

**AGENDA
PUBLIC WORKS
COMMITTEE**

**MONDAY, FEBRUARY 2, 2015
ROOM 202
5:30 P.M.**

Eric Haugaard, Chairman
Jan Michalski, Vice Chairman
Steve Bostrom

Scott N. Gordon
Rhonda Jenkins
Patrick Juliana

Approval of minutes of regular meeting held on Wednesday, January 21, 2015.

1. Request by Armando De La Rosa to place a Peddler Stand in city-owned parking lot located at the southwest corner of 54th Street and 6th Avenue to be effective for the term through September 30, 2015. *(also referred to License/Permit Committee)* **(District 2)**
2. Approval of request for use of HarborPark and Celebration Place by Kenosha Area Chamber of Commerce Foundation on August 28 & 29, 2015 for the Grill Games event. **(District 2)**
3. Approval of request for use of Celebration Place by Jet Events on May 2, 2015.. **(District 2)**
4. Award of Contract for Project 12-1422 Poerio Park Trail Development Construction (1401 16th Avenue) to NuGen Johnson, LLC (Sussex, Wisconsin) in the amount of \$95,000.00. (Park Funds Only) **(District 1)** *(Park Commission approved 5-0)*
5. Award of Contract for Project 14-1424 Southport Beach House Roof Replacement Rebid (7825 1st Avenue) to Carlson Racine Roofing & Sheet Metal, Inc. (Racine, Wisconsin) in the amount of \$316,000.00. (Park Funds Only) **(District 12)** *(Park Commission approved 5-0)*
6. Resolution by the Committee on Public Works – Resolution Declaring Intent to Levy Assessments for Hazardous Sidewalks and/or Driveway Approaches Only for Project 15-1016 39th Avenue Resurfacing (39th Avenue – 45th Street to 52nd Street, 45th Street – 39th Avenue to 40th Avenue). **(District 10)**
7. Accept a Quit Claim Deed from Meijer Stores Limited Partnership to the City of Kenosha to include additional right-of-way for 63rd Avenue at 76th Street. (Meijer) **(District 14)** *(also referred to City Plan Commission)*

8. Resolution by the Mayor – To Amend the Official Map for the City of Kenosha, Wisconsin, To Include additional right-of-way for 63rd Avenue at 76th Street, Pursuant to Section 62.23(6), Wisconsin Statutes. (Meijer) **(District 14)** *(also referred to City Plan Commission)*

INFORMATIONAL: Project Status Report

CITIZENS COMMENTS/ALDERMAN COMMENTS RELATED ONLY TO JURISDICTION OF PUBLIC WORKS COMMITTEE

IF YOU ARE DISABLED AND IN NEED OF ASSISTANCE CALL 653-4050 BEFORE NOON ON THE DATE INDICATED FOR THIS MEETING.

NOTICE IS HEREBY GIVEN THAT A MAJORITY OF THE MEMBERS OF THE COMMON COUNCIL MAY BE PRESENT AT THE MEETING, AND ALTHOUGH THIS MAY CONSTITUTE A QUORUM OF THE COMMON COUNCIL, THE COUNCIL WILL NOT TAKE ANY ACTION AT THIS MEETING.

PUBLIC WORKS COMMITTEE
- MINUTES -

WEDNESDAY, JANUARY 21, 2015
5:30 P.M.

Eric Haugaard, Chairman
Jan Michalski, Vice Chairman
Steve Bostrom

Scott N. Gordon
Rhonda Jenkins
Patrick Juliana

The regular meeting of the Public Works Committee was held on Wednesday, January 21, 2015 in Room 202 of the Municipal Building. The following members were present: Acting Chairman Jan Michalski, Aldermen Steve Bostrom, Scott N. Gordon, Rhonda Jenkins, and Patrick Juliana. Alderman Eric Haugaard was excused. The meeting was called to order at 5:31 PM. Staff members in attendance were Shelly Billingsley, Alderman Jack Rose and Alderman David Paff.

Approval of minutes of regular meeting held on January 5, 2015.

It was moved by Alderman Juliana, seconded by Alderman Gordon to approve. Motion passed 5-0.

1. Approval of request for use of City-Owned Vacant Lot (Harbor Park Parcel A) by Midwest Street Machine Car Club on September 5, 2015 (Rain Date September 12, 2015). **(District 2)** *A public hearing was held, no one spoke. It was moved by Alderman Jenkins, seconded by Alderman Bostrom to approve. Motion passed 5-0.*
2. Approval of Emergency Vehicle Preemption System Agreements between the City of Kenosha, Town of Somers and the Wisconsin Department of Transportation. (STH 31 & CTH E Northbound, Southbound, Eastbound and Westbound; STH 31 & CTH L Northbound, Southbound, Eastbound and Westbound). *(Public Safety & Welfare Committee approved 5-0)* *A public hearing was held. Cliff Johnson, 7201 27th Avenue, spoke in favor. It was moved by Alderman Gordon, seconded by Alderman Juliana to approve. Motion passed 5-0.*
3. Award of Project 13-1414 Washington Velodrome Resurfacing (1901 Washington Road) to Rasch Construction & Engineering, Inc. (Kenosha, Wisconsin) in the amount of \$689,000.00. **(District 6)** *(Park Funds Only) (also referred to Park Commission)* *A public hearing was held. Kari and Lucy Foss, 4765 85th Street; Cliff Johnson, 7201 27th Avenue; Margaret Heller, 217 69th Street; Alderman Paff, 1606 35th Place; and Alderman Jack Rose, 4315 68th Street, all spoke in favor. It was moved by Alderman Jenkins, seconded by Alderman Gordon to approve. Motion passed 5-0.*

INFORMATIONAL: Project Status Report

CITIZEN COMMENTS: Gregg Kishline, 8638 32nd Avenue, spoke about Parks projects getting approved and the priority of getting the Southport Beach House roof repaired. He feels other projects are getting priority over the Southport Beach House which is in need of repair and is a historic building.

ADJOURNMENT - *There being no further business to come before the Public Works Committee, it was moved, seconded and unanimously approved to adjourn the meeting at 5:49 PM.*



ENGINEERING DIVISION
SHELLY BILLINGSLEY, P.E.
CITY ENGINEER

PARK DIVISION
JEFF WARNOCK
SUPERINTENDENT

FLEET MAINTENANCE

SUPERINTENDENT

STREET DIVISION
JOHN H. PRIJIC
SUPERINTENDENT

WASTE DIVISION
ROCKY BEDNAR
SUPERINTENDENT

DEPARTMENT OF PUBLIC WORKS

MICHAEL M. LEMENS, P.E., DIRECTOR
SHELLY BILLINGSLEY, P.E., DEPUTY DIRECTOR

MUNICIPAL BUILDING · 625 - 52ND ST · RM 305 · KENOSHA, WI 53140
TELEPHONE (262) 653-4050 · FAX (262) 653-4056
EMAIL PUBLICWORKS@KENOSHA.ORG

January 30, 2015

To: Eric Haugaard, Chairman,
Public Works Committee

From: Shelly Billingsley *Shelly Billingsley*
Deputy Director of Public Works/City Engineer

Cc: Alderman Rhonda Jenkins
District 2

Subject: ***Request for Peddler Stand License***

BACKGROUND/ANALYSIS

A request has been made by Armando De La Rosa to place a peddler stand in the parking lot at the southwest corner of 54th Street and 6th Avenue. The peddler stand license would be effective for the term through September 30, 2015.

RECOMMENDATION

Staff has no recommendation.

SAB/kjb



PEDDLER STAND

TYPE: 129 Fee: \$100.00/term

Expires: September 30, 2015

FILED <u>12-3-14</u>
INITIALS <u>RS</u>
ADVERSE/NO ADV
LP _____
CC _____

- Applicant: Armando T DeLaRosa District # 2
location of stand
 - Driver's License or I.D. copy attached and Applicant's Report - Police Record copy attached
 - Residence Address: 5147 13th AVE Phone: 262-744-2787
 - Email: Jess-mondo@Yahoo.com
(correspondence will be via email if address is given)
 - Business Name & Mailing Address: De La Rosa's Food Truck 5147 13th AVE Kenosha WI 53140 N/A
 - Location of Stand: S/W corner of 54th and 6th AVE
(Address or Intersection)
 - Is Stand Located In a City Park or City Property? Yes No
If yes, approval needed from Parks Department or Public Works
 - Date(s) Stand will operate: April 1st to September 30th Time: 11am-8pm
(9:00am to 8:00pm only)
 - Describe the food, beverages, merchandise or services to be sold: Tacos, burritos, nachos,
walking tacos, fruit, etc.
 - Are You Selling Food? Yes No If selling food, a copy of Kenosha County Food Permit is required.
attached Yes No
 - I have received or I can obtain at www.kenosha.org., a copy of the Ordinance pertaining to Peddler's & Peddler's Stand License(s). Yes No
 - Will a car or truck be used to conduct business? Yes No If yes, certificate of liability attached
- Motor vehicles shall, at the cost and expense of applicant/permit holder, be inspected by an Automotive Service Excellence (A.S.E.) Certified Technician, who shall fill out, date and sign a Safety and Maintenance Inspection Report and a copy of their certification. The Report shall verify that the motor vehicle inspected is safe for operation on City streets. The Report shall be filed with the City Clerk/Treasurer with the permit application/renewal or at any time prior to which a motor vehicle will be utilized, or at any time directed by the Police Chief of designee thereof, based upon personal observation of a police officer indicating a lack of required maintenance.
- Vehicle inspection by an A.S.E. Certified Technician Yes No n/a Report & Certification attached
 - Does the motor vehicle contain sound amplifying equipment (example-ice cream truck-music)
Yes No If so, attach a copy of your Kenosha County Sound Truck application receipt.
*Attached Yes No n/a

Debra L. Salas
City Clerk - Treasurer

Karen J. Forsberg
Deputy City Clerk-Treasurer



E-MAILED DEC 11 2014

CITY OF KENOSHA
Department of
City Clerk/Treasurer

E-MAILED DEC 11 2014

December 11, 2014

Armando DeLaRosa
5147 13th Avenue
Kenosha, WI 53140

Re: Application for a Peddler Stand (SW Corner of 54th St. & 6th Ave.)

Dear Applicant:

As a followup to our earlier conversation, please be advised that the application you filed on December 3, 2014 is incomplete and will not be processed until all of the required information is received. The following information is needed to complete the application:

1. #11 on the application has not been answered
2. A copy of your Kenosha County Food Permit
3. An updated Certificate of Liability
4. A copy of the certification from the A.S.E. Certified Technician who completed the vehicle inspection
5. #15 on the application has not been answered
6. Permission from Public Works to apply for said location

If you have additional questions, feel free to call 653-4271 or email mnelson@kenosha.org.

Sincerely,

Michelle Nelson
Information Coordinator
City Clerk's Office

cc: Alderperson Jenkins

COPY



Jan. 29, 2015

TO: Chairman Eric Haugaard, Public Works Committee

FROM: Mayor Bosman

RE: Grill Games

The Kenosha Area Chamber of Commerce Foundation is requesting of the Public Works Committee the use of Celebration Place and Harbor Park for Grill Games on August 28 and 29, 2015. They also plan public amplification and sales of fermented malt/wine beverages.

Recommendation: To approve the use of Celebration Place and Harbor Park for Grill Games on August 28 and 29, 2015.

Note: Once use of Celebration Place and Harbor Park is approved, the applicant can then apply to the city clerk's office for a beer/wine permit.

SPECIAL EVENT APPLICATION
CITY OF KENOSHA - PARK DIVISION

Please note that this application does not guarantee approval of your event or equipment requested. The event will need the approval of the Board of Park Commissioners and/or the Superintendent of Parks .

EVENT ORGANIZATION INFORMATION

Name of Responsible Organization Kenosha Area Chamber of Commerce Foundation
Contact Person who is responsible for event: Lou Molitor
Address: 600 52nd ST, Suite 130
City/State/Zip Kenosha, WI 53140
Daytime # 2626541234 Evening # 2626544013 Cell# 2622372316
Fax # 2626544655 E-mail: lou@kenoshaareqchamber.com
Is the Host Organization a 501(c)-3? Yes, provide ES# 42706

EVENT INFORMATION

Name of the Event: Grill Games
Date Requested: August 28-29, 2015 Rain Date none
Location Requested: Harbor Park/Celebration Place Estimated Attendance 15,000
Charitable Event: No Yes, Proceeds donated to KACC Scholarship Foundation
Kenosha Ymca Foundation
Brief Description of the Event: Wisconsin State Championship BBQ competition and music festival. Grill Games features professional BBQ teams from the Kansas City BBQ Society BBQ Competition circuit. Via the chamber's partnership with the "Y" Grill Games will also feature Corporate Cup challenge events and family-oriented activities
Set up date and time: Thursday, August 27, 2015 - all day
Time of Event: Fri, 8/28: 3pm to 11pm / Sat., 8/29 10am to 11pm
Take down date and time: Sunday, August 30, 2015 - 9am to 3pm

FOR OFFICE USE ONLY:

Application Packet Received _____ Admin. Or Commission Approval _____
Copies sent to: Alderperson _____ Dirk _____ Police _____
Fire: _____ PW Admin _____ PW-Streets: _____ Kris _____

**EQUIPMENT RENTAL REQUEST
CITY OF KENOSHA – PUBLIC WORKS/PARKS**

Name of Event Grill Games

To assist you with your special event, the Public Works Department/Park Division does have equipment available for rent to your organization. The location of this equipment must be noted on the site and/or route plan you have attached to this application.

Yes
yes/no

Electric: Service varies by location. The organization may be required to provide their own generators in order to supply the level of service required for their event.

Yes
yes/no

Water: Varies by location

PARK DIVISION:

Various areas may already contain minimal equipment, please indicate the number of additional items you will need. DO NOT list "same as last year", Please also put a close accurate number in your request.

of Benches 50 # of Picnic Tables 25 # of extra trash containers 40
Grease: 10-15
Ash: 10-15

of Barricades _____ Any Bleachers _____ Any Reviewing Stands —

Showmobile New X Old _____

Fencing: Snow Fencing # of feet 1/2 300 Portable fencing - # of feet/sections 50

Other Special Requests: temporary asphalt ramps on curbing
per map provided 7-1-15.

STREET CLOSURES: Contact Public Works at 653-4050 for any partial or full street closure

of Barricades 10 A map must be attached with the placement locations will provide by 8/1/15

of Parking Signs 20 Organization responsibility:

Approval must be received from the Public Works Department
The department will provide the organization with a sample of the sign that is to be posted.
It is the responsibility of the organization to have these signs printed in the form and color required
Organization is responsible to supply the stakes to attach the signs in the location approved.
Further information is in Item #14 of the procedures.

NOTE: The organization will be notified if equipment requested is available for the date of your event.

**TEMPORARY STRUCTURE
CITY OF KENOSHA - PARK DIVISION**

Please review Item #8 in the Policy/Procedure Manual

Name of Event Grill Games
Park Requested Celebration Place Date of Event: 8/28/2015

**Structure location must be placed on site map.

Type of Temporary Structure

- Tent
- Staging
- Trailers
- Inflatables
- Dunk Tank
- Other, Please explain _____

Vendor Information

(Name of Company and/or individual providing temporary structure)

Name of Company/Individual: Top choice / Rob Jensen
Work # 262-652-2717 Home # _____ Cell _____

Insurance

All vendors that are supplying the organization with a temporary structure must supply a Certificate of Insurance for product and premises insurance in the amount of \$1,000,000 in the aggregate naming the City of Kenosha as 'additional insured', unless all vendors are being insured as an umbrella under the organizer's. Copy to be attached or sent to the Park Division 30 days prior to the event.

Insurance Company to be emailed by 7/15/15

Signature

Vendor Signature [Signature] Date 1/28/15

**PUBLIC AMPLIFICATION PERMIT APPLICATION
CITY OF KENOSHA – PARK DIVISION**

By ordinance, public amplification is not allowed in City Parks except by permission from the Board of Park Commissioners. Permission for amplification does not exempt a group from obeying Ordinance restrictions on the volume of sound. Please be considerate of park neighbors and other park users. When notifying the alderman and neighborhood association (if necessary) about your event, be sure to include detailed information about any plans you have for amplified sound.

Event Information:

Name of Event Grill Games
Location of Event: Celebration Place Date of Event 8/28-29/2015
Contact Person Lou Molitor

Type of Amplified Sound

- DJ
- Sound System
- Speeches/Announcements
- Karaoke
- Other (please specify) _____

Requested time of amplification: Start: 11:00 am Ending 11:00 pm

Name of Company and/or Individual handling the amplification of the event:

to be provided to City by 7/15/15

Daytime # _____ Evening # _____ Cell # _____

Aldersperson notification Rhonda Jenkins

Have you contacted the Aldersperson of the District in which the event will be held?

 Yes X No Date: will meet with Ald. Jenkins by 7/15

See Attachment D1 for an excerpt of the Noise Ordinance or go to the City of Kenosha web site at www.kenosha.org and click on General Ordinances and review Section 23.

FERMENTED MALT/WINE BEVERAGE SALES APPLICATION
CITY OF KENOSHA - PARK DIVISION

Name of Event: Grill Games

Location of Event Harbor Park / Celebration Place Date of Event 8-28-29-2015

Name of Group Responsible Kenosha Area Chamber of Commerce Foundation

Person that is Responsible for License and Regulations Lou Molitor

Address 600 52nd ST, Suite 130, Kenosha, WI 53140

Daytime # 262 654 1234 Evening # _____ Cell # 262 237 2316

Beer Selling Permit Information

Name of the licensed bartender(s) that will be responsible (must be licensed in the City of Kenosha).

To be provided by 7/1/15

Security Company/ Brief description of how security will be handled.
Event Security Volunteers ; contracted security guards from Kenosha Private Police

Have you applied for the Temporary Class "B" Retailers License (from the City Clerk's Office)?
 No Yes, Indicate Application Date: _____

*A copy needs to be given to given to Park Division prior to event. By 7/1/15

Have you submitted the Certificate of Insurance with a liquor liability naming the City of Kenosha as additionally insured?

No Yes, Indicate Application Date: _____

*A copy needs to be given to given to Park Division prior to event. By 7/1/15

**PARK VENDING PERMIT APPLICATION
CITY OF KENOSHA – PUBLIC WORKS/PARKS**

**EACH INDIVIDUAL VENDOR MUST FILL OUT AN APPLICATION
NOTE: COPIES OF THIS APPLICATION CAN BE DUPLICATED**

**EACH APPLICATION TO BE SUBMITTED TO THE PARK DIVISION
BY THE ORGANIZATION IN CHARGE OF THE EVENT**

Name of the Event: Grill Games
Location of the Event: Celebration Place Date of Event 8/28-29/2015
Name of Group/Organization providing the service Kenosha Area Chamber of Commerce
Contact Person Lou Molitor Foundation
Address 600 52nd ST, Suite 130, Kenosha, WI 53140
Daytime # 2626541234 Evening # _____ Cell # 262 237 2316

Product or Service Sold

Please list all items to be sold or service provided. Attach an additional list, if necessary.

Grill Games Promotional Apron

If selling food, please indicate your Temporary Restaurant License # _____

Non-Food Item Apron

Detail of Vendor Set-up

Please include what your vending site will contain (tables, tents, electricity, etc. [These items are not provided by the city]) Tent, table, chair

Insurance

All vendors must supply a certificate of insurance for product and premises insurance in the amount of \$1,000,000 in the aggregate naming the City of Kenosha as 'additional insured', unless all vendors are being insured as an umbrella under the organizer's.

Insurance Company Hanover Insurance Company
A copy of the policy must be provided to the Park Division prior to the event.

Signature

Vendor Signature  Date 1/27/15



Jan. 29, 2015

TO: Chairman Eric Haugaard, Public Works Committee

FROM: Mayor Bosman

RE: Wisconsin Marathon

Request: Jet Events is requesting of the Public Works Committee the use of Celebration Place for the Wisconsin Marathon to be held beginning at 7 a.m. Saturday, May 2, 2015. They also plan to have amplification of music at Celebration Place; and to sell fermented malt beverages.

Recommendation: To approve the use of Celebration Place for the Wisconsin Marathon on May 2, 2015.

Note: Once use of Celebration Place A is approved, the applicant can then apply to the city clerk's office for a beer permit.

**SPECIAL EVENT APPLICATION
CITY OF KENOSHA – PARK DIVISION**

Please note that this application does not guarantee approval of your event or equipment requested. The event will need the approval of the Board of Park Commissioners and/or the Superintendent of Parks .

EVENT ORGANIZATION INFORMATION

Name of Responsible Organization JET EVENTS

Contact Person who is responsible for event: Jonathan Cain

Address: 7842 Lincoln Ave, Suite 100

City/State/Zip Skokie, IL 60077

Daytime # 847-675-0200 x210 Evening # 847-767-4276 Cell# same

Fax # 847-675-2903 E-mail: jcain@mychicagoathlete.com

Is the Host Organization a 501(c)-3? Yes, provide ES# no

EVENT INFORMATION

Name of the Event: Wisconsin Marathon

Date Requested: May 2, 2015 Rain Date n/a

Location Requested: Celebration Park and surrounding streets Estimated Attendance 4,000 runners, 8,000 total

Charitable Event: No Yes, Proceeds donated to some money raised for local and regional charities

Brief Description of the Event: Marathon, half marathon, and 5k running event taking place on the city streets. Medals and awards for the runners. Community invited to run or spectate and enjoy our post-race party.

Set up date and time: May 1, 2015

Time of Event: Race starts at 7am. Last runner in at 1:30pm.

Take down date and time: May 2, 2015. 1:30pm to 3pm.

FOR OFFICE USE ONLY:

Application Packet Received 1-19-15 Admin. Or Commission Approval _____

Copies sent to: Alderperson _____ Dirk _____ Police _____

Fire: _____ PW Admin _____ PW-Streets: _____ Kris _____

**EQUIPMENT RENTAL REQUEST
CITY OF KENOSHA – PUBLIC WORKS/PARKS**

Name of Event Wisconsin Marathon

To assist you with your special event, the Public Works Department/Park Division does have equipment available for rent to your organization. The location of this equipment must be noted on the site and/or route plan you have attached to this application.

no Electric: Service varies by location. The organization may be
yes/no required to provide their own generators in order to supply the level of service required for their event.

no Water: Varies by location
yes/no

PARK DIVISION:

Various areas may already contain minimal equipment, please indicate the number of additional items you will need. DO NOT list "same as last year", Please also put a close accurate number in your request.

of Benches _____ # of Picnic Tables 32 # of extra trash containers _____
of Barricades _____ Any Bleachers 0 Any Reviewing Stands 0
Showmobile New 1 Old _____
Fencing: Snow Fencing # of feet 1300 Portable fencing - # of feet/sections 200'

Other Special Requests: _____

STREET CLOSURES: Contact Public Works at 653-4050 for any partial or full street closure

of Barricades _____ A map must be attached with the placement locations

of Parking Signs _____ Organization responsibility:

Approval must be received from the Public Works Department
The department will provide the organization with a sample of the sign that is to be posted.
It is the responsibility of the organization to have these signs printed in the form and color required
Organization is responsible to supply the stakes to attach the signs in the location approved.
Further information is in Item #14 of the procedures.

NOTE: The organization will be notified if equipment requested is available for the date of your event.

**TEMPORARY STRUCTURE
CITY OF KENOSHA - PARK DIVISION**

Please review Item #8 in the Policy/Procedure Manual

Name of Event Wisconsin Marathon

Park Requested Celebration Park Date of Event: 5-2-2015

**Structure location must be placed on site map.

Type of Temporary Structure

Tent

Staging

Trailers

Inflatables

Dunk Tank

Other, Please explain finish and start line structures

Vendor Information

(Name of Company and/or individual providing temporary structure)

Name of Company/Individual: top choice rentals and lakeshore athletic services

Work # 262-652-2717 Home # _____ Cell 847-673-4100

Insurance

All vendors that are supplying the organization with a temporary structure must supply a Certificate of Insurance for product and premises insurance in the amount of \$1,000,000 in the aggregate naming the City of Kenosha as 'additional insured', unless all vendors are being insured as an umbrella under the organizer's. Copy to be attached or sent to the Park Division 30 days prior to the event.

Insurance Company usa track and field

Signature

Vendor Signature jonathan cain

Digitally signed by Jonathan Cain
DN: cn=jonathan cain, o=jet events, ou,
email=jcain@mychicagoathlete.com, c=US
Date: 2015.01.16 15:44:51 -0800

Date 1-16-15

**PUBLIC AMPLIFICATION PERMIT APPLICATION
CITY OF KENOSHA – PARK DIVISION**

By ordinance, public amplification is not allowed in City Parks except by permission from the Board of Park Commissioners. Permission for amplification does not exempt a group from obeying Ordinance restrictions on the volume of sound. Please be considerate of park neighbors and other park users. When notifying the alderman and neighborhood association (if necessary) about your event, be sure to include detailed information about any plans you have for amplified sound.

Event Information:

Name of

Event Wisconsin Marathon

Location of Event: Celebration Park Date of Event 5-2-2015

Contact Person Jonathan Cain

Type of Amplified Sound

- DJ
- Sound System
- Speeches/Announcements
- Karaoke
- Other (please specify) live band

Requested time of amplification: Start: 6:30am Ending 2:00pm

Name of Company and/or Individual handling the amplification of the event:

Legend George

Daytime # _____ Evening # _____ Cell # 262-237-0047

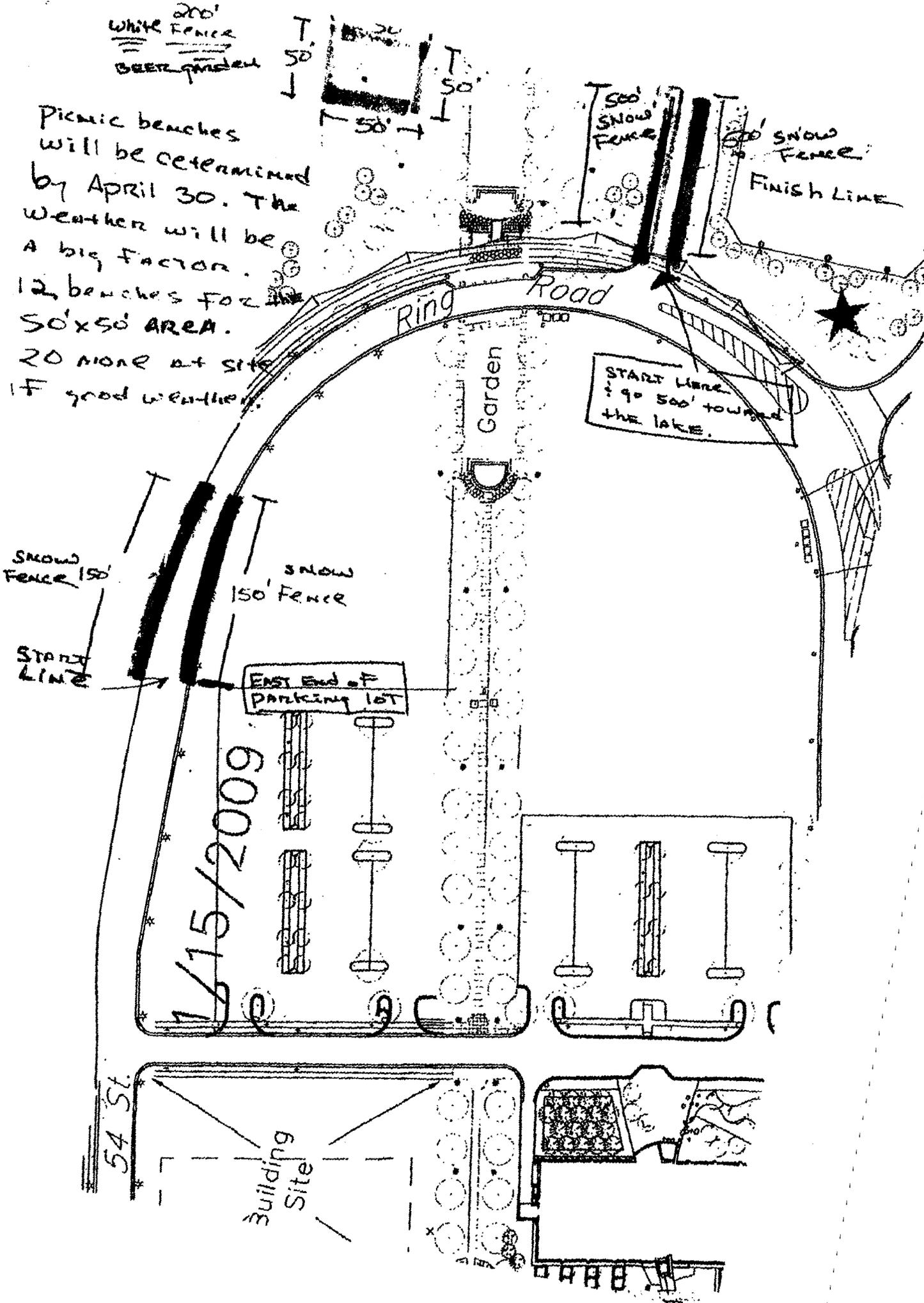
Aldersperson notification

Have you contacted the Aldersperson of the District in which the event will be held?

_____ Yes No Date: _____

See Attachment D1 for an excerpt of the Noise Ordinance or go to the City of Kenosha web site at www.kenosha.org and click on General Ordinances and review Section 23.

Picnic benches
will be determined
by April 30. The
weather will be
A big factor.
12 benches for
50'x50' AREA.
20 MORE AT SITE
IF good weather.





ENGINEERING DIVISION
SHELLY BILLINGSLEY, P.E.
CITY ENGINEER

PARK DIVISION
JEFF WARNOCK
SUPERINTENDENT

FLEET MAINTENANCE
SUPERINTENDENT

STREET DIVISION
JOHN H. PRIJIC
SUPERINTENDENT

WASTE DIVISION
ROCKY BEDNAR
SUPERINTENDENT

DEPARTMENT OF PUBLIC WORKS

MICHAEL M. LEMENS, P.E., DIRECTOR
SHELLY BILLINGSLEY, P.E., DEPUTY DIRECTOR

MUNICIPAL BUILDING · 625 - 52ND ST · RM 305 · KENOSHA, WI 53140
TELEPHONE (262) 653-4050 · FAX (262) 653-4056
EMAIL PUBLICWORKS@KENOSHA.ORG

January 23, 2015

To: Scott N. Gordon, Chairman, Park Commission
Eric J. Haugaard, Chairman, Public Works Committee

From: Shelly Billingsley, P.E. *Shelly Billingsley* ^{CMA} ₁₋₂₃₋₁₅
Deputy Director of Public Works / City Engineer

Subject: Project: 12-1422 Poerio Park Trail Development Construction
Location: 1401 16th Avenue

The Department of Public Works, Engineering Division has opened bids for the above referenced project. Engineer's Estimate was \$115,000.00. Budget amount is \$210,000.00.

This project consists of installation of both composite boardwalk structure and composite bridge spans (Alternate 1 replaces treated lumber with extruded plastic decking) and restoration. Connecting paths will be completed after install by city crews.

Following is the list of bidders:

Contractor	Base Bid	Alternate 1	Total
NuGen Johnson, LLC, Sussex, WI	\$69,410.00	\$14,901.60	\$84,311.60

It is recommended that this contract be awarded to NuGen Johnson, LLC (Sussex, Wisconsin) for the base bid amount of \$69,410.00 plus \$14,901.60 for Alternate 1 for a total of \$84,311.60; plus \$10,688.40.00 in contingency for unforeseen conditions (if needed), for total award amount of \$95,000.00. Funding is from CIP Line Item PK-11-001.

SAB/kjb



ENGINEERING DIVISION
 SHELLY BILLINGSLEY, P.E.
 CITY ENGINEER
 PARK DIVISION
 JEFF WARNOCK
 SUPERINTENDENT
 FLEET MAINTENANCE
 SUPERINTENDENT

STREET DIVISION
 JOHN H. PRIJIC
 SUPERINTENDENT
 WASTE DIVISION
 ROCKY BEDNAR
 SUPERINTENDENT

DEPARTMENT OF PUBLIC WORKS
 MICHAEL M. LEMENS, P.E., DIRECTOR
 SHELLY BILLINGSLEY, P.E., DEPUTY DIRECTOR

MUNICIPAL BUILDING · 625 - 52ND ST · RM 305 · KENOSHA, WI 53140
 TELEPHONE (262) 653-4050 · FAX (262) 653-4056
 EMAIL PUBLICWORKS@KENOSHA.ORG

January 23, 2015

To: Scott N. Gordon, Chairman, Park Commission
 Eric J. Haugaard, Chairman, Public Works Committee

From: Shelly Billingsley, P.E. *Shelly Billingsley* ^{CMA} ₁₋₂₃₋₁₅
 Deputy Director of Public Works / City Engineer

Subject: Project: 14-1424 Southport Beach House Roof Replacement Rebid
 Location: 7825 1st Avenue

The Department of Public Works, Engineering Division has opened bids for the above referenced project. Engineer's Estimate was \$375,000.00. Budget amount is \$384,000.00.

This project consists of: Base Bid – copper standing seam; Alternate 1 – Stateline asphalt, shingles, modified bitumen, four chimney restorations and masonry work; Alternate 4 – salvaged, reclaimed, new slate tiles for three west facing areas.

Following is the list of bidders:

Contractor	Base Bid	Alternate 1	Alternate 4	Total
Carlson Racine Roofing, Racine, WI	\$45,000.00	\$210,000.00	\$20,000.00	\$275,000.00
Langer Roofing, Milwaukee, WI	\$90,580.00	\$370,350.00	\$63,750.00	\$709,000.00
Kaschak Roofing, Milwaukee, WI	\$94,000.00	\$420,000.00	\$195,000.00	\$709,000.00

At the December 8, 2014 Park Commission meeting staff presented an informational item regarding the bids for the Southport Beach House Roof Replacement. Due to funding staff is recommending awarding option 1 as presented at the meeting.

It is recommended that this contract be awarded to Carlson Racine Roofing & Sheet Metal, Inc., (Racine, Wisconsin) for the base bid amount of \$45,000.00 plus \$210,000.00 for Alternate 1 plus \$20,00.00 for Alternate 4 for a total of \$275,000.00; plus \$41,000.00 in contingency for unforeseen conditions (if needed), for total award amount of \$316,000.00. Funding is from CIP Line Item PK-13-002.

SAB/kjb



ENGINEERING DIVISION
SHELLY BILLINGSLEY, P.E.
CITY ENGINEER

PARK DIVISION
JEFF WARNOCK
SUPERINTENDENT

FLEET MAINTENANCE
MAURO LENCI
SUPERINTENDENT

STREET DIVISION
JOHN H. PRIJIC
SUPERINTENDENT

WASTE DIVISION
ROCKY BEDNAR
SUPERINTENDENT

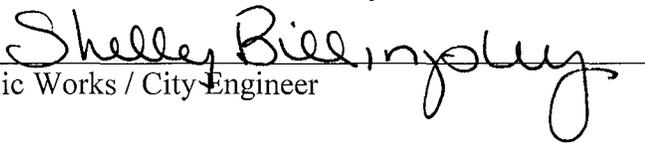
DEPARTMENT OF PUBLIC WORKS

MICHAEL M. LEMENS, P.E., DIRECTOR
SHELLY BILLINGSLEY, P.E., DEPUTY DIRECTOR

MUNICIPAL BUILDING · 625 - 52ND ST · RM 305 · KENOSHA, WI 53140
TELEPHONE (262) 653-4050 · FAX (262) 653-4056
EMAIL PUBLICWORKS@KENOSHA.ORG

January 29, 2015

To: Eric Haugaard, Chairman
Public Works Committee

From: Shelly Billingsley, P.E. 
Deputy Director of Public Works / City Engineer

CC: Steve Bostrom
District 12

Park Commissioners

Mayor and Council Members

Subject: ***Southport Beachhouse Roof Evaluation – Additional Information***

BACKGROUND INFORMATION

Staff developed a Timeline for the Southport Beach House work that has been performed since 2011 which was handed out at the January 26, 2015 Park Commission Meeting to all Park Commissioners. The item printed in red has been added to the timeline since the January 26th meeting and a date revision was applied to the State Historical Review Documents please refer to ***Attachment #1***.

Since the Park Commission meeting Staff was contacted by Local Historic Society Representative Mike Maki to include the Local Historic Society determination as part of the Additional Information packet. Therefore the Memo that was received by Public Works staff is included in this packet and is numbered ***Attachment #6***. This information is also part of the roof timeline below:

Staff would also like to submit the Roofing Evaluations that were completed on the Roof:

Attachment #2: IRS Roof Condition Preliminary Analysis – This was performed by a Roofing Consultant. A roof consultant does not install roofs as their purpose is to be a third party that designs a roof. Therefore they have little to gain from the type of roof that is installed.

Attachment #3: IRS Contract for Phase II which was development of plans and specifications.

Attachment #4: Plans developed for the roof that was submitted to the State Historic Society including the submittals of information from submittal to approval.

Attachment #5: Initial Bid Form prior to Local Historic Society Recommendations.

Attachment #6: Local Historic Society Recommendations (Note: Millen is not a roofing consultant but a contractor and according to the Local Historic Society Recommendations Millen would perform a roof inspection and report at no cost).

Attachment #7a and #7b: Per recommendations Staff contacted two roof Contractors (not consultants) which were Cicero and Millen to perform an inspection and provide a written report. Staff requested that the inspection include items such as the following: Overall condition, condition of slate (estimate of what is good, reusable and unsalvageable), a cost estimate of yearly maintenance if existing slate was maintained and description of maintenance, replacement of slate the rough cost estimate for replacing slate by specific areas. There are two attachments 7a is Cicero's response and 7b is Millen's response.

Attachment #8: IRS Specific Slate Evaluation. Staff requested that IRS add to their initial Roof Condition Preliminary Analysis to more specifically address the slate condition.

Attachment #9: Revised plans, bid form and Addendums issued from beginning of advertisement of project until bid opening. This attachment also includes the sign in forms for the attendance of a Mandatory Pre-Bid Meeting.

Attachment #10: Photo of some of the roofing areas that are of major concern.

Attachment #11: Bid Tab from bid opening

Attachment #12: Park Commission informational packet regarding summary of Bid Tab.

Attachment #13: IRS Website Profile (www.irsroof.com)

Attachment #14: Millen Website Profile (www.millenroofing.com)

SOUTHPORT BEACH HOUSE TIMELINE

- Applied for a Wisconsin Coastal Management Grant in 04/2011
- Wind storm 06/30/2011
- City was awarded WI CMG on 08/30/2011 for \$15,000
- RFPs sent out for 4 tasks in October 2011
 - Task 1: Reconstruct North Parapet wall (lost in wind storm 06/30/2011)
 - Task 2: Engineering door north court yard
 - Task 3: Misc. brick areas over door walkways
 - Task 4: Total building tuck pointing
- Engberg Anderson chosen for evaluation contract
 - Contract awarded on 01/20/2012 for \$34,730.00 (plus contingency of \$5,170 bringing the total award to \$39,900) for above 4 Tasks
- Engberg Anderson's findings from analysis presented to Park Commission on 05/29/2012 to explain the building evaluation (*Masonry Condition Assessment*)
- Engberg Anderson utilized Bukacek Construction for cost estimate on the items in their scope of work – Estimate dated 07/12/2012 based on Tasks 1-4 above
- 07/24/2012 IRS performed Roof evaluation on 07/24/2012 (no cost) – “Phase I”
- Master Plan process task order (with SAA Design Group) approved 08/27/2012
- Amended Wisconsin Coastal Management Grant to include Master Plan and extended grant through the end of 06/2013
- Master Plan adopted 06/03/2013
- Engberg Anderson asked to perform additional tasks and amended original PO to add 4 more tasks:
 - Task 5: Window Replacement
 - Task 6: Phased Bidding and Construction for Tasks 1-4
 - Task 7: Investigation of cracks in masonry
 - Task 8: Investigation of condition of inner wythes of masonry and material to be used
- Engberg Anderson PO amended additional \$25,100 (signed 08/06/2013, PO created 08/20/2013) for Tasks 5-8
- US Heritage Group hired to help Engberg Anderson complete Task 8 which included the following:
 - Mortar sample collection and analysis
 - Brick removal test panel for condition assessment and engineering evaluation
 - Masonry paint/coating removal evaluation
- US Heritage Group PO \$15,000 (signed 08/06/2013, PO created 08/20/2013)
- US Heritage Group sent the City their report based on the above Task 8 on 09/13/2013
- Engberg Anderson sent the City a letter of prioritized projects based on their scope of work dated 10/22/2013
- IRS was hired to create plans and specifications for roof repair - “Phase II” – Signed 12/02/2013 and PO Created 01/13/2014 based on Roof Evaluation from “Phase I”
- **Engberg Anderson submitted plans and specifications for both building and roof projects (plans and specs from IRS) to the State Historical Society on 02/21/2014**

- IRS (roof) and Engberg Anderson (building tasks identified 1-8) simultaneously submitted **explanations on the** plans and specs to the State Historic Society **on April 05/19/2014 based on the 04/21/2014 State review letter.**
- Park Division installed temporary shoring to support some recommendations to building – mostly in the north courtyard
- City applied for Local Historic Society review on the Roof Replacement on 08/11/2014
- Roof replacement project bid opening #1 was 08/20/2014 – yielded no bids
- Local Historic Society review the Roof Replacement project on 09/15/2014 and made a motion to reject the recommendation and to request that the City contact professionals who are capable and knowledgeable of slate roofs to evaluate the roof, and for the City to study alternatives to repair the slate roof. It was recommended that Millen Roofing be utilized as they would not charge the City for their service.
- Roof replacement project bid opening #2 was supposed to be 09/24/2014 but staff received a request from the Local Historic Society (see above) to get additional evaluations on the roof, therefore the bid opening was delayed until 11/05/2014.
- Staff contacted additional contractors to evaluate the roof
 - Cicero Roofing - no cost
 - Millen Roofing - \$780
- IRS freely submitted a slate analysis and photographs on 11/07/2014 at no cost
- See attached for Cicero Roofing evaluation completed on 11/03/2013

IRS**Industrial Roofing Services, Inc.**

13000 West Silver Spring Drive
 Butler, Wisconsin 53007
 Phone: (262) 432-0500
 Fax: (262) 432-0504
 www.irsroof.com

July 29, 2012

Mr. Michael Lemens, Director of Engineering
 City of Kenosha
 625 52nd Street, Room 305
 Kenosha, Wisconsin 5140

Subject: Southport Beach House
 Kenosha Wisconsin
 IRS Job No. 14370

Dear Mr. Lemens:

In accordance with Phase 1 of our proposal for the above referenced project, enclosed please find an existing roof analysis and potential scope of work. Please refer to the website for a roof plan of the facility to provide you with a visual reference of the Roof Areas discussed.

Steep sloped roof areas

These roof areas currently have one (1) roof system installed. The roof structure consists of wood dimensional lumber rafters supported by masonry walls. The roof deck consists of 1" x 6" (nominal) wood tongue and groove dimensional lumber roof deck structurally sloped to gutter and downspout systems in select locations and to eave run-off in others. Surface water is discharged from the gutter and downspout systems to the storm water sewer system in select locations and at grade in other locations. These roof areas encompass approximately 6,873 square feet of roof surface and 260 lineal feet of perimeter.

The existing roof system consists of a cellulose fiber building paper shingle underlayment mechanically attached to the wood deck substrate. A slate roof system incorporating copper flashings was constructed in place over the installed underlayment sheet. Prefinished architectural steel gutter and downspout systems have been retrofitted into the roof system.

Low slope roof area

The roof area currently has one (1) roof system installed. The roof structure consists of wood dimensional lumber rafters supported by masonry walls. The roof deck consists of 1" x 6" (nominal) wood tongue and groove dimensional lumber roof deck structurally sloped to a gutter and downspout system. Surface water is discharged from the gutter system for dispersion at grade. This roof area encompasses approximately 527 square feet of roof surface and 31 lineal feet of perimeter.

The existing roof system consists of a low-slope roof system constructed in place over the roof deck.

Copper architectural standing seam metal roof areas

These roof areas currently have one (1) roof system installed. The roof structure consists of wood dimensional lumber rafters supported by masonry walls. The roof deck consists of 1" x 6" (nominal) wood tongue and groove dimensional lumber roof deck is structurally sloped to gutter and downspout systems at select locations and to eave run-off in others. Surface water is discharged from the gutter and downspout systems to the storm water sewer system in select locations and at grade in other locations. These roof areas encompass approximately 1,172 square feet of roof surface and 140 lineal feet of perimeter.

Mr. Lemens
July 29, 2012
Page 2

The existing roof systems consist of copper architectural standing seam metal roofs constructed in place over the roof decks.

Roof Systems

The most suitable and cost effective roof replacement options based upon service life are as follows:

Steep sloped roof areas

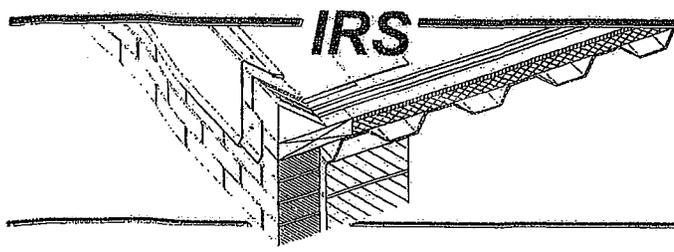
The existing roof systems would be removed down to the existing wood roof deck substrates. All deteriorated and damaged roof deck would be replaced. Atop the prepared wood roof deck substrate, leak barrier membrane would be installed at all eaves/gutters, perimeters and penetrations. Atop the leak barrier and roof deck; shingle underlayment would then be mechanically attached. An architectural laminate asphalt shingle system, providing a slate appearance, would be installed atop the prepared substrate. The perimeter and projection flashings will be detailed in accordance with manufacturer's specifications. The new steep sloped roof systems would incorporate 16 ounce copper architectural sheet metal flashings and reuse the existing prefinished steel gutter and downspout system. The completed roof systems will attain UL Class "A" fire ratings; and have anticipated lives of forty (40) years.

Low slope roof area

The existing roof system would be removed down to the existing wood roof deck substrate. All deteriorated and damaged roof deck would be replaced. Atop the prepared wood roof deck substrate, a fully adhered EPDM (ethylene-propylene-diene-monomer) single-ply roof system would be installed. The perimeter and projection flashings will be detailed in accordance with manufacturer's specifications. The new low sloped roof system would incorporate 16 ounce copper architectural sheet metal flashings and reuse the existing prefinished steel gutter and downspout system. The completed roof system will attain a UL Class "A" fire rating; and have an anticipated life of twenty-five (25) years.

Copper architectural standing seam metal roof areas

The existing roof systems would be removed down to the existing wood roof deck substrate. All deteriorated and damaged roof deck would be replaced. Atop the prepared wood roof deck substrate, a leak barrier membrane would be installed. An additional layer of leak barrier membrane would be installed at all perimeters and penetrations. A 16 ounce copper architectural standing seam metal roof system would be installed atop the leak barrier. The perimeter and projection flashings will be detailed in accordance with SMACNA specifications. The completed roof systems will have an anticipated life of sixty (60) years.



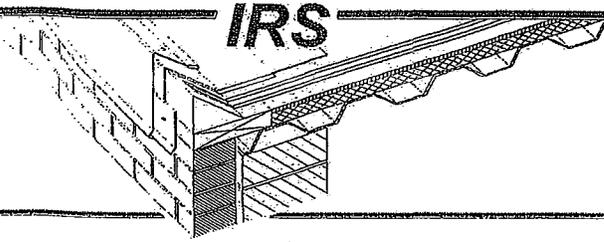
Industrial Roofing Services, Inc.
13000 West Silver Spring Drive
Butler, Wisconsin 53007
Phone: (262) 432-0500
Fax: (262) 432-0504
www.irsroof.com

Proposal for
ROOF SPECIFICATIONS
for
SOUTHPORT BEACH HOUSE
7825 3rd Avenue
Kenosha, Wisconsin

Submitted by
BUTCH WINTERFELDT

Prepared for
Mr. Michael Lemens
City of Kenosha
625 52nd St.
Kenosha, WI 53140

October 30, 2013



Industrial Roofing Services, Inc.

13000 West Silver Spring Drive
Butler, Wisconsin 53007
Phone: (262) 432-0500
Fax: (262) 432-0504
www.irsroof.com

October 30, 2013

Mr. Michael Lemens
City of Kenosha
625 52nd St.
Kenosha, WI 53140

Subject: Proposal for Roof System Analysis & Design, Project Document Development, and Project Administration for Southport Beach House, located at 7825 3rd Avenue in Kenosha, Wisconsin

Dear Mr. Lemens:

Industrial Roofing Services, Inc. is pleased to submit the following proposal for roof system analysis, design, and project administration. This service allows you to select and install a roof system(s) meeting your requirements at a competitive price.

IRS shall provide all services necessary to furnish the following:

PHASE I: Roof System Analysis and Selection

Existing Roof Analysis: IRS will perform a complete roof analysis to determine the required scope of work. This will include core cuts to determine existing construction, analysis of existing drainage and the gathering of information to create accurate flashing details. This pre-design survey may include moisture surveys, additional core cuts, environmental analysis, etc.

Establish Roof System Scope of Work: IRS will develop potential roof system options and assist you in their review in order to determine the scope of work that best reflects your needs and available funding, including any additional work deemed necessary. Accurate budget figures will then be established to reflect the agreed upon scope of work.

Mr. Lemens
October 30, 2013
Page 2

PHASE II: System Design

Bidding Documents: IRS will develop a detailed specification package for the purpose of securing competitive bids on the selected roof system(s). Detailed perimeter and projection drawings are provided to eliminate questions regarding the intent of the design. All IRS specifications are written and designed to ensure a manufacturer's warranty and a competitive bidding situation among contractors and material manufacturers. Our fees include three sets of plans and specifications for the Owner.

Contractor Selection: IRS will assist you in selecting a group of contractors qualified in the installation of the specified roof system(s) to create a competitive bidding environment.

Pre-Bid Conference: IRS will conduct a pre-bid meeting to review the project specifications and pertinent site conditions with the prospective contractors and a representative of the owner. This meeting ensures a thorough understanding of the project specifications by everyone involved.

Bid Analysis: IRS will assist you in the evaluation of the bids.

PHASE III: Project Administration

Contract Award: IRS will perform necessary contract services: review of submittals for compliance with the bidding documents, review and approval of design changes, change orders, unit price requests, and applications for payment with retainages and lien waivers.

Pre-Construction Meeting: IRS will conduct a meeting with the contractor's foreman and a representative of the owner to review the project specifications and job site conditions. This meeting ensures clarification and resolution of any questions prior to the start of work.

Job Progress Observations: IRS will conduct one site visit every five work days, as well as additional visits when necessary due to unanticipated conditions such as, deteriorated roof deck, etc.

- ◆ Any additional site visits necessary as a result of contractor workmanship concerns will be conducted on an agreed-upon frequency and billed in accordance with IRS's current fee schedule.

Final Approval: IRS will conduct a final review of the project to ensure completed work and job site conditions are acceptable prior to approving the final application for payment. This is not in lieu of the manufacturer's warranty inspection.

Continuing Service: IRS will act as liaison between City of Kenosha, the contractor, and the roof system manufacturer regarding all warranty questions during the warranty period.

Mr. Lemens
October 30, 2013
Page 3

FEES

Industrial Roofing Services, Inc. shall provide the above-described services for Seven Percent (7%) of the lowest responsible bid received (\$2,500.00 minimum fee). Core samples will be tested for asbestos-containing roofing materials (ACRMs) for an additional charge of thirty five dollars (\$35.00) per sample; a maximum of two samples will be tested for each roof area involved in the project. Our fees shall be invoiced during each phase of the project as follows:

- Phase I: 20% of the fees based on budget provided for agreed upon scope of work.
- Phase II: 40% of the fees based on accepted contract amount; to be adjusted if contract amount is less than budget amount.
- Phase III: 40% of the fees based on final contract amount.

AUTHORIZATION

To acknowledge acceptance of this proposal, please return a signed copy of the Authorization page with any paperwork (i.e. purchase order) to our corporate headquarters:

Industrial Roofing Services, Inc.
13000 West Silver Spring Drive
Butler, WI 53007
Fax: (262) 432-0504

Upon receipt of a purchase order or signed copy of the proposal we will enter the project in our system and schedule the work.

Should you have any questions regarding this proposal, please do not hesitate to call. We appreciate this opportunity and look forward to working with you on this project.

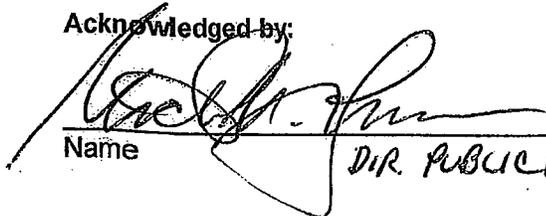
Sincerely yours,
INDUSTRIAL ROOFING SERVICES, INC.

Butch Winterfeldt

Butch Winterfeldt
Manager, Business Development

akp

Acknowledged by:


 Name Dir. PUBLIC WORKS Title

Date: 12-2-13

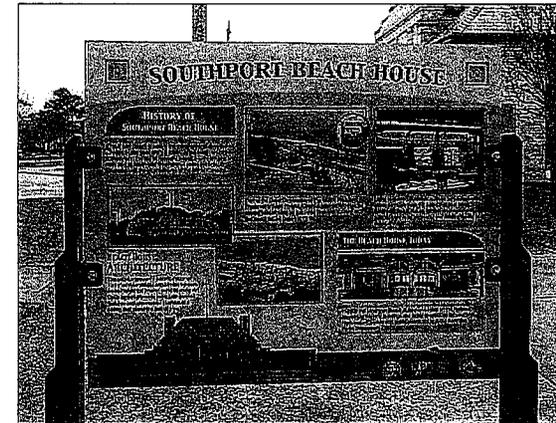
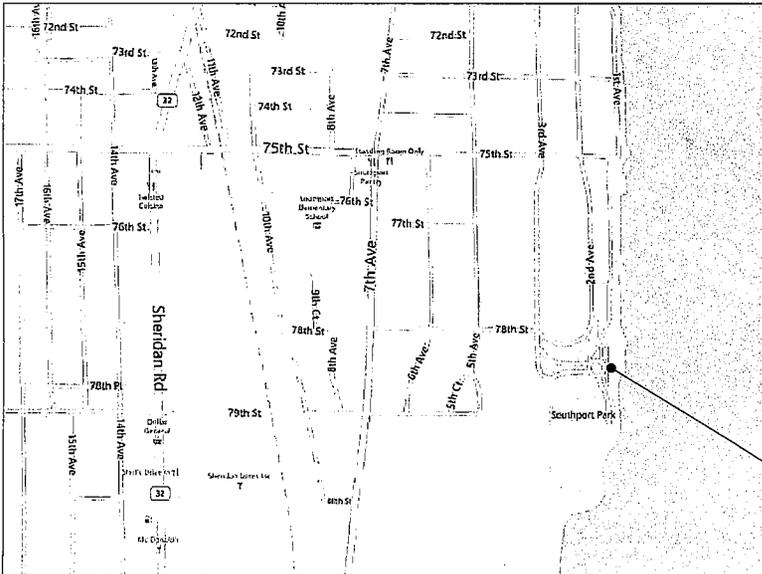


PROJECT: SOUTHPORT BEACH HOUSE
7825 3RD AVE
KENOSHA, WI 53143

OWNER: CITY OF KENOSHA- DPW
625 52nd ST - ROOM 305
KENOSHA, WI 53140

CONSULTANT: INDUSTRIAL ROOFING SERVICES
13000 WEST SILVER SPRING DRIVE
BUTLER, WISCONSIN 53007
(262) 432-0500

IRS JOB #: 15055



7825 3RD AVE

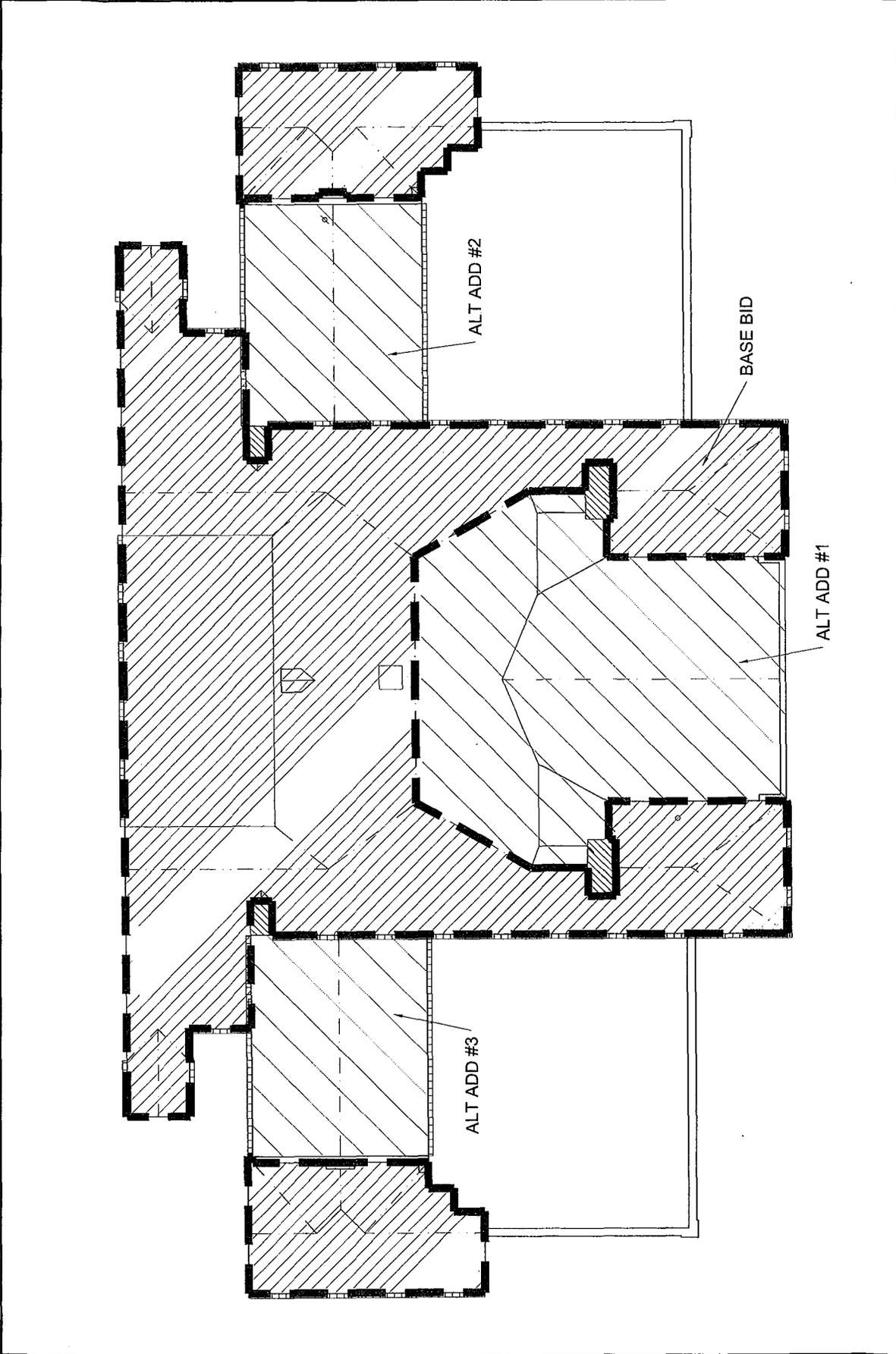
SHEET INDEX

- A1 - ROOF REPAIR SPECIFICATION
- A2 - ROOF DETAIL REFERENCE SHEET
- A3 - ROOF DETAIL REFERENCE SHEET
- A4 - ROOF DETAIL REFERENCE SHEET
- A5 - ROOF DETAILS 1-4
- A6 - ROOF DETAILS 5-8
- A7 - ROOF DETAILS 9-12
- A8 - ROOF DETAILS 13-16
- A9 - ROOF DETAILS 17-20
- A10 - ROOF DETAILS 21-24
- A11 - ROOF DETAILS 25-28
- A12 - ROOF DETAILS 29-32
- A13 - ROOF DETAILS 33-36
- A14 - ROOF TYPICALS 1-4
- A15 - ROOF TYPICALS 5,6

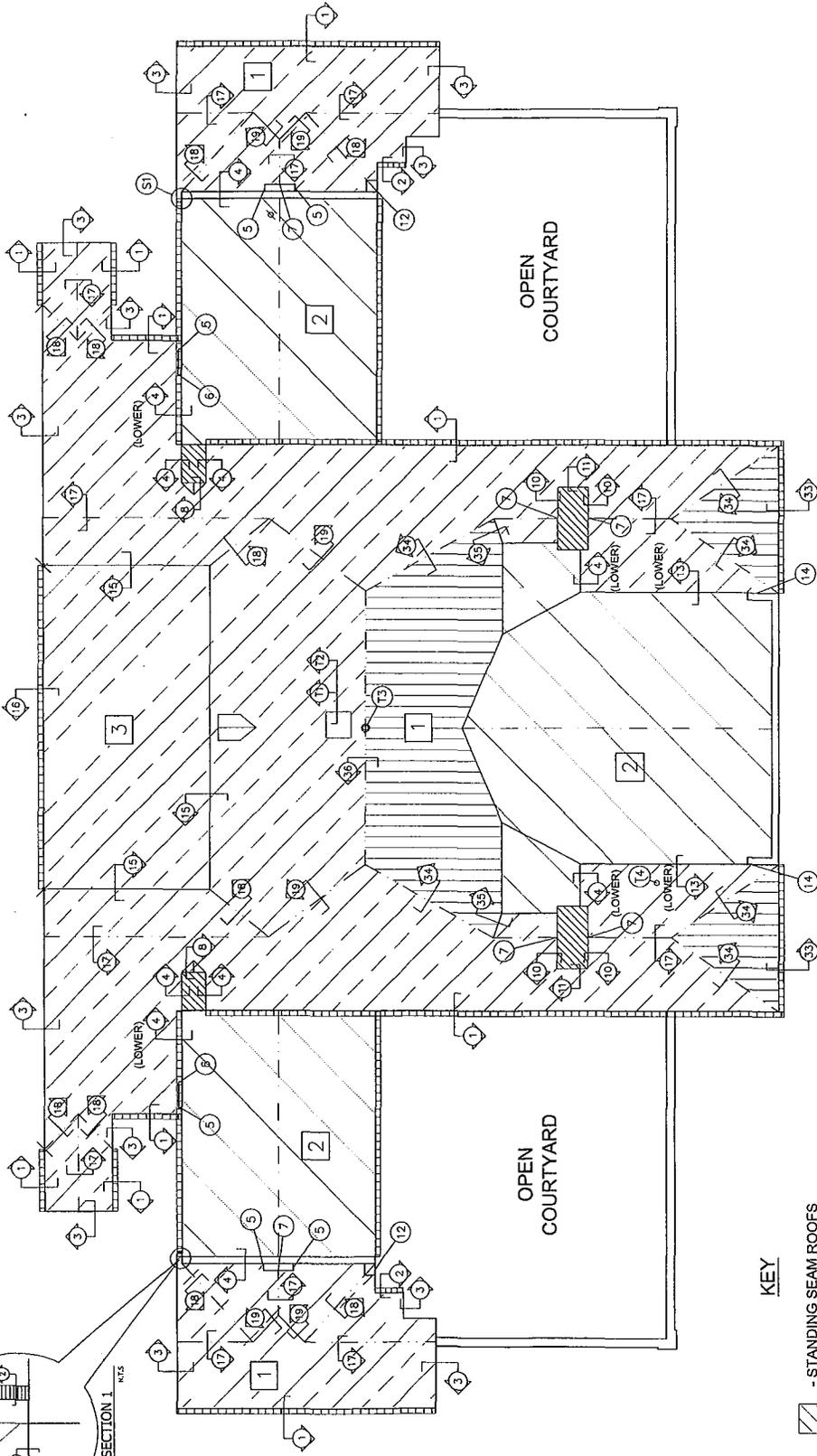
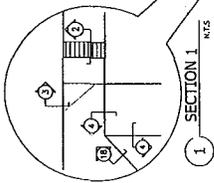
IRS
INDUSTRIAL ROOFING SERVICES, INC.
13000 WEST SILVER SPRING DRIVE - BUTLER, WI 53007
PHONE: (800) 236-3477 / (262) 432-0500 FAX: (262) 432-0504

PROJECT NAME:	CITY OF KENOSHA 7825 3RD AVE- KENOSHA, WI SOUTHPORT BEACH HOUSE	DRAWN BY:	ASE	DATE:	7/30/2014	RSI SPEC NO.:	10000	NORTH ARROW:	
TITLE:	COVER PAGE	SCALE:	N.T.S.	DRAWING:	CO	NOTES DIMENSIONS ARE FOR BIDDING PURPOSES ONLY. CONTRACTOR IS TO FIELD VERIFY ALL DIMENSIONS PRIOR TO ORDERING AND INSTALLING PRODUCTS.			

h#



<p>INDUSTRIAL ROOFING SERVICES, INC. 10000 W. 10th Street, Suite 100 Overland Park, KS 66204 Phone: (913) 666-1111 Fax: (913) 666-1112 Email: info@irs-roofing.com</p>	<p>PROJECT NAME: CITY OF JONSON 7202 SOUTHWEST BEACH HOUSE TITLE: ROOF REPAIR SPECIFICATION</p>	<p>OWNER: CITY OF JONSON DATE: 7/2/2014 DRAWN BY: JLS PROJECT NO: 11</p>	<p>DATE: 7/2/2014 SCALE: AS SHOWN PROJECT NO: 11</p>	<p>PROJECT NO: 11 SHEET NO: 11 TOTAL SHEETS: 11</p>	<p>NOTES: 1. SEE ALL NOTES ON ALL SHEETS. 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND DRAWINGS. 3. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT. 4. ALL WORK SHALL BE COMPLETED BY THE DATE SPECIFIED. 5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF JONSON SPECIFICATIONS.</p>
	<p>INDUSTRIAL ROOFING SERVICES, INC. is an Equal Opportunity Employer. Minorities and women are encouraged to apply.</p>				

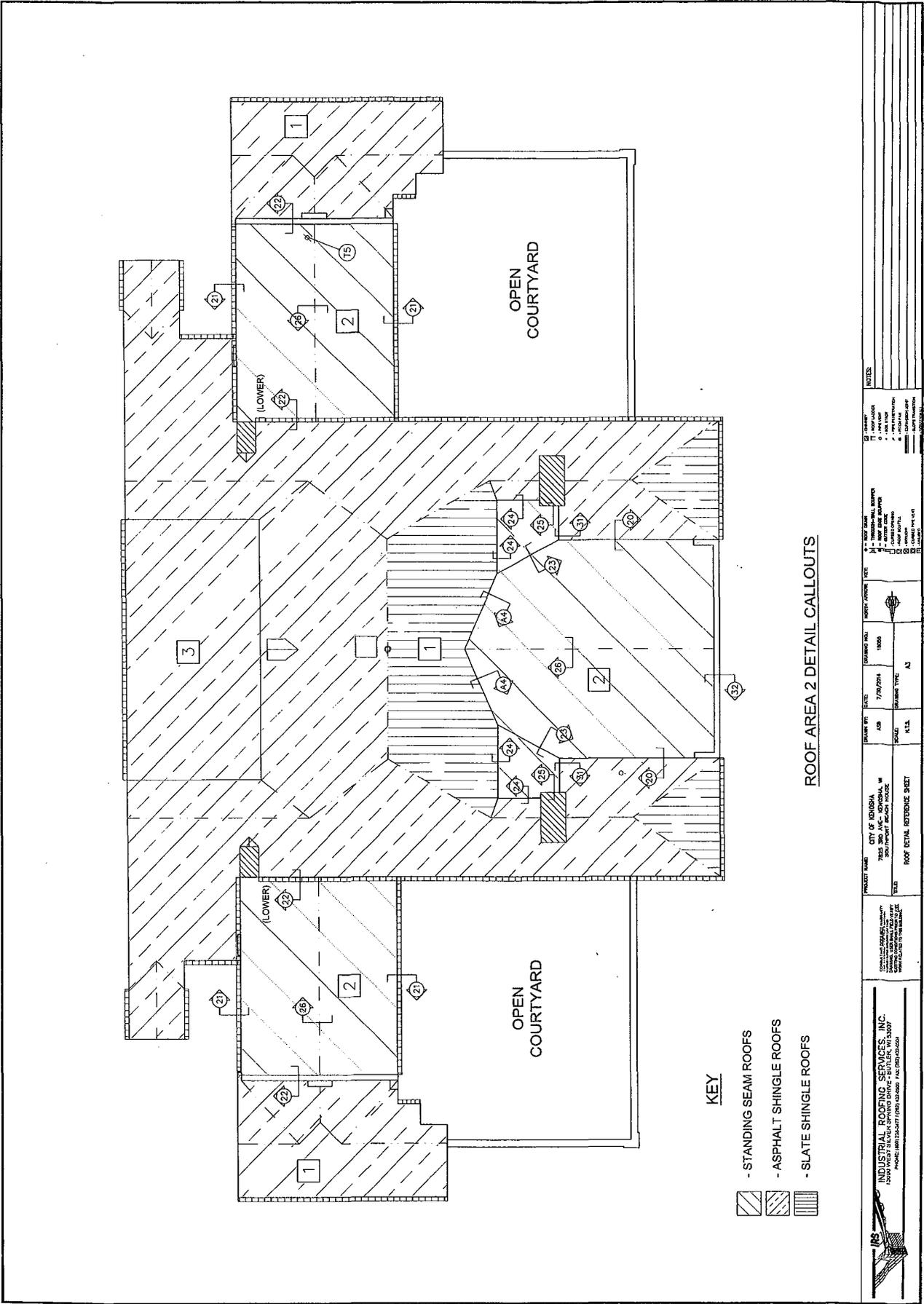


KEY

-  - STANDING SEAM ROOFS
-  - ASPHALT SHINGLE ROOFS
-  - SLATE SHINGLE ROOFS

ROOF AREAS 1 & 3 DETAIL CALLOUTS

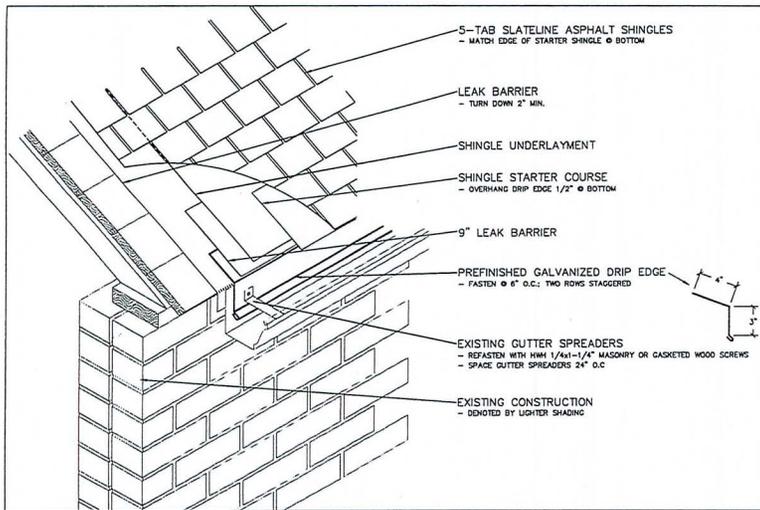
	INDUSTRIAL ROOFING SERVICES, INC. 1300A WEST SILVER SPRING DRIVE - BUTLER, WI 53007 PHONE: 262-335-4477 FAX: 262-335-4554		PROJECT NAME: CITY OF INDIANAPOLIS 7325 3RD AVE. - INDIANAPOLIS, IN SCARLETT BEACH HOUSE	DRAWING NO.: ASB DATE: 7/27/2014 SCALE: AS SHOWN	SHEET NUMBER: 10000 SHEET TITLE: ROOF DETAIL	NORTH ARROW:	NOTES:
	CONTRACTOR: INDUSTRIAL ROOFING SERVICES, INC. PROJECT MANAGER: JAMES W. HARRIS DESIGNER: JAMES W. HARRIS CHECKER: JAMES W. HARRIS DATE: 7/27/2014		CLIENT: CITY OF INDIANAPOLIS PROJECT MANAGER: JAMES W. HARRIS	DRAWING NO.: ASB DATE: 7/27/2014 SCALE: AS SHOWN	SHEET NUMBER: 10000 SHEET TITLE: ROOF DETAIL	NORTH ARROW:	NOTES:



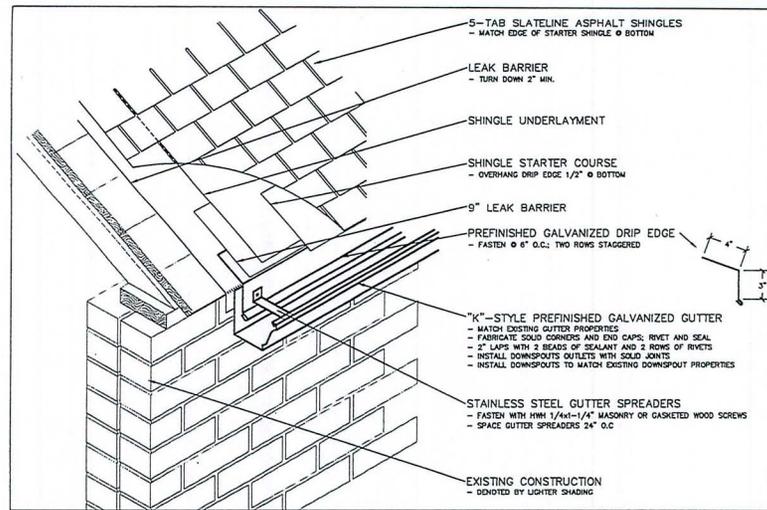
ROOF AREA 2 DETAIL CALLOUTS

- KEY**
- STANDING SEAM ROOFS
 - ASPHALT SHINGLE ROOFS
 - SLATE SHINGLE ROOFS

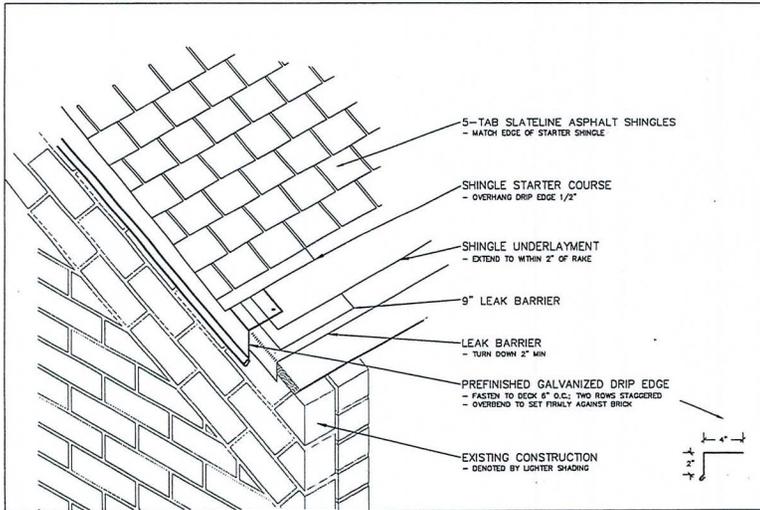
<p>INDUSTRIAL ROOFING SERVICES, INC. 1300 WEST SILVER SPRING DRIVE • BUTLER, WI 53007 PH: 262-338-1100 FAX: 262-338-1101 WWW.INDUSTRIALROOFING.COM</p>	<p>PROJECT NAME: CITY OF KENOSHA 7525 3RD AVE. • KENOSHA, WI 53142 300 WESTPORT BLDG. ROOFS</p>	<p>DATE: 7/27/2014 JOB: KLS SCALE: AS SHOWN</p>	<p>DESIGNED BY: KLS DRAWN BY: AS</p>	<p>DATE: 7/27/2014 JOB: KLS SCALE: AS SHOWN</p>	<p>PROJECT NO: 14-001</p>
	<p>TITLE: ROOF DETAIL REFERENCE SHEET</p>	<p>DATE: 7/27/2014 JOB: KLS SCALE: AS SHOWN</p>	<p>DESIGNED BY: KLS DRAWN BY: AS</p>	<p>DATE: 7/27/2014 JOB: KLS SCALE: AS SHOWN</p>	<p>PROJECT NO: 14-001</p>
<p>NOTES:</p> <ul style="list-style-type: none"> 1. REFER TO ARCHITECTURAL DRAWINGS FOR ALL OTHER NOTES. 2. ALL ROOFING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. 3. ALL ROOFING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. 4. ALL ROOFING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. 5. ALL ROOFING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. 					



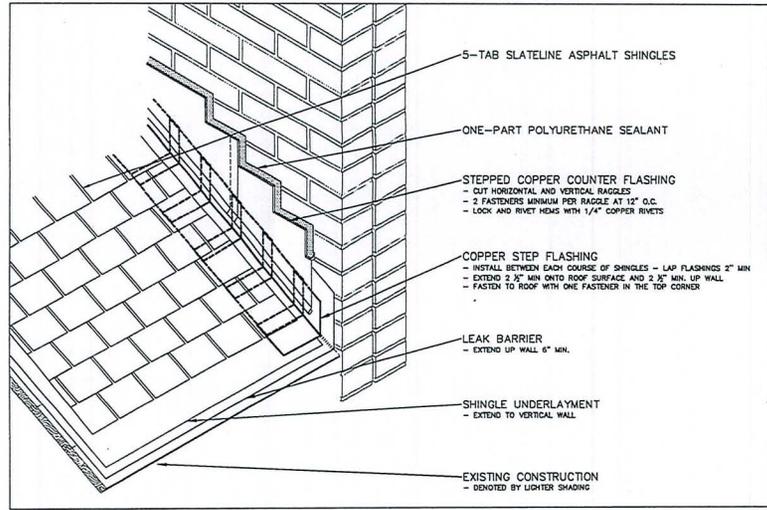
DETAIL 1: EAVE
NOT TO SCALE



DETAIL 2: EAVE WITH GUTTER
NOT TO SCALE



DETAIL 3: RAKE
NOT TO SCALE



DETAIL 4: SIDEWALL
NOT TO SCALE

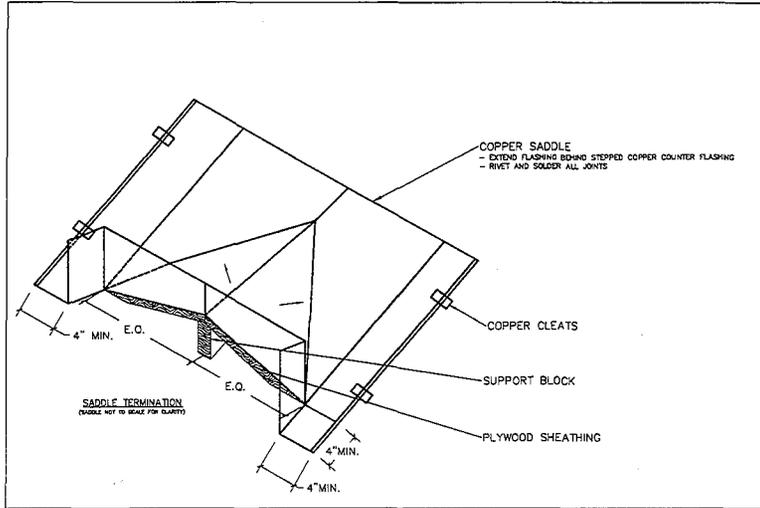
IRS
INDUSTRIAL ROOFING SERVICES, INC.
13000 WEST SILVER SPRING DRIVE - BUTLER, WI 53007
PHONE: (262) 226-9177 (262) 432-0200 FAX: (262) 432-0204

CONSULT THE LOCAL BUILDING DEPARTMENT FOR THE ACCURACY OF THIS DRAWING. CONSULT WITH THE ENGINEER FOR ANY CHANGES TO THE WORK. ALL RIGHTS RESERVED TO THE DRAWER.

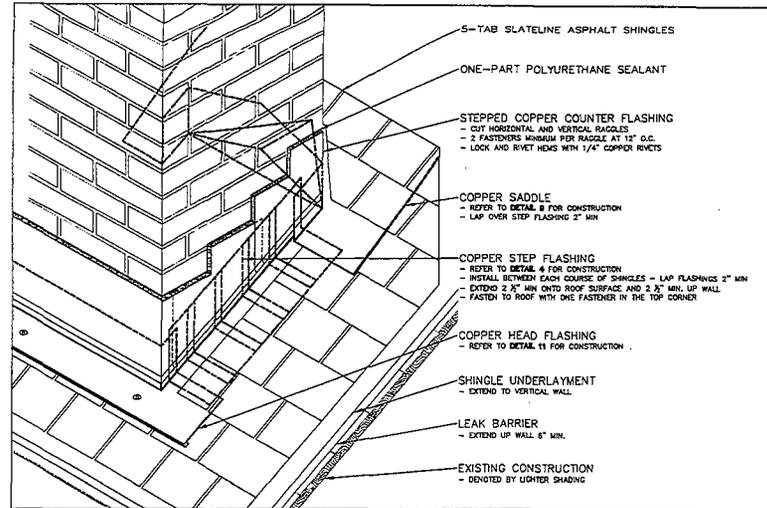
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	7825 3RD AVE - KENOSHA, WI	ASB			
TITLE:	SOUTHPORT BEACH HOUSE	SCALE:		DRAWING TYPE:	AS
	ROOF REPAIR DETAILS	M.T.A.			

KEY:	<ul style="list-style-type: none"> ☐ - ROOF DRAIN ☐ - DRAINAGE-HALL SCUPPER ☐ - ROOF EDGE SCUPPER ☐ - GUTTER EDGE ☐ - CHIMNEY FLASHING ☐ - ROOF SCUPPER ☐ - FLASHING ☐ - CHIMNEY PIPE VENT ☐ - CORNER 	<ul style="list-style-type: none"> ☐ - CHIMNEY ☐ - ROOF LADDER ○ - PIPE VENT • - SOLID FLASH • - PIPE PENETRATION ■ - FLASHING ■ - FLASHING JOINT ■ - FLASHING THROUGH ■ - FLASHING
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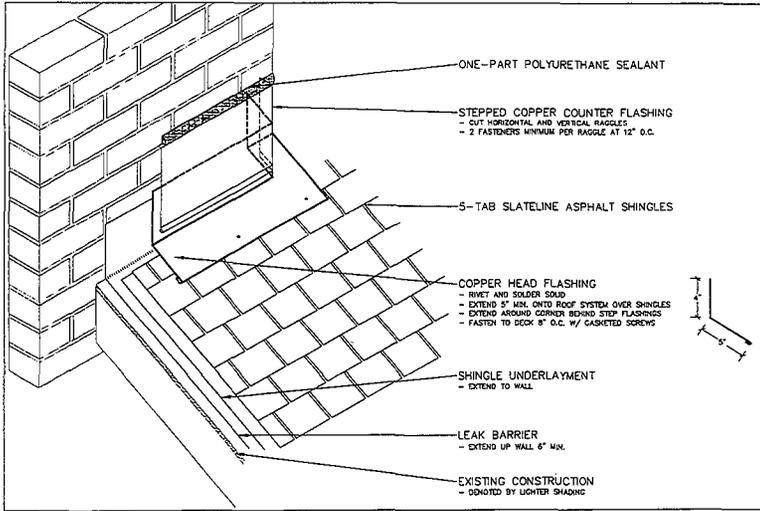
NOTES:	



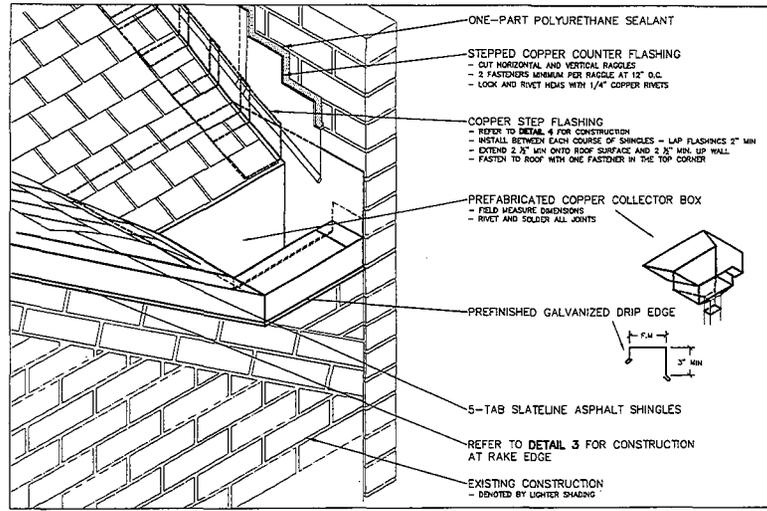
DETAIL 9: SADDLE
NOT TO SCALE



DETAIL 10: STEP FLASHING
NOT TO SCALE



DETAIL 11: HEAD FLASHING
NOT TO SCALE



DETAIL 12: COLLECTOR BOX
NOT TO SCALE

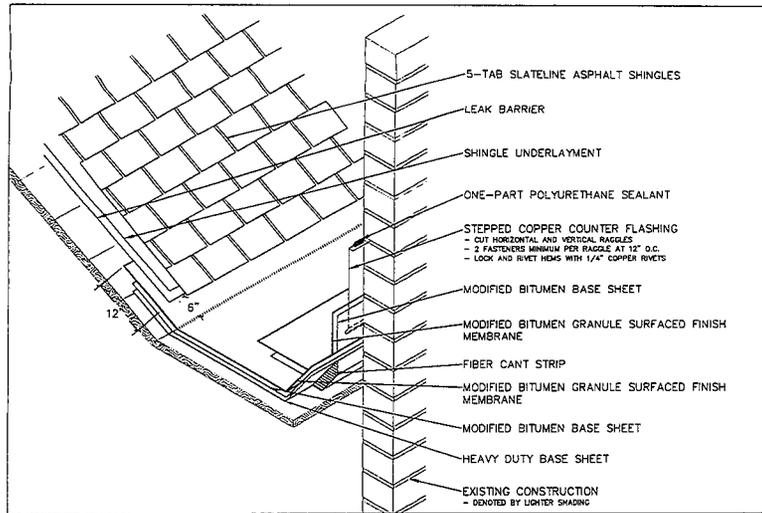
INDUSTRIAL ROOFING SERVICES, INC.
13000 WEST SILVER SPRING DRIVE - BUTLER, WI 53007
PHONE: (800) 238-9177 / (262) 432-0500 FAX: (262) 432-0504

CONTRACTOR SHALL VERIFY THE ACCURACY OF THE DRAWING INFORMATION ON THE DRAWING. USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS RELATED TO THIS BUILDING.

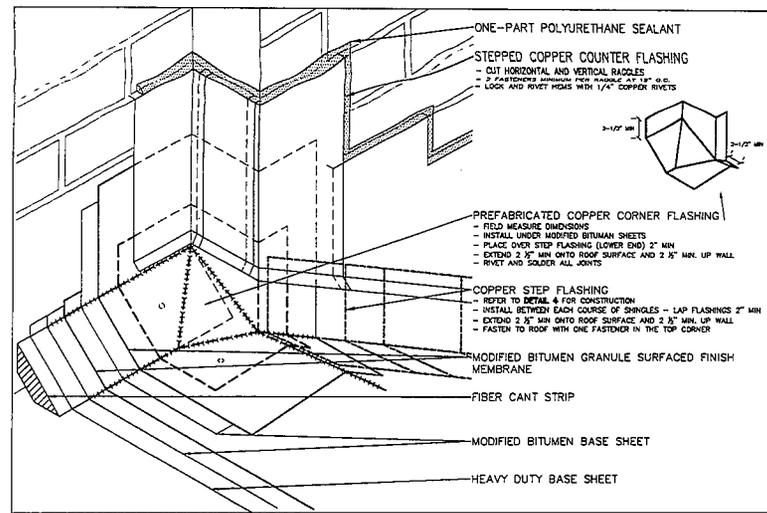
PROJECT NAME	CITY OF KENOSHA	DRAWN BY	ASB	DATE	7/30/2014	DRAWING NO.	10006
TITLE	ROOF REPAIR DETAILS	SCALE	N.T.S.	DRAWING TYPE	A7		

KEY	<ul style="list-style-type: none"> □ - ROOF DRAIN □ - THROUGH-ROOF SUPPORT □ - ROOF EDGE SUPPORT □ - WATER EDGE □ - CURVED OVERLAP □ - ROOF SUTURE □ - SUTURE □ - CHANGING PER. VENT □ - CHANGING 	<ul style="list-style-type: none"> □ - CORNER □ - ROOF LAYOUT ○ - PIPE VENT ○ - WALK OFF ○ - PIPE PENETRATION ○ - VENT/FLASH ○ - FLASHING LIGHT ○ - FLASHING TRANSITION ○ - FLASHING
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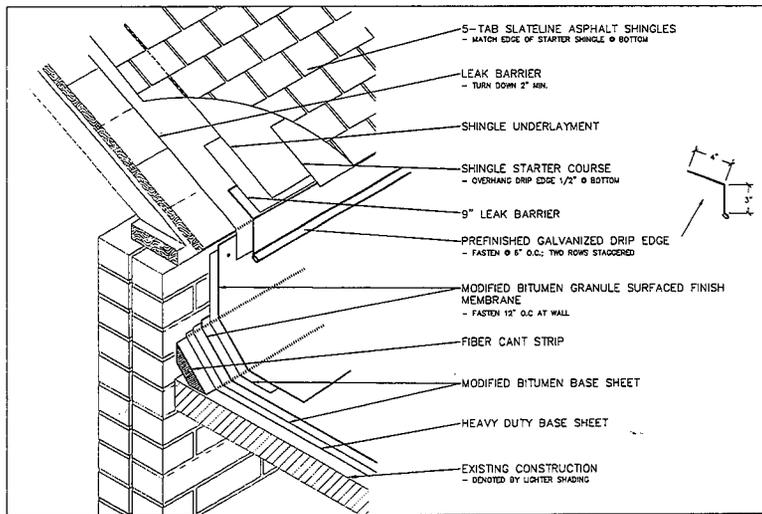
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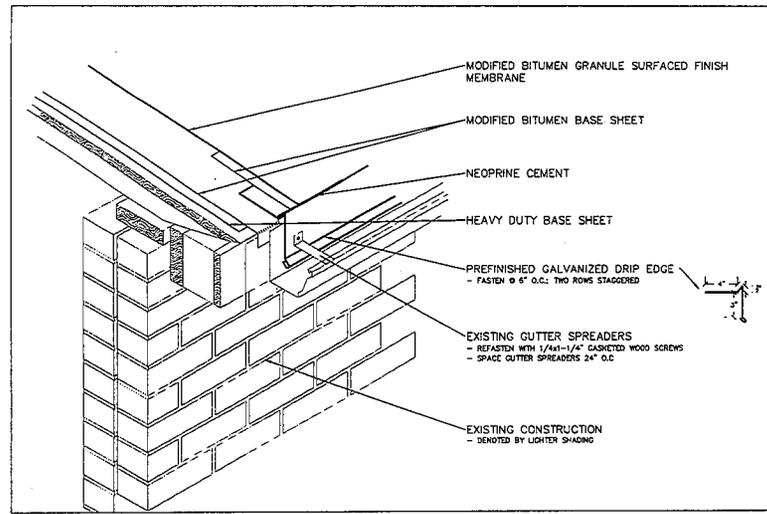
DETAIL 13: ROOF TRANSITION
NOT TO SCALE



DETAIL 14: CORNER FLASHING
NOT TO SCALE



DETAIL 15: ROOF TRANSITION
NOT TO SCALE



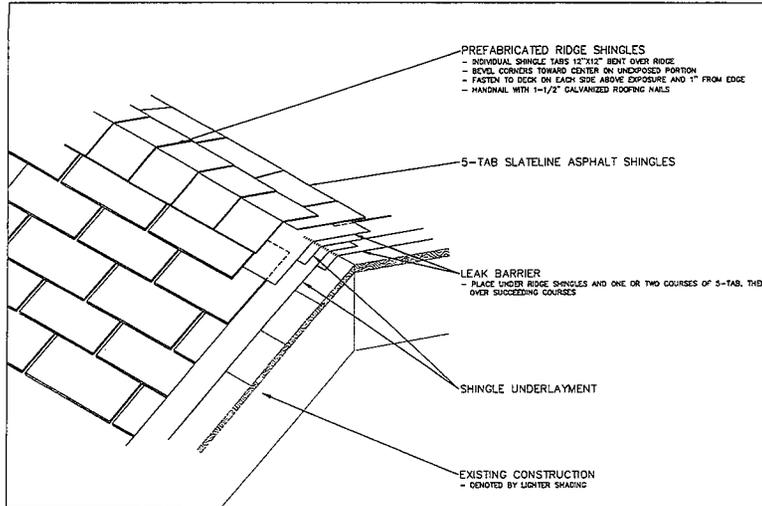
DETAIL 16: EAVE
NOT TO SCALE

IRS
INDUSTRIAL ROOFING SERVICES, INC.
13000 WEST SILVER SPRING DRIVE - BUTLER, WI 53007
PHONE: (800) 238-3477 / (262) 432-6800 FAX: (262) 432-6564

PROJECT NAME:	CITY OF KENOSHA	DATE:	7/30/2014
7825 3RD AVE - KENOSHA, WI	ASB	DRAWING NO.:	1000
SOUTHPORT BEACH HOUSE	ASB	SCALE:	N.T.S.
TITLE:	ROOF REPAIR DETAILS	DRAWING TYPE:	AS

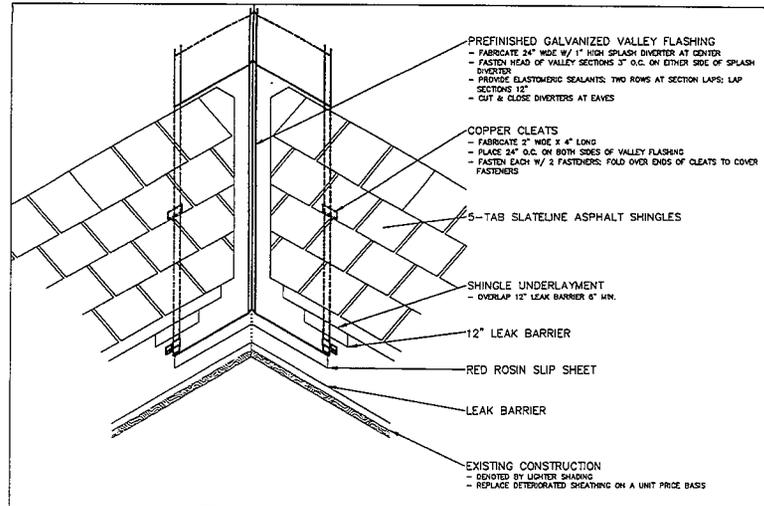
KEY:	<ul style="list-style-type: none"> ○ - ROOF DRAIN ■ - THROUGH-WALL SUPPORT □ - ROOF EDGE DUMPER □ - GUTTER EDGE □ - CORNER FLASHING □ - ROOF SUTURE □ - FLASHING □ - CURVED PPS VAP □ - FLASHING 	<ul style="list-style-type: none"> ○ - CHIMNEY ○ - ROOF FLANGE ○ - PPS VENT ○ - SSK BRIDGE ○ - PIPE PENETRATION ■ - PPS DRAIN ■ - FLASHING JOINT --- SLOPE TRANSITION --- SLOPE TRANSITION
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NOTES:	



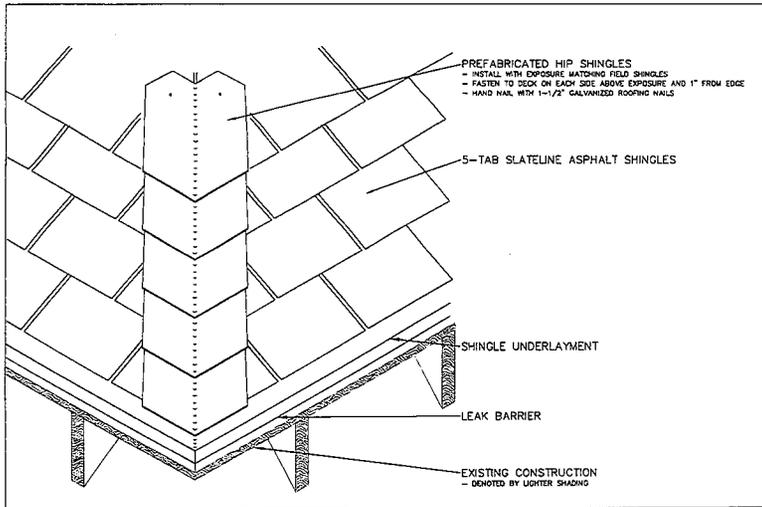
DETAIL 17: CONVENTIONAL RIDGE

NOT TO SCALE



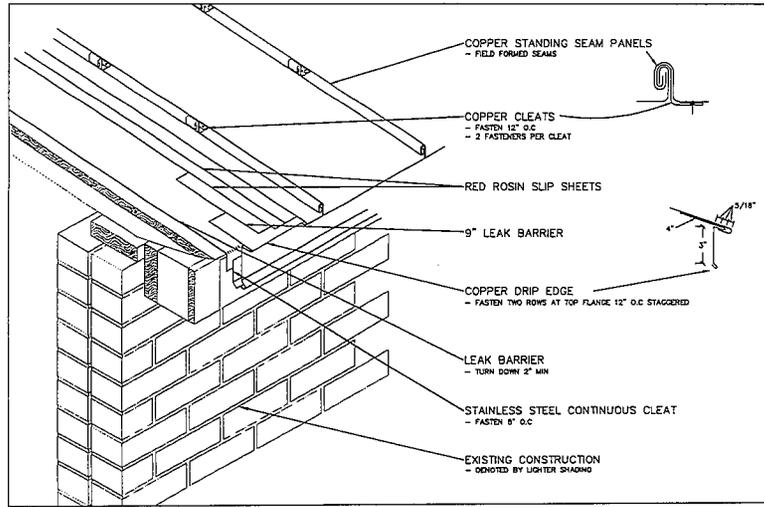
DETAIL 18: STANDARD VALLEY

NOT TO SCALE



DETAIL 19: HIP

NOT TO SCALE



DETAIL 20: EAVE

NOT TO SCALE

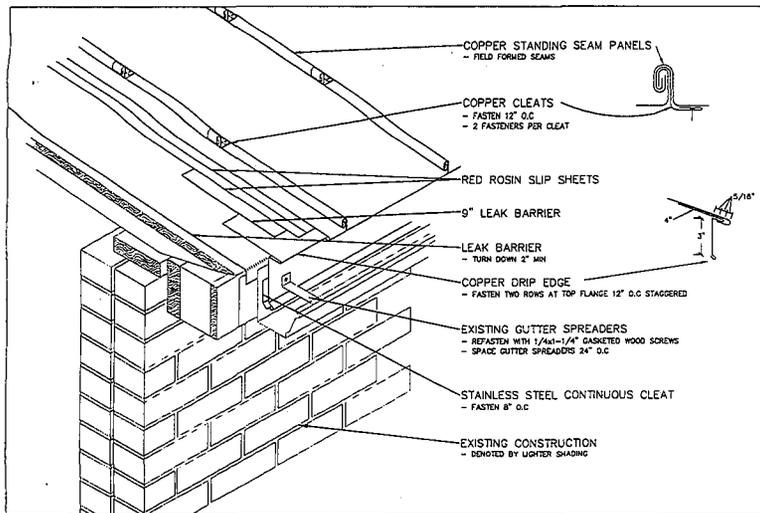
IRS
INDUSTRIAL ROOFING SERVICES, INC.
 13000 WEST SILVER SPRING DRIVE - BUTLER, WI 53007
 PHONE: (800) 238-3477 / (262) 432-0300 FAX: (262) 432-0304

CONSULTANT COULD BE HELD LIABLE FOR NEGLIGENCE IN THE PERFORMANCE OF THE SERVICES PROVIDED BY THIS COMPANY. CONTRACTORS MUST BE LICENSED TO PERFORM THE WORK DESCRIBED IN THIS DRAWING.

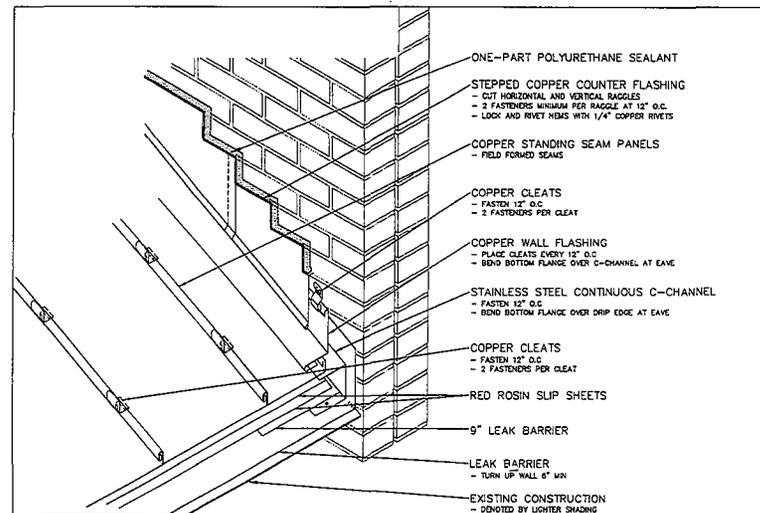
PROJECT NAME:	CITY OF KENOSHA	DRAWN BY:	ASB	DATE:	7/30/2014	DRAWING NO.:	10005
TITLE:	7825 3RD AVE - KENOSHA, WI SOUTHPORT BEACH HOUSE	SCALE:	N.T.S.	DRAWING TYPE:	AD		

KEY:	<ul style="list-style-type: none"> □ - ROOF DRAIN ■ - INSULATION ■ - ROOF SIDE SLOPPER ■ - GUTTER DRAIN □ - CLIMATE CONTROL □ - ROOF SLOTTED □ - AIRSPACE □ - CLIMATE PERM. VENT □ - CLIMATE 	<ul style="list-style-type: none"> □ - CORNER □ - ROOF FLASHING □ - PIPE VENT □ - WALL FLASH □ - PIPE PENETRATION □ - ROOF FLASH □ - FLASHING JOINT □ - FLASHING JOINT □ - FLASHING JOINT
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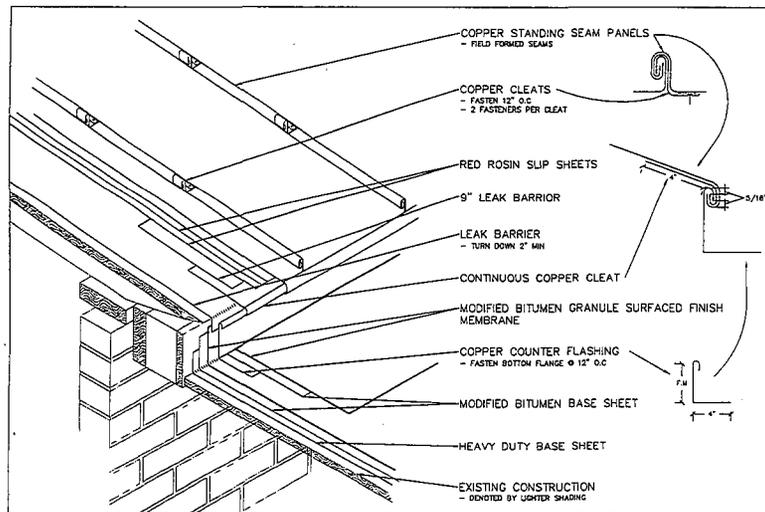
NOTES:	



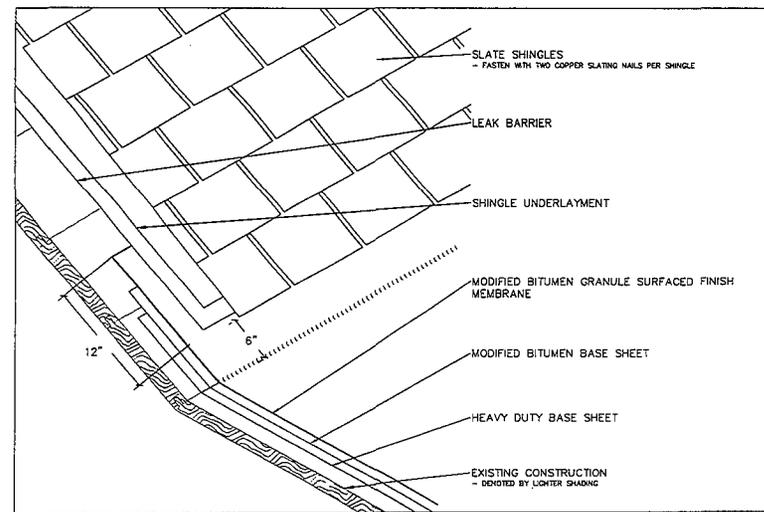
DETAIL 21: EAVE
NOT TO SCALE



DETAIL 22: SIDEWALL
NOT TO SCALE



DETAIL 23: ROOF TRANSITION
NOT TO SCALE



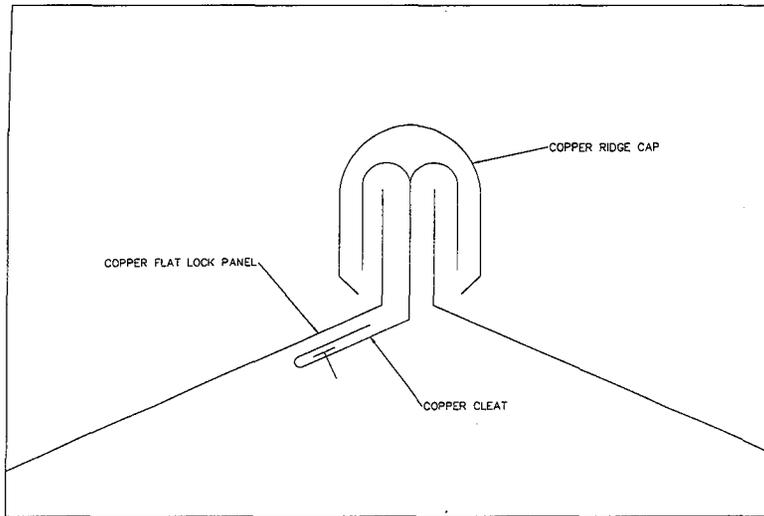
DETAIL 24: ROOF TRANSITION
NOT TO SCALE

IRS
INDUSTRIAL ROOFING SERVICES, INC.
13000 WEST SILVER SPRING DRIVE - BUTLER, WI 53007
PHONE: (480) 296-3477 (800) 433-9909 FAX: (800) 433-9904

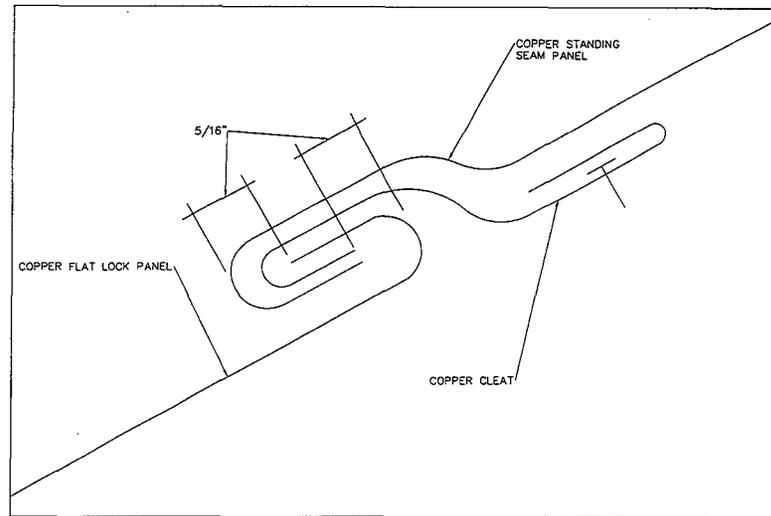
PROJECT NAME:	CITY OF KENOSHA 7825 3RD AVE. - KENOSHA, WI SOUTHPORT BEACH HOUSE	DRAWN BY:	ASB	DATE:	7/01/2014	DRAWING NO.:	19205
TITLE:	ROOF REPAIR DETAILS	SCALE:	N.T.S.	DRAWING TYPE:	A10		

KEY:	<ul style="list-style-type: none"> ☐ ROOF DRAIN ☐ IMPROVED-WEIL SCURPER ☐ ROOF EDGE SCURPER ☐ GUTTER EDGE ☐ COPPER FLASHING ☐ ROOF SCOTCH ☐ FLASHING ☐ COPPER RIVETS ☐ FLASHING 	<ul style="list-style-type: none"> ☐ CHANNEL ☐ ROOF UNDER ☐ WOOD ROOF ☐ INS. FLOOR ☐ WOOD FLOOR
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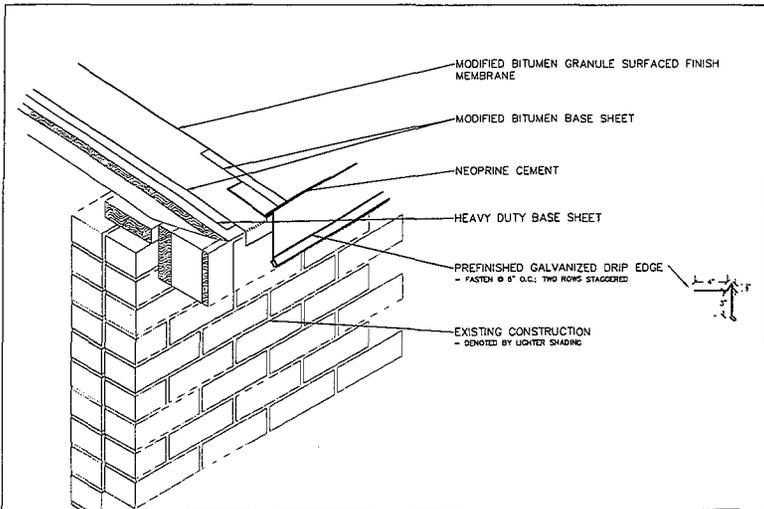
NOTES:	



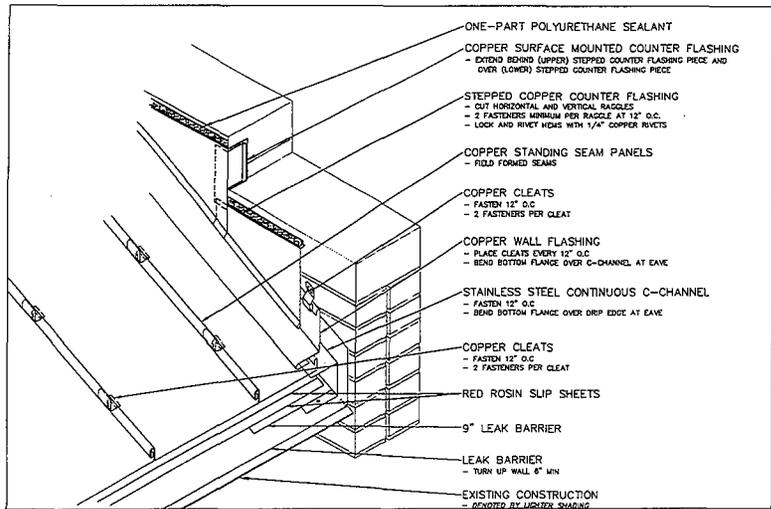
DETAIL 29: FLAT LOCK PANEL AT RIDGE
NOT TO SCALE



DETAIL 30: FLAT LOCK PANEL AT STANDING SEAM PANEL
NOT TO SCALE



DETAIL 31: EAVE
NOT TO SCALE



DETAIL 32: SIDEWALL AT COPING
NOT TO SCALE

IRS
INDUSTRIAL ROOFING SERVICES, INC.
13000 WEST SILVER SPRING DRIVE - BUTLER, WI 53007
PH: (920) 256-3477 / (262) 432-6900 FAX: (920) 432-6904

CONSULTANT'S LIABILITY
FOR DESIGN ONLY
CONTRACTOR'S LIABILITY
FOR WORKMANSHIP ONLY
OWNER'S LIABILITY FOR
MATERIALS AND LABOR
NOT TO BE HELD RESPONSIBLE FOR
MATERIALS AND LABOR

PROJECT NAME: CITY OF KENOSHA
7825 3RD AVE - KENOSHA, WI
SOUTHPORT BEACH HOUSE

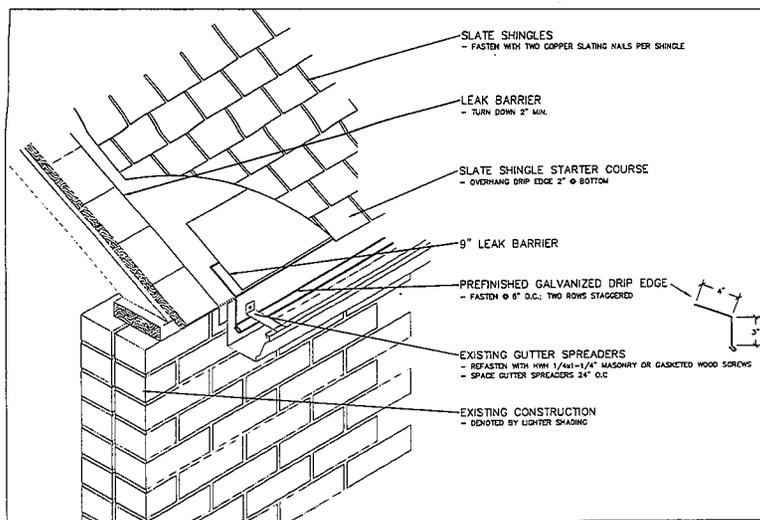
DRAWN BY: ASB
DATE: 7/26/2014
SCALE: DRAWING TYPE: A12

TITLE: ROOF REPAIR DETAILS
K.T.S.

DRAWING NO.: 13005

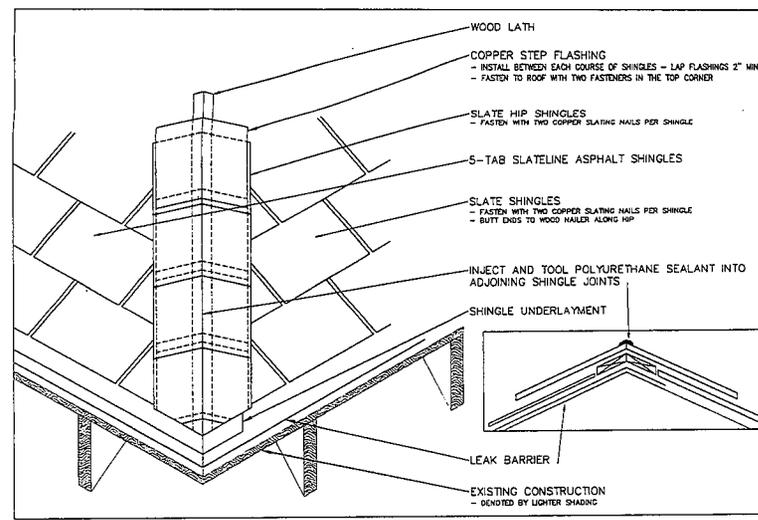
- KEY:
- ▲ ROOF DRAIN
 - ROOF DRAIN SCUPPER
 - GUTTER DRAIN
 - CURBLED DRAINAGE
 - ROOF SCOUR
 - CURBED PIPE VENT
 - CURBED
 - CHIMNEY
 - ROOF JOIST
 - SINK FLUSH
 - PIPE PENETRATION
 - FRESH AIR
 - ESP/EXHAUST
 - SLOPE TRIANGLE
 - SLOPE TRIANGLE

NOTES:



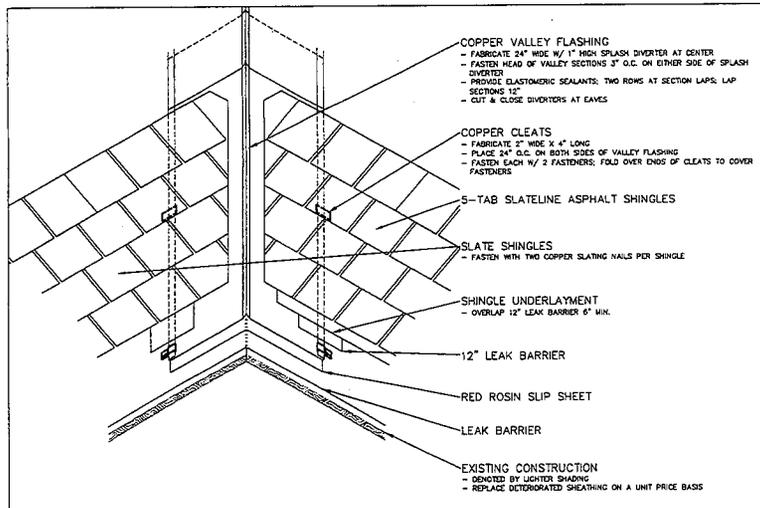
DETAIL 33: EAVE WITH GUTTER

NOT TO SCALE



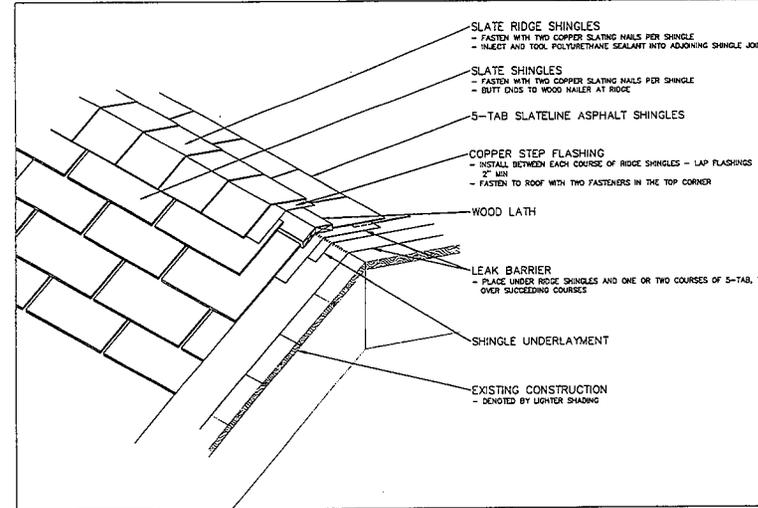
DETAIL 34: HIP

NOT TO SCALE



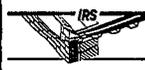
DETAIL 35: VALLEY

NOT TO SCALE



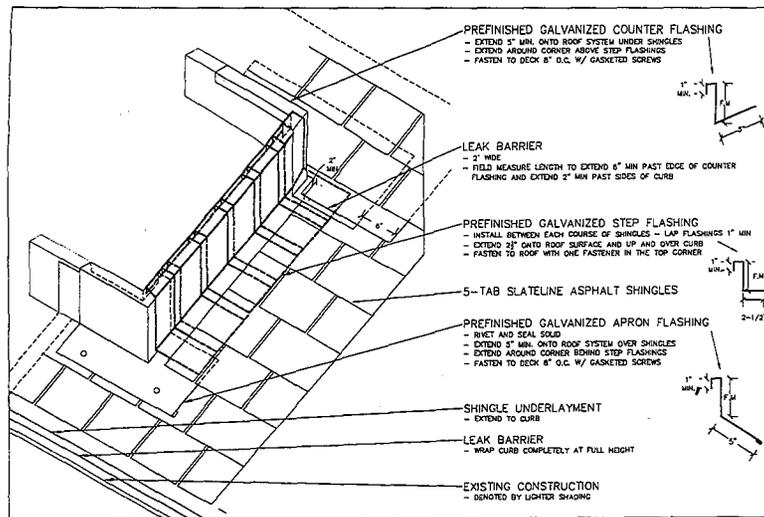
DETAIL 36: RIDGE

NOT TO SCALE

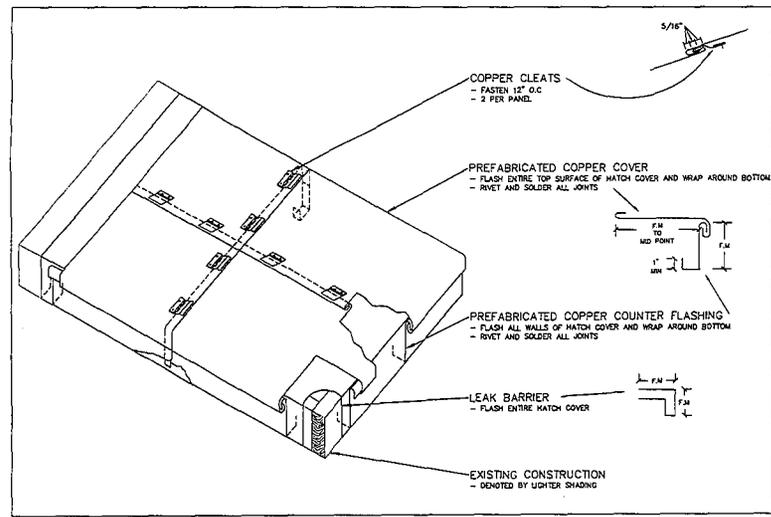

INDUSTRIAL ROOFING SERVICES, INC.
 13000 WEST SILVER SPRING DRIVE - GUTLER, WI 53007
 PHONE: (847) 264-4177 (DISH) 432-0250 FAX: (847) 264-4200

PROJECT NAME	CITY OF KENOSHA	DRAWN BY	ASB	DATE	7/30/2014	DRAWING NO.	10005
TITLE	7625 3RD AVE - KENOSHA, WI SOUTHPORT BEACH HOUSE	SCALE	N.T.S.	DRAWING TYPE	A13	CONSULT LOCAL BUILDING DEPARTMENT FOR APPLICABLE CODES AND REGULATIONS. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO THE WORK RELATED TO THIS BUILDING.	

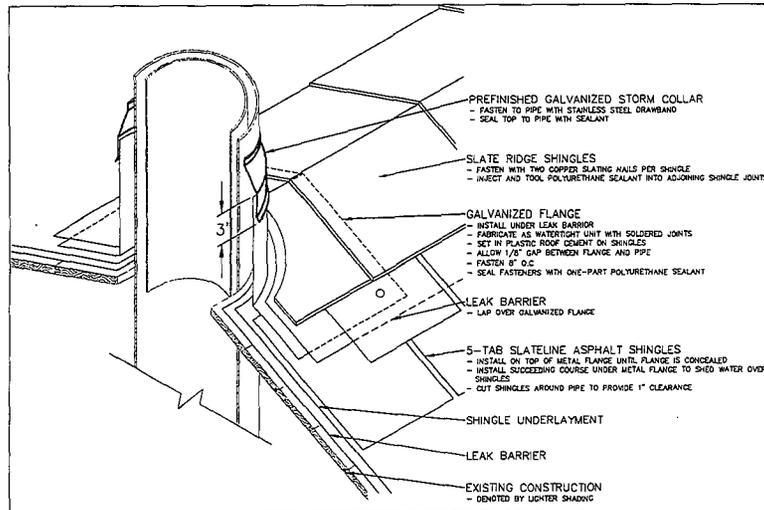
○ - ROOF DRAIN [] - THROUGH-WALL ROOFPIER [] - ROOF EDGE DRAIN [] - GUTTER EDGE [] - ROOF SCOURING [] - FLASHING [] - FLASHING [] - FLASHING	[] - DRAINAGE [] - ROOF JOIST [] - SOAK PILE [] - RIGID INSULATION [] - INSULATION [] - EXPANSION JOINT [] - GUTTER THROUGHPUT [] - GUTTER THROUGHPUT	NOTES:
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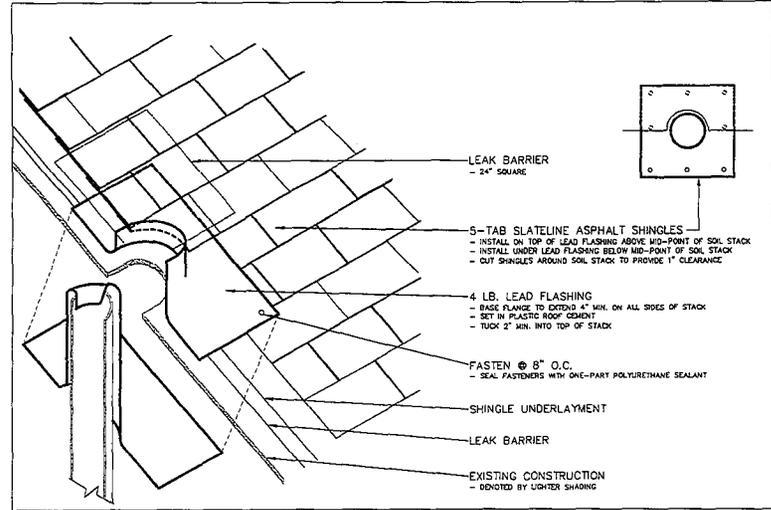
TYPICAL 1: ROOF HATCH
 NOT TO SCALE



TYPICAL 2: ROOF HATCH COVER
 NOT TO SCALE



TYPICAL 5: PIPE PENETRATION
 NOT TO SCALE



TYPICAL 6: SOIL STACK
 NOT TO SCALE

IRS
INDUSTRIAL ROOFING SERVICES, INC.
 13000 WEST SILVER SPRING DRIVE - BUTLER, WI 53007
 PHONE: (414) 226-9477 / (262) 42-0200 FAX: (414) 226-9566

CONSULT WITH US BEFORE ANY ROOF REPAIR OR MAINTENANCE WORK IS DONE. WE WILL BE RESPONSIBLE FOR THE RESULTS OF OUR WORK.

CONSULT WITH US BEFORE ANY ROOF REPAIR OR MAINTENANCE WORK IS DONE. WE WILL BE RESPONSIBLE FOR THE RESULTS OF OUR WORK.

PROJECT NAME: CITY OF KENOSHA
 7800 3RD AVE - KENOSHA, WI
 SOUTHWEST BEACH HOUSE

TITLE: ROOF REPAIR TYPICALS

DRAWN BY: ASB
 DATE: 7/20/2014
 DRAWING NO.: 10000

SCALE: N.T.S.
 DRAWING TYPE: A14

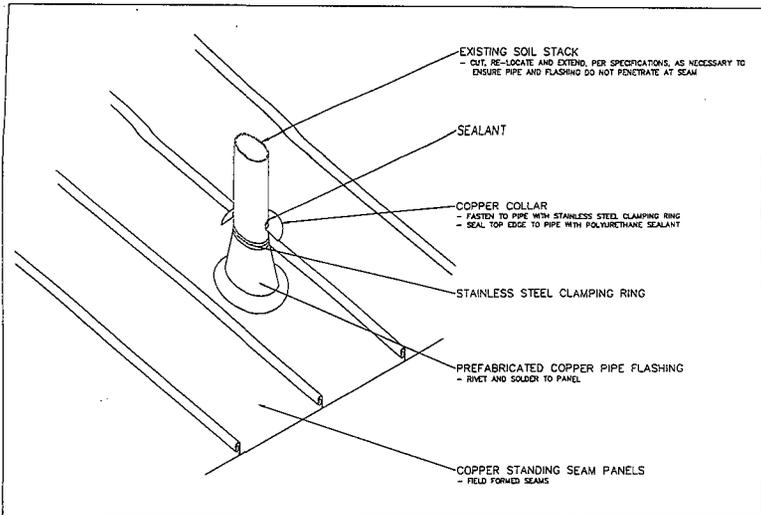
KEY:

- ROOF GRADE
- THROUGH-ROOF SUPPLY
- ROOF EDGE SUPPLY
- BUTTER EDGE
- CORNER FLASHING
- ROOF SCUTTING
- FLASHING
- FLASHING JOINT
- FLASHING

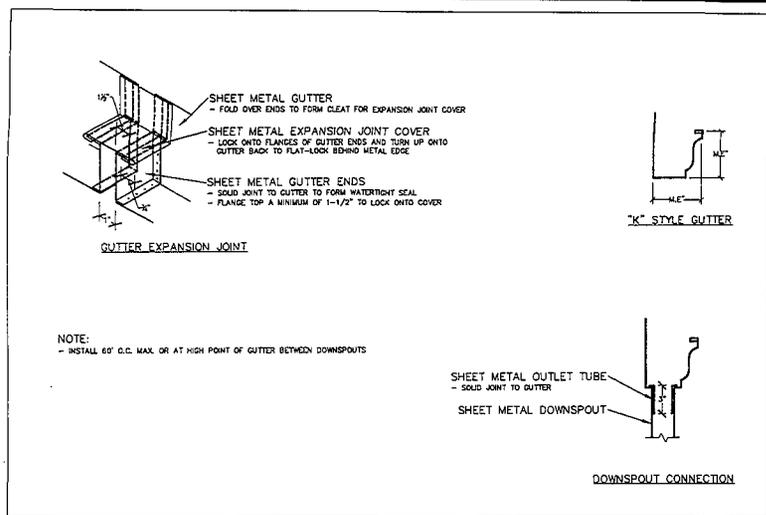
LEGEND:

- COVER
- THROUGH-ROOF SUPPLY
- ROOF EDGE SUPPLY
- BUTTER EDGE
- CORNER FLASHING
- ROOF SCUTTING
- FLASHING
- FLASHING JOINT
- FLASHING

NOTES:



TYPICAL 5: PIPE FLASHING
NOT TO SCALE



TYPICAL 6: GUTTER DOWNSPOUT/EXPANSION JOINT
NOT TO SCALE

INDUSTRIAL ROOFING SERVICES, INC.
15000 WEST SILVER SPRING DRIVE - BUTLER, MI 48307
PHONE: (800) 228-3477 / (517) 432-6500 FAX: (268) 432-0564

PROJECT NAME CITY OF KENOSHA 7825 3RD AVE - KENOSHA, WI SOUTHPORT BEACH HOUSE	DRAWN BY ASB	DATE 7/29/2014	DRAWING NO. 15000	REV. 1 - ROOF DRIVE 2 - THROUGH-ROOF WOODWORK 3 - ROOF EDGE SLOPER 4 - GUTTER EDGE 5 - CORNER DOWNSPOUT 6 - ROOF DOWNSPOUT 7 - DOWNSPOUT 8 - CORNER DOWNSPOUT 9 - GUTTER	<input type="checkbox"/> CHANGE <input type="checkbox"/> TYP. MODIFICATION <input type="checkbox"/> CORR. ERROR <input type="checkbox"/> ADDITION <input type="checkbox"/> DELETION <input type="checkbox"/> REVISION
TITLE ROOF REPAIR TYPICALS	SCALE N.T.S.	DRAWING TYPE A15	NOTES:		

NOTES:



ENGINEERING DIVISION
SHELLY BILLINGSLEY, P.E.
CITY ENGINEER

PARK DIVISION
JEFF WARNOCK
SUPERINTENDENT

FLEET MAINTENANCE
MAURO LENCI
SUPERINTENDENT

STREET DIVISION
JOHN H. PRIJIC
SUPERINTENDENT

WASTE DIVISION
ROCKY BEDNAR
SUPERINTENDENT

DEPARTMENT OF PUBLIC WORKS
MICHAEL M. LEMENS, P.E., DIRECTOR
SHELLY BILLINGSLEY, P.E., DEPUTY DIRECTOR

MUNICIPAL BUILDING · 625 - 52ND ST · RM 305 · KENOSHA, WI 53140
TELEPHONE (262) 653-4050 · FAX (262) 653-4056
EMAIL PUBLICWORKS@KENOSHA.ORG

ADDENDUM

#1

September 10, 2014

PROJECT # 14-1424
Southport Beach House Roof Replacement

This Addendum forms a part of the Contract Documents and modifies the original Bidding Documents as noted below. Acknowledge receipt of this Addendum in the space provided on Bid Form. Failure to do so may subject Bidder to disqualification.

1. Plan Set

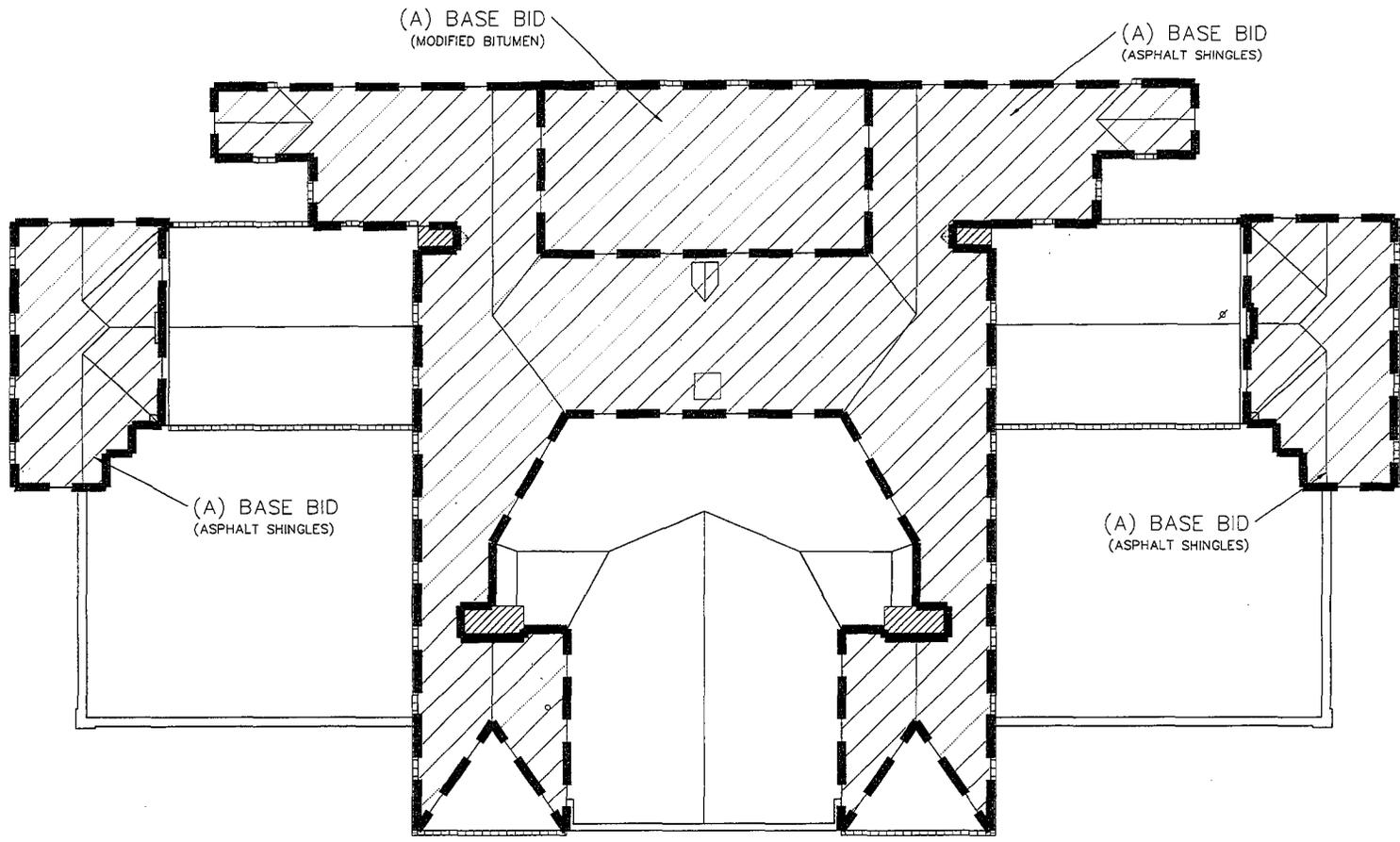
Add the attached pages ADDM 1 – A1.1, ADDM 1 – A1.2, and ADDM 1 – A1.3.

Contractor's signature on this addendum must be included with bid.

Contractor's Signature

Sincerely,


Shelly Billingsley, P.E.
Director of Engineering, City Engineer



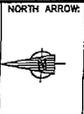
IRS
INDUSTRIAL ROOFING SERVICES, INC.
 13000 WEST SILVER SPRING DRIVE - BUTLER, WI 53007
 PHONE: (800) 236-3477 / (262) 432-0500 FAX: (262) 432-0504

PROJECT NAME: CITY OF KENOSHA
 SOUTHPORT BEACH HOUSE
 7825 3RD AVE - KENOSHA, WI

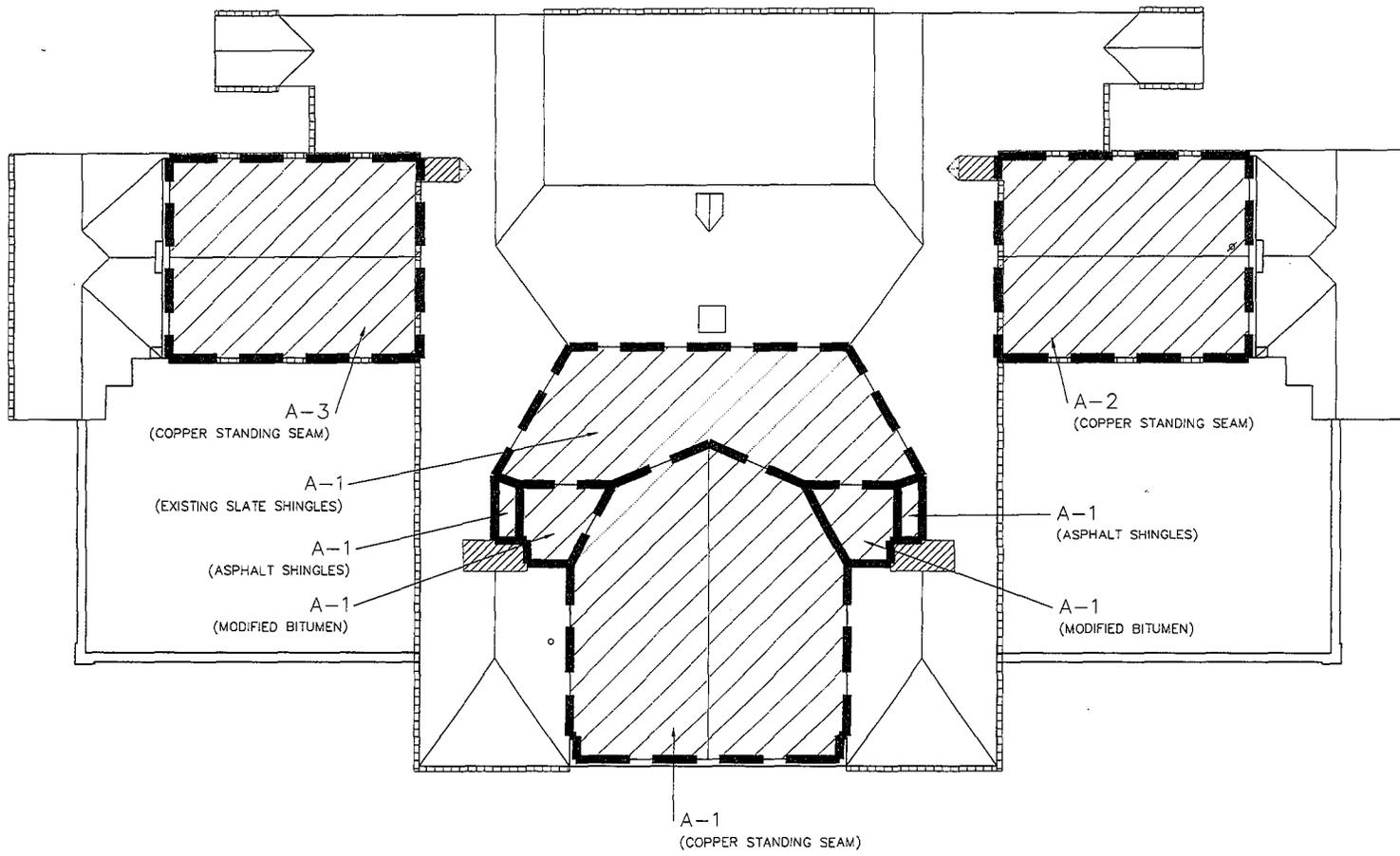
TITLE: ROOF REPAIR SPECIFICATION

DRAWN BY: ASB
 DATE: 9/9/2014
 DRAWING NO.: 15055

SCALE: N.T.S.
 DRAWING: ADDM 1 - A1.1



- KEY:
- ⊕ - ROOF DRAIN
 - ⊞ - THROUGH-WALL SCUPPER
 - ⊞ - ROOF EDGE SCUPPER
 - ⊞ - GUTTER EDGE
 - ⊞ - CURBED OPENING
 - ⊞ - ROOF SCUTTLE
 - ⊞ - SKYLIGHT
 - ⊞ - CURBED PIPE VENT
 - ⊞ - UNUSED
 - ⊞ - CHIMNEY
 - ⊞ - ROOF LADDER
 - ⊞ - PIPE VENT
 - ⊞ - SOLE STACK
 - ⊞ - PIPE PENETRATION
 - ⊞ - PITCH PAN
 - ⊞ - EXPANSION JOINT
 - ⊞ - SLOPE TRANSITION
 - ⊞ - SCREEN WALL



IRS
INDUSTRIAL ROOFING SERVICES, INC.
 13000 WEST SILVER SPRING DRIVE - BUTLER, WI 53007
 PHONE: (800) 236-3477 / (262) 432-0500 FAX: (262) 432-0504

PROJECT NAME: CITY OF KENOSHA
 SOUTHPORT BEACH HOUSE
 7825 3RD AVE - KENOSHA, WI

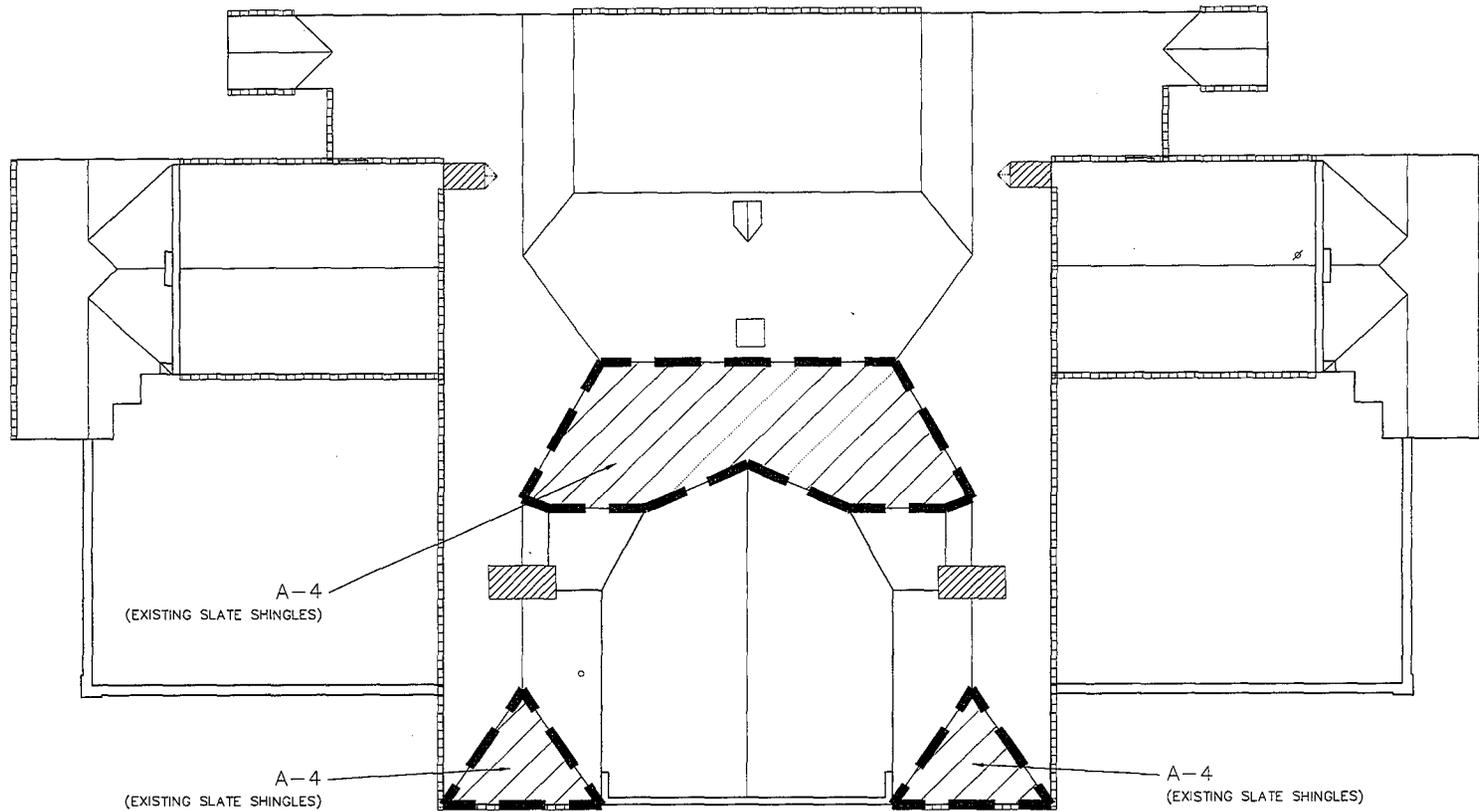
TITLE: ROOF REPAIR SPECIFICATION

DRAWN BY: ASB
 DATE: 9/9/2014
 DRAWING NO.: 15055

SCALE: N.T.S.
 DRAWING: ADDM 1 - A1.2



- NORTH ARROW: KEY:
- ⊕ - ROOF DRAIN
 - ⊗ - THROUGH-WALL SCUPPER
 - ⊞ - ROOF EDGE SCUPPER
 - ⊟ - CUTTER EDGE
 - ⊠ - CURBED OPENING
 - ⊡ - ROOF SCUTTLE
 - ⊢ - SKYLIGHT
 - ⊣ - CURBED PIPE VENT
 - ⊤ - UNUSED
 - ⊥ - CHIMNEY
 - ⊦ - ROOF LADDER
 - ⊧ - PIPE VENT
 - ⊨ - SOIL STACK
 - ⊩ - PIPE PENETRATION
 - ⊪ - PITCH PAN
 - ⊫ - EXPANSION JOINT
 - ⊬ - SLOPE TRANSITION
 - ⊭ - SCREEN WALL



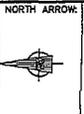
IRS
INDUSTRIAL ROOFING SERVICES, INC.
 13000 WEST SILVER SPRING DRIVE - BUTLER, WI 53007
 PHONE: (800) 236-3477 / (262) 432-0500 FAX: (262) 432-0504

PROJECT NAME: CITY OF KENOSHA
 SOUTHPORT BEACH HOUSE
 7825 3RD AVE - KENOSHA, WI

TITLE: ROOF REPAIR SPECIFICATION

DRAWN BY: ASB
 DATE: 9/9/2014
 DRAWING NO.: 15055

SCALE: N.T.S.
 DRAWING: ADDM 1 - A1.3



KEY:	
○	ROOF DRAIN
⊠	THROUGH-WALL SCUPPER
⊞	ROOF EDGE SCUPPER
⊞	CUTTER EDGE
□	CURBED OPENING
⊞	ROOF SCUTTLE
⊞	SKYLIGHT
⊞	CURBED PIPE VENT
⊞	UNUSED
⊞	CHIMNEY
⊞	ROOF LADDER
○	PIPE VENT
○	SOIL STACK
⊞	PIPE PENETRATION
⊞	PITCH PAN
⊞	EXPANSION JOINT
⊞	SLOPE TRANSITION
⊞	SCREEN WALL



ENGINEERING DIVISION
SHELLY BILLINGSLEY,
P.E.
CITY ENGINEER

STREET DIVISION
JOHN H. PRIJIC
SUPERINTENDENT

PARK DIVISION
JEFF WARNOCK
SUPERINTENDENT

WASTE DIVISION
ROCKY BEDNAR,
SUPERINTENDENT

FLEET MAINTENANCE
MAURO LENCI
SUPERINTENDENT

DEPARTMENT OF PUBLIC WORKS
MICHAEL M. LEMENS, P.E., DIRECTOR
SHELLY BILLINGSLEY, P.E., DEPUTY DIRECTOR

MUNICIPAL BUILDING · 625 - 52ND ST · RM 305 · KENOSHA, WI 53140
TELEPHONE (262) 653-4050 · FAX (262) 653-4056
EMAIL PUBLICWORKS@KENOSHA.ORG

ADDENDUM
#2

September 17, 2014

PROJECT #14-1424
Southport Beach House Roof Replacement

The purpose for this addendum is outlined below:

1. Attendance to either the first (August 12) or second (September 16) mandatory pre-bid meeting will qualify the bidder to submit a bid.

A signed copy of this addendum is required with the submitted bid.

Contractor Signature

Sincerely,

Shelly Billingsley, P.E.
Deputy Director of Public Works / City Engineer



ENGINEERING DIVISION
SHELLY BILLINGSLEY, P.E.
CITY ENGINEER

PARK DIVISION
JEFF WARNOCK
SUPERINTENDENT

FLEET MAINTENANCE
MAURO LENCI
SUPERINTENDENT

STREET DIVISION
JOHN H. PRIJIC
SUPERINTENDENT

WASTE DIVISION
ROCKY BEDNAR
SUPERINTENDENT

DEPARTMENT OF PUBLIC WORKS
MICHAEL M. LEMENS, P.E., DIRECTOR
SHELLY BILLINGSLEY, P.E., DEPUTY DIRECTOR

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**ADDENDUM
#3**

September 22, 2014

**PROJECT # 14-1424
Southport Beach House Roof Replacement**

This Addendum forms a part of the Contract Documents and modifies the original Bidding Documents as noted below. Acknowledge receipt of this Addendum in the space provided on Bid Form. Failure to do so may subject Bidder to disqualification.

1. General

Revise bid opening from September 24th, 2014 to November 5th, 2014 at 2:00 PM.

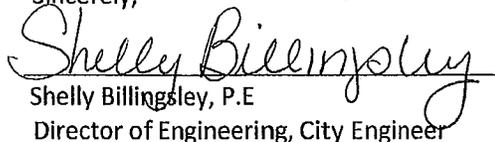
2. General

Rplace page 13 of the specifications book with the attached.

Contractor's signature on this addendum must be included with bid.

Contractor's Signature

Sincerely,


Shelly Billingsley, P.E.
Director of Engineering, City Engineer

materials to **CONTRACTOR** for use during the Contract period. **CITY** designates **ENGINEER**, or designee, to act as its representative with respect to **WORK** to be performed under this Contract, and such person shall have authority to transmit instructions, receive information, interpret and define **CITY'S** policies and provide decisions in a timely manner pertinent to **WORK** covered by this Contract until **CONTRACTOR** has been advised in writing by **CITY** that such authority has been revoked.

4. PERFORMANCE BOND. **CONTRACTOR** has executed a performance bond or other assurance required by **CITY**, in the amount of the Contract award, in a form approved by the City Attorney, as a precondition of award of this Contract. **CITY** may make claim against this bond or assurance should **CONTRACTOR** fail to timely comply with the terms of this Contract, including, but not limited to honoring the specified warranty, paying the prevailing wage rate and securing lien waivers and releases.

Whenever there is a dispute between **CONTRACTOR** or surety or **CITY** as to the determination whether there is a compliance with the provisions of this Contract as to the hours of labor, wages, residence, character, and classification of workmen employed, the determination of **ENGINEER** shall be final, and in case of violation of said provisions, **CITY** may declare this Contract in default and request surety to perform or relet upon advertisement the remaining portion of this Contract.

5. COMMENCEMENT AND DILIGENT PROSECUTION OF WORK. **CONTRACTOR**, upon execution of Contract, will prosecute **WORK** diligently until fully complete in accordance with the following time schedule. **CONTRACTOR** shall commence **WORK** on or before the 13th day of April, 2015, and complete **WORK** within 75 days of commencement or the 26th day of June, 2015, (Contract Deadline); whichever is the earliest, time being of the essence. The **WORK** required by this Contract shall be complete upon completion of all tasks required of **CONTRACTOR**, including the obtaining of an Occupancy Permit and filing of all lien waivers of subcontractors and materialmen.

\\

Should **CONTRACTOR** fail to timely complete **WORK**, **CONTRACTOR** shall be liable to **CITY** in the amount of Three Hundred Fifty (\$350.00) Dollars each and every day an inspection is performed for each inspector assigned by **CITY** to inspect **WORK**.

CONTRACTOR may request a Contract Deadline extension from **ENGINEER**, in writing, prior to the deadline for Contract completion (Contract Deadline), where the progress of **WORK** was delayed and **CONTRACTOR** was not responsible for such delay. Should **ENGINEER** grant an extension, **CONTRACTOR** will not be liable for payment of inspection fees during the period of said extension. Should **ENGINEER** determine that **WORK** will not be completed by Contract Deadline through normal methods and that no request for a Contract Deadline extension has been requested, or if requested, such request was not justified and denied, then **ENGINEER** shall provide **CONTRACTOR** with written notice requiring **CONTRACTOR** to take such extraordinary measures as may be required to complete **WORK** by Contract Deadline, or within a reasonable time. The failure of **CONTRACTOR** to take such extraordinary measures shall be grounds for **CITY** to suspend **WORK** by **CONTRACTOR** and take such other measures as will assure completion of **WORK** within Contract Deadline, or if



WISCONSIN
HISTORICAL
SOCIETY

MEMO

Date: April 21, 2014

To: Daniel Kabara

From: Chip Brown

Re: Proposed Southport Beach House Rehabilitation
WHS Case # 0164/KN

We have received the information you provided us regarding the above-referenced project. In consultation with Senior Preservation Architect Jen Davel, I have reviewed the information, and pursuant to Wis. Stat. §§ 44.42 and 66.1111, I offer the following comments.

As you and I discussed by telephone last week, your project will satisfy the Secretary of the interior's "Standards for Rehabilitation," provided that the following caveats are incorporated into your plans and specifications.

1) Because the original roof is a character-defining feature of the Southport beach House, the replacement asphalt shingles should match the exposure and coloring of the original slate shingles. One example of an appropriate replacement shingle is CertainTeed Symphony, color: "capitol blend." Installing a monochrome shingle will greatly alter the historic building's appearance and may constitute an adverse effect;

2) Any new glass installed should be clear with a Visual Light Transmittance (VLT) of 72 or higher. Any replacement window with a VLT lower than 72 may constitute an adverse effect;

3) Replacing steel sash windows with aluminum can be appropriate, but it is vital the muntin profiles match the dimensions of the original. When this detail is overlooked (not replicated), the new windows appear much different than the originals and may constitute an adverse effect.

If it is not possible to incorporate the above conditions into your plans and specifications, please contact me to commence negotiation of a mitigation plan to address adverse effects to the historic Southport Beach House rehabilitation.

With questions, please contact Ms. Davel directly at (608) 264-6490 or jen.davel@wisconsinhistory.org; or me at (608) 264-6508 or chip.brown@wisconsinhistory.org. Thank you very much for your continued attention to this matter.

Collecting, Preserving and Sharing Stories Since 1846

816 State Street Madison, Wisconsin 53706

wisconsinhistory.org



ENGINEERING DIVISION
SHELLY BILLINGSLEY, P.E.
CITY ENGINEER

PARK DIVISION
JEFF WARNOCK
SUPERINTENDENT

FLEET MAINTENANCE
MAURO LENCI
SUPERINTENDENT

STREET DIVISION
JOHN H. PRIJIC
SUPERINTENDENT

WASTE DIVISION
ROCKY BEDNAR
SUPERINTENDENT

DEPARTMENT OF PUBLIC WORKS

MICHAEL M. LEMENS, P.E., DIRECTOR
SHELLY BILLINGSLEY, P.E., DEPUTY DIRECTOR

MUNICIPAL BUILDING · 625 - 52ND ST · RM 305 · KENOSHA, WI 53140
TELEPHONE (262) 653-4050 · FAX (262) 653-4056
EMAIL PUBLICWORKS@KENOSHA.ORG

May 19, 2014

Wisconsin Historical Society
Attn: Chip Brown
816 State Street
Madison, WI 53706

RE: Proposed Southport Beach House Rehabilitation WHS Case #0164/KN

Mr. Brown,

The City has reviewed the information you provided on the Southport Beach House Renovation plans and specifications. After speaking to our consultants on your review, we have put together information for you clarifying the proposed products are indeed what you have suggested in your letter dated April 21, 2014.

- 1) Because the original roof is a character-defining feature of the Southport Beach House, the replacement asphalt shingles should match the exposure and coloring of the original slate shingles. One example of an appropriate replacement shingle is Certain Treed Symphon, color: "capitol blend". Installing a monochrome shingle will greatly alter the historic building appearance and may constitute an adverse effect.

Per your email to Keith Dippel at Industrial Roofing Services, Inc. it appears that the proposed slate asphalt shingles have been approved by your office.

- 2) Any new glass installed should be clear with a Visual Light Transmittance (VLT) of 72 or higher. Any replacement window with a VLT lower than 72 may constitute an adverse effect.

The glazing Engberg Anderson specified is clear, does not have a low-e coating and exceeds the required VLT. Attached is a page from a typical glass manufacturer's product catalog that shows the VLT level that is representative of any manufacturer's clear insulating glass units without low-e coating.

- 3) Replacing steel sash windows with aluminum can be appropriate, but it is vital the muntin profiles match the dimensions of the original. When this detail is overlooked (not replicated), the new windows appear much different than the originals and may constitute an adverse effect.

Engberg Anderson specified windows that are designed to replicate the appearance of a historic steel sash. Attached are product literature pages from two of the companies included in the specifications.

We hope this information clarifies your concerns with this renovation. If you have any questions, please contact me directly.

Sincerely,

Michael M. Lemens, P.E.
Director of Public Works
City of Kenosha
262-653-4147
mlemens@kenosha.org

BID FORM

SOUTHPORT BEACH HOUSE ROOF REPLACEMENT

PROJECT #14-1424

Bidder will complete the Work in accordance with the Contract Documents for the following price(s):

Item No.	Item Description	Unit	Bid Qty.	Bid Unit \$	Bid Total \$
1	Stateline Asphalt Shingles	LS	1		\$
TOTAL BID					\$

Item No.	Item Description	Unit	Bid Qty.	Bid Unit \$	Bid Total \$
A-1	Copper Roofing, Asphalt Shingles, & Salvage Slate Shingles	LS	1		\$
TOTAL ALTERNATE 1 BID					\$

Item No.	Item Description	Unit	Bid Qty.	Bid Unit \$	Bid Total \$
A-2	Copper Roofing - South	LS	1		\$
TOTAL ALTERNATE 2 BID					\$

Item No.	Item Description	Unit	Bid Qty.	Bid Unit \$	Bid Total \$
A-3	Copper Roofing - North	LS	1		\$
TOTAL ALTERNATE 3 BID					\$

Item No.	Item Description	Unit	Bid Qty.	Bid Unit \$	Bid Total \$
A-4	Salvage Existing Slate Shingles	LS	1		\$
TOTAL ALTERNATE 4 BID					\$

Total Base Bid Price for the Project:

_____ (Words)

(\$ _____)

(Figures)

Item No.	Item Description	Bid Total \$
Unit Pricing	Replace wood roof decking (per board foot)	\$
TOTAL UNIT PRICE BID		\$

Item No.	Item Description	Bid Total \$
Time and Material	Repair of latent conditions or additional work (Roofer time per man-hour)	\$
	Material (Contractor cost - addition)	%
TOTAL TIME AND MATERIAL PRICE BID		\$

Respectfully submitted by:

Name of firm: _____ Title: _____

Prepared by: _____ City: _____

Address of firm: _____ Zip: _____

State: _____ Fax: _____

Phone #: _____

•Planning & Zoning
•Community Development
262.653.4030
262.653.4045 FAX
Room 308



•Building Inspections
•Property Maintenance
262.653.4263
262.653.4264 FAX
Room 100

DEPARTMENT OF COMMUNITY DEVELOPMENT & INSPECTIONS

Municipal Building • 625 52nd Street • Kenosha, WI 53140
www.kenosha.org

Jeffrey B. Labahn, Interim Director

Richard Schroeder, Interim Deputy Director

MEMO

TO: Mike Lemens, P.E., Director of Public Works
Shelly Billingsley, P.E. Deputy Director of Public Works

FROM: Michael Maki, AICP, Community Development Specialist
Department of Community Development & Inspections

RE: Public Information from Historic Preservation Commission Meeting – Southport
Beach House

DATE: September 18, 2014

As you are aware, the Department of Community Development has notified Public Works that the Historic Preservation Commission made a recommendation to "reject the recommendation to replace the slate roof and to request that the City contact professionals who are capable and knowledgeable of slate roofs to evaluate the roof, and for the City to study alternatives to repair the slate roof". The Commission also requested that I share additional information presented during the Historic Preservation Commission's public hearing on the Southport Beach House.

The following is provided as additional information that may be beneficial in the decision on how to move forward with the roofing project.

- Slate used for roofing comes from different quarries and some slate such as Vermont slate could last 200 years or more. It is not known what type of slate is used on the Southport Beach House roof.
- One of the benefits of slate roofing is that damaged pieces can be removed and replaced individually.
- It is recommended that slate roofs be inspected and maintained at least every 3 to 5 years by a qualified slate roofing contractor.
- For a project of this magnitude, the Slate Institute recommends to get experts to study the condition of the slate. Delaminated slate may not necessarily indicate that the slate is bad. The condition of the slate cannot be accurately determined by a visual examination alone. A more accurate test is tapping the slate with a slate hammer; high grade slate will emit a clear, solid sound, while severely weathered slate will give off a dull thud when tapped.

- Millen Roofing has been involved with the Southport Beach House slate for over 23 years. Millen Roofing is qualified to inspect, assess and repair the existing slate roof. They have indicated that they can provide a written report of the slate at no expense.
- Millen was last hired as a subcontractor to Carlson Roofing for a project undertaken by Rasch Construction in 2006. At that time, Millen replaced 330 pieces of broken slate. Previous to that date, Millen replaced 800 pieces in 1991, and in 1998, installed a small membrane roof, replaced 75 pieces of slate and tightened up the ridge slate.
- Millen Roofing has a considerable inventory of used slate that will match the colors of the Southport Beach House slate.
- It is recommended that qualified contractors be involved in the evaluation of the condition of the slate roof. This is essential to the right roofing solution. The existing slate roof could possibly still have considerable life left and could be left on the building with replacement of the damaged slate. This could significantly reduce the overall cost of the roof and could save the City considerable money in the overall project.

MM

KENOSHA HISTORIC PRESERVATION COMMISSION

REVIEW DETERMINATION

PROPERTY ADDRESS: 7825 3rd Avenue

DATE: 9/15/14

PROJECT TITLE: Southport Beach House Roof Replacement

PROPERTY OWNER: City of Kenosha, Parks Department

COMMISSION DETERMINATION:

Grant a Certificate of Appropriateness

Grant a Certificate of Appropriateness with Conditions (see below)

Deny a Certificate of Appropriateness/ Recommendation of Preservation (see below) *(recommendation is advisory)*

ATTENTION OWNERS:

This printed statement serves as evidence of the Commission's review and recommendation for your project, please have it available at work site. A City employee may request to see this statement.

Chairperson's Signature: *Mike N. S.* for Jan Michalski, chairperson

Any questions regarding the Historic Preservation Commission's review determination should be directed to the Department of City Development at (262) 653-4030.

~~CONDITIONS OF APPROVAL~~/ ADDITIONAL INFORMATION:

A motion was made to reject the recommendation and to request that the City contact professionals who are capable and knowledgeable of slate roofs to evaluate the roof, and for the City to study alternatives to repair the slate roof.

All permits to be obtained from the Department of Community Development & Inspections prior to commencement of work.

CC: Owner/Applicant



CICERO 'S ROOFING CONTRACTORS
SPECIALIZING IN SLATE TILES AND SHINGLES
SINCE 1982

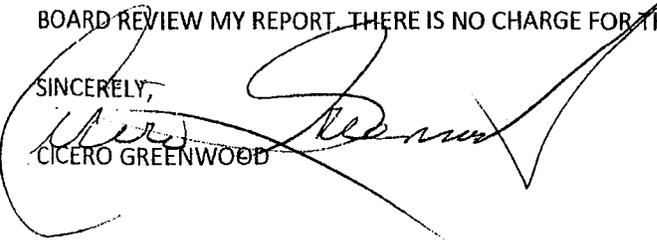
3177 N 35TH Street
MILWAUKEE, WI 53216
OFFICE: 414-405-5744

NOVEMBER 3RD 2014

DEPARTMENT OF PUBLIC WORKS
CITY OF KENOSHA –PUBLIC WORKS PARK/STORMWATER UTILITY
ATTN: KATIE ELDER

SUBJECT: SOUTHPORT BEACH HOUSE ANALYSIS
CONDITION OF THE SLATE ROOF: THERE ARE SEVERAL BROKE AND CRACKED SLATES ON ALL OF THE ELEVATIONS ON THE BUILDING. AFTER REMOVING SOME OF THE SLATE ON THE WEST AND SOUTH ELEVATION THE UNDERLAYMENT WAS DETERIORATED. UPON INSPECTION OF THE SLATE AND THE CONDITION OF THE UNDERLAYMENT I WOULD RECOMMEND REMOVING ALL OF THE SLATE DOWN TO THE WOOD SURFACE, REPLACE ALL DETERIORATED WOOD, COVER THE ENTIRE ROOF SURFACE WITH GRACE ICE AND WATER SHIELD, TWO LAYERS WITH THIRTY POUND FELT OR SIXTY POUND FELT OVER THE SURFACE . THE FLAT AREAS AROUND THE CHIMNEYS AND THE METAL DECK ,MY RECOMMENDATION FOR THOSE AREAS TO BE INSTALLED WITH 60 MIL TPO MEMBRANE ROOF.THE FLAT METAL DECK ON THE WEST SIDE ELEVATION THAT HAS THE METAL GROOVES SHOULD BE A FLAT SURFACE.MY RECOMMENDATION WILL BE TO POUND THE GROOVE DOWN FLAT BEFORE INSTALLING THE NEW ROOF ON THE DECK. THERE ARE SEVERAL ROOFS THAT I WILL RECOMMEND AFTER THE BOARD REVIEW MY REPORT. THERE IS NO CHARGE FOR THIS ROOF ANALYSIS

SINCERELY,


CICERO GREENWOOD



8747 North 107th Street
Milwaukee, WI 53224-2201
414-371-8850
fax 414-371-8851
info@millenroofing.com
www.millenroofing.com

October 1, 2014

Attn: Katie Elder
City of Kenosha
625 52nd St.
Kenosha, WI 53140

Re: Southport Beach House

Katie:

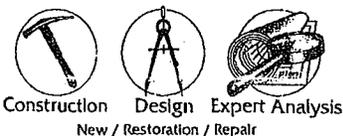
We propose to perform a conditional analysis on the Southport Beach House slate roof.

- Included:
- Overall condition of the slate roof system.
 - Estimated cost of yearly maintenance if feasible.
 - Scope of maintenance work if feasible.
 - Budgets to replace or restore specific areas broken down into labor and materials costs.
 - Photo documentation of existing conditions.

The cost of this work is \$780. Please contact me with any questions.

Sincerely,

John Millen





ENGINEERING DIVISION
SHELLY BILLINGSLEY, P.E.
CITY ENGINEER

PARK DIVISION
JEFF WARNOCK
SUPERINTENDENT

FLEET MAINTENANCE
MAURO LENCI
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SUPERINTENDENT

DEPARTMENT OF PUBLIC WORKS

MICHAEL M. LEMENS, P.E., DIRECTOR
SHELLY BILLINGSLEY, P.E., DEPUTY DIRECTOR

MUNICIPAL BUILDING · 625 - 52ND ST · RM 305 · KENOSHA, WI 53140
TELEPHONE (262) 653-4050 · FAX (262) 653-4056
EMAIL PUBLICWORKS@KENOSHA.ORG

October 6, 2014

Millen Roofing Company
Attn: John Millen
8747 North 107th Street
Milwaukee, WI 53224-2201

SUBJECT: Southport Beach House Roof Analysis

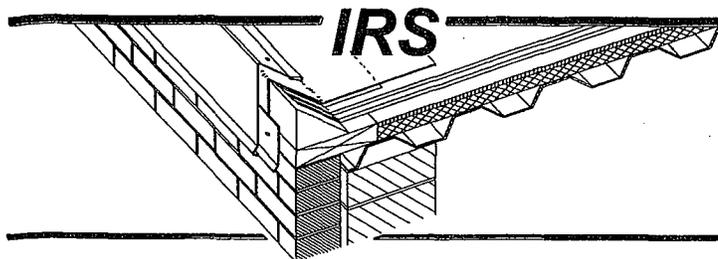
I regret to inform you that at this time we are not authorized to accept your proposal for \$780 to perform a conditional analysis for the Southport Beach House. If you would like to perform the analysis at no cost, please let me know and we would be happy to continue working with you on this analysis.

If you have any questions please feel free to contact me.

Sincerely,

A handwritten signature in cursive script that reads "Shelly Billingsley".

Shelly Billingsley, P.E.
City Engineer / Deputy Director of Public Works
City of Kenosha – Public Works
262-653-4149
sbillingsley@kenosha.org

**Industrial Roofing Services, Inc.**

13000 West Silver Spring Drive

Butler, Wisconsin 53007

Phone: (262) 432-0500

Fax: (262) 432-0504

www.irsroof.com

November 7, 2014

Mr. Michael Lemens
City of Kenosha
625 52nd Street
Kenosha, WI 53140

SUBJECT: Southport Beach House Roof

Dear Mr. Lemens:

As we discussed, there are 4 or 5 different types/colors of slate that have been installed throughout the various roof areas over the many years since the building's original construction.

Most of these different types of slate were installed during the various repairs made to the slate roof system over the many years. The slate we believe to be original to the building's construction has a designed service life of between 75 and 85 years, rendering all of these original slates (1st photo) well beyond their original designed service life.

Despite the age and general deterioration of the original slate, we believe there may be a sufficient number of these which remain in a suitable condition for salvage. As you recall, the State Historical Society has agreed to a compromise which, as condition allows, will facilitate the salvage and reinstallation of the original slates on the 3 most prominent western facing elevations in an attempt to preserve some of the roof's original curb appeal.

While I understand the desire of some in the community to reinstall slate on the entire facility, the current budget makes this impractical.

In an effort to provide a general perspective of the slate I have attached several photographs depicting their condition and visible nature of the extensive repairs completed over the years with slates which do not match those originally installed, preventing the wholesale salvage and reinstallation of the existing slates.

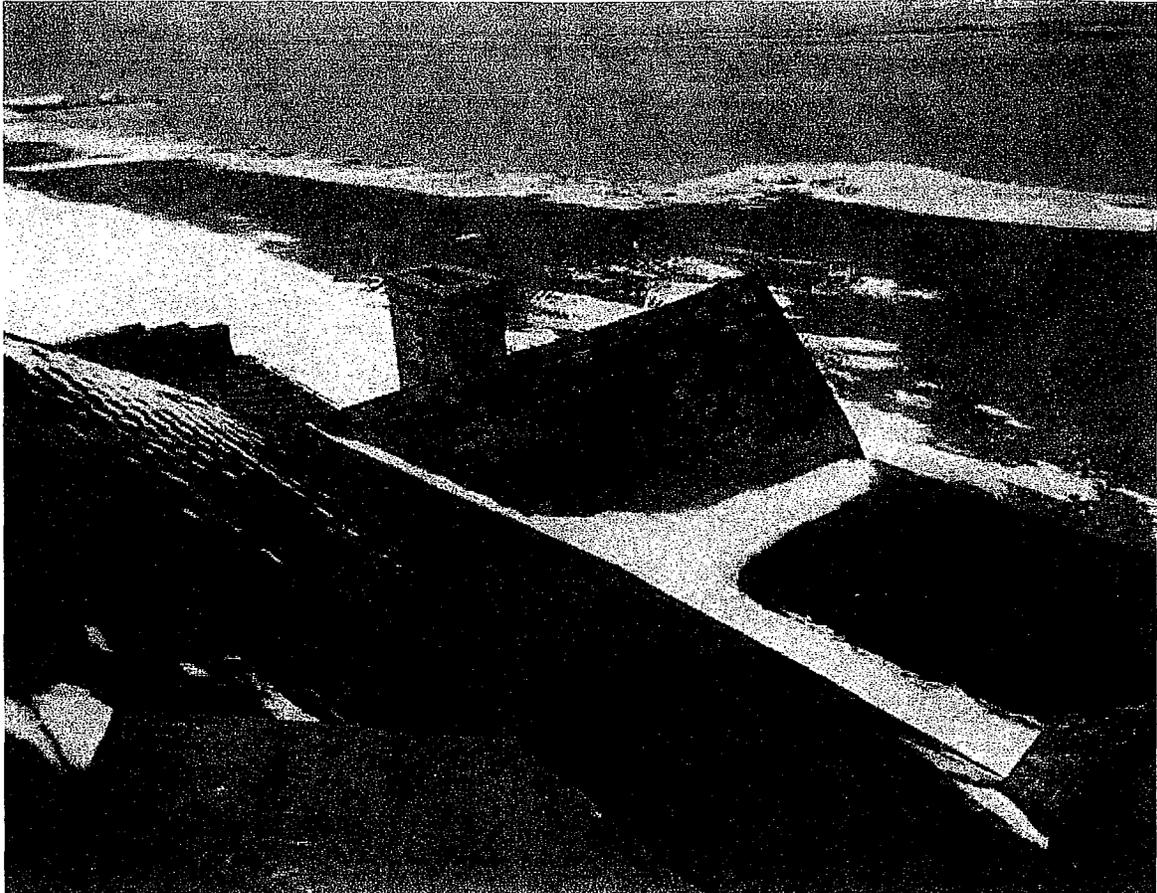
Please feel free to contact me if you have any additional questions or if I can be of additional existence

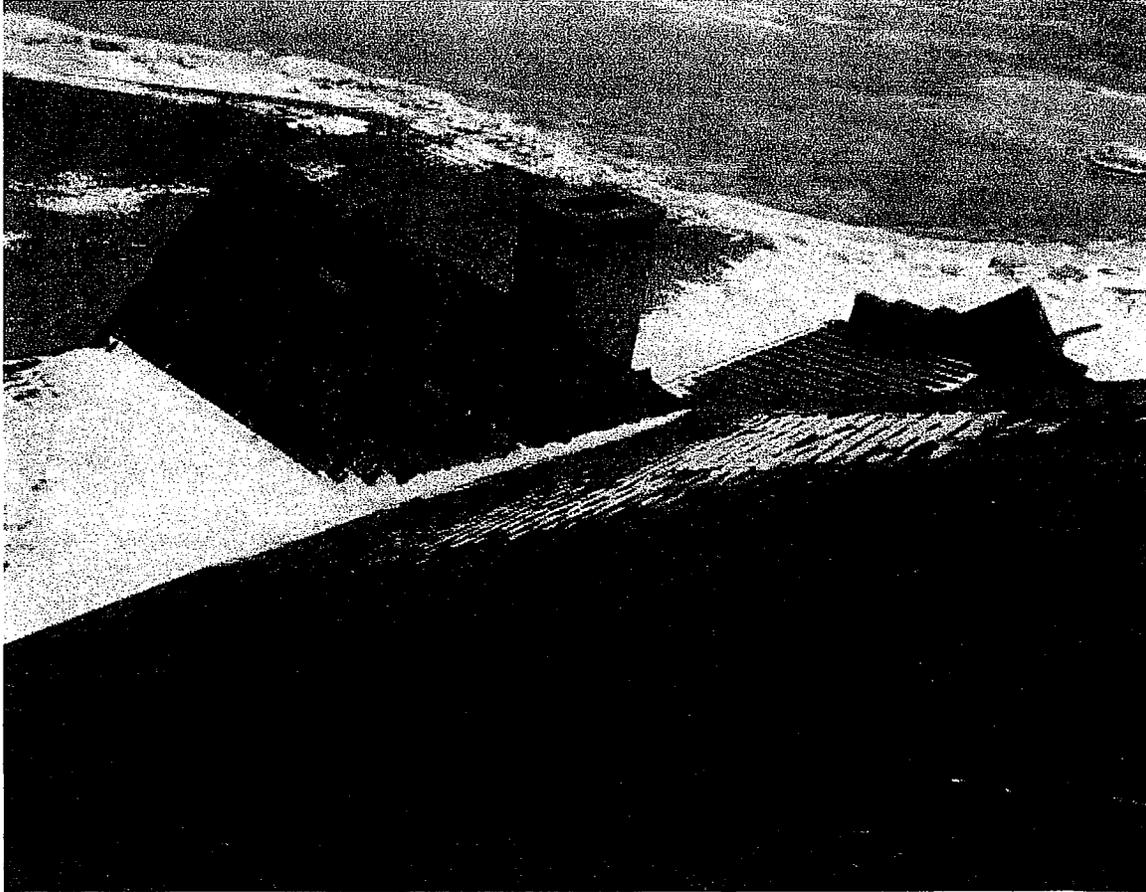
Sincerely,
INDUSTRIAL ROOFING SERVICES, INC.

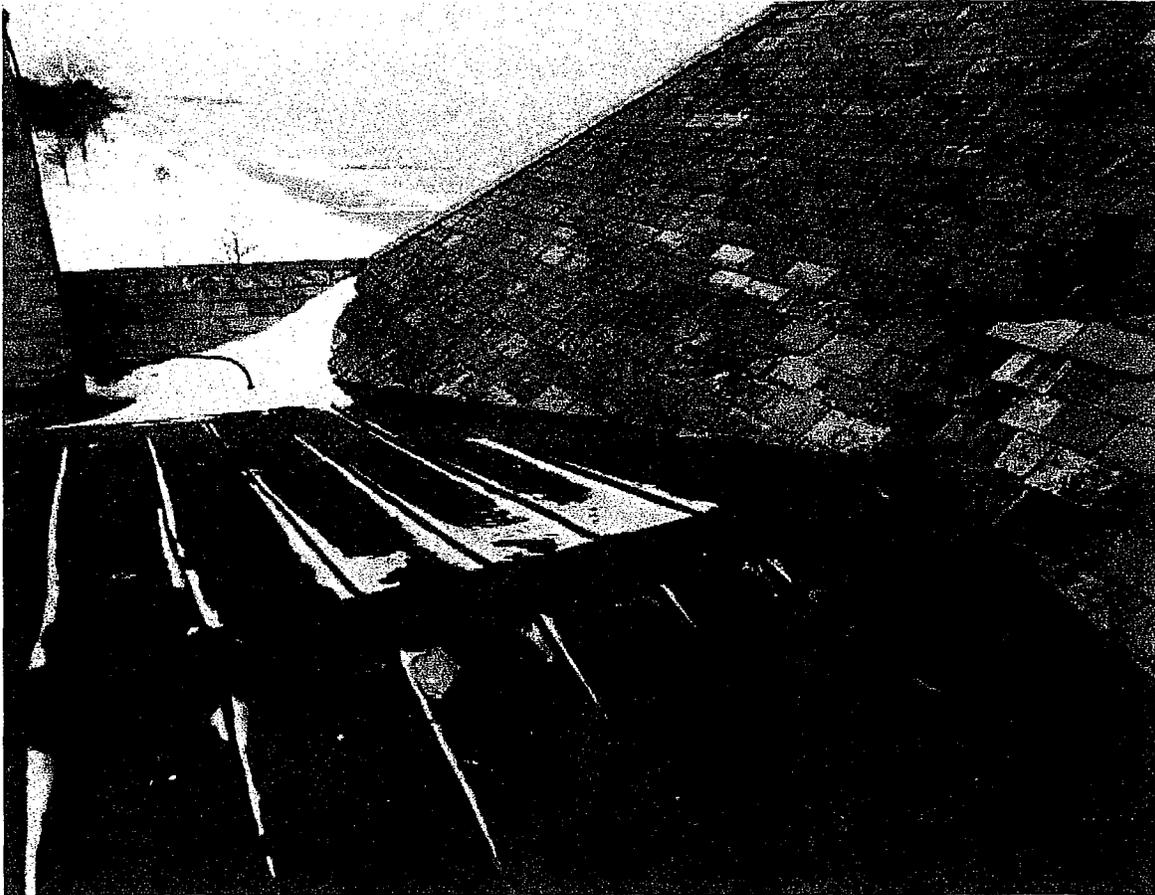
Keith A. Dippel

Keith A. Dippel
President

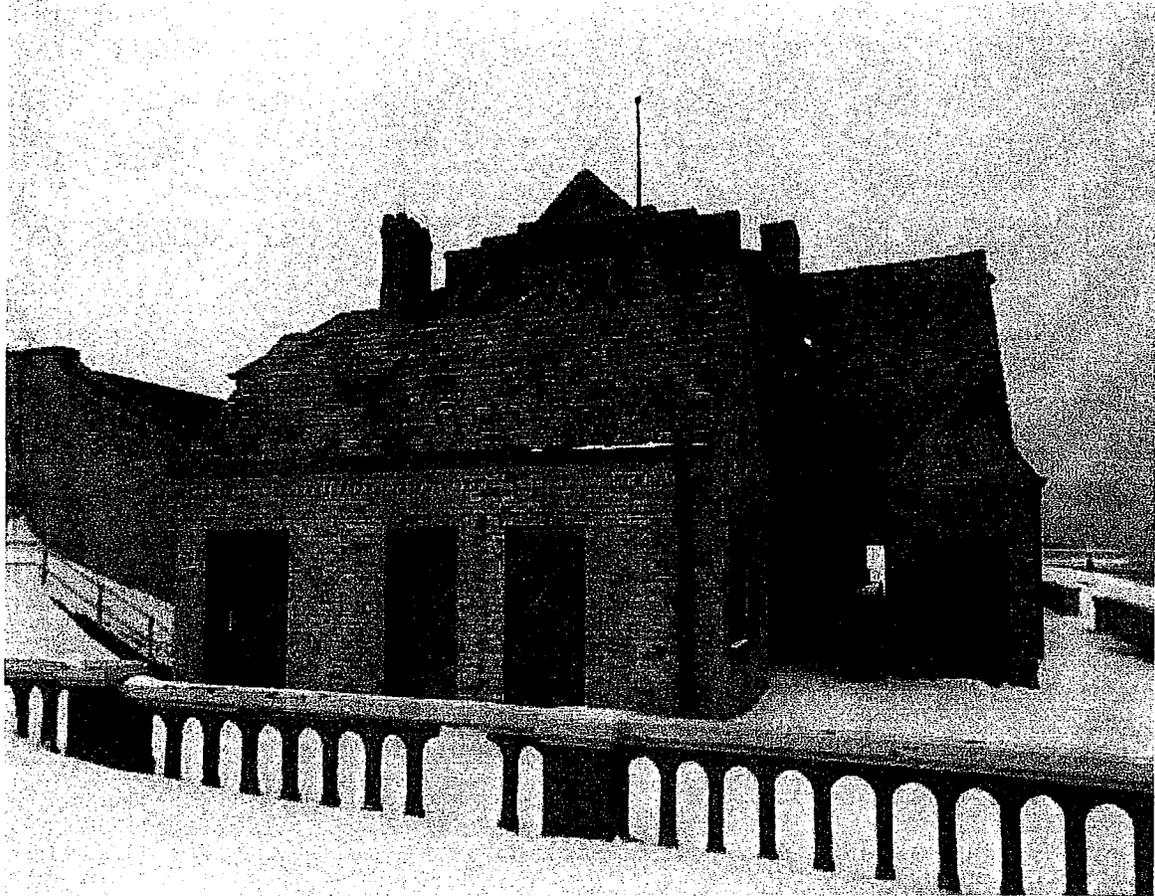




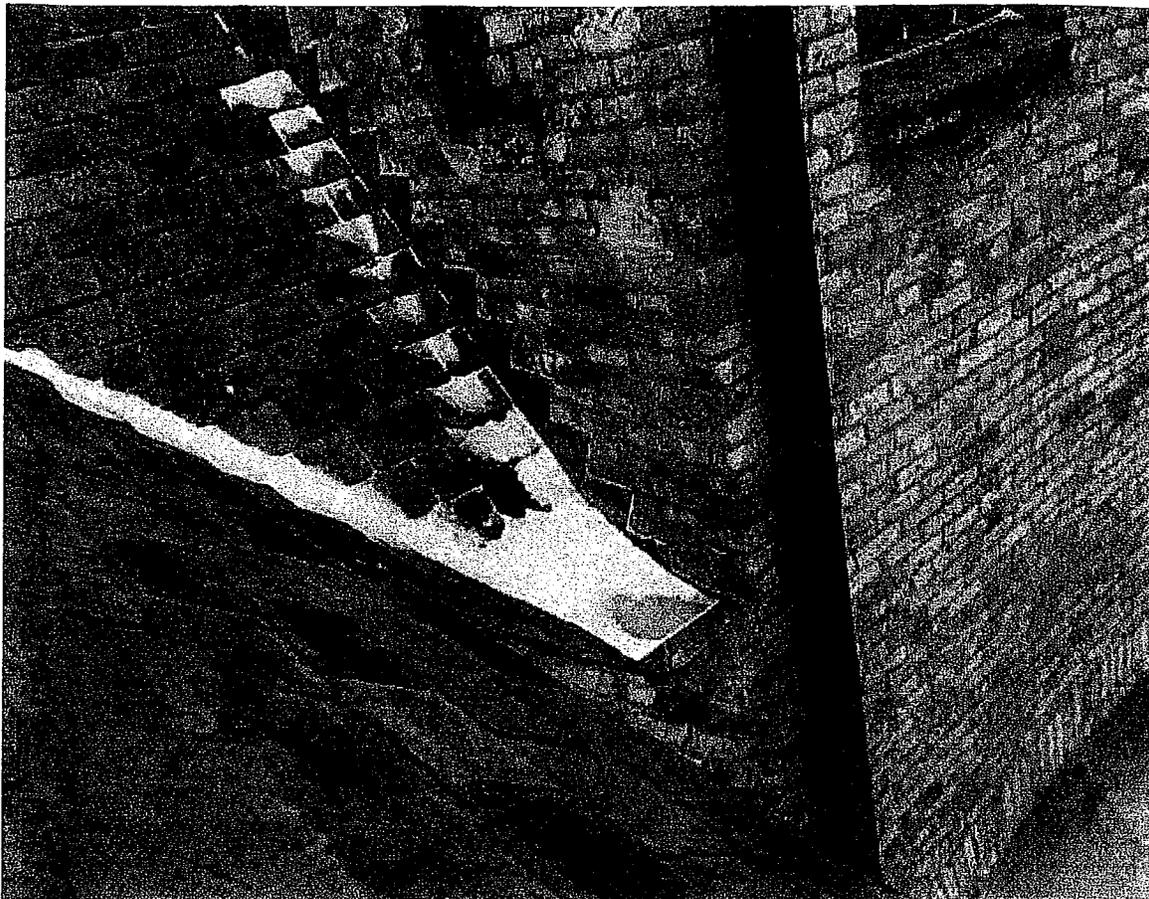




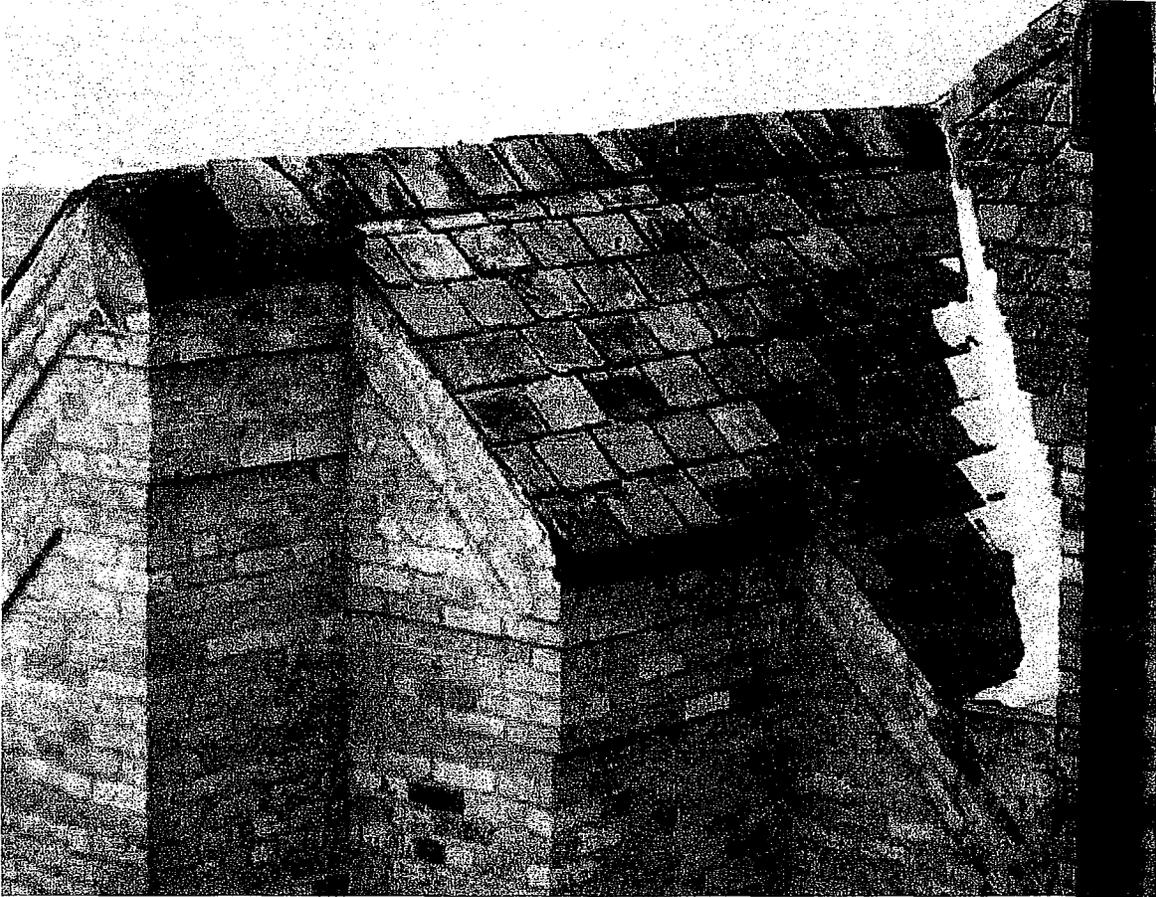


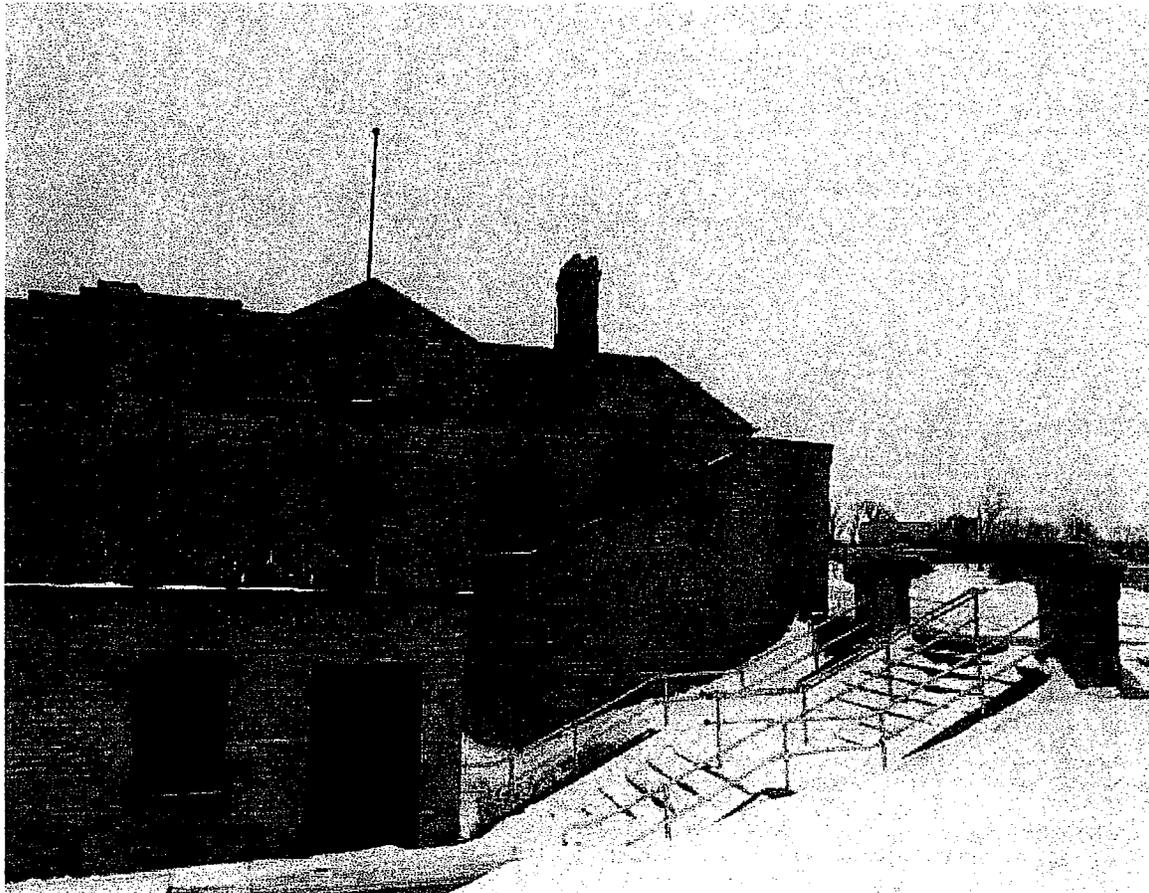




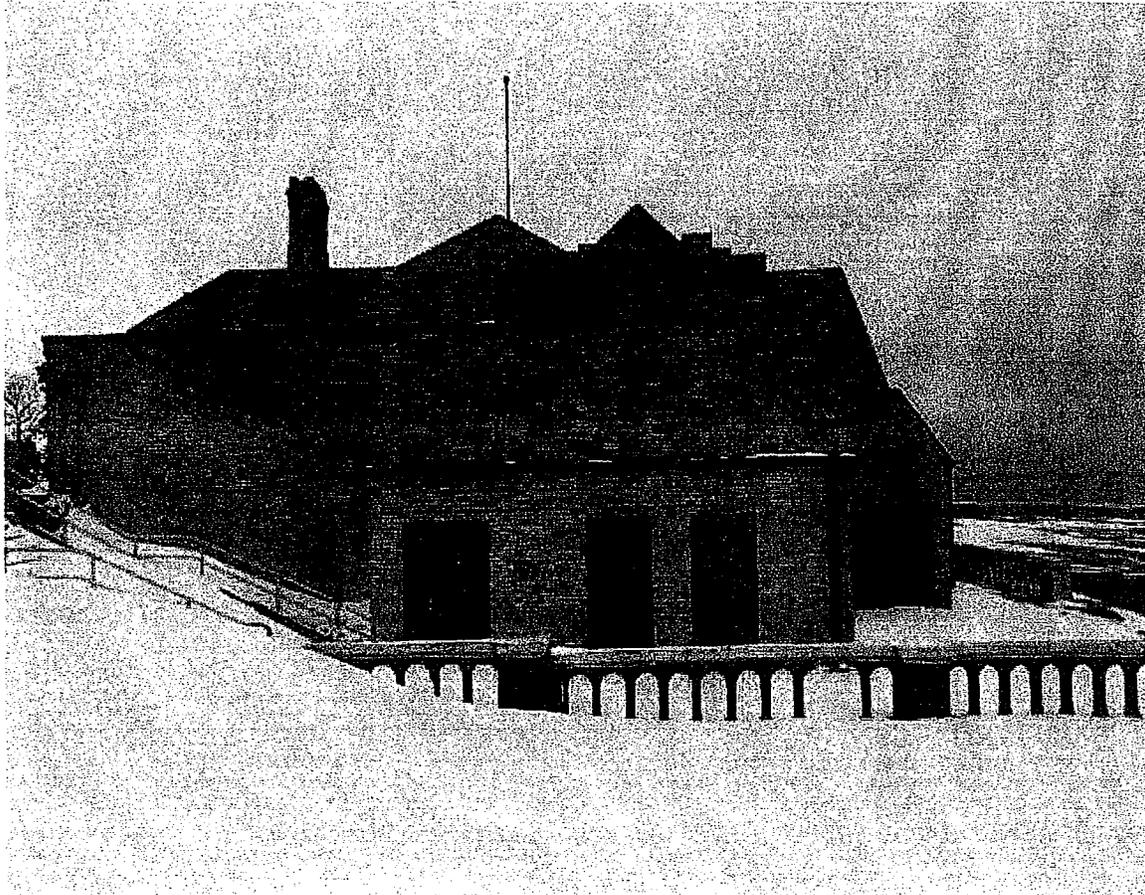














ENGINEERING DIVISION
SHELLY BILLINGSLEY, P.E.
CITY ENGINEER

PARK DIVISION
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DEPARTMENT OF PUBLIC WORKS

MICHAEL M. LEMENS, P.E., DIRECTOR
SHELLY BILLINGSLEY, P.E., DEPUTY DIRECTOR

MUNICIPAL BUILDING · 625 - 52ND ST · RM 305 · KENOSHA, WI 53140
TELEPHONE (262) 653-4050 · FAX (262) 653-4056
EMAIL PUBLICWORKS@KENOSHA.ORG

ADDENDUM

#4

November 4, 2014

PROJECT # 14-1424

Southport Beach House Roof Replacement

This Addendum forms a part of the Contract Documents and modifies the original Bidding Documents as noted below. Acknowledge receipt of this Addendum in the space provided on Bid Form. Failure to do so may subject Bidder to disqualification.

1. General

Revise bid opening from November 5th, 2014 to November 19th, 2014 at 2:00 PM. Staff will be making revisions to the base bid so an alternate of reclaimed slate on all sloped roof areas in addition to the west facing areas can be obtained. Staff will be sending revisions to bid form and specifications under Addendum #5.

Contractor's signature on this addendum must be included with bid.

Contractor's Signature

Sincerely,

Shelly Billingsley, P.E.
Director of Engineering, City Engineer



ENGINEERING DIVISION
SHELLY BILLINGSLEY, P.E.
CITY ENGINEER

PARK DIVISION
JEFF WARNOCK
SUPERINTENDENT

FLEET MAINTENANCE
MAURO LENCI
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STREET DIVISION
JOHN H. PRIJIC
SUPERINTENDENT

WASTE DIVISION
ROCKY BEDNAR.
SUPERINTENDENT

DEPARTMENT OF PUBLIC WORKS
MICHAEL M. LEMENS, P.E., DIRECTOR
SHELLY BILLINGSLEY, P.E., DEPUTY DIRECTOR

MUNICIPAL BUILDING · 625 - 52ND ST · RM 305 · KENOSHA, WI 53140
TELEPHONE (262) 653-4050 · FAX (262) 653-4056
EMAIL PUBLICWORKS@KENOSHA.ORG

ADDENDUM
#5

November 12, 2014

PROJECT # 14-1424
Southport Beach House Roof Replacement

This Addendum forms a part of the Contract Documents and modifies the original Bidding Documents as noted below. Acknowledge receipt of this Addendum in the space provided on Bid Form. Failure to do so may subject Bidder to disqualification.

1. Instructions to Bidders

- Replace the Bid Form with the attached Bid Form, R-5 and R-5a.
- Replace page 13 with the attached page 13.

2. Specifications

- Replace Section 01010 "Summary of Work" with the attached Section 1 "Summary of Work". All changes are shown in bold.
- Add attached Section 2 "Maintenance of Unit Masonry".
- Revise Section 07312 "Natural Slate Roofing" to include salvaged, reclaimed, and/or new slate.

3. Special Provisions

Replace Section 200 Special Provisions with the attached. All changes are shown in bold.

4. Construction Drawings

Replace drawings from Addendum 1 (ADDM1-A1.1, ADDM 1-A1.2, ADDM 1-A1.3) with the attached drawings ADDM 5-1, ADDM 5-2, ADDM 5-3, ADDM 5-4, ADDM 5-5, ADDM 5-6, ADDM 5-7 and ADDM 5-8. These drawings correspond directly to the revised Bid Form.

5. Mandatory Pre-Bid

A mandatory pre-bid meeting will be held on Friday, November 14 at 9:00 at the Southport Beach House due to the change in the bid form. Attendance to either the first (August 12) or second (September 16th) mandatory pre-bid meeting will qualify the bidder to submit a bid without attending the November 14th meeting.

Contractor's signature on this addendum must be included with bid.

Contractor's Signature

Sincerely,

Shelly Billingsley, P.E.
Director of Engineering, City Engineer

SOUTHPORT BEACH HOUSE ROOF REPLACEMENT

PROJECT #14-1424

Bidder will complete the Work in accordance with the Contract Documents for the following price(s):

Item No.	Item Description	Unit	Bid Qty.	Bid Unit \$	Bid Total \$
1	Copper Standing Seam	LS	1	\$	\$
2	Chimney Restoration	EA	2	\$	\$
TOTAL BID					\$

Item No.	Item Description	Unit	Bid Qty.	Bid Unit \$	Bid Total \$
A-1a	Stateline Asphalt Shingles – Full Roof*	LS	1	\$	\$
A-1b	Modified Bitumen	LS	1	\$	\$
TOTAL ALTERNATE 1 BID					\$

Item No.	Item Description	Unit	Bid Qty.	Bid Unit \$	Bid Total \$
A-2a	Salvaged/Reclaimed/New Slate Tiles – Full Roof *	LS	1	\$	\$
A-2b	Modified Bitumen	LS	1	\$	\$
TOTAL ALTERNATE 2 BID					\$

Item No.	Item Description	Unit	Bid Qty.	Bid Unit \$	Bid Total \$
A-3a	Asphalt Shingles (3) West Facing Areas	LS	1	\$	\$
TOTAL ALTERNATE 3 BID					\$

Item No.	Item Description	Unit	Bid Qty.	Bid Unit \$	Bid Total \$
A-4a	Salvaged/Reclaimed/New Slate Tiles – (3) West Facing Areas	LS	1	\$	\$
TOTAL ALTERNATE 4 BID					\$

Item No.	Item Description	Unit	Bid Qty.	Bid Unit \$	Bid Total \$
A-5a	Copper Roofing – North and South Standing Seam	LS	1		\$
TOTAL ALTERNATE 4 BID					\$

*Areas in "Full Roof" exclude all existing and proposed copper roofed areas and modified bitumen areas.

Total Base Bid Price for the Project:

_____ (Words)

(\$ _____) (Figures)

Item No.	Item Description	Bid Total \$
Unit Pricing	Replace wood roof decking (per board foot)	\$
TOTAL UNIT PRICE BID		\$
Item No.	Item Description	Bid Total \$
Time and Material	Repair of latent conditions or additional work (Roofer time per man-hour)	\$
	Material (Contractor cost - addition)	%
TOTAL TIME AND MATERIAL PRICE BID		\$

Respectfully submitted by:

Name of firm: _____ Title: _____

Prepared by: _____ City: _____

Address of firm: _____ Zip: _____

State: _____ Fax: _____

Phone #: _____

materials to **CONTRACTOR** for use during the Contract period. **CITY** designates **ENGINEER**, or designee, to act as its representative with respect to **WORK** to be performed under this Contract, and such person shall have authority to transmit instructions, receive information, interpret and define **CITY'S** policies and provide decisions in a timely manner pertinent to **WORK** covered by this Contract until **CONTRACTOR** has been advised in writing by **CITY** that such authority has been revoked.

4. PERFORMANCE BOND. **CONTRACTOR** has executed a performance bond or other assurance required by **CITY**, in the amount of the Contract award, in a form approved by the City Attorney, as a precondition of award of this Contract. **CITY** may make claim against this bond or assurance should **CONTRACTOR** fail to timely comply with the terms of this Contract, including, but not limited to honoring the specified warranty, paying the prevailing wage rate and securing lien waivers and releases.

Whenever there is a dispute between **CONTRACTOR** or surety or **CITY** as to the determination whether there is a compliance with the provisions of this Contract as to the hours of labor, wages, residence, character, and classification of workmen employed, the determination of **ENGINEER** shall be final, and in case of violation of said provisions, **CITY** may declare this Contract in default and request surety to perform or relet upon advertisement the remaining portion of this Contract.

5. COMMENCEMENT AND DILIGENT PROSECUTION OF WORK. **CONTRACTOR**, upon execution of Contract, will prosecute **WORK** diligently until fully complete in accordance with the following time schedule. **CONTRACTOR** shall commence **WORK** on or before the 13th day of April, 2015, and complete **WORK** within 69 days of commencement or the 26th day of July, 2015, (Contract Deadline); whichever is the earliest, time being of the essence. The **WORK** required by this Contract shall be complete upon completion of all tasks required of **CONTRACTOR**, including the obtaining of an Occupancy Permit and filing of all lien waivers of subcontractors and materialmen.

∞

Should **CONTRACTOR** fail to timely complete **WORK**, **CONTRACTOR** shall be liable to **CITY** in the amount of Three Hundred Fifty (\$350.00) Dollars each and every day an inspection is performed for each inspector assigned by **CITY** to inspect **WORK**.

CONTRACTOR may request a Contract Deadline extension from **ENGINEER**, in writing, prior to the deadline for Contract completion (Contract Deadline), where the progress of **WORK** was delayed and **CONTRACTOR** was not responsible for such delay. Should **ENGINEER** grant an extension, **CONTRACTOR** will not be liable for payment of inspection fees during the period of said extension. Should **ENGINEER** determine that **WORK** will not be completed by Contract Deadline through normal methods and that no request for a Contract Deadline extension has been requested, or if requested, such request was not justified and denied, then **ENGINEER** shall provide **CONTRACTOR** with written notice requiring **CONTRACTOR** to take such extraordinary measures as may be required to complete **WORK** by Contract Deadline, or within a reasonable time. The failure of **CONTRACTOR** to take such extraordinary measures shall be grounds for **CITY** to suspend **WORK** by **CONTRACTOR** and take such other measures as will assure completion of **WORK** within Contract Deadline, or if

SECTION 1 SUMMARY OF WORK

PART 1 – GENERAL OVERVIEW

1.01 Project Overview

- A. The Work consists of roofing replacement at Southport Beach House in Kenosha, Wisconsin for the City of Kenosha.
- B. The Work includes related sheet metal, carpentry work **and masonry work.**
- C. The Work also includes but is not limited to:
 - a. Removal and disposal of existing roofing, underlayment and sheet metal flashings.
 - b. Installation of new slate style asphalt shingles, leak barrier, underlayment and sheet metal flashings.
 - c. Installation of standing seam copper roofing, leak barrier, underlayment and sheet metal flashings.
 - d. Existing prefinished galvanized sheet metal gutters and downspouts to be reused.
 - e. **Repointing and reconstruction of both chimneys.**

PART 2 – PRODUCTS

2.01 System Components

- A. **Copper roof systems:**
 - a. 20 oz. cold rolled copper roof panels
 - b. Leak barrier
 - c. Red Rosin underlayment
 - d. Flux and Solder
- B. **Asphalt shingle roof system:**
 - a. Laminated, slate style fiberglass reinforced asphalt shingles
 - b. Leak barrier
 - c. Synthetic underlayment
- C. **Low-Slope roof system:**
 - a. Heavy Duty fiberglass base sheet
 - b. Self-adhering SBS modified bitumen base sheet
 - c. Self-adhering SBS modified bitumen finish membrane
- D. **Slate tiles**
 - a. **Salvaged/Reclaimed/New slate tiles**
 - b. **Synthetic underlayment**
 - c. **Leak barrier**

- E. Sheet Metal:
 - a. Integral sheet metal flashings
 - b. 24 gauge prefinished galvanized sheet metal
 - c. 16 oz cold rolled copper
- F. Miscellaneous:
 - a. Shingle nails (no staples will be allowed)
 - b. Copper nails
 - c. Copper rivets
- G. Extruded aluminum termination bar with caulking cup
- H. Miscellaneous fasteners
- I. Miscellaneous sealants and tape caulk
- J. Brick and mortar for chimneys

2.02 Components Supplied by Owner

- A. None.

PART 3 – EXECUTION

3.01 Work Performed by Contractor

BASE BID – COPPER STANDING SEAM AND RESTORATION OF TWO CHIMNEYS

- A. Remove existing roofing, underlayment and sheet metal flashings down to the existing roof deck.**
- B. Clean the exposed deck of all debris. Repair or replace decking as required. Obtain unit price approval for Additional Work completed.**
- C. Install leak barrier over the entire roof deck.**
- D. Copper Roof Area:**
 - a. Install two courses of red rosin slip sheet over installed leak barrier.
 - b. Fasten with copper staples (galvanized or aluminum staples prohibited).
 - c. Install sheet metal components in sequence.
 - d. Fabricate and install standing seam and flat lock copper roof panels in accordance with Construction Drawings and approved shop drawings.
 - e. All perimeters and projections are to be constructed and flashed in strict accordance with the Construction Drawings provided.
- E. Chimney Restoration**
 - a. Repoint, repair and clean both chimneys as shown in the plans.
 - b. See section 2 “Maintenance of Unit Masonry”

ALTERNATE 1 – STATELINE ASPHALT SHINGLES – FULL ROOF

- A. Remove existing roofing, underlayment and sheet metal flashings down to the existing wood roof deck.**

- B. Clean the exposed deck of all debris. Repair or replace decking as required. Obtain unit price approval for Additional Work completed.
- C. Install leak barrier over the entire roof deck, except areas of low-slope roofing.
- D. Fabricate and install sheet metal components in sequence with roofing work.
- E. Install synthetic shingle underlayment, in shingle fashion, over all areas to receive slate style asphalt shingles.
- F. Install a started shingle, with tabs removed to expose the sealing strip, along all eaves and rake edges prior to installing the slate style asphalt shingles.
- G. Install the slate style asphalt shingles over the completed underlayment felt and started shingles. Along the rake edge, if applicable, install full shingles in "racked" fashion from eave to ridge.
- H. Install the remainder of the slate style asphalt shingles in accordance with the manufacturer's instructions. Install the integral metal flashings (step flashings, valley flashings, etc.) at the same time as the shingles.
- I. Install heavy-duty base sheet over prepared roof deck on low-slope roof areas.
- J. Install self-adhering modified bitumen base sheet over installed heavy-duty base sheet on low-slope roof areas.
- K. Install self-adhering modified bitumen finish membrane over installed modified bitumen base sheet on all low-slope roof areas.
- L. All perimeters and projections are to be constructed and flashed in strict accordance with the Construction Drawings provided.

ALTERNATE 2 – SALVAGED/RECLAIMED/NEW SLATE TILES – FULL ROOF

- A. Remove existing roofing, underlayment and sheet metal flashings down to the existing wood roof deck.
- B. Clean the exposed deck of all debris. Repair or replace decking as required. Obtain unit price approval for Additional Work completed.
- C. Install leak barrier over the entire roof deck, except areas of low-slope roofing.
- D. Fabricate and install sheet metal components in sequence with roofing work.
- E. Install synthetic underlayment, in shingle fashion, over all areas to receive slate tiles.
- F. Install a started tile along all eaves and rake edges prior to installing the slate tiles.
- G. Install the slate tiles over the completed underlayment felt and started tiles.
- H. Install the remainder of the slate tiles. Install the integral metal flashings (step flashings, valley flashings, etc.) at the same time as the shingles.
- I. Install heavy-duty base sheet over prepared roof deck on low-slope roof areas.
- J. Install self-adhering modified bitumen base sheet over installed heavy-duty base sheet on low-slope roof areas.
- K. Install self-adhering modified bitumen finish membrane over installed modified bitumen base sheet on all low-slope roof areas.
- L. All perimeters and projections are to be constructed and flashed in strict accordance with the Construction Drawings provided.

ALTERNATE 3 – ASPHALT SHINGLES OF (3) WEST FACING AREAS

- A. Remove existing roofing, underlayment and sheet metal flashings down to the existing roof deck.**
- B. Clean the exposed deck of all debris. Repair or replace decking as required. Obtain unit price approval for Additional Work completed.**
- C. Install leak barrier over the entire roof deck.**
- D. Shingle Roof Areas**
 - a. Install synthetic shingle underlayment, in shingle fashion, over all areas to receive slate style shingles.**
 - b. Install a started shingle, with tabs removed to expose the sealing strip, along all eaves and rake edges prior to installing the slate style asphalt shingles.**
 - c. Install the slate style asphalt shingles over the completed underlayment felt and started shingles. Along the rake edge, if applicable, install full shingles in “racked” fashion from eave to ridge.**
 - d. Install the remainder of the slate style asphalt shingles in accordance with the manufacturer’s instructions. Install the integral metal flashings (step flashings, valley flashings, etc.) at the same time as the shingles.**
 - e. Install sheet metal components in sequence.**

ALTERNATE 4 – SALVAGED/RECLAIMED/NEW SLATE TILES – (3) WEST FACING AREAS

- A. Within selected areas as identified within the Construction Drawings, carefully remove and store existing slate roofing tiles, and replace with salvaged, reclaimed or new slate tiles.**
- B. Clean the exposed deck of all debris. Repair or replace decking as required. Obtain unit price approval for Additional Work completed.**
- C. Install leak barrier over the entire roof deck.**
- D. Install synthetic underlayment, in shingle fashion, over all areas to receive slate tiles.**
- E. Install sheet metal components in sequence.**
- F. Install a started tile along all eaves and rake edges prior to installing the slate tiles.**
- G. Install the slate tiles over the completed underlayment felt and started tiles.**
- H. Install salvaged, reclaimed or new slate roofing tiles in accordance with Construction Drawings and approved shop drawings.**
- I. All perimeters and projections are to be constructed and flashed in strict accordance with the Construction Drawings provided.**

ALTERNATE 5 – COPPER ROOFING – NORTH AND SOUTH STANDING SEAM

- A. Remove existing roofing, underlayment and sheet metal flashings down to the existing roof deck.**
- B. Clean the exposed deck of all debris. Repair or replace decking as required. Obtain unit price approval for Additional Work Completed.**
- C. Install leak barrier over the entire roof deck.**
- D. Install two courses of red rosin slip sheet over installed leak barrier.**
 - a. Fasten with copper staples (galvanized or aluminum staples prohibited)**

- E. Install sheet metal components in sequence.**
- F. Fabricate and install standing seam and flat lock copper roof panels in accordance with Construction Drawings and approval shop drawings.**
- G. All perimeters and projections are to be constructed and flashed in strict accordance with the Construction Drawings provided.**

3.02 Inclusions

- A. The Contractor shall include, in his bid, any and all costs incurred in complying with the intent of the Construction Drawings. This shall include, but not be limited to:
 - a. Handling, disconnection, and re-connection of rooftop equipment – crane costs, electrical work, duckwork, and mechanical line extensions, temporary storage, etc.

SECTION 2 MAINTENANCE OF UNIT MASONRY

PART 1 – GENERAL OVERVIEW

1.01 Related Documents

- A. Related documents – general provisions and construction drawings

1.02 Summary

- A. Includes maintenance of unit masonry consisting of brick clay masonry restoration and cleaning as follows:
 - a. Unused anchor removal
 - b. Repairing unit masonry, including replacing units.
 - c. Repointing joints.
 - d. Preliminary cleaning, including removing plant growth.
- B. Cleaning exposed unit masonry surfaces.
- C. Owner-Furnished Material: Approximately 30 pallets of cream city brick
- D. Related Sections: Section 076200 “Sheet Metal Flashing and Trim” for metal flashing installed in or on restored clay masonry.

1.03 Unit Prices

- A. Unit Prices
 - a. Unit prices apply to additions to and deletions from Work as authorized by Change Orders.

1.04 Definitions

- A. Very Low-Pressure Spray: Under 100 psi (690 kPa).
- B. Low-Pressure Spray: 100 to 400 psi; 4 to 6 gpm
- C. Medium-Pressure Spray: 400 to 800 psi; 4 to 6 gpm
- D. High-Pressure Spray: 800 to 1200 psi; 4 to 6 gpm
- E. Saturation Coefficient: Ratio of the weight of water absorbed during immersion in cold water to weight absorbed during immersion in boiling water; used as an indication of resistance of masonry units to freezing and thawing.

1.05 Action Submittals

- A. Product Data: For each type of product indicated. Include recommendations for application and use. Include test data substantiating that products comply with requirements.
- B. Shop drawings:
 - a. Provisions for expansion joints or other sealant joints.
 - b. Provisions for flashing, lighting fixtures, conduits, and weep holes as required.

C. Samples for Initial Selection:

- a. Pointing Mortar: Submit sets of mortar for pointing in the form of sample mortar strips, 6 inches (150 mm) long by 1/2 inch (13 mm) wide, set in aluminum or plastic channels.
 - i. Have each set contain a close color range of at least three Samples of different mixes of colored sands and cements that produce a mortar matching the cleaned masonry when cured and dry.
 - ii. Submit with precise measurements on ingredients, proportions, gradations, and sources of colored sands from which each Sample was made.
- b. Patching Compound: Submit sets of patching compound Samples in the form of plugs (patches in drilled holes) in sample units of masonry representative of the range of masonry colors on the building.
 - i. Have each set contain a close color range of at least three Samples of different mixes of patching compound that matches the variations in existing masonry when cured and dry.
- c. Sealant Materials: See Section 07920 "Joint Sealants."
 - i. Include similar Samples of accessories involving color selection.

D. Samples for Verification:

- a. Each type of masonry unit to be used for replacing existing units. Include sets of Samples as necessary to show the full range of shape, color, and texture to be expected.
 - i. For each brick type, provide straps or panels containing at least four bricks. Include multiple straps for brick with a wide range.
- b. Each type of sand used for pointing mortar; minimum 1 lb (0.5 kg) of each in plastic screw-top jars.
 - i. For blended sands, provide Samples of each component and blend.
 - ii. Identify sources, both supplier and quarry, of each type of sand.
- c. Each type, color, and texture of pointing mortar in the form of sample mortar strips, 6 inches (150 mm) long by 1/2 inch (13 mm) wide, set in aluminum or plastic channels.
 - i. Include with each Sample a list of ingredients with proportions of each. Identify sources, both supplier and quarry, of each type of sand and brand names of cementitious materials and pigments if any.
- d. Each type of masonry patching compound in the form of briquettes, at least 3 inches (75 mm) long by 1-1/2 inches (38 mm) wide. Document each Sample with manufacturer and stock number or other information necessary to order additional material.
- e. Sealant Materials: See Section 07920 "Joint Sealants."
- f. Accessories: Each type of anchor, accessory, and miscellaneous support.

1.06 Quality Assurance

- A. Restoration Program: Prepare a written, detailed description of materials, methods, equipment, and sequence of operations to be used for each phase of restoration work including protection of surrounding materials and Project site.
 - a. Include methods for keeping pointing mortar damp during curing period.
 - b. If materials and methods other than those indicated are proposed for any phase of restoration work, add to the Quality-Control Program a written description of such materials and methods; including evidence of successful use on comparable projects, and demonstrations to show their effectiveness for this Project and worker's ability to use such materials and methods properly.

- B. Masonry Repair: Prepare sample areas for each type of masonry material indicated to have repair work performed. If not otherwise indicated, size each mockup not smaller than 4 adjacent whole units. Erect sample areas in existing walls unless otherwise indicated, to demonstrate quality of materials, workmanship, and blending with existing work. Include the following as a minimum:
 - a. Replacement – four brick units replaced
 - b. Reanchoring Veneers: Install three masonry repair anchors in mockup wall assembly of each anchor type required.
 - c. Patching: Three small holes at least 1 inch (25 mm) in diameter for each type of masonry material indicated to be patched, so as to leave no evidence of repair.
- C. Repointing: Rake out joints in 2 separate areas, each approximately 36 inches (900 mm) high by 48 inches (1200 mm) wide for each type of repointing required and repoint one of the areas.

1.07 Delivery, Storage, and Handling

- A. Deliver masonry units to Project site strapped together in suitable packs or pallets or in heavy-duty cartons.
- B. Deliver other materials to Project site in manufacturer's original and unopened containers, labeled with manufacturer's name and type of products.
- C. Store mortar materials on elevated platforms, under cover, and in a dry location. Do not use mortar materials that have become damp.
- D. Store mortar materials in manufacturer's original and unopened containers, and in accordance with manufacturer's instructions.

1.08 Project Conditions

- A. Weather Limitations: Proceed with installation only when existing and forecasted weather conditions permit masonry restoration and cleaning work to be performed according to manufacturers' written instructions and specified requirements.
- B. Repair masonry units and repoint mortar joints only when air temperature is between 40 and 90 deg F (4 and 32 deg C) and is predicted to remain so for at least 7 days after completion of the Work unless otherwise indicated.
- C. Cold-Weather Requirements: Comply with the following procedures for masonry repair and mortar-joint pointing unless otherwise indicated:
 - a. When air temperature is below 40 deg F (4 deg C), heat mortar ingredients, masonry repair materials, and existing masonry walls to produce temperatures between 40 and 120 deg F (4 and 49 deg C).
 - b. When mean daily air temperature is below 40 deg F (4 deg C), provide enclosure and heat to maintain temperatures above 32 deg F (0 deg C) within the enclosure for 7 days after repair and pointing.
- D. Hot-Weather Requirements: Protect masonry repair and mortar-joint pointing when temperature and humidity conditions produce excessive evaporation of water from mortar and repair materials. Provide

artificial shade and wind breaks and use cooled materials as required to minimize evaporation. Do not apply mortar to substrates with temperatures of 90 deg F (32 deg C) and above unless otherwise indicated.

- E. For manufactured repair materials, perform work within the environmental limits set by each manufacturer.
- F. Clean masonry surfaces only when air temperature is 50 deg F (10 deg C) and above and is predicted to remain so for at least 7 days after completion of cleaning.

1.09 Coordination

- A. Coordinate masonry restoration and cleaning with public circulation patterns at Project site. Some work is near public circulation patterns. Public circulation patterns cannot be closed off entirely, and in places can be only temporarily redirected around small areas of work. Plan and execute the Work accordingly.

1.10 Sequencing and Scheduling

- A. Order replacement materials at earliest possible date to avoid delaying completion of the Work.
- B. Order material for pointing mortar immediately after approval of mockups. Take delivery of and store at Project site a sufficient quantity to complete Project.
- C. Perform masonry restoration work in the following sequence:
 - a. Remove plant growth.
 - b. Inspect for open mortar joints and repair before cleaning to prevent the intrusion of water and other cleaning materials into the wall.
 - c. Clean masonry surfaces.
 - d. Rake out mortar from joints surrounding masonry to be replaced and from joints adjacent to masonry repairs along joints.
 - e. Repair masonry, including replacing existing masonry with new masonry materials.
 - f. Rake out mortar from joints to be repointed.
 - g. Point mortar and sealant joints.
 - h. After repairs and repointing have been completed and cured, perform a final cleaning to remove residues from this work.
 - i. Inspect for open mortar joints and repair before cleaning to prevent the intrusion of water and other cleaning materials into the wall.
- D. As scaffolding is removed, patch anchor holes used to attach scaffolding. Patch holes in masonry units to comply with "Masonry Unit Patching" Article. Patch holes in mortar joints to comply with "Repointing Masonry" Article.

PART 2 – PRODUCTS

2.01 Masonry Materials

- A. Brick: Provide salvaged Milwaukee Cream City brick selected from best available lot with sufficient quantity to complete project.

2.02 Mortar Materials

- A. Natural Hydraulic Lime Mortar NHL 3.5 manufactured by U.S. Heritage Group.
- B. Water: Potable.

2.03 Manufactured Repair Materials

- A. Masonry Patching Compound: Factory-mixed cementitious product that is custom manufactured for patching masonry.
 - a. Products: Subject to compliance with requirements, available products that may be incorporated into the Work include, but are not limited to, the following:
 - i. Cathedral Stone Products, Inc.; Jahn M100 Terra Cotta and Brick Repair Mortar.
 - ii. Conproco Corporation; Mimic or Matrix.
 - iii. Edison Coatings, Inc.; Custom System 45.
 - b. Use formulation that is vapor- and water permeable (equal to or more than the masonry unit), exhibits low shrinkage, has lower modulus of elasticity than the masonry units being repaired, and develops high bond strength to all types of masonry.
 - c. Use formulation having working qualities and retardation control to permit forming and sculpturing where necessary.
 - d. Formulate patching compound used for patching brick in colors and textures to match each masonry unit being patched. Provide not less than three colors to enable matching the color, texture, and variation of each unit.

2.04 Cleaning Materials

- A. Water: Potable.
- B. Hot Water: Water heated to a temperature of 300 deg F.

2.05 Mortar Mixes

- A. Measurement and Mixing: measure and mix according to manufacturer's instructions.
- B. Do not use admixtures in mortar unless otherwise indicated.

PART 3 – EXECUTION

3.01 Protection

- A. Protect persons, motor vehicles, surrounding surfaces of building being restored, building site, plants, and surrounding buildings from harm resulting from masonry restoration work.
 - a. Erect temporary protective covers over walkways and at points of pedestrian and vehicular entrance and exit that must remain in service during course of restoration and cleaning work
- B. Comply with chemical-cleaner manufacturer's written instructions for protecting building and other surfaces against damage from exposure to its products. Prevent chemical-cleaning solutions from coming into contact with people, motor vehicles, landscaping, buildings, and other surfaces that could be harmed by such contact.
 - a. Cover adjacent surfaces with materials that are proven to resist chemical cleaners used unless chemical cleaners being used will not damage adjacent surfaces. Use materials that contain only waterproof, UV-resistant adhesives. Apply masking agents to comply with manufacturer's written instructions. Do not apply liquid masking agent to painted or porous surfaces. When no longer needed, promptly remove masking to prevent adhesive staining.
 - b. Keep wall wet below area being cleaned to prevent streaking from runoff.
 - c. Do not clean masonry during winds of sufficient force to spread cleaning solutions to unprotected surfaces.
 - d. Neutralize and collect alkaline and acid wastes for disposal off Owner's property.
 - e. Dispose of runoff from cleaning operations by legal means and in a manner that prevents soil erosion, undermining of paving and foundations, damage to landscaping, and water penetration into building interiors.
- C. Prevent mortar from staining face of surrounding masonry and other surfaces.
 - a. Cover sills, ledges, and projections to protect from mortar droppings.
 - b. Keep wall area wet below rebuilding and pointing work to discourage mortar from adhering.
 - c. Immediately remove mortar in contact with exposed masonry and other surfaces.
 - d. Clean mortar splatters from scaffolding at end of each day.
- D. Remove downspouts adjacent to masonry and store during masonry restoration and cleaning. Reinstall when masonry restoration and cleaning are complete.
 - a. Provide temporary rain drainage during work to direct water away from building.

3.02 Unused Anchor Removal

- A. Remove masonry anchors, brackets, wood nailers, and other extraneous items no longer in use unless identified as historically significant or indicated to remain.
 - a. Remove items carefully to avoid spalling or cracking masonry.
 - b. Patch the hole where each item was removed unless directed to remove and replace the masonry unit.

3.03 Brick Removal and Replacement

- A. At locations indicated on plans, remove bricks that are damaged, spalled, or deteriorated or are to be reused. Carefully demolish or remove entire units from joint to joint, without damaging surrounding masonry, in a manner that permits replacement with full-size units.
 - a. When removing single bricks, remove material from center of brick and work toward outside edges.
- B. Support and protect remaining masonry that surrounds removal area. Maintain flashing, reinforcement, lintels, and adjoining construction in an undamaged condition.
- C. Notify Engineer of unforeseen detrimental conditions including voids, cracks, bulges, and loose units in existing masonry backup, rotted wood, rusted metal, and other deteriorated items.
- D. Remove in an undamaged condition as many whole bricks as possible.
 - a. Remove mortar, loose particles, and soil from brick by cleaning with hand chisels, brushes, and water.
 - b. Remove sealants by cutting close to brick with utility knife and cleaning with solvents.
 - c. Store brick for reuse. Store off ground, on skids, and protected from weather.
 - d. Deliver cleaned brick not required for reuse to Owner unless otherwise indicated.
- E. Clean bricks surrounding removal areas by removing mortar, dust, and loose particles in preparation for replacement.
- F. Replace removed damaged brick with other removed brick and salvaged brick in good quality, where possible, or with new brick matching existing brick, including size. Do not use broken units unless they can be cut to usable size.
- G. Install replacement brick into bonding and coursing pattern of existing brick. If cutting is required, use a motor-driven saw designed to cut masonry with clean, sharp, unchipped edges.
 - a. Maintain joint width for replacement units to match existing joints.
- H. Lay replacement brick with completely filled bed, head, and collar joints. Butter ends with sufficient mortar to fill head joints and shove into place. Wet both replacement and surrounding bricks that have ASTM C 67 initial rates of absorption (suction) of more than 30 g/30 sq. in. per min. (30 g/194 sq. cm per min.). Use wetting methods that ensure that units are nearly saturated but surface is dry when laid.
 - a. Tool exposed mortar joints in repaired areas to match joints of approved mockup.
 - b. Rake out mortar used for laying brick before mortar sets and point new mortar joints in repaired area to comply with requirements for repointing existing masonry, and at same time as repointing of surrounding area.
 - c. When mortar is sufficiently hard to support units, remove shims and other devices interfering with pointing of joints.

3.04 Reanchoring Veneers

- A. Utilize masonry repair anchors where outer wythe of multi-wythe masonry construction is being replaced and interlocking of wythes is not feasible.
- B. Install masonry repair anchors in horizontal mortar joints and according to manufacturer's written instructions. Install at not more than 16 inches (400 mm) o.c. vertically and 32 inches (800 mm) o.c. horizontally unless otherwise indicated. Install at locations to avoid penetrating flashing.
- C. Recess anchors at least 5/8 inch (16 mm) from surface of mortar joint and fill recess with pointing mortar.

3.05 Masonry Unit Patching

- A. Patch the following masonry units unless another type of replacement or repair is indicated:
 - a. Units indicated to be patched.
 - b. Units with unused anchor holes.
- B. Remove and replace existing patches unless otherwise indicated or approved by Engineer.
- C. Patching Bricks:
 - a. Remove loose material from masonry surface. Carefully remove additional material so patch will not have feathered edges but will have square or slightly undercut edges on area to be patched and will be at least 1/4 inch (6 mm) thick, but not less than recommended by patching compound manufacturer.
 - b. Mask adjacent mortar joint or rake out for repointing if patch will extend to edge of masonry unit.
 - c. Mix patching compound in individual batches to match each unit being patched. Combine one or more colors of patching compound, as needed, to produce exact match.
 - d. Rinse surface to be patched and leave damp, but without standing water.
 - e. Brush-coat surfaces with slurry coat of patching compound according to manufacturer's written instructions.
 - f. Place patching compound in layers as recommended by patching compound manufacturer, but not less than 1/4 inch (6 mm) or more than 2 inches (50 mm) thick. Roughen surface of each layer to provide a key for next layer.
 - g. Trowel, scrape, or carve surface of patch to match texture and surrounding surface plane or contour of the masonry unit. Shape and finish surface before or after curing, as determined by testing, to best match existing masonry unit.
 - h. Keep each layer damp for 72 hours or until patching compound has set.

3.06 Cleaning Masonry, General

- A. Proceed with cleaning in an orderly manner; work from bottom to top of each scaffold width and from one end of each elevation to the other. Ensure that dirty residues and rinse water will not wash over cleaned, dry surfaces.
- B. Use only those cleaning methods indicated for each masonry material and location.
 - a. Do not use wire brushes or brushes that are not resistant to chemical cleaner being used. Do not use plastic-bristle brushes if natural-fiber brushes will resist chemical cleaner being used.
 - b. Use spray equipment that provides controlled application at volume and pressure indicated, measured at spray tip. Adjust pressure and volume to ensure that cleaning methods do not damage masonry.
 - i. Equip units with pressure gages.
 - c. For water-spray application, use fan-shaped spray tip that disperses water at an angle of 25 to 50 degrees.
 - d. For heated water-spray application, use equipment capable of maintaining temperature of 300 deg F at flow rates indicated.

- C. Perform each cleaning method indicated in a manner that results in uniform coverage of all surfaces, including corners, moldings, and interstices, and that produces an even effect without streaking or damaging masonry surfaces.
- D. Water Application Methods:
 - a. Water-Spray Applications: Unless otherwise indicated, hold spray nozzle at least 6 inches (150 mm) from surface of masonry and apply water in horizontal back and forth sweeping motion, overlapping previous strokes to produce uniform coverage.
- E. Chemical-Cleaner Application Methods: Apply chemical cleaners to masonry surfaces to comply with chemical-cleaner manufacturer's written instructions; use brush application. Do not allow chemicals to remain on surface for periods longer than those indicated or recommended by manufacturer.
- F. Rinse off chemical residue and soil by working upward from bottom to top of each treated area at each stage or scaffold setting. Periodically during each rinse, test pH of rinse water running off of cleaned area to determine that chemical cleaner is completely removed.
 - a. Apply neutralizing agent and repeat rinse if necessary to produce tested pH of between 6.7 and 7.5.
- G. After cleaning is complete, remove protection no longer required. Remove tape and adhesive marks.

3.07 Cleaning Brickwork (Non-Painted Areas)

- A. Hot-Water Wash:
 - a. Use 300 deg F water applied at 900 psi with a fan tip nozzle no closer than 9-12" from the face of the brick.
 - b. Move water spray slowly and steadily over surface, back and forth, until soiling loosens and washes away from surface, approximately two minutes.

3.08 Repointing Masonry

- A. Rake out and repoint joints to the following extent:
 - a. All masonry joints, except those in areas where existing masonry units will be removed and be reset or replaced.
- B. Rake out joints as follows, according to procedures demonstrated in approved mockup:
 - a. Remove mortar from joints to depth of 2-1/2 times joint width, but not less than 1/2 inch (13 mm) or not less than that required to expose sound, unweathered mortar.
 - b. Remove mortar from masonry surfaces within raked-out joints to provide reveals with square backs and to expose masonry for contact with pointing mortar. Brush, vacuum, or flush joints to remove dirt and loose debris.
 - c. Do not spall edges of masonry units or widen joints. Replace or patch damaged masonry units as directed by Engineer.
 - i. Cut out center of mortar bed joints using angle grinders with diamond-impregnated metal blades. Remove remaining mortar by hand with chisel and resilient mallet. Strictly adhere to approved quality-control program.
 - d. Notify Architect of unforeseen detrimental conditions including voids in mortar joints, cracks, loose masonry units, rotted wood, rusted metal, and other deteriorated items.
 - e. Pointing with Mortar:

- i. Rinse joint surfaces with water to remove dust and mortar particles. Time rinsing application so, at time of pointing, joint surfaces are damp but free of standing water. If rinse water dries, dampen joint surfaces before pointing.
- ii. Apply pointing mortar first to areas where existing mortar was removed to depths greater than surrounding areas. Apply in layers not greater than 3/8 inch (9 mm) until a uniform depth is formed. Fully compact each layer thoroughly and allow it to become thumbprint hard before applying next layer.
- iii. After low areas have been filled to same depth as remaining joints, point all joints by placing mortar in layers not greater than 3/8 inch (9 mm). Fully compact each layer and allow to become thumbprint hard before applying next layer. Where existing masonry units have worn or rounded edges, slightly recess finished mortar surface below face of masonry to avoid widened joint faces. Take care not to spread mortar beyond joint edges onto exposed masonry surfaces or to featheredge the mortar.
- iv. When mortar is thumbprint hard, tool joints to match original appearance of joints as demonstrated in approved mockup. Remove excess mortar from edge of joint by brushing.
- v. Cure mortar by maintaining in thoroughly damp condition for at least seven consecutive days including weekends and holidays.
 1. Acceptable curing methods include covering with wet burlap and plastic sheeting, periodic hand misting, and periodic mist spraying using system of pipes, mist heads, and timers.
 2. Adjust curing methods to ensure that pointing mortar is damp throughout its depth without eroding surface mortar.
- vi. Hairline cracking within the mortar or mortar separation at edge of a joint is unacceptable. Completely remove such mortar and repaint.

3.09 Final Cleaning

- A. After mortar has fully hardened, thoroughly clean exposed masonry surfaces of excess mortar and foreign matter; use wood scrapers, stiff-nylon or -fiber brushes, and clean water, spray applied at low pressure.
 - a. Do not use metal scrapers or brushes.
 - b. Do not use acidic or alkaline cleaners.
- B. Wash adjacent woodwork and other nonmasonry surfaces. Use detergent and soft brushes or cloths.
- C. Clean mortar and debris from roof; remove debris from gutters and downspouts. Rinse off roof and flush gutters and downspouts.
- D. Sweep and rake adjacent pavement and grounds to remove mortar and debris. Where necessary, pressure wash pavement surfaces to remove mortar, dust, dirt, and stains.

3.10 Field Quality Control

- A. Notify Engineer in advance of times when lift devices and scaffolding will be relocated. Do not relocate lift devices and scaffolding until Engineer had reasonable opportunity to make observations of work areas at lift device or scaffold location.

SPECIAL PROVISIONS

TABLE OF CONTENTS

SECTION 200

SPECIAL PROVISIONS

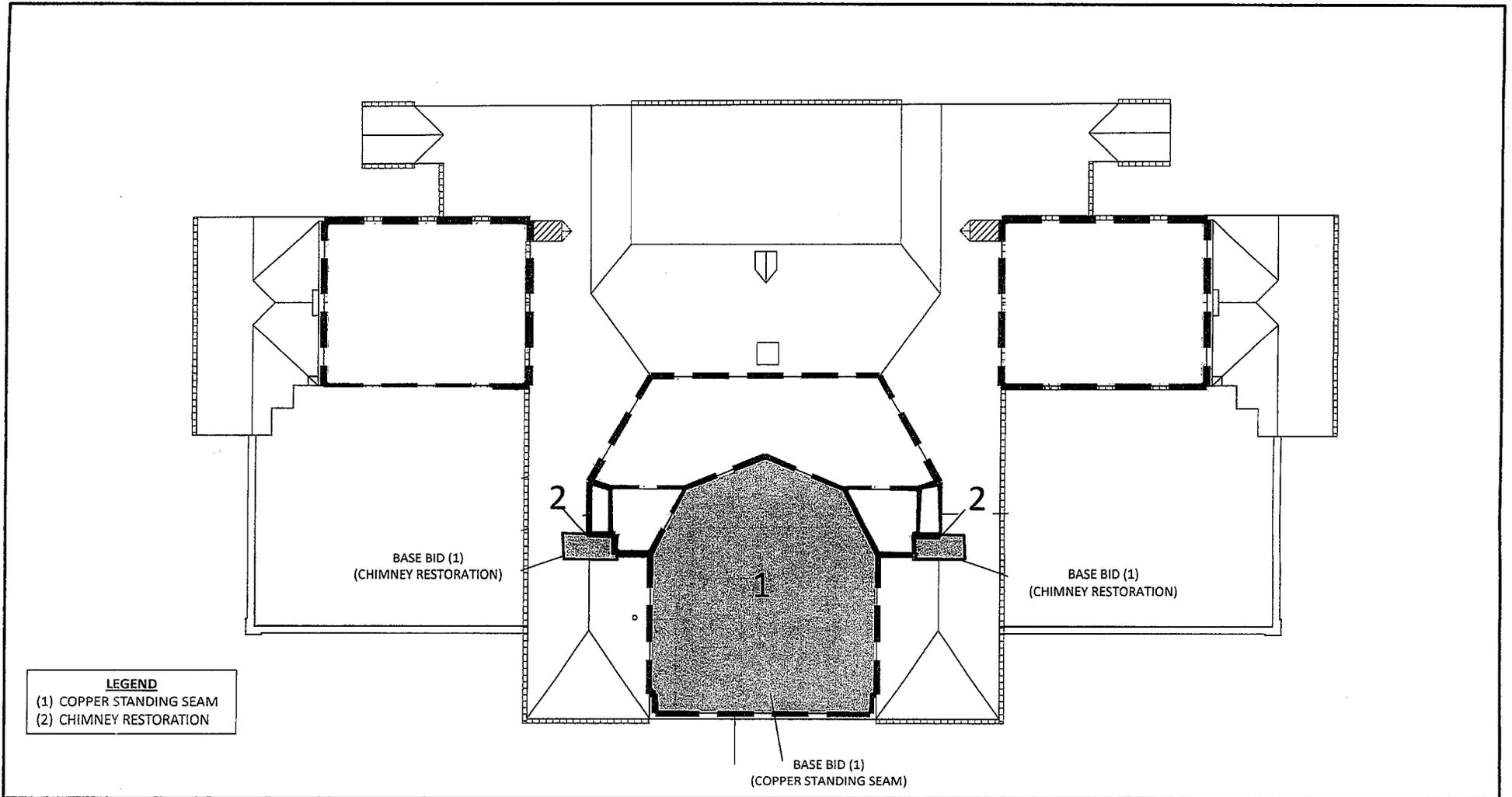
	Starts on Page
GENERAL.....	200-1

General

The work under this contract for the construction of the **Southport Beach House Roof Replacement**, construction project, Kenosha, Wisconsin shall be in accordance with the plans. This section contains an explanation of bid items contained in this bid proposal and supersedes the technical specifications if conflicts arise. The term "standard specification" in these special provisions refers to the "State of Wisconsin, Department of Transportation, Standard Specifications for Highway and Structure Construction", 2014 Edition, and shall be executed under the requirements of the General Specifications, Technical Specifications, Standard Specifications, and these special provisions.

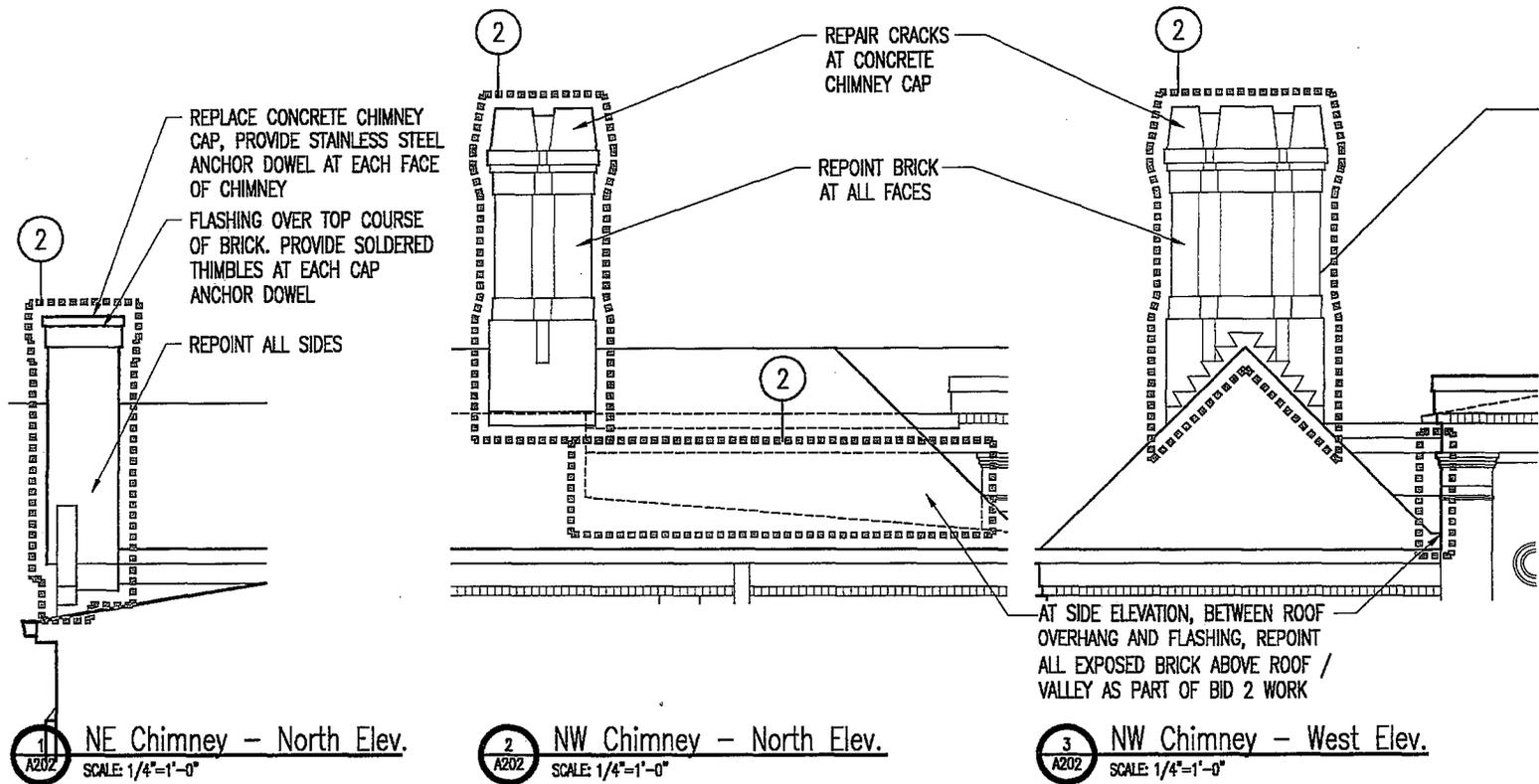
Schedule of Work:

- Mandatory Pre-Bid Meeting: **Friday November 14**, 2014 at 9:00 on site
- Bid Opening: **November 19**, 2014
- Approximate Construction Start: **April 13, 2015**
- Completion: **July 21, 2015**



REVISED BASE BID
 SOUTHPORT BEACH HOUSE
 ROOF REPLACEMENT
 DATE: 11/10/14

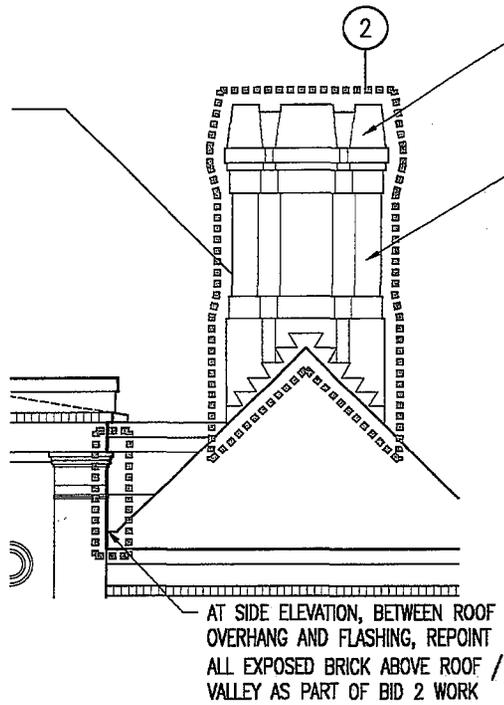
ADDM 5-1



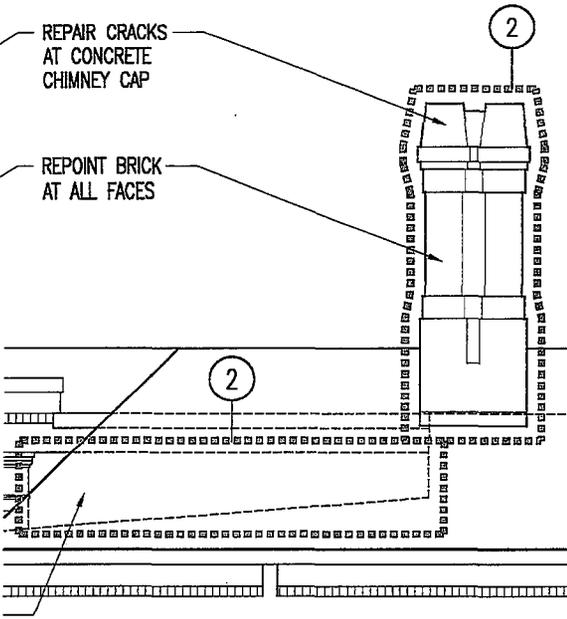
REVISED BASE BID

SOUTHPORT BEACH HOUSE
ROOF REPLACEMENT
DATE: 11/10/14

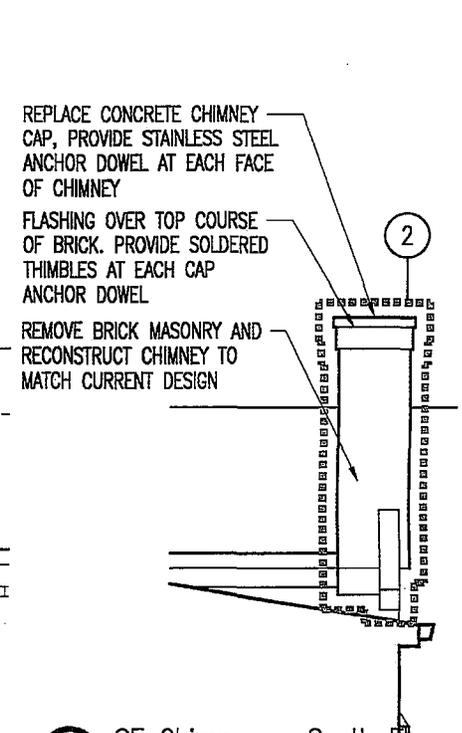
ADDM 5-2



4 SW Chimney - West Elev.
A202 SCALE: 1/4"=1'-0"

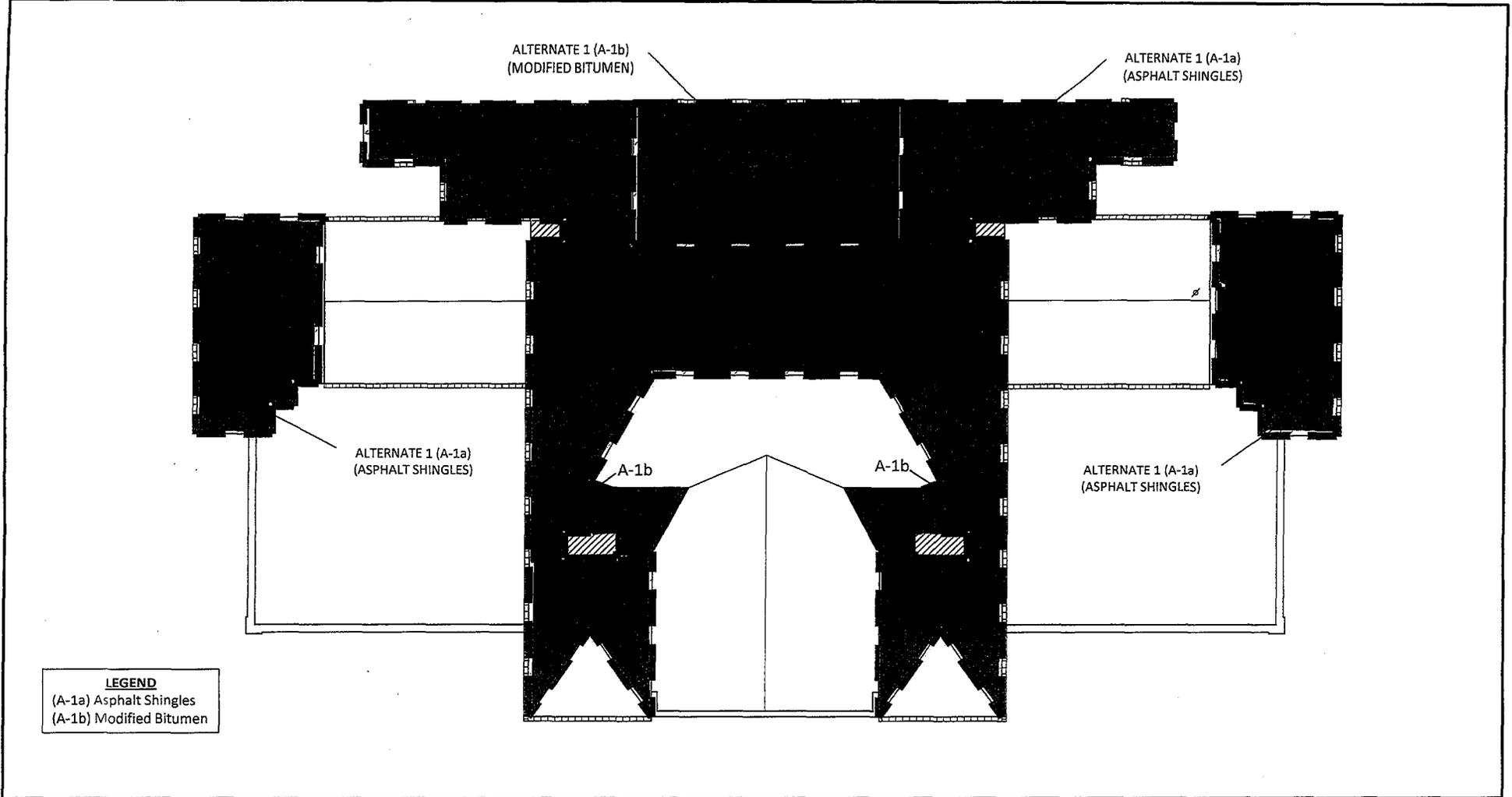


5 SW Chimney - South Elev.
A202 SCALE: 1/4"=1'-0"



6 SE Chimney - South Elev.
A202 SCALE: 1/4"=1'-0"

REVISED BASE BID
SOUTHPORT BEACH HOUSE
ROOF REPLACEMENT
DATE: 11/10/14
ADDM 5-3

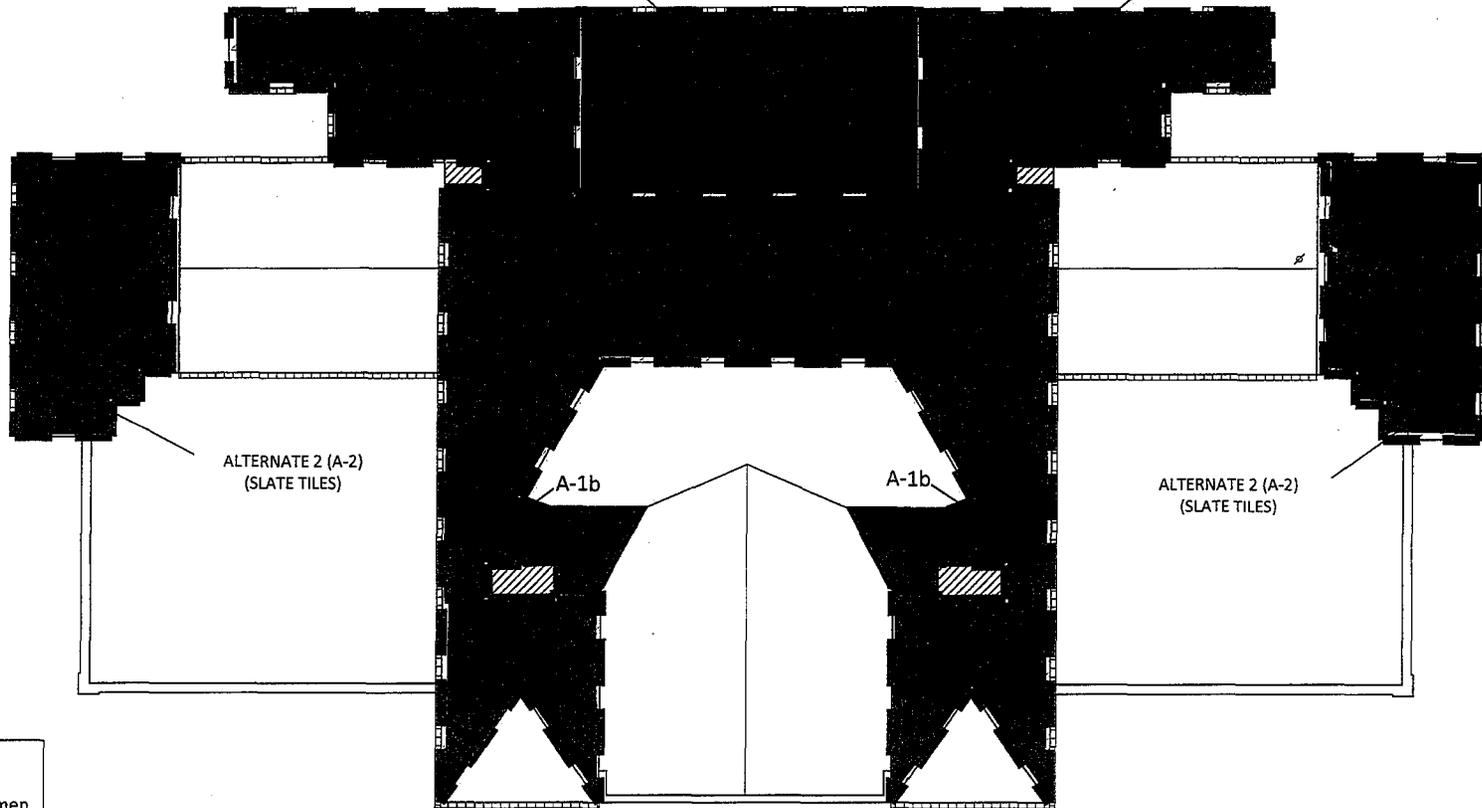


REVISED ALTERNATE 1
SOUTHPORT BEACH HOUSE
ROOF REPLACEMENT
DATE: 11/10/14

ADDM 5-4

ALTERNATE 2 (A-2b)
(MODIFIED BITUMEN)

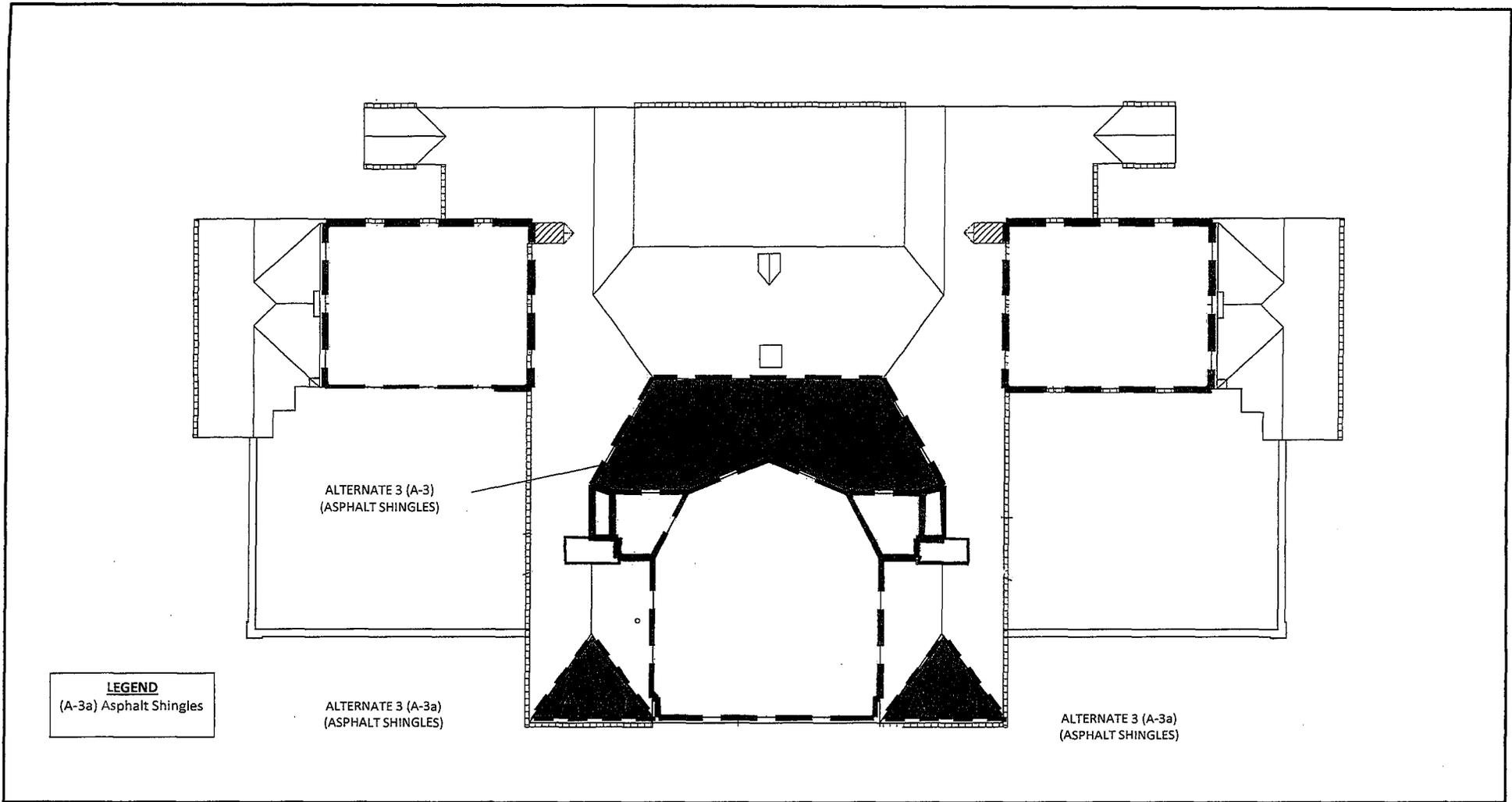
ALTERNATE 2 (A-2)
(SLATE TILES)



LEGEND
(A-2a) Slate Tiles
(A-2b) Modified Bitumen

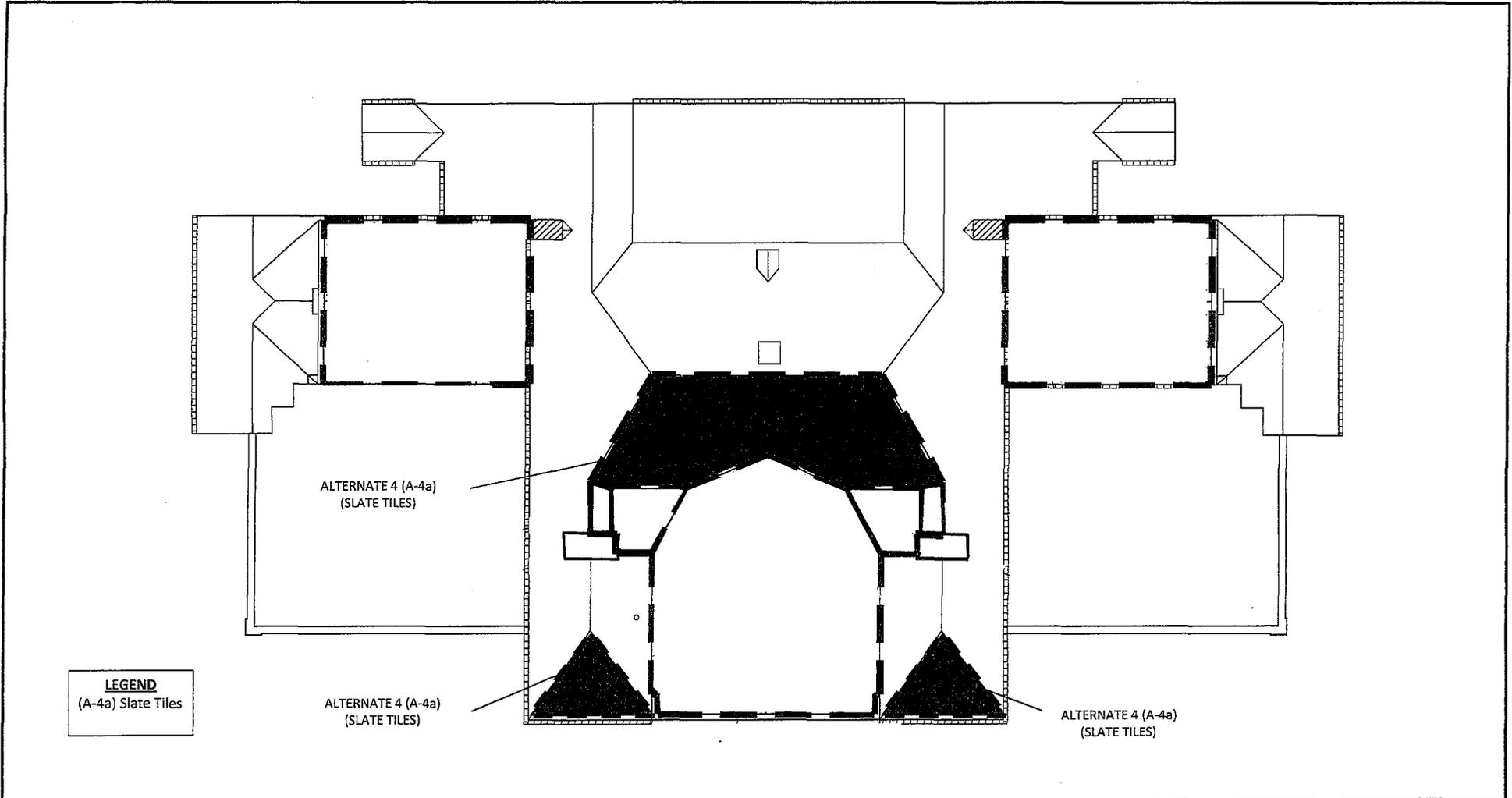
REVISED ALTERNATE 2
SOUTHPORT BEACH HOUSE
ROOF REPLACEMENT
DATE: 11/10/14

ADDM 5-5



REVISED ALTERNATE 3
 SOUTHPORT BEACH HOUSE
 ROOF REPLACEMENT
 DATE: 11/10/14

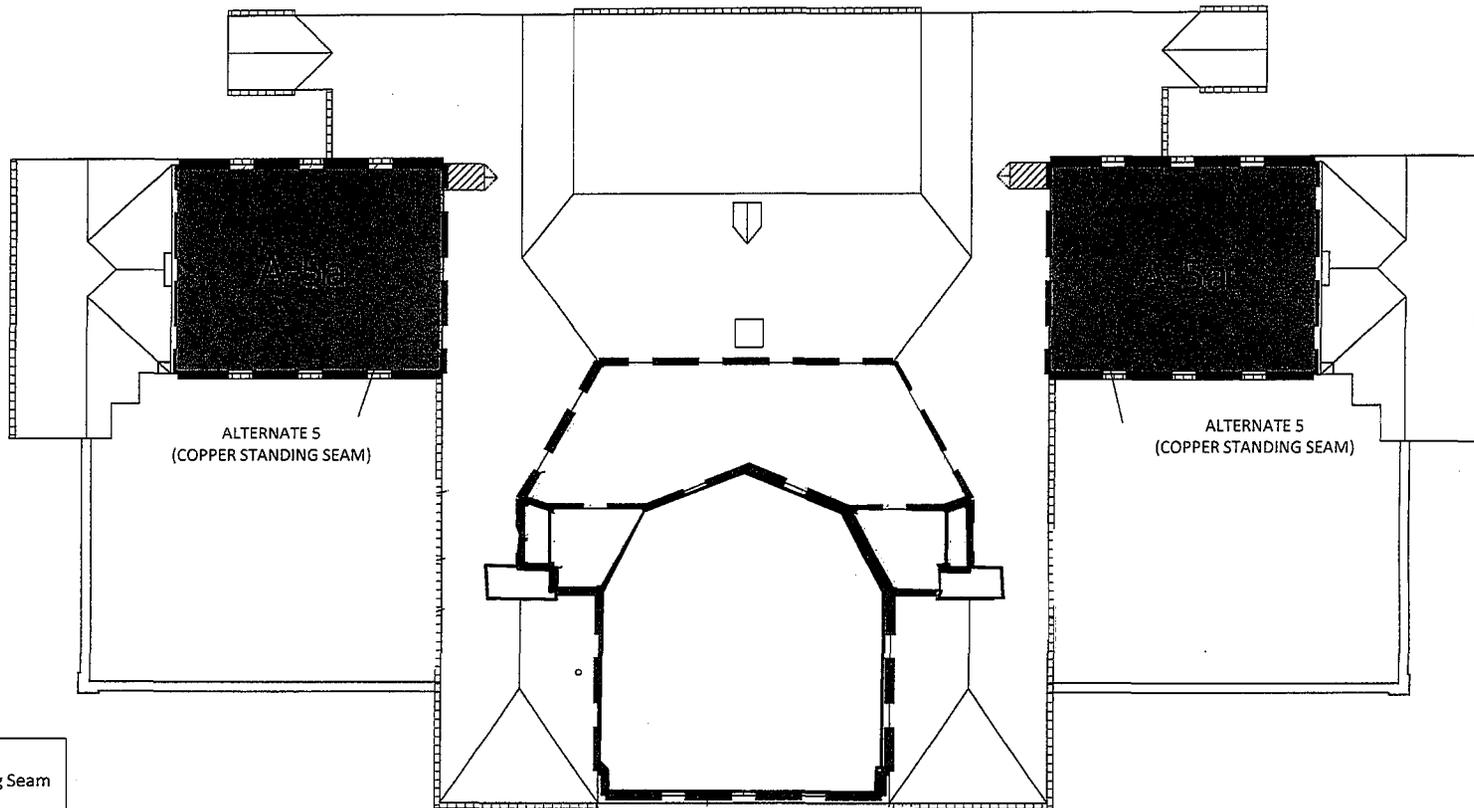
ADDM 5-6



REVISED ALTERNATE 4

SOUTHPORT BEACH HOUSE
ROOF REPLACEMENT
DATE: 11/10/14

ADDM 5-7



LEGEND
(A-5a) Copper Standing Seam

REVISED ALTERNATE 5
SOUTHPORT BEACH HOUSE
ROOF REPLACEMENT
DATE: 11/10/14

ADDM 5-8



ENGINEERING DIVISION
SHELLY BILLINGSLEY, P.E.
CITY ENGINEER

PARK DIVISION
JEFF WARNOCK
SUPERINTENDENT

FLEET MAINTENANCE
MAURO LENCI
SUPERINTENDENT

STREET DIVISION
JOHN H. PRIJIC
SUPERINTENDENT

WASTE DIVISION
ROCKY BEDNAR
SUPERINTENDENT

DEPARTMENT OF PUBLIC WORKS
MICHAEL M. LEMENS, P.E., DIRECTOR
SHELLY BILLINGSLEY, P.E., DEPUTY DIRECTOR

MUNICIPAL BUILDING · 625 - 52ND ST · RM 305 · KENOSHA, WI 53140
TELEPHONE (262) 653-4050 · FAX (262) 653-4066
EMAIL PUBLICWORKS@KENOSHA.ORG

ADDENDUM
#6

November 14, 2014

PROJECT # 14-1424
Southport Beach House Roof Replacement

This Addendum forms a part of the Contract Documents and modifies the original Bidding Documents as noted below. Acknowledge receipt of this Addendum in the space provided on Bid Form. Failure to do so may subject Bidder to disqualification.

1. Instructions to Bidders

- Replace the Bid Form with the attached Bid Form, R2-5 and R2-5a.
- All masonry work shown on the chimney details (pages ADDM 5-2 and ADDM 5-3) shall be included in the Chimney and Masonry line items.

City Staff determined that in order to prevent damage to existing slate tiles due to scaffolding around the chimneys, all masonry work would be moved to Alternates 1 and 2.

2. Construction Drawings

Replace drawings from Addendum 5 (pages ADDM 5-1, ADDM 5-4, ADDM 5-5) with the attached drawings ADDM 6-1, ADDM 6-2, and ADDM 6-3. These drawings correspond directly to the revised Bid Form. Masonry work was removed from the base bid and included with Alternates 1 and 2.

3. Specification

Replace Section 2 – “Summary of Work” from Addendum 5 with the attached Section 2 – “Summary of Work”.

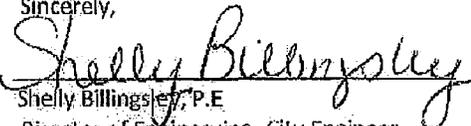
4. Mandatory Pre-Bid

All pre-bid meeting sign-in sheets are attached. Please note that just because a contractor attended one of the meetings does not make them qualified to bid. Bidder's Proof of Responsibilities must be submitted and approved by the City Engineer. As a reminder Bidder's Proof of Responsibility for this project are due November 14, 2014 by 4:30.

Contractor's signature on this addendum must be included with bid.

Contractor's Signature

Sincerely,


Shelly Billingsley, P.E.
Director of Engineering, City Engineer

BID FORM – ADDENDUM 5

BID OPENING NOVEMBER 19, 2014

SOUTHPORT BEACH HOUSE ROOF REPLACEMENT

PROJECT #14-1424

Bidder will complete the Work in accordance with the Contract Documents for the following price(s):

Item No.	Item Description	Unit	Bid Qty.	Bid Unit \$	Bid Total \$
1	Copper Standing Seam	LS	1	\$	\$
TOTAL BID					\$

Item No.	Item Description	Unit	Bid Qty.	Bid Unit \$	Bid Total \$
A-1a	Stateline Asphalt Shingles – Full Roof*	LS	1	\$	\$
A-1b	Modified Bitumen	LS	1	\$	\$
A-1c	(4) Chimney Restorations and Masonry Work	LS	1	\$	\$
TOTAL ALTERNATE 1 BID					\$

Item No.	Item Description	Unit	Bid Qty.	Bid Unit \$	Bid Total \$
A-2a	Salvaged/Reclaimed/New Slate Tiles – Full Roof *	LS	1	\$	\$
A-2b	Modified Bitumen	LS	1	\$	\$
A-2c	(4) Chimney Restorations and Masonry Work	LS	1	\$	\$
TOTAL ALTERNATE 2 BID					\$

Item No.	Item Description	Unit	Bid Qty.	Bid Unit \$	Bid Total \$
A-3a	Asphalt Shingles (3) West Facing Areas	LS	1	\$	\$
TOTAL ALTERNATE 3 BID					\$

Item No.	Item Description	Unit	Bid Qty.	Bid Unit \$	Bid Total \$
A-4a	Salvaged/Reclaimed/New Slate Tiles – (3) West Facing Areas	LS	1	\$	\$
TOTAL ALTERNATE 4 BID					\$

Item No.	Item Description	Unit	Bid Qty.	Bid Unit \$	Bid Total \$
A-5a	Copper Roofing – North and South Standing Seam	LS	1		\$
TOTAL ALTERNATE 4 BID					\$

*Areas in "Full Roof" exclude all existing and proposed copper roofed areas and modified bitumen areas.

Total Base Bid Price for the Project:

_____ (Words)

(\$ _____) (Figures)

Item No.	Item Description	Bid Total \$
Unit Pricing	Replace wood roof decking (per board foot)	\$
TOTAL UNIT PRICE BID		\$
Item No.	Item Description	Bid Total \$
Time and Material	Repair of latent conditions or additional work (Roofers time per man-hour)	\$
	Material (Contractor cost - addition)	%
TOTAL TIME AND MATERIAL PRICE BID		\$

Respectfully submitted by:

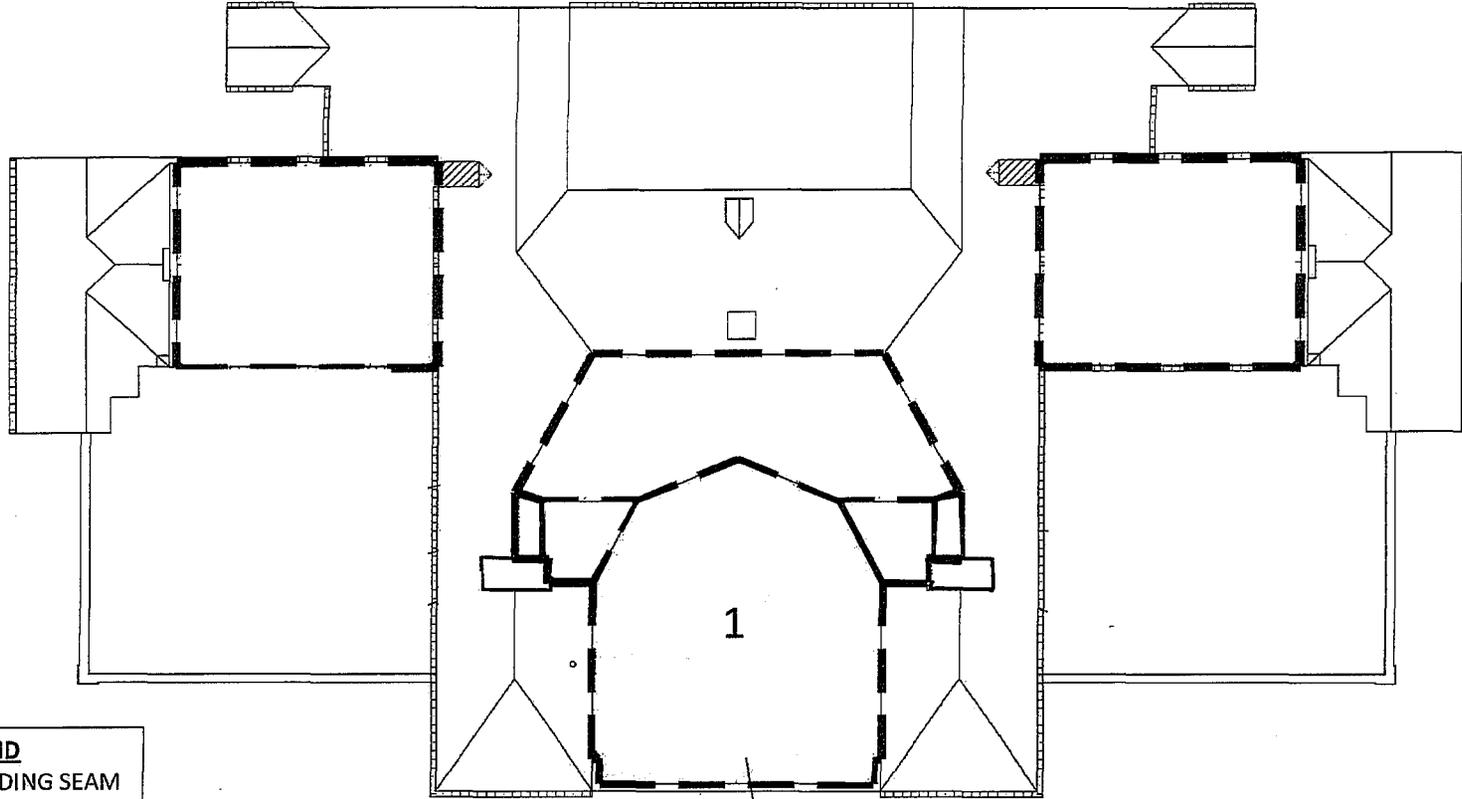
Name of firm: _____ Title: _____

Prepared by: _____ City: _____

Address of firm: _____ Zip: _____

State: _____ Fax: _____

Phone #: _____

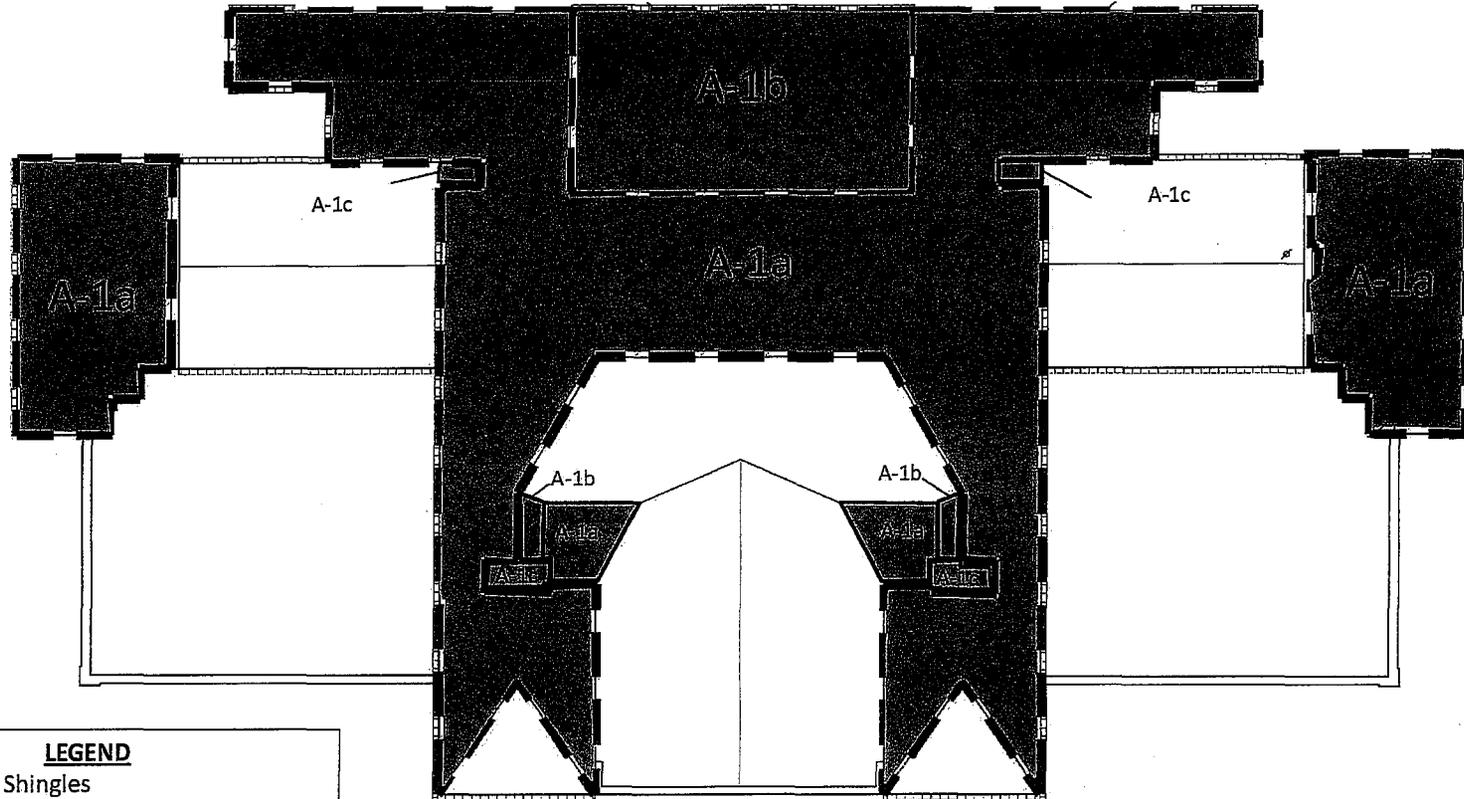


LEGEND
(1) COPPER STANDING SEAM

BASE BID (1)
(COPPER STANDING SEAM)

REVISED BASE BID
SOUTHPORT BEACH HOUSE
ROOF REPLACEMENT
DATE: 11/14/14

ADDM 6-1



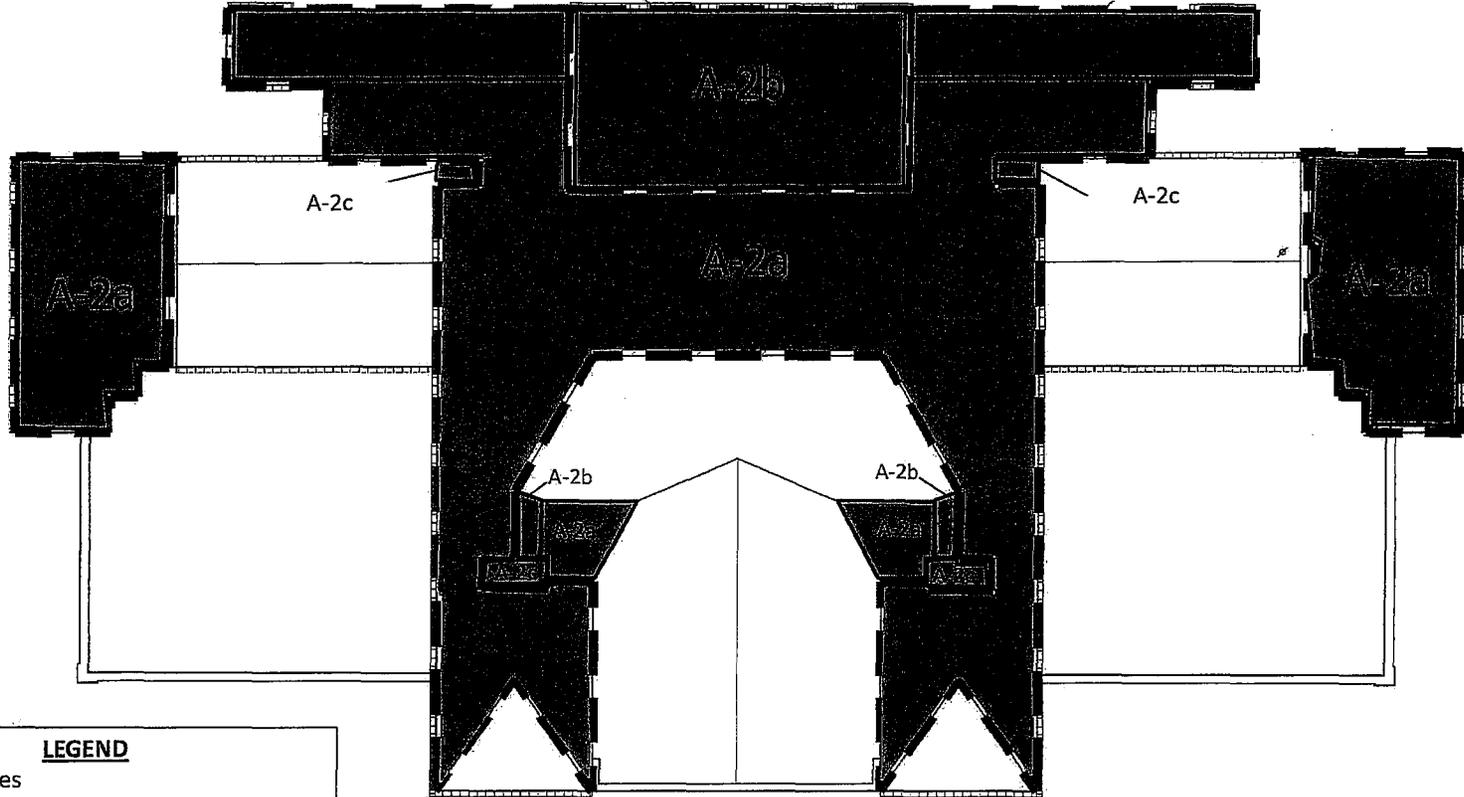
LEGEND

- (A-1a) Asphalt Shingles
- (A-1b) Modified Bitumen
- (A-1c) Chimney and Masonry Restoration

REVISED ALTERNATE 1

SOUTHPORT BEACH HOUSE
ROOF REPLACEMENT
DATE: 11/14/14

ADDM 6-2



LEGEND

- (A-2a) Slate Tiles
- (A-2b) Modified Bitumen
- (A-2c) Chimney and Masonry Restoration

REVISED ALTERNATE 2
SOUTHPORT BEACH HOUSE
ROOF REPLACEMENT
DATE: 11/14/14

ADDM 6-3

SECTION 1
SUMMARY OF WORK

PART 1 – GENERAL OVERVIEW

1.01 Project Overview

- A. The Work consists of roofing replacement at Southport Beach House in Kenosha, Wisconsin for the City of Kenosha.
- B. The Work includes related sheet metal, carpentry work and masonry work.
- C. The Work also includes but is not limited to:
 - a. Removal and disposal of existing roofing, underlayment and sheet metal flashings.
 - b. Installation of new slate style asphalt shingles, leak barrier, underlayment and sheet metal flashings.
 - c. Installation of standing seam copper roofing, leak barrier, underlayment and sheet metal flashings.
 - d. Existing prefinished galvanized sheet metal gutters and downspouts to be reused.
 - e. **Repointing and reconstruction of both chimneys and masonry work.**

PART 2 – PRODUCTS

2.01 System Components

- A. Copper roof systems:
 - a. 20 oz. cold rolled copper roof panels
 - b. Leak barrier
 - c. Red Rosin underlayment
 - d. Flux and Solder
- B. Asphalt shingle roof system:
 - a. Laminated, slate style fiberglass reinforced asphalt shingles
 - b. Leak barrier
 - c. Synthetic underlayment
- C. Low-Slope roof system:
 - a. Heavy Duty fiberglass base sheet
 - b. Self-adhering SBS modified bitumen base sheet
 - c. Self-adhering SBS modified bitumen finish membrane
- D. Slate tiles
 - a. Salvaged/Reclaimed/New slate tiles
 - b. Synthetic underlayment
 - c. Leak barrier

- E. Sheet Metal:
 - a. Integral sheet metal flashings
 - b. 24 gauge prefinished galvanized sheet metal
 - c. 16 oz cold rolled copper
- F. Miscellaneous:
 - a. Shingle nails (no staples will be allowed)
 - b. Copper nails
 - c. Copper rivets
- G. Extruded aluminum termination bar with caulking cup
- H. Miscellaneous fasteners
- I. Miscellaneous sealants and tape caulk
- J. Brick and mortar for chimneys

2.02 Components Supplied by Owner

- A. None.

PART 3 – EXECUTION

3.01 Work Performed by Contractor

BASE BID – COPPER STANDING SEAM

- A. Remove existing roofing, underlayment and sheet metal flashings down to the existing roof deck.
- B. Clean the exposed deck of all debris. Repair or replace decking as required. Obtain unit price approval for Additional Work completed.
- C. Install leak barrier over the entire roof deck.
- D. Copper Roof Area:
 - a. Install two courses of red rosin slip sheet over installed leak barrier.
 - b. Fasten with copper staples (galvanized or aluminum staples prohibited).
 - c. Install sheet metal components in sequence.
 - d. Fabricate and install standing seam and flat lock copper roof panels in accordance with Construction Drawings and approved shop drawings.
 - e. All perimeters and projections are to be constructed and flashed in strict accordance with the Construction Drawings provided.

ALTERNATE 1 – STATELINE ASPHALT SHINGLES – FULL ROOF, (4) CHIMNEY RESTORATIONS, AND MASONRY WORK

- A. Asphalt Shingles
 - a. Remove existing roofing, underlayment and sheet metal flashings down to the existing wood roof deck.

- b. Clean the exposed deck of all debris. Repair or replace decking as required. Obtain unit price approval for Additional Work completed.
 - c. Install leak barrier over the entire roof deck, except areas of low-slope roofing.
 - d. Fabricate and install sheet metal components in sequence with roofing work.
 - e. Install synthetic shingle underlayment, in shingle fashion, over all areas to receive slate style asphalt shingles.
 - f. Install a started shingle, with tabs removed to expose the sealing strip, along all eaves and rake edges prior to installing the slate style asphalt shingles.
 - g. Install the slate style asphalt shingles over the completed underlayment felt and started shingles. Along the rake edge, if applicable, install full shingles in "racked" fashion from eave to ridge.
 - h. Install the remainder of the slate style asphalt shingles in accordance with the manufacturer's instructions. Install the integral metal flashings (step flashings, valley flashings, etc.) at the same time as the shingles.
 - i. Install heavy-duty base sheet over prepared roof deck on low-slope roof areas.
 - j. Install self-adhering modified bitumen base sheet over installed heavy-duty base sheet on low-slope roof areas.
 - k. Install self-adhering modified bitumen finish membrane over installed modified bitumen base sheet on all low-slope roof areas.
 - l. All perimeters and projections are to be constructed and flashed in strict accordance with the Construction Drawings provided.
- B. Chimney Restoration and Masonry Work**
- a. Repoint, repair and clean all four chimneys as shown in the plans.
 - b. See section 2 "Maintenance of Unit Masonry"

ALTERNATE 2 – SALVAGED/RECLAIMED/NEW SLATE TILES – FULL ROOF, (4) CHIMNEY RESTORATIONS, AND MASONRY WORK

A. Salvaged/Reclaimed or New Slate Tiles

- a. Remove existing roofing, underlayment and sheet metal flashings down to the existing wood roof deck.
- b. Clean the exposed deck of all debris. Repair or replace decking as required. Obtain unit price approval for Additional Work completed.
- c. Install leak barrier over the entire roof deck, except areas of low-slope roofing.
- d. Fabricate and install sheet metal components in sequence with roofing work.
- e. Install synthetic underlayment, in shingle fashion, over all areas to receive slate tiles.
- f. Install a started tile along all eaves and rake edges prior to installing the slate tiles.
- g. Install the slate tiles over the completed underlayment felt and started tiles.
- h. Install the remainder of the slate tiles. Install the integral metal flashings (step flashings, valley flashings, etc.) at the same time as the shingles.
- i. Install heavy-duty base sheet over prepared roof deck on low-slope roof areas.

- j. **Install self-adhering modified bitumen base sheet over installed heavy-duty base sheet on low-slope roof areas.**
- k. **Install self-adhering modified bitumen finish membrane over installed modified bitumen base sheet on all low-slope roof areas.**
- l. **All perimeters and projections are to be constructed and flashed in strict accordance with the Construction Drawings provided.**

B. Chimney Restoration and Masonry Work

- a. **Repoint, repair and clean all four chimneys as shown in the plans.**
- b. **See section 2 "Maintenance of Unit Masonry"**

ALTERNATE 3 – ASPHALT SHINGLES OF (3) WEST FACING AREAS

- A. Remove existing roofing, underlayment and sheet metal flashings down to the existing roof deck.
- B. Clean the exposed deck of all debris. Repair or replace decking as required. Obtain unit price approval for Additional Work completed.
- C. Install leak barrier over the entire roof deck.
- D. Shingle Roof Areas
 - a. Install synthetic shingle underlayment, in shingle fashion, over all areas to receive slate style shingles.
 - b. Install a started shingle, with tabs removed to expose the sealing strip, along all eaves and rake edges prior to installing the slate style asphalt shingles.
 - c. Install the slate style asphalt shingles over the completed underlayment felt and started shingles. Along the rake edge, if applicable, install full shingles in "racked" fashion from eave to ridge.
 - d. Install the remainder of the slate style asphalt shingles in accordance with the manufacturer's instructions. Install the integral metal flashings (step flashings, valley flashings, etc.) at the same time as the shingles.
 - e. Install sheet metal components in sequence.

ALTERNATE 4 – SALVAGED/RECLAIMED/NEW SLATE TILES – (3) WEST FACING AREAS

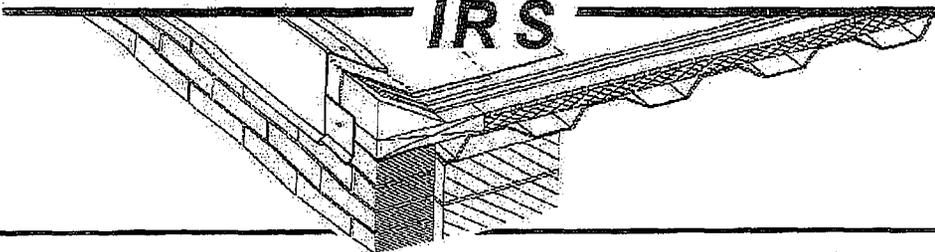
- A. Within selected areas as identified within the Construction Drawings, carefully remove and store existing slate roofing tiles, and replace with salvaged, reclaimed or new slate tiles.
- B. Clean the exposed deck of all debris. Repair or replace decking as required. Obtain unit price approval for Additional Work completed.
- C. Install leak barrier over the entire roof deck.
- D. Install synthetic underlayment, in shingle fashion, over all areas to receive slate tiles.
- E. Install sheet metal components in sequence.
- F. Install a started tile along all eaves and rake edges prior to installing the slate tiles.
- G. Install the slate tiles over the completed underlayment felt and started tiles.
- H. Install salvaged, reclaimed or new slate roofing tiles in accordance with Construction Drawings and approved shop drawings.
- I. All perimeters and projections are to be constructed and flashed in strict accordance with the Construction Drawings provided.

ALTERNATE 5 – COPPER ROOFING – NORTH AND SOUTH STANDING SEAM

- A. Remove existing roofing, underlayment and sheet metal flashings down to the existing roof deck.
- B. Clean the exposed deck of all debris. Repair or replace decking as required. Obtain unit price approval for Additional Work Completed.
- C. Install leak barrier over the entire roof deck.
- D. Install two courses of red rosin slip sheet over installed leak barrier.
 - a. Fasten with copper staples (galvanized or aluminum staples prohibited)
- E. Install sheet metal components in sequence.
- F. Fabricate and install standing seam and flat lock copper roof panels in accordance with Construction Drawings and approval shop drawings.
- G. All perimeters and projections are to be constructed and flashed in strict accordance with the Construction Drawings provided.

3.02 Inclusions

- A. The Contractor shall include, in his bid, any and all costs incurred in complying with the intent of the Construction Drawings. This shall include, but not be limited to:
 - a. Handling, disconnection, and re-connection of rooftop equipment – crane costs, electrical work, duckwork, and mechanical line extensions, temporary storage, etc.



IRS

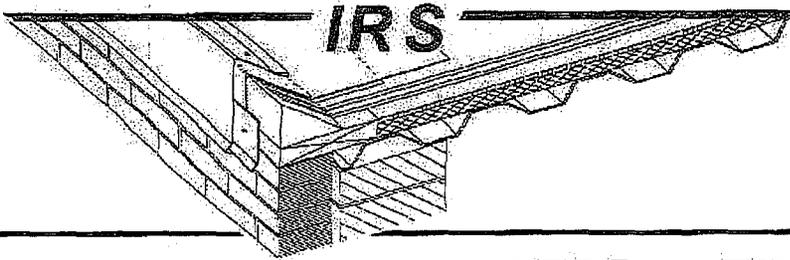
Industrial Roofing Services, Inc.
13000 West Silver Spring Drive
Butler, Wisconsin 53007
Phone: (262) 432-0500
Fax: (262) 432-0504
www.irsroof.com

PRE-BID MEETING AGENDA

DATE: Tuesday, September 16, 2014 at 9:00AM
CLIENT: City of Kenosha Department of Public Works
PROJECT: Southport Beach House Roof Replacement
IRS JOB #: 15055

1. All attendees will sign in on the roster provided and pick up specifications and drawings.
2. SIGN-IN (Please Print):

<u>Name</u>	<u>Company Name</u>	<u>Phone</u>	<u>E-mail</u>
1. CAREY MONTAG	LANGER ROOFING	4/322-9975	GMONTAG@LANGER-ROOFING.COM
2. JOHN MILLEN	MILLEN RFG	414/371/8850	john@millenroofing.com
3. FRED PATENSON	Carlson-Paterson Roofing	262-632-5920	Fred@CarlsonPaterson.com
4. GREG PARSONS	JTRAMS	262-888-9964	gparsons@jtrams.co
5. John Pom	Alois	414 727-6100	JPom@AloisRoofing.com
6. Antonio Long	Dekoven Enterprises	(414) 213-0290	illdrums88@gmail
7.			



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13000 West Silver Spring Drive
Butler, Wisconsin 53007
Phone: (262) 432-0500
Fax: (262) 432-0504
www.irsroof.com

PRE-BID MEETING AGENDA

DATE: Tuesday, August 12, 2014 at 9:00 AM
CLIENT: City of Kenosha
PROJECT: Southport Beach House Roof Replacement
IRS JOB #: 15055

1. All attendees will sign in on the roster provided and pick up specifications and drawings.
2. SIGN-IN (Please Print):

<u>Name</u>	<u>Company Name</u>	<u>Phone</u>	<u>Fax</u>	<u>E-mail</u>
1 BOB RALEIGH	RENAISSANCE ROOFING	815-547-1725		rwr3@kenroof.com
2 JEREMY MULLER	LANIER ROOFING	414-315-4041		J.MULLER@LANIER-ROOFING.COM
3 BRIAN OSGOOD	FDA	414-475-4141		bosgood@christiansenroofing.com
4 FRED	CANSON			
5 NICH CREGO	KOSCHAK ROOFING	414-916-4541		nich.crego@ameritech.net
6 GREG PARSONS	JRT TOP NOTCH ROOFS	262-888-9964		
7				gparsons@jrttopnotchroofs.com

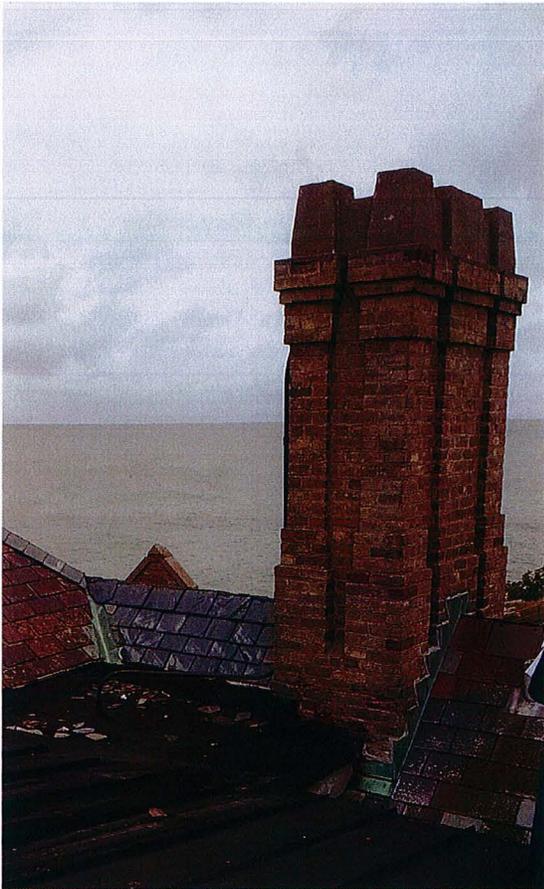
SOUTHPORT BEACH HOUSE ROOF



01/24/2014 – North Courtyard , north wall



08/12/2014 – center of roof looking east



08/12/2014 – center of roof looking southeast – Chimney repairs included in project scope



Eastern facing center roof



Center roof, facing southwest



01/24/2014 – West elevation



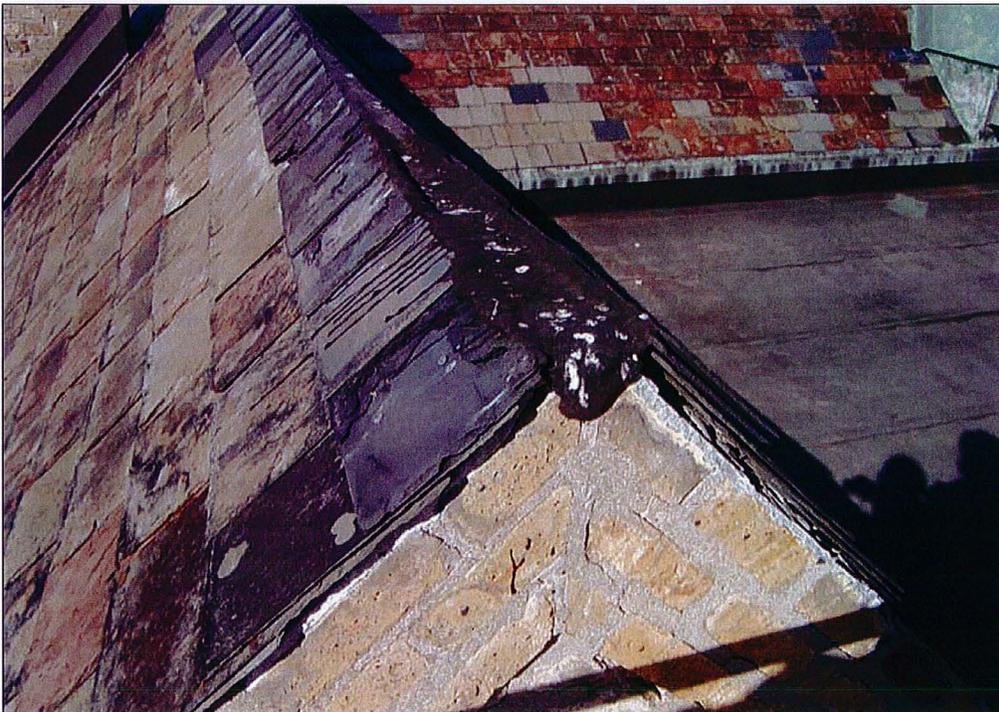
01/24/2014 – South elevation looking east



01/24/2014 – Center roof showing slate on the left and shingles on the right



01/24/2014 – Center roof facing northeast



03/09/2012

#11

BID TABS										
PROJECT 14-1424 SOUTHPORT BEACH HOUSE ROOF REPLACEMENT REBID										
BID DATE: NOVEMBER 19, 2014										
				Carlson Racine Roofing Racine, WI		Langer Roofing & Sheet Metal Milwaukee, WI		Kaschak Roofing Milwaukee, WI		
Item Number	Description	Quantity	Unit	Unit Price	Total	Unit Price	Total	Unit Price	Total	
1	Copper Standing Seam	1	LS	\$45,000.00	\$45,000.00	\$90,580.00	\$90,580.00	\$94,000.00	\$94,000.00	
Alternate 1 Bid										
A-1a	Stateline Asphalt Shingles – Full Roof*	1	LS	\$155,000.00	\$155,000.00	\$306,450.00	\$306,450.00	\$348,000.00	\$348,000.00	
A-1b	Modified Bitumen	1	LS	\$12,000.00	\$12,000.00	\$20,900.00	\$20,900.00	\$34,000.00	\$34,000.00	
A-1c	(4) Chimney Restorations and Masonry Work	1	LS	\$43,000.00	\$43,000.00	\$43,000.00	\$43,000.00	\$38,000.00	\$38,000.00	
Alternate 1 Bid Total				\$210,000.00		\$370,350.00		\$420,000.00		
Alternate 2 Bid										
A-2a	Salvaged/Reclaimed/New Slate Tiles Full Roof*	1	LS		No Bid	\$470,250.00	\$470,250.00	\$490,000.00	\$490,000.00	
A-2b	Modified Bitumen	1	LS		No Bid	\$20,900.00	\$20,900.00	\$34,000.00	\$34,000.00	
A-2c	(4) Chimney Restorations and Masonry Work	1	LS		No Bid	\$43,000.00	\$43,000.00	38000	\$38,000.00	
Alternate 2 Bid Total				\$0.00		\$534,150.00		\$562,000.00		
Alternate 3 Bid										
A-3a	Asphalt Shingles (3) West Facing Areas	1	LS	\$14,000.00	\$14,000.00	\$45,900.00	\$45,900.00	\$39,000.00	\$39,000.00	
Alternate 4 Bid										
A-4a	Salvaged/Reclaimed/New Slate Tiles (3) West Facing Areas	1	LS	\$20,000.00	\$20,000.00	\$63,750.00	\$63,750.00	\$195,000.00	\$195,000.00	
Alternate 5 Bid										
A-5a	Copper Roofing – North and South Standing Seam	1	LS	\$91,000.00	\$91,000.00	\$13,100.00	\$13,100.00	\$137,000.00	\$137,000.00	
*Areas in "Full Roof" exclude all existing and proposed copper roofed areas and modified bitumen areas.										
Unit Pricing					\$6.00		\$6.30		\$5.50	
Replace wood roof decking (per board ft)										
Time and Material										
Repair of latent conditions or additional work (Roofer time per Man-hour)					\$85.00		\$95.00		\$85.00	
Material (Contractor cost – addition)					15.00%		15%		10%	



ENGINEERING DIVISION
SHELLY BILLINGSLEY, P.E.
CITY ENGINEER

PARK DIVISION
JEFF WARNOCK
SUPERINTENDENT

FLEET MAINTENANCE
MAURO LENCI
SUPERINTENDENT

STREET DIVISION
JOHN H. PRIJIC
SUPERINTENDENT

WASTE DIVISION
ROCKY BEDNAR.
SUPERINTENDENT

DEPARTMENT OF PUBLIC WORKS

MICHAEL M. LEMENS, P.E., DIRECTOR
SHELLY BILLINGSLEY, P.E., DEPUTY DIRECTOR

MUNICIPAL BUILDING · 625 - 52ND ST · RM 305 · KENOSHA, WI 53140
TELEPHONE (262) 653-4050 · FAX (262) 653-4056
EMAIL PUBLICWORKS@KENOSHA.ORG

December 5, 2014

To: Scott Gordon, Chairman
Park Commission

From: Shelly Billingsley, P.E. *Shelly Billingsley*
Deputy Director of Public Works/ City Engineer

Cc: Steve Bostrom
District 12

Eric Haugaard, Chairman
Public Works Committee

Subject: ***Informational Only – Southport Beachhouse Roof***

BACKGROUND INFORMATION

Staff opened the bids for Southport Beachhouse Roof on November 19, 2014. Staff included numerous alternates that included asphalt and Salvaged/Reclaimed or New Slate Tiles for different areas of the roof. The base bid will have to be awarded in any option and that is the red cross hatched area on the western face. The following are the options and costs for each alternate (we have referenced each option by color on the attached layout):

Option 1: \$316,000 Base Bid (Red Cross Hatch) + Asphalt Shingles and Chimneys (Blue Area) + Salvaged/Reclaimed/New Slate Tiles (Yellow Areas) = \$275,000 + \$41,000 (Contingency – Wood Roof Decking Repairs if needed) = \$316,000

Option 2: \$757,000 Base Bid (Red Cross Hatch) + Salvaged/Reclaimed/New Slate Tiles and Chimneys (Blue Area) + Salvaged / Reclaimed/New Slate Tile (Yellow Areas) = \$688,480 + \$68,520 (Contingency – Wood Roof Decking Repairs if needed may be more due to more loading with Slate) = \$757,000

Option 3: \$421,000 Base Bid (Red Cross Hatch) + Asphalt Shingles and Chimneys (Blue Area) + Salvaged/Reclaimed/New Slate Tiles (Yellow Areas) + Copper Roofing (Green Areas) = \$366,000 + \$55,000 (Contingency – Wood Roof Decking Repairs if needed) = \$421,000

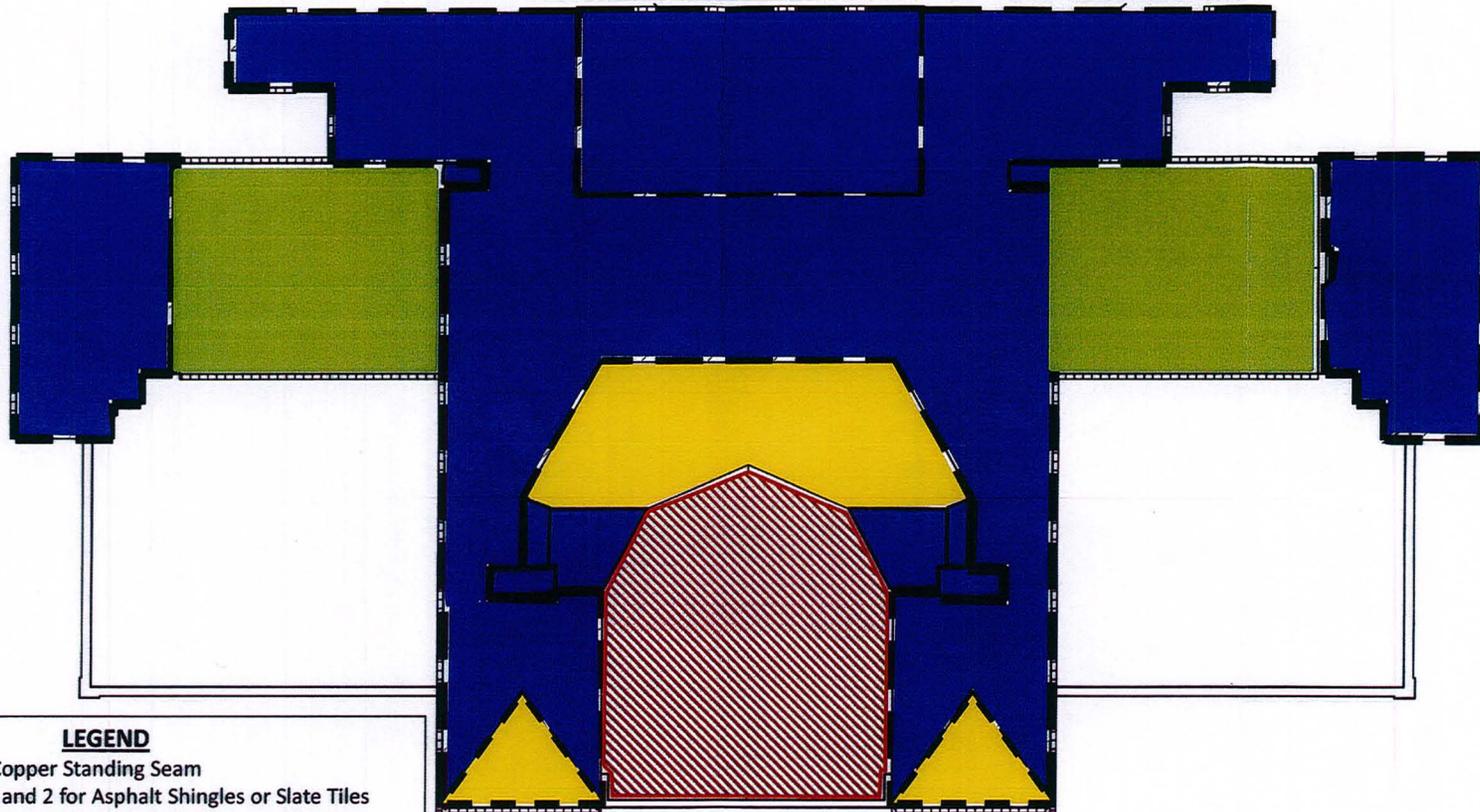
Option 4: \$806,000 Base Bid (Red Cross Hatch) + Salvaged/Reclaimed/New Slate Tiles and Chimneys (Blue Area) + Salvaged / Reclaimed/New Slate Tile (Yellow Areas) + Copper Roofing (Green Areas) = \$701,580 + \$104,420 (Contingency – Wood Roof Decking Repairs if needed may be more due to more loading with Slate) = \$806,000

Staff has discussed the funding available with the Finance Director and there is approximately \$240,000 in the 2013 Funds and another \$140,150 available in 2015 therefore there will be approximately \$384,150 available.

Without outside funding the City will only have the funding to complete option 1. The City was approached by a contractor that was going to donate reclaimed slate if they were the successful bidder. However, even though they were approved to bid and attended a mandatory pre-bid meeting they did not submit a bid.

RECOMMENDATION

Informational Only – No Action Required



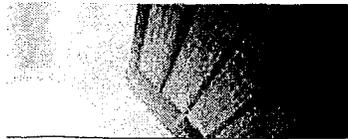
LEGEND

-  Base Bid – Copper Standing Seam
-  Alternates 1 and 2 for Asphalt Shingles or Slate Tiles
-  Alternates 3 and 4 for Asphalt Shingles or Slate Tiles
-  Future Work – Copper Standing Seam

Alternate Summary

SOUTHPORT BEACH HOUSE
 ROOF REPLACEMENT
 DATE: 12/4/14

Common Council Discussion



Industrial Roofing Services, Inc.
Asset Management Consultants

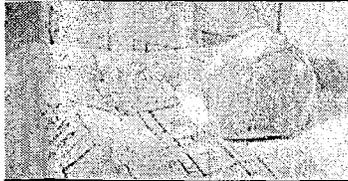
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Today is January 26, 2015

Customer Service: (800) 236-3477

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 - Asset Management
 - Due Diligence Surveys
 - Litigation Support
 - General Consultation

- ROOFING**
- Visual Roof Surveys
 - Comprehensive Roof Survey
 - Moisture Analysis
 - Annual Maintenance & Repair Specifications
 - Roof Design & Specifications

- HARDSCAPES**
- Visual Hardscape Surveys
 - Annual Maintenance & Repair Specifications
 - Hardscape Design & Specifications

- BUILDING EXTERIORS**
- Wall Surveys
 - Window Surveys
 - Exterior Design & Specifications

Services Overview

The waterproofing industry has undergone many changes in the last twenty years. The greatest change, is the complexity and number of potential solutions available to address roof, wall and pavement problems. [Facility managers have been forced to seek the expertise of an independent resource to analyze the numerous options available in today's volatile marketplace.] The first, and most important, choice to be made by the facility manager is how to manage these complexities when approaching a roof, wall or pavement problem. The market offers four alternatives:



Owner/Manager: Some companies have sufficient staff to dedicate one person's time to make waterproofing-related decisions, without the assistance of an outside source. However, most owners/managers must still rely on some external source for current information.

[**Contractor:** Contractors are also a source of information, easily available to facility owners/managers. Contractors, however, have an inherent bias in relation to their market strengths, future bidding situations, and manufacturer affiliations when making recommendations. For these reasons, a contractor's recommendation may not be in the best interest of the facility owner/manager, because most often it represents a compromise between the interests of the contractor and the interests of the facility owner/manager.]

Product Manufacturer: Some product manufacturers have sales representatives that will provide "free" analysis and recommendations as part of their marketing strategy. The representative, however, is limited in their recommendations by the products that are manufactured by their company. These products are often significantly (200% - 400%) more expensive than competitive products distributed on a commodity basis. This premium becomes the "free" cost of the services provided by the sales representative. Solutions offered by a product manufacturer often tend to be a compromise between the interests of the product manufacturer's sales representative and the facility owner/manager.

Consultant: The waterproofing industry has evolved into a very complex and volatile industry. The need for an independent source to analyze and design waterproofing systems for facility owners/managers has grown dramatically. Architects and engineers had been a traditional resource for this type of expertise but currently most lack the necessary expertise in this specialized field. Most architects and engineers now rely heavily on "free" advice derived from contractors or product manufacturer sales

representatives. The consultant has evolved in response to the growing complexity of the industry. The consultant provides facility owners/managers with the specialized knowledge and experience needed to guide them to the most appropriate solution for their needs.

Assuming **independence** is a key ingredient in your decision-making process, only two of the four alternatives are acceptable. IRS advocates a combined effort between the facility owner/manager and its consultants. This combined effort affords facility owners/managers with the most appropriate solution necessary to satisfy their business goals and objectives at the lowest possible cost.

Your roof, building exteriors and hardscape assets represent a significant portion of your overall facility investment. Whereas the overall facility appreciates in value, your roof, building exterior and hardscape assets depreciate over their designed service life. Failure to effectively manage these deteriorating assets can have a major impact on your organizations "bottom-line."

Industrial Roofing Services, Inc. provides all of the services necessary to assist you in efficiently and effectively managing these complex aspects of your overall facility investment. We appreciate your interest in our firm and the services we provide.

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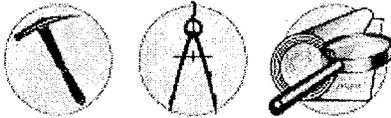
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MILLEN ROOFING COMPANY

Slate, Tile, Metal, Wood, Asphalt
Established 1893



William Millen established Millen Roofing in 1893. He and his father, Ignatius, were experienced slate and tile roofers from a roofing family in Alsace-Lorraine. They roofed many churches and fine homes in Milwaukee. William's son, Mathias N. Millen, continued the family craft and business. He enjoyed maintaining and repairing his father's and grandfather's roofs as well as building new, quality roofs. Mathias's sons, John J. Millen and Matt M. Millen along with Roger Hamm continue the tradition of fine steep roofing. Their expertise in the craft, dedication to workmanship, and the use of the highest quality materials engenders complete confidence in their roofs.

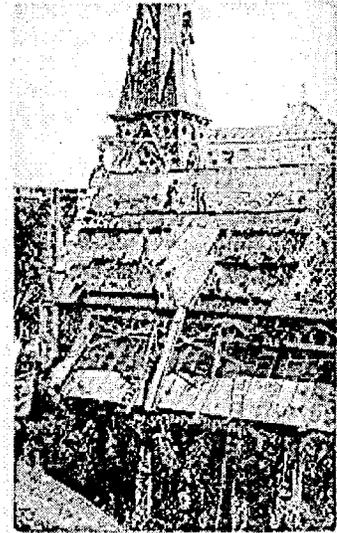


Construction • Design • Expert Analysis

info@millenroofing.com

phone: 414-371-8850
fax: 414-371-8851

8747 North 107th Street
Milwaukee, WI 53224



Mathias M. Millen, LLM, LLB, BS

Manager - Millen Roofing Co - Fifth Generation Slate and Tile Roofer
Education - New York University, University of Wisconsin-Madison, Marquette University

John J. Millen, BA

Manager - Millen Roofing Co - Fifth Generation Slate and Tile Roofer
Specializing in Slate and Tile Installation, Repair and Replacement
Education - University of Wisconsin-Madison

Membership:

- **National Slate Association, *Current President***
- **National Roofing Contractors Association, *Past Chairman, Steep Roofing Committee, Past Director***
- **Midwest Roofing Contractors Association**
- **Wisconsin Roofing Contractors Association, *Past President***
- **The Association for Preservation Technology**

Publications:

- *The Unknown Craftsmen*, RCI Interface, Journal of the Roof Consultants Institute, 2005
- *New Slate Standards*, Professional Roofing, May, 2004.
- *A Decade of Change*, Professional Roofing, September, 2003.
- *Snow, Water and Ice: Understanding and Solving Water Back-up and Ice Accumulation*, Proceeding of the 12th International Roofing and Waterproofing Conference, Lake Buena Vista, Florida, September, 2002.
- *A 70 Year Old Shake Roof*, Professional Roofing, May, 2000.
- *Influence of Nail Location on Wind Resistance of Unsealed Asphalt Shingles*, Proceeding of the North American Conference of Roofing Technology, Toronto, Canada, September, 1999.
- *Slate Roofing Standards and Specifications, Tile Roofing Standards and Specifications*, NRCA Steep Roofing Manual, Committee Author, Chicago, IL. 1996.
- *Apron Flashings Used For Repair, Prevention*, Professional Roofing, April, 1995.
- *Roof Maintenance And Repair Analysis, Investigation And Recommendations For Long Term Roof System Performance In Low Slope And Steep Slope Roof Systems*, Proceedings, 2nd Congress Internacional En Argentina de Tecnologia de Techos. Buenos Aires, Argentina. August, 1994.
- *Research unpublished*, The Professional Training Institute of German Roofing, Mayen and Munich, Germany, 1992.
- *Masonry Cleaning Can Damage Slate Roofs*, Roof Craft, 1980.
- *Le Sueur Richmond Slate Quarry*, Roof Craft, 1979.
- *Slate Roofs, Inventory of Buckingham-Virginia Slate Roofs in the Milwaukee Area*, 1979.

Symposiums:

- *Snow, Water and Ice: Understanding and Solving Water Back-up and Ice Accumulation*, Proceeding of the 12th International Roofing and Waterproofing Conference, Lake Buena Vista, Florida, September 2002.
- *Influence of Nail Location on Wind Resistance of Unsealed Asphalt Shingles*, Proceeding of the North American Conference of Roofing Technology. Toronto, Canada, September, 1999.

- **Historic and Contemporary Steep-Slope Underlyments**, The Roofing Conference for Historic Buildings, National Park Service, Philadelphia, Pennsylvania, March, 1999.
- **Session Chair**, Fourth International Symposium on Roofing Technology, Gaithersburg, MD, 1997.
- **Barn Roof Stabilization**, Wisconsin Trust for Historic Preservation, et al. Barns Preservation Workshop, West Bend, October, 1996.
- **Slate Roof Repair and Stabilization Methods**, Midwest Roofing Contractors Association Conference, Milwaukee, 1995.
- **Roof Restoration of the Oconto County Courthouse**, National Roofing Contractors Convention, New Orleans, 1995.
- **Developments in Shingle Roofing**, Roofing Consultants Institute, Region III. Summer Meeting, Chicago, 1995.
- 2nd Congress Internacional En Argentina de Tecnologia de Techos. Buenos Aires, Argentina. August, 1994.
- **Roofing With Stone Shingles**, Roofing Consultants Institute, Region III. Summer meeting, Milwaukee, 1993.

Experience: Fifth Generation Slate and Tile Roofer. Manages Millen Roofing Co., Established in 1893, specializing in slate, tile, wood and metal roof installation, repair and replacement.

- **Wingspread**, Johnson Foundation, Racine, WI (1938—Frank Lloyd Wright) Replace tile roof and copper flashing on the Great Hall
- **Taliesin**, Spring Green, WI (1933-38—Frank Lloyd Wright) Roof inspection and investigation of Hillside School and Studio, 1994. Install roofing membrane and tile underlayment system and copper flashings on Hillside Studio, 1996. Roof inventory and evaluation, 1998.
- **F. C. Bogk Residence**, Milwaukee, WI (1916—Frank Lloyd Wright) New underlayments and relay original tile roof.
- **Mayo Clinic**, Rochester, MN. St. Mary's Chapel and Foundation House. (1918) Repair slate roofs and copper.
- **National Trust Historic Site**, Brucemore, Inc., Cedar Rapids, IA (1884) Slate roof replacement.
- **Science Hall**, University of Wisconsin, Madison, WI. (1884) New roof, architectural metal, ornamental tile and vented nailing deck.
- **Riverbend**, Kohler, WI. (1920) Slate roof, copper and lead flashings, saddles and gutter restoration.
- **Blanchard Hall**, Wheaton College, Wheaton, IL. (1860) Cover stone roof on tower with sheet lead.
- **Main Hall**, St. Norbert's College, Greenbay, WI (1890) Restore failed slate roof areas, rebuild eaves and replace metal flashing system.
- **Wacker Residence**, Lake Bluff, IL. (1927) Relay Norman shingle roof.
- **Rosary College**, River Forest, IL. (1920) Slate and copper restoration.
- **First Baptist Church**, Oak Park, IL. (1920) Restore tile roof and copper flashing.
- **Agriculture Hall**, University of Wisconsin, Madison, WI. (1930) Relay tile roof and waterproofing system.
- **Immanuel Presbyterian Church**, Milwaukee, WI. (1870) Replace slate and copper roofs.
- **St. Thomas Episcopal Church**, Sioux City, IA. (1880) Replace slate and copper roofs.
- **Gesu Church**, Milwaukee, WI. (1890) Replace slate and copper roofs
- **Holy Hill Shrine**, Hubertus, WI (1927) Steeple and roof inspection and repair.
- **Capt. Fredrick Pabst Residence**, Milwaukee, WI (1890) Stabilization and repair of tile roof and copper flashings.
- **St. Luke's Episcopal Church**, Racine, WI (1866) Stabilization and repair of roof and copper flashings.
- **Martin Luther College (1901) Holy Communion Lutheran Church (1928)**, Racine, WI. Stabilize and repair slate roof and flashings.
- **1540 Lake Shore Drive**, Chicago, IL (1920) Clean and restore slate roof, flashings and ornamental sheet metal.

- **Oconto County Courthouse**, Oconto, WI (1891) Replace tile roof, exterior restoration, masonry, structural deck and other carpentry, cornice, architectural metal, lead paint abatement.
- **Charles Allis Art Museum**, Milwaukee, WI (1909) Tile roof restoration.
- **Villa Terrace Museum**, Milwaukee, WI (1922) Tile roof restoration.
- **Miller-Chapman House**, Milwaukee, WI (1889) Replace slate and copper roofs.

Construction, Design, Expert Analysis

Slate, Tile, Metal, Wood, Asphalt

HOME

Site Table of Contents

RESOLUTION NO. _____

BY: COMMITTEE ON PUBLIC WORKS

**PRELIMINARY RESOLUTION DECLARING INTENT TO LEVY ASSESSMENTS
FOR
SIDEWALKS AND/OR DRIVEWAY APPROACHES**

PROJECT #15-1016 39th AVENUE RESURFACING

WHEREAS, it is expedient, necessary and in the best interest of the City of Kenosha, and for benefit of the property affected thereby that improvements in street right-of-ways: sidewalk, and/or driveway approaches.

(39th Avenue – 45th Street to 52nd Street, 45th Street – 39th Avenue to 40th Avenue)

NOW, THEREFORE, BE IT RESOLVED, By the Common Council of Kenosha, Wisconsin:

1. The Common Council hereby declares its intention to exercise its police power under Section 66.0703, Wisconsin Statutes, to levy special assessments on all property fronting upon both sides of the street within the above limits for benefits conferred upon property by improvement of the streets enumerated above.
2. Said public improvement shall include the improvements in street right-of-ways: sidewalk, and/or driveway approaches.
3. The Common Council determines that the improvements constitute an exercise of the police power and the amount assessed against each parcel shall be based on a per front foot or per square foot rate.
4. The assessments against any parcel may be paid in a lump sum or in three (3) annual installments, at the election of the property owner.

5. The Board of Public Works is directed to prepare a report consisting of:
 - a. Preliminary plans and specifications for said improvements.
 - b. An estimate of entire cost of the proposed improvements and in street right-of-way.
 - c. Schedule of proposed assessments.

6. Upon receiving the report of the Board of Public Works (Public Works Committee), the Clerk is directed to give notice of public hearings on such report, as specified in Section 66.0703 of the Wisconsin Statutes. The hearings shall be held at the Municipal Office Building at a time set by the Clerk, in accordance with Section 66.0703, Wisconsin Statutes.

Adopted this 2nd day of February, 2015.

APPROVED:

MAYOR
KEITH G. BOSMAN

ATTEST:

CITY CLERK/TREASURER
DEBRA L. SALAS

Planning & Zoning Division 625 52nd Street - Room 308 Kenosha, WI 53140 262.653.4030	Kenosha City Plan Commission FACT SHEET	February 2, 2015	Item 3
Accept a Quit Claim Deed from Meijer Stores Limited Partnership to the City of Kenosha to include additional right-of-way for 63rd Avenue at 76th Street. (Meijer) (District 14) PUBLIC HEARING			

LOCATION/SURROUNDINGS:

Site: 63rd Avenue and 76th Street

NOTIFICATIONS/PROCEDURES:

The alderperson of the district, Alderperson Prozanski, has been notified. This item has also been referred to the Public Works Committee. The Common Council is the final review authority.

ANALYSIS:

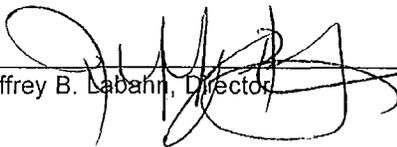
- The owner is dedicating the additional right-of-way to accommodate a bike/pedestrian path that they are constructing.
- The additional right-of-way dedication is located at the intersection of 76th Street and 63rd Avenue.

RECOMMENDATION:

A recommendation is made to approve the attached Quit Claim Deed.



Rich Schroeder, Deputy Director

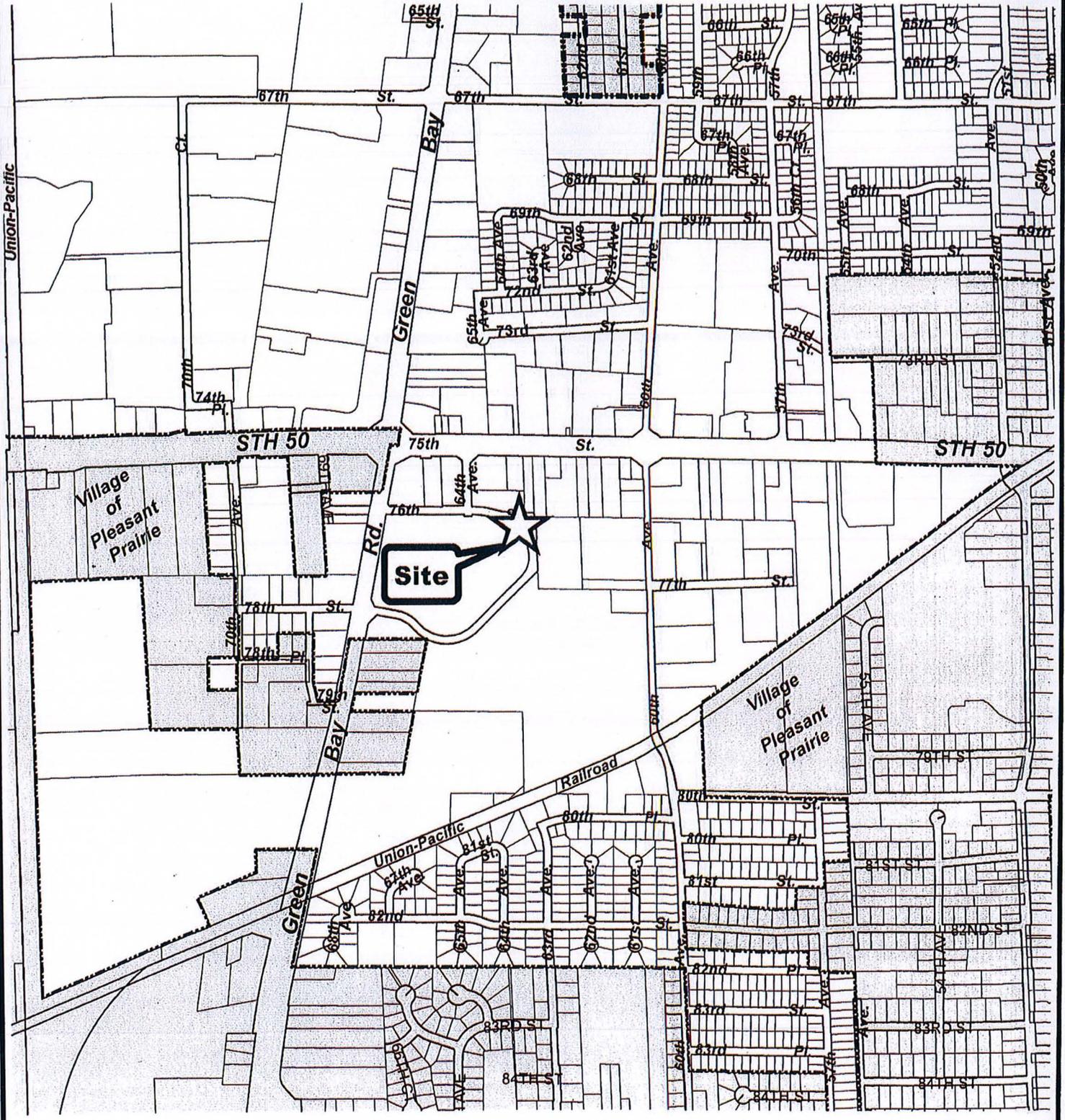


Jeffrey B. Labahn, Director

City of Kenosha

Vicinity Map

Official Map Amendment



----- Municipal Boundary



0 1,000 Feet

QUITCLAIM DEED

Document Number

Document Name

Pursuant to Wis. Stat. Sec. 77.25(2r) this conveyance is exempt from the real estate transfer return and fee.

Recording Area

Name and Return Address:

Office of the City Attorney

City of Kenosha

625 52nd Street, Room 201

Kenosha, WI 53140

Part of 03-122-10-201-061

Parcel Identification Number(s)

QUITCLAIM DEED

MEIJER STORES LIMITED PARTNERSHIP, a Michigan limited partnership, the "Grantor", whose mailing address is 2929 Walker Ave., N.W., Grand Rapids, Michigan 49544 **QUITCLAIMS** to **THE CITY OF KENOSHA**, a municipal corporation, the "Grantee", whose mailing address is 625 52nd Street, Kenosha, Wisconsin 53140, all of Grantor's interest in the parcel of property located in Kenosha County, City of Kenosha, Wisconsin, described as follows:

That part of Lot 1 of Certified Survey Map No. 2741, being a part of the Northwest ¼ and the Southwest ¼ of the Northeast ¼ and the Northeast ¼ and the Southeast ¼ of the Northwest ¼ of Section 10, Town 1 North, Range 22 East, in the City of Kenosha, Kenosha County, Wisconsin. Said land being more particularly described as: Commencing at the Northeast corner of Certified Survey Map No. 2741; thence North 88° 59' 55" West, 117.44 feet to a point on the South right-of-way line of 76th Street and the point of beginning of the land to be described; thence South 88° 59' 55" East along the existing right-of-way line of 76th Street, 13.77 feet to a point of curvature; thence Southeasterly 51.84 feet along said right-of-way line, said line being the arc of a curve with a radius of 33.00 feet, its centerpoint to the Southwest and having a central angle of 90° 00' 00" and a long chord bearing South 43° 59' 55" East, 46.67 feet to a point on the West right-of-way line of 63rd Avenue; thence South 01° 00' 05" West along said West line 20.23 feet; thence Northwesterly 29.59 feet along the arc of a curve having a radius of 33.00 feet, its centerpoint to the Southwest and having a central angle of 51° 23' 01" and a long chord bearing North 24° 41' 25" West, 28.61 feet; thence North 50° 22' 56" West, 43.98 feet to the point of beginning. Containing 675.5 square feet (0.0155 acres) of land.

DATED: October 7, 2014

MEIJER STORES LIMITED PARTNERSHIP

By: Meijer Group, Inc.
Its: General Partner

By: [Signature]
Michael L. Kinstle
Its: Vice President - Real Estate

Legal [Signature]
Bus. [Signature]

STATE OF MICHIGAN)
) ss.
COUNTY OF KENT)

Personally came before me on October 7, 2014, the above-named Michael L. Kinstle, the Vice President-Real Estate of Meijer Group, Inc., the General Partner of Meijer Stores Limited Partnership, a Michigan limited partnership, on behalf of said limited partnership.

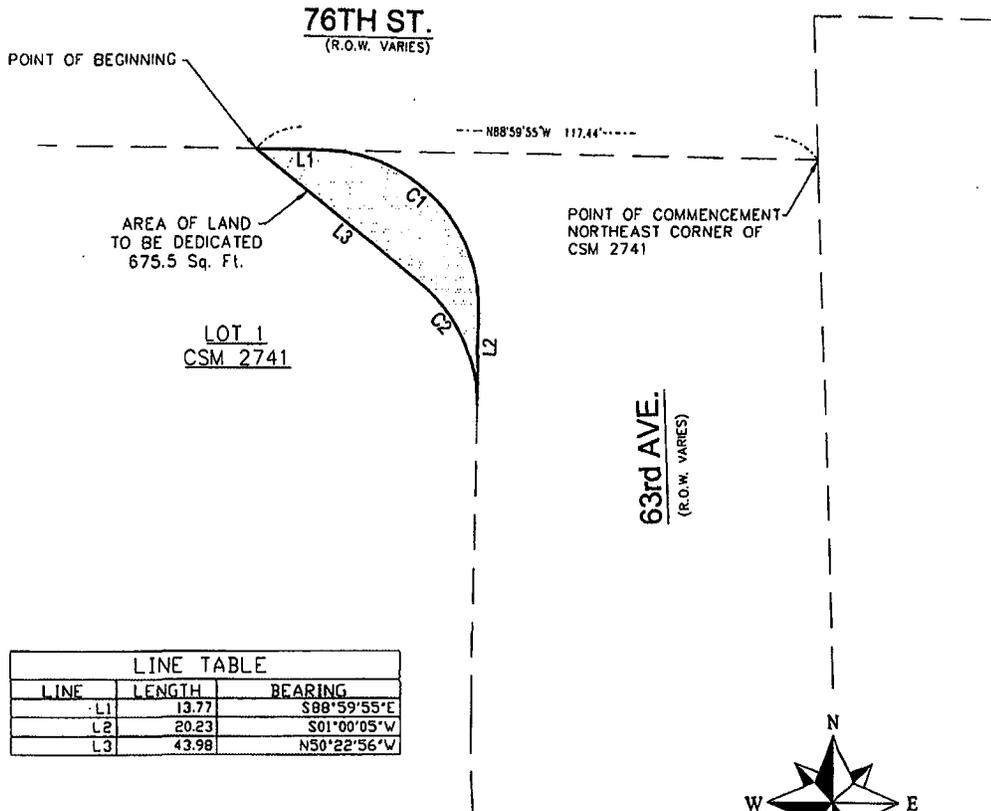
Barbara J. Strayer
Notary Public, State of MI, County of: Ottawa
My commission expires: 4-16-2020
Acting in the County of: Kent

BARBARA J. STRAYER
Notary Public, Ottawa Co., MI
Acting In Kent Co., MI
My Commission Expires: 4/16/2020

THIS INSTRUMENT
DRAFTED BY:
Aaron Morrissey, Esq.
Meijer
2929 Walker Ave., N.W.
Grand Rapids, MI 49544

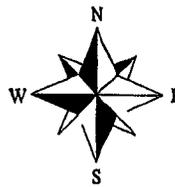
EXHIBIT

Land to be dedicated for future 63rd Avenue,
City of Kenosha, Wisconsin.



LINE TABLE		
LINE	LENGTH	BEARING
L1	13.77	S88°59'55\"E
L2	20.23	S01°00'05\"W
L3	43.98	N50°22'56\"W

CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD	CHORD BEARING	DELTA
C1	51.84	33.00	46.67	S43°59'55\"E	90°00'00\"
C2	29.59	33.00	28.61	N24°41'25\"W	51°23'01\"



GRAPHIC SCALE
1 inch = 30 ft.



SURVEYING ASSOCIATES, INC.
2554 N. 100th STREET
WAUWATOSA WI 53226
PHN 414-257-2212
FAX 414-257-2443

INSTRUMENT DRAFTED BY: JAMIE YORK (DW) JOB NO. 33879EXB-ROW

OCTOBER 6, 2014 - Street Name
SEPTEMBER 18, 2014 SHEET 1 OF 1

\\trac\Drawings\33879.dwg\33879- exb-row.dwg

Planning & Zoning Division 625 52nd Street - Room 308 Kenosha, WI 53140 262.653.4030	Kenosha City Plan Commission FACT SHEET	February 2, 2015	Item 2
Resolution by the Mayor - To Amend the Official Map for the City of Kenosha, Wisconsin, To Include additional right-of-way for 63rd Avenue at 76th Street, Pursuant to Section 62.23(6), Wisconsin Statutes. (Meijer) (District 14) PUBLIC HEARING			

LOCATION/SURROUNDINGS:

Site: 63rd Avenue and 76th Street

NOTIFICATIONS/PROCEDURES:

The alderperson of the district, Alderperson Prozanski, has been notified. The Common Council is the final review authority.

ANALYSIS:

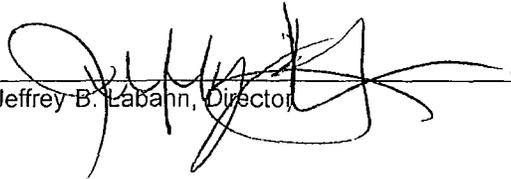
- A Quit Claim Deed has been submitted to the City for additional right-of-way which is needed to accommodate a bike/pedestrian trail at the intersection of 76th Street and 63rd Avenue
- The Quit Claim Deeds requires an Amendment to the Official Map to show the additional right-of-way.

RECOMMENDATION:

A recommendation is made to approve the Resolution.



Rich Schroeder, Deputy Director

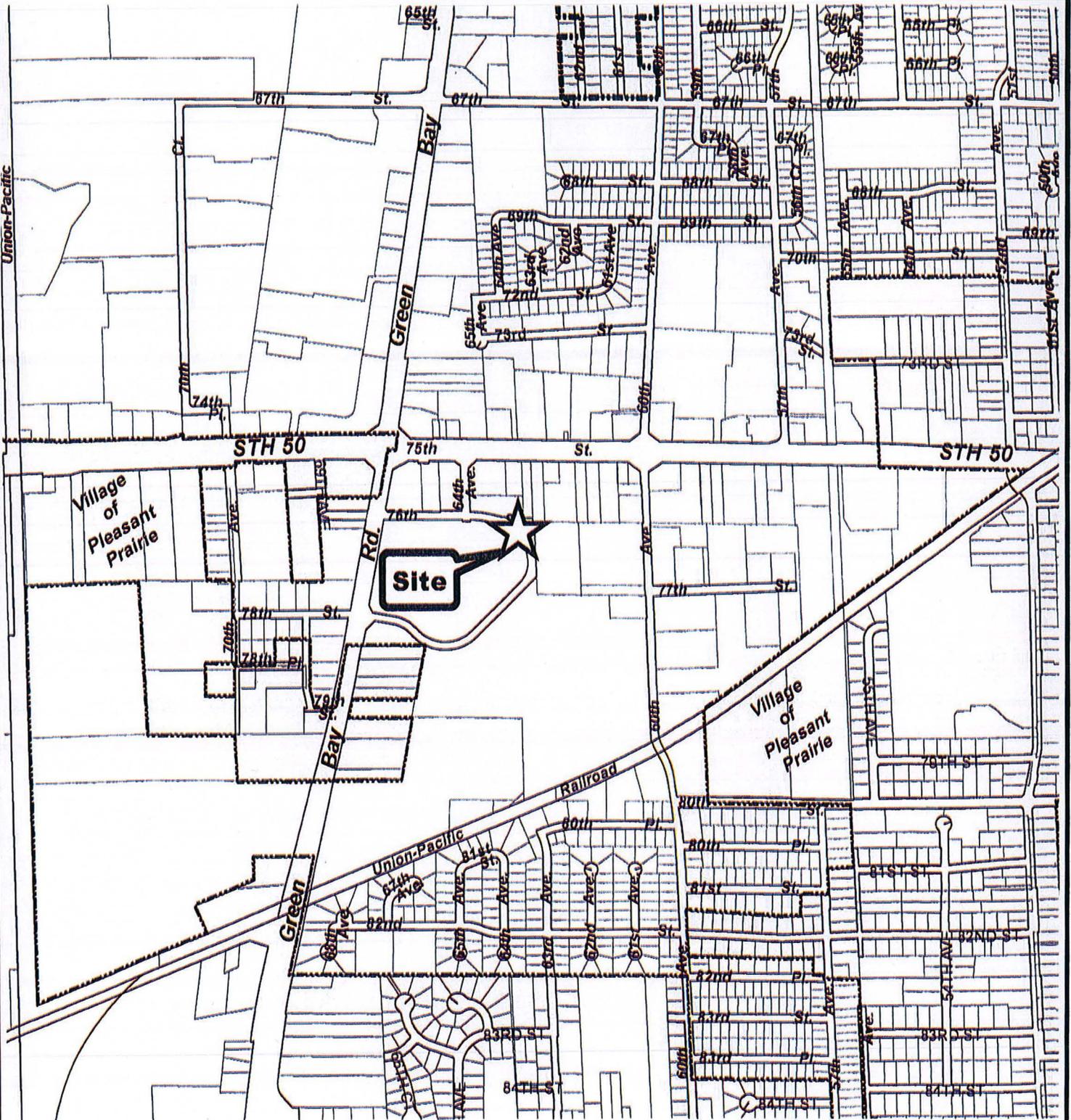


Jeffrey B. Labann, Director

City of Kenosha

Vicinity Map

Official Map Amendment



----- Municipal Boundary



0 1,000 Feet

AMENDMENT TO THE OFFICIAL MAP
FOR THE CITY OF KENOSHA

Document Number

Document Title

This space is reserved for recording data

Return to

Jonathan A. Mulligan
Office of the City Attorney
City of Kenosha
625 52nd Street, Room 201
Kenosha, WI 53140

Part of 03-122-10-201-061
Parcel Identification Number

RESOLUTION NO. _____

BY: THE MAYOR

TO AMEND THE OFFICIAL MAP FOR THE CITY OF KENOSHA, WISCONSIN,
TO INCLUDE ADDITIONAL RIGHT-OF-WAY FOR 63RD AVENUE AT 76TH STREET,
PURSUANT TO SECTION 62.23(6), WISCONSIN STATUTES

WHEREAS, the City of Kenosha, Wisconsin, has established an Official Map pursuant to Section 62.23(6), Wisconsin Statutes; and,

WHEREAS, Section 62.23(6)(c), Wisconsin Statutes, provides for the amendment of the Official Map so as to widen existing streets for the purpose of conserving and promoting the public health, safety, convenience and general welfare; and,

WHEREAS, additional right-of-way is required at the intersection of 63rd Avenue and 76th Street for the installation of a sidewalk and multi-use path.

NOW, THEREFORE, BE IT RESOLVED by the Common Council of the City of Kenosha, Wisconsin, that pursuant to the authority of Section 62.23(6)(c), Wisconsin Statutes, the Official Map for the City of Kenosha, Wisconsin, be and hereby is amended to include the additional right-of-way at the intersection of 63rd Avenue and 76th Street which is legally described on Exhibit A and shown on Exhibit B, both exhibits being attached hereto and incorporated herein by reference.

BE IT FURTHER RESOLVED, that the City Clerk/Treasurer is hereby directed to record this Resolution, along with attached Exhibits A and B, in the Office of the Register of Deeds for Kenosha County, Wisconsin.

Adopted this ____ day of _____, 2015

ATTEST: _____ City Clerk

APPROVED: _____ Mayor

Date: _____

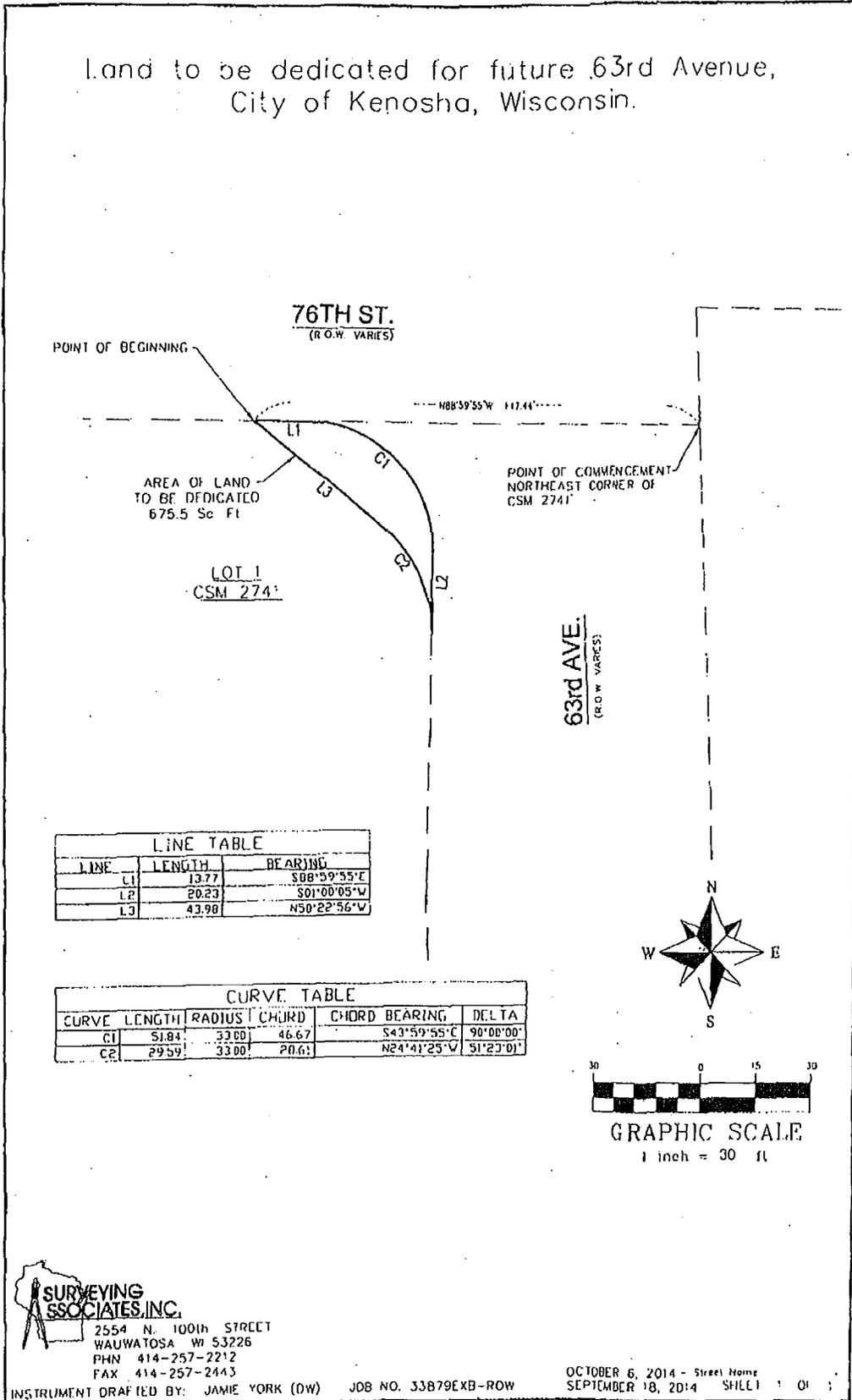
Drafted By:
JONATHAN A. MULLIGAN
Assistant City Attorney

EXHIBIT A

That part of Lot 1 of Certified Survey Map No. 2741, being a part of the Northwest $\frac{1}{4}$ and the Southwest $\frac{1}{4}$ of the Northeast $\frac{1}{4}$ and the Northeast $\frac{1}{4}$ and the Southeast $\frac{1}{4}$ of the Northwest $\frac{1}{4}$ of Section 10, Town 1 North, Range 22 East, in the City of Kenosha, Kenosha County, Wisconsin. Said land being more particularly described as: Commencing at the Northeast corner of Certified Survey Map No. 2741; thence North $88^{\circ} 59' 55''$ West, 117.44 feet to a point on the South right-of-way line of 76th Street and the point of beginning of the land to be described; thence South $88^{\circ} 59' 55''$ East along the existing right-of-way line of 76th Street, 13.77 feet to a point of curvature; thence Southeasterly 51.84 feet along said right-of-way line, said line being the arc of a curve with a radius of 33.00 feet, its centerpoint to the Southwest and having a central angle of $90^{\circ} 00' 00''$ and a long chord bearing South $43^{\circ} 59' 55''$ East, 46.67 feet to a point on the West right-of-way line of 63rd Avenue; thence South $01^{\circ} 00' 05''$ West along said West line 20.23 feet; thence Northwesterly 29.59 feet along the arc of a curve having a radius of 33.00 feet, its centerpoint to the Southwest and having a central angle of $51^{\circ} 23' 01''$ and a long chord bearing North $24^{\circ} 41' 25''$ West, 28.61 feet; thence North $50^{\circ} 22' 56''$ West, 43.98 feet to the point of beginning. Containing 675.5 square feet (0.0155 acres) of land.

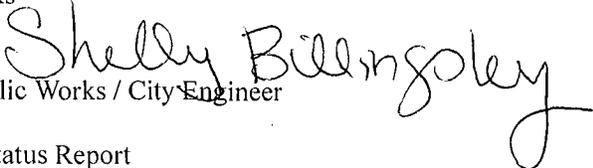
EXHIBIT B

Land to be dedicated for future 63rd Avenue,
City of Kenosha, Wisconsin.



January 30, 2015

TO: Michael M. Lemens, P.E.
Director of Public Works

FROM: Shelly Billingsley, P.E. 
Deputy Director of Public Works / City Engineer

SUBJECT: Public Works Project Status Report

- Project # 08-1443 – Bike and Pedestrian Connections** – Plans have begun but a major focus on bike paths has been to complete the Bike Path crossing at Washington Road and the extension through Nash Park. Once these projects have been bid, design will be completed on this third phase. (Citywide)
- Project #10-1126 – Wetland Mitigation Bank** – [Wetlands and Waterways Consulting LLC] Technical Memo has been submitted to DNR and Army Corp waiting response. (16)
- Project #11-1128 – Multi-Plate Pipe Storm Sewer Inspection and Evaluation** – [Ruekert-Mielke] Staff is working with consultant on recommendations and cost estimates. (2 and 7)
- Project #11-2013 – Harbor and Marina Dredging** – [Shoreline Builders] Waiting for close out documents (2).
- Project #12-1430 – Alford Park Warehouse Demolition** – [Earth Construction] Waiting for close out documents (1)
- Project #13-1012 – Resurfacing I** – [Stark] Waiting for Closeout Documents [Lincoln Road intersection at 28th Avenue, Lincoln Road intersection at 22nd Avenue, 70th Street from 39th Avenue to 40th Avenue] (Stormwater Utility funding also) (13, 15)
- Project #13-1013 – CDBG Resurfacing** – [Stark] Waiting for Closeout Documents [13th Court from Washington Road to 43rd Street, 41st Street from 22nd Avenue to 350 ft. east of 21st Avenue] (Stormwater Utility funding also) (6)
- Project #14-1012 – Resurfacing Phase I** – [Payne & Dolan] Project is complete. Punchlist items remain. [18th Avenue from 67th to 69th Street, 68th Avenue from 52nd Street to 1000' North and 51st Street from 68th Avenue to 700' West] (12, 16)
- Project #14-1014 – Concrete Street Repairs** – [Cornerstone] Project is substantially completed. Project will remain open until spring 2015 to complete pavement marking improvements [80th Street from 22nd Avenue to 25th Avenue and 39th Avenue at 46th Street] (10,13)
- Project #14-1015 – 39th Avenue – Washington Rd to 45th Street Resurfacing** – [Payne & Dolan] All lanes have had first lift of asphalt. Loop detectors will be installed and second lift of asphalt will be placed in spring 2015. (10)
- Project #14-1019 – Crackfilling** – [Fahmer Asphalt] Waiting for closeout documents.
- Project #14-1025 – 56th Street Phase Lighting** – [WIL-Surge Electric, Inc.] Project has been completed. Punchlist items remain. (2)
- Project #14-1026 – 56th Street Phase Sidewalk Project** – [AW Oakes] Project is complete, only punchlist items remain. (2)
- Project #14-1027 – Pavement Markings** – [Century Fence] Project has been completed. Close out process has begun.
- Project #14-1139 – Forest Park Sanitary and Sewer Enhancements** – [AW Oakes] Final Restoration and Punchlist Items remain. (15)
- Project #14-1208 – Sidewalk Repair Program** – [AW Oakes] Project is complete. Punchlist and final restoration in some areas will take place in spring. (Stormwater Utility funding also) (Citywide) Assessments expected to be levied in early February.
- Project #14-1209 – Emergency Vehicle Preemption – Traffic Signals** – Crews have begun installing equipment. (Citywide)
- Project #14-1210 – Traffic Operations Roof** – [Industrial Roofing Services] Completing on site review. (15)
- Project #14-1215 – 74th Street and 123rd Avenue Lighting** – [WIL-Surge Electric, Inc.] Work has begun. Directional boring is complete. Contractor will be finishing the majority of the work next spring. (16)
- Project #14-2013 – Southport Marina Dredging** – [Ryba] Dredging is complete. Contractor has finished final restoration. City is waiting for substantial grass growth before closing out project.
- Project #2033 – Kenosha Engine Plant Building 53 Soil Remediation** – [AW Oakes] Staff is working on sending closeout documents to contractor. (7)
- Project #15-1015 – 39th Avenue Resurfacing** [39th Avenue – 45th Street to 52nd Street, 45th Street – 39th Avenue to 40th Avenue] Project is scheduled to have bid opening in April. (10)

Design Work (Public Works) – Staff is working on the following projects: Website Design, GPS Data Forms, Equipment Specifications, and SWU Projects and Parks Projects.