

<p>Municipal Building 625 52nd Street – Room 202</p>	<p><i>Kenosha City Plan Commission</i> <i>Agenda</i></p>	<p>Thursday, February 24, 2011 5:00 p.m.</p>
<p><i>Mayor Keith Bosman - Chairman, Alderman G. John Ruffolo – Vice Chairman Alderman Jan Michalski, Alderman Jesse Downing, Anderson Lattimore, Anita Faraone, Art Landry, Bruce McCurdy, Ron Stevens</i></p>		

Call to Order and Roll Call

1. Conditional Use Permit for a 4,070 s.f. restaurant with a drive-thru to be located at the northeast corner of Green Bay Road and Washington Road, District #16. (McDonald's at Kenosha Pointe) PUBLIC HEARING
2. Conditional Use Permit for a 47-unit senior assisted living facility to be located at 1870 27th Avenue, District #5. (Celebre Place) PUBLIC HEARING
3. Conditional Use Permit for a non-conforming residential use to be located at 6316 28th Avenue, District #12. (Vines) PUBLIC HEARING

Public Comments

Commissioner Comments

Staff Comments

Adjournment

Department of City Development
625 52nd Street – Room 308
Kenosha, WI 53140
262.653.4030 phone / 262.653.4045 fax
www.kenosha.org

If you are disabled in need of assistance, please call 262.653.4030 at least 72 hours before this meeting.

Notice is hereby given that a majority of the members of the Common Council may be present at the meeting. Although this may constitute a quorum of the Common Council, the Council will not take any action at this meeting.

City Plan Division 625 52 nd Street Kenosha, WI 53140 262.653.4030	Kenosha City Plan Commission FACT SHEET	February 24, 2010	Item 1
Conditional Use Permit for a 4,070 s.f. restaurant with a drive-thru to be located at the northeast corner of Green Bay Road and Washington Road, District #16. (McDonald's at Kenosha Pointe) PUBLIC HEARING			

LOCATION/SURROUNDINGS:

Site: Northeast Corner of Green Bay Road (STH 31) and Washington Road (CTHS)
Zoned: B-2 Community Business District/Air-4 Airport Overlay District

NOTIFICATIONS/PROCEDURES:

The alderman of the district, Alderman Downing, has been notified. The Common Council is the final review authority.

ANALYSIS:

- The applicant is proposing to construct a fast-food restaurant with a drive-thru on one of the lots in the Kenosha Pointe development, located at the northeast corner of Green Bay Road and Washington Road. The proposed development would be directly east of the CVS Pharmacy, currently under construction.
- The proposed materials are brick and cultured stone. Per Section 14.07 B.10(e) of the Zoning Ordinance, buildings in a Unified Business Center shall have consistent materials and colors. The brick proposed for this application is a different shade of red than the brick on the CVS Pharmacy. The brick color shall be re-evaluated for this application to be consistent with the CVS Pharmacy. The remainder of the building exterior complies with City Ordinances.
- The majority of the physical infrastructure for the shopping center has been installed. The applicant will be responsible only for their on-site improvements.
- The site is part of a Unified Business Center and will only be permitted one monument sign.
- The plans were sent to City Departments for their review. Their comments are included in the attached Conditions of Approval.
- The plans generally comply with Sections 4 and 14 of the Zoning Ordinance.

RECOMMENDATION:

A recommendation is made to approve the Conditional Use Permit, subject to the attached Conditions of Approval.

B. RLO

Brian R. Wilke, Development Coordinator
/u2/facc/cp/ckays/1CPC/2011/Feb24/fact-cup-mcdonalds.odt

Jeffrey B. Labahn

Jeffrey B. Labahn, Director of City Development

<p>City Plan Division 625 52nd Street Kenosha, WI 53140 262.653.4030</p>	<p><i>Kenosha City Plan Commission Conditions of Approval</i></p>	<p>McDonald's at Kenosha Pointe NEC Green Bay Road and Washington Road</p>	<p>February 24, 2011</p>
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1. The following Conditions of Approval will run with the land and shall be included in a document recorded with the Kenosha County Register of Deeds:
 - a. The applicant shall obtain all required construction permits from the Department of Neighborhood Services & Inspections. This includes, but is not limited to Erosion Control, Building, Plumbing, Electrical, Dumpster Enclosure and Occupancy permits.
 - b. The applicant shall obtain a Parking Lot permit from the Department of Public Works.
 - c. All signs shall comply with Chapter 15 of the Code of General Ordinances and the applicant shall obtain sign permits for all new signs. A separate submission and permits are required for all signs. Sign information provided under the Conditional Use Permit is for reference only and does not constitute sign permit approval. Since the site is part of a Unified Business Center, it is permitted only one freestanding monument sign.
 - d. The development shall be constructed per the approved Building, Site, Drainage, Utility and Landscaping Plans on file with the Department of City Development, Room 308, 625 52nd Street, Kenosha, WI 53140. Any changes to the approved plans shall require an amendment to the Conditional Use Permit. All changes shall be submitted to the Department of City Development for review and approval.
 - e. Prior to the issuance of any occupancy permits, all parking areas, drives and designated paved areas shall have the initial lift of asphalt installed. The building exterior shall be completed per the approved plans, the exterior lighting shall be installed and the Conditional Use Permit shall be recorded with the Kenosha County Register of Deeds. All improvements indicated on the plans, including landscaping, shall be installed prior to the issuance of a final Occupancy permit. The recording fees for the Conditional Use Permit shall be submitted by the applicant.
 - f. Compliance with City and State and/or Federal Codes and Ordinances and any Conditions noted in the recorded Developers Agreement.
 - g. All roof top mechanicals shall be properly screened per Section 14.07 B.10 of the Zoning Ordinance.
 - h. All trash containers shall be stored within the enclosure. Applicant/owner shall be responsible for waste collection and removal for the development. The City of Kenosha shall not provide waste collection or removal services or incur any cost in this regard.

<p>City Plan Division 625 52nd Street Kenosha, WI 53140 262.653.4030</p>	<p><i>Kenosha City Plan Commission Conditions of Approval</i></p>	<p>McDonald's at Kenosha Pointe NEC Green Bay Road and Washington Road</p>	<p>February 24, 2011</p>
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- i. The applicant shall meet all applicable Conditions of Approval and obtain a building permit within six (6) months of Common Council approval of the Conditional Use Permit or the Conditional Use Permit shall be null and void.
 - j. Outdoor display of products is prohibited.
 - k. All vehicles shall be parked within the designated paved areas.
 - l. All improvements, including landscaping, shall be maintained per the approved plans. Any damaged fencing, landscaping or building shall be replaced or reconstructed per the approved plans.
 - m. Cross access shall be provided to adjacent parcels if required at a future date by the City.
 - n. Compliance with the Operational Plan.
 - o. Compliance with the Kenosha Water Utility memo dated January 28, 2011.
 - p. Light fixtures and poles shall be compatible to the fixtures and poles used for the CVS Pharmacy.
2. The following conditions of approval shall be satisfied with City Staff prior to the issuance of any construction permits.
- a. The applicant shall provide the Department of City Development with a certificate from the County Treasurer stating that there are no past due real estate taxes or special assessments on the site per Section 2.02.B.8 of the Zoning Ordinance.
 - b. An Operational Plan shall be submitted that complies with Section 4.03 A.3 of the Zoning Ordinance.
 - c. The Lighting Plan shall be revised to show light fixture mountings with glare shields installed. The Plan shall show that the fixture is mounted with a zero degree tilt.
 - d. The Grading, Drainage, and Storm Sewer Plans generally lack much of the required information listed on the Storm Water Management Plan worksheet.
 - e. The Storm Sewer and Grading Plans lack the areas draining to the individual inlets (including those already in place) and any indication of what the storm water overflow routes will be.

<p>City Plan Division 625 52nd Street Kenosha, WI 53140 262.653.4030</p>	<p><i>Kenosha City Plan Commission Conditions of Approval</i></p>	<p>McDonald's at Kenosha Pointe NEC Green Bay Road and Washington Road</p>	<p>February 24, 2011</p>
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- f. Since references to the existing Storm Water Management Plan for the entire site are made, please provide either a copy of the plan or independent information on these items.
- g. A Storm Water Management Permit is required.
- h. Provide a detailed plan on the masonry trash corral, recycle bin and storage shed. The gates shall be constructed either of wood or chain-link fencing with slats.
- i. The drive-thru lane shall be eleven (11') feet wide.
- j. The dimensions are incorrect for a 60-degree angle parking stall. The drive aisle shall be seventeen (17') feet wide and the parking stalls shall be twenty and one half (20.5') feet in depth.
- k. The Landscaping Plan shall show areas for snow storage.
- l. Include a sidewalk connection to the north/south private driveway west of the project site.
- m. The brick color shall be modified to be compatible with the brick used on the CVS Pharmacy.

/u2/acct/cp/ckays/1CPC/2011/Feb24/conditions-mcdonalds.odt

Engineering Services

4401 Green Bay Road
Kenosha WI 53144

Phone (262) 653-4315
Fax (262) 653-4303



"Providing and Protecting Kenosha's Greatest Natural Resource"

MEMO

To: Brian Wilke, Development Coordinator

From: Curt Czamecki, Water Engineer

Date: January 28, 2011

Subject: McDonald's at Kenosha Pointe

Location: Northeast corner of Green Bay Road and Washington Road

The Kenosha Water Utility (KWU) has reviewed the submittal for the above referenced project. The plans dated January 20, 2011 are approved subject to the following conditions:

1. Based on the proposed 2-inch water meter this development will be subject to a \$26,252.00 sewer connection fee.
2. Kenosha Water Utility shall be notified prior to the connections to the existing sanitary sewer lateral and water service. KWU personnel shall inspect the connections to ensure they meet all KWU specifications.

Cc: Bob Carlson, Director of Engineering

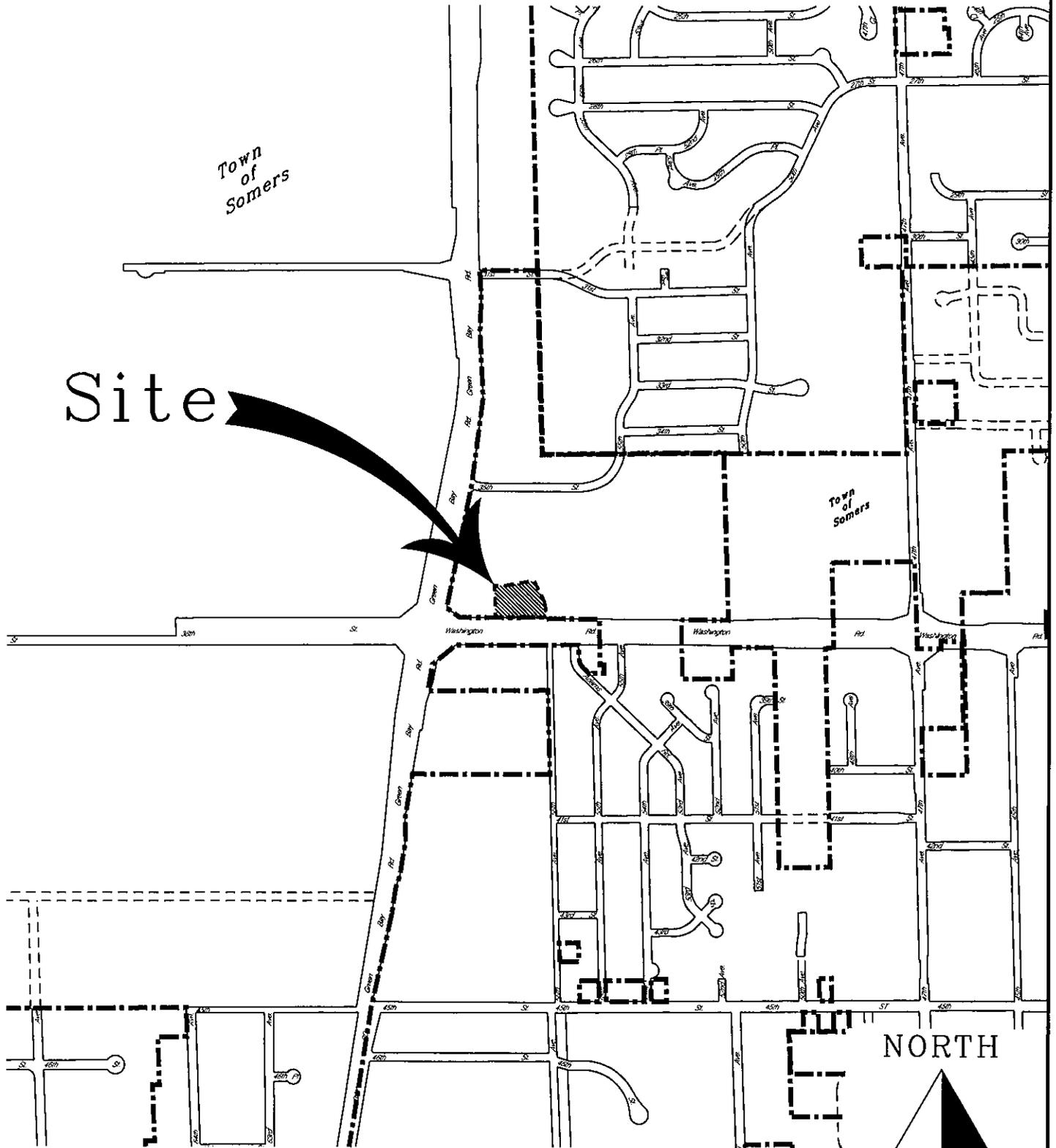
City of Kenosha

Vicinity Map
McDonald's CUP

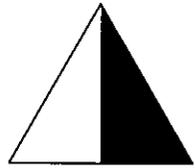
Town of Somers

Site

Town of Somers



NORTH



0 1000'



-  Subject Property
-  Municipal Boundary

**Development Review Application
City of Kenosha, Wisconsin**

JAN 24 2011

MAILING INFORMATION

DEPARTMENT OF
CITY DEVELOPMENT

NAME OF PROJECT: MCDONALD'S KENOSHA - NEW BUILDING

Check one (1) of the following boxes to indicate the recipient of all correspondence:

<input checked="" type="checkbox"/>	Name and Address of Applicant [Please print]: <u>HAAG MULLER, INC.</u> <u>101 EAST GRAND AVE. SUITE 1</u> <u>PORT WASHINGTON, WI. 53074</u>	Phone: <u>262-268-1200</u> Fax: E-Mail: <u>WWW.HAAGMULLER.COM</u>
<input type="checkbox"/>	Name and Address of Architect/Engineer [Please print]: <u>HAAG MULLER, INC.</u> <u>101 EAST GRAND AVE. SUITE 1</u> <u>PORT WASHINGTON, WI. 53074</u>	Phone: <u>262-268-1200</u> Fax: E-Mail: <u>WWW.HAAGMULLER.COM</u>
<input type="checkbox"/>	Name and Address of Property Owner (if other than applicant)[Please print]: <u>DAWN BOURSEAU</u> <u>MCDONALD'S CORPORATION</u> <u>4320 WINFIELD RD. SUITE 400</u> <u>WARRENVILLE, IL 60555</u>	Phone: <u>630-750-4868</u> Fax: <u>630-836-4804</u> E-Mail: <u>DAWN.BOURSEAU@US.MCD.COM</u>

PROJECT LOCATION

Location of Development (street address and / or parcel number): N.E. CORNER OF HWY 31 + 142.

TYPE OF LAND DEVELOPMENT

Check all that apply. Note: Additional information may be required within individual Sections.

- | | | |
|---|------------|---------------|
| <input type="checkbox"/> Certified Survey Map | Section 1 | Page 2 |
| <input type="checkbox"/> Concept Review (Land Division) | Section 2 | Page 3 |
| <input type="checkbox"/> Concept Review (Multi-Family Residential or Non-Residential) | Section 3 | Page 4 |
| <input checked="" type="checkbox"/> Conditional Use Permit | Section 4 | Pages 5 & 6 |
| <input type="checkbox"/> Developer's Agreement | Section 5 | Page 7 |
| <input type="checkbox"/> Final Plat | Section 6 | Pages 8 & 9 |
| <input type="checkbox"/> Lot Line Adjustment Survey | Section 7 | Page 10 |
| <input type="checkbox"/> Preliminary Plat | Section 8 | Pages 11 & 12 |
| <input type="checkbox"/> Rezoning | Section 9 | Pages 13 & 14 |
| <input checked="" type="checkbox"/> Site Plan Review | Section 10 | Pages 15 & 16 |

**PRIOR TO SUBMITTING THIS APPLICATION TO THE DEPARTMENT OF CITY DEVELOPMENT,
PLEASE REVIEW THE APPROPRIATE SECTION(S) FOR FEES, REQUIREMENTS AND APPROPRIATE APPENDICES.**

Submit this cover page, completed application, applicable section(s) and appendices
along with ALL required plans, information and fees to:

Department of City Development
625 52nd Street, Room 308
Kenosha, WI 53140

Phone: 262.653.4030
Fax: 262.653.4045

Office Hours:
M - F 8:00 am - 4:30 pm

**McDonald's Kenosha Gateway Development
Storm Water Management Plan Worksheet
Additional Information Attachment**

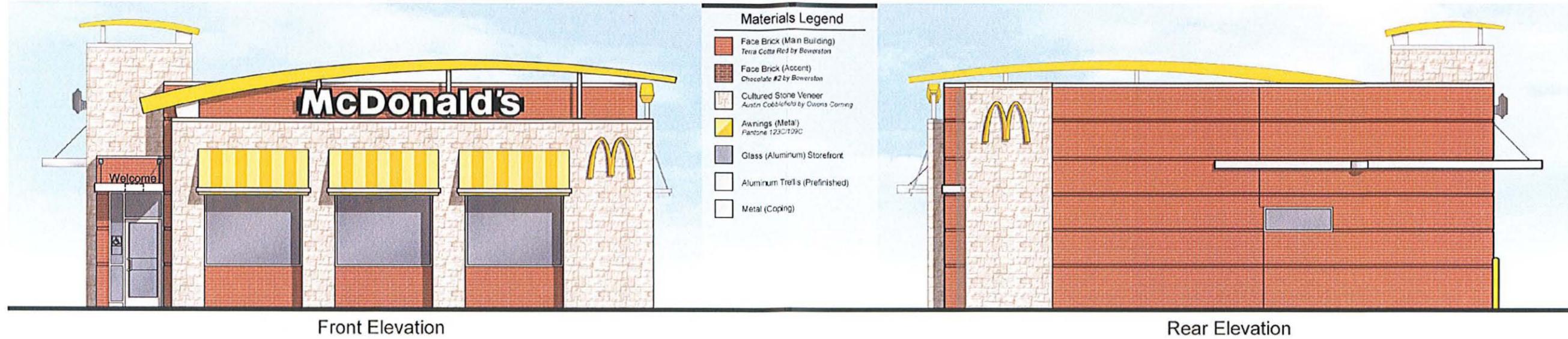
The McDonald's development is part of the larger Kenosha Gateway development by Terraco, Inc. The Kenosha Gateway development is provided with centralized storm water management facilities to provide storm water management for the parcels included within the development. Therefore, no on-site storm water management is being proposed or is required for the McDonald's parcel development.

The current storm water management design requirements were not the standard when the existing wet detention pond and storm water management plan was designed, approved and constructed. The project was constructed prior to WDNR NR 151 and WDNR technical standards. The civil engineering consultant for the Kenosha Gateway development (R.A. Smith National) performed SLAMM modeling of the overall development and determined that the existing pond will provide 75% TSS reduction. 80% TSS removal was not a requirement when the wet detention basin was design, approved and constructed.

Storm water infiltration was not included in the storm water management plan, because WDNR NR 151 and WDNR Technical standards pertaining to infiltration were not requirements when the existing wet detention basin was designed, approved and constructed. Site soils are also Type "C" soils, and therefore, would fall under the WDNR NR exemption for storm water infiltration.

Existing storm sewer computations were provided in the existing storm water management plan. The Kenosha Gateway development will not increase flows to the storm sewer system over prior conditions.

Refer to the Storm Water Management Plan submitted for the overall Kenosha Gateway project for additional details.

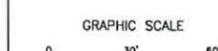


PRELIMINARY
 FOR REVIEW ONLY

McDONALD'S SITE
 PART OF 3710 57TH AVE.
 KENOSHA, WISCONSIN

EXISTING CONDITIONS

NO. REVISION DATE BY



DRAWING NO. 2770-V-010-C.dwg

DRAWN BY: JJR

DATE: 01-20-11

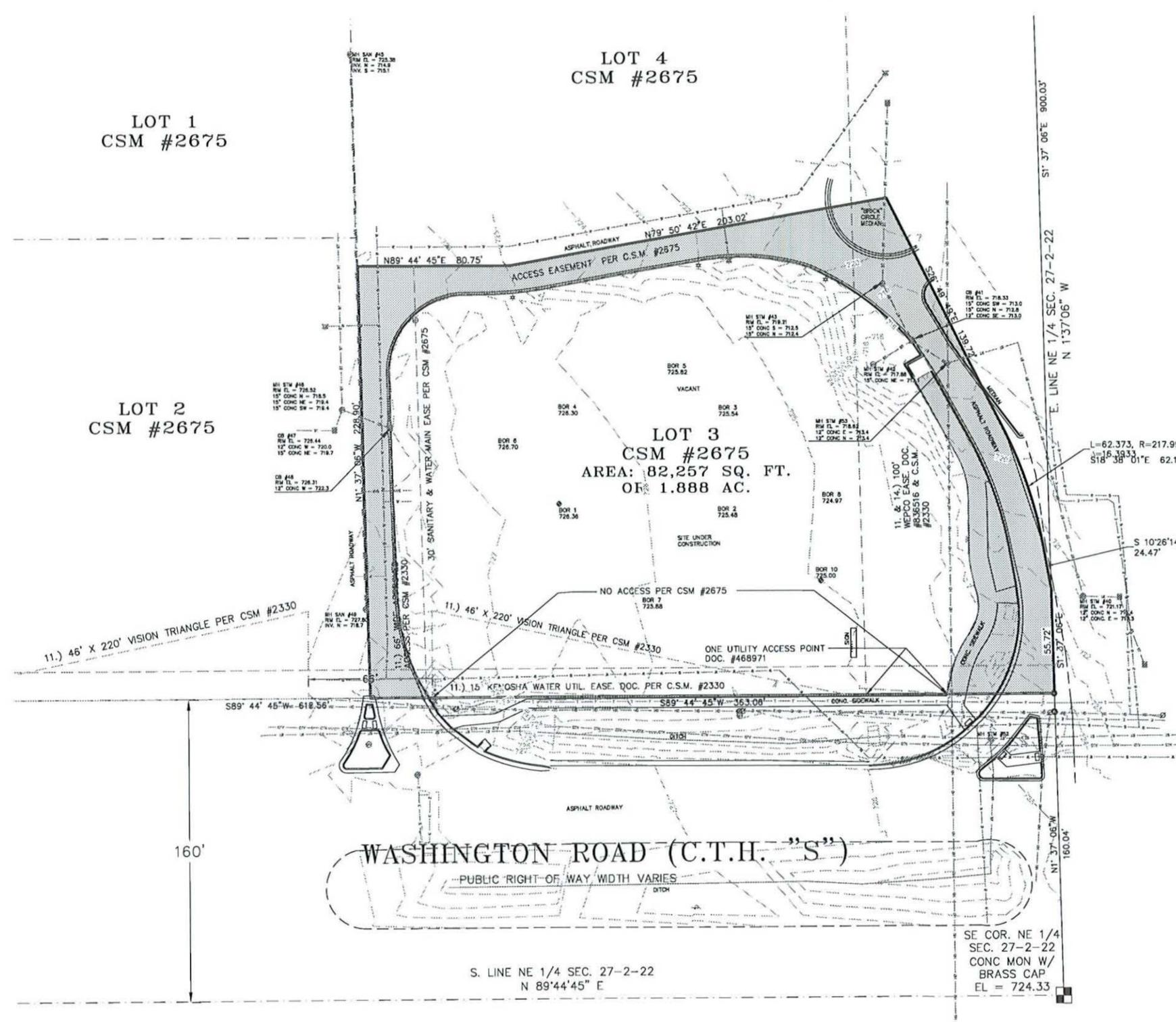
PROJECT NO: 2770

CHECKED BY: JBL

APPROVED BY: JBL

SHEET NO.:

C1



- NOTES:
- 1) MONUMENTS TO BE SET BY OTHERS AFTER COMPLETION OF CONSTRUCTION.
 - 2) PARCEL DOES NOT FALL WITHIN THE FLOODPLAIN PER FEMA FIRM PANEL 550523 0005 B REVISED DECEMBER 5, 1996.
 - 3) LAND AREA: 82,257 SQUARE FEET OR 1.888 ACRES.
 - 4) BEARING BASED ON WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NAD 1927, WITH THE SOUTH LINE OF THE NORTHEAST 1/4 OF SECTION 27-2-22 HAVING A BEARING OF N 89°44'45" E, VERTICAL DATUM NVD0 1929 WITH THE ELEVATION OF THE SOUTHEAST CORNER OF THE NORTHEAST 1/4 OF SECTION 27-2-22 PUBLISHED AS 724.33, BY SEWRPC.
 - 5) THERE ARE NO BUILDINGS ON THIS SITE.
 - 6) OWNER: GENDELL PARTNERS KENOSHA, LLC.
 - 7) PARCEL ZONED B-4 MIXED USE.

Legal description per Chicago Title Insurance Company File No. 106715, as prepared by Merit Title, LLC, effective date of September 29, 2010, issue date of October 06, 2010:

Parcel 2 of Certified Survey Map No. 2330 as recorded in the Kenosha County Register of Deeds Office on October 14, 2002, as Document No. 1288981, being part of the Northeast 1/4 of Section 27, Town 2 North, Range 22 East, and part of the Northeast 1/4 of Section 26, Town 2 North, Range 22 East of the Fourth Principal Meridian; lying and being in the City of Kenosha, Kenosha County, Wisconsin.

Address: 3710 57th Avenue, Kenosha, WI
 Tax Key No.: 08-222-27-101-105

Mets & Bounds Legal description:
 Lot 3 of Certified Survey Map No. 2675, recorded as Document No. 1628568, being a division of Parcel 2 of Certified Survey Map No. 2330 as recorded in the Kenosha County Register of Deeds Office on October 14, 2002, as Document No. 1288981, being part of the Northeast 1/4 of Section 27, Town 2 North, Range 22 East, and part of the Northeast 1/4 of Section 26, Town 2 North, Range 22 East of the Fourth Principal Meridian; lying and being in the City of Kenosha, Kenosha County, Wisconsin, bounded and described as:

Commencing at the Southeast corner of said Northeast 1/4 of Section 27; thence North 1°37'06" West, 160.04 feet along the East line of said Northeast 1/4 section to the North line of Washington Road (C.T.H. 'S') and to the Point of Beginning; thence South 89°44'45" West, 363.06 feet along said North line; thence North 1°37'06" West, 228.90 feet; thence North 89°44'45" East, 80.75 feet; thence North 79°50'42" East, 203.02 feet; thence South 26°49'49" East, 139.72 feet to the beginning of a 218.00 foot radius curve to the right, whose chord bears South 18°38'01" East, 62.16 feet; thence Southeasterly, 62.37 feet along the arc of said curve; thence South 10°26'14" East, 24.47 feet to the aforesaid East line of the Northeast 1/4 of Section 27; thence South 01°37'06" East, 55.72 feet along said East line to the Point of Beginning. Said parcel contains 82,257 square feet or 1.888 acres of land, more or less.

Tax Key No.: 08-222-27-101-013

Per Chicago Title Insurance Company File No. 106715, as prepared by Merit Title, LLC, effective date of September 29, 2010, issue date of October 06, 2010, the following items appear in Schedule B II as exceptions:

11. Easements, restrictions, setback lines, covenants and conditions as shown on Certified Survey Map No. 2330. RESTRICTIONS INCLUDE THE FOLLOWING: "NO DEVELOPMENT SHALL OCCUR ON PARCELS 1 - 4 UNTIL A DRAINAGE PLAN AND C.U.P. IS APPROVED BY THE CITY OF KENOSHA." AND "AS OWNER, I HEREBY RESTRICT ALL LOTS AND BLOCKS SO THAT NO OWNER, POSSESSOR, USER, LICENSEE OR OTHER PERSON MAY HAVE ANY RIGHT OF DIRECT VEHICULAR INGRESS FROM OR EGRESS TO ANY HIGHWAY LYING WITHIN THE RIGHT OF WAY OF SIH 31 OR CTH "S" OTHER THAN SHOWN ON THE LAND DIVISION MAP; IT IS EXPRESSLY INTENDED THAT THIS RESTRICTION CONSTITUTE A RESTRICTION FOR THE BENEFIT OF THE PUBLIC AS PROVIDED IN S. 236.293 WISCONSIN STATUTES AND SHALL BE ENFORCEABLE BY THE DEPARTMENT OR ITS ASSIGNS."
12. Easement granted to Wisconsin Electric Power Company, a Wisconsin corporation doing business as WE Energies, Wisconsin Bell, Inc., d/b/a SBC Wisconsin & Time Warner Entertainment Company, LP by an instrument dated August 18, 2003 and recorded on August 26, 2003, as Document No. 1348302. SHOWN ON MAP.
13. Easement granted to Wisconsin Electric Power Company, a Wisconsin corporation doing business as WE Energies by an instrument dated February 17, 2003 and recorded on March 5, 2003, as Document No. 1314164 and corrected by Affidavit recorded on December 7, 2005, as Document No. 1461441. SHOWN ON MAP.
14. Easement granted to Wisconsin Electric Power Company by an instrument dated February 1, 1990 and recorded on February 6, 1990, Volume 1382, Page 550, as Document No. 835516. SHOWN ON MAP.
15. Storm Water Detention Pond Use and Maintenance Declaration dated August 4, 2004 and recorded on August 6, 2004, as Document No. 1399618. GENERAL IN NATURE, NOT SHOWN ON MAP.
16. Covenants, conditions, easements, restrictions, and charges or assessments, if any, as set forth in the Developer's Agreement, dated July 29, 2002, and recorded on October 14, 2002, as Document No. 1288982. GENERAL IN NATURE, NOT SHOWN ON MAP.

SURVEYOR'S CERTIFICATION:
 TO: McDONALD'S CORPORATION, A DELAWARE CORPORATION, McDONALD'S USA, LLC, A DELAWARE LIMITED LIABILITY COMPANY, McDONALD'S REAL ESTATE COMPANY, A DELAWARE CORPORATION, FRANCHISE REALTY INVESTMENT TRUST-L, A MARYLAND TRUST, CHICAGO TITLE INSURANCE COMPANY, MERIT TITLE, LLC, GENDELL PARTNERS KENOSHA, LLC, ALL LENDERS, THE SUCCESSORS AND ASSIGNS OF ANY OF THE FOREGOING AND ANY OTHER PERSON WHO PURCHASES, MORTGAGES OR GUARANTEES THE TITLE THERETO WITHIN ONE YEAR OF THE DATE OF THIS SURVEY.

THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY AMERICAN LAND TITLE ASSOCIATION AND THE NATIONAL SOCIETY OF LAND SURVEYORS IN 2005 AND INCLUDES ITEMS 2, 3, 4, 5, 6, 8, 10, 11(A) & (B), 12, AND 14 FROM TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF WISCONSIN, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

BARBA M. ROZITE
 WIS. REGISTRATION NO. S-2351

LEGEND

---	SECTION 1/4 SECTION LINE	○	MANHOLE	●	IRON PIPE FOUND/SET
---	LOT LINE	○	CATCH BASIN	○	REBAR FOUND/SET
---	PROPERTY BOUNDARY	○	SEPTIC VENT	○	CHISELED CROSS FOUND/SET
---	EASEMENT	○	HYDRANT	○	PK NAIL FOUND/SET
---	FENCE	○	VALVE	○	SPRKE/NAIL
---	TREE LINE	○	POWER POLE	○	MONUMENT
---	OVERHEAD UTILITY LINE	○	GUY WIRE	○	ROW MARKER
---	ELECTRIC	○	GUY POLE	○	BENCHMARK
---	TELEPHONE	○	GAS/ELECTRIC METER	○	AIR CONDITIONER
---	FIBER OPTIC	○	UTILITY PEDESTAL	○	SIGN
---	CABLE TV	○	TRAFFIC SIGNAL	○	POST
---	SANITARY SEWER	○	PULL BOX	○	NAILBOX
---	FORCE MAIN	○	UTILITY POLE	○	FLAG POLE
---	STORM SEWER	○	COMMUNICATION POLE	○	DECIDUOUS TREE
---	WATER MAIN	○	LIGHT POLE	○	CONIFEROUS TREE
---	EXISTING CONTOUR	○	MONITORING WELL	○	BUSH
---	EXISTING CONTOUR	○	SOL BORING	○	
---	EXISTING CONTOUR	○	EXISTING SPOT ELEV.	○	
---	EXISTING CONTOUR	○	RECORD DIMENSION	○	

THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD DATA OBTAINED DURING THIS SURVEY. INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY, AND AS-BUILT INFORMATION, WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.

Legal description per Chicago Title Insurance Company File No. 106715, as prepared by Merit Title, LLC, effective date of September 29, 2010, issue date of October 06, 2010:
 Parcel 2 of Certified Survey Map No. 2330 as recorded in the Kenosha County Register of Deeds Office on October 14, 2002, as Document No. 1268981, being part of the Northeast 1/4 of Section 27, Town 2 North, Range 22 East, and part of the Northwest 1/4 of Section 26, Town 2 North, Range 22 East of the Fourth Principal Meridian; lying and being in the City of Kenosha, Kenosha County, Wisconsin.
 Address: 3710 57th Avenue, Kenosha, WI
 Tax Key No.: 08-222-27-101-105

Metes & Bounds Legal description:
 Lot 3 of Certified Survey Map No. 2875, recorded as Document No. 1628568, being a division of Parcel 2 of Certified Survey Map No. 2330 as recorded in the Kenosha County Register of Deeds Office on October 14, 2002, as Document No. 1268981, being part of the Northeast 1/4 of Section 27, Town 2 North, Range 22 East, and part of the Northwest 1/4 of Section 26, Town 2 North, Range 22 East of the Fourth Principal Meridian; lying and being in the City of Kenosha, Kenosha County, Wisconsin, bounded and described as:
 Commencing at the Southeast corner of said Northeast 1/4 of Section 27; thence North 1°37'06" West, 160.04 feet along the East line of said Northeast 1/4 section to the North line of Washington Road (C.T.H. "S") and to the Point of Beginning; thence South 89°44'45" West, 363.06 feet along said North line; thence North 1°37'06" West, 228.90 feet; thence North 69°44'45" East, 80.75 feet; thence North 79°50'42" East, 203.02 feet; thence South 26°49'49" East, 139.72 feet to the beginning of a 218.00 foot radius curve to the right, whose chord bears South 18°38'01" East, 62.16 feet; thence Southeastery, 62.37 feet along the arc of said curve; thence South 10°26'14" East, 24.47 feet to the aforesaid East line of the Northeast 1/4 of Section 27; thence South 01°37'06" East, 55.72 feet along said East line to the Point of Beginning. Said parcel contains 82,257 square feet or 1.888 acres of land, more or less.
 Tax Key No.: 08-222-27-101-013

PRELIMINARY FOR REVIEW ONLY

KENOSHA ZONING DATA
 ZONING = B-2 COMMUNITY BUSINESS DISTRICT

SETBACK	REQUIRED (FT.)	PROVIDED (FT.)
WEST	0	102.0
SOUTH (STREET SIDE YARD)	0	101.0
EAST (REAR YARD)	25	130.8
NORTH	0	85.7

SITE AREA CALCULATION

AREA	S.F. (acres)	%
TOTAL LOT AREA	82,257 (1.888)	100.0
PRIVATE ROADWAY HARDSCAPE	15,817 (0.363)	19.2
MCDONALDS HARDSCAPE		
BUILDING	4,070 (0.093)	4.9
SIDEWALKS	1,580 (0.036)	1.9
PAVEMENT	29,872 (0.686)	36.3
TOTAL MCDONALDS HARDSCAPE	35,522 (0.815)	43.2
TOTAL LOT HARDSCAPE	51,339 (1.178)	62.4
TOTAL LOT GREENSPACE	30,918 (0.710)	37.6

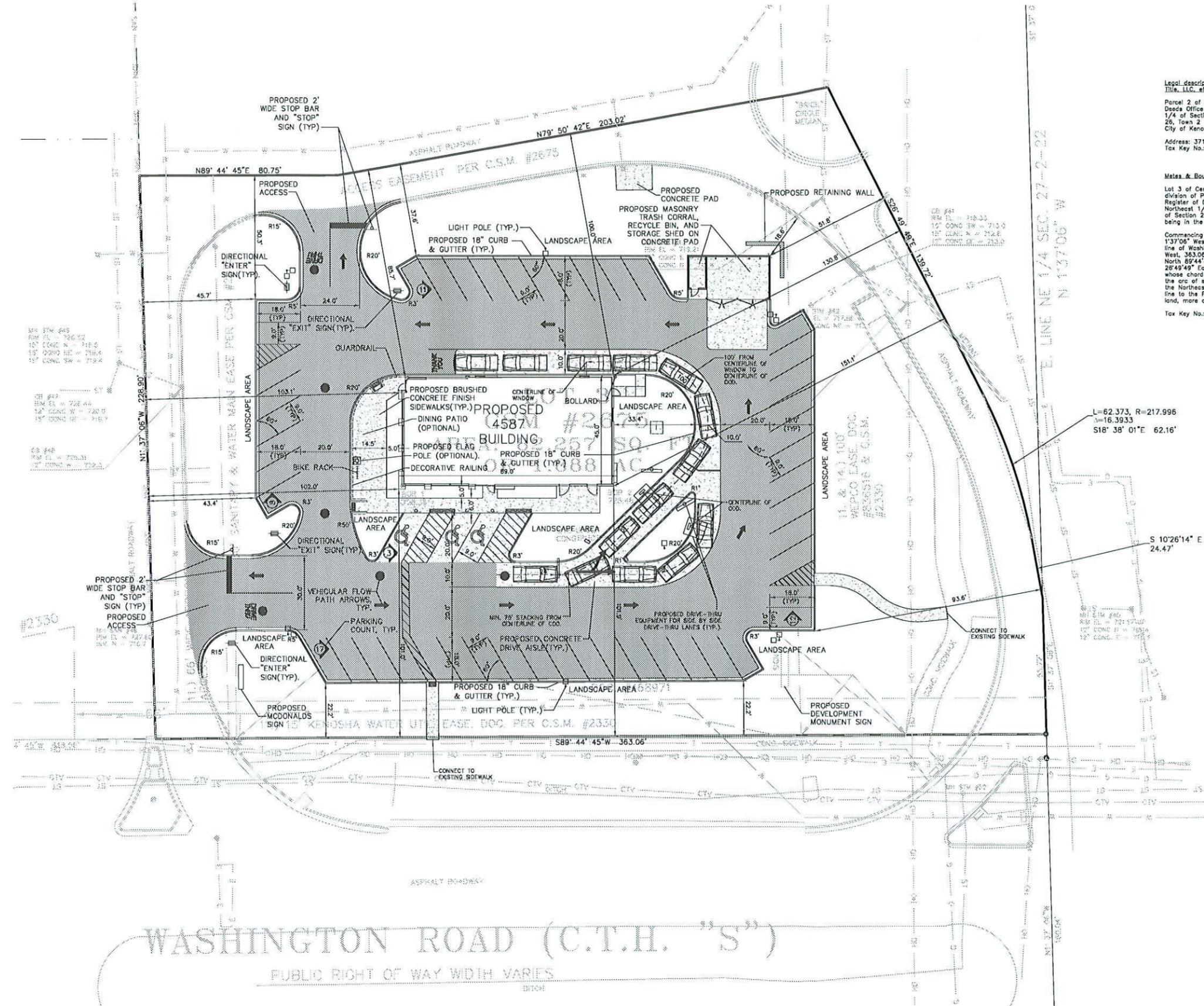
BUILDING FLOOR AREA

GROSS	= 4,467 S.F.
NET	= 4,070 S.F.

ON-SITE PARKING DATA

REQUIRED	
STORE CAPACITY (SC)	110
CITY REQ. (40% OF SC)	44
PROPOSED	
REGULAR SPACES	48
ADA ACCESSIBLE SPACES	3
TOTAL SPACES	51

SITE PLAN NOTES:
 1. ALL RADIUS DIMENSIONS ARE TO BACK OF CURB.
 2. ALL LINEAR DIMENSIONS ARE TO FACE OF CURB.



WASHINGTON ROAD (C.T.H. "S")
 PUBLIC RIGHT OF WAY WIDTH VARIES

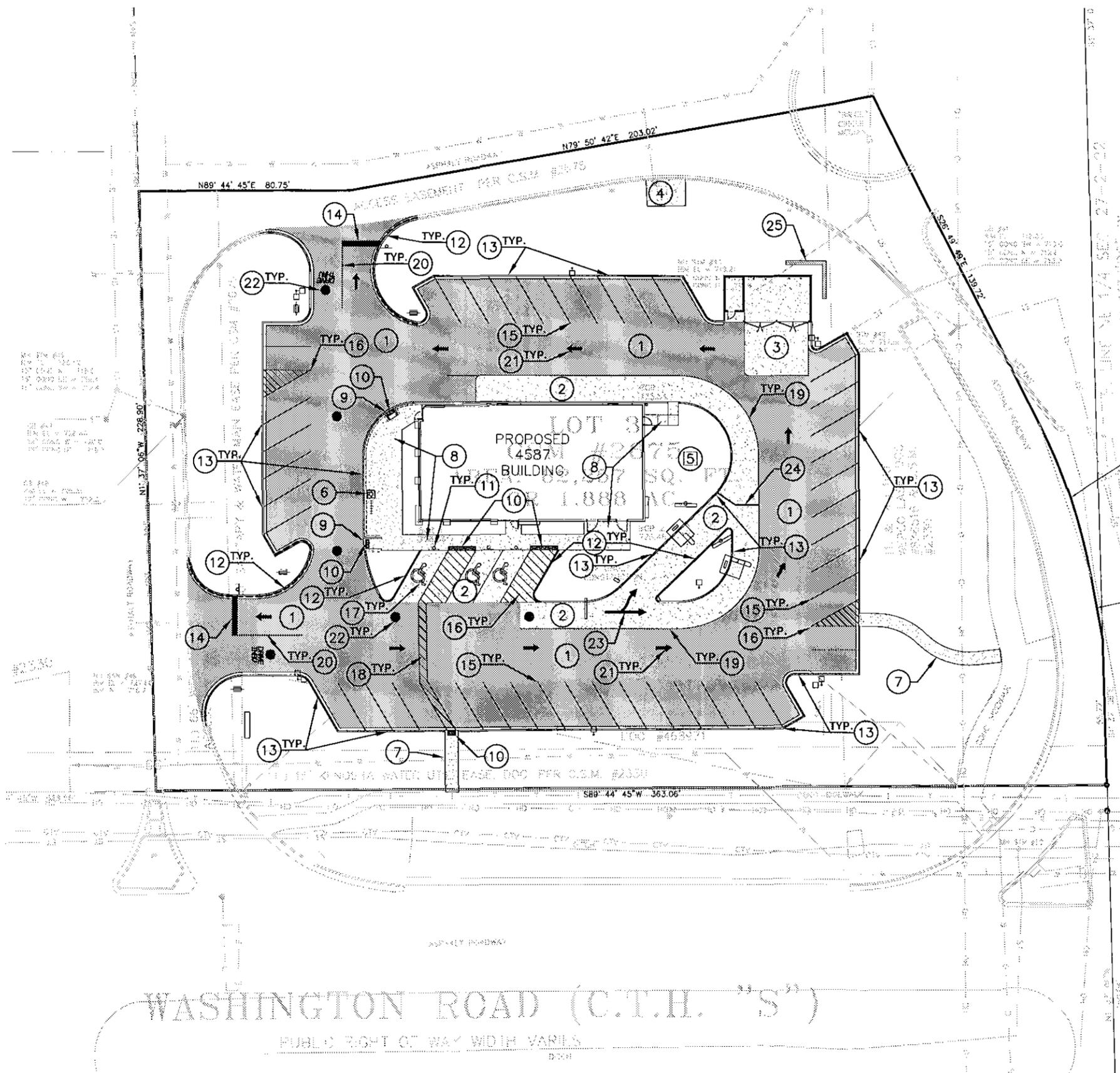
NO. REVISION	DATE BY

GRAPHIC SCALE
 0 20' 40'

DRAWING NO.	2770-140-A.dwg
DRAWN BY:	JJR
DATE:	01-20-11
PROJECT NO:	2770
CHECKED BY:	JBL
APPROVED BY:	JBL
SHEET NO.:	C 2

PRELIMINARY FOR REVIEW ONLY

- KEYED NOTES**
1. PROPOSED ASPHALTIC PAVEMENT
 2. PROPOSED CONCRETE PAVEMENT
 3. PROPOSED CONCRETE TRASH CORRAL PAD
 4. PROPOSED CONCRETE FIRE DEPARTMENT CONNECTION PAD
 5. PROPOSED CONCRETE TRANSFORMER PAD
 6. PROPOSED CONCRETE FLAG POLE PAD
 7. PROPOSED CONCRETE SIDEWALK
 8. PROPOSED CONCRETE BUILDING SIDEWALK
 9. PROPOSED CONCRETE RAMP
 10. PROPOSED ADA DETECTABLE WARNING PAD
 11. PROPOSED ADA SIGN & BOLLARD
 12. PROPOSED ACCEPT 18" CURB & GUTTER
 13. PROPOSED REJECT 18" CURB & GUTTER
 14. PROPOSED PAVEMENT MARKING - STOP BAR
WHITE - 8" WIDE
 15. PROPOSED PAVEMENT MARKING - PARKING STALL
WHITE - 4" WIDE
 16. PROPOSED PAVEMENT MARKING - "NO PARK" HATCH
WHITE - 4" @ 4" SPACING
 17. PROPOSED PAVEMENT MARKING - ADA SYMBOL
WHITE SOLID
 18. PROPOSED PAVEMENT MARKING - SIDEWALK CROSSING
WHITE - 4" @ 4" SPACING
 19. PROPOSED PAVEMENT MARKING - DRIVE-THRU LANE
YELLOW - 6" WIDE
 20. PROPOSED PAVEMENT MARKING - LANE SEPARATION LINE
WHITE - 4" WIDE
 21. PROPOSED PAVEMENT MARKING - DIRECTIONAL ARROW
YELLOW SOLID
 22. PROPOSED PAVEMENT MARKING - CIRCLE DIRECTIONAL ARROW
YELLOW SOLID
 23. PROPOSED PAVEMENT MARKING - DOUBLE HEADED ARROW
YELLOW - 6" WIDE
 24. PROPOSED PAVEMENT MARKING - MERGE POINT
YELLOW - 6" WIDE
 25. PROPOSED RETAINING WALL (TO BE DESIGNED BY OTHERS)
- * DETAILS FOR KEYED NOTES TO FOLLOW



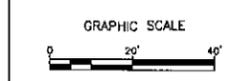
L=62.373, R=217.996
 Δ=16.3933
 S18°36'01"E 62.16'

S 10°26'14" E
 24.47'

MCDONALD'S SITE
 PART OF 3710 57TH AVE.
 KENOSHA, WISCONSIN

PAVING PLAN

NO. REVISION DATE BY



DRAWING NO. 2770-140-A.dwg

DRAWN BY: JJR

DATE: 01-20-11

PROJECT NO: 2770

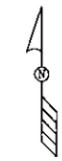
CHECKED BY: JBL

APPROVED BY: JBL

SHEET NO.:

C 3

WASHINGTON ROAD (C.T.H. "S")
 PUBLIC RIGHT OF WAY WIDTH VARIES

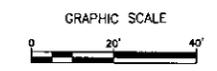


**PRELIMINARY
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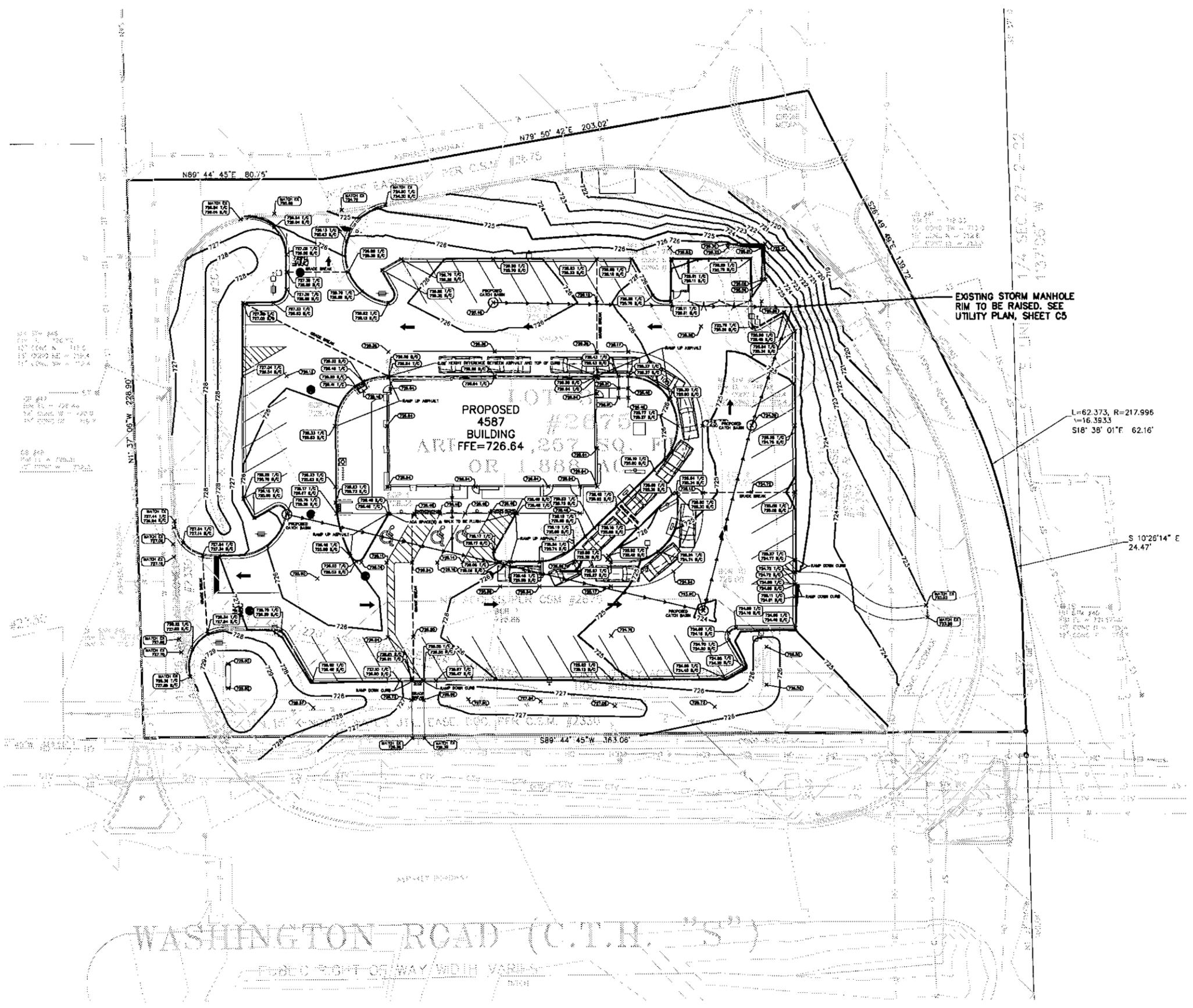
McDONALD'S SITE
 PART OF 3710 57TH AVE.
 KENOSHA, WISCONSIN

GRADING PLAN

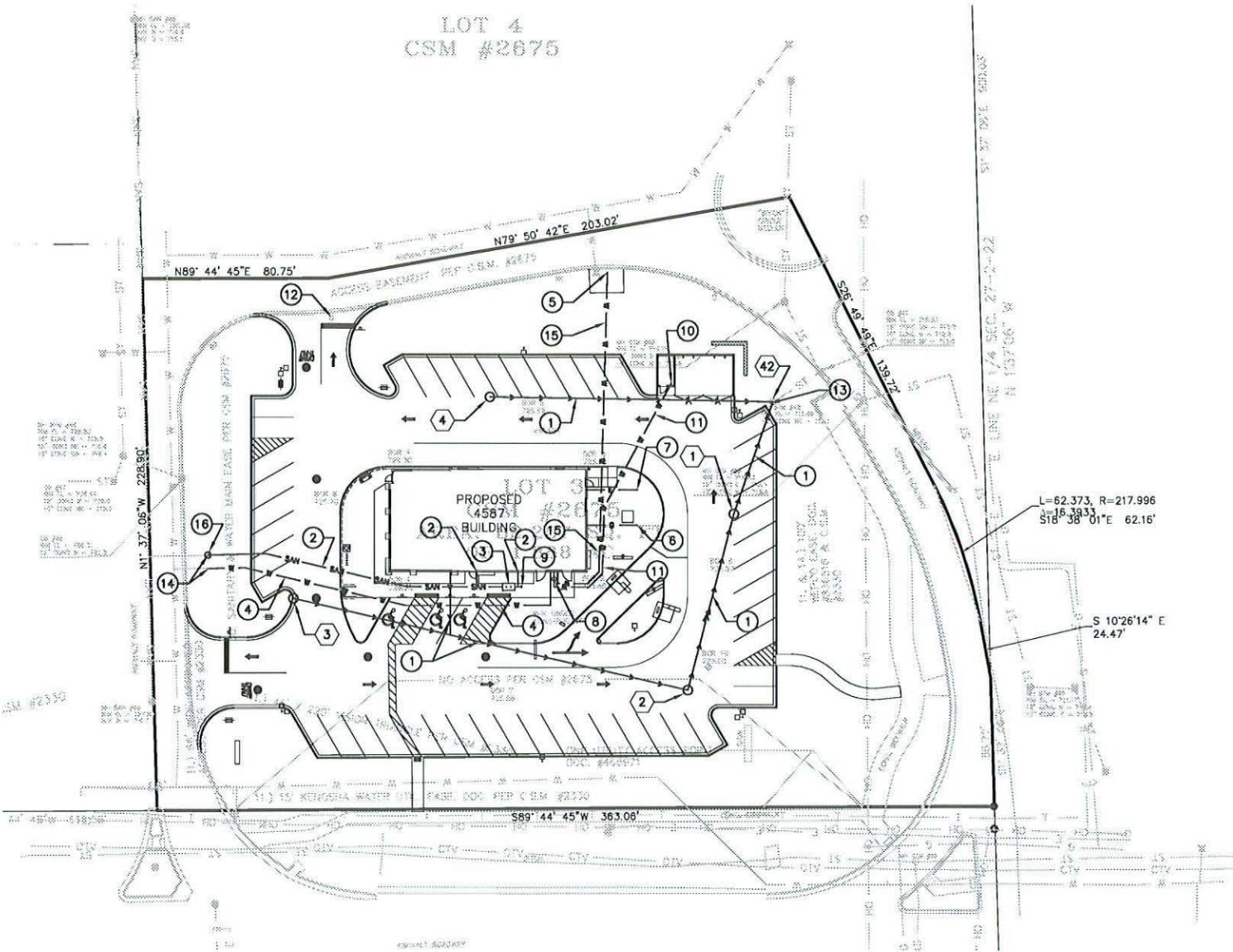
NO.	REVISION	DATE	BY



DRAWING NO.	2770-100-A.dwg
DRAWN BY:	JJR
DATE:	01-20-11
PROJECT NO:	2770
CHECKED BY:	JBL
APPROVED BY:	JBL
SHEET NO.:	C 4



LOT 4
CSM #2675



GENERAL NOTES:

- ALL HORIZONTAL AND VERTICAL CLEARANCE REQUIREMENTS SHALL BE MET PER COMM. 82.
 - MINIMUM 12" OF SEPARATION WHEN WATERMAIN CROSSES OVER SANITARY SEWER.
 - MINIMUM 18" OF SEPARATION WHEN SANITARY SEWER CROSSES OVER WATERMAIN.
 - MINIMUM 6" OF SEPARATION WHEN WATERMAIN CROSSES OVER STORM SEWER.
 - MINIMUM 6" OF SEPARATION WHEN STORM SEWER CROSSES OVER WATERMAIN.
2. CONTRACTOR SHALL PROVIDE INSULATION OVER PROPOSED UTILITIES AS REQUIRED PER DCOMM 82.30(11)(C) IF MINIMUM DEPTH CANNOT BE MAINTAINED.

KENOSHA WATER UTILITY NOTES:

- ALL SANITARY SEWER AND WATER TO BE INSTALLED IN ACCORDANCE WITH KENOSHA WATER UTILITY (KWU) STANDARDS.
- ALL APPLICATIONS AND FEES FOR SANITARY SEWER AND WATER MUST BE COMPLETED AND PAID PRIOR TO CONNECTION TO SEWER/WATER SYSTEMS.
- ALL WATER CONNECTIONS TO EXISTING WATER MAINS SHALL BE COMPLETED BY KWU, WITH EXCAVATION AND BACKFILL BY DEVELOPER. DEVELOPER SHALL PROVIDE 72 HOURS NOTICE TO WJ WHEN CONNECTION IS TO BE MADE.
- ANY UTILITY WORK IN THE RIGHT-OF-WAY AND ALL SANITARY SEWER CONNECTIONS TO BE INSPECTED BY KWU. NOTIFY KWU 48 HOURS IN ADVANCE OF CONNECTING TO SEWER.
- ALL WATER METERS 1-1/2" OR GREATER SHALL HAVE A BYPASS WITH A RUB TWO WAY BALL VALVE WITH LOCKING HANDLE.
- METERS 3" AND LARGER SHALL HAVE A 2" TEST PLUG PROVIDED BETWEEN THE OUTLET SIDE OF THE METER AND THE OUTLET VALVE.
- PROVIDE 3C18 GAGE CABLE BY BELDEN-M OR APPROVED EQUAL IN 1/2" CONDUIT THROUGH EXTERIOR WALL FOR THE REMOTE WATER METER READER. REMOTE READER TO BE FIELD LOCATED BY KWU METER DIVISION. (RESIDENTIAL INSTALLED BY METER SHOP, COMMERCIAL INSTALLED BY DEVELOPER.)
- WATER SERVICES LARGER THAN 2" SHALL BE FLUSHED AND BACTERIA TESTED IN ACCORDANCE WITH KWU CHAPTER-32 RULES & REGULATIONS, RULE 05-29.
- WATER SERVICES SHALL BE PROVIDED WITH A BLUE #12 LOCATOR WIRE INSTALLED ALONG THE ENTIRE LENGTH. LOCATOR WIRE SHALL BE BROUGHT TO THE SURFACE IN THE CURB BOX.
- SANITARY SEWER LATERALS SHALL HAVE A GREEN #12 LOCATOR WIRE INSTALLED ALONG THE ENTIRE LENGTH. LOCATOR WIRE SHALL BE BROUGHT TO THE SURFACE AT THE EDGE OF THE BUILDING AND ENCLOSED IN A CURB BOX WITH SEWER ON THE COVER.

KEYED NOTES:

- PROPOSED PVC STORM SEWER. PVC SEWER SHALL CONFORM TO ASTM D-3034. SEE STORM SEWER TABULATION FOR DETAILS.
- PROPOSED 6" PVC SANITARY SEWER LATERAL TO CONNECT TO EXISTING 6" SANITARY SEWER LATERAL AT 1/8"/FT. MIN. SLOPE. PVC SEWER SHALL CONFORM TO ASTM D-3034. MINIMUM DEPTH TO TOP OF SEWER LATERAL FROM FINISHED GRADE SHALL BE 60 INCHES. CONTRACTOR TO VERIFY LOCATION, DEPTH, AND SIZE OF EXISTING LATERAL BEFORE CONSTRUCTION AND REPORT ANY DISCREPANCIES TO ENGINEER.
- PROPOSED GREASE TRAP. GREASE TRAP TO BE DESIGNED BY PLUMBING DESIGNER.
- PROPOSED 6" COMBINED FIRE/DOMESTIC PRIVATE WATER SERVICE. WATER SERVICE SHALL BE PVC CONFORMING TO AWWA C-900. MAINTAIN 6' MIN. COVER. SEE DETAIL B.
- PROPOSED REMOTE FIRE DEPARTMENT CONNECTION. TO BE INSTALLED IN 15'X10' CONCRETE PAD. SEE DETAIL A.
- PROPOSED GAS SERVICE. ROUTING TO BE COORDINATED WITH WE-ENERGIES BY CONTRACTOR.
- PROPOSED ELECTRIC SERVICE. ROUTING TO BE COORDINATED WITH WE-ENERGIES BY CONTRACTOR.
- PROPOSED GATE VALVE.
- PROPOSED CLEANOUT IN ACCORDANCE WITH COMM 82.35. PROVIDE CLEANOUTS WITH FROST SLEEVES. FROST SLEEVES SHALL BE PVC CONFORMING TO ASTM D-3034.
- PROPOSED YARD HYDRANT. INSTALL BACKFLOW PROTECTED, AUTOMATIC DRAINING, FREEZELESS YARD HYDRANT, WOODFORD MODEL 53.
- PROPOSED 3/4" COPPER COLD WATER SERVICE PIPE TO YARD HYDRANT. COPPER WATER PIPE SHALL BE TYPE "K" CONFORMING TO ASTM B-88. MINIMUM DEPTH FROM TOP OF WATER SERVICE TO FINISHED GRADE SHALL BE 6 FEET.
- EXISTING LIGHT POLE TO BE RELOCATED BY OTHERS.
- RAISE EXISTING STORM MANHOLE #42 RIM=717.86 TO PROPOSED RIM=724.83. IF MANHOLE CANNOT BE RAISED THEN INSTALL NEW STORM MANHOLE PER PLAN.
- CONNECTION TO EXISTING UTILITY LATERALS SHALL BE PER CITY OF KENOSHA STANDARDS AND SPECIFICATIONS.
- PROPOSED 6" PVC LEED TO REMOTE FIRE DEPARTMENT CONNECTION. PVC SHALL CONFORM TO AWWA C-900. MAINTAIN 6' COVER.
- PROPOSED SANITARY SAMPLING MANHOLE.

UTILITY CONTACTS:

CONTACT UTILITY COMPANIES PRIOR TO INITIATION OF WORK.
 GAS: WE ENERGIES (CONTACT: ROGER KOESSL, 262-886-7065)
 ELECTRIC: WE ENERGIES (CONTACT: ROGER KOESSL, 262-886-7065)
 TELEPHONE: AT&T (CONTACT: JAMIE ISOME, 262-636-0568)

STORM STRUCTURE SCHEDULE:

STR. #	RIM	INVERT
CB 1	724.39	NE-718.02 (12") SW-718.02 (12")
CB 2	723.90	NE-718.81 (12") NW-718.81 (10")
CB 3	725.26	SE-720.57 (10")
CB 4	725.48	E-719.48 (10")
CB 42	724.83	W-718.25 (10") SW-717.25 (12") NE-713.10 (15") (EXIST.)

Storm Sewer Tabulation

Line	To Line	Len (ft)	Ding Area (sq ft)	Roof Area (sq ft)	Area x C (sq ft)	Tc (min)	Rain (in/hr)	Total flow (cfs)	Cap full (cfs)	Vel (ft/s)	Pipe		Invert Elev (ft)	HGL Elev (ft)	Grnd. Elev (ft)	Rim Elev (ft)	Line ID					
											Size (in)	Slope (%)										
1	End	51.410	0.18	0.85	0.95	0.17	0.81	5.0	6.8	5.9	4.78	5.15	6.09	12	1.50	717.25	718.02	718.93	724.83	724.39	CB1 TO CB 42	
2	1	78.549	0.31	0.67	0.95	0.29	0.64	5.0	6.1	6.0	3.85	4.22	5.30	12	1.51	718.02	718.81	719.93	719.64	724.39	723.90	CB2 TO CB 1
3	2	175.659	0.37	0.76	0.95	0.26	0.54	5.0	5.3	6.3	2.17	2.69	4.35	10	1.00	718.81	720.57	719.84	721.23	723.90	725.26	CB3 TO CB 2
4	3	27.500	0.09	0.08	0.95	0.09	0.09	5.0	5.0	6.4	0.55	1.44	1.57	8	1.02	719.69	719.97	721.23	721.27	725.25	726.64	Roof to Pipe 3
5	End	122.768	0.14	0.14	0.95	0.13	0.13	5.0	5.0	6.4	0.85	2.59	3.18	10	1.00	718.25	710.48	718.88	719.80	724.83	725.48	CB4 TO CB 42

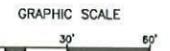


PRELIMINARY FOR REVIEW ONLY

MCDONALD'S SITE
PART OF 3710 57TH AVE.
KENOSHA, WISCONSIN

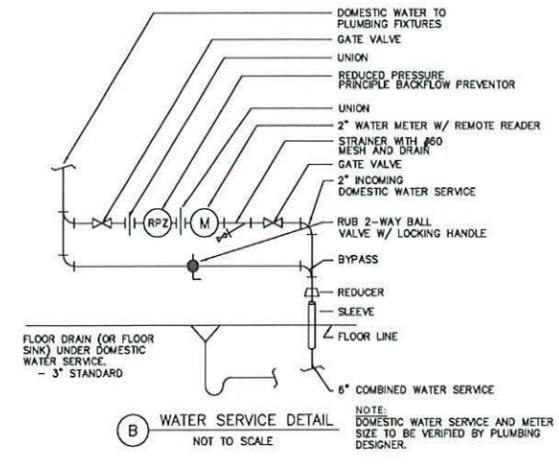
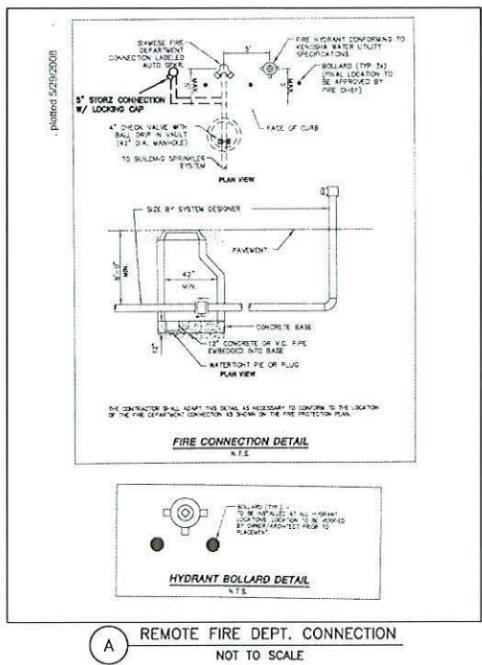
UTILITY PLAN

NO. REVISION DATE BY



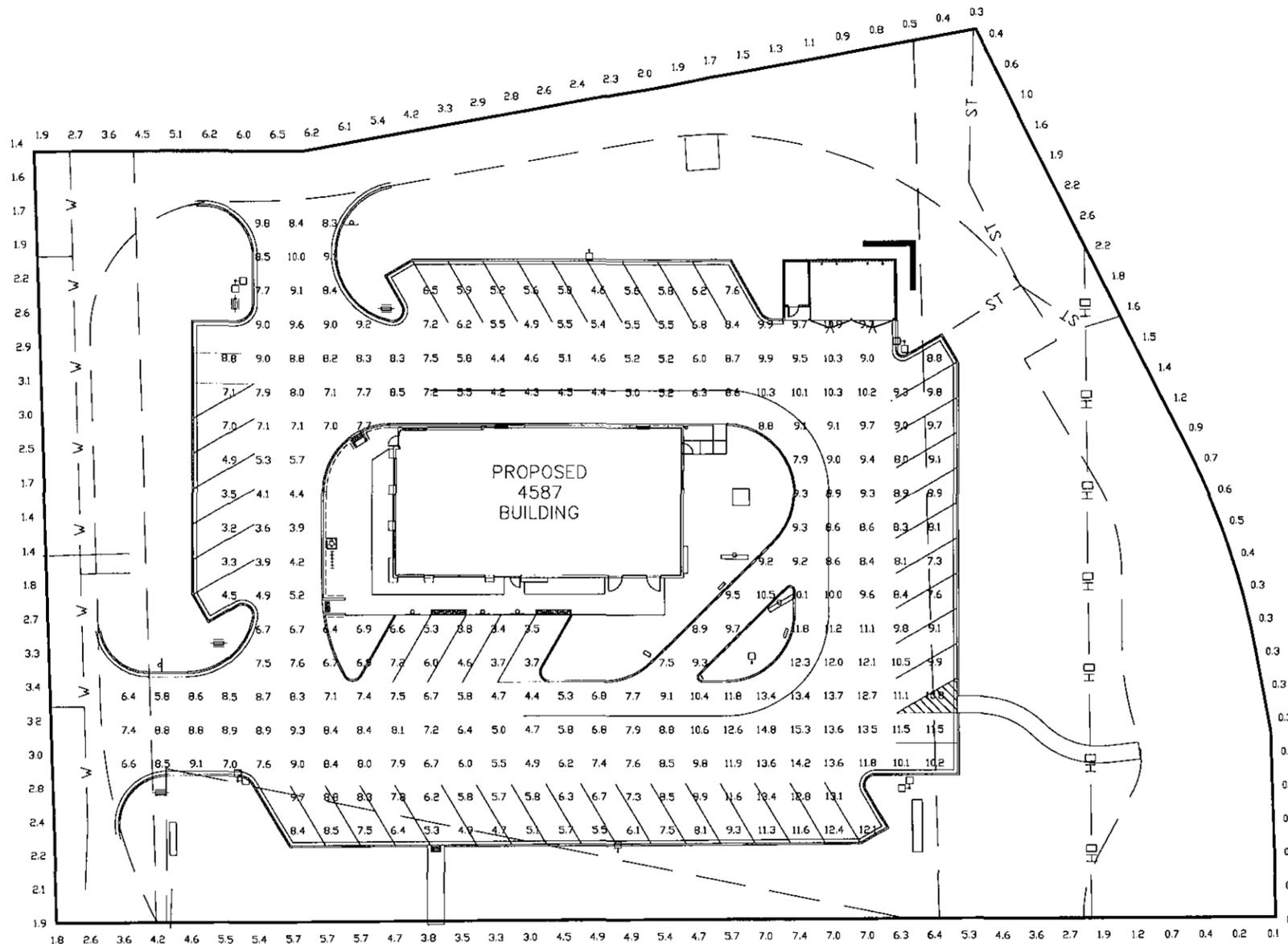
DRAWING NO. 2770-135-A.dwg
 DRAWN BY: JUR
 DATE: 01-20-11
 PROJECT NO: 2770
 CHECKED BY: JBL
 APPROVED BY: JBL
 SHEET NO.:

C 5



- NOTES:**
1. THE FOOTCANDLE LEVELS AS SHOWN ARE BASED ON THE FOLLOWING CRITERIA. ANY SUBSTITUTIONS IN SPECIFIED FIXTURES OR CHANGES TO LAYOUT WILL AFFECT LIGHTING LEVELS SHOWN AND WILL NOT BE THE RESPONSIBILITY OF SECURITY LIGHTING.
 2. THE CONTRIBUTION OF THE METAL HALIDE SOFFIT / BUILDING LIGHTING IS NOT REFLECTED ON THIS DRAWING.
 3. DISTANCE BETWEEN READINGS 10'
 4. FINAL ADJUSTMENTS TO AIMING ANGLE/DIRECTION OF FIXTURES MAY BE REQUIRED TO ELIMINATE LIGHT TRESPASS OR GLARE ONTO ADJOINING PROPERTIES OR ROADWAYS.
 5. FOOTCANDLE LEVELS SHOWN ARE MAINTAINED. MAINTENANCE FACTOR USED ON THIS DRAWING IS .75

PRELIMINARY
FOR REVIEW ONLY



PAVED SURFACE READINGS

Average	8.0
Maximum	15.3
Minimum	3.2
Avg/Min	2.49
Max/Min	4.78

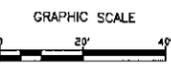
PROPERTY LINE READINGS

Average	2.7
Maximum	7.4
Minimum	0.1
Avg/Min	27.22
Max/Min	74.00

MCDONALD'S SITE
PART OF 3710 57TH AVE.
KENOSHA, WI

LIGHTING PLAN

NO. REVISION DATE BY



DRAWING NO. 23047.dwg

DRAWN BY:

DATE:

PROJECT NO: 2770

CHECKED BY:

APPROVED BY:

SHEET NO.:

L1

NOTE: ALL POLES ARE DRILLED

FIXTURE TYPE	SYMBOL	QUANTITY	CONFIG	QUANTITY	POLE TYPE	QUANTITY
MSV-1000MH-F-MT-GR	+	11	SGL	3	SSS-30-50-3-AX-GR	7
			DBL90	4		

* POLES SPECIFIED ON THIS DRAWING ARE RATED FOR AN 80 MPH WIND LOAD. FOR AREAS WHERE THE WIND LOAD CRITERIA EXCEEDS 80 MPH, PLEASE CONSULT FACTORY FOR PROPER POLE SPECIFICATION AND MODEL NUMBER.

THIS LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRES MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS.

UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE IN INCHES		TOLERANCES NOT OTHERWISE SPECIFIED	
SECTION	DATE	FUNCTION	APPROVED
SCALE 1" = 20'	DATE	NEXT ASSEMBLY	REV. DRWG.
DRAWN BY	JM	1/13/11	
DESIGNED BY			
APPROVED BY			
APPROVED BY			
BY: ORDER		MATERIAL	
PROJECT NO.			

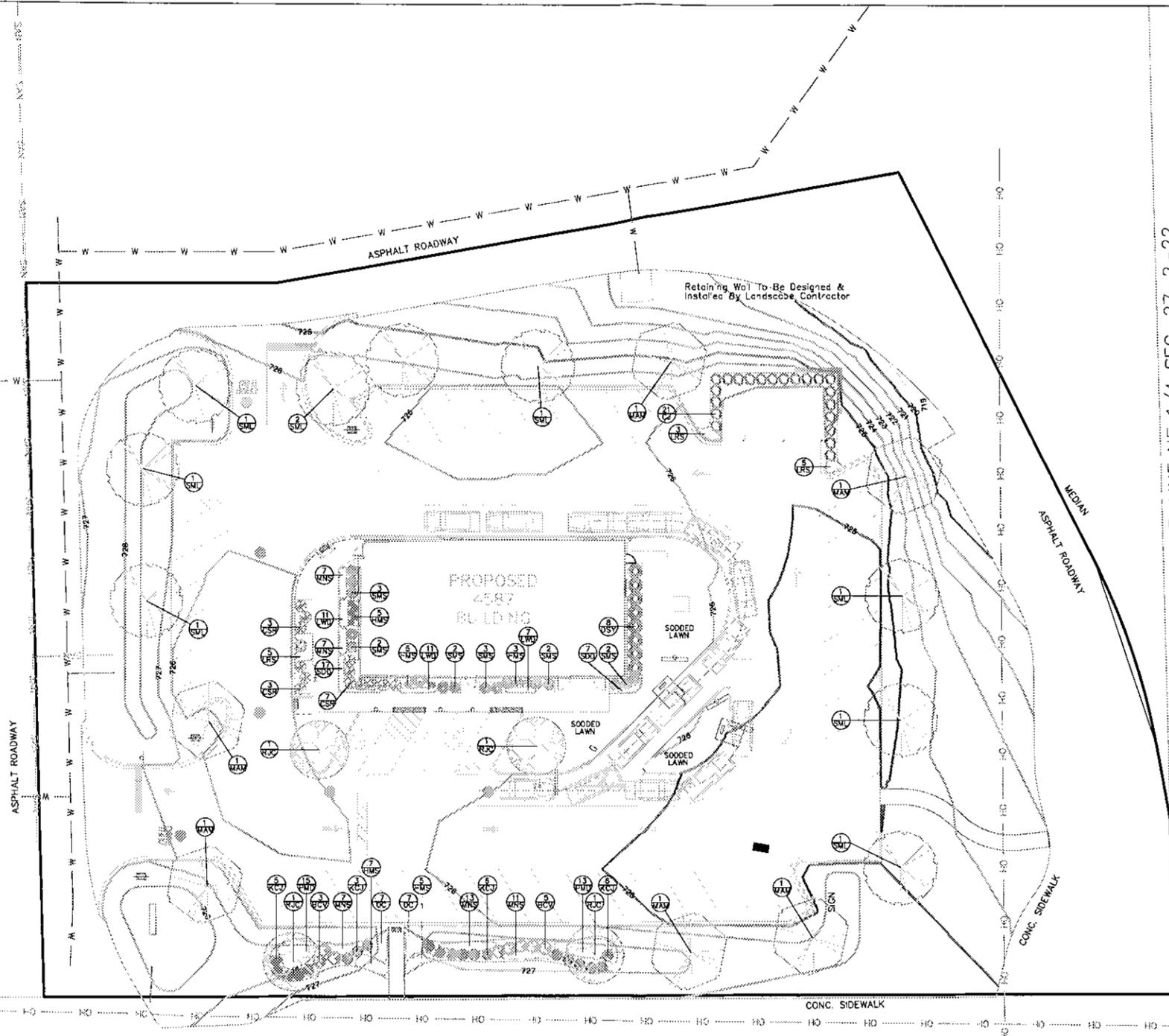
POINT-BY-POINT FOOTCANDLE PLOT FOR
MCDONALD'S
KENOSHA, WI

DRAWING NUMBER
1PCP23047

LOT 1
SM #2675

LOT 2
M #2675

VISION TRIANGLE PER GSM #2330



E. LINE NE 1/4 SEC. 27-2-22
N 1°37'06" W

160'

WASHINGTON ROAD (C.T.H. "S")

PUBLIC RIGHT OF WAY WIDTH VARIES
DITCH

PLAN SCHEDULE

Sym.	Quant	Common Name	Botanical Name
DECIDUOUS TREES			
MAY 6		'Marmo' Freeman Maple	<i>Acer freemanii</i> 'Marmo'
SY 14		'Shademaster' Honeylocust	<i>Gleditsia tricanthos</i> var. 'Shademaster'
ORNAMENTAL TREES			
RJC 4		'Red Jewel' Crabapple	<i>Malus</i> x 'Red Jewel'
DECIDUOUS SHRUBS			
BCV 8		'Bailey's Compact' Viburnum	<i>Viburnum trilobum</i> 'Bailey's Compact'
CSR 13		'Chaplain' Rose	<i>Rosa</i> 'Chaplain'
SMS 14		Snowmound Spirea	<i>Spiraea japonica</i>
EVERGREEN SHRUBS			
CJ 21		'Compact' Juniper	<i>Juniperus virginiana</i> 'Compact'
DSY 8		'Densiformis' Yew	<i>Taxus x media</i> 'Densiformis'
KCJ 20		'Kaoy Compact' Juniper	<i>Juniperus chinensis</i> 'Kaoy Compact'
ORNAMENTAL GRASS			
HYS 25		'Heavy Metal' Switchgrass	<i>Panicum virgatum</i> 'Heavy Metal'
PERENNIALS			
LRS 13		'Little Spire' Russian Sage	<i>Perovskia atriplicifolia</i> 'Little Spire'
LWD 29		'Little Wine Cups' Daylily	<i>Heemerocallis</i> x 'Little Wine Cups'
MNS 45		'Maynight' Salvia	<i>Salvia x superba</i> 'Maynight'
OC 14		Orange Coneflower	<i>Rudbeckia fulgida</i> var. <i>fulgida</i>
PND 28		'Pardon Me' Daylily	<i>Heemerocallis</i> x 'Pardon Me'
SDD 24		'Stella D'Oro' Daylily	<i>Heemerocallis</i> x 'Stella D'Oro'

THE SIGMA GROUP
Single Source. Sound Solutions.
www.thesigmagroup.com
1300 West Canal Street
Milwaukee, WI 53233
Phone: 414-643-4200
Fax: 414-643-4210

Current Plan Intended For Municipal Review. Not Intended For Construction Document Bid Review

McDONALD'S SITE
PART OF 3710 57TH AVE.
KENOSHA, WISCONSIN

LANDSCAPE PLAN

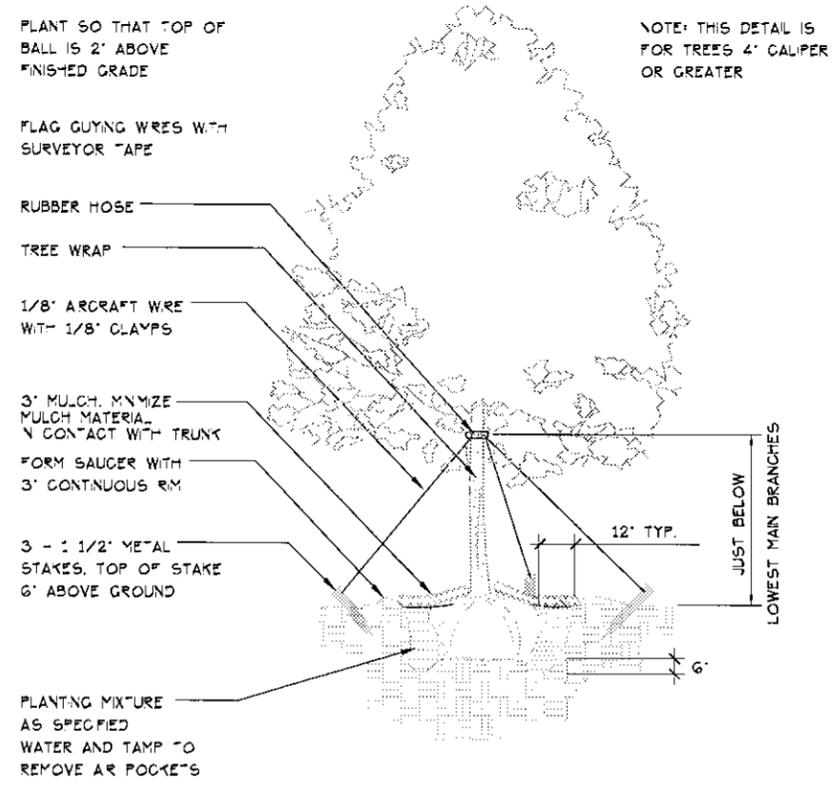
NO. REVISION DATE BY

GRAPHIC SCALE

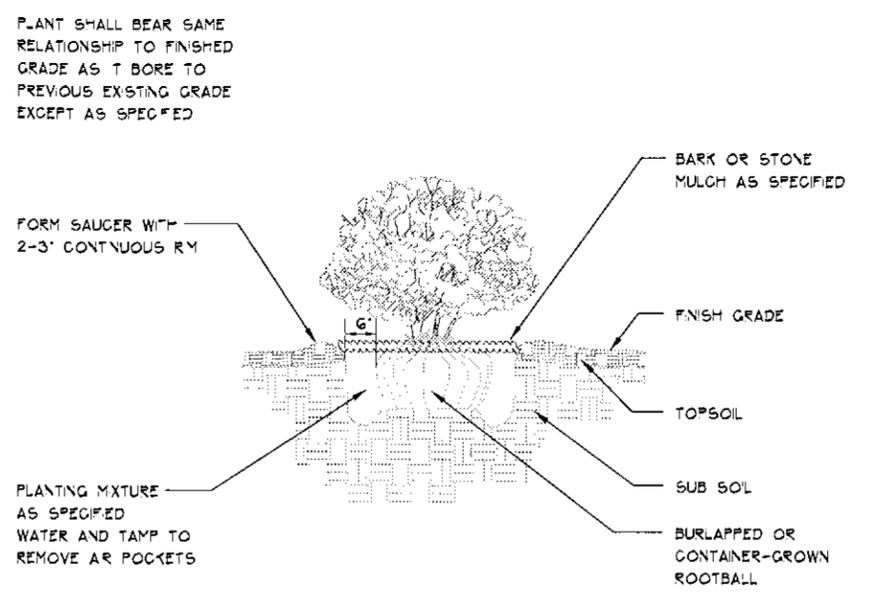
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DRAWN BY: JJR
DATE: 01-20-11
PROJECT NO: 2770
CHECKED BY: JBL
APPROVED BY: JBL
SHEET NO.:

LS 1.0

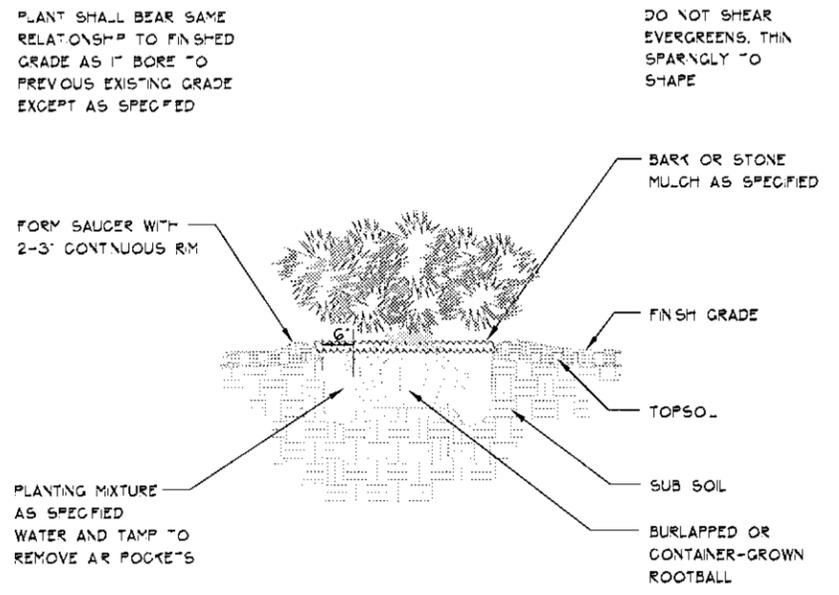
Current Plan Intended For Municipal Review. Not Intended For Construction Document Bid Review



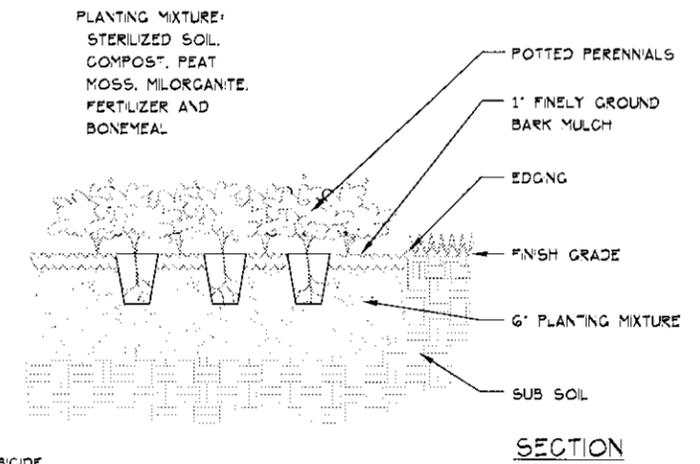
TREE PLANTING - DECIDUOUS (GUY WIRES)
 Scale: Not To Scale



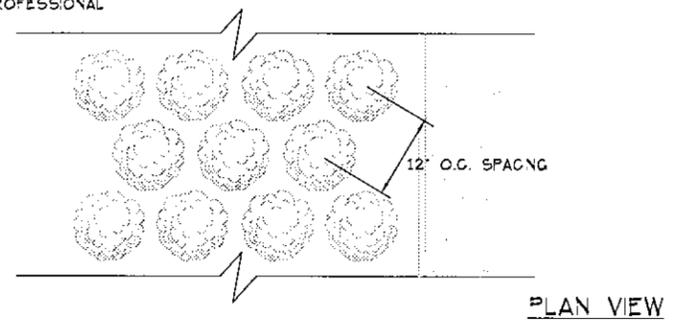
SHRUB PLANTING - DECIDUOUS
 Scale: Not To Scale



SHRUB PLANTING - EVERGREEN
 Scale: Not To Scale



**TRIFLON HERBICIDE TO BE APPLIED BY LICENSED PROFESSIONAL



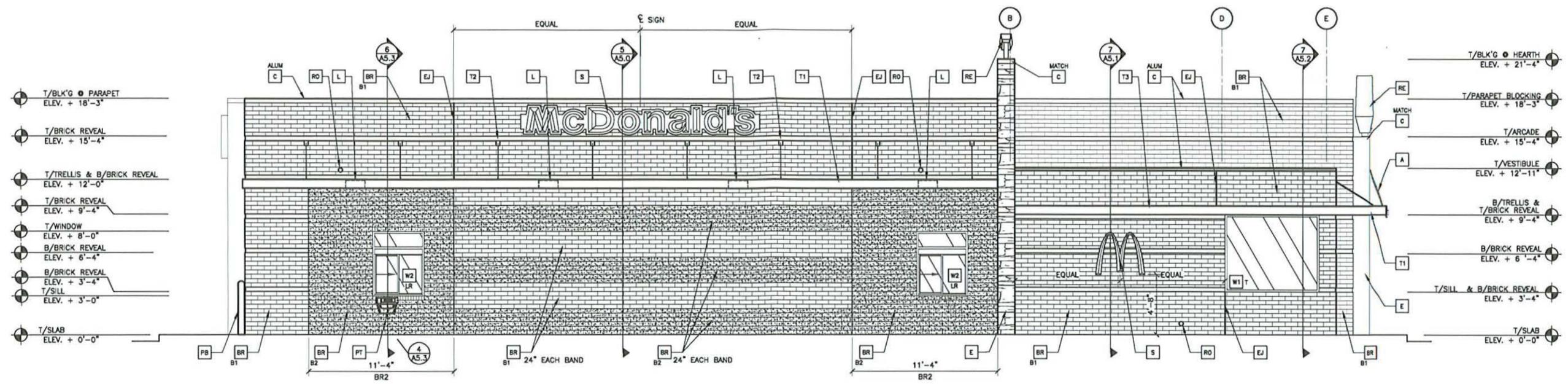
PERENNIAL PLANTING
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McDONALD'S SITE
 PART OF 3710 57TH AVE.
 KENOSHA, WISCONSIN

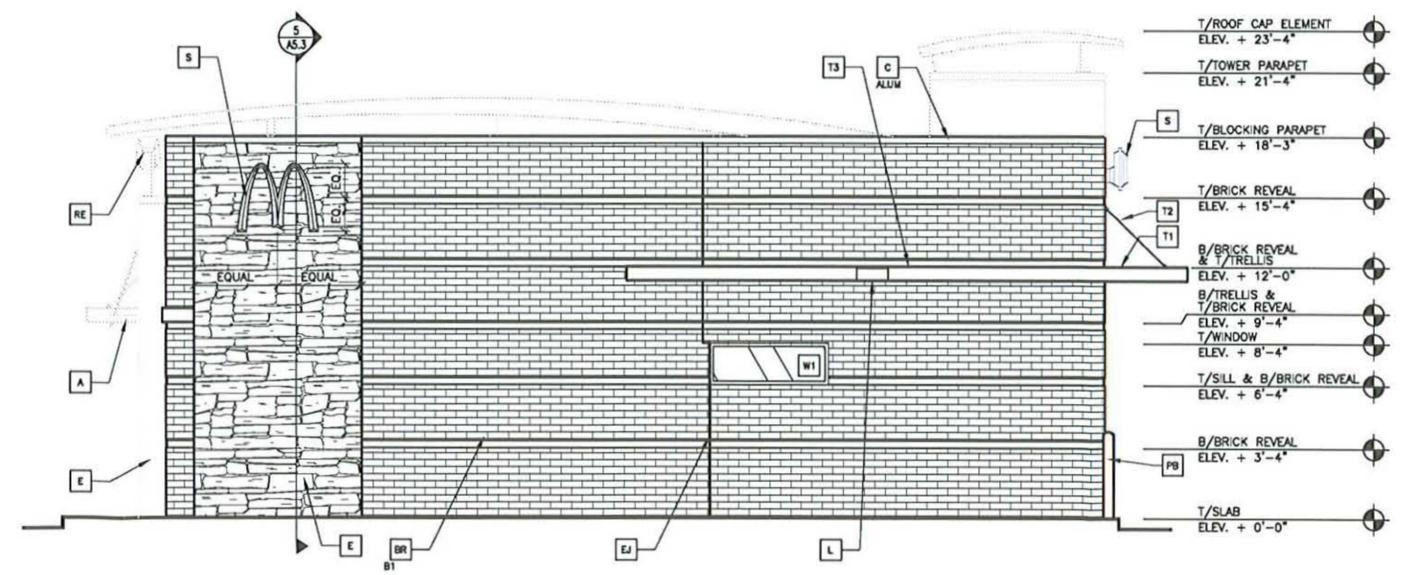
LANDSCAPE DETAILS

NO. REVISION	DATE	BY
GRAPHIC SCALE		
DRAWING NO. McDonalds_1.dwg		
DRAWN BY: JJR		
DATE: 01-20-11		
PROJECT NO: 2770		
CHECKED BY: JBL		
APPROVED BY: JBL		
SHEET NO.:		

STANDARD PRELIM 2009 STANDARD BUILDINGS 4587-WM A-ELEV.DWG 04-16-2009 14:37



1 DRIVE THRU ELEVATION
1/4" = 1'-0"



2 REAR ELEVATION
1/4" = 1'-0"

KEY NOTES:

- A METAL AWNING - UNDER SEPARATE PERMIT. COLOR TO BE ALTERNATING STRIPES TO MATCH PANTONE 123C AND 109C
- ALUM METAL COPING - COLOR = ALUMINUM
- BR FACEBRICK
- B1 COLOR: B1 = BOWERSTON TERRACOTTA RED - UTILITY SIZE B2 = BOWERSTON CHOCOLATE - UTILITY SIZE *VERIFY W/ ARCH. FINAL COLOR SPECIFICATION.
- C METAL COPING - COLOR TO MATCH SURROUNDING MATERIAL
- E COBBLEFIELD PATTERN CULTURED STONE AS PROVIDED BY OWEN'S CORNING. COLOR SHALL BE TEXAS CREAM 2083.
- EJ EXPANSION JOINT, SEE DETAIL 7/A4.1
- FB CO2 FILL BOX (EOPM SCHEDULE ITEM 49.00)
- FB OPTIONAL BULK OIL FILL BOX (EOPM SCHEDULE ITEM 700.18) - CONFIRM USE WITH MCD PROJECT MANAGER
- L LIGHT FIXTURE (WALL SCONCE) - SEE ELECTRICAL
- ML METAL LETTERING - BY OTHERS
- PB PIPE BOLLARD - PAINTED YELLOW
- PT (RMHC) COIN COLLECTOR
- RO ROOF CAP ELEMENT BY OTHERS
- RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.
- T1 ALUMINUM TRELIS
- T2 TRELIS TIE-BACK
- W1 EXTERIOR WINDOW ASSEMBLY - SEE ASSEMBLY NOTES ON SHEET A5.0
- W2 DRIVE-THRU WINDOW BY READY ACCESS - CONFIRM MODEL, OPTIONS, AND SIZE WITH MCD AREA CONSTRUCTION MANAGER. OPTIONS INCLUDE: TRANSOM (SHOWN)
- GLAZING REQUIREMENTS: U VALUE = XXXX SHGC = XXXX
- SLIDE DIRECTION: RL = RIGHT TO LEFT LR = LEFT TO RIGHT

PROJECT NO. 00-0000.00
SHEET NO. A2.1 ELEVATIONS

DATE: APRIL 2009
DRAWN BY: [Name]
CHECKED BY: [Name]
REVIEWED BY: [Name]
DATE ISSUED: APRIL 2009

DESCRIPTION: 2009 STANDARD BUILDING 4587-WOOD/WOOD
WOOD BEARING WALLS W/ 4" BRICK EXTERIOR FINISH
WOOD ROOF TRUSS FINISH
STONE EXTERIOR FINISH WICKER/STAIN

PREPARED BY: haag mueller, inc. Architecture Engineering Interiors
101 East Grand Avenue, Suite 1
Portland, Oregon 97232
www.haagmueller.com

DATE: 1/21/11
BY: [Name]
CHECKED BY: [Name]
REVIEWED BY: [Name]
DATE ISSUED: [Date]

CONDITIONAL USE / SITE PLAN REVIEW SET
SPS
BY

City Plan Division 625 52 nd Street Kenosha, WI 53140 262.653.4030	Kenosha City Plan Commission FACT SHEET	February 24, 2011	Item 2
Conditional Use Permit for a 47-unit senior assisted living facility to be located at 1870 27th Avenue, District #5. (Celebre Place) PUBLIC HEARING			

LOCATION/SURROUNDINGS:

Site: 1870 27th Avenue
 Zoned: RM-3 Elderly and Handicapped Housing District

NOTIFICATIONS/PROCEDURES:

The alderman of the district, Alderman LaMacchia, has been notified. The alderman of the adjoining district, Alderman Ruffolo, has also been notified. The Common Council is the final review authority.

ANALYSIS:

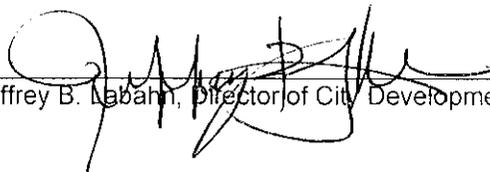
- The applicant is proposing to construct a 47-unit assisted living facility at the *Lou DeMarco Village* campus on 27th Avenue, south of 18th Street. The facility would be licensed as a Residential Care Apartment Complex. (RCAC) The project will not be tax exempt.
- The proposed materials are brick and cement board siding, which complies with the Zoning Ordinance. The colors and materials are complimentary to the adjacent *Villa Ciera* apartment building to the south.
- The project applied for and received WHEDA tax credits for affordable housing. One-hundred (100%) percent of the units are covered by the tax credits.
- The proposed development will have forty-seven (47) units, which is a density of 23.98 units per acre. The maximum density in the RM-3 District is twenty-four 24 units per acre.
- The site will have twenty-five (25) underground parking spaces and thirteen (13) surface parking spaces. A minimum of twenty-one (21) spaces are required by the Zoning Ordinance for RCAC. If the project is converted to conventional senior housing, nine (9) additional spaces would be required.
- Plans were sent to City Departments for their review. Their comments are included in the attached Conditions of Approval.
- The plans generally comply with Sections 4 and 14 of the Zoning Ordinance.

RECOMMENDATION:

A recommendation is made to approve the Conditional Use Permit, subject to the attached Conditions.



Brian R. Wilke, Development Coordinator
 /u2/acct/cp/ckays/1CPC/2011/Feb24/fact-cup-celebre.odt



Jeffrey B. Labahn, Director of City Development

City Plan Division
625 52nd Street
Kenosha, WI 53140
262.653.4030

**Kenosha City Plan
Commission
Conditions of Approval**

**Celebre Place
1870 27th Avenue**

February 24, 2011

1. The following Conditions of Approval will run with the land and shall be included in a document recorded with the Kenosha County Register of Deeds:
 - a. The applicant shall obtain all required construction permits from the Department of Neighborhood Services & Inspections. This includes, but is not limited to Erosion Control, Building, Plumbing, Electrical and Occupancy permits.
 - b. The applicant shall obtain a Driveway permit from the Department of Public Works.
 - c. All signs shall comply with Chapter 15 of the Code of General Ordinances and the applicant shall obtain sign permits for all new signs. A separate submission and permits are required for all signs. Sign information provided under the Conditional Use Permit is for reference only and does not constitute sign permit approval.
 - d. The development shall be constructed per the approved plans on file with the Department of City Development, Room 308, 625 52nd Street, Kenosha, WI 53140. Any changes to the approved plans shall require an amendment to the Conditional Use Permit. All changes shall be submitted to the Department of City Development for review and approval.
 - e. Prior to the issuance of any occupancy permits, all parking areas, drives and designated paved areas shall have the initial lift of asphalt installed. The building exterior shall be completed per the approved plans, the exterior lighting shall be installed and the Conditional Use Permit shall be recorded with the Kenosha County Register of Deeds. All improvements indicated on the plans, including landscaping, shall be installed prior to the issuance of a final Occupancy permit. The recording fees for the Conditional Use Permit shall be submitted by the applicant.
 - f. Compliance with City and State and/or Federal Codes and Ordinances. The buildings shall comply with the current Code standards in effect upon application for a building permit.
 - g. All trash containers shall be stored within the enclosure or building. Applicant/owner shall be responsible for waste collection and removal for the development. The City of Kenosha shall not provide waste collection or removal services or incur any cost in this regard.
 - h. The applicant shall meet all applicable Conditions of Approval and obtain a building permit within six (6) months of Common Council approval of the Conditional Use Permit or the Conditional Use Permit shall be null and void.
 - i. All vehicles shall be parked within the designated paved areas.

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**Kenosha City Plan
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February 24, 2011

- j. All improvements, including landscaping, shall be maintained per the approved plans. Any damaged fencing, landscaping or building shall be replaced or reconstructed per the approved plans.
 - k. Cross access shall be provided to adjacent parcels if required at a future date by the City.
 - l. A Deed Restriction shall be recorded on the property which prevents the conversion of the site to conventional multi-family housing. The Deed Restriction shall be recorded prior to Occupancy.
 - m. If the building is converted to independent senior housing at a future date, the owner must amend the Conditional Use Permit, provide additional off-street parking and obtain a new Occupancy Permit.
 - n. Compliance with the Operational Plan dated November 30, 2010 and February 8, 2011.
2. The following conditions of approval shall be satisfied with City Staff prior to the issuance of any construction permits.
- a. The Drainage Plan shall be revised and resubmitted for review and approval addressing comments listed in the Public Works memo dated December 7, 2010.
 - b. The Utility Plan shall be revised and resubmitted for review and approval addressing the comments listed in the Kenosha Water Utility Memo dated December 1, 2010.
 - c. The applicant shall provide the Department of City Development with a certificate from the County Treasurer stating that there are no past due real estate taxes or special assessments on the site per Section 2.02.B.8 of the Zoning Ordinance.
 - d. A 10' x 8' office space shall be included on the first floor for the Kenosha Senior Action Council Housing Management Corporation or its future successor non-profit senior organization as approved by the Alderman of the District and an Alderman of any District located within 100 feet of the property. The office space shall be provided free of charge to the user.
 - e. The applicant shall work with the adjoining property owners to the east and north to provide a defined pedestrian link to the rear of the Glenwood Crossings shopping center. The link shall be installed on the applicant's property prior to the issuance of a final Occupancy permit.
 - f. A sidewalk connection from the public street to the main entrance is missing. A sidewalk shall be installed either along the northeast side or southwest side of the

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development's private drive or install a painted crosswalk to the south sidewalk where the development's private drive intersects the building's proposed private drive.

- g. The layout of the sidewalk connection on the east side of the property differs between the Site Plan and all of the other plans. Please revise.
- h. Pull the proposed plantings that are currently shown in the middle of a swale either up the slope toward the building, or out to the lot line. The landscape plan shows a five (5') foot high berm on the swale. The berms west and south of the building are not required due to the building elevation, drainage necessity and close proximity of features.
- i. A Storm Water Management Permit application and Storm water Management Plan incorporating water quality detention or payment to the City in lieu of providing that storm water detention are needed.
- j. The plan shall include a calculation in square feet of the total size of the building broken down by floor.
- k. A Class III standpipe system shall be installed per Code.
- l. A remote Fire Department connection and standpipe connection shall be installed by the fire hydrant.
- m. Include a six (6') foot tall site-obscuring fence along the entire west property line. The fence should be compatible with the existing fence to the south.
- n. The twenty (20') foot wide fire access lane shall be paved with asphalt or concrete for the entire length.



Engineering Division
 Michael M. Lemens, P.E.
 Director/City Engineer

Street Division
 John H. Prijic
 Superintendent

Fleet Maintenance
 Mauro Lenci
 Superintendent

Waste Division
 Robert Bednar
 Superintendent

Park Division
 Jeff Warnock
 Superintendent

Administration Supervisor
 Janice D. Schroeder

DEPARTMENT OF PUBLIC WORKS

Ronald L. Bursek, P.E., Director

TO: Brian Wilke, Development Coordinator

FROM: Ronald L. Bursek, P.E.
 Director of Public Works

Michael M. Lemens, P.E.
 Director of Engineering/City Engineer

Ronald Bursek
Michael M. Lemens
 12-7-10

DATE: December 7, 2010

SUBJECT: PLAN REVIEW COMMENTS

Project Description: Celebre Place Assisted Living

Location: 1870 27th Avenue

Our staff has reviewed the plans for this project. The following comments are provided:

Parking Lot Ordinance Compliance	Sufficient	Deficient
Parking Lot Paved	X	
Standard Stall Width	X	
Parking Lot Layout	X	
Parking Lot Lighting Shown	X	
Parking Lot Lighting Adequate	X	
Handicapped Parking	X	
Driveway Locations	X	
Driveway Width	X	
Passing Blister or Accel/Decel Lanes		
Sidewalks Adequate	X	
Drive Thru Lane Design		

Public Streets	Sufficient	Deficient
Geometric Design	N/A	
Pavement Width		
Pavement Thickness Design		
Established Grades		
Plan Details		
Sidewalks		
Street Lights		

Site Grading/Drainage	Sufficient	Deficient
Drainage Plan		X
Storm Sewer		X
Storm Water Detention		X
Drainage Calculations		X

Project Approval/Permits Needed	Yes	No
Project Approved for Permitting		X
Withhold Permits: See Comments		
Approve Footing/ Foundation Only (per condition)		
Parking Lot Permit Required	X	
Driveway Permits Required		X
Sidewalk Permit Required		X
Street Opening Permit Required		X
State Permit Required		

Other Comments:

1. The 48" storm sewer adjacent to the north property line ends about 12 ft short of the west property line. It needs to be extended to the west property line.
2. The existing elevations indicate that the properties north and west of this proposed development drain across the property line. It appears the proposed grading obstructs this drainage. Either show that this is not occurring, provide a drainage path along the lot line or provide an inlet to pick up this runoff.
3. Provide elevations for proposed grading along the lot lines, contours are not adequate.

cc: Randy LeClaire
 Bill Kohel
 Tara Zerzanek

Engineering Services
4401 Green Bay Road
Kenosha WI 53144

Phone (262) 653-4315
Fax (262) 653-4303



"Providing and Protecting Kenosha's Greatest Natural Resource"

MEMO

To: Brian Wilke, Development Coordinator
From: Curt Czamecki, Water Engineer
Date: December 1, 2010
Subject: Celebre Place Assisted Living R.C.A.C.
Location: 1870 27th Avenue (Lou Demarco Village)

The Kenosha Water Utility (KWU) has reviewed the submittal for the above referenced project. Further information from the Developer is required before the Utility can complete this review. Please withhold all permits until the following information is submitted.

1. Easements and agreements shall be in place to encompass the sanitary sewer serving the proposed building from the connection point to the public main in 27th Avenue to the parcel on which the building is being built. In addition, if the private sanitary sewer line serves both the proposed development as well as the existing development to the south a signed joint ownership and maintenance agreement shall be in place clearly defining the joint ownership and maintenance responsibility of the line.
2. The water meter size along with a detail or diagram shall be provided. The development shall be subject to a sewer connection fee based on the water meter size.
3. A 3C18 gage cable by Belden-M or approved equal shall be installed in 1/2" conduit through the exterior wall for the remote water meter reader. The remote reader shall be field located by KWU meter division.
4. Water services larger than 2" shall be flushed and bacteria tested in accordance with KWU Chapter XXXII Rules and Regulations, Rule 06-29.
5. Water services shall have a minimum of 5 1/2' of cover to finished grade.
6. Water services shall have a blue #12 locator wire installed along the entire length. The locator wire shall be brought to the surface in the valve box at the connection point.
7. Sanitary sewer laterals shall have a green #12 locator wire installed along the entire length. Locator wire shall be brought to the surface at the edge of the building and enclosed in a curb box with "sewer" on the cover.
8. The proposed private fire hydrant will be subject to a private fire protection service charge.
9. The following notes shall be added to the utility plans
 - a. All sanitary sewer and water to be installed in accordance with Kenosha Water Utility standards.
 - b. All applications and fees for sanitary sewer and water must be completed and paid prior to connection to the sewer/water systems.
 - c. All water connections to existing water mains need a KWU representative present to inspect construction. Developer shall provide 48-hours notice to KWU when connections are to be made.
 - d. Any utility work in the right-of-way and all sanitary sewer connections to be inspected by KWU. Notify KWU 48-hours in advance of connecting to sewer.

Celebre Place
Operational Plan
November 30, 2010

Overview: A new, affordable 47-unit rental development for older adults. The owner intends to provide assisted living services to residents. It is anticipated that many residents will be Medicaid-eligible, and that this program will support the cost of living services.

Staffing: As an assisted living residence, Celebre Place will be staffed 24/7. If about half of all residents opt to receive services, about 12 to 15 people would be employed. Of those staff, about 4 to 5 would be full-time and 8 to 10 part-time positions. Positions may include leasing agents, managers, nursing staff, chefs and cooks, housekeepers, maintenance supervisors, caregivers and an assortment of healthcare professionals.

Zoning Requirements and Building Design: The property is zoned Rm-3 Elderly and Handicapped Housing District. The proposed development will meet all requirements of the Zoning Code for this District, including setbacks, parking and building height. The building is designed to accommodate the physical needs of its intended older adult residents, all of whom desire a measure of independence yet many of who may have mobility impairments.

Celebre Place Common Space Amenities:

- Dining room
- Professional kitchen
- Conference room
- Fitness center
- Salon and Art & Crafts rooms
- Business Center with computers
- Library/Media Center
- Underground parking
- Storage lockers
- Fully accessible for residents with mobility impairments

Celebre Place Living Units:

- 35 one-bedroom units, ranging from 645 to 754 square feet
- 12 two-bedroom units, ranging from 906 to 925 square feet
- Modern, Energy Star kitchen appliances, including range, oven, dishwasher, disposal and microwave
- Accessible design features, such as lever door, windows and plumbing hardware

Property Management: The property will be professionally managed. Fresh Coast Partners, a professional RCAC service provider, and Horizon Management Services, an experienced affordable rental manager, plan to provide management services. Horizon Management Services has managed the neighboring Villa Ciera since 2001. Fresh Coast Partners provides assisted living services for Parkview Manor in Caledonia and other properties in Southeast Wisconsin.

Operation of the Property: The owner intends to operate Celebre Place as an affordable assisted living rental residence for seniors. Changes in market conditions, public health care financing or other factors may, in the future, limit Celebre Place's ability to operate with service provision. The owner shall have the right to operate Celebre Place as rental housing for seniors with some or no assisted living services, and making such changes shall not cause the property to be in violation of its Conditional Use Permit, assuming all conditions of approval are complied with, including but not limited to, off-street parking requirements.

Celebre Place LLC

February 8, 2011

Brian R. Wilke, Development Coordinator
Department of City Development
City of Kenosha
625 52nd Street, Room 308
Kenosha, WI 53140

Dear Brian:

Celebre Place LLC will be the owner of the Celebre Place rental residential property at 1870 27th Street in Kenosha.

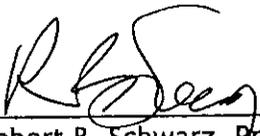
As part of the City of Kenosha's review of the Conditional Use Permit application for Celebre Place, the City has requested assurance that this property will not be property tax exempt. This letter provides the City such assurance.

The owner of Celebre Place will not seek a property tax exemption from the City of Kenosha.

Sincerely,

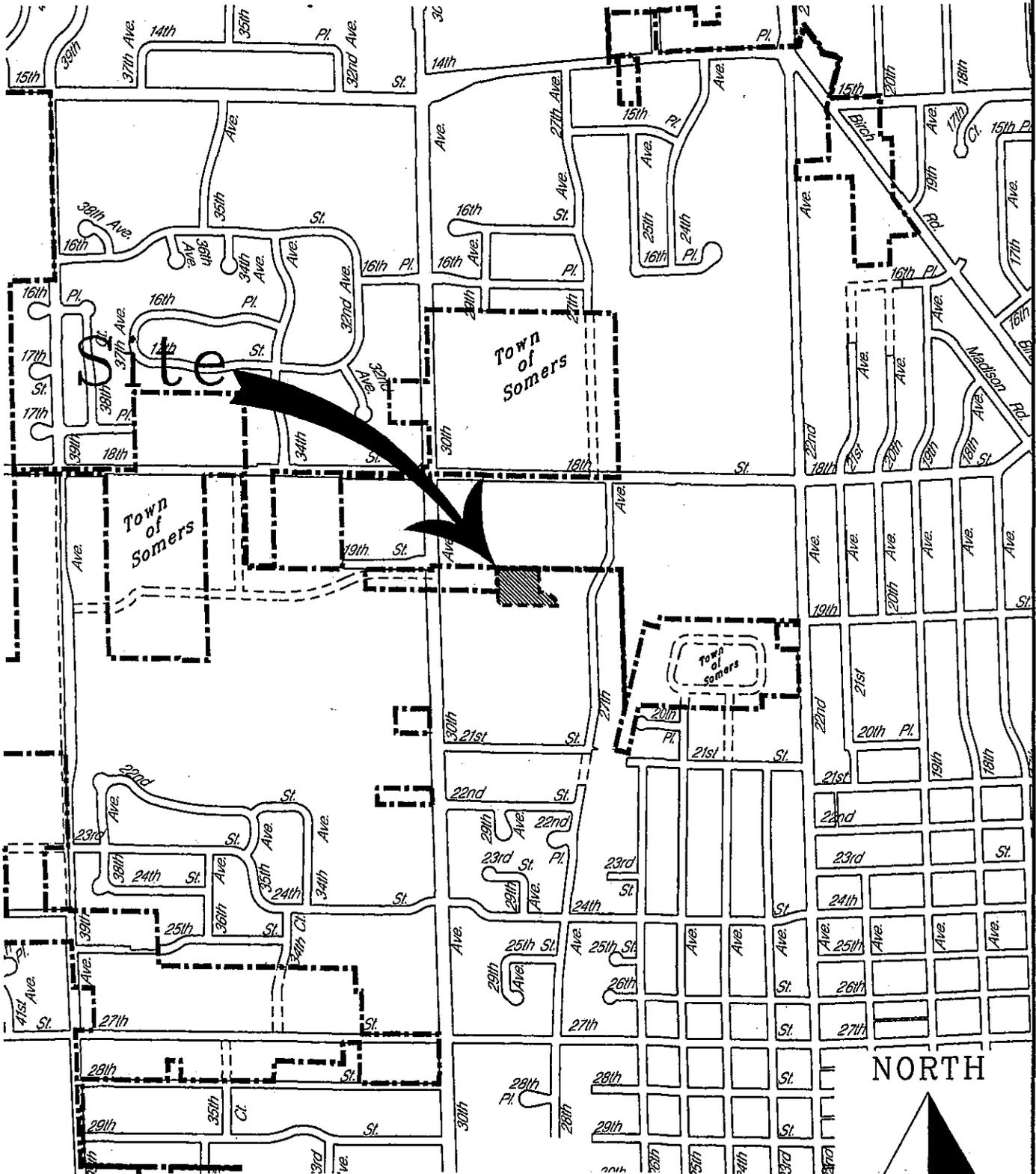
Celebre Place LLC

By:

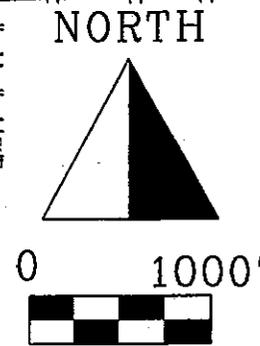

Robert B. Schwarz, President
Parmenter Development, Inc., its Managing Member

City of Kenosha

Vicinity Map Celebre Place CUP

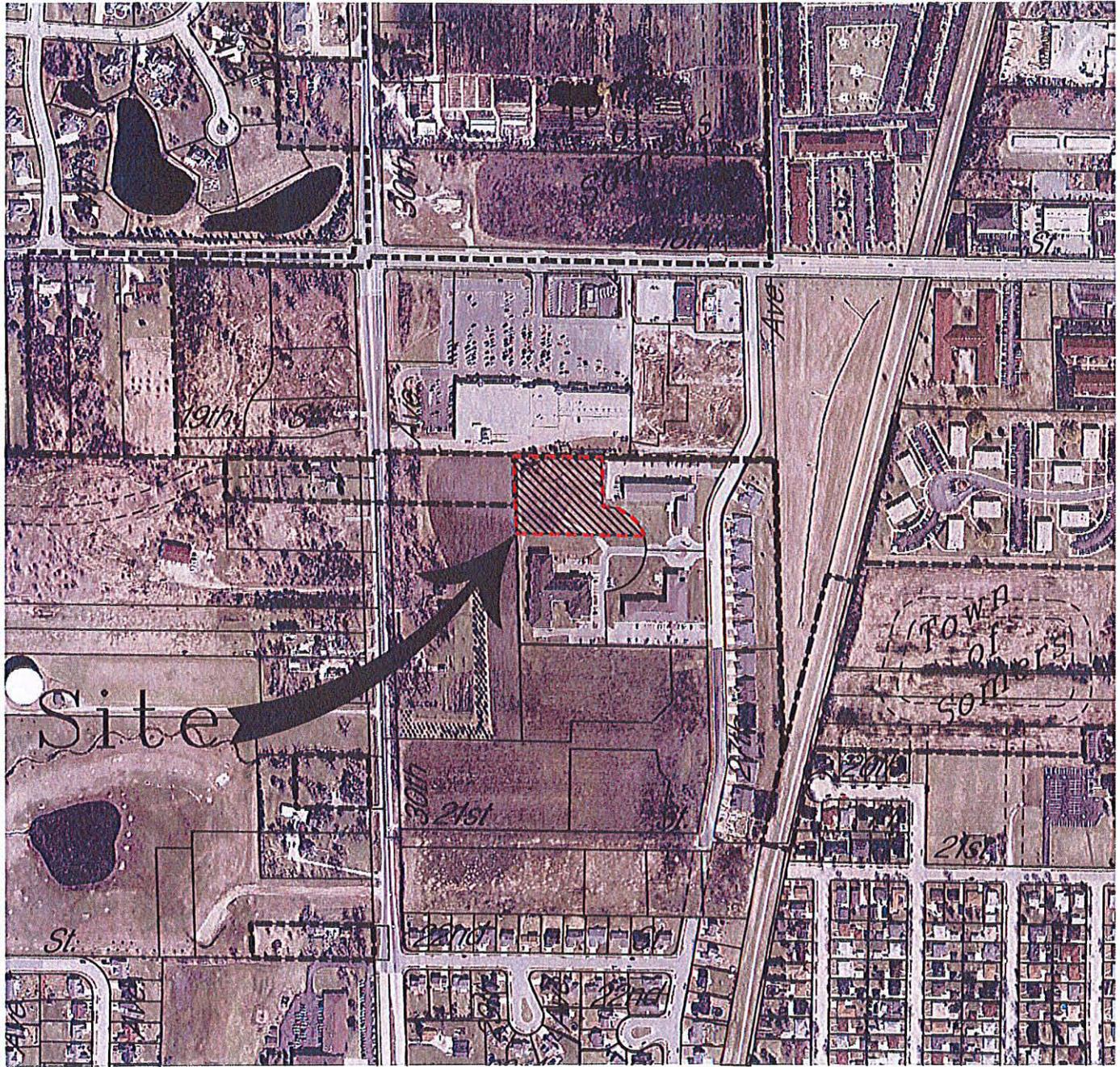


-  Subject Property
-  Municipal Boundary

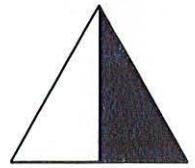


City of Kenosha

Vicinity Map
Celebre Place CUP



NORTH



-  Subject Property
-  Municipal Boundary



**Development Review Application
City of Kenosha, Wisconsin**

MAILING INFORMATION

NAME OF PROJECT: Celebre Place

Check one (1) of the following boxes to indicate the recipient of all correspondence:

- Name and Address of Applicant (Please print):
Parmenter Development, Inc.
2310 Parmenter St., # 414
Middleton, WI 53562
 Phone: 608-345-4479
 Fax: _____
 E-Mail: mbschwarz@charter.net
- Name and Address of Architect/Engineer (Please print):
Knothe + Bruce Architects
7001 University Ave., Suite 201
Middleton, WI 53562
 Phone: 608-836-3690
 Fax: 608-836-6934
 E-Mail: kbruce@knothebruce.com
- Name and Address of Property Owner (if other than applicant) (Please print):
Kenosha Senior Action Housing Management, Inc.
c/o Attorney William Michel
1025 56th St.
Kenosha, WI 53140
 Phone: 262-652-8144
 Fax: _____
 E-Mail: william-michel@sbglobal.net

PROJECT LOCATION

Location of Development (street address and / or parcel number): 1870 27th St.

TYPE OF LAND DEVELOPMENT

Check all that apply. Note: Additional information may be required within individual Sections.

- | | | |
|---|------------|---------------|
| <input type="checkbox"/> Certified Survey Map | Section 1 | Page 2 |
| <input type="checkbox"/> Concept Review (Land Division) | Section 2 | Page 3 |
| <input type="checkbox"/> Concept Review (Multi-Family Residential or Non-Residential) | Section 3 | Page 4 |
| <input checked="" type="checkbox"/> Conditional Use Permit | Section 4 | Pages 5 & 6 |
| <input type="checkbox"/> Developer's Agreement | Section 5 | Page 7 |
| <input type="checkbox"/> Final Plat | Section 6 | Pages 8 & 9 |
| <input type="checkbox"/> Lot Line Adjustment Survey | Section 7 | Page 10 |
| <input type="checkbox"/> Preliminary Plat | Section 8 | Pages 11 & 12 |
| <input type="checkbox"/> Rezoning | Section 9 | Pages 13 & 14 |
| <input type="checkbox"/> Site Plan Review | Section 10 | Pages 15 & 16 |

**PRIOR TO SUBMITTING THIS APPLICATION TO THE DEPARTMENT OF CITY DEVELOPMENT,
PLEASE REVIEW THE APPROPRIATE SECTION(S) FOR FEES, REQUIREMENTS AND APPROPRIATE APPENDICES.**

**Submit this cover page, completed application, applicable section(s) and appendices
along with ALL required plans, information and fees to:**

Department of City Development
625 52nd Street, Room 308
Kenosha, WI 53140

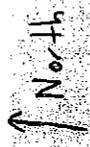
Phone: 262.653.4030
Fax: 262.653.4045

Office Hours:
M - F 8:00 am - 4:30 pm

Kenosha County Interactive Mapping Site

This map is the best result processed by GIS. It is not intended to be used as a legal document. The information shown on this map is for informational purposes only. Kenosha County is not responsible for any inaccuracies or omissions shown on this map. The user assumes all responsibility for any inaccuracies or omissions shown on this map. The user assumes all responsibility for any inaccuracies or omissions shown on this map.

1 inch = 100 feet
Map Printed: 12/28/2010



Existing Sidewalk

Pick n Save

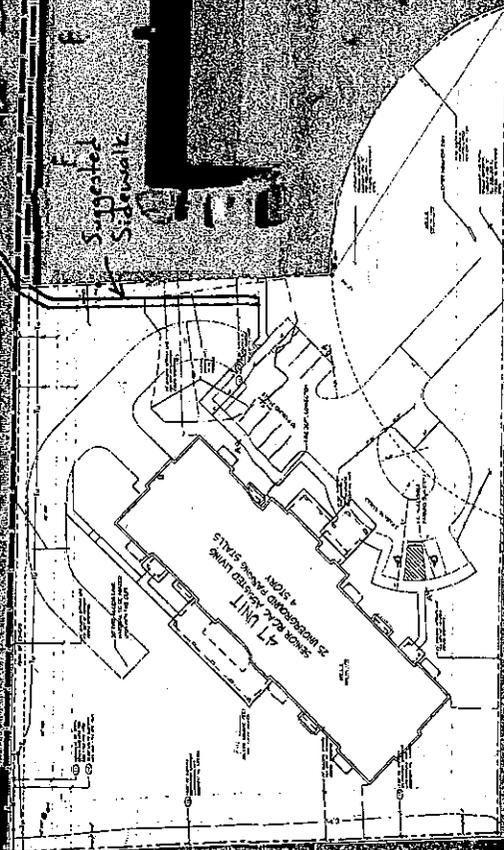
Haltmark

Painted Crosswalk

Suggested Sidewalk

Suggested Sidewalk

27th AVE

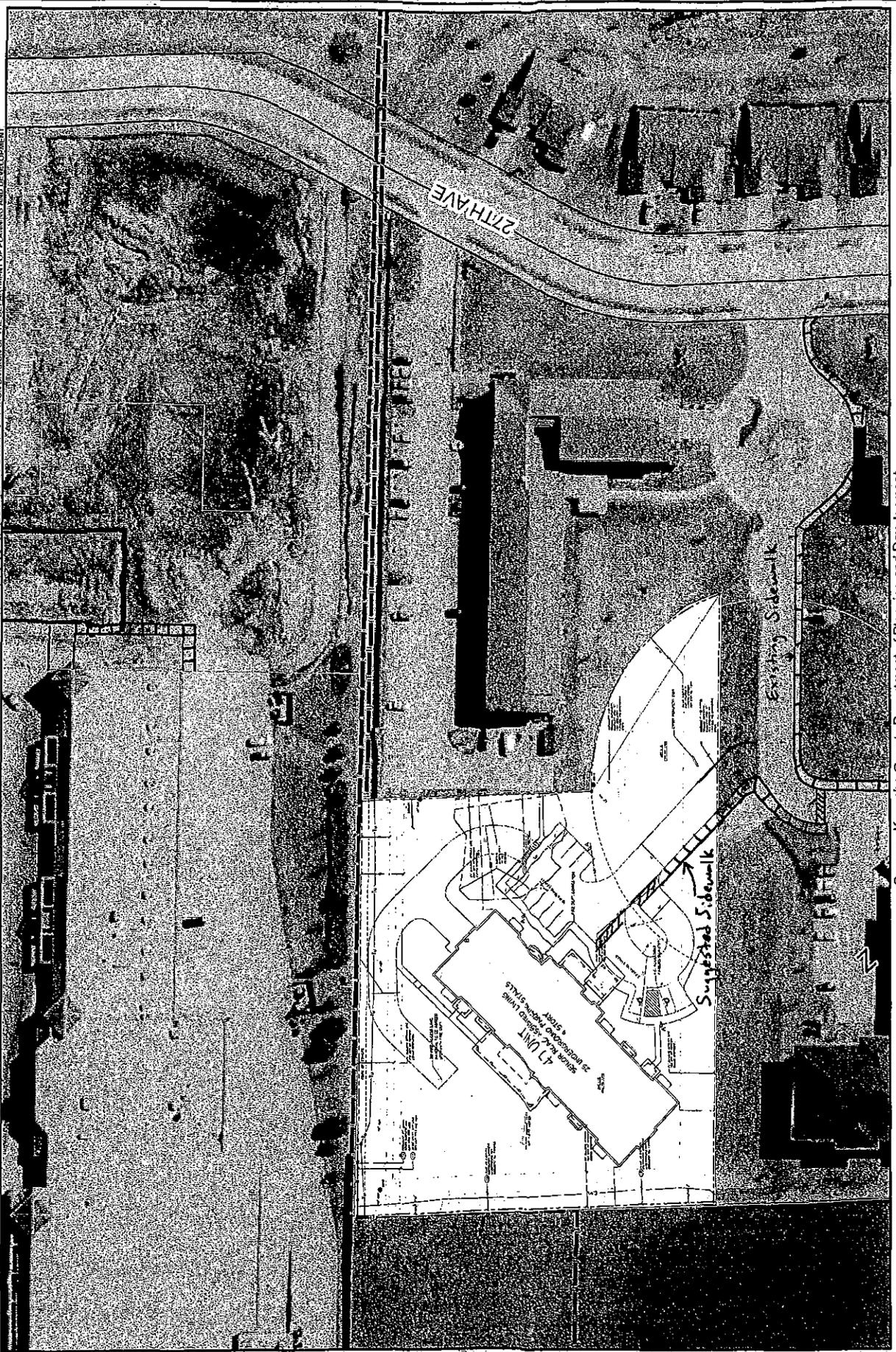


Kenosha County Interactive Mapping Site

1 inch = 100 feet
Map Printed: 12/28/2010



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Source: Kenosha County Department of Planning and Development

Consultant



○ Front Elevation
 1/8" = 1'-0"



○ Side Elevation
 1/8" = 1'-0"

Revision: New 1/2020
 Issued to City of Kenosha - New 2/1/2020

Project File:
Celebre Place
 Senior RCHA Assisted Living

Kenosha, WI
 Project File:
Elevations

Project No.: **0851**
 Drawing No.: **A-2.1**

Consultant

Notes:
 1. SEE OWNER, KENOSHA SENIOR ACTION COUNCIL, KENOSHA, WISCONSIN
 2. DEVELOPER: PARKVIEW DEVELOPMENT, INC.



○ Rear Elevation
 1/8" = 1'-0"

Revisions:
 None - Nov. 1, 2010
 Based to City of Kenosha - Nov. 21, 2010

Project Site:
Celebre Place
 Senior RCAC Assisted Living

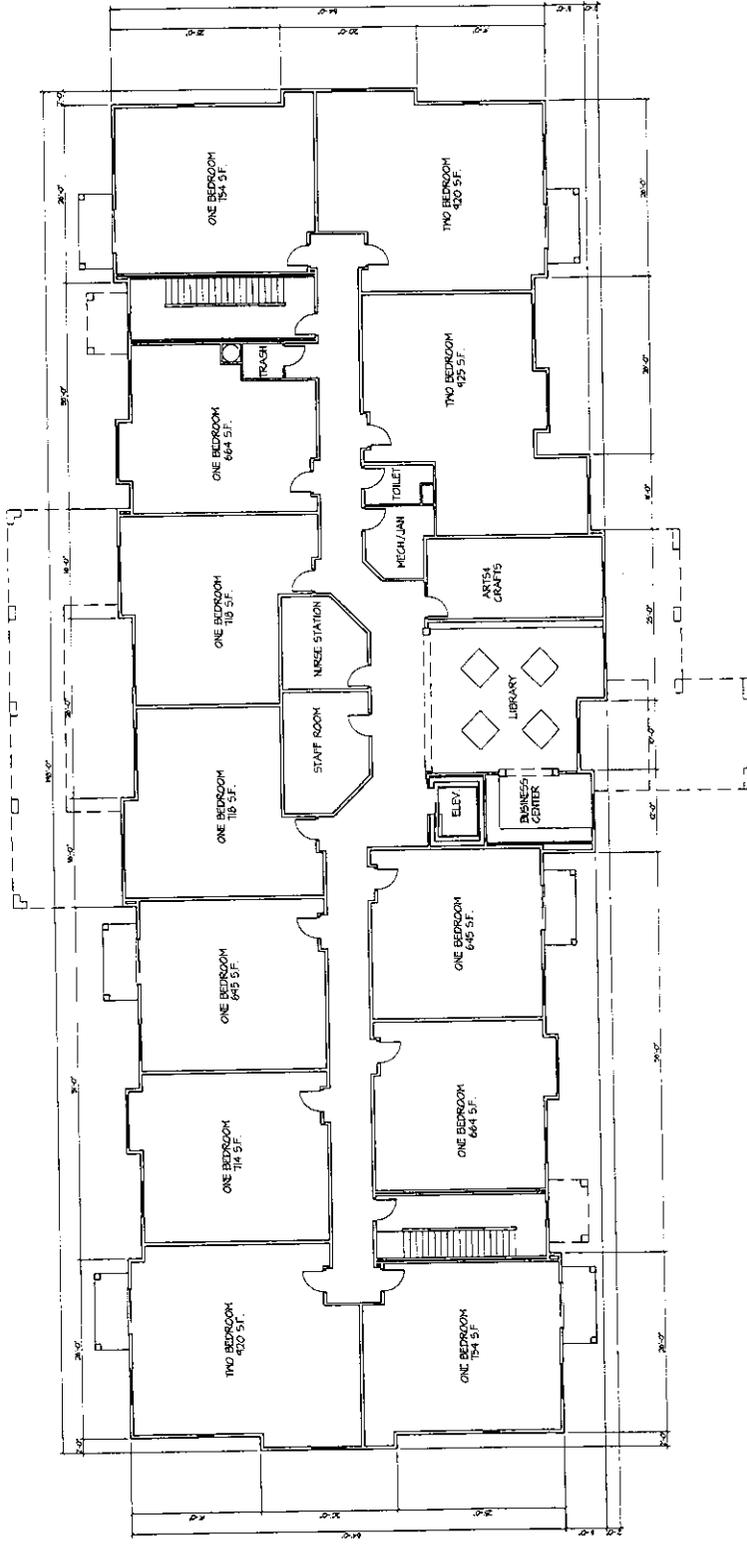
Kenosha, WI
 Drawing Title:
Elevations

Project No.:
0851

Drawing No.:
A-22



○ Side Elevation
 1/8" = 1'-0"



Project Title:
Celebre Place
Senior RCAC Assisted Living

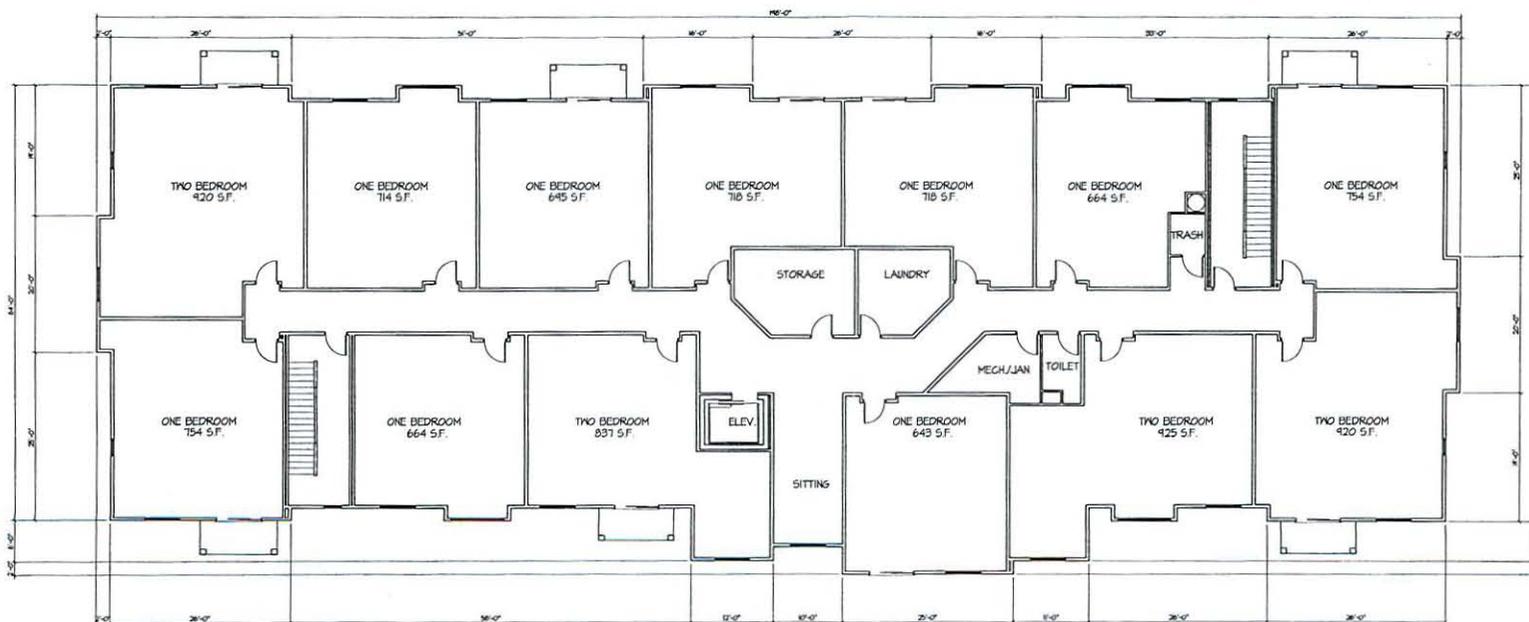
Location:
Kenosha, WI
Project Name:
Second Floor Plan

Project No:
0851
Drawing No:
A-12

Second Floor Plan
11/17/09

Consultant

Client
SITE OWNER: KENOSHA SENIOR ACTION COUNCIL HOUSING
MANAGEMENT CORPORATION
DEVELOPER: PARKVIEW DEVELOPMENT, INC.



Revisions
Issued - Nov. 1, 2000
Revised for City of Kenosha - Nov. 24, 2000

Project Title
Celebre Place
Senior RCAC Assisted Living

Kenosha, WI
Drawing Title
Third Floor Plan

Project No. Drawing No.
0851 A-13

Third Floor Plan
11/24/00

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Consultant

Client
 STEPHEN KENOSHA SENIOR ACTION COUNCIL HOUSING
 MANAGEMENT CORPORATION
 DEVELOPER: PARKVIEW DEVELOPMENT, INC.

Revisions
 Issued - Nov. 1, 2010
 Issued to City of Kenosha - Nov. 24, 2010

Project Title
Celebre Place
 Senior RCAC Assisted Living

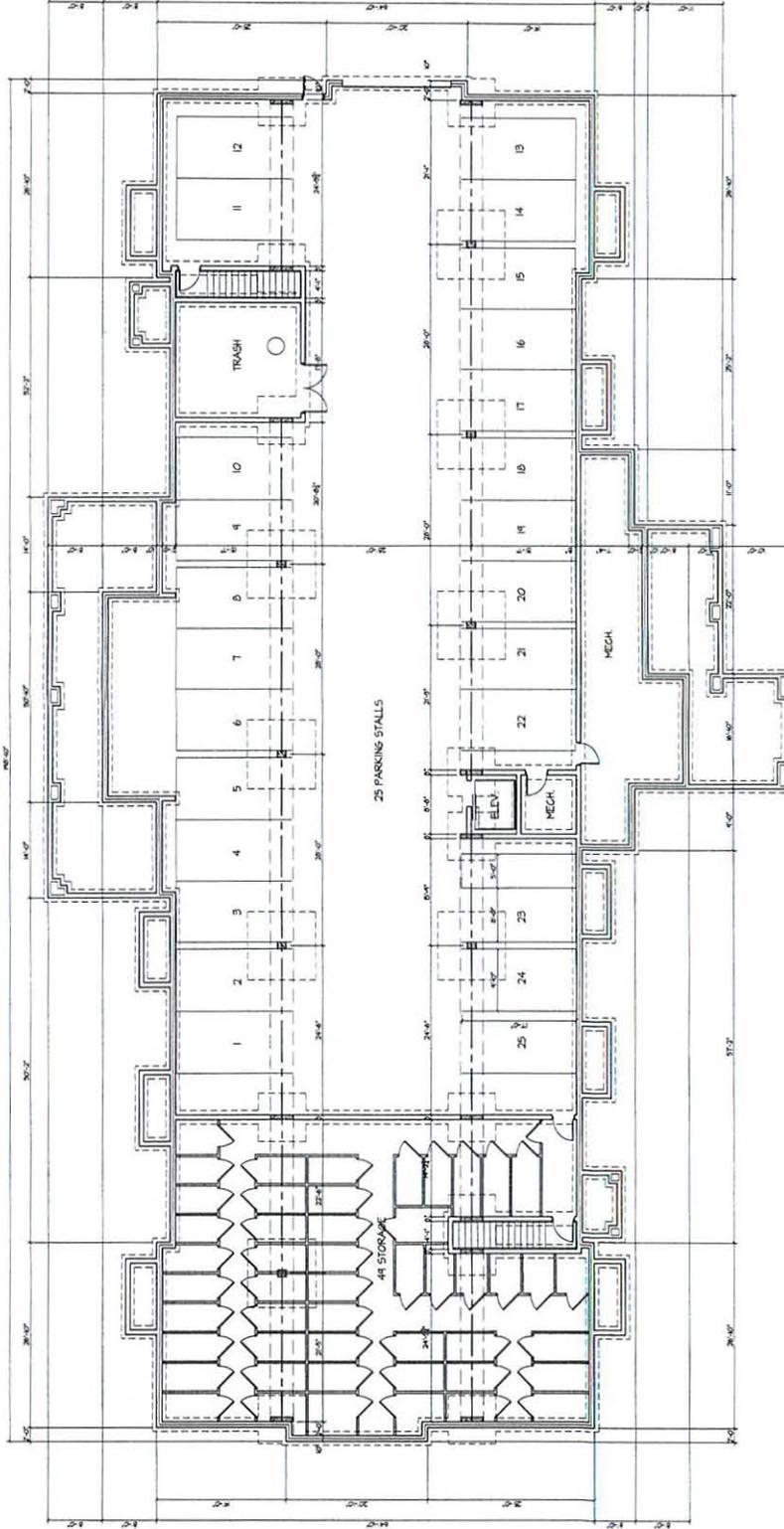
Kenosha, WI
 Drawing Title
Fourth Floor Plan

Project No. Drawing No.
0851 A-1.4

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○ Fourth Floor Plan
 W.P. FOR



Basement Floor Plan

Contract:

Notes:
 SITE OTHER REDUCTION SCHEDULE CANCELLED
 MANAGEMENT CORPORATION
 DEVELOPER: PANDORA DEVELOPMENT, INC.

SHEET CHECK

SITE

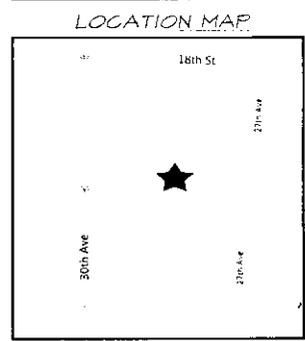
- C-1.1 SITE PLAN
- C-2.1 SITE LIGHTING PLAN
- C-2.2 GRADING AND EROSION CONTROL
- C-2.3 UTILITY PLAN
- C-2.4 DETAILS
- L-1.0 LANDSCAPE PLAN
- L-2.0 LANDSCAPE DETAILS

ARCHITECTURAL

- A-1.0 EXISTING FLOOR PLAN
- A-1.1 FIRST FLOOR PLAN
- A-1.2 SECOND FLOOR PLAN
- A-1.3 THIRD FLOOR PLAN
- A-1.4 FOURTH FLOOR PLAN
- A-2.1 ELEVATIONS
- A-2.2 ELEVATIONS

SITE STATISTICS

LOT AREA	85,942 SF
COVERAGE	14,243 SF (16.3%)
PAVEMENT 4' MAX. S	17,935 SF (20.8%)
LANDSCAPED/OPEN SPACE	53,244 SF (62.4%)



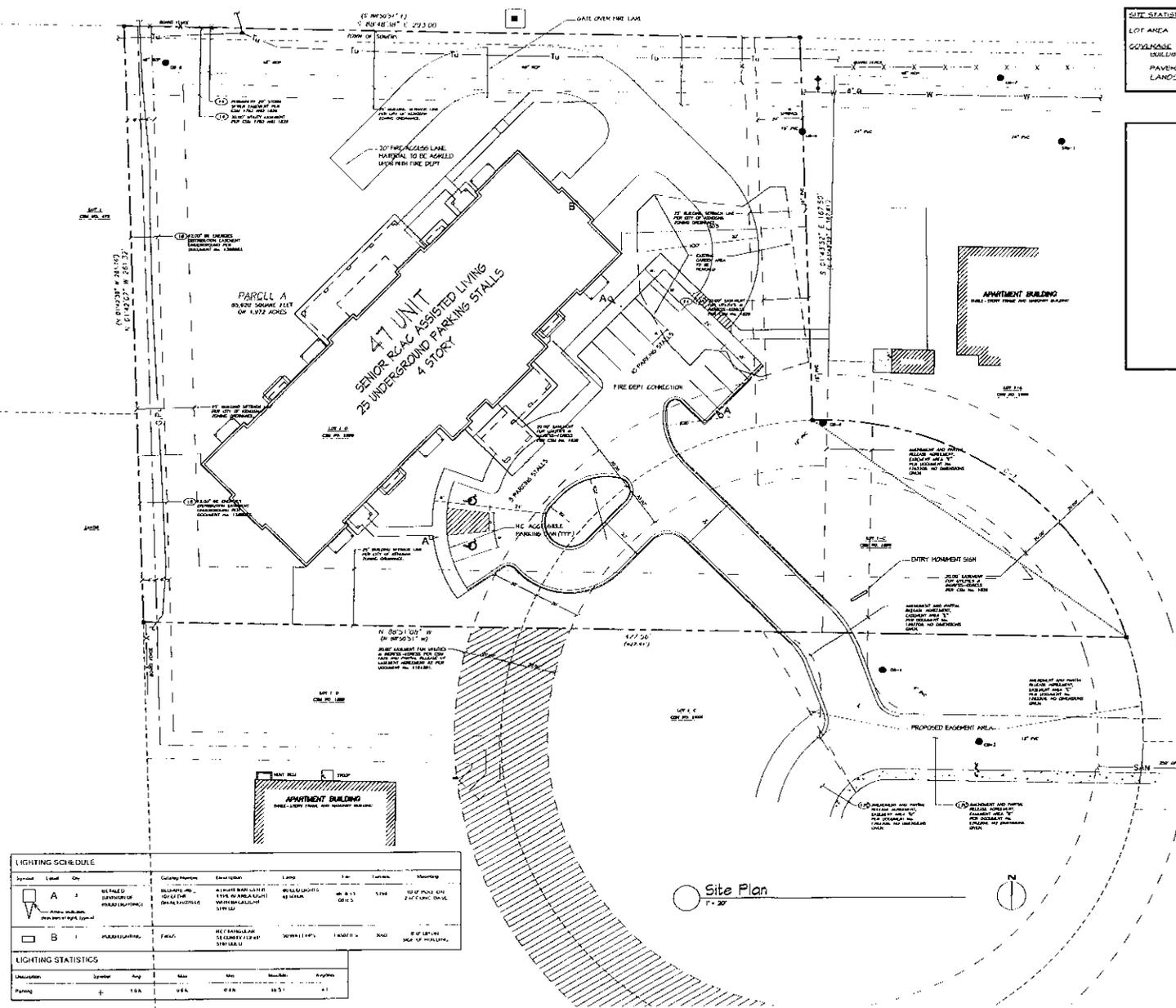
LEGAL DESCRIPTION (AS PARAPHRASED)

PART OF LOTS 1-C AND LOT 1-D OF CERTIFIED SURVEY MAP 140, BEING RECORDED IN THE OFFICE OF THE KENOSHA COUNTY REGISTER OF DEEDS ON PAGE 80, 140, AS EXCEPTED BY PARAGRAPHS 1 AND 2 OF RESOLUTION OF LOT 1 OF CERTIFIED SURVEY MAP 175, 176 AND BEING A PART OF THE NONREACH QUARTER 64-00 SECTION TWENTY-NINE (29) TOWNSHIP 03 NORTH RANGE TWENTY-TWO (22) EAST OF THE FOURTH PRINCIPAL MERIDIAN LYING AND BEING IN THE CITY OF KENOSHA, KENOSHA COUNTY, WISCONSIN AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF LOT 1-D; THENCE EAST 270.00 FEET ALONG THE NORTH LINE OF LOT 1-D TO THE NORTHEAST CORNER THEREOF; THENCE SOUTH 87.50 FEET ALONG THE EAST LINE OF LOT 1-D TO A POINT LOCATED IN THE NORTHERLY LINE OF LOT 1-C; THENCE CONTINUING SOUTHEASTERLY ALONG THE CURVE OF LOT 1-C 270.00 FEET TO A POINT; THENCE WEST 427.00 FEET TO A POINT ON THE WEST LINE OF LOT 1-D; THENCE NORTH 30.00 FEET TO THE POINT OF BEGINNING.

NOTE: THIS LEGAL DESCRIPTION IS GENERAL IN NATURE AND MUST BE SUPPLEMENTED BY A DETAILED LEGAL DESCRIPTION AS PREPARED BY A REGISTERED LAND SURVEYOR.

TAX ID NO. 01-222-34-01-00



Site Plan
 T = 20'

LIGHTING SCHEDULE

Symbol	Label	City	Coloring	Material	Height	Beam	Footcandle	Mounting
	A	RECESSED	RECESSED	4" SQUARE BRASS ALUMINUM	18" MINIMUM	150°	1.5	100' OF PAVEMENT
	B	RECESSED	RECESSED	4" SQUARE BRASS ALUMINUM	18" MINIMUM	150°	1.5	2' OF PAVEMENT
	C	RECESSED	RECESSED	4" SQUARE BRASS ALUMINUM	18" MINIMUM	150°	1.5	2' OF PAVEMENT

LIGHTING STATISTICS

Location	Symbol	Qty	Watt	Watt	Watt	Watt	Watt
Building	A	1	100	100	100	100	100
Parking	B	1	100	100	100	100	100

Project Title
Celebre Place
 Senior RCAC Assisted Living

Kenosha
 Drawing Title
Site Plan

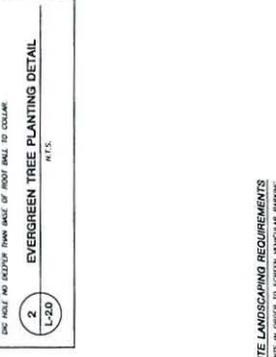
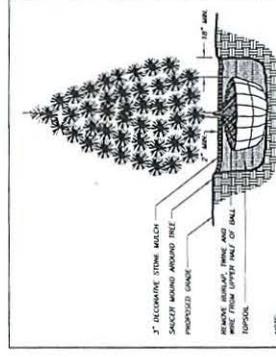
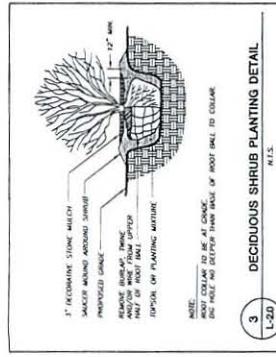
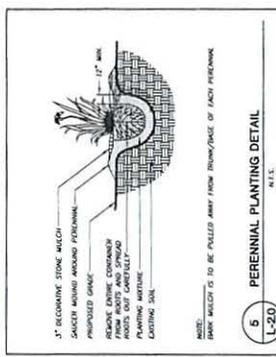
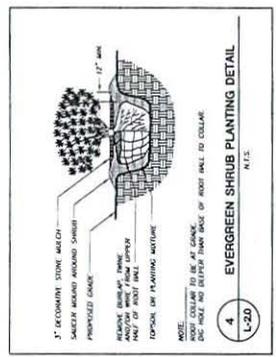
Project No.
0851

Drawing No.
C-1.1

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NO.	DATE	DESCRIPTION
1	11-12-2008	ISSUED FOR PERMITS
2	11-12-2008	ISSUED FOR PERMITS
3	11-12-2008	ISSUED FOR PERMITS
4	11-12-2008	ISSUED FOR PERMITS
5	11-12-2008	ISSUED FOR PERMITS

DIGGERS HOTLINE
 Toll Free (800) 242-4571
 Wisconsin 800.441.2411
 Illinois 800.441.2411
 Michigan 800.441.2411
 www.Diggers-Hotline.com



ZONING ORDINANCE FOR THE CITY OF KENOSHA, WI - MULTI-FAMILY SITE LANDSCAPING REQUIREMENTS

- PERMANENT FENCING SHALL BE INSTALLED TO SEPARATE MULTI-FAMILY UNITS FROM ONE ANOTHER AND FROM THE PUBLIC. FENCING SHALL BE INSTALLED TO SEPARATE MULTI-FAMILY UNITS FROM ONE ANOTHER AND FROM THE PUBLIC. FENCING SHALL BE INSTALLED TO SEPARATE MULTI-FAMILY UNITS FROM ONE ANOTHER AND FROM THE PUBLIC.
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THESE DETAILS ARE TO BE USED IN CONJUNCTION WITH THE LANDSCAPE ARCHITECTURE PLAN AND SHALL BE INSTALLED TO SEPARATE MULTI-FAMILY UNITS FROM ONE ANOTHER AND FROM THE PUBLIC. FENCING SHALL BE INSTALLED TO SEPARATE MULTI-FAMILY UNITS FROM ONE ANOTHER AND FROM THE PUBLIC. FENCING SHALL BE INSTALLED TO SEPARATE MULTI-FAMILY UNITS FROM ONE ANOTHER AND FROM THE PUBLIC.

Contract:

Notes:

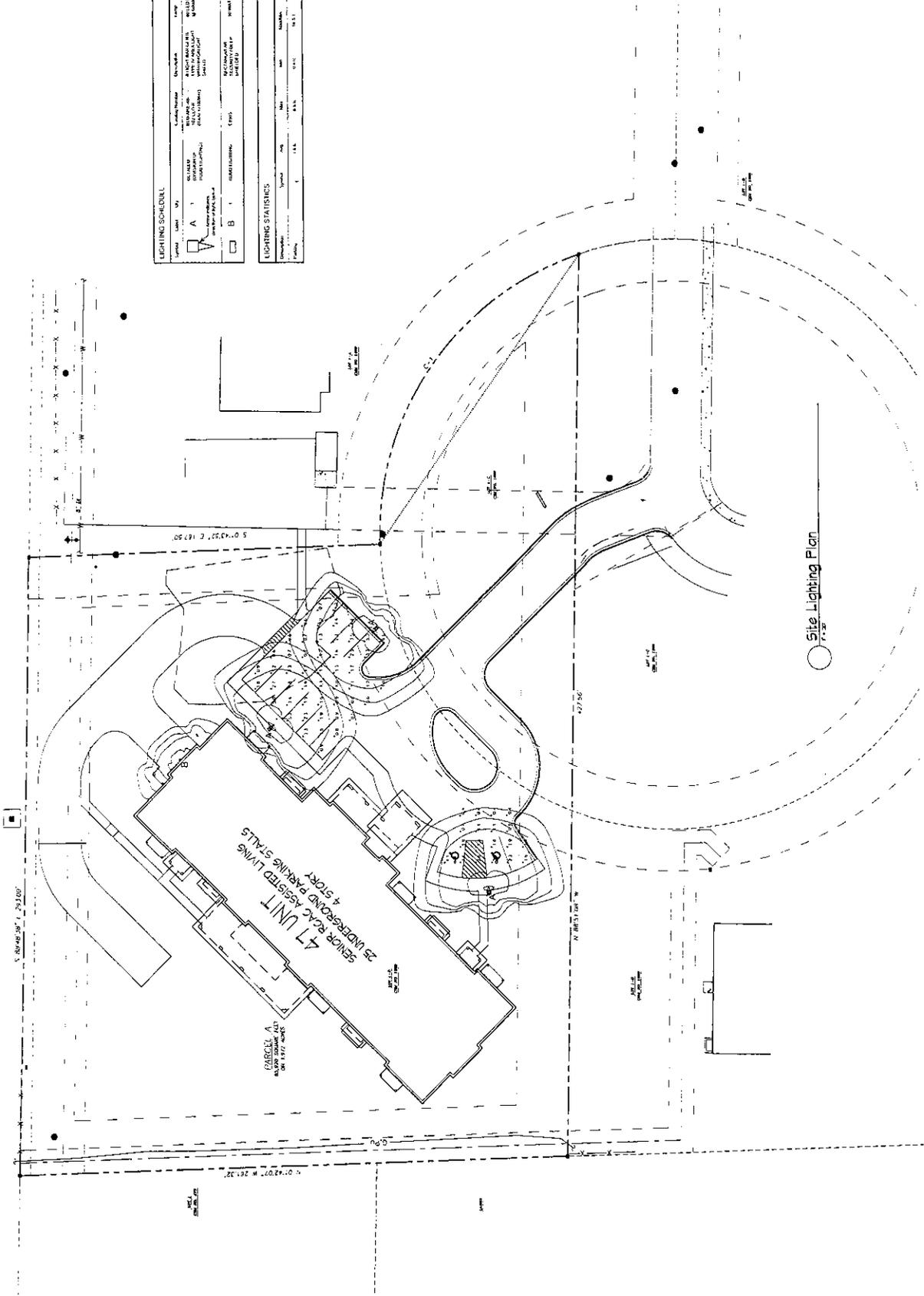
LIGHTING SCHEDULE	
Symbol	Description
A	WALL MOUNTED RECESSED DOWNLIGHT (4" DIA) (1000LM) (3000K) (10' SPACING)
B	RECESSED DOWNLIGHT (4" DIA) (1000LM) (3000K) (10' SPACING)

LOADING STATISTICS	
Category	Value
Area	1.4
Volume	1.4
Weight	1.4
Height	1.4

Project:
Madison City of Madison - Nov. 20, 2020

Project No:
Celebre Place
Senior RCAC Assisted Living

Project No:
0051
Drawing No:
C-12



Site Lighting Plan
11.20.20

City Plan Division 625 52 nd Street Kenosha, WI 53140 262.653.4030	Kenosha City Plan Commission FACT SHEET	February 24, 2010	Item 3
Conditional Use Permit for a non-conforming residential use to be located at 6316 28th Avenue, District #12. (Vines) PUBLIC HEARING			

LOCATION/SURROUNDINGS:

Site: 6316 28th Avenue
Zoned: RG-1 General Residential

NOTIFICATIONS/PROCEDURES:

The alderman of the district, Alderman Bostrom, has been notified. The Common Council is the final review authority.

ANALYSIS:

- Section 4.06 A.17 of the Zoning Ordinance allows for the application for a Conditional Use Permit of a non-conforming residential use. The Conditional Use Permit would allow the owner/applicant to renovate the existing 2-unit building. This would not be allowed without the Conditional Use Permit because the 2-unit is a non-conforming use in the RG-1 District due to the lot width and area.
- No additional units are being added to the building and the applicant would not be able to create any additional units under the current zoning.
- City Departments have reviewed the application.

RECOMMENDATION:

For Commission review and recommendation.

B. R. Wilke

Brian R. Wilke, Development Coordinator
/u2/acct/cp/ckays/1CPC/2011/Feb24/fact-cup-vines.odt

Jeffrey B. Labahn

Jeffrey B. Labahn, Director of City Development

City Plan Division
625 52nd Street
Kenosha, WI 53140
262.653.4030

**Kenosha City Plan
Commission
Conditions of Approval**

**Vines
6316 28th Avenue**

February 24, 2011

1. The following Conditions of Approval will run with the land and shall be included in a document recorded with the Kenosha County Register of Deeds:
 - a. The applicant shall obtain all required construction permits from the Department of Neighborhood Services & Inspections. This includes, but is not limited to Building, Plumbing, Electrical and Occupancy permits.
 - b. Any changes to the approved plans shall require an amendment to the Conditional Use Permit. All changes shall be submitted to the Department of City Development.
 - c. The Conditional Use Permit shall be recorded with the Kenosha County Register of Deeds. The recording fees for the Conditional Use Permit shall be submitted by the applicant.
 - d. Compliance with City and State and/or Federal Codes and Ordinances. The buildings shall comply with the current Code standards in effect upon application for a building permit.
 - e. All improvements, including landscaping, shall be maintained per the approved plans. Any damaged fencing, landscaping or building shall be replaced or reconstructed per the approved plans.
 - f. This approval is for a 2-unit residential use only. No expansion of residential units in the building is permitted with this approval.



DEPARTMENT OF
NEIGHBORHOOD SERVICES
AND
INSPECTIONS

JAMES M. SCHULTZ
Director

Building Inspection

Property Maintenance

Zoning Enforcement

TO: City Plan Commission
Common Council Members

FROM: Paula A. Blise, Zoning Coordinator *(pb)*
Department of Neighborhood Services and Inspections

SUBJECT: Conditional Use Permit for a Non-conforming Two-family
Residential Use Located at 6316 28th Avenue, District #12. (Vines)

DATE: February 16, 2011

The City of Kenosha Zoning Ordinance requires a minimum of six thousand (6,000) square feet in lot area for two-family residences in RG-1 districts. The lot area associated with the subject property consists of 3,960 square feet. Based on its substandard lot size, the existing two-family use does not conform to the existing Zoning Ordinance. Due to its nonconforming status, the property owner is unable to structurally alter the building.

The applicant is requesting Conditional Use Permit approval to maintain, upgrade, and, if necessary, rebuild the existing structure as a two-family dwelling unit.

In order to ascertain whether or not the use is non-conforming (being in effect prior to 1993), or whether an illegal conversion/illegal construction has occurred, an on-site interior and exterior inspection was required. Findings of an illegal conversion would negate the "nonconforming" status, and the property owner would not be eligible for approval of the Conditional Use Permit.

On February 15, 2011, Building Inspector Rick Hillesland, and I performed an interior and exterior inspection of the property. We have determined that the second-story dwelling unit was formulated and intact prior to 1993. There was no evidence of recent upgrades to electrical, plumbing, or HVAC components; and, the second dwelling unit meets building code requirements necessary to constitute and establish a habitable dwelling unit.

Based on the above findings, approval of the applicant's request is recommended.

PAB:kah
c: Steve Bostrom, Alderman, 12th District

**Development Review Application
City of Kenosha, Wisconsin**

JAN 4 2011

MAILING INFORMATION

NAME OF PROJECT: _____

Check one (1) of the following boxes to indicate the recipient of all correspondence:

<input checked="" type="checkbox"/>	Name and Address of Applicant [Please print]: <u>Jammy m. Tomon</u> <u>6316 28th AVE</u> <u>Kenosha</u> <u>Kenosha, WI</u> <u>53143</u>	Phone: <u>262-652-0013</u> Fax: _____ E-Mail: _____
<input type="checkbox"/>	Name and Address of Architect/Engineer [Please print]: _____ _____ _____	Phone: _____ Fax: _____ E-Mail: _____
<input checked="" type="checkbox"/>	Name and Address of Property Owner (if other than applicant) [Please print]: <u>Anthony R. Vines</u> <u>N 913 Spring Lake Estates Drive</u> <u>Nesh Koro, WI</u> <u>54960</u>	Phone: <u>1-920-229-8218</u> Fax: _____ E-Mail: _____

PROJECT LOCATION

Location of Development (street address and / or parcel number): _____

TYPE OF LAND DEVELOPMENT

Check all that apply. Note: Additional information may be required within individual Sections.

<input type="checkbox"/> Certified Survey Map	Section 1	Page 2
<input type="checkbox"/> Concept Review (Land Division)	Section 2	Page 3
<input type="checkbox"/> Concept Review (Multi-Family Residential or Non-Residential)	Section 3	Page 4
<input checked="" type="checkbox"/> Conditional Use Permit	Section 4	Pages 5 & 6
<input type="checkbox"/> Developer's Agreement	Section 5	Page 7
<input type="checkbox"/> Final Plat	Section 6	Pages 8 & 9
<input type="checkbox"/> Lot Line Adjustment Survey	Section 7	Page 10
<input type="checkbox"/> Preliminary Plat	Section 8	Pages 11 & 12
<input type="checkbox"/> Rezoning	Section 9	Pages 13 & 14
<input type="checkbox"/> Site Plan Review	Section 10	Pages 15 & 16

**PRIOR TO SUBMITTING THIS APPLICATION TO THE DEPARTMENT OF CITY DEVELOPMENT,
PLEASE REVIEW THE APPROPRIATE SECTION(S) FOR FEES, REQUIREMENTS AND APPROPRIATE APPENDICES.**

*Submit this cover page, completed application, applicable section(s) and appendices
along with ALL required plans, information and fees to:*

Department of City Development
625 52nd Street, Room 308
Kenosha, WI 53140

Phone: 262.653.4030
Fax: 262.653.4045

Office Hours:
M - F 8:00 am - 4:30 pm

1/12/2011

TO WHOM IT MAY CONCERN:

I ANTHONY R. VINES GIVE MY DAUGHTER
TAMMY TOMOW PERMISSION TO SIGN FOR ME
AND REPRESENT ME IN MATTERS PERTAINING
TO APPLYING FOR A BUILDING PERMIT
FOR THE HOUSE AT:

6316 28 AVE, KENOSHA, WI 53143
I AM THE OWNER OF THE ADDRESS
STATED ABOVE.

SINCERELY,
ANTHONY R. VINES
Anthony R. Vines
CELL PHONE 920 229 8218

Plat of Survey of
 NORTH 30' LOT 4
 BURKE'S SUBDIVISION

in NE 1/4 Section 1-1-22

CITY OF KENOSHA
 KENOSHA COUNTY, WIS.

-for-
 Anthony Vines

Refer to a current title report for a complete legal description and for any easements or restrictions which may affect this site; specifically those not shown on the recorded subdivision plat.

MARESCALCO COUNTYWIDE SURVEYING, INC.
 1120 80TH STREET KENOSHA, WI 53143
 (262) 654 6809 FAX (262) 654 1120

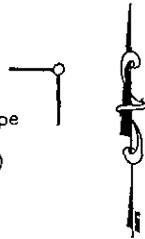


I hereby certify that this property was surveyed under my direction. This plat is a true representation thereof.

[Signature]

Reg. Land Surveyor
 November 20, 2009

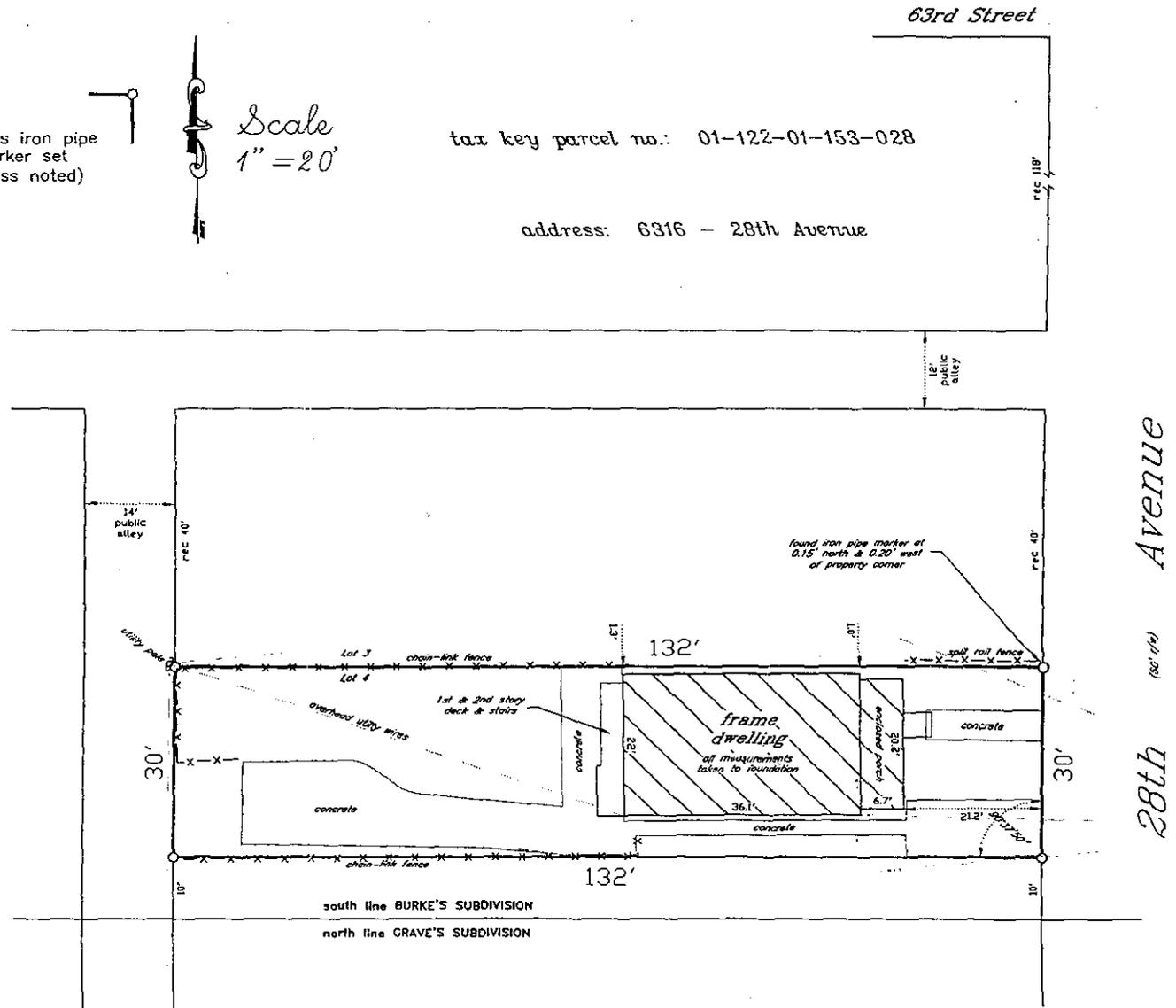
denotes iron pipe marker set (unless noted)

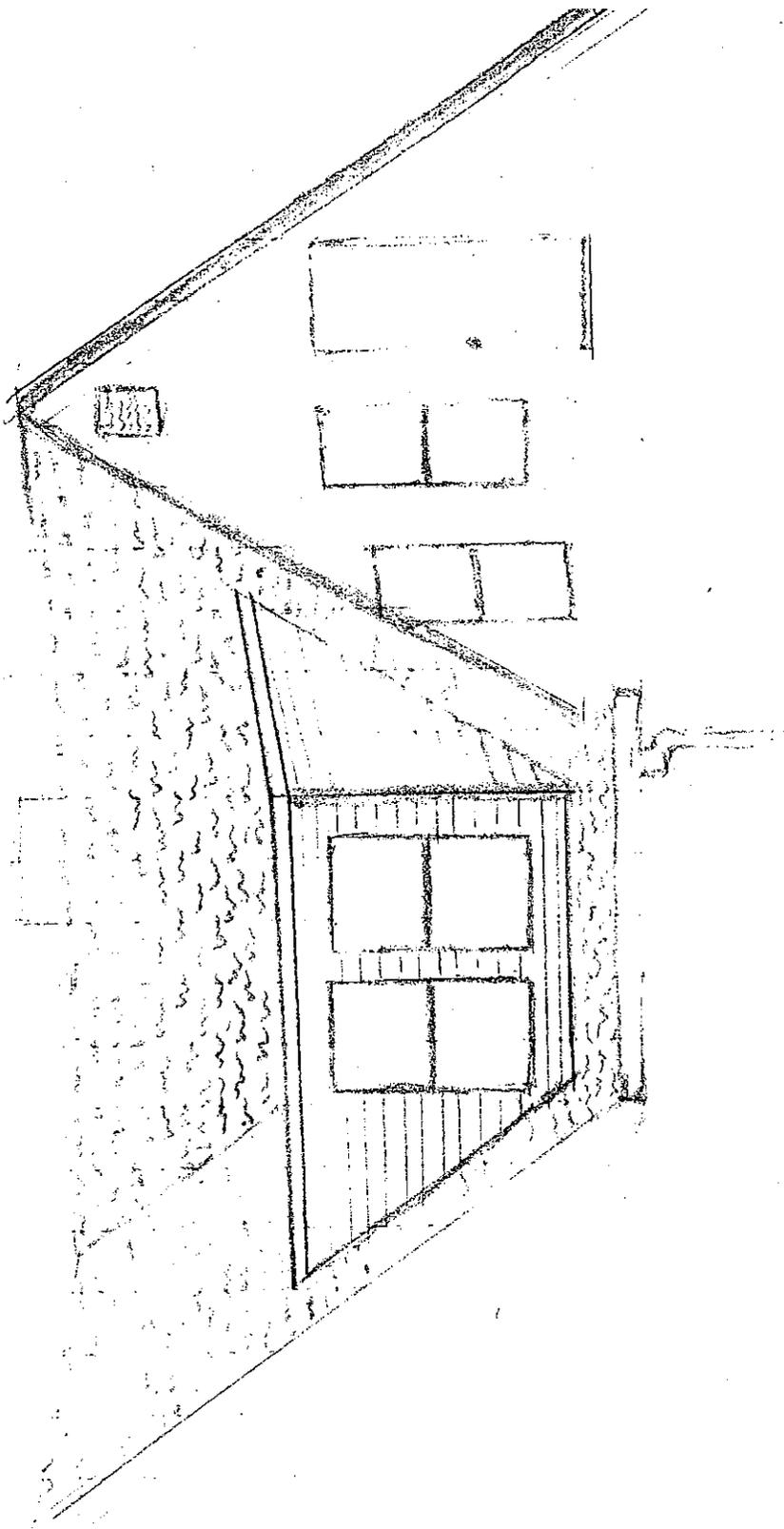


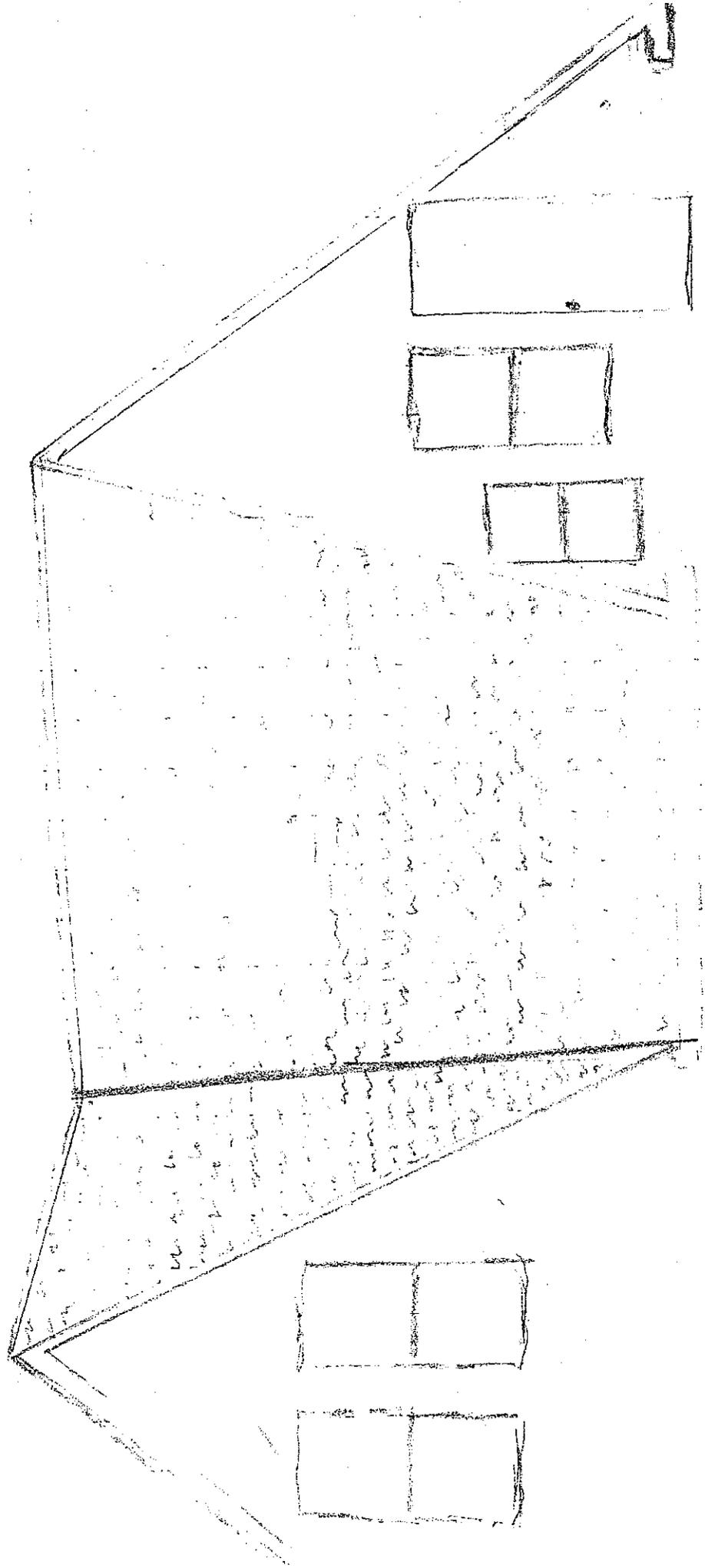
Scale
 1" = 20'

tax key parcel no.: 01-122-01-153-028

address: 6316 - 28th Avenue

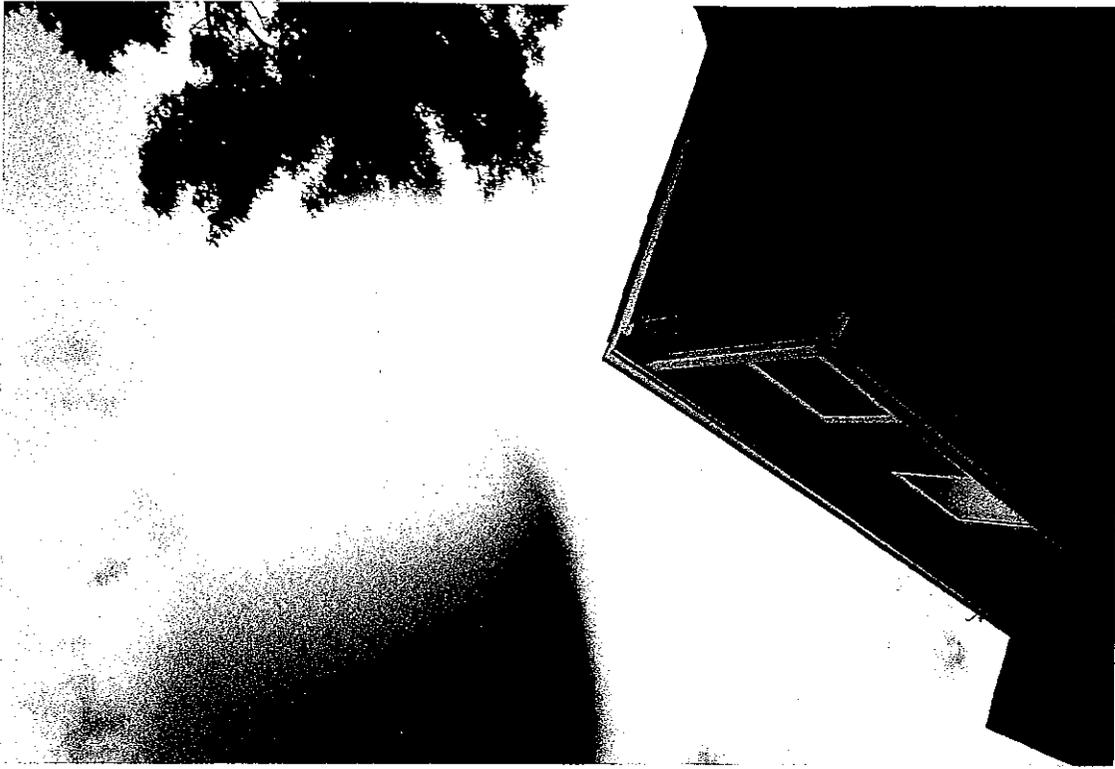


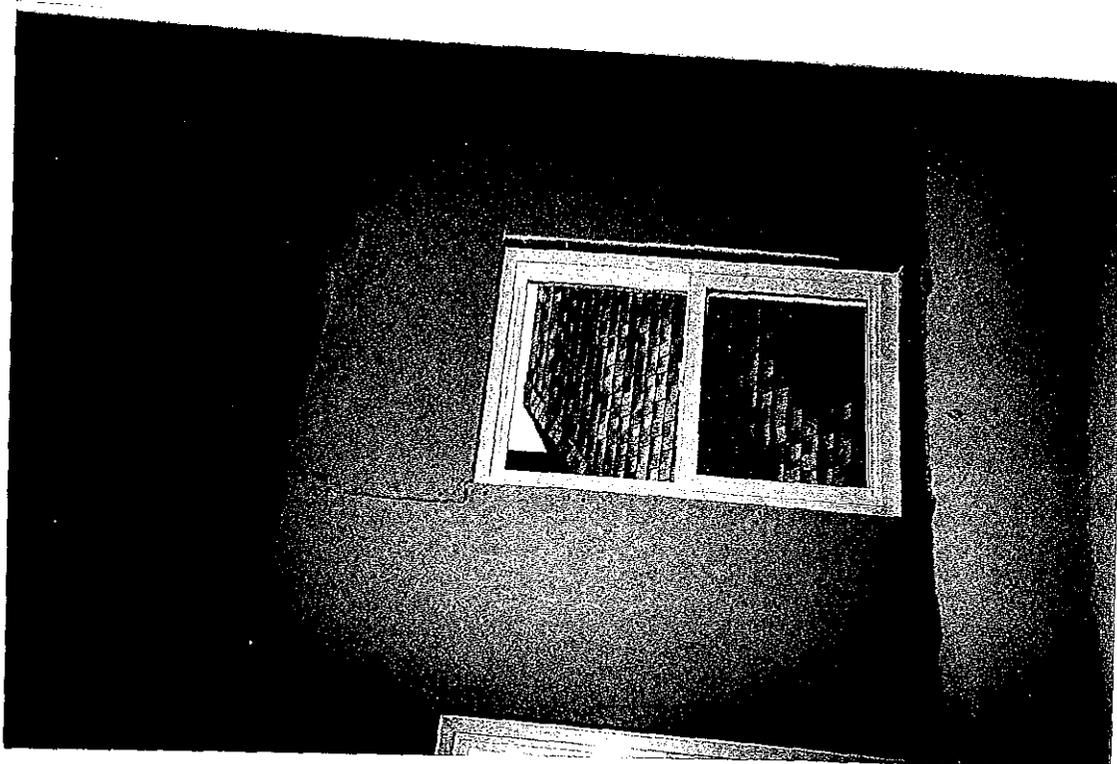
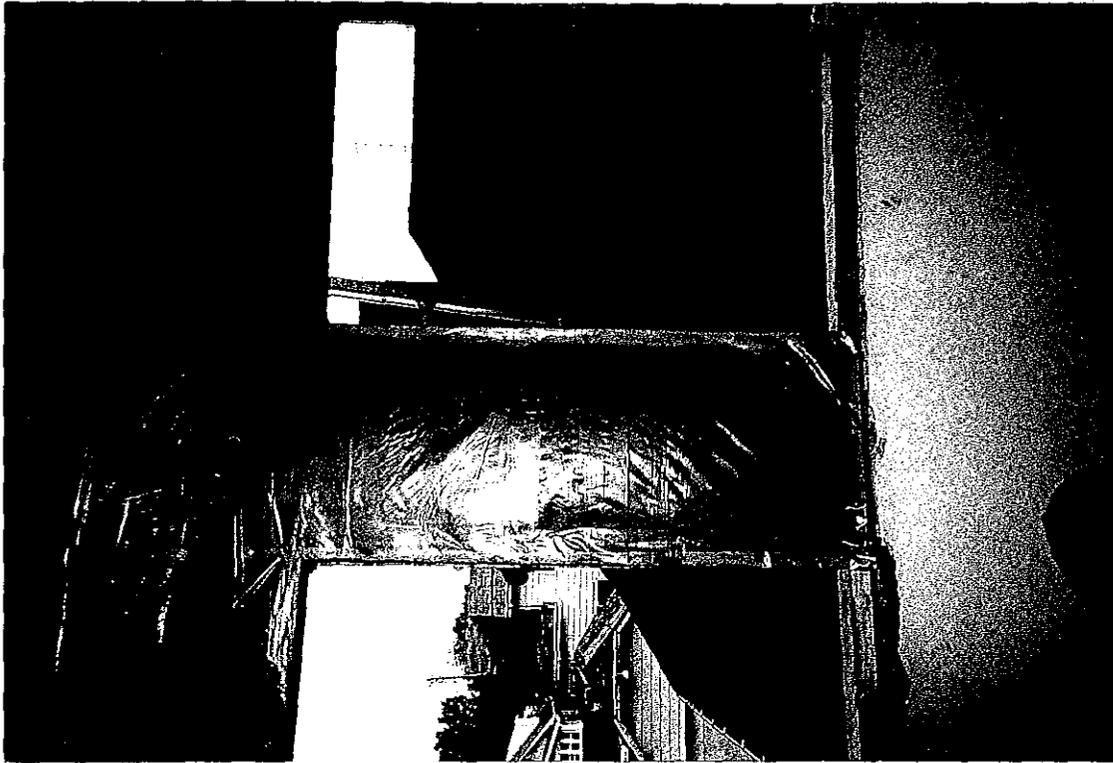




Double 2X10 Header with
Solid plywood over windows
4 cripple studs per window 2X4
double top plate single bottom plate.
Single 2X4 plate on windows
windows 25X36
Studs 16" o.c. R. 2nd Bath wall
from 2'6" to 8'

9' x 5' Bath room no extra
feet, added more headroom
2 windows 1/2" plywood 1/2" foam
and vapor barrier ex walls
Roof 2X6 Joist insulated and
ventilated inside walls insulated
and covered with 1/2" sheetrock
h/c sits on triple 2X4 post on load
bearing wall.





ZONING ORDINANCE FOR THE CITY OF KENOSHA, WISCONSIN

h. Dwelling Units.

(1) Dwelling Units in the RG-2 District. One (1) dwelling unit may be located per individual single family residential lot, up to a maximum of five (5) attached dwelling units located on five (5) single family lots. A series of dwelling units, in conformance with **Section 4.06 A.16.i.**, may also be constructed on a common multiple family lot.

(2) Dwelling Units in the B-4 District. One (1) dwelling unit may be located per individual single family residential lot, or dwelling units may be constructed as a series of attached dwelling units located on a common lot, as permitted in **Section 4.06 A.16.i.** of this Ordinance.

i. Series of Single Family Attached Residences. A minimum series of three (3) single family attached residences shall be required to be grouped together. Such series shall be limited to five (5) attached units in the RG-2 District, and twelve (12) attached units in the B-4 District, and shall be submitted as a planned development through a Conditional Use Permit application. The minimum distance between each series on a common lot shall be twenty (20') feet.

j. Front Building Facade. The front building facade must occupy a minimum of ninety (90%) percent of the lot frontage at the build-to line.

k. Unit Elevation from Finished Exterior Sidewalk Grade. Units shall be raised a minimum of eighteen (18") inches from the finished exterior sidewalk grade.

l. Detached Accessory Buildings. Detached accessory buildings on interior lots shall be grouped together whenever possible at the common property lines.

m. Other Issues. Other issues which may have an adverse social, economic or environmental impact, or affecting the health, safety or welfare of abutting or neighboring properties, or the City as a whole.

g. Other issues which may have an adverse social , economic, or environmental impact, or affecting

the health, safety or welfare of abutting or neighboring properties or the City as a whole .

h. One or more of plans identified hereinabove may be waived in the discretion of reviewing authority.

B. BUSINESS CONDITIONAL USES

1. Sexually-Oriented Businesses in the B-2 District.

a. Building Plan as required in **Section 4.05 B.** of the Zoning Ordinance.

b. Site Plan as required in **Section 4.05 C.** of the Zoning Ordinance.

c. Drainage Plan as required in **Section 4.05 D.** of the Zoning Ordinance.

d. Landscape Plan as required in **Section 4.05 E.** of the Zoning Ordinance.

e. Utility Plan as required in **Section 4.05 F.** of the Zoning Ordinance.

f. Operational Plan as required in the Code of General Ordinances.

g. Location. A sexually-oriented business, as defined, shall only be located in compliance with the following criteria:

(1) No Sexually-Oriented Business shall be located within one thousand (1,000') feet, (based on the measurement standards of this Section), of the following:

(a) Residentially zoned property;

(b) Residentially used property;

(c) Public, private or parochial elementary or secondary schools;

(d) Public park, recreation area or playground;

(e) Daycare center;

(f) Youth center;

(g) Public library; or,

(h) Public museum.

(2) No sexually-oriented business shall be located within one thousand (1,000') feet of the Interstate 94 right-of-way.

(3) No sexually-oriented business shall be located within one thousand (1,000') feet of another sexually-oriented business.

h. Standards of Measurement. The distances identified in this Section shall be measured in a straight line, without regard to intervening structures or objects from the closest point of the structure proposed for occupancy by the sexually-oriented business to the nearest point of the parcel of property or zoning district boundary from which the proposed land use is to be separated.

i. Outdoor Activities. Any outdoor activities associated with the sexually-oriented businesses are prohibited. The sexually-oriented business shall be

A. RESIDENTIAL CONDITIONAL USES

17. Non-conforming Residential Uses

a. Verification, in form and substance, satisfactory to the reviewing authority of the prior existing residential use.

b. Building Plan as required in Sections 4.05B. and 14.07 B. of the Zoning Ordinance.

c. Site Plan as required in Sections 4.05 C. and 14.07 C. of the Zoning Ordinance.

d. Drainage Plan as required in Sections 4.05D. and 14.07 E. of the Zoning Ordinance.

e. Landscape Plan as required in Sections 4.05 E. and 14.07 F. of the Zoning Ordinance.

f. Utility Plan as required in Sections 4.05 F. and 14.07 D. of the Zoning Ordinance.