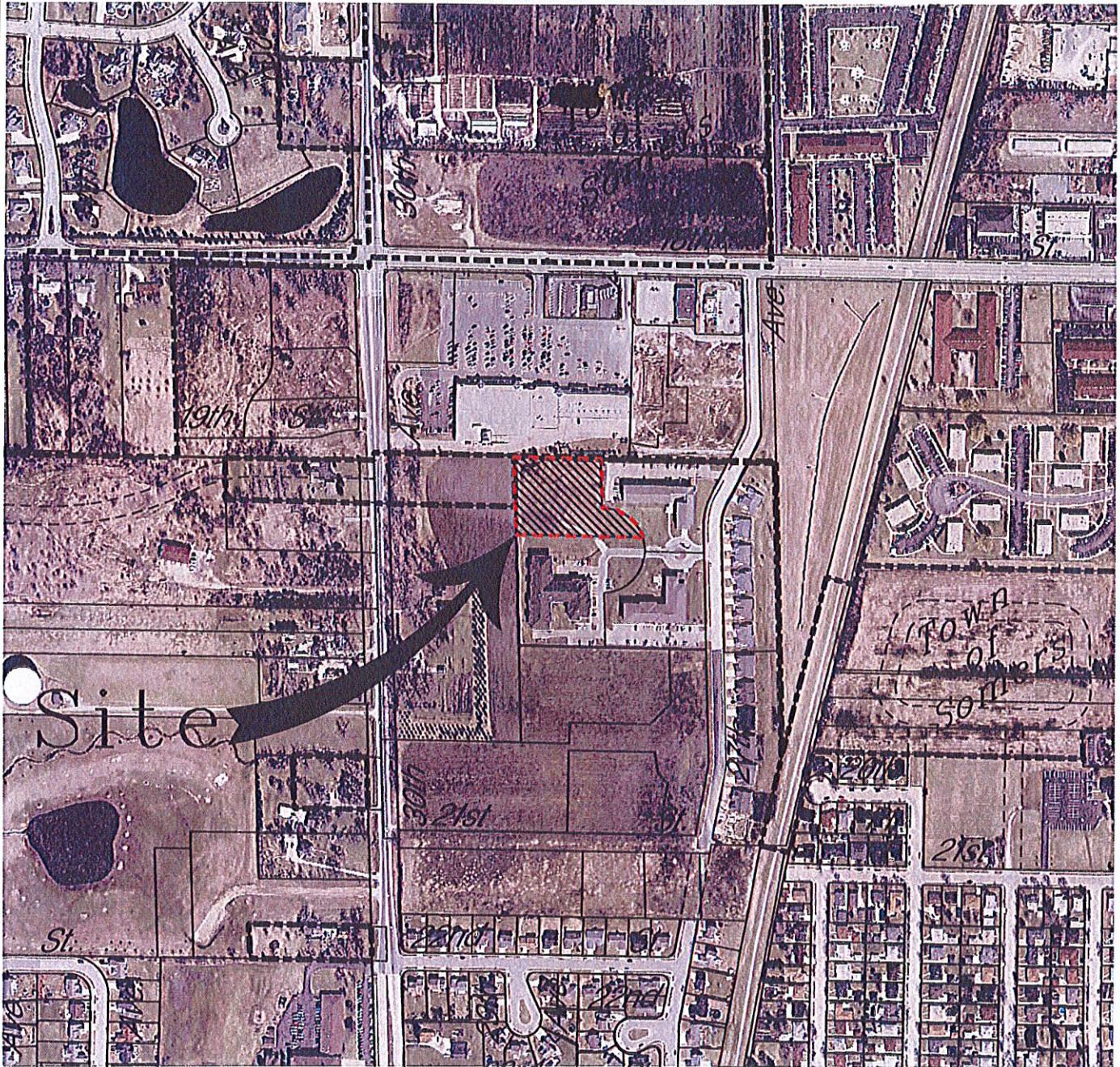
## Vicinity Map Celebre Place CUP



-  Subject Property
-  Municipal Boundary

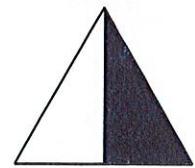


City of Kenosha  
Vicinity Map  
Celebre Place CUP



-  Subject Property
-  Municipal Boundary

NORTH



DCD ~ City Plan Division ~ JBL ~ BRW ~ 12-27-2010 ~ mc

**Development Review Application  
City of Kenosha, Wisconsin**

**MAILING INFORMATION**

**NAME OF PROJECT:** Celebre Place

**Check one (1) of the following boxes to indicate the recipient of all correspondence:**

- Name and Address of Applicant (Please print):**  
Parmenter Development, Inc.  
2310 Parmenter St., # 414  
Midleton, WI 53562  
 Phone: 608-345-4479  
 Fax: \_\_\_\_\_  
 E-Mail: rbschwarz@charter.net
  
- Name and Address of Architect/Engineer (Please print):**  
Knoth + Bruce Architects  
7001 University Ave., Suite 201  
Midleton, WI 53562  
 Phone: 608-836-3690  
 Fax: 608-836-6934  
 E-Mail: rbruce@knothbruce.com
  
- Name and Address of Property Owner (if other than applicant) (Please print):**  
Kenosha Senior Action Housing Management, Inc.  
c/o Attorney William Michel  
1025 56th St.  
Kenosha, WI 53140  
 Phone: 262-652-8144  
 Fax: \_\_\_\_\_  
 E-Mail: william-michel@sbglobal.net

**PROJECT LOCATION**

**Location of Development (street address and / or parcel number):** 1870 27th St.

**TYPE OF LAND DEVELOPMENT**

**Check all that apply. Note: Additional information may be required within individual Sections.**

- |   |            |               |
|---|------------|---------------|
| <input type="checkbox"/> Certified Survey Map   | Section 1  | Page 2        |
| <input type="checkbox"/> Concept Review (Land Division)                               | Section 2  | Page 3        |
| <input type="checkbox"/> Concept Review (Multi-Family Residential or Non-Residential) | Section 3  | Page 4        |
| <input checked="" type="checkbox"/> Conditional Use Permit                            | Section 4  | Pages 5 & 6   |
| <input type="checkbox"/> Developer's Agreement  | Section 5  | Page 7        |
| <input type="checkbox"/> Final Plat   | Section 6  | Pages 8 & 9   |
| <input type="checkbox"/> Lot Line Adjustment Survey                                   | Section 7  | Page 10       |
| <input type="checkbox"/> Preliminary Plat   | Section 8  | Pages 11 & 12 |
| <input type="checkbox"/> Rezoning   | Section 9  | Pages 13 & 14 |
| <input type="checkbox"/> Site Plan Review   | Section 10 | Pages 15 & 16 |

**PRIOR TO SUBMITTING THIS APPLICATION TO THE DEPARTMENT OF CITY DEVELOPMENT,  
PLEASE REVIEW THE APPROPRIATE SECTION(S) FOR FEES, REQUIREMENTS AND APPROPRIATE APPENDICES.**

**Submit this cover page, completed application, applicable section(s) and appendices  
along with ALL required plans, information and fees to:**

Department of City Development  
625 52nd Street, Room 308  
Kenosha, WI 53140

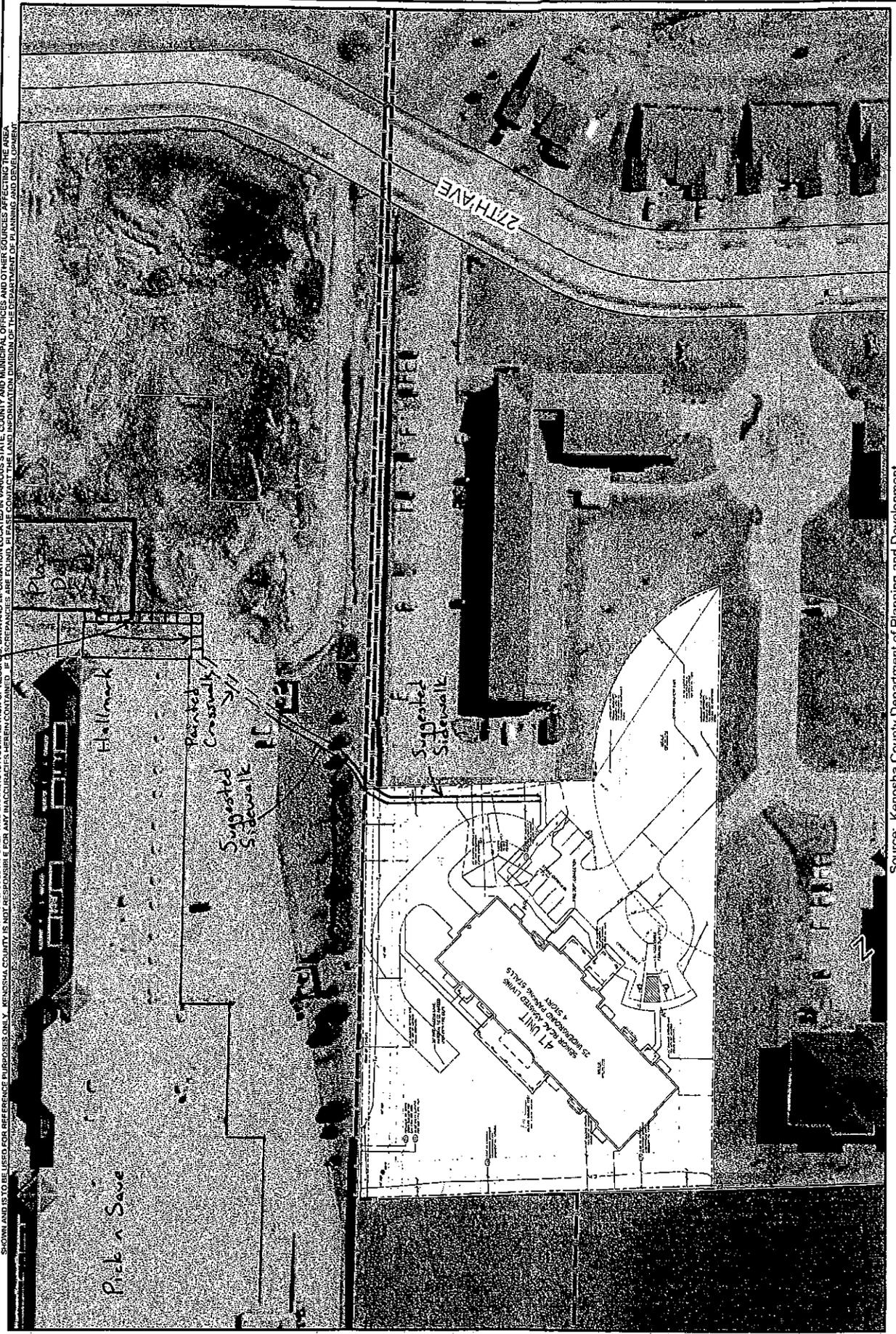
Phone: 262.653.4030  
Fax: 262.653.4045

Office Hours:  
M - F 8:00 am - 4:30 pm

1 inch = 100 feet  
Map Printed: 12/28/2010

North

THIS MAP IS NEITHER A LEGALLY RECORDED MAP NOR A SURVEY AND IS NOT INTENDED TO BE USED AS ONE. THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. KENOSHA COUNTY IS NOT RESPONSIBLE FOR ANY INACCURACIES HEREIN. CONTACT THE PLANNING AND DEVELOPMENT DIVISION OF THE DEPARTMENT OF PLANNING AND DEVELOPMENT FOR MORE INFORMATION LOCATED IN VARIOUS STATE, COUNTY AND MUNICIPAL OFFICES AND OTHER SOURCES AFFECTING THE AREA SHOWN AND IS TO BE USED FOR REFERENCE PURPOSES ONLY. KENOSHA COUNTY IS NOT RESPONSIBLE FOR ANY INACCURACIES HEREIN. CONTACT THE PLANNING AND DEVELOPMENT DIVISION OF THE DEPARTMENT OF PLANNING AND DEVELOPMENT FOR MORE INFORMATION.



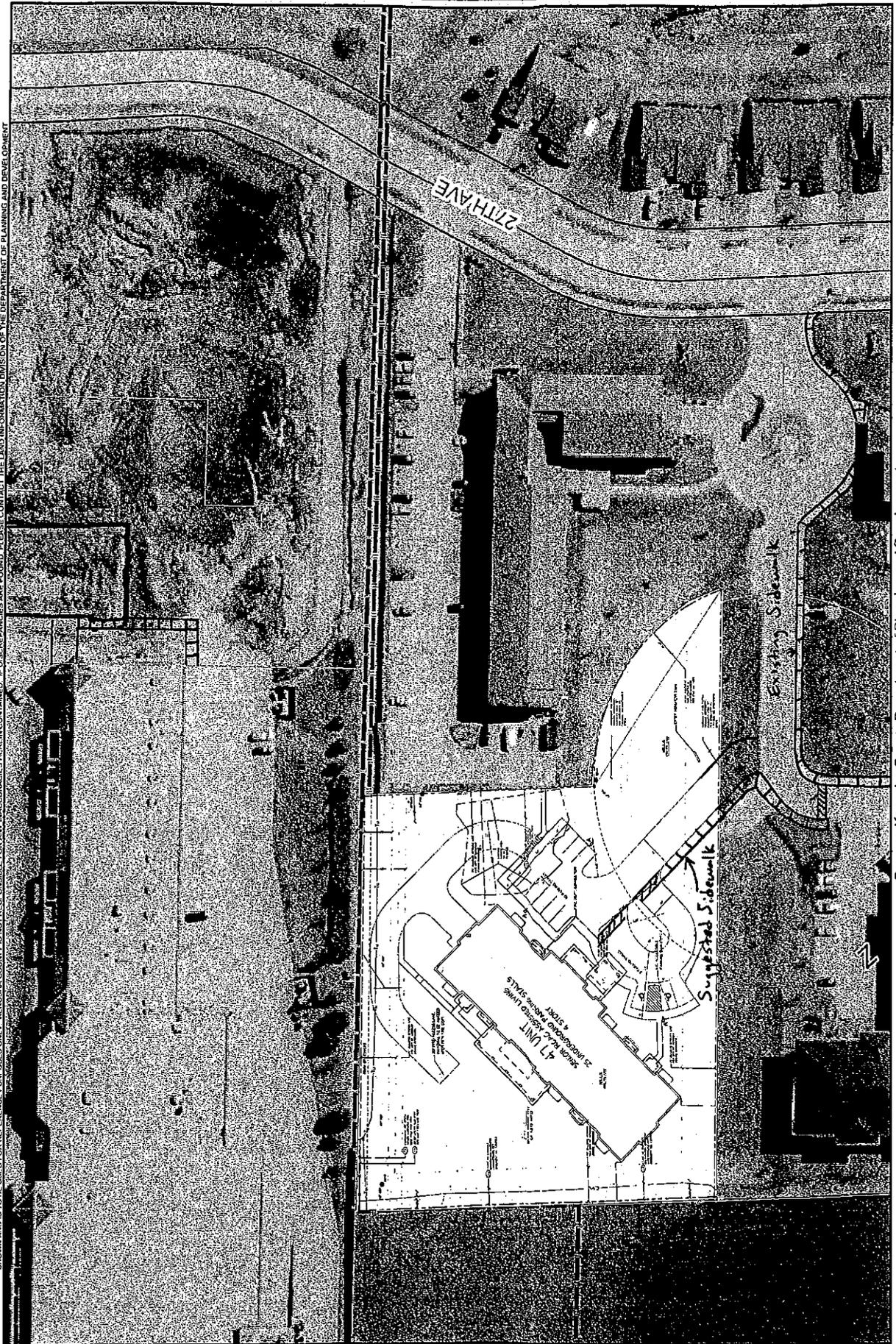
Kenosha County Interactive Mapping Site

Source: Kenosha County Department of Planning and Development

1/4 inch = 100 feet  
Map Printed: 12/28/2010



THIS MAP IS NEITHER A LEGALLY RECORDED MAP NOR A SURVEY AND IS NOT INTENDED TO BE USED AS ONE. THIS DRAWING IS A COMPILATION OF RECORDS DATA AND INFORMATION LOCATED IN VARIOUS STATE COUNTY AND MUNICIPAL OFFICES AND OTHER SOURCES. BEARING THE AREA SHOWN AND IS TO BE USED FOR REFERENCE PURPOSES ONLY. KENOSHA COUNTY IS NOT RESPONSIBLE FOR ANY INACCURACIES HEREIN CONTAINED. IF DISCREPANCIES ARE FOUND, PLEASE CONTACT THE LAND INFORMATION DIVISION OF THE DEPARTMENT OF PLANNING AND DEVELOPMENT.



Source: Kenosha County Department of Planning and Development

Contract:



○ Front Elevation  
1/8" = 1'-0"



○ Side Elevation  
1/8" = 1'-0"

Revised:  
 Issued - Nov. 1, 2007  
 Issued to City of Kenosha - Nov. 24, 2007

Project Title:  
**Celebre Place**  
 Senior RCAC Assisted Living

Kenosha, WI  
 Senior  
**Elevations**

Project No.:  
**0851**  
 Drawing No.:  
**A-2.1**



○ Rear Elevation  
1/8" = 1'-0"



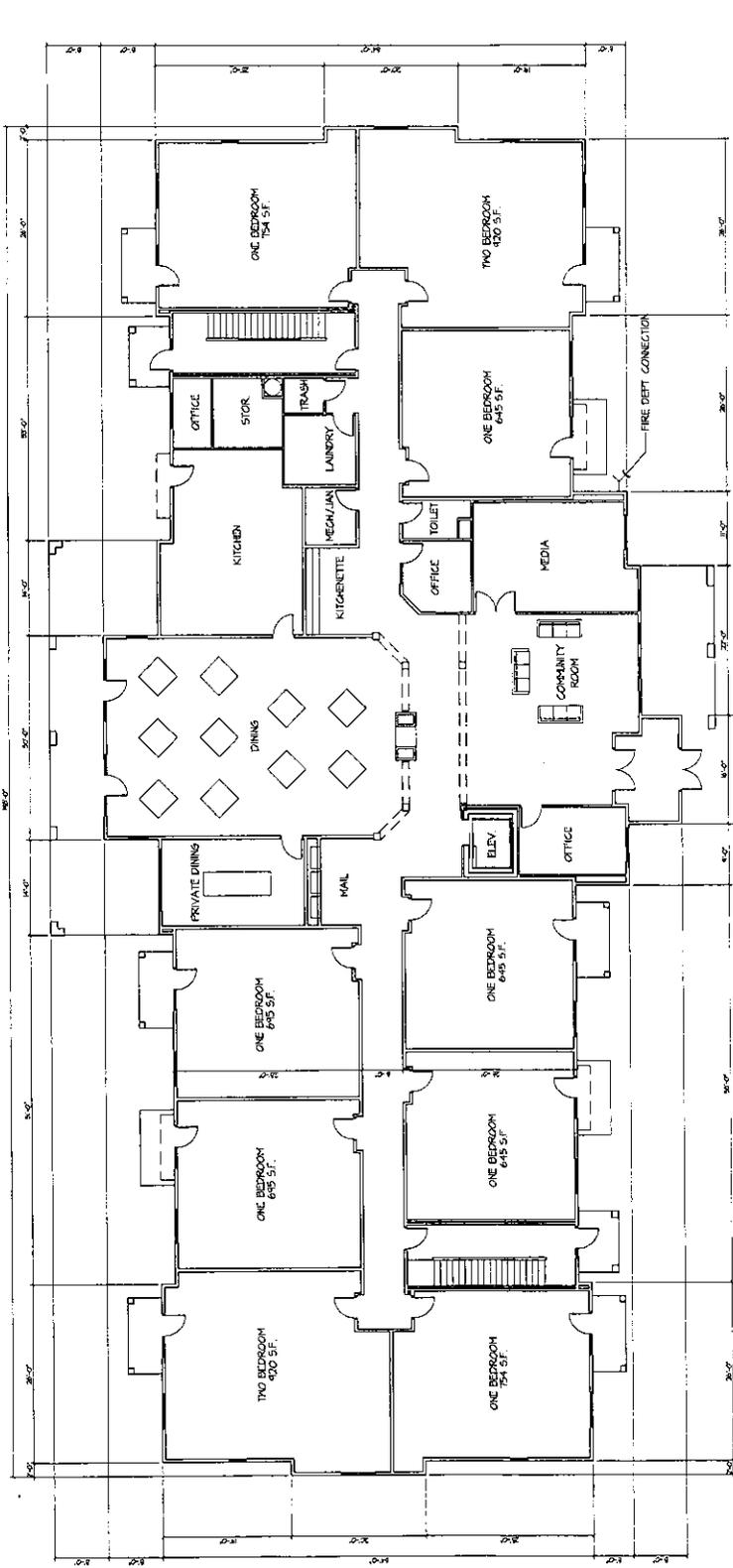
○ Side Elevation  
1/8" = 1'-0"

**Chapter 9 - Fire Protection Systems**

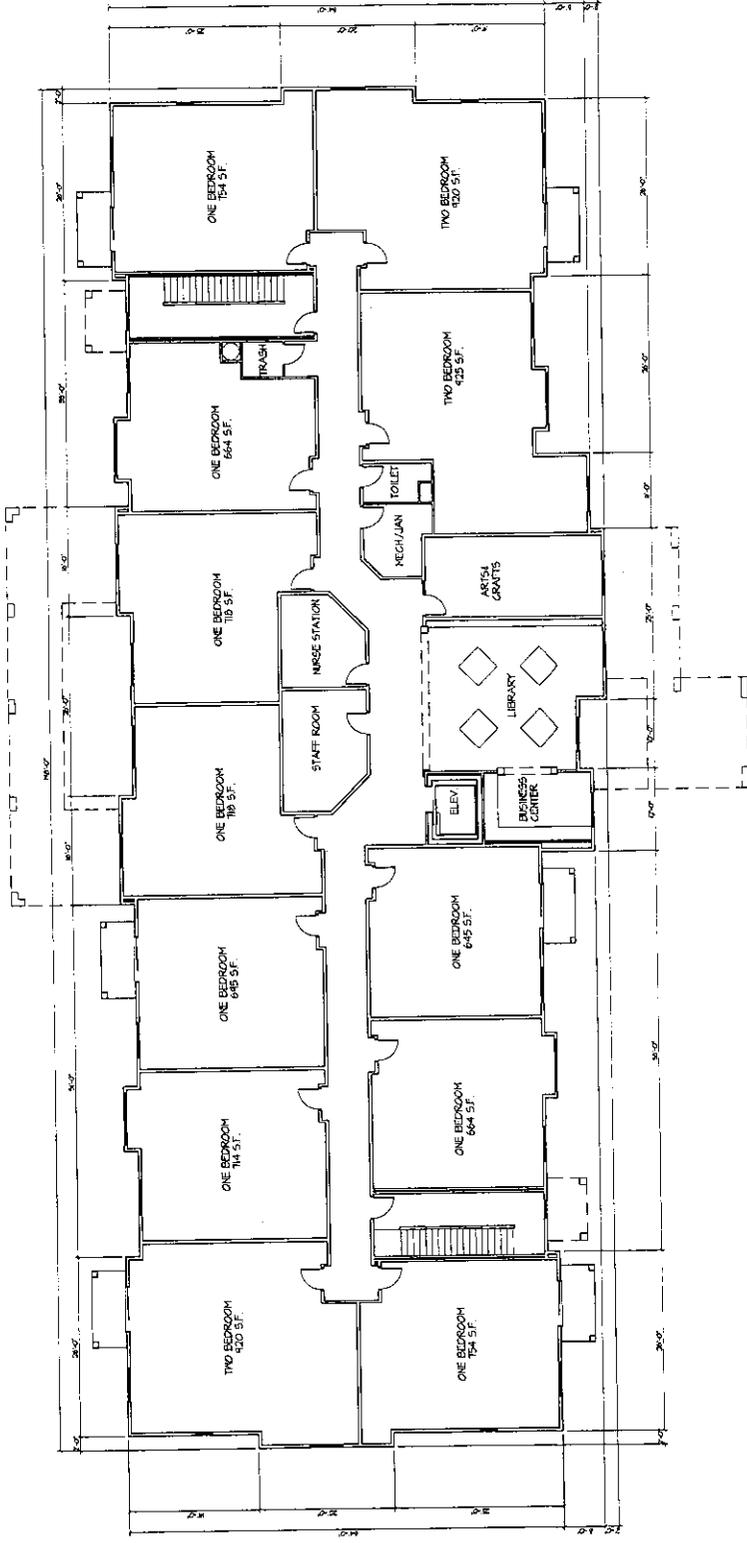
Fire protection systems shall be monitored by an approved agency. [901.6]  
 A sprinkler system shall be installed in A-3 occupancies where: [903.2.1.3]

1. The fire area exceeds 12,000 s.f.
2. The fire area has an occupant load of 300 or more.
3. The fire area is a parking garage.
4. The fire area includes a level of discharge. [Code 62.0902(4)]

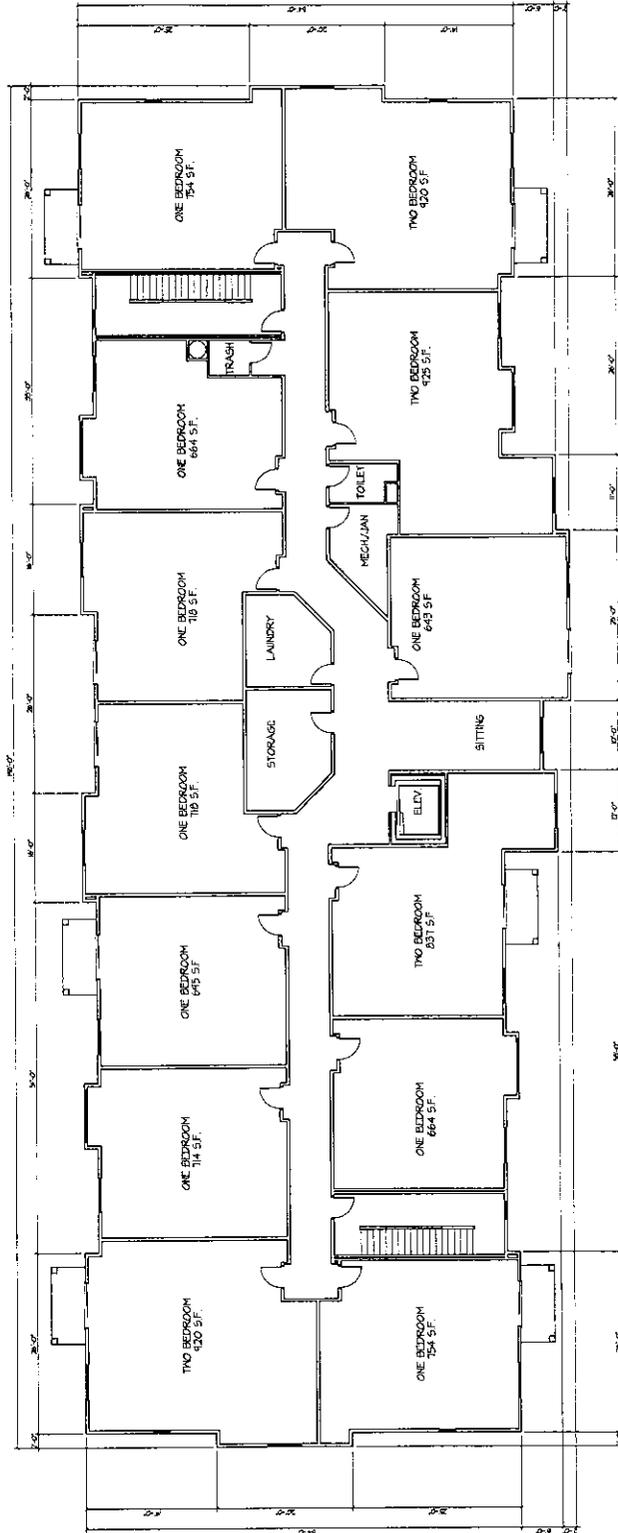
A sprinkler system shall be installed in buildings with a floor area [903.2.1.2]  
 A sprinkler system shall be installed in a parking garage when under other groups. [Code 62.0902(4)]  
 In Group I-1 up to 4 stories, the sprinkler systems shall be per NFPA 13C. [903.3.1.2]  
 Sprinkler protection per NFPA 13 shall be provided for exterior balconies and ground floor patios of dwelling units in Type 5 buildings. [Code 62.0902(4)]  
 A wet pipe system shall be provided for every sprinkler system and be activated by water flow. [903.4.2]  
 Class I standpipes shall be provided where the highest floor level is more than 30 feet above the lowest level of fire department access. [905.2.1]  
 (Provide Standpipes.)  
 Install fire extinguishers per the International Fire Code. [906.1]  
 A manual fire alarm system is not required when the building is sprinklered and notification devices activate upon sprinkler alarm. [907.2.4]  
 Smoke alarms shall be installed in every unit per the section. [907.2.10.1.3]  
 In I-1, all dwelling units, shall have the capacity for visible alarm devices per I.C.C. A111. [907.4.1.3]



○ First Floor Plan  
 1/8" = 1'-0"

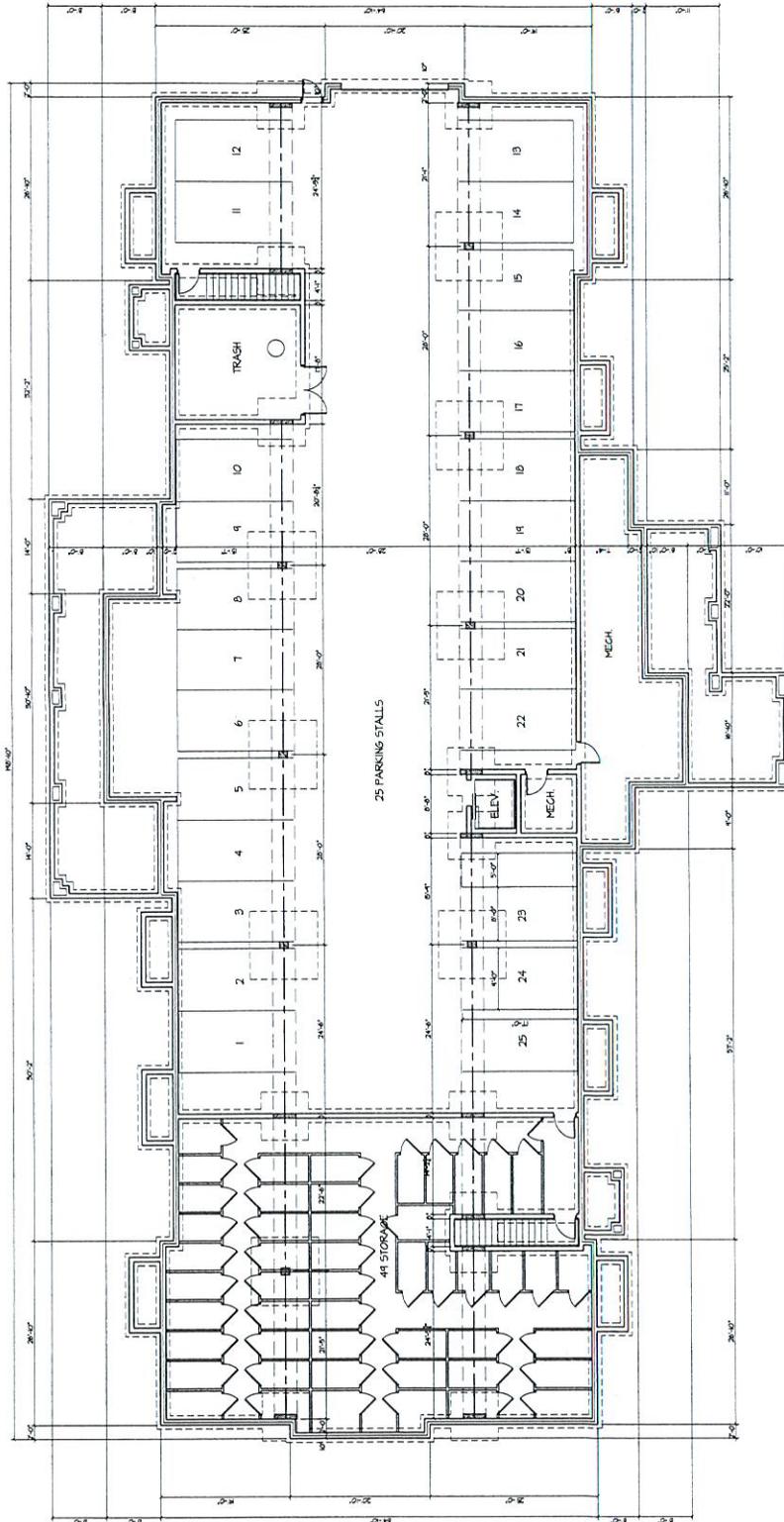


○ Second Floor Plan  
1/8" = 1'-0"



Third Floor Plan  
 11/11/07





**Basement Floor Plan**

Contact:

Notes:  
 1. THIS PLAN IS A PART OF A LARGER PROJECT.  
 2. REFER TO THE OTHER PLANS IN THE SET FOR COMPLETE INFORMATION.  
 3. ALL DIMENSIONS ARE IN FEET AND INCHES.  
 4. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO FACE.

**SHEET INDEX**

01-01	GENERAL NOTES
01-02	CONTRACT ADMINISTRATION
01-03	DEVELOPER PARTICIPATION STATEMENT
01-04	CONTRACT ADMINISTRATION
01-05	CONTRACT ADMINISTRATION
01-06	CONTRACT ADMINISTRATION
01-07	CONTRACT ADMINISTRATION
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01-98	CONTRACT ADMINISTRATION
01-99	CONTRACT ADMINISTRATION
01-100	CONTRACT ADMINISTRATION

Scale:  
 1/8" = 1'-0"

Project Title:  
**Celebre Place**  
 Senior RCAC Assisted Living

Contract No.:  
 095  
 Drawing No.:  
 C-11

**DEVELOPER**  
 1077 AREA  
 65430 ST  
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**JSD Professional Services, Inc.**  
 Engineers • Surveyors • Planners  
 1000 W. Wisconsin Ave., Suite 100  
 Milwaukee, WI 53233  
 Tel: 414.381.1000  
 Fax: 414.381.1001  
 www.jsdinc.com

PROJECT: **CELEBRE PLACE**  
 PROJECT LOCATION: **2310 PARAMETER ST #14**  
 ADDISON, WI 53002

CLIENT: **PARMETER DEVELOPMENT, INC**  
 2310 PARAMETER ST #14  
 ADDISON, WI 53002

DATE: 12.15.2010  
 DRAWN BY: JSD  
 CHECKED BY: JSD  
 PROJECT NO: 10-273

UTILITY PLAN  
 SHEET 1 OF 1  
 SCALE IN FEET  
 0 20 40

- LEGEND (PROPOSED)**
- PROPERTY LINE
  - EXISTING EASEMENT LINE
  - EXISTING UTILITY LINE
  - WATER
  - SEWER
  - STORM
  - REINFORCED CONCRETE (SECTION BY SECTION)
  - ADJACENT PROPERTY
  - CONCRETE FOUNDATION
  - ACCESS EASEMENT AREA
  - 18" CPVC AND GUTTER
  - 18" CPVC AND GUTTER
  - PROPOSED LIGHT POLE LOCATION

**GENERAL NOTES**

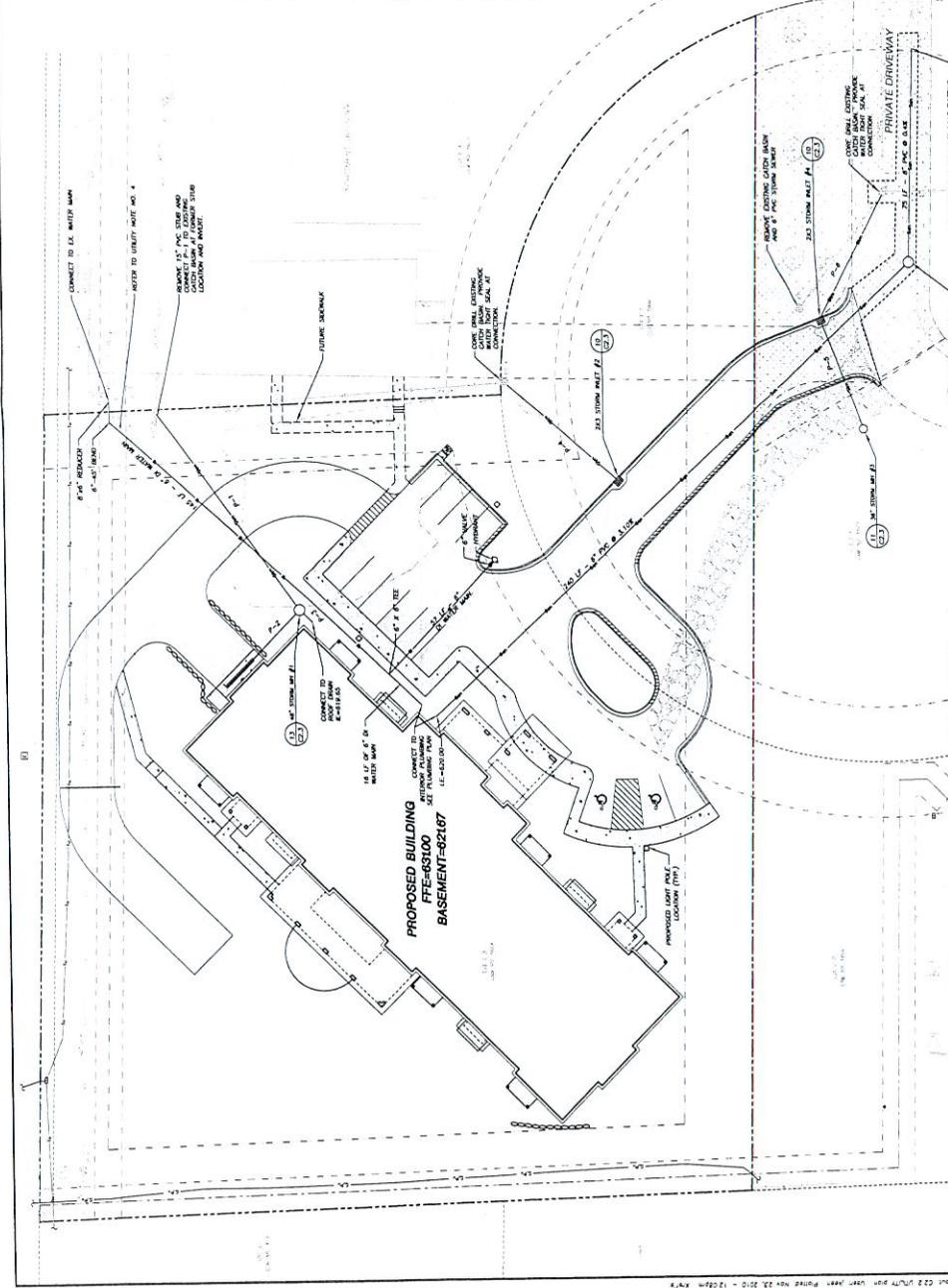
1. THE CONTRACTOR SHALL VERIFY THE EXISTING UTILITY LOCATIONS AND DEPTHS BY FIELD SURVEY.
2. THE CONTRACTOR SHALL VERIFY THE EXISTING UTILITY LOCATIONS AND DEPTHS BY FIELD SURVEY.
3. THE CONTRACTOR SHALL VERIFY THE EXISTING UTILITY LOCATIONS AND DEPTHS BY FIELD SURVEY.
4. THE CONTRACTOR SHALL VERIFY THE EXISTING UTILITY LOCATIONS AND DEPTHS BY FIELD SURVEY.
5. THE CONTRACTOR SHALL VERIFY THE EXISTING UTILITY LOCATIONS AND DEPTHS BY FIELD SURVEY.

**UTILITY NOTES**

1. THE CONTRACTOR SHALL VERIFY THE EXISTING UTILITY LOCATIONS AND DEPTHS BY FIELD SURVEY.
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4. THE CONTRACTOR SHALL VERIFY THE EXISTING UTILITY LOCATIONS AND DEPTHS BY FIELD SURVEY.
5. THE CONTRACTOR SHALL VERIFY THE EXISTING UTILITY LOCATIONS AND DEPTHS BY FIELD SURVEY.

**CONSTRUCTION NOTES**

1. THE CONTRACTOR SHALL VERIFY THE EXISTING UTILITY LOCATIONS AND DEPTHS BY FIELD SURVEY.
2. THE CONTRACTOR SHALL VERIFY THE EXISTING UTILITY LOCATIONS AND DEPTHS BY FIELD SURVEY.
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5. THE CONTRACTOR SHALL VERIFY THE EXISTING UTILITY LOCATIONS AND DEPTHS BY FIELD SURVEY.



PROPOSED STORM SEWER STRUCTURES SCHEDULE			
STRUCTURE #	INVERT ELEVATION (FT)	DIAMETER (IN)	DEPTH (FT)
1	817.50	36	35
2	817.50	36	35
3	817.50	36	35
4	817.50	36	35
5	817.50	36	35
6	817.50	36	35
7	817.50	36	35
8	817.50	36	35
9	817.50	36	35
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**JSD** Professional Services, Inc.  
Engineers - Surveyors - Planners

1000 W. WISCONSIN AVENUE, SUITE 200  
MILWAUKEE, WISCONSIN 53233  
TEL: 414.224.1100  
WWW.JSDINC.COM

PROJECT: **CELEBRE PLACE**

2310 PARMENTER ST. #414  
MIDDLETON, WI 53562

PROJECT LOCATION: **CELEBRE PLACE**  
MIDDLETON, WISCONSIN  
JOB PROJECT NO: 10-4723

**DISASTERS & HOTLINE**

24 HOURS (800) 530-4611  
MILWAUKEE (414) 224-1100  
WWW.DSANDH.COM

DATE: 11-17-2010  
DRAWN BY: JSD  
CHECKED BY: JSD  
SCALE: AS SHOWN

PROJECT NO: 10-4723  
SHEET TITLE: **DETAILS**

**1 C-23**

**CURB WEIR**

W.T.S.

1. 2' x 2' CONCRETE WEIR  
2. 1' x 2' CONCRETE PANEL  
3. 2% CROSS SLOPE  
4. 1' x 2' CONCRETE PANEL

**2 C-23**

**18" STANDARD CURB AND GUTTER**

W.T.S.

1. 18" CURB  
2. 2% CROSS SLOPE  
3. 1' x 2' GUTTER

**3 C-23**

**18" REJECT CURB AND GUTTER**

W.T.S.

1. 18" CURB  
2. 2% CROSS SLOPE  
3. 1' x 2' GUTTER

**4 C-23**

**CONSTRUCTION ENTRANCE**

W.T.S.

1. 18" CURB  
2. 2% CROSS SLOPE  
3. 1' x 2' GUTTER

**5 C-23**

**HANDICAP RAMP**

W.T.S.

1. 18" CURB  
2. 2% CROSS SLOPE  
3. 1' x 2' GUTTER

**6 C-23**

**SIDEWALK CROSS SECTION**

W.T.S.

1. 4" CONCRETE CURB  
2. 4" AGGREGATE BASE COURSE  
3. 4" CONCRETE FINISH

**7 C-23**

**SIDEWALK CROSS SECTION**

W.T.S.

1. 4" CONCRETE CURB  
2. 4" AGGREGATE BASE COURSE  
3. 4" CONCRETE FINISH

**8 C-23**

**STANDARD PAVEMENT SECTION**

W.T.S.

1. 1.5" BRICK  
2. 1.5" AGGREGATE  
3. 4" CONCRETE BASE

**9 C-23**

**CONCRETE INLET COLLAR**

W.T.S.

1. 17" DIAMETER COLLAR  
2. 1" THICK TOP  
3. 1" THICK BOTTOM

**10 C-23**

**STORM INLET**

W.T.S.

1. 17" DIAMETER INLET  
2. 1" THICK TOP  
3. 1" THICK BOTTOM

**11 C-23**

**36" DIAMETER STORM INLET**

W.T.S.

1. 36" DIAMETER INLET  
2. 1" THICK TOP  
3. 1" THICK BOTTOM

**12 C-23**

**SANITARY MANHOLE**

W.T.S.

1. 36" DIAMETER MANHOLE  
2. 1" THICK TOP  
3. 1" THICK BOTTOM

**13 C-23**

**STORM MANHOLE**

W.T.S.

1. 36" DIAMETER MANHOLE  
2. 1" THICK TOP  
3. 1" THICK BOTTOM

**14 C-23**

**DETAIL GRADING**

27.5' x 34' SCALE 1"=10'

**15 C-23**

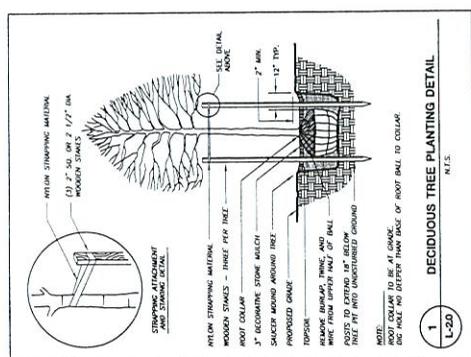
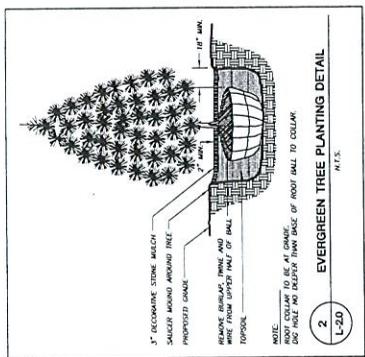
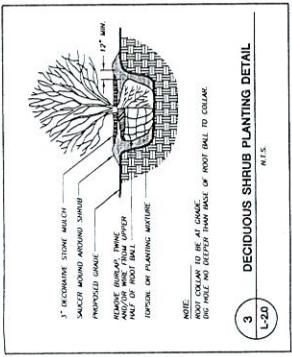
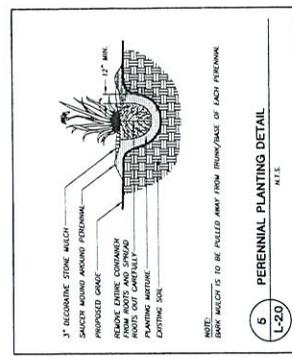
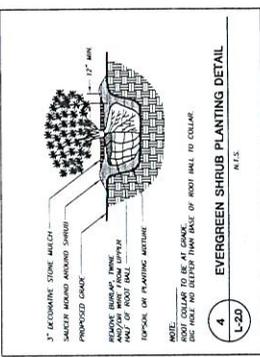
**DETAIL GRADING**

27.5' x 34' SCALE 1"=10'





DATE	11-12-2010
ISSUED FOR	11-10-2010
REVISED	11-10-2010
DATE	11-10-2010
BY	11-10-2010
DATE	11-10-2010
BY	11-10-2010
DATE	11-10-2010
BY	11-10-2010



**ZONING ORDINANCE FOR THE CITY OF KENOSHA, WI - MULTI-FAMILY SITE LANDSCAPING REQUIREMENTS**

- INTERIOR PARKWAY LANDSCAPING: INTERIOR PARKWAY LANDSCAPING IS REQUIRED FOR DEVELOPMENTS IN ORDER TO SCREEN VEHICULAR PARKING AND PROVIDE VISUAL SCREENING AS SHOWN ON FIGURE 4. SHALL CONSIST OF ONE OR A COMBINATION OF THE FOLLOWING ALONG AT LEAST ONE OF THE PARKWAY EDGES:
  - MINIMUM HEIGHT OF 3 FEET PER 4 FEET OF FRONTAGE.
  - MINIMUM WIDTH OF 3 FEET PER 4 FEET OF FRONTAGE.
  - MINIMUM SPACING OF 3 FEET PER 4 FEET OF FRONTAGE.
  - MINIMUM SPACING OF 3 FEET PER 4 FEET OF FRONTAGE.
- SCREENING OF DRIVEWAYS: DRIVEWAYS SHALL BE SCREENED WITH A COMBINATION OF THE FOLLOWING:
  - MINIMUM HEIGHT OF 3 FEET PER 4 FEET OF FRONTAGE.
  - MINIMUM WIDTH OF 3 FEET PER 4 FEET OF FRONTAGE.
  - MINIMUM SPACING OF 3 FEET PER 4 FEET OF FRONTAGE.
  - MINIMUM SPACING OF 3 FEET PER 4 FEET OF FRONTAGE.
- SCREENING OF SIDEWALKS: SIDEWALKS SHALL BE SCREENED WITH A COMBINATION OF THE FOLLOWING:
  - MINIMUM HEIGHT OF 3 FEET PER 4 FEET OF FRONTAGE.
  - MINIMUM WIDTH OF 3 FEET PER 4 FEET OF FRONTAGE.
  - MINIMUM SPACING OF 3 FEET PER 4 FEET OF FRONTAGE.
  - MINIMUM SPACING OF 3 FEET PER 4 FEET OF FRONTAGE.
- SCREENING OF DRIVEWAYS AND SIDEWALKS: DRIVEWAYS AND SIDEWALKS SHALL BE SCREENED WITH A COMBINATION OF THE FOLLOWING:
  - MINIMUM HEIGHT OF 3 FEET PER 4 FEET OF FRONTAGE.
  - MINIMUM WIDTH OF 3 FEET PER 4 FEET OF FRONTAGE.
  - MINIMUM SPACING OF 3 FEET PER 4 FEET OF FRONTAGE.
  - MINIMUM SPACING OF 3 FEET PER 4 FEET OF FRONTAGE.



City Plan Division 625 52 <sup>nd</sup> Street Kenosha, WI 53140 262.653.4030	Kenosha City Plan Commission  <b>FACT SHEET</b>	February 24, 2010	Item <b>3</b>
<b>Conditional Use Permit for a non-conforming residential use to be located at 6316 28th Avenue, District #12. (Vines) PUBLIC HEARING</b>			

**LOCATION/SURROUNDINGS:**

Site: 6316 28th Avenue  
Zoned: RG-1 General Residential

**NOTIFICATIONS/PROCEDURES:**

The alderman of the district, Alderman Bostrom, has been notified. The Common Council is the final review authority.

**ANALYSIS:**

- Section 4.06 A.17 of the Zoning Ordinance allows for the application for a Conditional Use Permit of a non-conforming residential use. The Conditional Use Permit would allow the owner/applicant to renovate the existing 2-unit building. This would not be allowed without the Conditional Use Permit because the 2-unit is a non-conforming use in the RG-1 District due to the lot width and area.
- No additional units are being added to the building and the applicant would not be able to create any additional units under the current zoning.
- City Departments have reviewed the application.

**RECOMMENDATION:**

For Commission review and recommendation.

  
\_\_\_\_\_  
Brian R. Wilke, Development Coordinator  
/u2/acct/cp/ckays/1CPC/2011/Feb24/fact-cup-vines.odt

  
\_\_\_\_\_  
Jeffrey B. Labahn, Director of City Development

City Plan Division  
625 52nd Street  
Kenosha, WI 53140  
262.653.4030

***Kenosha City Plan  
Commission  
Conditions of Approval***

**Vines  
6316 28th Avenue**

February 24, 2011

1. The following Conditions of Approval will run with the land and shall be included in a document recorded with the Kenosha County Register of Deeds:
  - a. The applicant shall obtain all required construction permits from the Department of Neighborhood Services & Inspections. This includes, but is not limited to Building, Plumbing, Electrical and Occupancy permits.
  - b. Any changes to the approved plans shall require an amendment to the Conditional Use Permit. All changes shall be submitted to the Department of City Development.
  - c. The Conditional Use Permit shall be recorded with the Kenosha County Register of Deeds. The recording fees for the Conditional Use Permit shall be submitted by the applicant.
  - d. Compliance with City and State and/or Federal Codes and Ordinances. The buildings shall comply with the current Code standards in effect upon application for a building permit.
  - e. All improvements, including landscaping, shall be maintained per the approved plans. Any damaged fencing, landscaping or building shall be replaced or reconstructed per the approved plans.
  - f. This approval is for a 2-unit residential use only. No expansion of residential units in the building is permitted with this approval.

/u2/acct/cp/ckays/1CPC/2011/Feb24/conditions-vines.odt



DEPARTMENT OF  
NEIGHBORHOOD SERVICES  
AND  
INSPECTIONS

JAMES M. SCHULTZ  
Director

Building Inspection

Property Maintenance

Zoning Enforcement

TO: City Plan Commission  
Common Council Members

FROM: Paula A. Blise, Zoning Coordinator *pb*  
Department of Neighborhood Services and Inspections

SUBJECT: Conditional Use Permit for a Non-conforming Two-family Residential Use Located at 6316 28<sup>th</sup> Avenue, District #12. (Vines)

DATE: February 16, 2011

The City of Kenosha Zoning Ordinance requires a minimum of six thousand (6,000) square feet in lot area for two-family residences in RG-1 districts. The lot area associated with the subject property consists of 3,960 square feet. Based on its substandard lot size, the existing two-family use does not conform to the existing Zoning Ordinance. Due to its nonconforming status, the property owner is unable to structurally alter the building.

The applicant is requesting Conditional Use Permit approval to maintain, upgrade, and, if necessary, rebuild the existing structure as a two-family dwelling unit.

In order to ascertain whether or not the use is non-conforming (being in effect prior to 1993), or whether an illegal conversion/illegal construction has occurred, an on-site interior and exterior inspection was required. Findings of an illegal conversion would negate the "nonconforming" status, and the property owner would not be eligible for approval of the Conditional Use Permit.

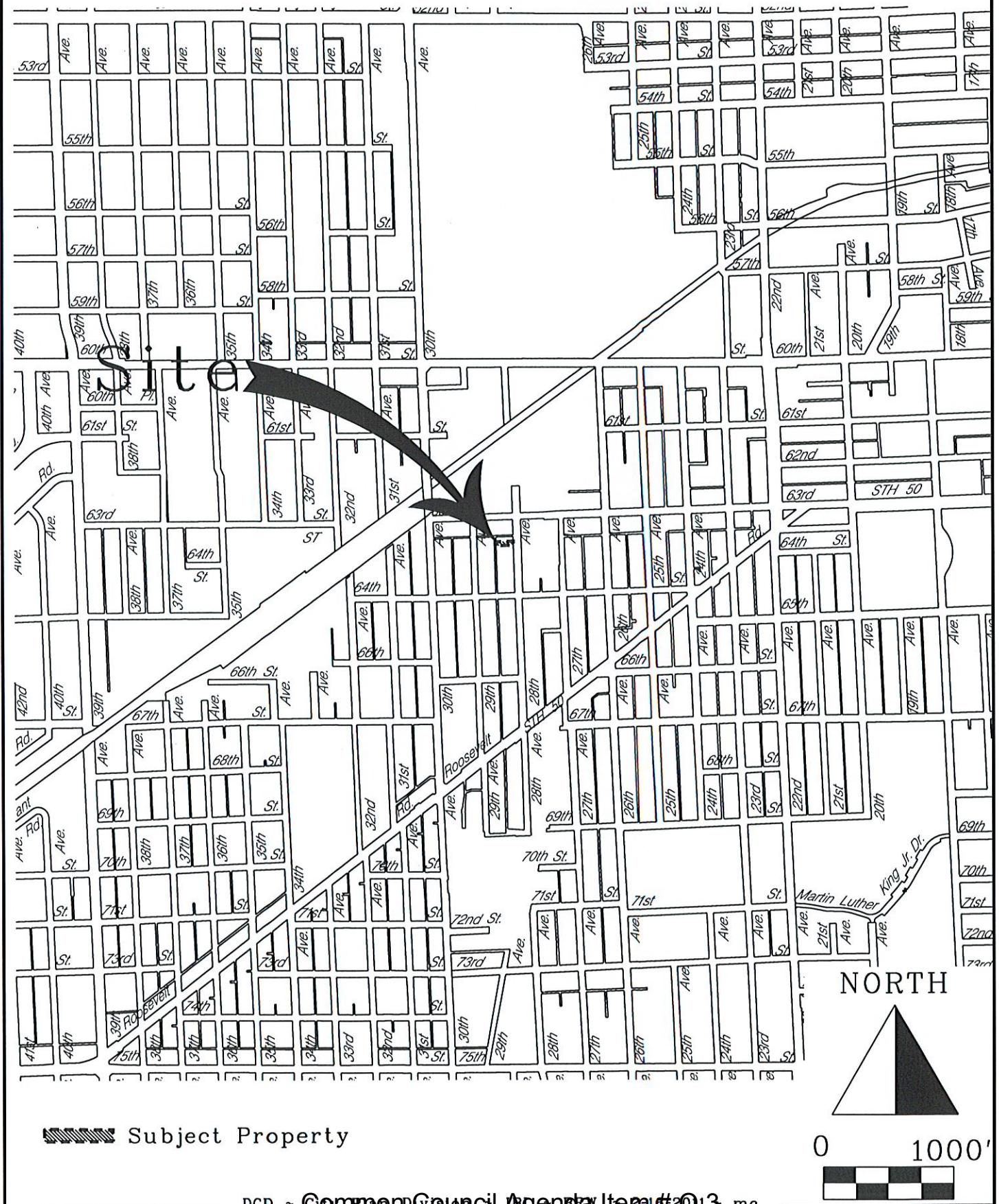
On February 15, 2011, Building Inspector Rick Hillesland, and I performed an interior and exterior inspection of the property. We have determined that the second-story dwelling unit was formulated and intact prior to 1993. There was no evidence of recent upgrades to electrical, plumbing, or HVAC components; and, the second dwelling unit meets building code requirements necessary to constitute and establish a habitable dwelling unit.

Based on the above findings, approval of the applicant's request is recommended.

PAB:kah  
c: Steve Bostrom, Alderman, 12th District

# City of Kenosha

## Vicinity Map Vines Non-Conforming CUP



**Development Review Application  
City of Kenosha, Wisconsin**

JAN 4 2011

**MAILING INFORMATION**

**NAME OF PROJECT:** \_\_\_\_\_

**Check one (1) of the following boxes to indicate the recipient of all correspondence:**

**Name and Address of Applicant [Please print]:**  
TAMMY M. TOMON  
6316 28th AVE HOWER  
KENOSHA, WISC  
53143  
 Phone: 262-652-0013  
 Fax: \_\_\_\_\_  
 E-Mail: \_\_\_\_\_

**Name and Address of Architect/Engineer [Please print]:**  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 Phone: \_\_\_\_\_  
 Fax: \_\_\_\_\_  
 E-Mail: \_\_\_\_\_

**Name and Address of Property Owner (if other than applicant) [Please print]:**  
ANTHONY R. VINES  
N. 913 SPRING LAKE ESTATES DRIVE  
NESH KORO, WI  
54960  
 Phone: 1-920-229-8218  
 Fax: \_\_\_\_\_  
 E-Mail: \_\_\_\_\_

**PROJECT LOCATION**

Location of Development (street address and / or parcel number): \_\_\_\_\_

**TYPE OF LAND DEVELOPMENT**

**Check all that apply. Note: Additional information may be required within individual Sections.**

- |   |            |               |
|---|------------|---------------|
| <input type="checkbox"/> Certified Survey Map   | Section 1  | Page 2        |
| <input type="checkbox"/> Concept Review (Land Division)                               | Section 2  | Page 3        |
| <input type="checkbox"/> Concept Review (Multi-Family Residential or Non-Residential) | Section 3  | Page 4        |
| <input checked="" type="checkbox"/> Conditional Use Permit                            | Section 4  | Pages 5 & 6   |
| <input type="checkbox"/> Developer's Agreement  | Section 5  | Page 7        |
| <input type="checkbox"/> Final Plat   | Section 6  | Pages 8 & 9   |
| <input type="checkbox"/> Lot Line Adjustment Survey                                   | Section 7  | Page 10       |
| <input type="checkbox"/> Preliminary Plat   | Section 8  | Pages 11 & 12 |
| <input type="checkbox"/> Rezoning   | Section 9  | Pages 13 & 14 |
| <input type="checkbox"/> Site Plan Review   | Section 10 | Pages 15 & 16 |

**PRIOR TO SUBMITTING THIS APPLICATION TO THE DEPARTMENT OF CITY DEVELOPMENT,  
PLEASE REVIEW THE APPROPRIATE SECTION(S) FOR FEES, REQUIREMENTS AND APPROPRIATE APPENDICES.**

**Submit this cover page, completed application, applicable section(s) and appendices  
along with ALL required plans, information and fees to:**

Department of City Development  
625 52nd Street, Room 308  
Kenosha, WI 53140

Phone: 262.653.4030  
Fax: 262.653.4045

Office Hours:  
M - F 8:00 am - 4:30 pm

1/12/2011

TO WHOM IT MAY CONCERN:

I ANTHONY R. VINES GIVE MY DAUGHTER  
TAMMY TOMOM PERMISSION TO SIGN FOR ME  
AND REPRESENT ME IN MATTERS PERTAINING  
TO APPLYING FOR A BUILDING PERMIT  
FOR THE HOUSE AT:

6316 28 AVE, KENOSHA, WI 53143  
I AM THE OWNER OF THE ADDRESS  
STATED ABOVE.

SINCERELY,  
ANTHONY R. VINES  
*Anthony R. Vines*  
CELL PHONE 920 229 8218

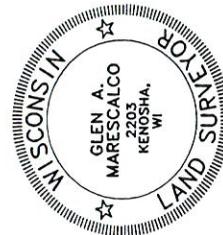
Plat of Survey of  
**NORTH 30' LOT 4**  
**BURKE'S SUBDIVISION**  
 in NE 1/4 Section 1-1-22

CITY OF KENOSHA  
 KENOSHA COUNTY, WIS.

-for-  
 Anthony Vines

Refer to a current title report for a complete legal description and for any easements or restrictions which may affect this site; specifically those not shown on the recorded subdivision plat.

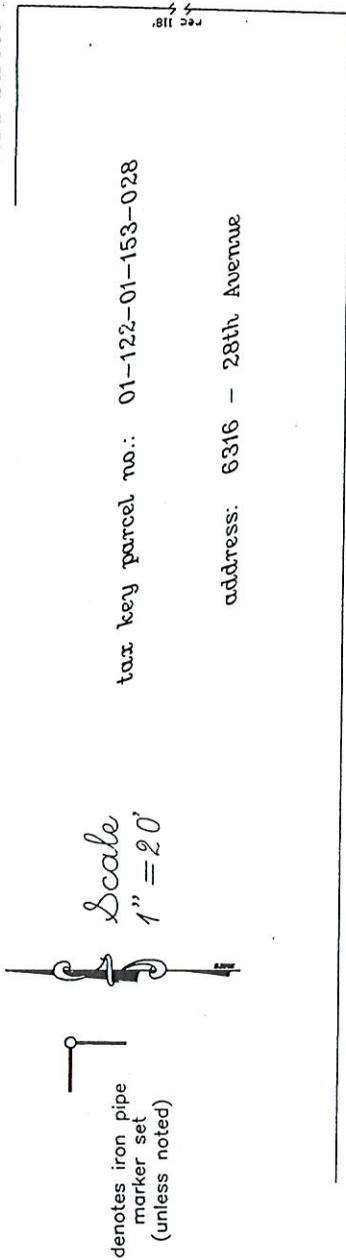
MARESCALCO COUNTYWIDE SURVEYING, INC.  
 1120 80TH STREET KENOSHA, WI 53143  
 (262) 654 6809 FAX (262) 654 1120



I hereby certify that this property was surveyed under my direction. This plat is a true representation thereof.

*[Signature]*

Reg. Land Surveyor  
 November 20, 2009

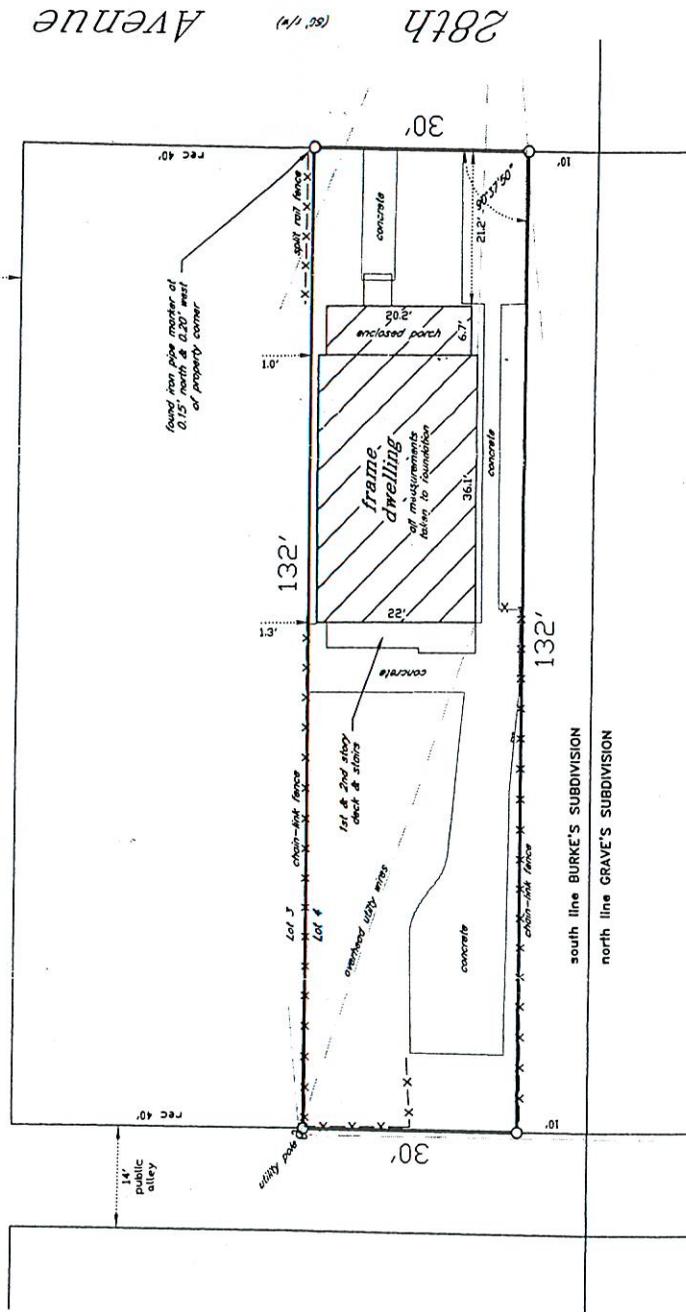


Scale  
 1" = 20'

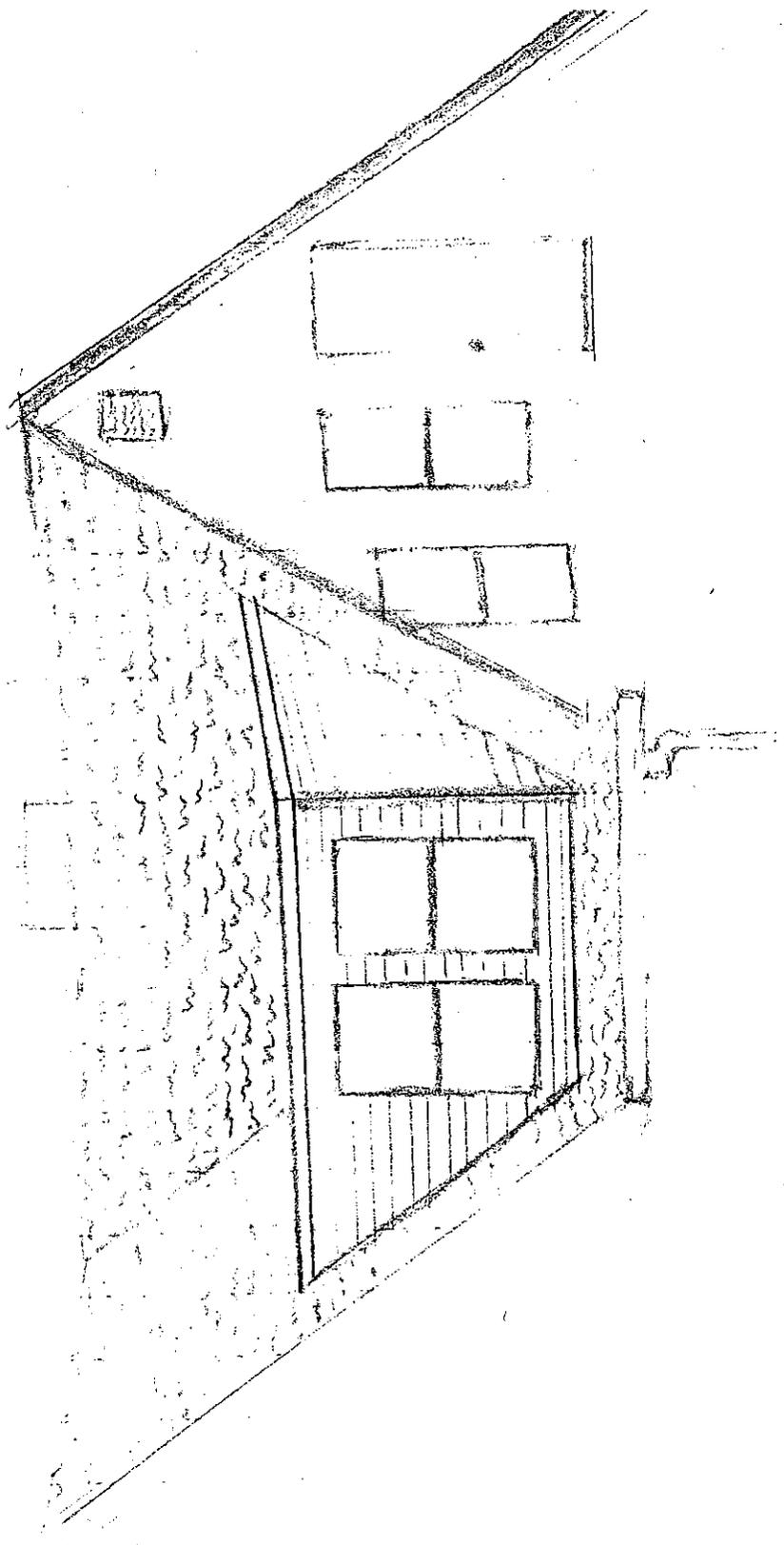
denotes iron pipe marker set (unless noted)

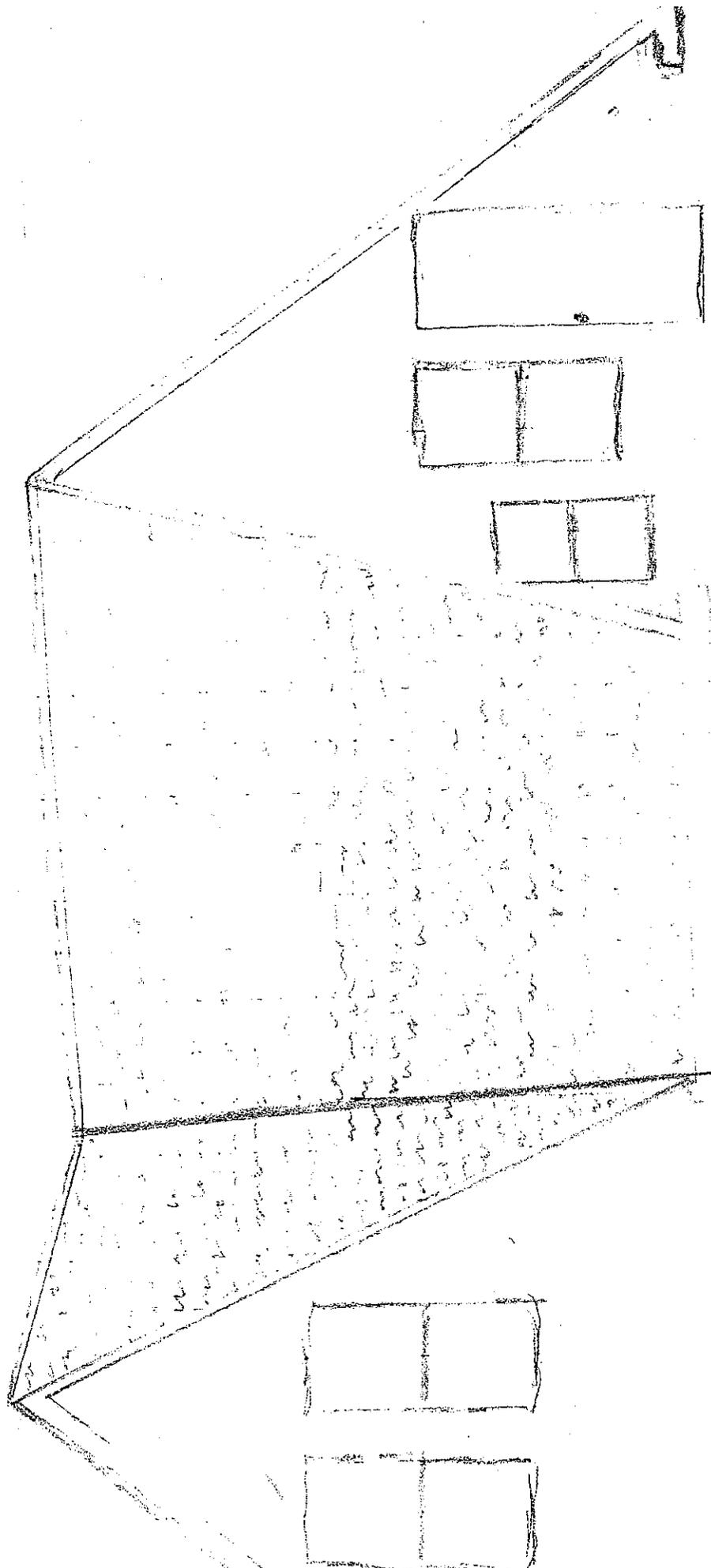
tax key parcel no.: 01-122-01-153-028

address: 6316 - 28th Avenue



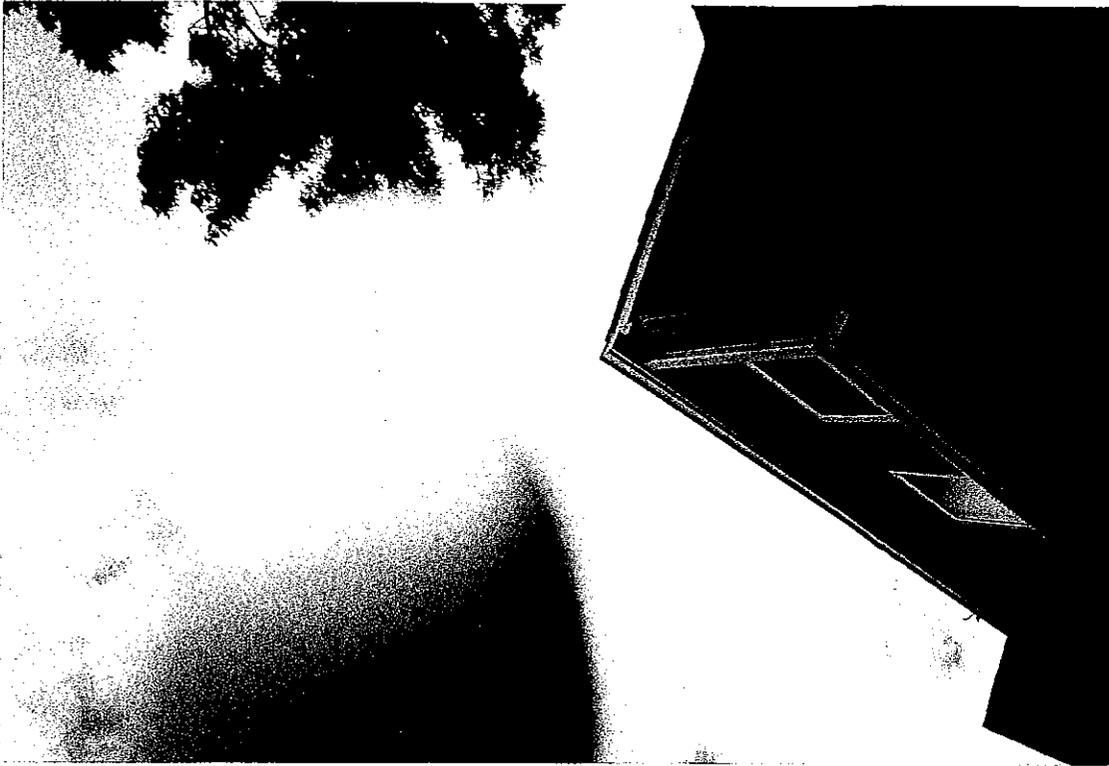
south line BURKE'S SUBDIVISION  
 north line GRAVE'S SUBDIVISION

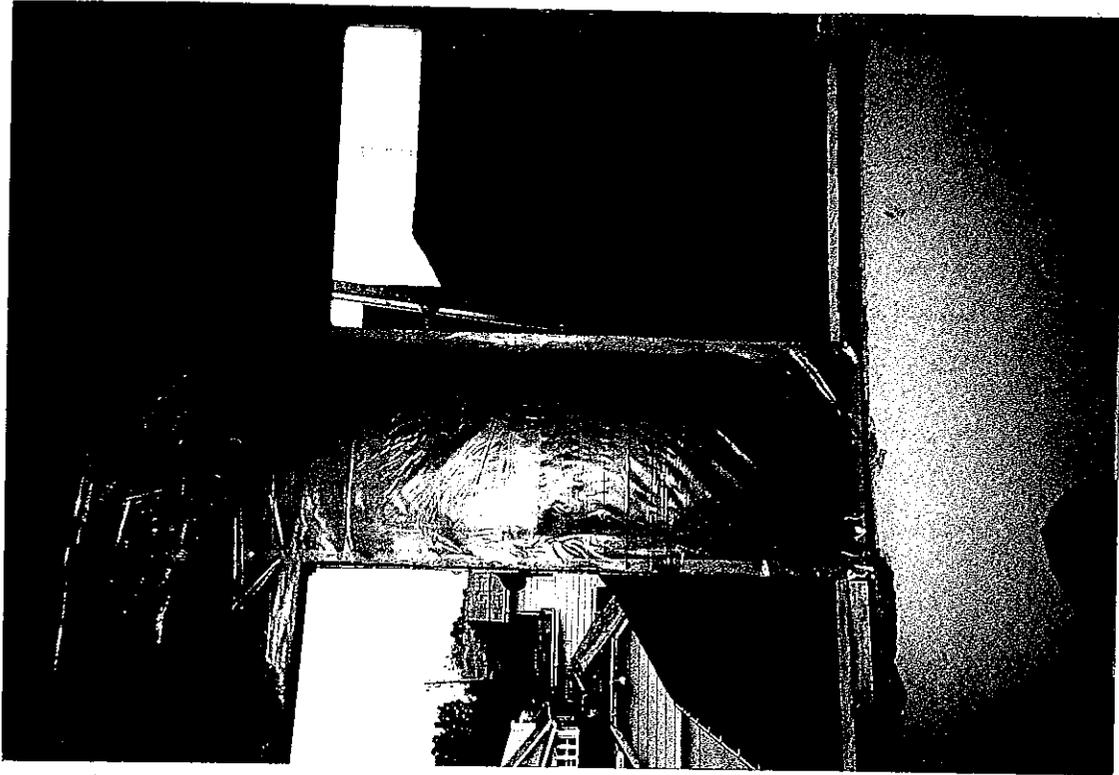




Double 2X10 Header with  
Solid plywood over windows  
4 cripple studs per window 2X4  
double top plate single bottom plate.  
Single 3/4" plate on windows  
windows 25x36  
Studs 16" o.c. R.I.P. Bath wall  
from 2'6" to 8'

9' x 5' Bathroom no extra  
feet, added more headroom  
2 windows 1/2" plywood 1/2" foam  
and vapor barrier ext walls  
Roof 2X6 Joist insulated and  
ventilated inside walls insulated  
and covered with 1/2" sheetrock  
hip sits on triple 2X4 post on load  
bearing wall.





# ZONING ORDINANCE FOR THE CITY OF KENOSHA, WISCONSIN

## h. Dwelling Units.

(1) **Dwelling Units in the RG-2 District.** One (1) dwelling unit may be located per individual single family residential lot, up to a maximum of five (5) attached dwelling units located on five (5) single family lots. A series of dwelling units, in conformance with **Section 4.06 A.16.i.**, may also be constructed on a common multiple family lot.

(2) **Dwelling Units in the B-4 District.** One (1) dwelling unit may be located per individual single family residential lot, or dwelling units may be constructed as a series of attached dwelling units located on a common lot, as permitted in **Section 4.06 A.16.i.** of this Ordinance.

i. **Series of Single Family Attached Residences.** A minimum series of three (3) single family attached residences shall be required to be grouped together. Such series shall be limited to five (5) attached units in the RG-2 District, and twelve (12) attached units in the B-4 District, and shall be submitted as a planned development through a Conditional Use Permit application. The minimum distance between each series on a common lot shall be twenty (20') feet.

j. **Front Building Facade.** The front building facade must occupy a minimum of ninety (90%) percent of the lot frontage at the build-to line.

k. **Unit Elevation from Finished Exterior Sidewalk Grade.** Units shall be raised a minimum of eighteen (18") inches from the finished exterior sidewalk grade.

l. **Detached Accessory Buildings.** Detached accessory buildings on interior lots shall be grouped together whenever possible at the common property lines.

m. **Other Issues.** Other issues which may have an adverse social, economic or environmental impact, or affecting the health, safety or welfare of abutting or neighboring properties, or the City as a whole.

## A. RESIDENTIAL CONDITIONAL USES

### 17. Non-conforming Residential Uses

a. Verification, in form and substance, satisfactory to the reviewing authority of the prior existing residential use.

b. Building Plan as required in Sections 4.05B. and 14.07 B. of the Zoning Ordinance.

c. Site Plan as required in Sections 4.05 C. and 14.07 C. of the Zoning Ordinance.

d. Drainage Plan as required in Sections 4.05D. and 14.07 E. of the Zoning Ordinance.

e. Landscape Plan as required in Sections 4.05 E. and 14.07 F. of the Zoning Ordinance.

f. Utility Plan as required in Sections 4.05 F. and 14.07 D. of the Zoning Ordinance.

g. Other issues which may have an adverse social, economic, or environmental impact, or affecting

the health, safety or welfare of abutting or neighboring properties or the City as a whole.

h. One or more of plans identified hereinabove may be waived in the discretion of reviewing authority.

## B. BUSINESS CONDITIONAL USES

### 1. Sexually-Oriented Businesses in the B-2 District.

a. **Building Plan** as required in **Section 4.05 B.** of the Zoning Ordinance.

b. **Site Plan** as required in **Section 4.05 C.** of the Zoning Ordinance.

c. **Drainage Plan** as required in **Section 4.05 D.** of the Zoning Ordinance.

d. **Landscape Plan** as required in **Section 4.05 E.** of the Zoning Ordinance.

e. **Utility Plan** as required in **Section 4.05 F.** of the Zoning Ordinance.

f. **Operational Plan** as required in the Code of General Ordinances.

g. **Location.** A sexually-oriented business, as defined, shall only be located in compliance with the following criteria:

(1) No Sexually-Oriented Business shall be located within one thousand (1,000') feet, (based on the measurement standards of this Section), of the following:

(a) Residentially zoned property;

(b) Residentially used property;

(c) Public, private or parochial elementary or secondary schools;

(d) Public park, recreation area or playground;

(e) Daycare center;

(f) Youth center;

(g) Public library; or,

(h) Public museum.

(2) No sexually-oriented business shall be located within one thousand (1,000') feet of the Interstate 94 right-of-way.

(3) No sexually-oriented business shall be located within one thousand (1,000') feet of another sexually-oriented business.

h. **Standards of Measurement.** The distances identified in this Section shall be measured in a straight line, without regard to intervening structures or objects from the closest point of the structure proposed for occupancy by the sexually-oriented business to the nearest point of the parcel of property or zoning district boundary from which the proposed land use is to be separated.

i. **Outdoor Activities.** Any outdoor activities associated with the sexually-oriented businesses are prohibited. The sexually-oriented business shall be